

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: <u>2-19-14</u>	Action Requested
UDC MEETING DATE: <u>4-23-14</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 721 South Gammon Road

ALDERMANIC DISTRICT: 19

OWNER/DEVELOPER (Partners and/or Principals)
Woodman's Food Market, Inc.

ARCHITECT/DESIGNER/OR AGENT:
Building Systems General Corp.

2631 Liberty Lane

5972 Executive Drive, Suite 100

Janesville, WI 53545

Madison, WI 53719

CONTACT PERSON: Jim Arneson (Building Systems General Corp.)

Address: 5972 Executive Drive, Suite 100
Madison, WI 53719

Phone: (608) 663-6233

Fax: (608) 276-4468

E-mail address: jarneson@bsgc-wi.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

CITY OF MADISON

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

FEB 19 2014

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

Planning & Community
& Economic Development

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

Building Systems General Corp.

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Phone: 608-276-4400
Fax: 608-276-4468

Comprehensive Design Review

February 24, 2014

City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Boulevard
Madison, WI 53701-2984

URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW

Project: Woodman's Gas Station
721 South Gammon Road
Madison, WI 53719

Project Team:

Owner: Woodman's Food Market, Inc.
2631 Liberty Lane
Janesville, WI 53545

Design/Build Contractor: Building Systems General Corporation
5972 Executive Drive, Suite 100
Madison, WI 53719

Architect/MEP Engineer: The Larson & Darby Group
4949 Harrison Avenue, Suite 100
Rockford, IL 61125

Civil Engineer: Snyder & Associates
5010 Voges Road
Madison, WI 53718

Proposal:

Woodman's is proposing to demolish its gas station and convenience store located at 721 South Gammon Road and replace it with a new gas station and convenience store. The site is located within Urban Design District No. 2 and consists of a number of contiguous parcels with retail uses. The Woodman's parcel is located within a Commercial Center District and consists of the grocery store and gas station facilities. The Commercial Center District provisions allow for not more than four (4) signable wall areas per building and not more than two (2) ground signs. In addition, all signs shall be approved by the Urban Design Commission through a Comprehensive Design Review.

Existing signage is limited to an internally illuminated pole sign. The new Sign Plan calls for four (4) signs consisting of one (1) monument sign and three (3) wall mounted signs.

The monument sign will be constructed over a masonry base and will incorporate electronically illuminated, changeable copy. The monument sign is to be placed at the location of the current pole sign and will require an exception from the setback limitation of 20 feet.

The wall sign on the rear of the convenience store consists of colored, laser cut, ¼" thick, aluminum characters pegged and projected 1-inch from the face of the building. The height of the sign is proposed to be 15'-6" above grade. The two (2) canopy wall signs consist of vinyl applied lettering on a metal sign panel attached to the canopy.

Urban Design Commission: Urban Design District No. 2 Criteria (Sec. 33.24(9)(d)4.b.vi.)

1. A minimum setback of five (5) feet is required of all detached signs. A minimum setback of ten (10) feet from the public right-of-way is required for signs exceeding ten (10) square feet in net area and fifteen (15) feet in height. A minimum setback of twenty (20) feet is required for all signs exceeding twenty (20) square feet in net area or twenty (20) feet in height. No detached sign shall exceed seventy-five (75) square feet in net area and twenty-five (25) feet in height. Based upon the following criteria the Urban Design Commission may specifically approve a larger sign or reduce the setbacks above:
 - A. An exception from the size and setback limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest roadway at prevailing speeds; and
 - B. An exception from the size and setback limitation will result in a sign more in scale with the building and site and will result in a superior overall design.

An exception to the sign setback requirement of twenty (20) feet for a sign exceeding twenty (20) square feet in net area is requested for the new monument sign. The proposed monument sign has a net area of thirty (30) square feet and is set back a distance of seven (7) feet from the property line. This exception to the setback limitation is necessary for the sign to be identifiable and legible from South Gammon Road when traveling at prevailing speeds. Exemption from the setback limitation will result in a sign that is more in scale with the building and site and will result in a superior overall design.

Comprehensive Design Review Criteria (Sec. 31.043(4)(b):

1. The Sign Plan shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses.

The new signage will create visual harmony between the signs, buildings, gas canopy, and building site. The monument sign will incorporate a brick base which will match the brick used on the gas station building and on the gas canopy columns. The monument sign will be internally illuminated and will be designed such that when illuminated, the sign appears to have light-colored copy on a dark background. The canopy signs and the rear facing wall sign promote the Woodman's branding and will not be illuminated.

2. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment; except that when a request for an Additional Sign Code Approval under Sec. 31.043(3) is included in the Comprehensive

Design Review, the sign(s) eligible for approval under Sec. 31.043(3) shall meet the applicable criteria of Sec. 31.043(3), except that sign approvals that come to Comprehensive Design Review from MXC and EC districts pursuant to 31.13(3) and (7) need not meet the criteria of this paragraph.

The changes to the Sign Plan are necessary for proper branding.

3. The Sign Plan shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

The proposed signs do not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2).

4. All signs must meet minimum construction requirements under Sec. 31.04(5).

The signs will meet or exceed the minimum construction requirements under Sec. 31.04(5).

5. The Sign Plan shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec. 31.115.

None of the proposed signs are Advertising Signs as defined in Sec. 31.03(2).

6. The Sign Plan shall not be approved if any element of the plan:
 - a. presents a hazard to vehicular or pedestrian traffic on public or private property,
 - b. obstructs views at points of ingress and egress of adjoining properties,
 - c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
 - d. negatively impacts the visual quality of public or private open space.

The proposed signs do not present a hazard to vehicular or pedestrian traffic on public or private property, obstruct views at points of ingress and egress of adjoining properties, obstruct or impede the visibility of existing lawful signs on adjacent property, or negatively impact the visual quality of public or private open space.

7. The Sign Plan may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or on public property.

All signs are located on private property.

Submitted,

Building Systems General Corp.

James R. Arneson, PE
Vice President
(608)663-6233
jarneson@bsgc-wi.com

Building Systems General Corp.

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Comprehensive Design Review

February 24, 2014

City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Boulevard
Madison, WI 53701-2984

URBAN DESIGN COMMISSION COMPREHENSIVE DESIGN REVIEW: SIGN INVENTORY

Project: Woodman's Gas Station
721 South Gammon Road
Madison, WI 53719

Wall Signs:

Gammon Road:

Dunkin' Donuts/Fannie May/World Finance

1. World Finance Loans
2. Fannie May – Fine Chocolates
3. Dunkin' Donuts
4. Dunkin' Donuts

701-709 South Gammon Road

5. India House
6. Domino's
7. Sport Clips
8. Q Beauty
9. US Cellular
10. US Cellular
11. US Cellular
12. Q Beauty
13. Sport Clips
14. Domino's
15. Harold's Chicken
16. India House

Woodman's Food Market

17. Woodman's Markets – Employee Owned

Watts Road:

Woodman's Food Market

18. Bakery
19. Woodman's (Sun Logo)
20. Produce
21. Parcel Pick-Up
22. Woodman's Markets – Open 24 Hours
23. Photo
24. Liquor

Madison Design Center

25. Fireside Hearth & Home
26. Madison Lighting
27. Woodworks Furniture
28. The Great Frame Up
29. Badger Spray
30. Hallman Lindsay/Paints

Monument Signs:

Gammon Road:

31. Dunkin' Donuts/Fannie May/World Finance

- a. Sign Area: 40 square feet
- b. Overall Height: 10'-3"

32. Woodman's Gas Station

- a. Sign Area: 70 square feet
- b. Overall Height: 11'-7"

33. 701-709 South Gammon Road (1)

- a. Sign Area: 20 square feet
- b. Overall Height: 4'-3½"

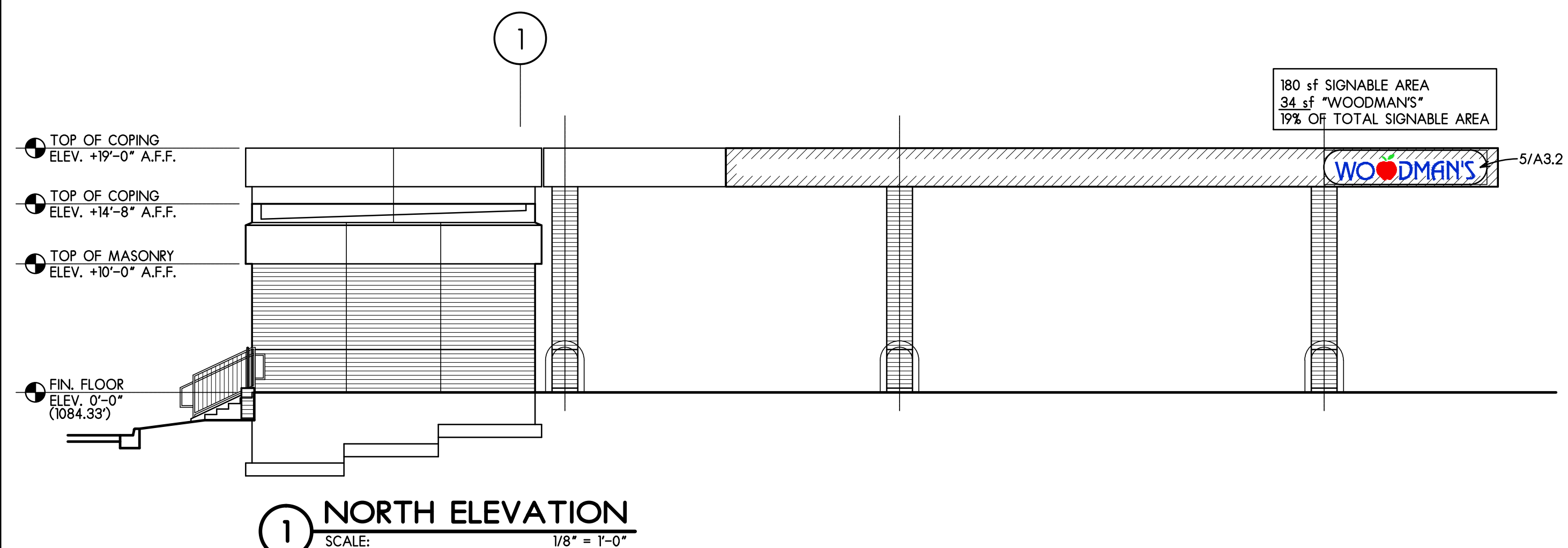
34. 701-709 South Gammon Road (2)

- a. Sign Area: 20 square feet
- b. Overall Height: 4'-3½"

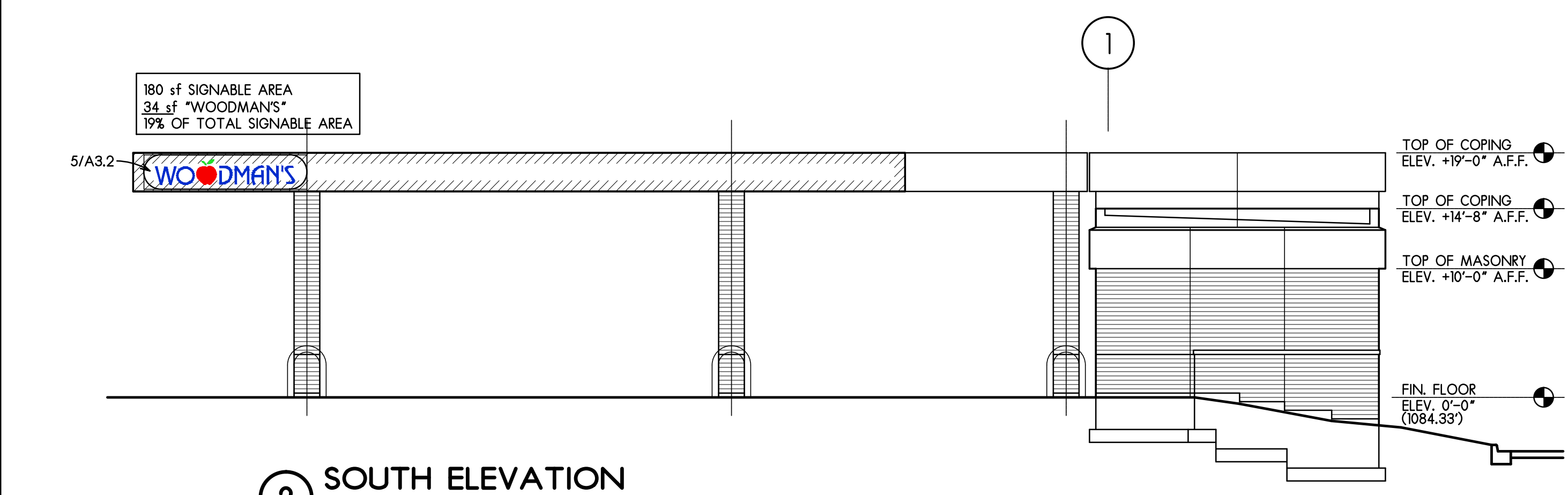
Watts Road

35. Madison Design Center

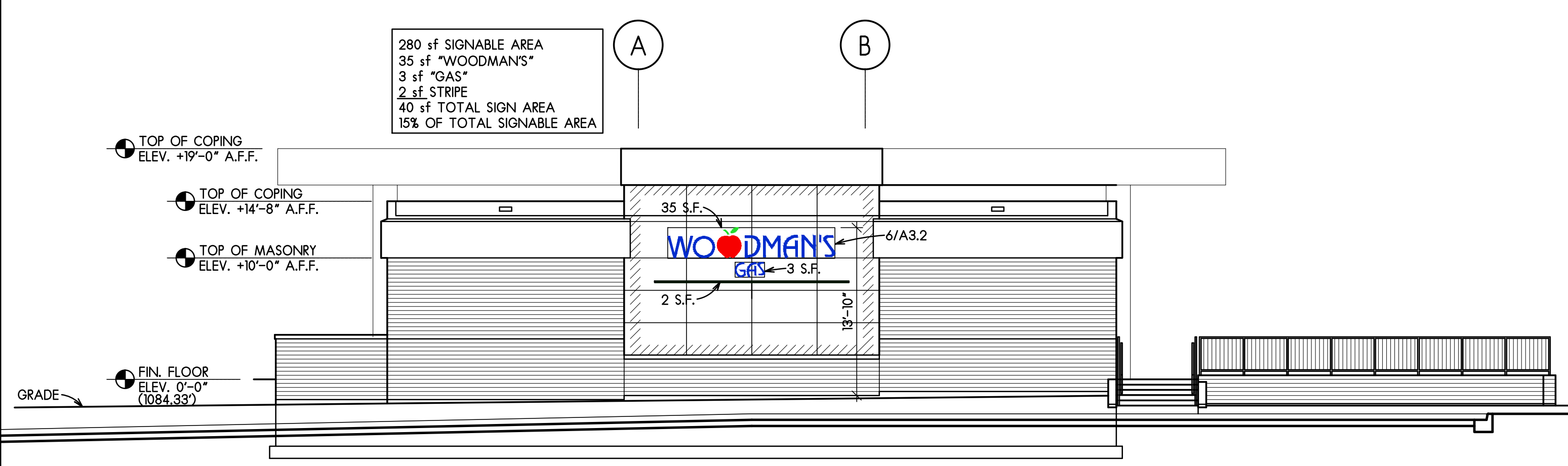
- a. Sign Area: 40 square feet
- b. Overall Height: 16'-0"



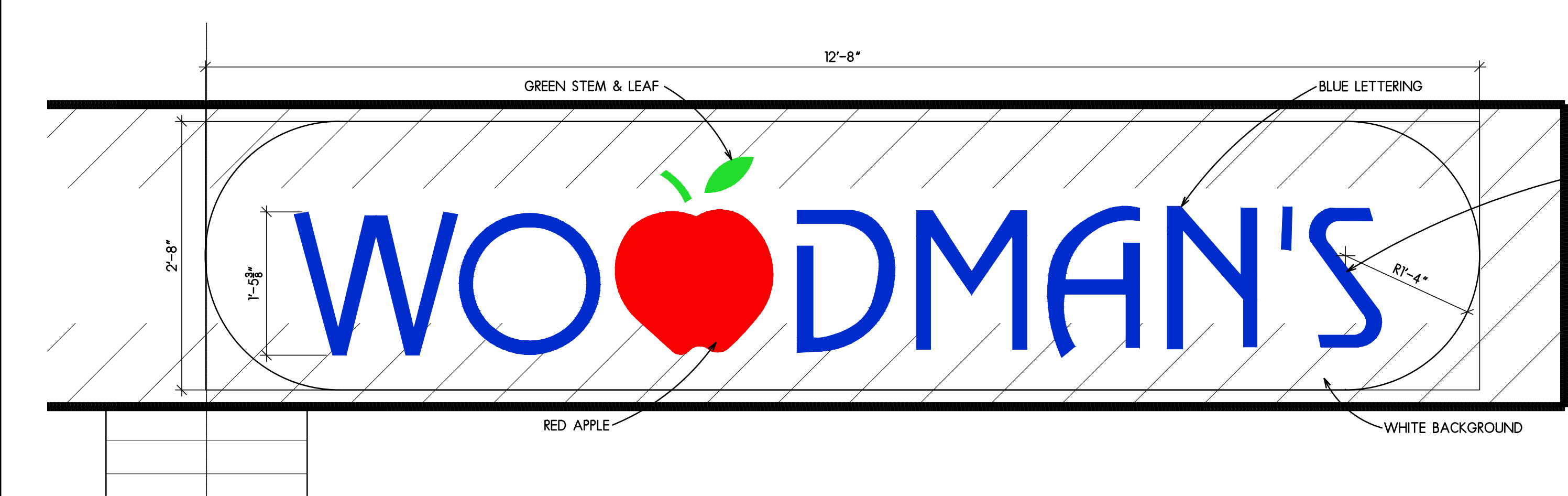
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



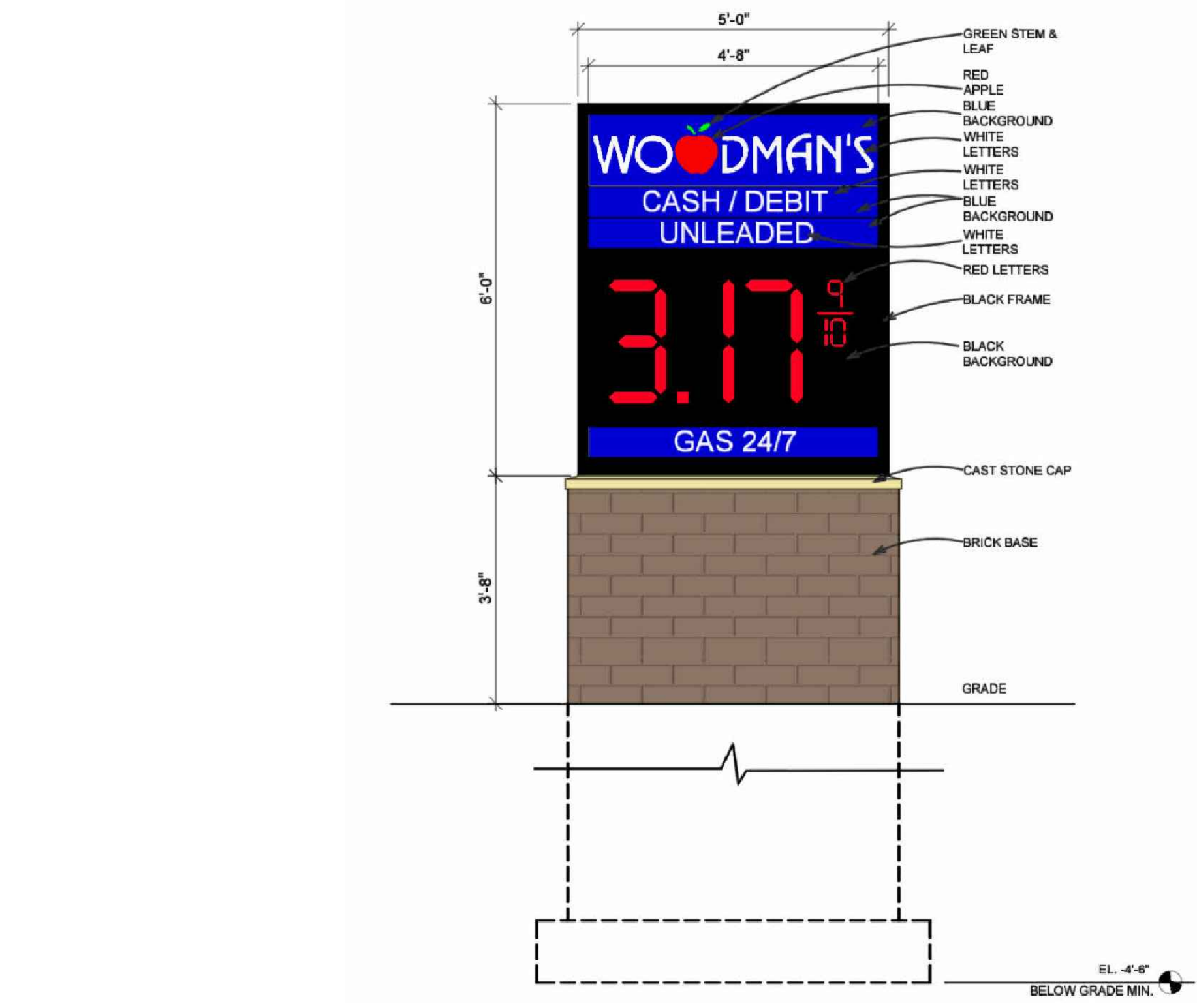
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



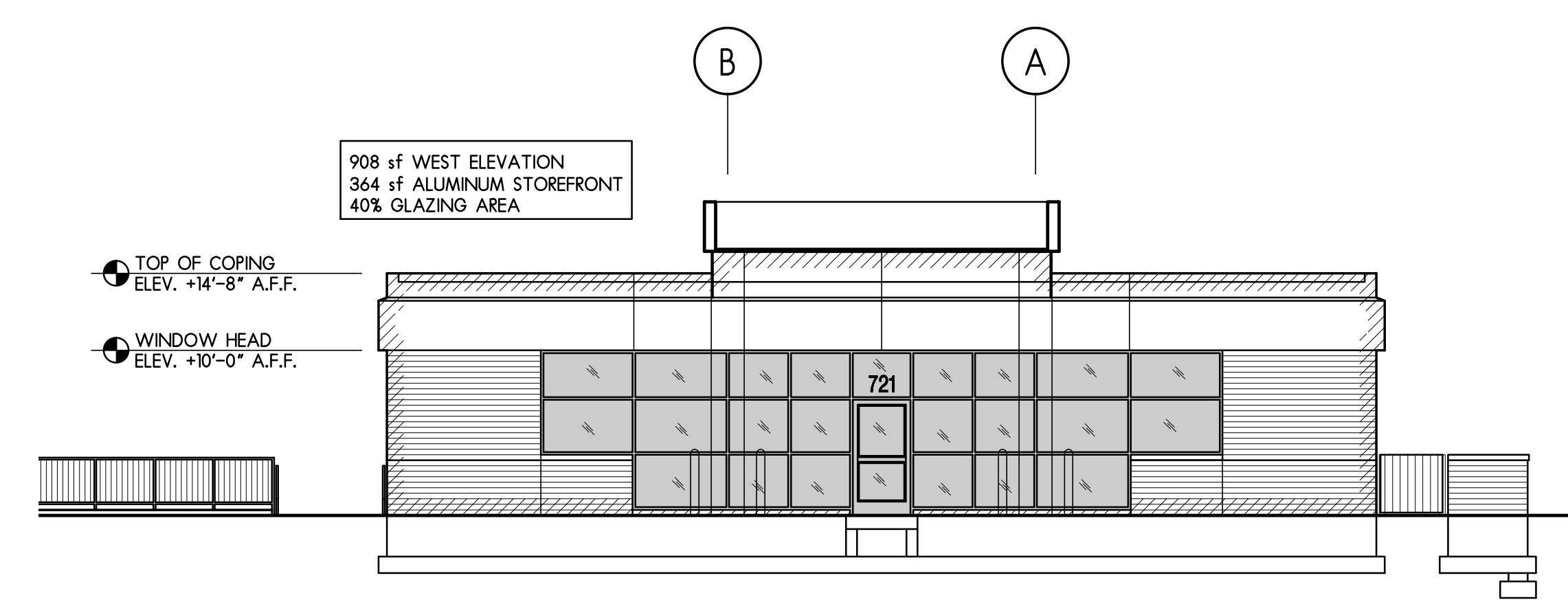
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



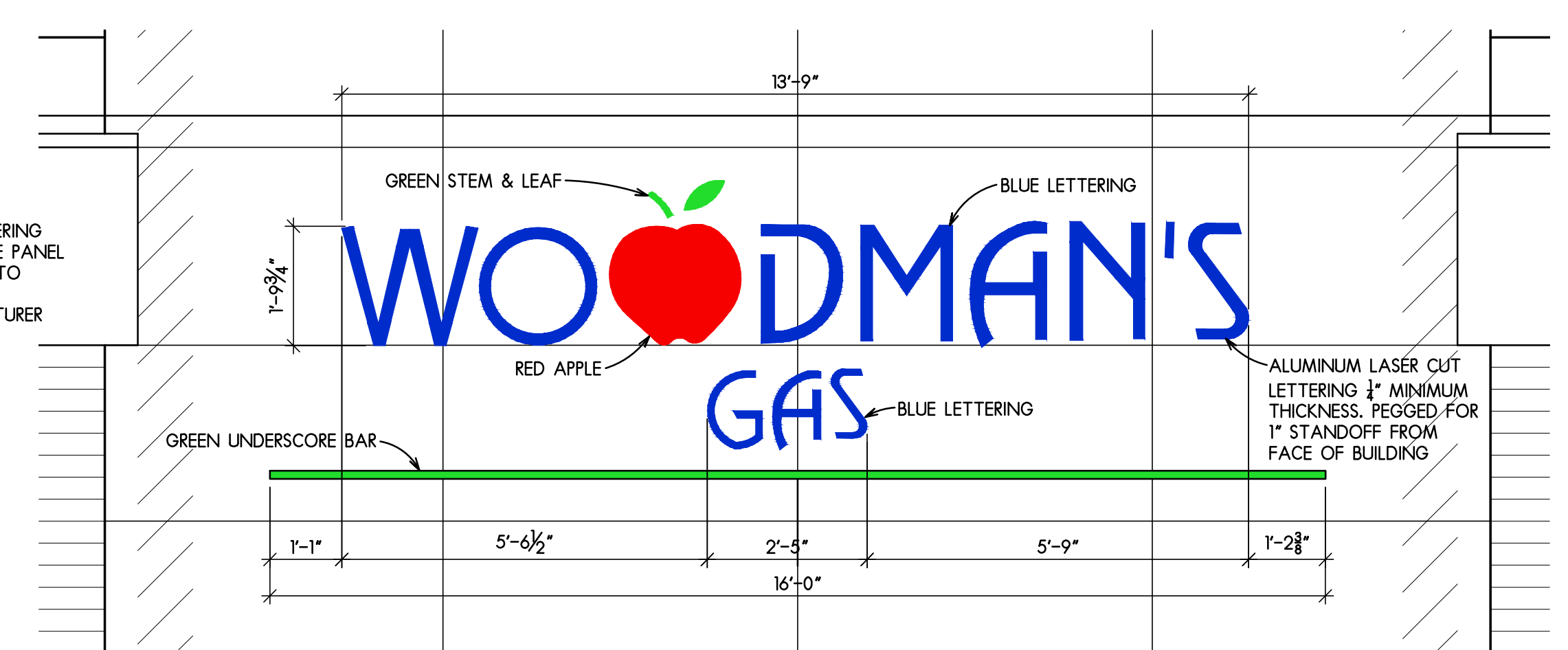
5 CANOPY SIGNAGE DETAIL
SCALE: 1" = 1'-0"



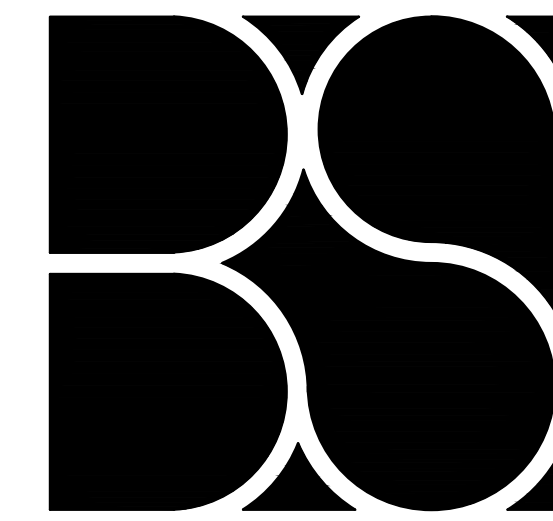
7 MONUMENT SIGNAGE
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



6 EAST ELEVATION SIGNAGE DETAIL
SCALE: 1/2" = 1'-0"



Building Systems
General Corp.
5972 Executive Drive Suite 100
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Phone: (608) 276-4400
Fax: (608) 276-4468



PROJECT NAME
**WOODMAN'S
FOOD MARKET
REMODELING**
721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG
CHECKED	DJR
APPROVED	GWF
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BSGC DRAWING NO. 13-112
SHEET TITLE
**EXTERIOR
SIGNAGE
PLAN**
SHEET NO. _____

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25) FIRESIDE HEARTH & HOME

26) MADISON LIGHTING

27) WOODWORKS FURNITURE

28) THE GREAT FRAME UP

29) BADGER SPRAY 30) HALLMAN LINDSAY/PAINTS



EXISTING MONUMENT SIGNS



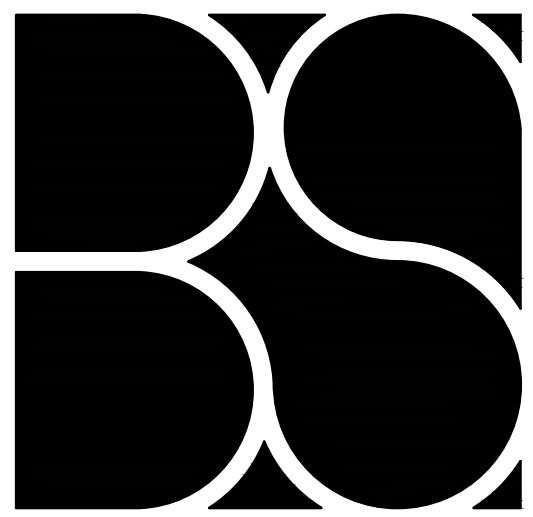
31) MONUMENT SIGN:
40 SQ. FT. -
10'-3" TALL

32) MONUMENT SIGN:
70 SQ. FT. -
11'-7" TALL

33) MONUMENT SIGN:
20 SQ. FT. -
4'-3 1/2" TALL

34) MONUMENT SIGN:
20 SQ. FT. -
4'-3 1/2" TALL

35) MONUMENT SIGN:
30 SQ. FT. -
16'-0" TALL



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WOODMAN'S
MARKETS
EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S
FOOD MARKET
REMODELING

721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

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BSSG PROJECT NO. _____

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SHEET TITLE

EXISTING
SIGNAGE
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SS3

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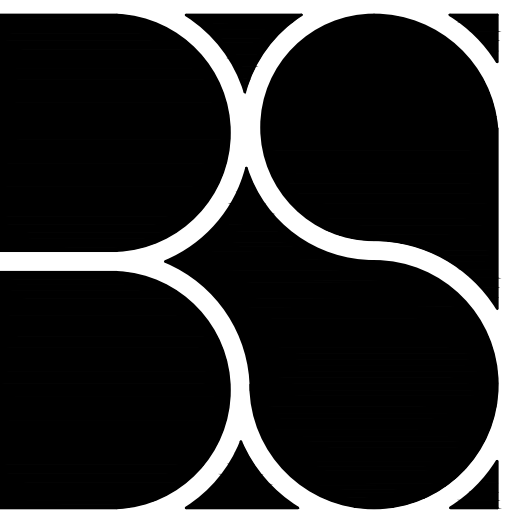
⑩ US CELLULAR ⑪ US CELLULAR ⑫ Q BEAUTY ⑬ SPORT CLIPS ⑭ DOMINO'S ⑮ HAROLD'S CHICKEN ⑯ INDIA HOUSE



WOODMAN'S FOOD MARKETS



⑰ WOODMAN'S MARKETS - EMPLOYEE OWNED ⑱ WOODMAN'S SUN ⑲ WOODMAN'S SUN
⑱ PRODUCE ⑳ PARCEL PICK-UP ㉑ WOODMAN'S MARKETS - OPEN 24 HOURS ㉒ PHO ㉓ LIQUOR



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General Corp.

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Fax: (608) 276-4468

WOODMAN'S
MARKETS
EMPLOYEE OWNED

PROJECT NAME

WOODMAN'S
FOOD MARKET
REMODELING

721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

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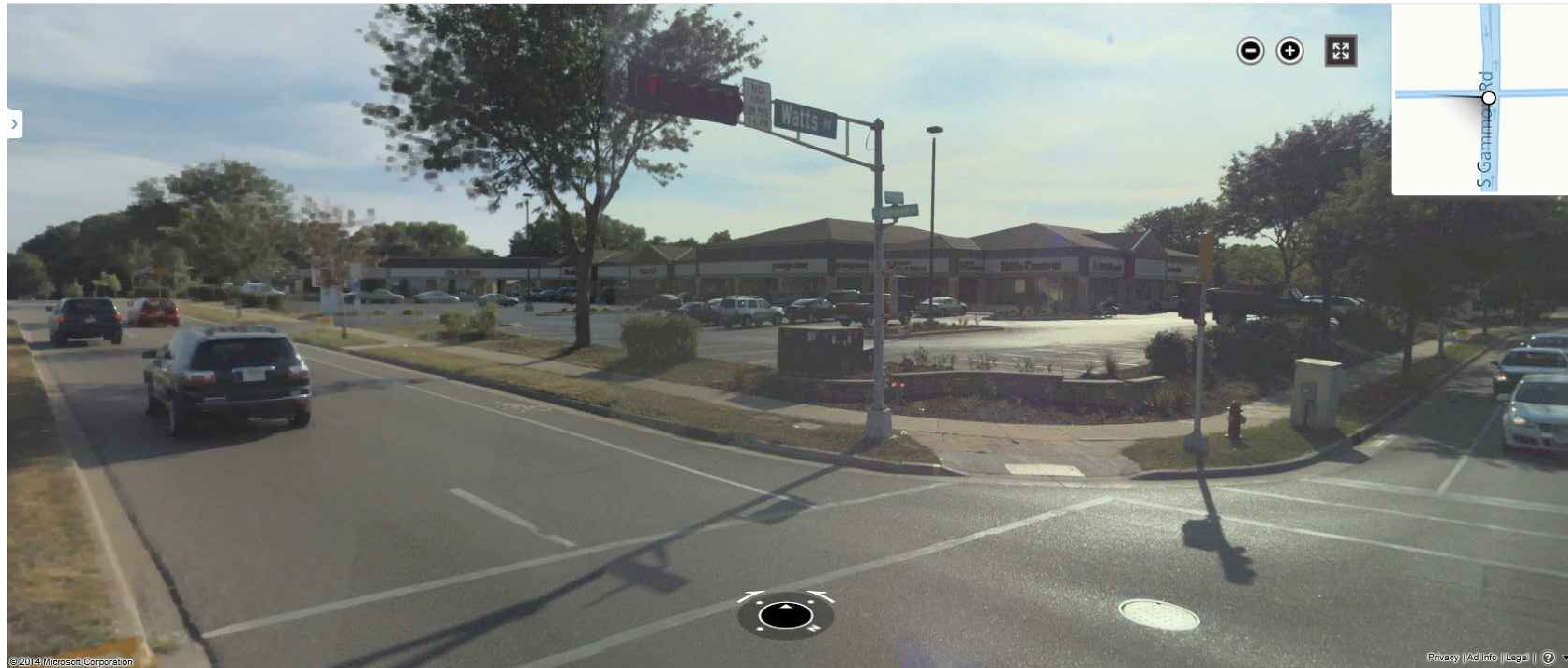
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SHEET TITLE
EXISTING
SIGNAGE
SURVEY

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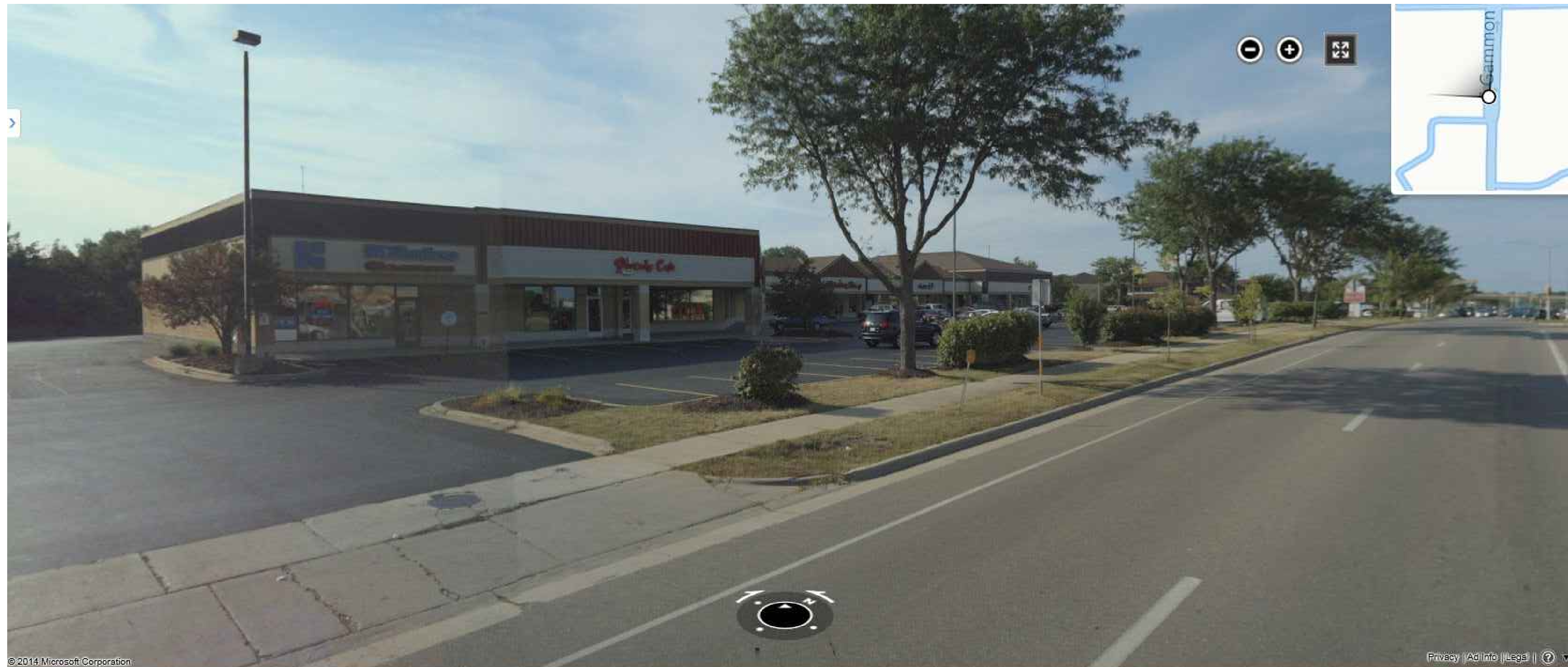
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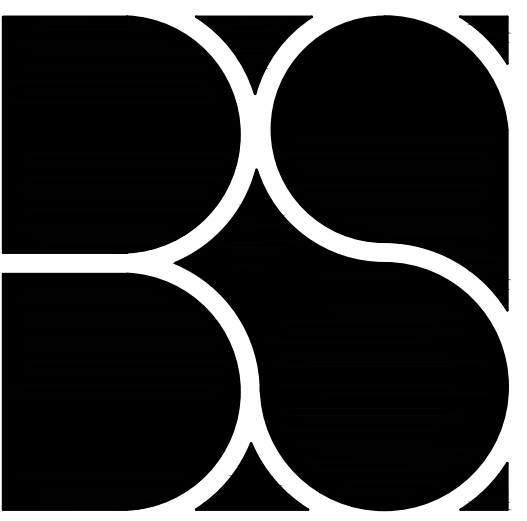
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**WOODMAN'S
MARKETS**

EMPLOYEE OWNED

PROJECT NAME

**WOODMAN'S
FOOD MARKET
REMODELING**

721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG
CHECKED	DJR
APPROVED	GWF

REVISION:

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SHEET TITLE

**CONTEXT
PHOTOS**

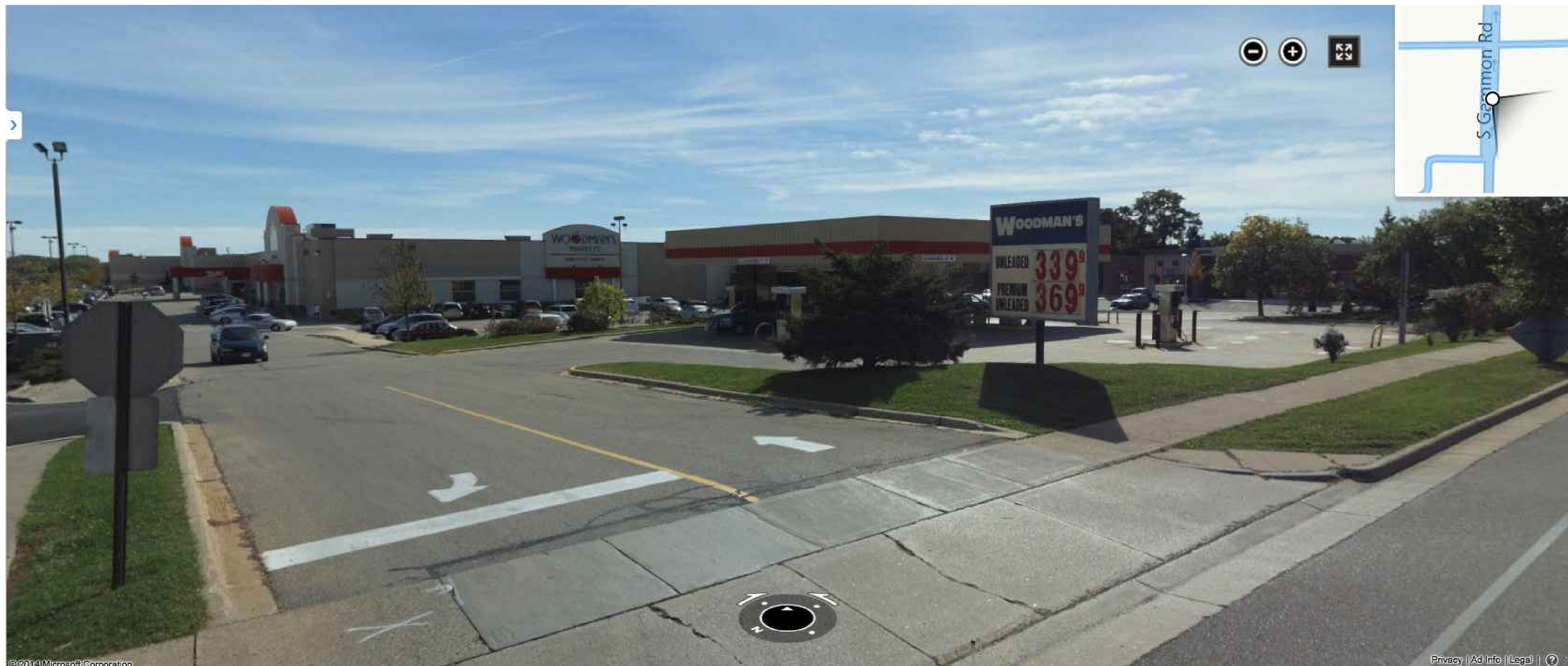
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PROJECT NAME

WOODMAN'S FOOD MARKET REMODELING

721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG
CHECKED	DJR
APPROVED	GWF

REVISION:

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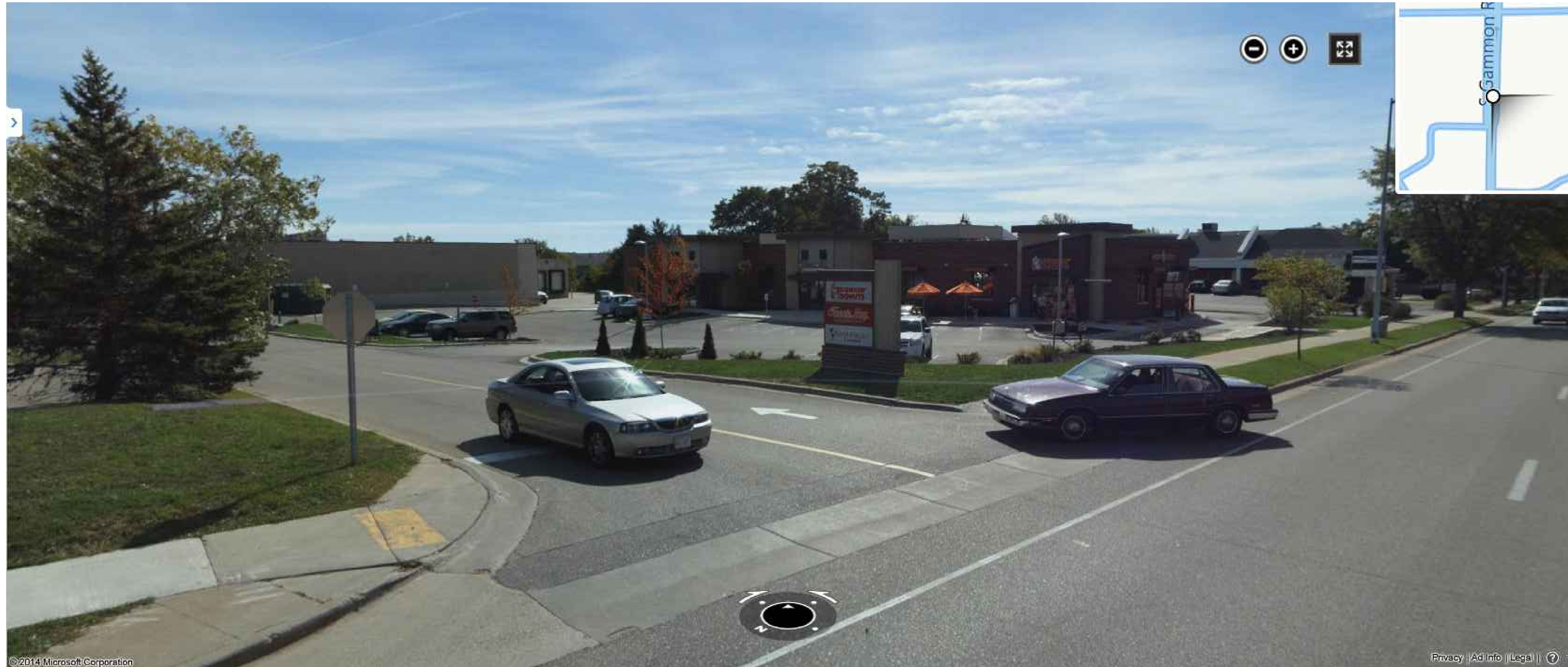
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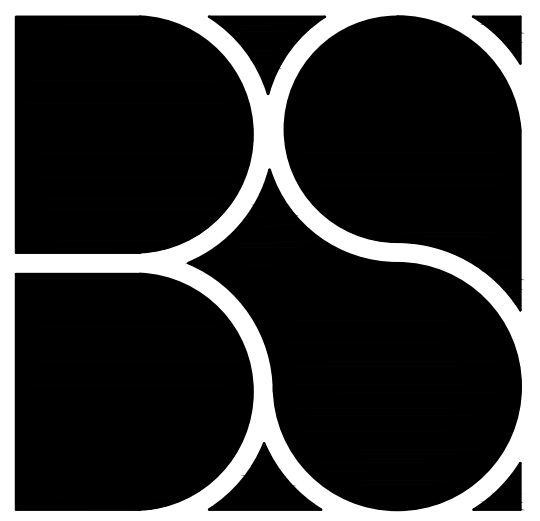
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**WOODMAN'S
MARKETS**

EMPLOYEE OWNED

PROJECT NAME

**WOODMAN'S
FOOD MARKET
REMODELING**

721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG
CHECKED	DJR
APPROVED	GWF

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SHEET TITLE

**CONTEXT
PHOTOS**

SHEET NO.

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Building Systems General Corp.

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Phone: 608-276-4400
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Letter Of Intent

February 19, 2014 (Updated March 3, 2014)

City of Madison
Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Boulevard
Madison, WI 53701-2984

LAND USE APPLICATION LETTER OF INTENT

Project: Woodman's Gas Station
721 South Gammon Road
Madison, WI 53719

Project Team:

Owner: Woodman's Food Market, Inc.
2631 Liberty Lane
Janesville, WI 53545

Design/Build Contractor: Building Systems General Corporation
5972 Executive Drive, Suite 100
Madison, WI 53719

Architect/MEP Engineer: The Larson & Darby Group
4949 Harrison Avenue, Suite 100
Rockford, IL 61125

Civil Engineer: Snyder & Associates
5010 Voges Road
Madison, WI 53718

Existing Conditions: The property is currently occupied by Woodman's gas station. Woodman's Food Market, Inc. proposes to demolish the existing gas station and replace it with a new gas station.

Project Schedule: Start – May 2014 Completion – September 2014

Proposed Uses: The property will contain a 1,320 square foot convenience store and six fuel dispensers located under a 5,050 square foot canopy. Fuel delivery will occur during unattended hours of operation to avoid conflict with the accessible parking stall. There will be no intercom/speakers located outside the gas station building or within the canopy. Speakers will be provided at each dispenser for direct communication with the attendant. There will be no outside sales and there will be no outside displays. Trash is collected

by personnel from the adjoining grocery store, is sorted into recyclables and trash, and is placed in receptacles located at the grocery store.

Hours of Operation: Attended – 6 AM to 9 PM Unattended – 24/7

Building Square Footage: 1,320 square foot convenience store
5,050 square foot canopy.

Auto & Bike Parking Stalls: One (1) Accessible Auto Stall.
Two (2) Auto Stalls.
Two (2) Bike Stalls

Lot Coverage: ~~21,730~~ 21,991 square feet total, ~~15,294~~ 14,898 square feet is impervious
(pavement, curb, sidewalk, and building)

Usable Open Space: ~~6,436~~ 7,093 square feet is pervious (grass).

Value of Land: The gas station resides within the Woodman’s Food Market property. The property consists of 17.22 acres and has a fair market value of \$3,838,281.00.

Estimated Project Cost: \$1,350,000.00.

Number of Construction: The gas station project will employ 10-12 full-time equivalent workers for the
Jobs Created duration of the construction.

Number of Employees: The gas station will employ one person during the hours the convenience store is
attended.

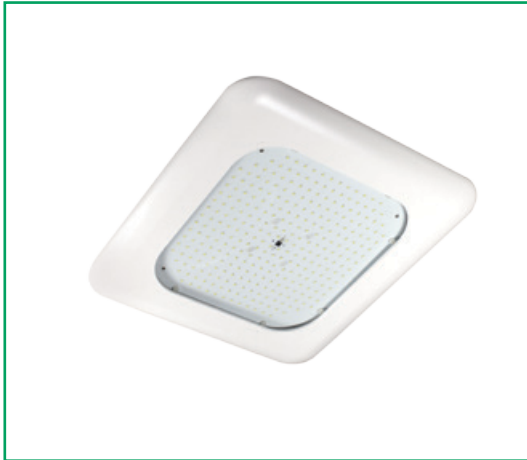
Public Subsidy Required: None.

Submitted,

Building Systems General Corp.

James R. Arneson, PE
Vice President
(608)663-6233
jarneson@bsgc-wi.com

LED CANOPY LIGHT - LEGACY™ (CRUS)



US & Int'l. patents pending.

HOUSING - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5300°K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of Low Wattage (LW) or Super Saver (SS).

OPTICS / DISTRIBUTION - Symmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 7/8" profile die cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

DRIVER - State-of-the-art driver technology superior energy-efficiency and optimum light output. Driver components are fully encased in potting for IP65 moisture resistance. Complies with IEC and FCC standards. Surge protected at 10KV.

DRIVER HOUSING - Die cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SG/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

LISTING - UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

PHOTOMETRICS - Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

Consult Factory

Class 1, Division 2 – Standard on SS & LW.

T5 Temperature Classification – The surface temperature of this product will not rise above 100°C., within a 40°C ambient.

Gas Groups A,B,C, and D – Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

This product, or selected versions of this product, meet the standards listed below.
Please consult factory for your specific requirements.



LED CANOPY LIGHT - LEGACY™ (CRUS)

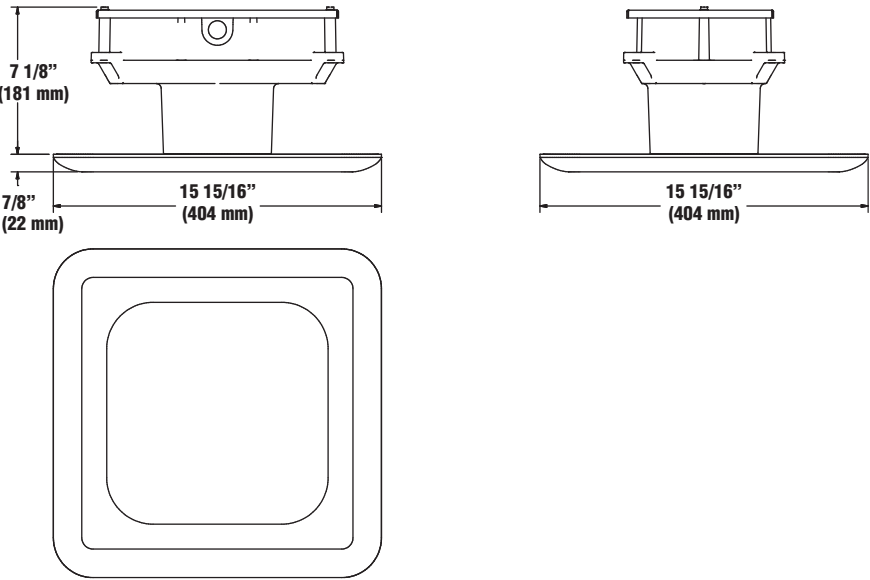
LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRUS SC LED SS CW UE WHT**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric	LED	LW - Low Watt SS - Super Saver	CW - Cool White	UE - Universal Voltage (120-277V) 347 - 347V	WHT - White BRZ - Bronze BLK - Black	None

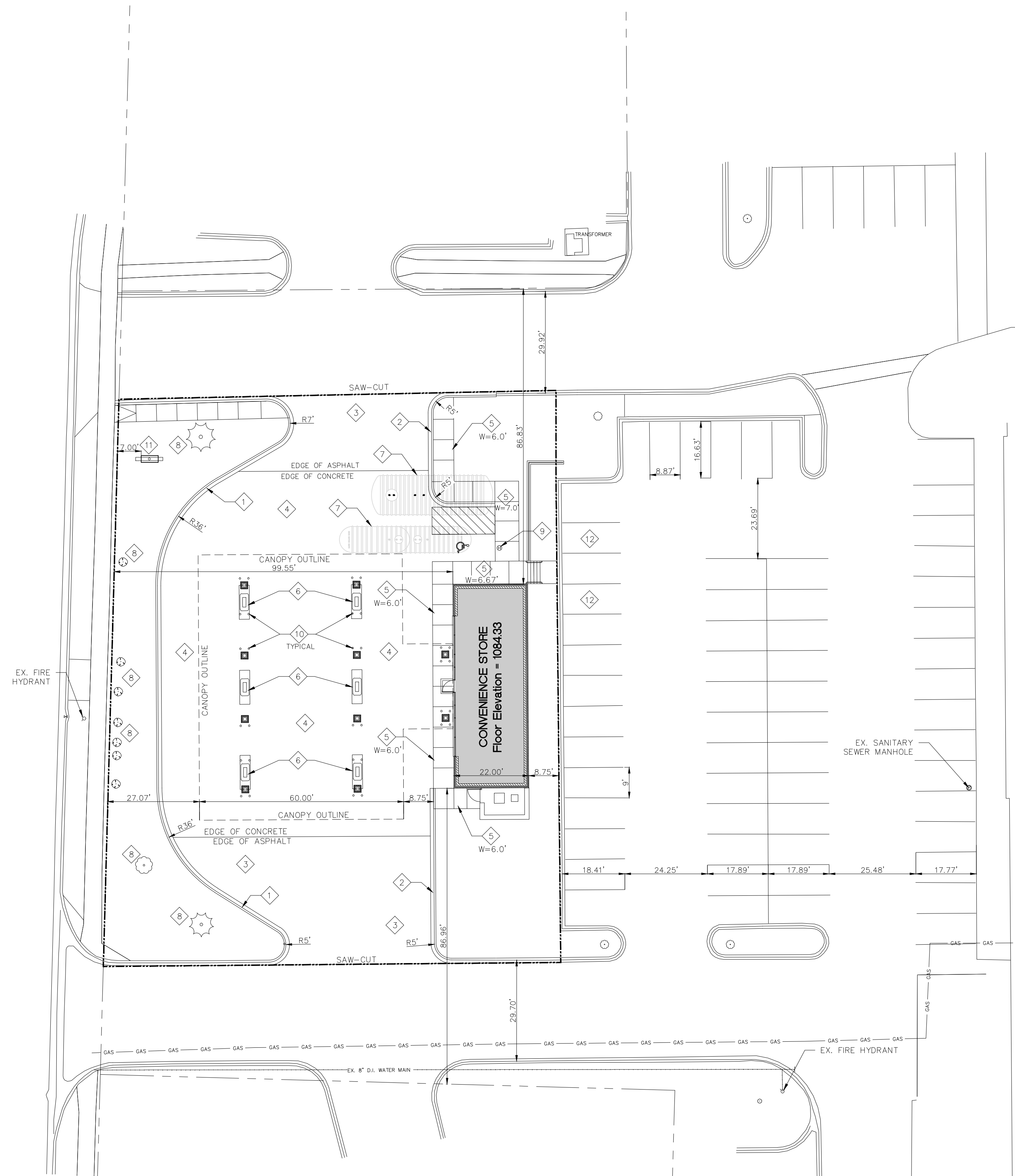
ACCESSORY ORDERING INFORMATION		(Accessories are field installed)	
Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRU, for 16" Deck Panel	525946	Kit - Hole Plugs and Silicone (enough for 25 retrofits) ¹	1320540
Retrofit Panels - ECTA / SCF to CRU, for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282	2- Flange Kit used to mount CRU in double deck applications	
Retrofit RIC Cover Panel Blank (no holes)	354702		

DIMENSIONS



LIGHT OUTPUT - CRUS				
		Lumens	Watts	LPW
Cool White	LW - Low Watt	10,871	88	124
	SS - Super Saver	13,554	114	119

SOUTH GAMMON ROAD



NOTES

1. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NOT GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3. ALL CONSTRUCTION WORK SHALL BE GOVERNED BY THE CURRENT EDITION OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", AND THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS.
4. NOTIFY OWNER, ENGINEER AND CITY OF MADISON AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
6. THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION.
7. ALL SLOPES 4:1 OR GREATER SHALL RECEIVE EROSION MATTING.
8. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

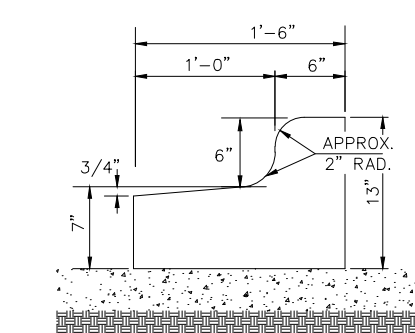
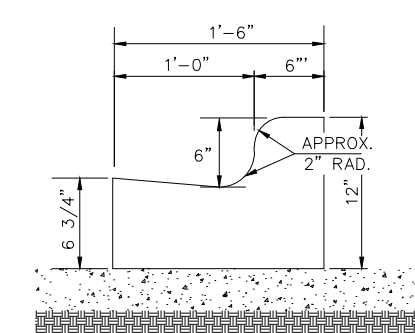
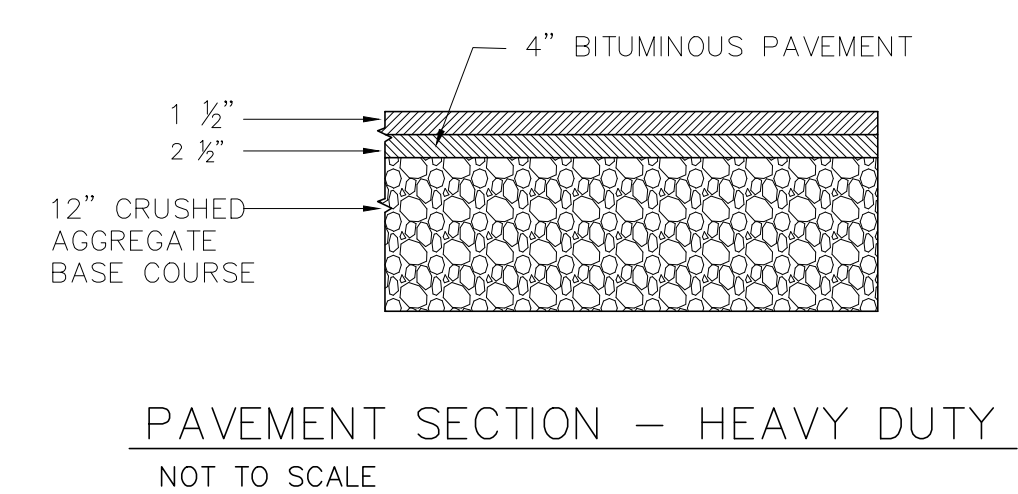
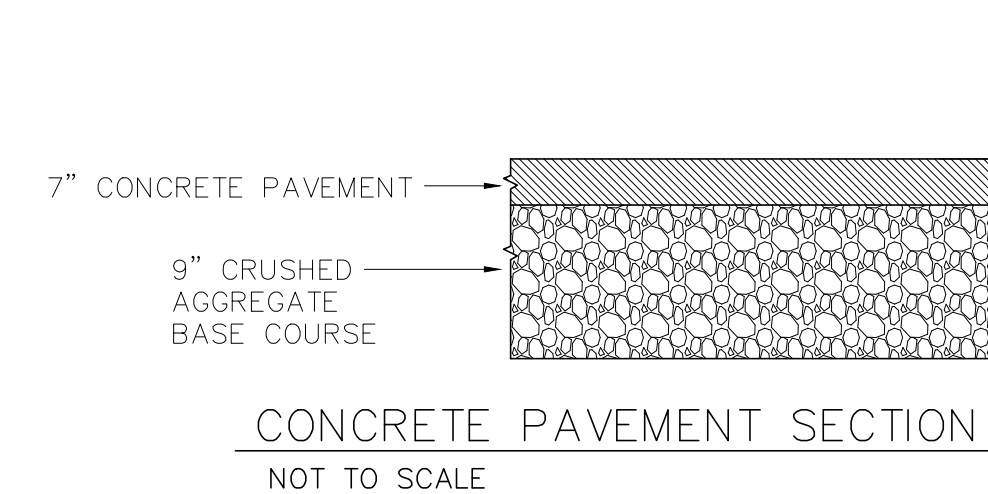
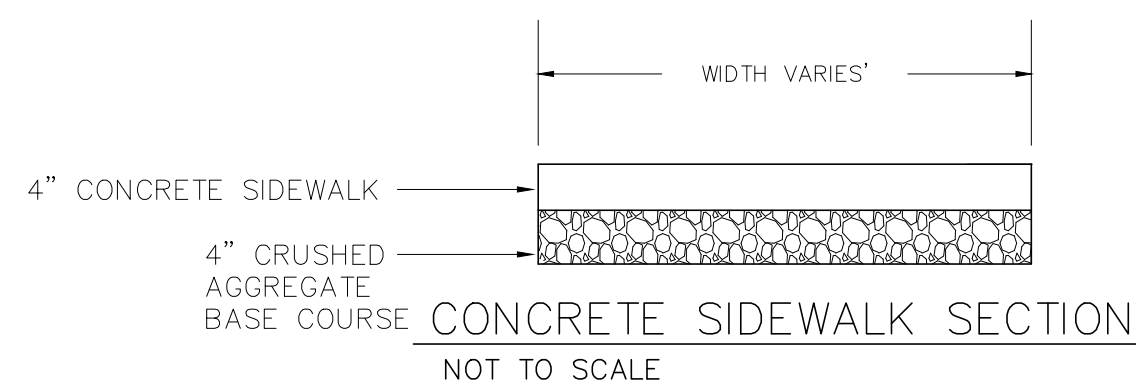
WOODMAN'S GAS STATION

BUILDING FOOTPRINT	1,320 sq.ft.
PARKING / PAVED AREAS	12,105 sq.ft.
OTHER IMPERVIOUS AREAS (HARD SURFACES)	1,261 sq.ft.
LANDSCAPE AND OPEN SPACE	7,305 sq.ft.
TOTAL PROJECT AREA	21,991 sq.ft. (.51 ACRES)

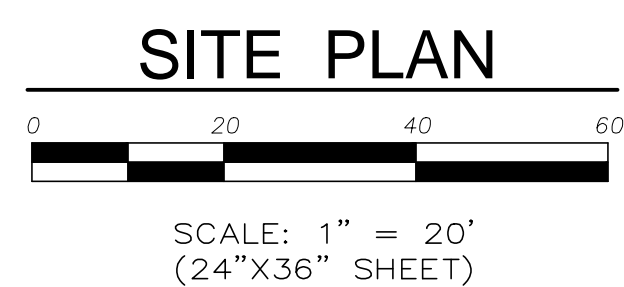
PLAN KEY

- | | |
|---------------------------------------|--|
| 1 PROPOSED 18" REJECT CURB & GUTTER | 7 UNDERGROUND STORAGE TANKS |
| 2 PROPOSED 18" STANDARD CURB & GUTTER | 8 EXISTING TREE TO REMAIN |
| 3 PROPOSED ASPHALT SURFACE | 9 PARKING BOLLARD WITH HANDICAP PARKING SIGN |
| 4 PROPOSED CONCRETE SURFACE | 10 PARKING BOLLARD |
| 5 PROPOSED CONCRETE SIDEWALK | 11 NEW MONUMENT SIGN |
| 6 PROPOSED FUEL ISLAND | 12 CONVENIENCE STORE PARKING STALL |

EX. STORE



CONCRETE CURB & GUTTER
NOT TO SCALE



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



**Building Systems
General Corp.**
5972 Executive Drive Suite 100
Madison, Wisconsin 53719
Phone: (608) 276-4400
Fax: (608) 276-4468



PROJECT NAME
**NEW GAS STATION
WOODMAN'S**
721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

SNYDER & ASSOCIATES
Engineers and Planners
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

DATE: 2/17/14

SCALE: 1" = 20'

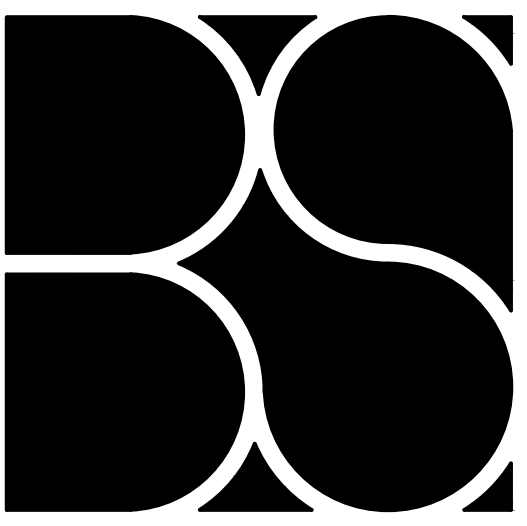
BSGC PROJECT NO. 2252E

BSGC DRAWING NO. 13-112

SHEET TITLE **PROPOSED SITE PLAN**

SHEET NO.

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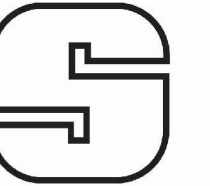


PROJECT NAME

**NEW GAS STATION
WOODMAN'S**

721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS



SNYDER & ASSOCIATE!
Engineers and Planners

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.c

P:\PROJECTS\B\BUI20\Design\BUI20 -BASE.dwg

DRAWN: M. WAHL

CHECKED:

APPROVED: M. CALKINS

REVISION:

DATE: 2/17/14

SCALE: 1" = 20'

BSGC PROJECT NO.
2252E

BSGC DRAWING NO.
13-112

SHEET TITLE
**EXISTING
SITE PLAN**

SHEET NO.

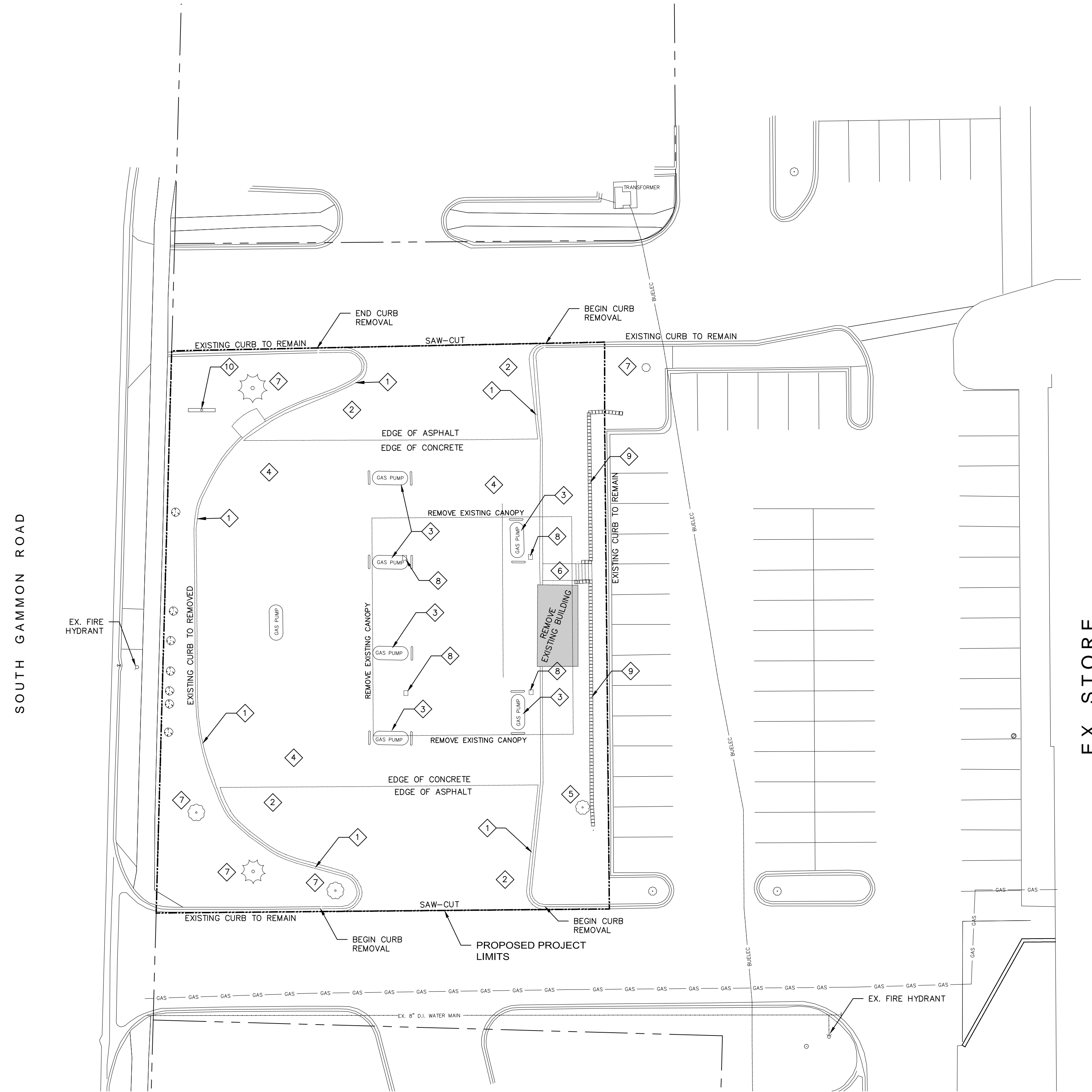
C1.1

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PLAN KEY

- ① EXISTING CURB & GUTTER TO BE REMOVED
- ② EXISTING ASPHALT TO BE REMOVED
- ③ EXISTING GAS PUMP AND ISLAND TO BE REMOVED
- ④ EXISTING CONCRETE PAVEMENT TO BE REMOVED
- ⑤ EXISTING TREE / BUSH TO BE REMOVED
- ⑥ REMOVE EXISTING CONCRETE WALK AND STAIRS
- ⑦ EXISTING TREE TO REMAIN
- ⑧ EXISTING CANOPY SUPPORTS TO BE REMOVED
- ⑨ EXISTING RETAINING WALL TO BE REMOVED
- ⑩ EXISTING SIGN TO BE REMOVED AND REPLACED
- ⑪ CONVENIENCE STORE PARKING STALL

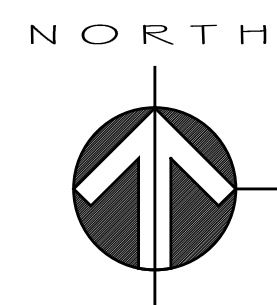


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

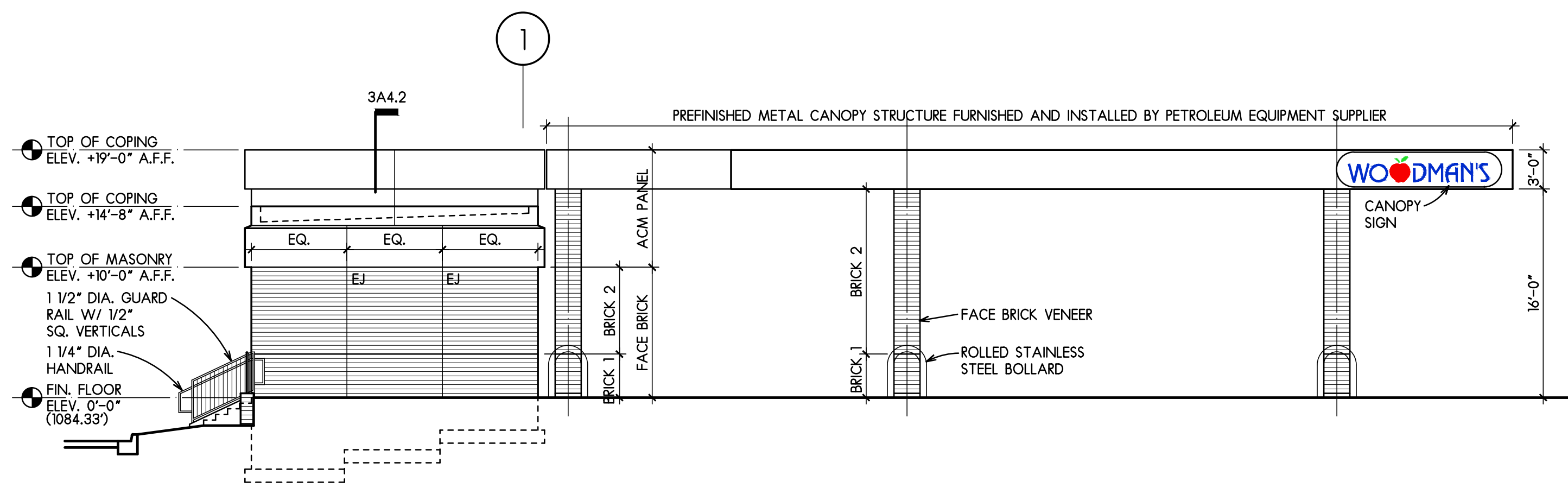
**EXISTING SITE AND
DEMOLITION PLAN**



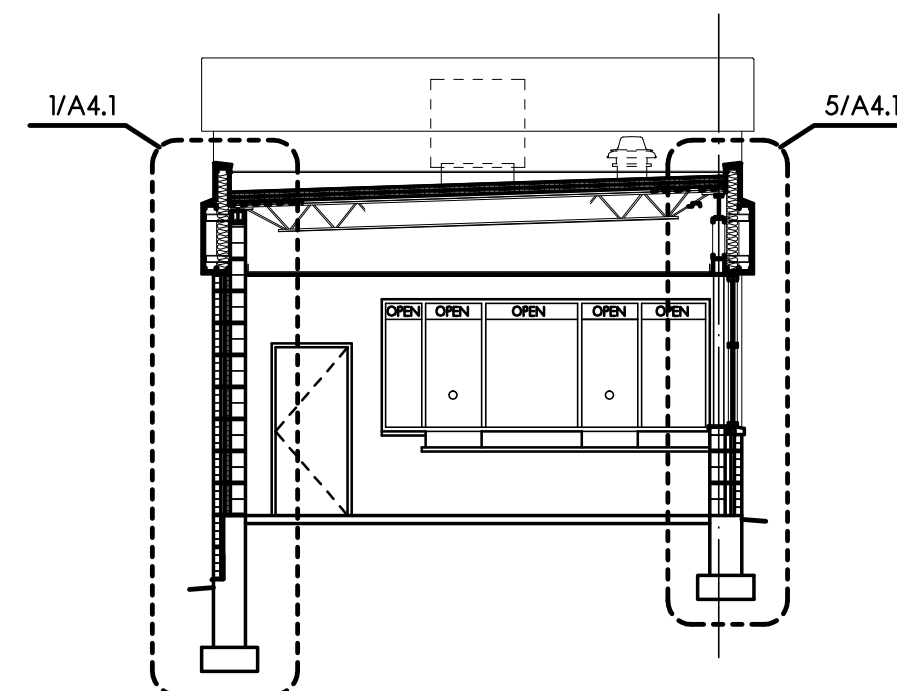
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(24" X 36" SHEET)



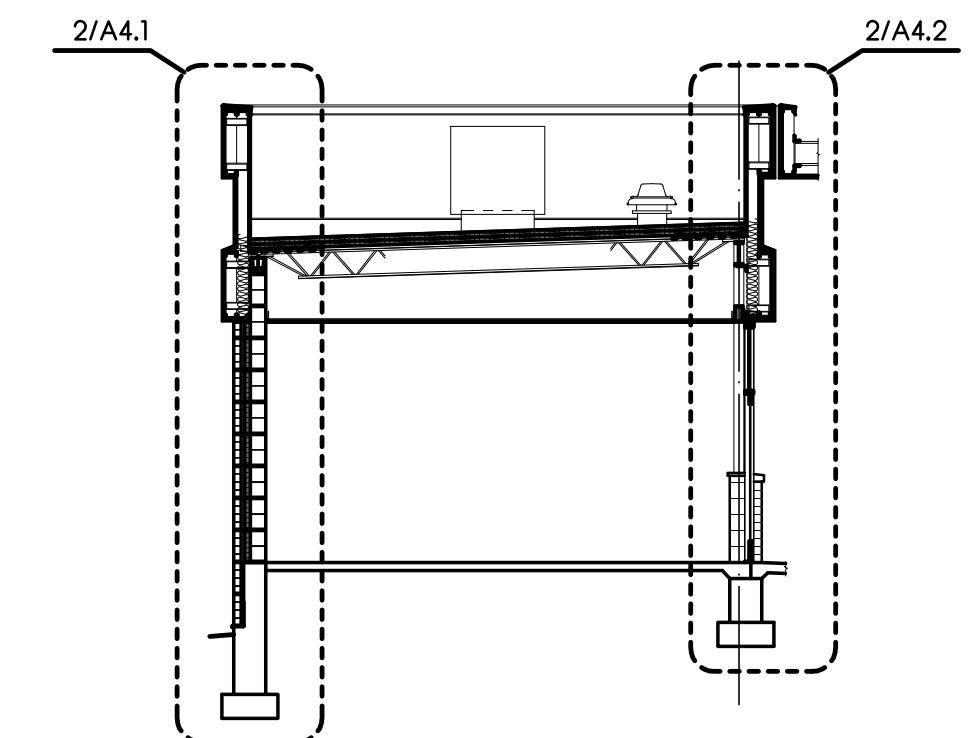
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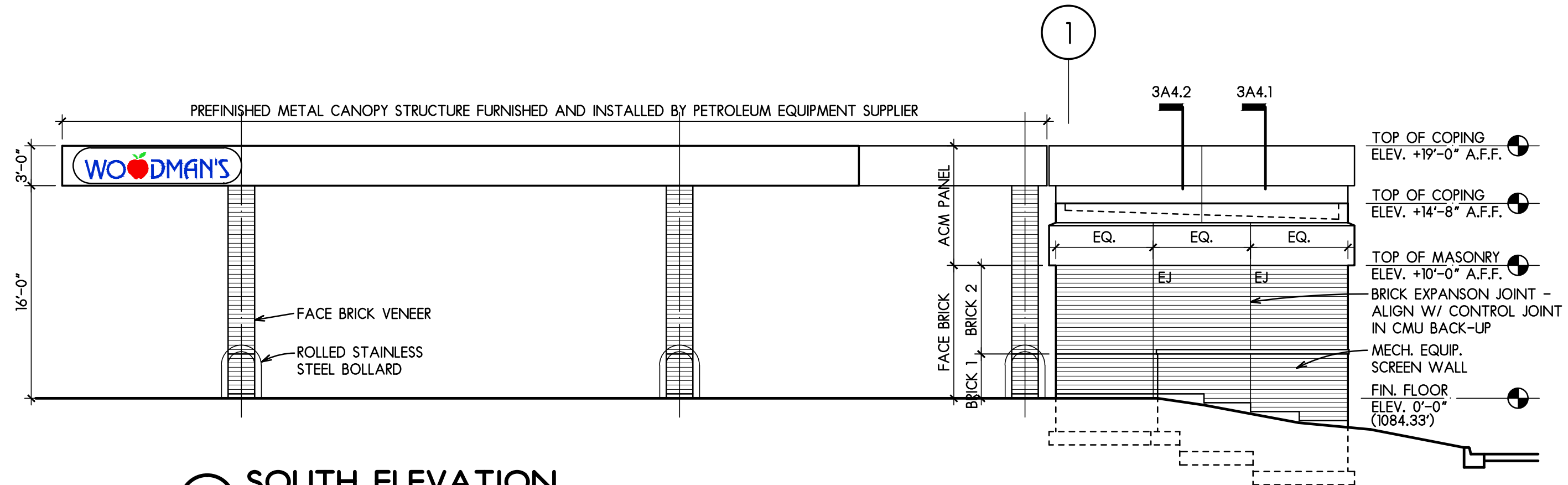
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



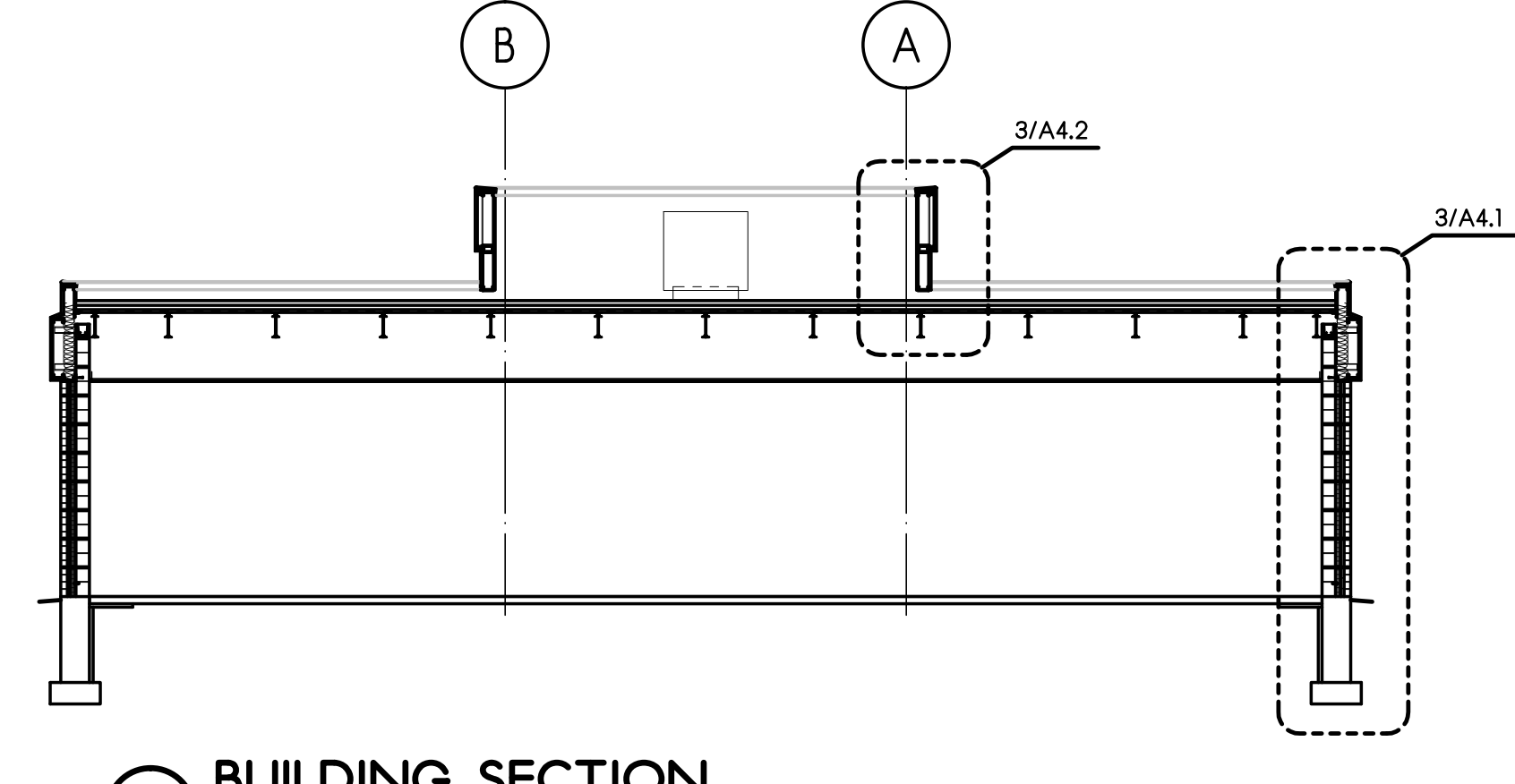
5 BUILDING SECTION
SCALE: 1/8" = 1'-0"



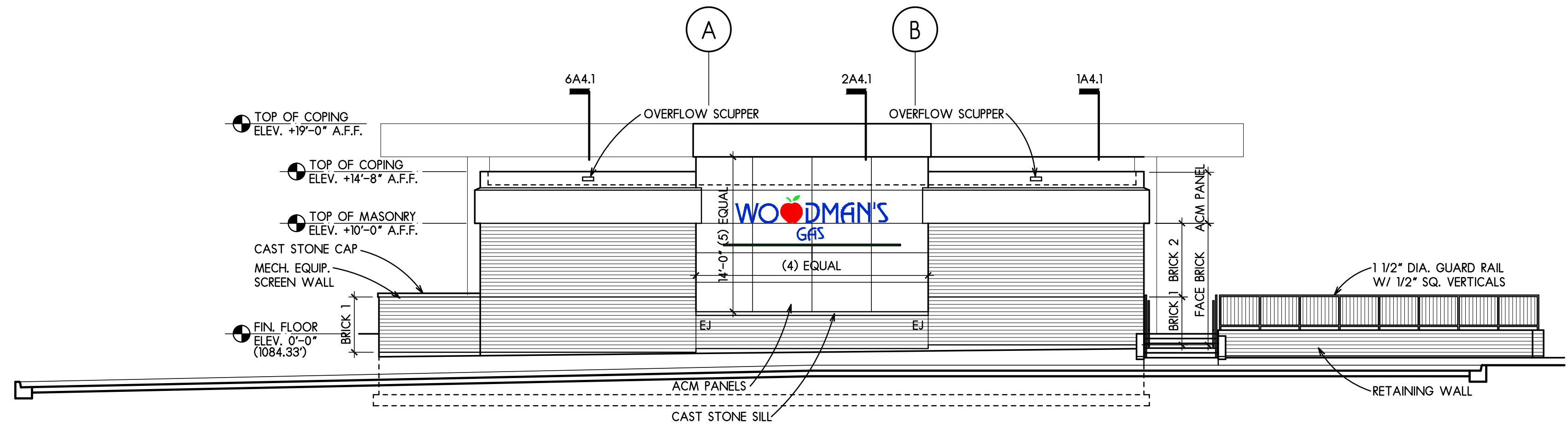
6 BUILDING SECTION
SCALE: 1/8" = 1'-0"



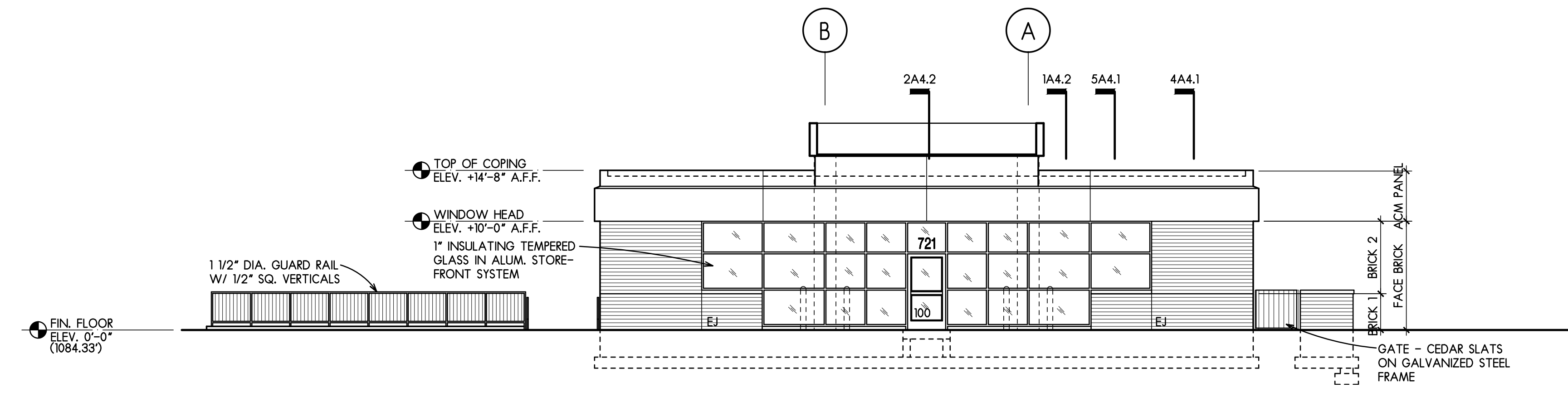
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



7 BUILDING SECTION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



**Building Systems
General Corp.**
5972 Executive Drive Suite 100
Madison, Wisconsin 53719
Phone: (608) 276-4400
Fax: (608) 276-4468

**WOODMAN'S
MARKETS**
EMPLOYEE OWNED

PROJECT NAME
WOODMAN'S
FOOD MARKET
REMODELING
721 SOUTH GAMMON ROAD
MADISON, WISCONSIN

CONSULTANTS

DRAWN	LDG
CHECKED	DJR
APPROVED	GWJ
REVISION:	
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DATE:

SCALE:
1/8" = 1'-0"

BSGC PROJECT NO.

BSGC DRAWING NO.
13-112

SHEET TITLE
EXTERIOR
ELEVATIONS &
BLDG. SECTIONS

SHEET NO.

A3.1

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