

BENTLEY GREEN DEVELOPMENT

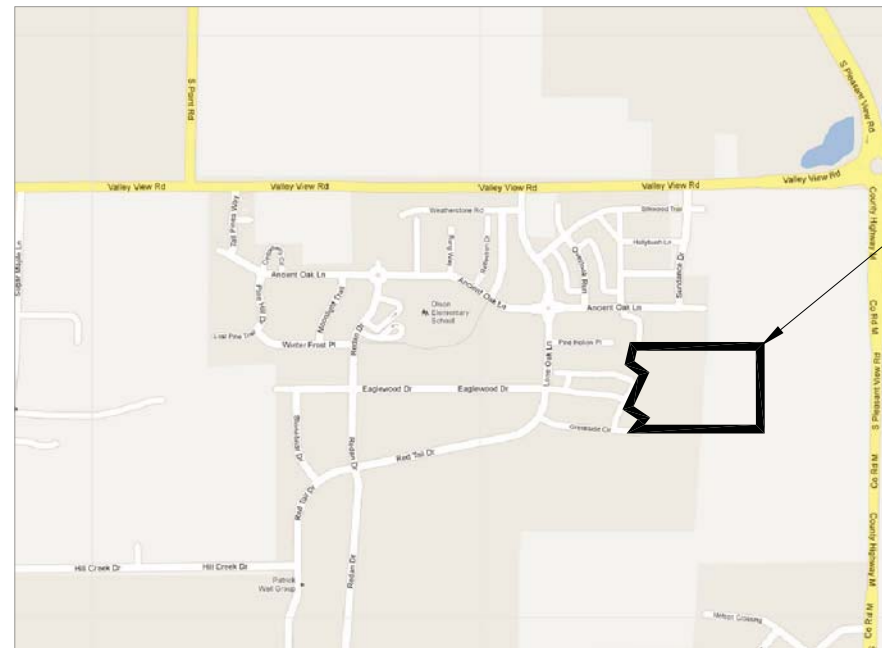
ALTERATION TO APPROVED CONDITIONAL USE PLAN

BENTLEY GREEN CONDOMINIUMS

2 GREENSIDE CIRCLE

CITY OF MADISON, DANE COUNTY, WISCONSIN

FOR
 THE BENTLEY GROUP
 2303 W. BELTLINE HIGHWAY
 MADISON, WI 53713
 CONTACT: SEAN BAXTER



PROJECT LOCATION

SHEET NO.	DESCRIPTION
T1.0	TITLE SHEET
C2.0	EXISTING SITE PLAN
C3.1	PROPOSED SITE PLAN
C3.2	GRADING PLAN – PHASE 2 & 3
C3.3	UTILITY PLAN – PHASE 2 & 3
L1.1	LANDSCAPING PLAN – PHASE 2 & 3
A1.1–A1.5	DUPLEX BUILDING PLANS
A2.1–A2.5	SINGLE UNIT BUILDING PLANS

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN
DATE 9-19-12
DRAFTER
RART/MMAR
CHECKED
PROJECT NO. 35107298
SHEET T1.0
DWG. NO.

Bentley Green Development
 Alteration to Approved Conditional Use Plan
 Title Sheet
 City of Madison, Wisconsin



CALL DIGGER'S HOTLINE
 1-800-242-8511
 TOLL FREE
 TELEFAX: 1-800-338-3860
 TDC (FOR HEARING IMPAIRED):
 1-800-542-2289
 WIS. STATUTE 182.0175 (1979)
 REQUIRES MINIMUM OF 3 WORKING DAYS
 NOTICE BEFORE YOU EXCAVATE.

DESIGN TEAM

CIVIL ENGINEER
 VIERBICHER
 999 FOURIER DRIVE, SUITE 201
 MADISON, WI 53717
 CONTACT: DAVE GLUSICK
 608-821-3947




LANDSCAPE ARCHITECT
 VIERBICHER
 999 FOURIER DRIVE, SUITE 201
 MADISON, WI 53717
 CONTACT: SUZANNE VINCENT
 608-821-3963

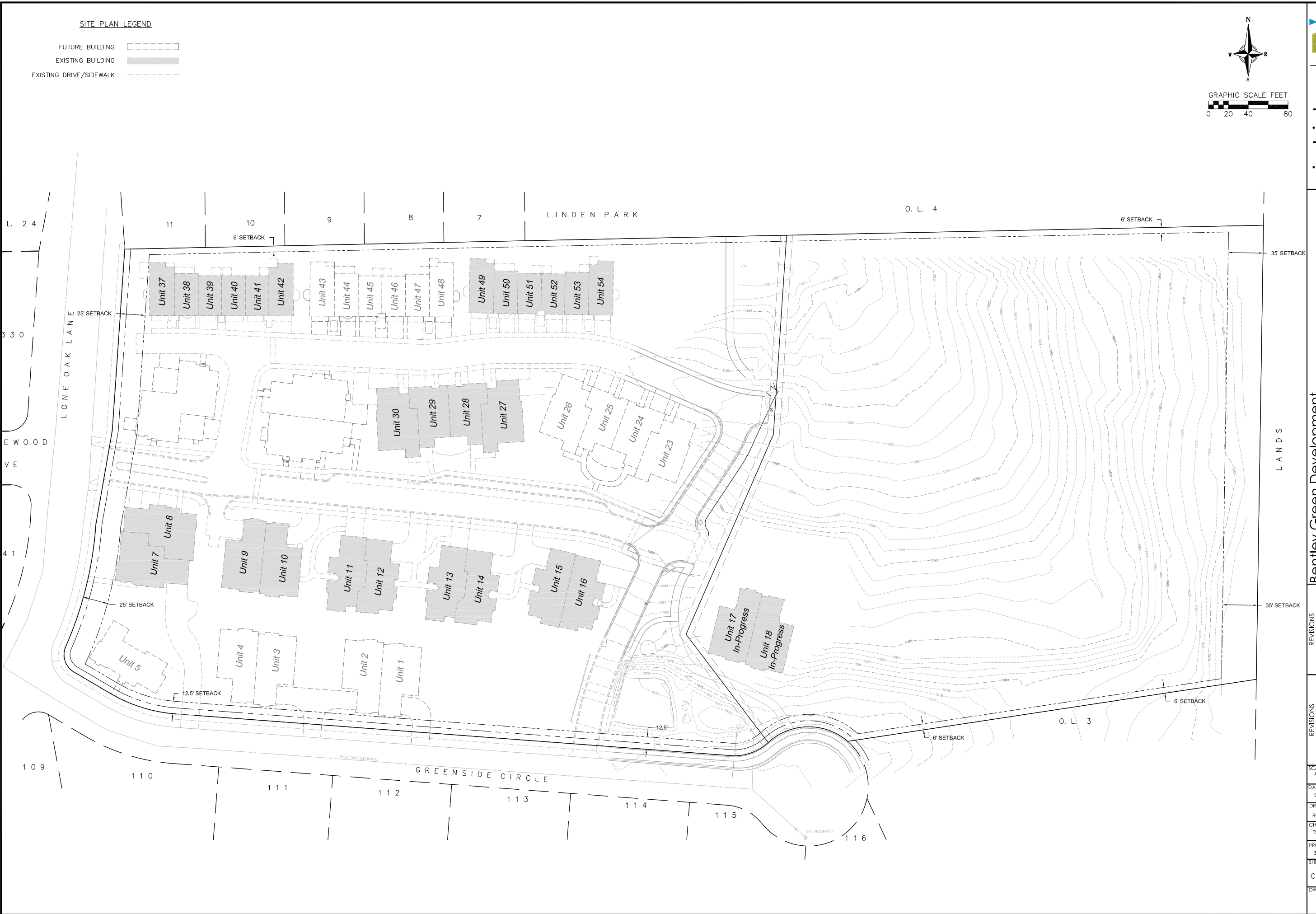
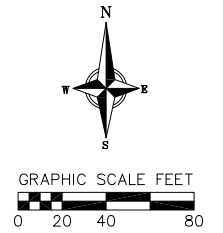
ARCHITECT
 AMERICAN DESIGN CONCEPTS
 1334 APPLGATE ROAD
 MADISON, WI 53713
 CONTACT: TOM NICEWANDER
 608-273-0770

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

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SITE PLAN LEGEND

- FUTURE BUILDING 
- EXISTING BUILDING 
- EXISTING DRIVE/SIDEWALK 



Bentley Green Development
 Alteration to Approved Conditional Use Plan
 Existing Site Conditions
 City of Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 9-19-12

DRAFTER RART

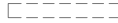

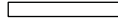
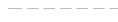
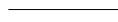
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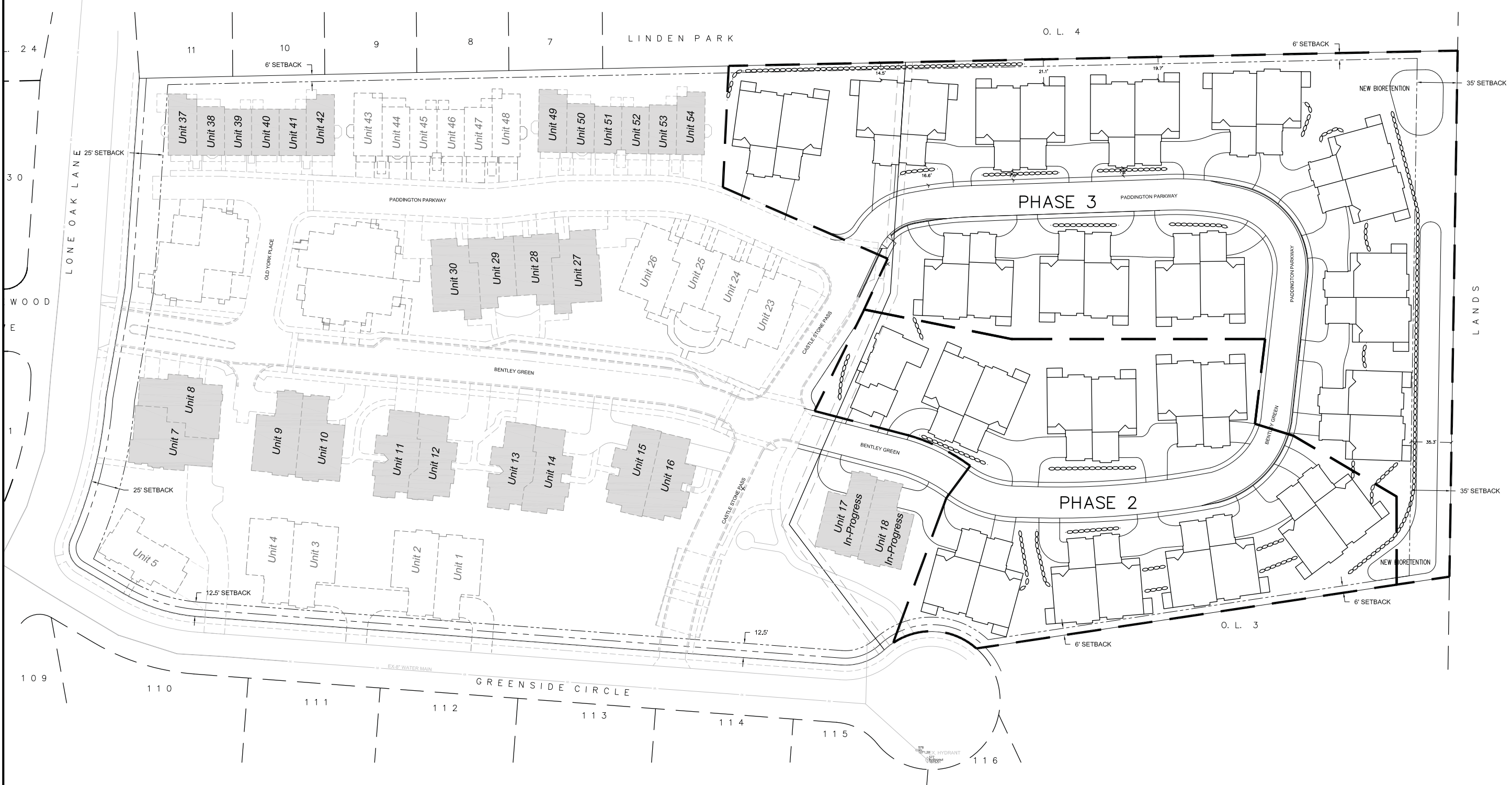
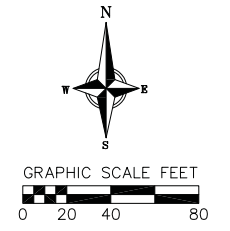
PROJECT NO. 35107298

SHEET C2.0

DWG. NO.

SITE PLAN LEGEND

- FUTURE BUILDING 
- EXISTING BUILDING 
- PROPOSED BUILDING 
- EXISTING DRIVE/SIDEWALK 
- PROPOSED DRIVE/SIDEWALK 



Bentley Green Development
 Alteration to Approved Conditional Use Plan
 Proposed Site Plan
 City of Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE: 9-19-12

DRAFTER: RART

CHECKED: TSCH

PROJECT NO.: 35107298

SHEET: C3.1

DWG. NO.:

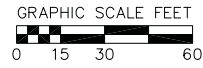


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 REEDSBURG - MADISON - FRAIRIE | CHEN
 999 Fouler Drive, Suite 201 | Madison, Wisconsin 53717
 Phone: (608) 826-0532 Fax: (608) 826-0530

Bentley Green Development
 Alteration to Approved Conditional Use Plan
 Grading Plan - Phase 2 & 3
 City of Madison, Wisconsin

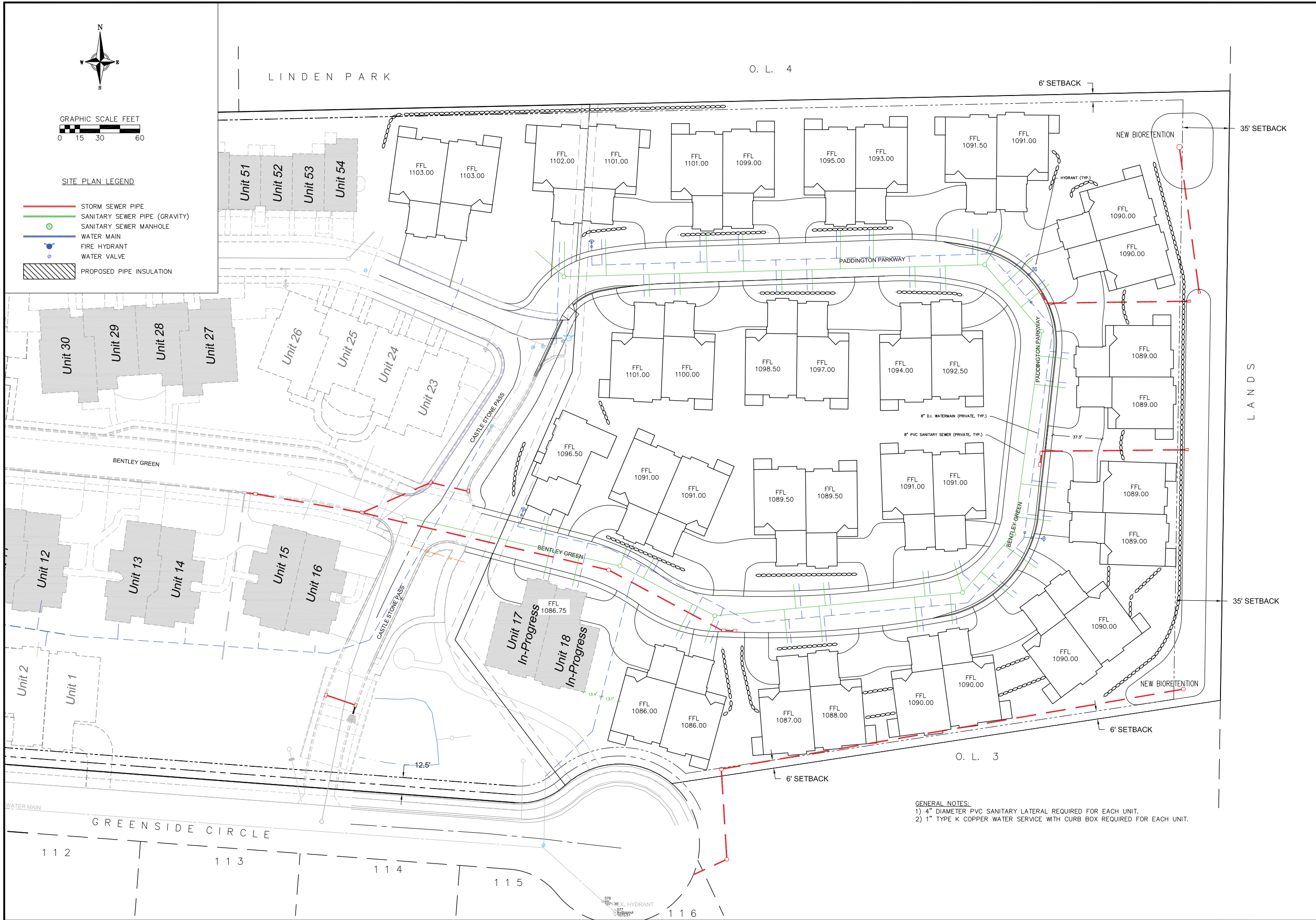
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SCALE AS SHOWN
 DATE 9-19-12
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 PROJECT NO. 35107298
 SHEET C2.00F
 DWG. NO.



SITE PLAN LEGEND

- STORM SEWER PIPE
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER MANHOLE
- WATER MAIN
- FIRE HYDRANT
- WATER VALVE
- PROPOSED PIPE INSULATION



GENERAL NOTES:
 1) 4" DIAMETER PVC SANITARY LATERAL REQUIRED FOR EACH UNIT.
 2) 1" TYPE K COPPER WATER SERVICE WITH CURB BOX REQUIRED FOR EACH UNIT.

Bentley Green Development
 Alteration to Approved Conditional Use Plan
 Utility Plan - Phase 2 & 3
 City of Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 9-19-12

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PROJECT NO. 35107298

SHEET C3.3

DWG. NO.

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18 Sep 2012 - 6:01p M:\Bentley Group\35107298_Bentley Green Condo\ENGINEERING\Civil\35107298-Landscape.dwg by:svn

key	qty	botanical name	common name	planting size	root cond.	mature size (h x w)
leaf deciduous trees						
Af	#	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2" cal.	B&B	45' x 40'
Ca	#	<i>Celtis occidentalis</i>	Common Hackberry	2" cal.	B&B	50' x 50'
Gb	1	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	2" cal.	B&B	50' x 30'
Gt	#	<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Honeylocust (Thornless/Seedless)	2" cal.	B&B	45' x 30'
Pl	#	<i>Phellodendron lavalleyi</i>	Carikree	2" cal.	B&B	45' x 50'
Qr	3	<i>Quercus rubra</i>	Red Oak	2" cal.	B&B	70' x 65'
understory trees						
Ag	#	<i>Amelanchier x grandiflora</i>	Apple Serviceberry	1.5" cal.	B&B	25' x 25'
Co	#	<i>Cornus alternifolia</i>	Pagoda Dogwood	#5	cont.	20' x 20'
Vp	#	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	#3	cont.	15' x 20'
evergreen trees						
JF	#	<i>Juniperus chinensis</i> 'Fairview'	Fairview Juniper	4' ht.	B&B	18' x 6'
JG	#	<i>Juniperus virginiana</i> 'Glauca'	Silver Juniper	5' ht.	B&B	25' x 12'
Li	#	<i>Larix laricina</i>	American Larch	6' ht.	B&B	40' x 12'
Pg	#	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	5' ht.	B&B	30' x 20'
Ps	#	<i>Pinus strobus</i>	Eastern White Pine	6' ht.	B&B	65' x 30'

- GENERAL NOTES:**
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per specified application rates.
 - All plantings shall conform to quality requirements as per ANSI Z60.1.
 - All tree plantings to be mulched with natural colored shredded hardwood bark mulch to 3" depth min. within a 3' min. radius of the trunk. Do not mound mulch against trunk.
 - Areas labeled "Bioretention" to be seeded with Rainwater Renewal seed mix by Agrecol, or equal, at manufacturer's specified application rate.



LEGEND

- CANOPY TREE
- EVERGREEN TREE
- UNDERSTORY TREE

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Bentley Green Development
Alteration to Approved Conditional Use Plan
Preliminary Common Area Landscape Plan
City of Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE: 09.18.12

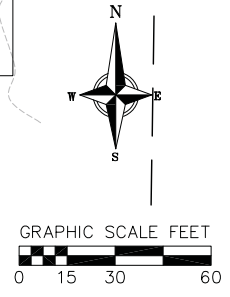
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CHECKED: TSCH

PROJECT NO.: 35107298

SHEET: L1.1

DWG. NO.:





FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

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ELEVATIONS
SCALE: 1/4" = 1'

PLAN START DATE 04/16/12
REVISED 05/12/12

AMERICAN DESIGN CONCEPTS

Bentley Green Development
Alteration to Approved Conditional Use Permit
Duplex Unit

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LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SIDE ELEVATIONS
SCALE: 1/4" = 1'

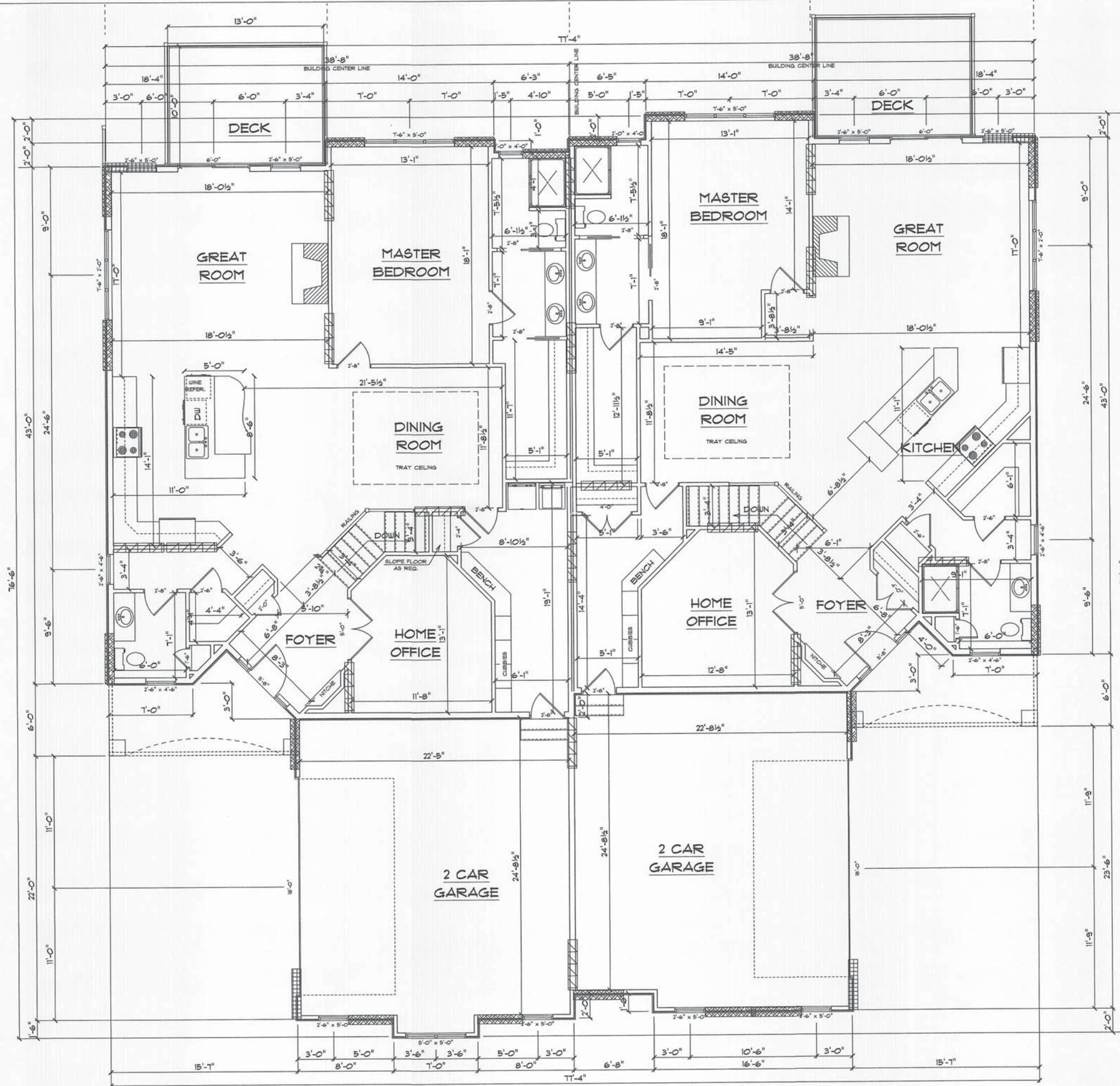
PLAN START DATE 04/16/12
REVISED 09/12/12

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Bentley Green Development
Alteration to Approved Conditional Use Permit
Duplex Unit

A 1.2

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4'-0" STRUCTURAL DRYWALL BRACING
 Minimum 1/2" gypsum board panels fastened at panel edges including the top and bottom plates at 1" o.c. Minimum braced wall panel length shall be 36" where gypsum board is applied on one side only and 48" where applied to both sides of the wall.



4'-0" STRUCTURAL SHEATHING
 Minimum 7/16" wood structural panel sheathing with all edges fastened to framing or blocking with 8d nails at 6" o.c. along edges and 12" o.c. in the field. Minimum braced wall panel length vary 18" - 48".



CONTINUOUSLY SHEATHED PER S.COMM 21.25(9)(C)5.

G.C. TO VERIFY AND APPROVE SHEATHING SCHEDULE PRIOR TO CONSTRUCTION

GENERAL STRUCTURAL NOTES

Double top plates are required over all studs and headers. The end joint offset between the two top plates shall be at least 2 stud spaces. Joints in the top plates shall be installed only over studs. The two top plates shall be nailed together with a minimum of (3) 12d x 3" nails or (2) 16d x 3-1/4" nails.

Bottom wall plates shall be fastened to the floor system with a minimum of (2) 12d x 3" nails through the bottom plate into the floor joist below.

1ST FLOOR LAYOUT
 SCALE: 1/4" = 1'-0"
 1756 SQFT FINISHED AREA PER UNIT

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 ALL TALL WALLS GREATER THAN 10'-0" TO BE ENGINEERED BY MATERIAL SUPPLIER

FIRST FLOOR FLOOR PLAN
351/2 TOTAL SQFT FINISHED AREA
1756 SQFT FINISHED AREA PER UNIT
SCALE: 1/4" = 1'
PLAN START DATE 04/16/12
REVISED 09/12/12

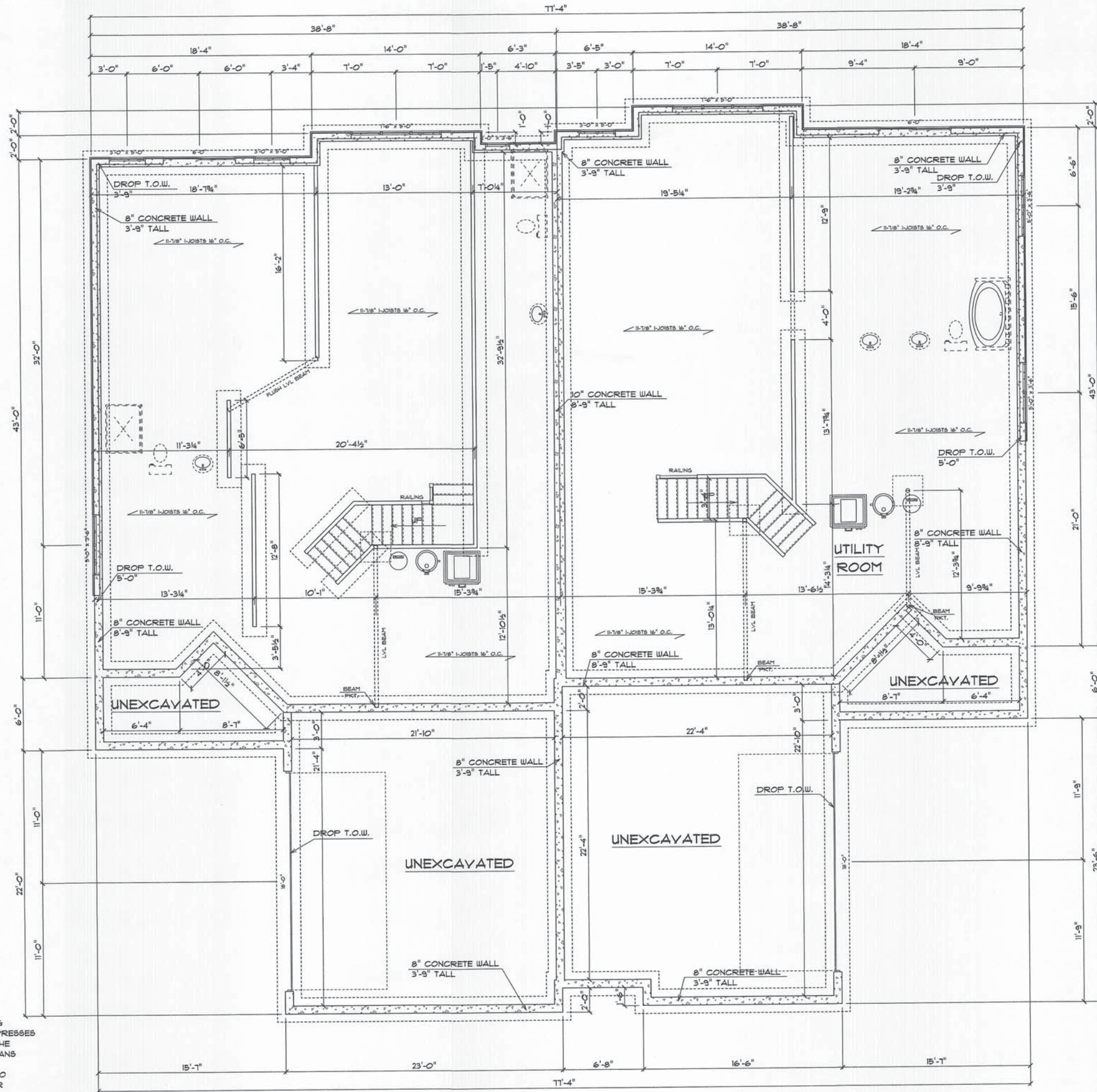
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Bentley Green Development
 Alteration to Approved Conditional Use Permit
 Duplex Unit

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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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FOUNDATION PLAN
SCALE: 1/4" = 1'

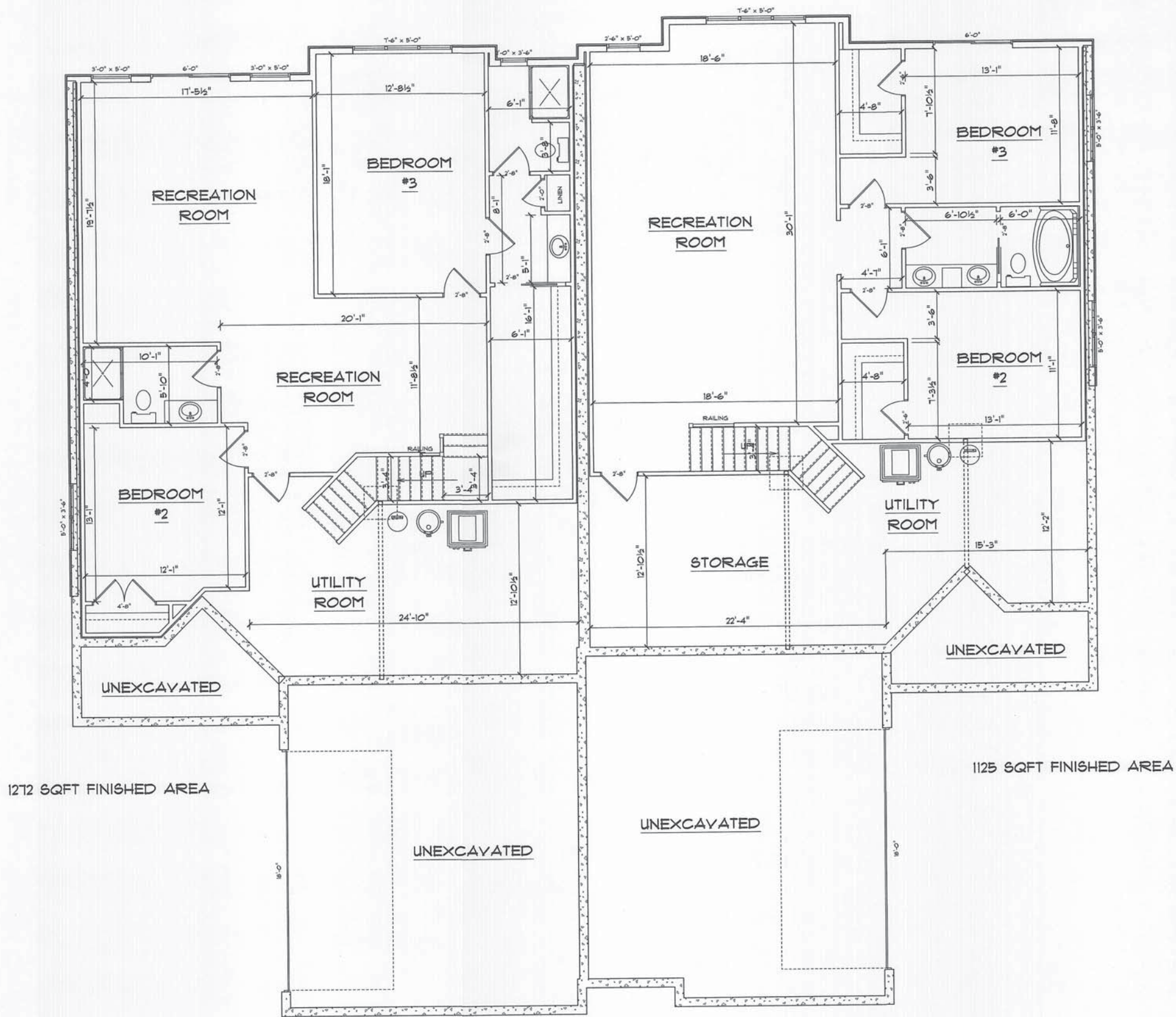
PLAN START DATE 04/10/12
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Alteration to Approved Conditional Use Permit
Duplex Unit

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FOUNDATION FINISH PLAN
SCALE: 1/4" = 1'-0"

A 1.5

FOUNDATION FINISH PLAN
2579 SQFT TOTAL FINISHED AREA
SCALE: 1/4" = 1'

PLAN START DATE: 04/16/12
REVISED: 09/12/12

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Bentley Green Development
Alteration to Approved Conditional Use Permit
Duplex Unit

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FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

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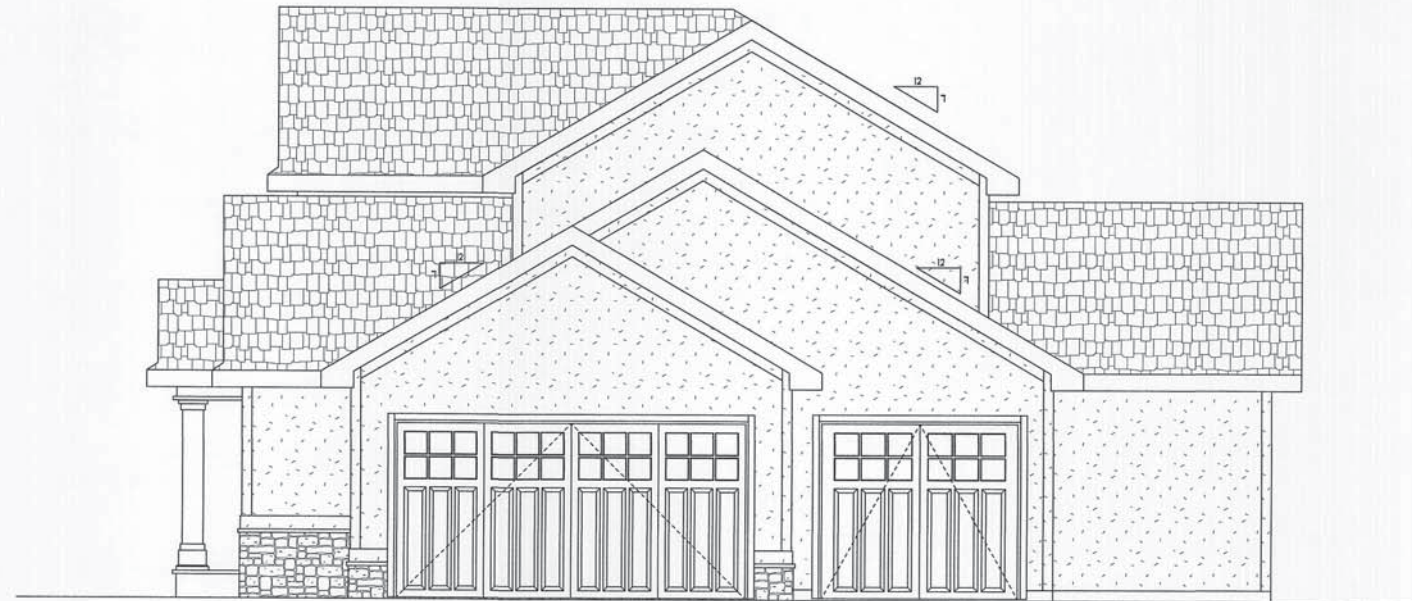
ELEVATIONS
SCALE: 1/4" = 1'

PLAN START DATE 08/11/02
REVISED 08/16/02
REVISED 05/24/02

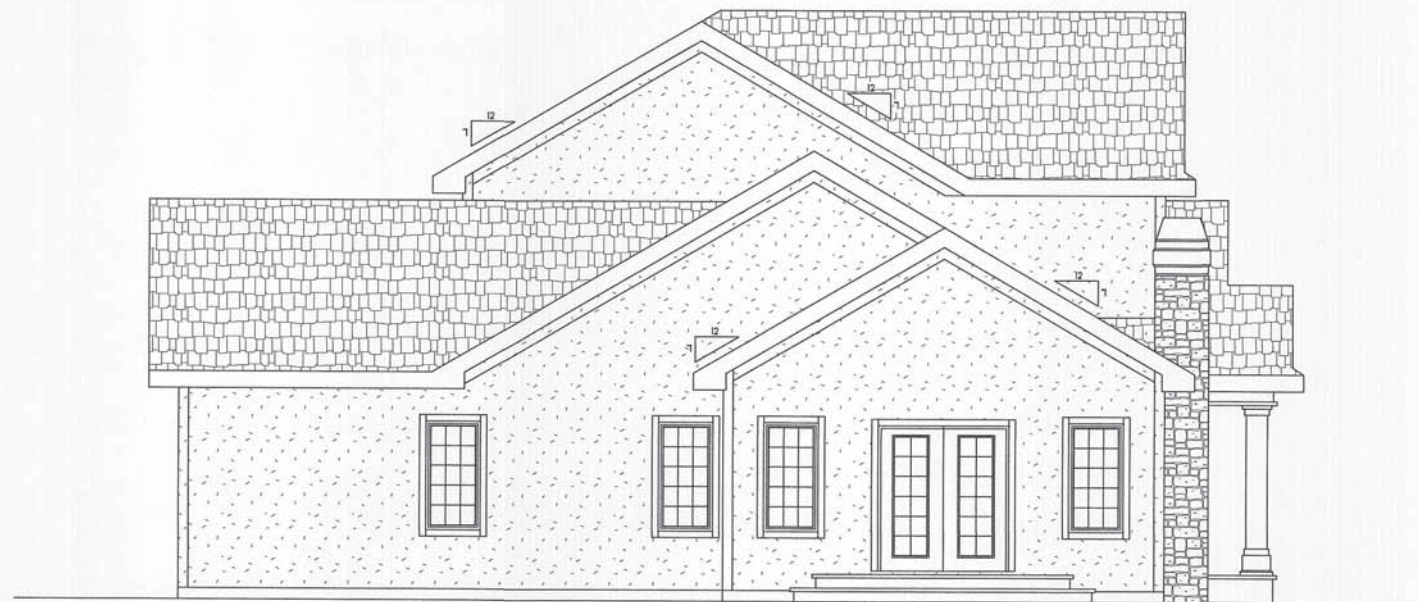
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Bentley Green Development
Alteration to Approved Conditional Use Permit
Single Unit

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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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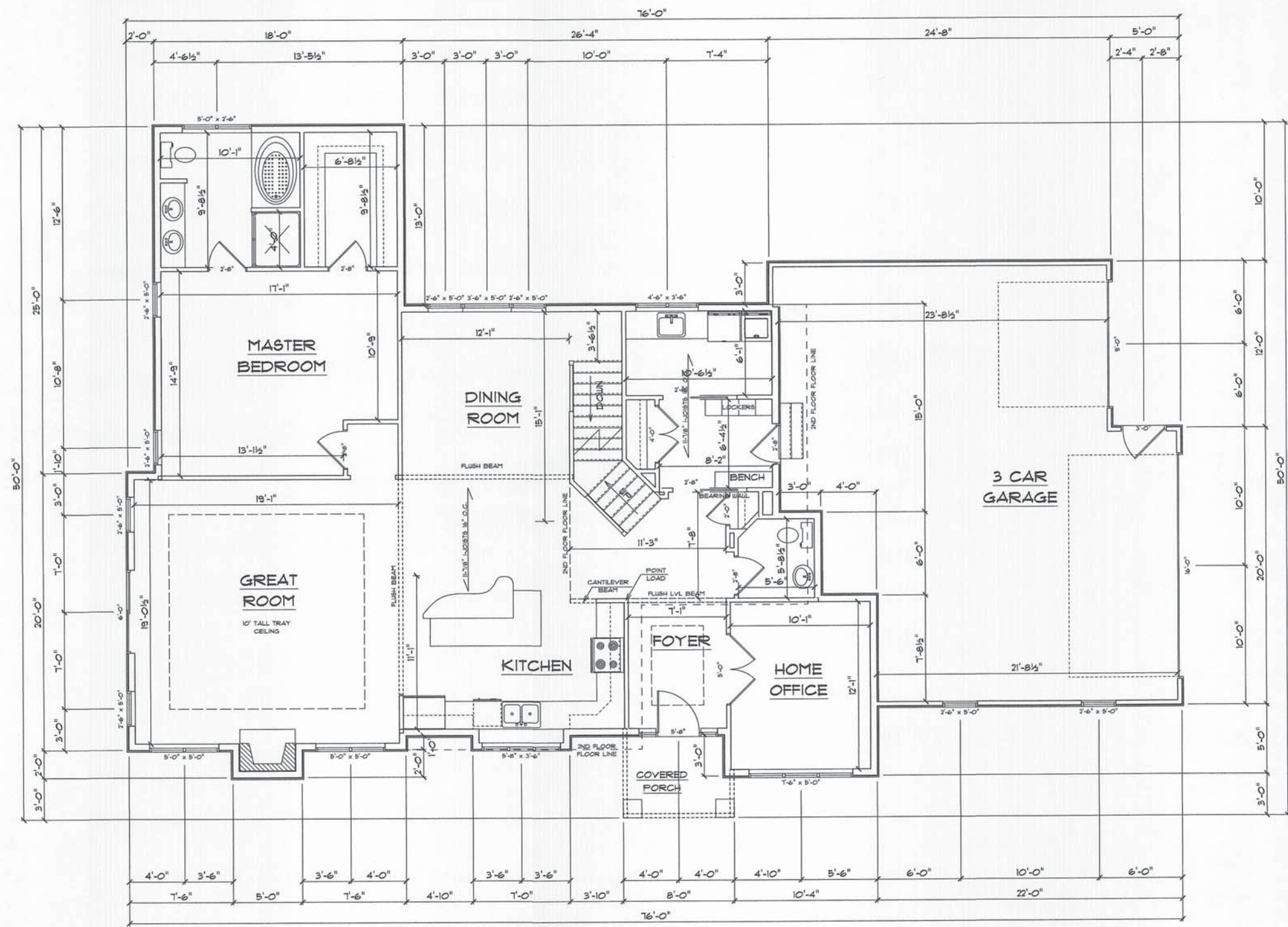
SIDE ELEVATIONS
SCALE: 1/4" = 1'

PLAN START DATE 08/1/02
REVISED 08/18/02
REVISED 08/24/02

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Alteration to Approved Conditional Use Permit
Single Unit

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1ST FLOOR LAYOUT
 SCALE: 1/4" = 1'-0"
 1798 SQFT FINISHED AREA

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A 2.3

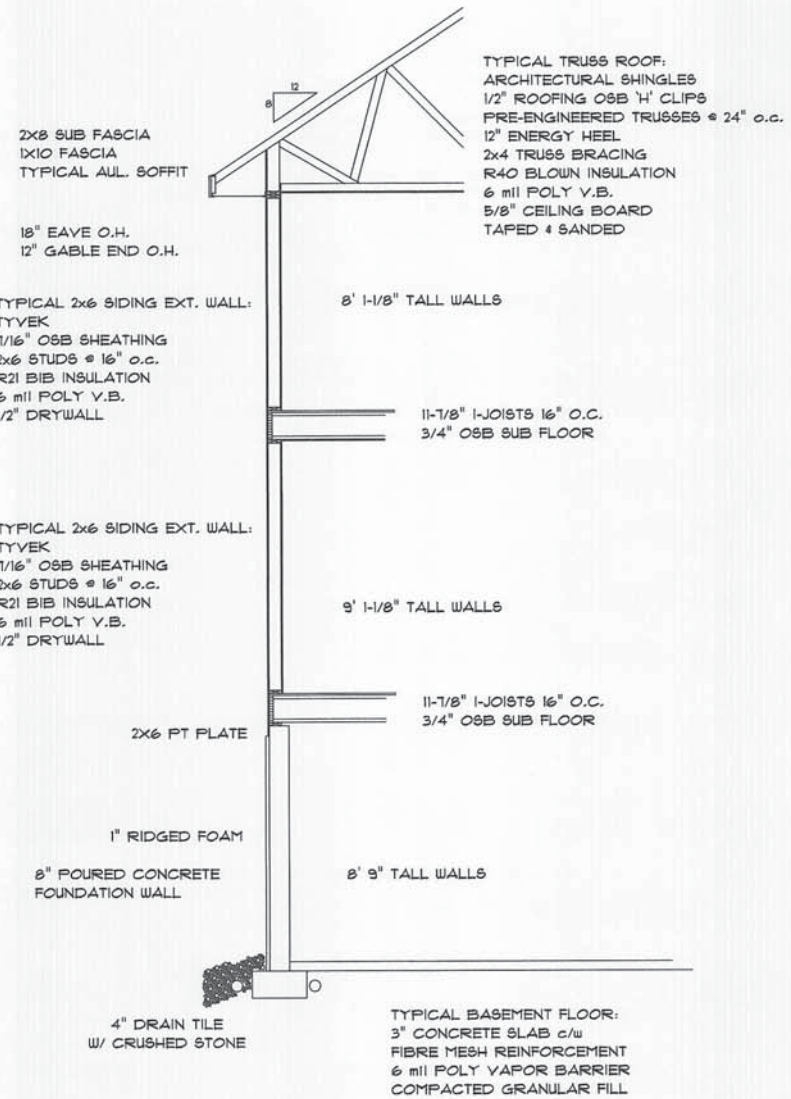
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 Alteration to Approved Conditional Use Permit
 Single Unit

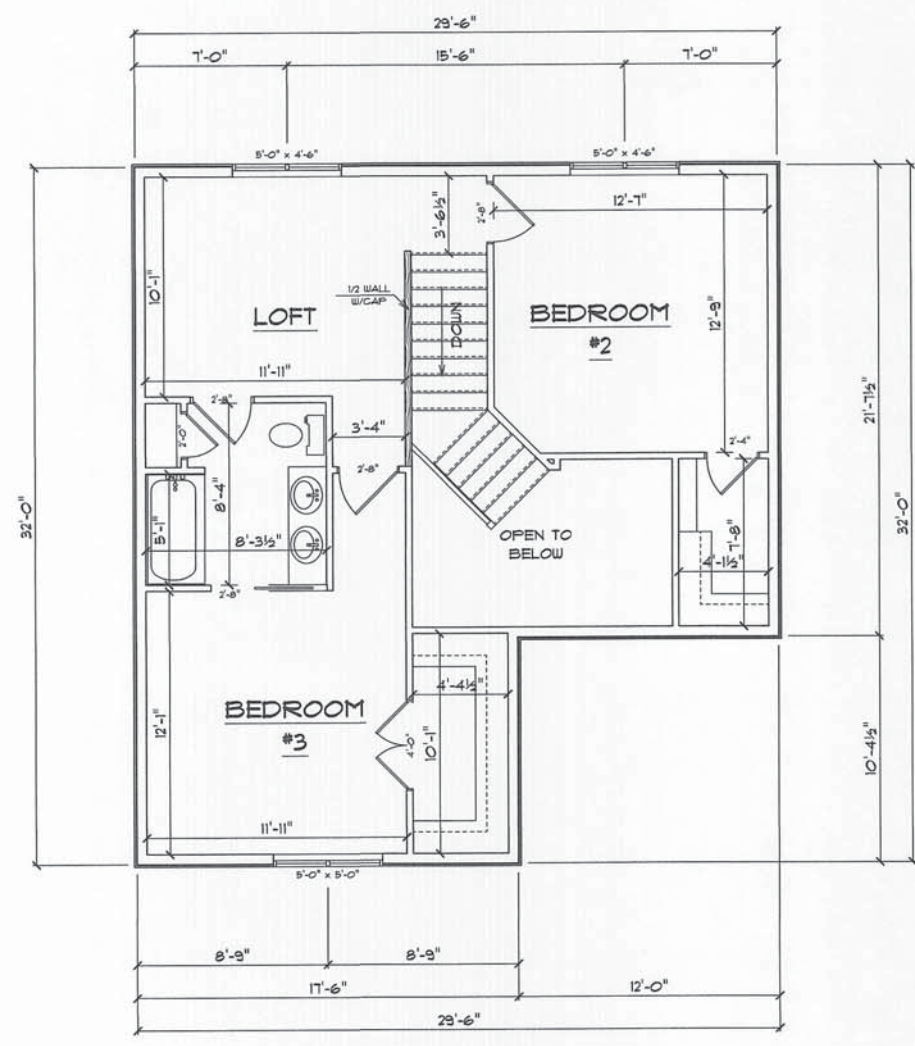
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FIRST FLOOR FLOOR PLAN
 1798 SQFT FINISHED AREA
 SCALE: 1/4" = 1'-0"

PLAN START DATE 08/11/02
 REVISION 08/19/02
 REVISION 09/24/02



SECTION THROUGH
 TYPICAL



2ND FLOOR LAYOUT
 SCALE: 1/4" = 1'-0"
 670 SQFT FINISHED AREA

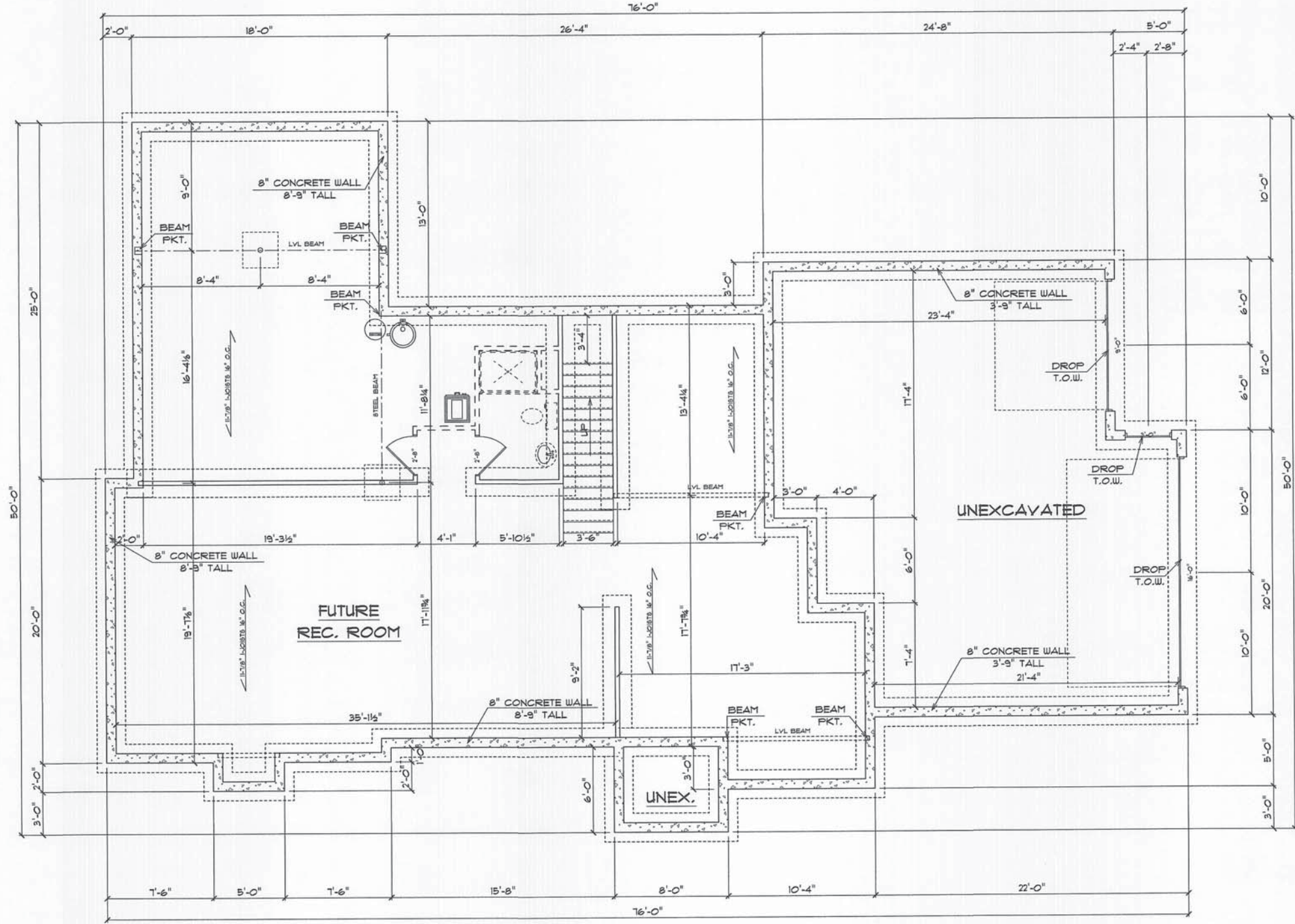
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SECOND FLOOR FLOOR PLAN 670 SQFT FINISHED AREA SCALE: 1/4" = 1'	
PLAN START DATE 08/10/08	
REVISED 08/19/08	
REVISED 08/24/08	

AMERICAN DESIGN CONCEPTS

Bentley Green Development
 Alteration to Approved Conditional Use Permit
 Single Unit

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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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A 2.5

FOUNDATION PLAN
SCALE: 1/4" = 1'

PLAN START DATE 05/10/02
REVISED 05/18/02
REVISED 05/24/02

AMERICAN DESIGN CONCEPTS

Bentley Green Development
Alteration to Approved Conditional Use Permit
Single Unit

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