

CITY OF MADISON

Proposed Rezoning

Location: 401 North Third Street

Applicant: Randy Manning - PDQ Food Stores

From M1 District(s)

To PUD (GDP-SIP) District(s)

Existing Use: Vacant Trucking Operation

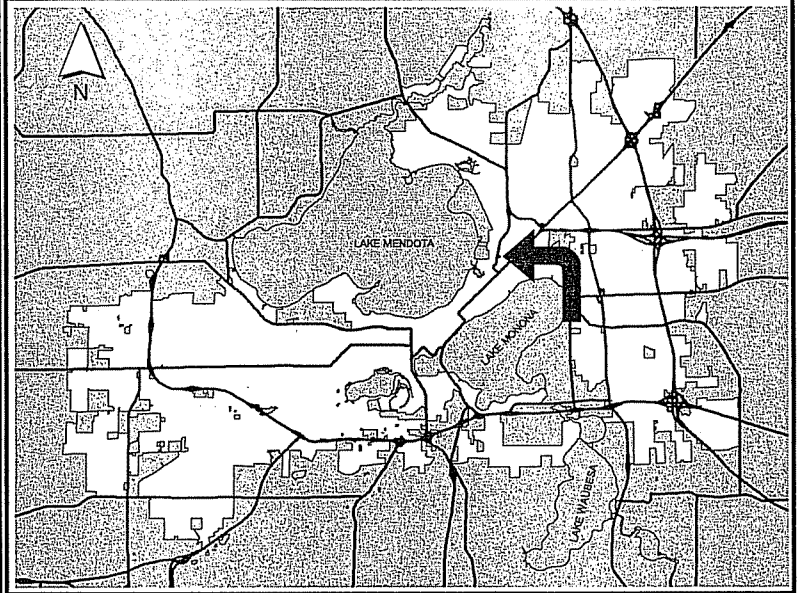
Proposed Use: Demolish Existing Structure and Build Convenience Store w/Gas Sales

File No. _____

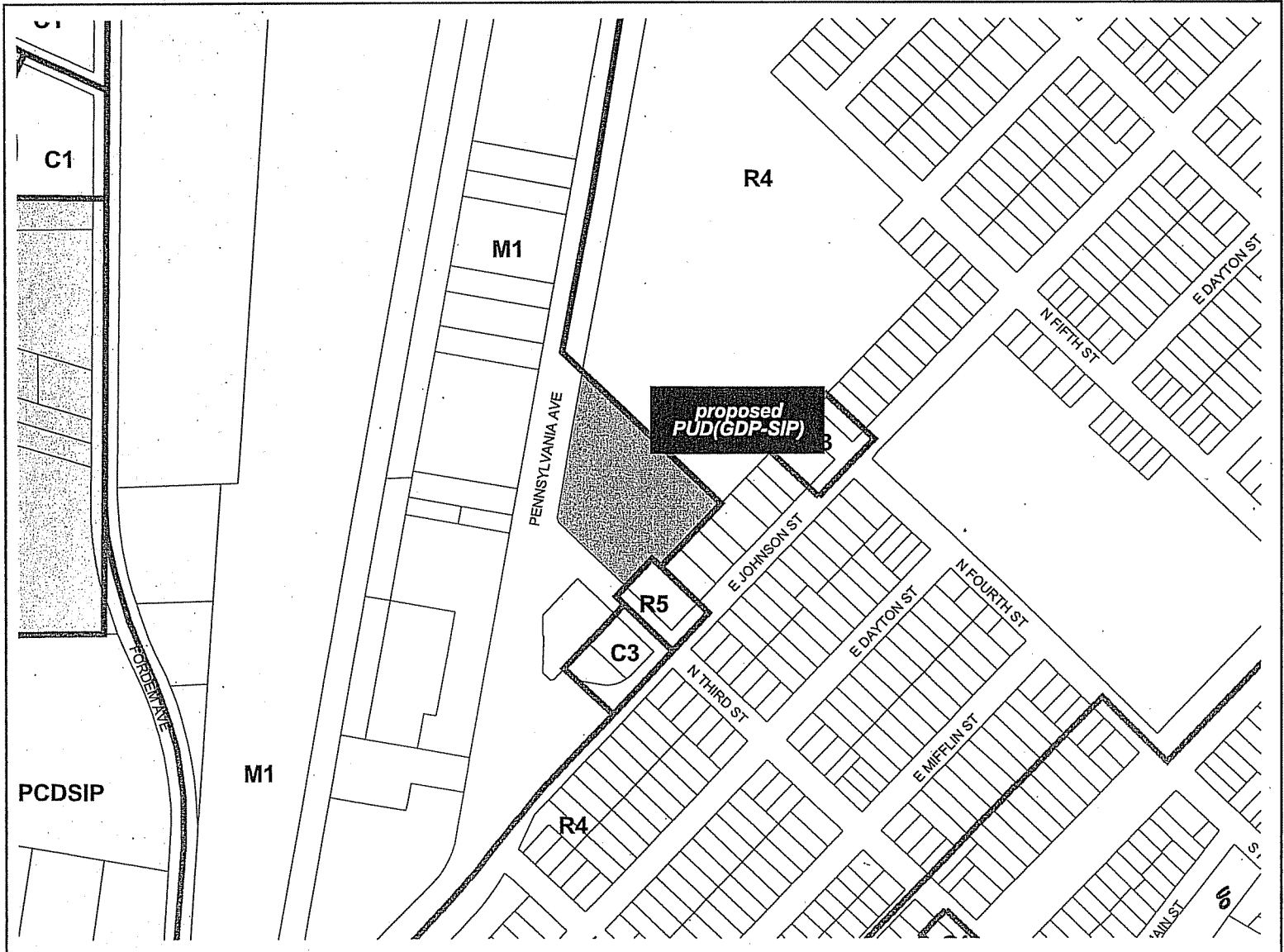
Public Hearing Dates:

Plan Commission 22 August 2005

Common Council 06 September 2005

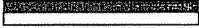


For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

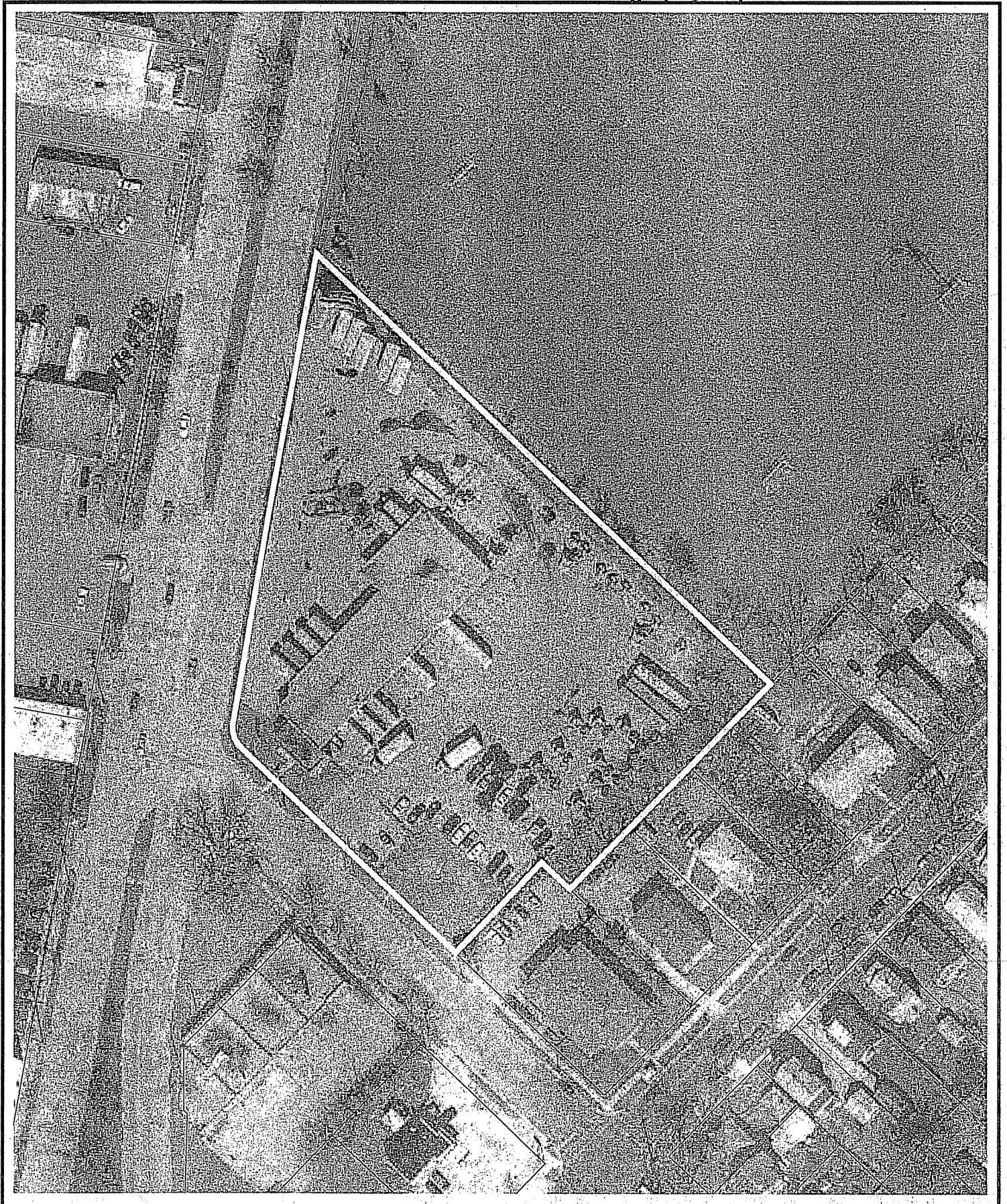


401 North Third Street

0 100 Feet



Date of Aerial Photography - April 2000



9153

LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid 1650 - Receipt No. 62063
 Date Received 6/22/05
 Received By MQP
 Parcel No. 07101 062 1402 8
 Aldermanic District 12-BENFORD
 GQ EXISTING C.U. / UDC
 Zoning District M1
For Complete Submittal
 Application Letter of Intent
 IDUP Legal Descript.
 Plan Sets Zoning Text
 Alder Notification 5/19 Waiver
 Ngrbrhd. Assn Not. 5/19 Waiver
 Date Sign Issued 6/22/05

1. Project Address: 401 N. Third Street **Project Area in Acres:** 2.63 acres

Project Title (if any): PDQ Food Stores

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from _____ to _____ Rezoning from M-1 to PUD/PCD-SIP
 Rezoning from M-1 to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use Demolition Permit Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Randy Manning Company: PDQ Food Stores, Inc

Street Address: P.O. Box 620997 City/State: Middleton, WI Zip: 53562

Telephone: () 828-2176 Fax: () 828-2195 Email: rmanning@pdqstores.com

Project Contact Person: Randy Manning Company: _____

Street Address: _____ City/State: _____ Zip: _____

Telephone: () _____ Fax: () _____ Email: _____

Property Owner (if not applicant): PDQ Food Stores, Inc.

Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Convenience store with gas pumps and car wash (see letter of intent and plan of operation for more detail)

Development Schedule: Commencement September, 2005

Completion February, 2006

CONTINUE →



5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - *Seven (7) copies* of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - *Seven (7) copies* of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - *One (1) copy* of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ _____ See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28:04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

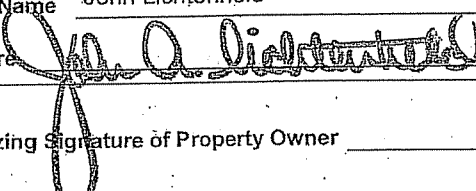
- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of N/A Plan, which recommends: _____ for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
 Brian Benford, neighborhood meeting on July 15th, 2004, emailed Brian on May 19, 2005 re notification of filing zoning.

 If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner <u>Bill Roberts</u> Date <u>5/25/05</u>	Zoning Staff <u>Kathy Voeck</u> Date <u>5/17/05</u>
DID NOT OCCUR	

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name John Lichtenheld Date 6/22/05

Signature  Relation to Property Owner Consultant

Authorizing Signature of Property Owner _____ Date _____

8



June 21st 2005

City of Madison
Dept of Planning and Development
Madison Municipal Building
215 Martin Luther King, Jr. Boulevard
P.O. Box 2984
Madison WI 53701-2984

RE: Letter of Intent for Rezoning and Plan of Operation

Dear Members of Urban Design, Plan Commission, Common Council and Planning Staff:

At this time PDQ Food Stores Inc a privately owned and operated company with headquarters located in Middleton WI is applying for a Rezoning for the property located at 401 North Third Street in Madison WI. Included in this request is a Plan of Operation for your review.

Currently the property which is located on the Southeast side of Pennsylvania Avenue and Northeast side of Third Street is not being used for any commercial propose. The property was the home of Consolidated Freights a 24-hour trucking operation. The company filed for bankruptcy and property was sold at public auction to PDQ Food Stores Inc.

The property about 2.6 acres is currently zoned M-1. On the property is a masonry building with an attached office and many loading docks. Parts of the rooflines are pitched and some is flat.

Environmental Testing of property and past studies have determined the property has contamination and poor soil conditions that will need to be corrected.

PDQ Food Stores Inc. would like to clean up the existing environmental contamination up to standard required by the governing agencies and redevelop the property into a PDQ convenience store with car wash.

PDQ Food Stores will own and operate the facility in its entirety, relying on its 50 years of experience in the convenience store industry.

PDQ is planning on building a masonry wood structure around 6,000 square feet in size. The building will be approximately 100 feet long and 60 foot wide with a shingled hip roof. Incorporated into the building are many windows. The entire front side of the building and part of the western side of the building will have large windows.

The dumpster area is made out of the same material as the building and is completely enclosed. The area will be approximately seven and half feet high to shield any and all items enclosed in area. PDQ puts the condensers and HVAC equipment in this enclosure to give a clean attractive looking appearance. Part of PDQ's security is to allow garbage removal only during daytime hours and with double coverage. Access to the dumpster area is through a door from the store. This area is monitored by a camera and recorded.

PDQ is proposing seven gasoline dispensers under one canopy and three diesel islands under a separate canopy. The gasoline canopy will be orientated towards Pennsylvania Avenue. Entrance to the sight will be from a driveway located on Third Street and one from Pennsylvania Avenue. The diesel islands are separated for the convenience of our customers. Most of our diesel customers are landscapers and contractors with trailers requiring additional turning space for their vehicles and attachments. We feel this will be a great addition and convenience to the neighboring businesses in the industrial park.

The car wash will be constructed with the same materials as the convenience store, with a shingled hip roof. PDQ is proposing one building approximately 55 feet by 60 feet with two brushless washes. The wash will have windows on the side of the building allowing natural light into the bays and adding to the architectural integrity of the entire operation.

PDQ believes quality is of great importance and strives to provide the highest quality products possible. PDQ prepares a tempting variety of croissants, pastries, muffins; cinnamon rolls, turnovers, cookies and much more in our stores. We also offer a variety of fresh sandwiches to fit your every need. This store will prepare breakfast sandwiches sold hot with eggs, sausage/ham, and cheese served on an English muffin.

PDQ will also be offering a full service deli allowing customers to get made to order sandwiches or purchase a freshly prepared sandwich from the deli case. Other items of interest are Hot Dogs, Hamburgers, Cheeseburgers, hot soups, fresh salads, vegetable salads, fruit salads, pasta, potato and macaroni salads along with rotisserie chicken and beef.

PDQ will provide around 16 cooler doors stocked with cold beverages, meats, cheeses and other cool snacks. Freezer space will be from four to six doors for a large product mix for the consumers from the adjoining industrial park.

PDQ operation is 24 hours to serve the neighboring community. The surrounding area is mainly industrial with many sights operating 24 hours. PDQ believes are costumers come from the neighboring properties or are part of the traffic that drives by on a daily basis. PDQ would anticipate six to eight full time employees with another eight to ten part time employees. The store will have a full time manager that will be making around \$40,000 a

year with benefits. The manager will hire one or two assistants who will make around \$30,000 per year with benefits. The part time employees will start around \$8.50 to \$9.00 per hour and advance based on hours worked and job duties accepted.

All employees are required to go through a screening process before hire and complete required training. PDQ has their own in house training staff along with an employee manual that needs to be reviewed by all employees.

Security of our employees is of great importance. PDQ takes many measures to protect are employees and it all begins with training during the hiring stage. All employees are taught to handle different situations that might occur at a store.

Visibility and lighting are used to help are costumers and employees feel safe. Lighting comes from flush mounted fixtures that direct the light down and not outward. This allows PDQ to get a bright appearing lot without contributing to light pollution off sight. PDQ has many windows on the store and strive to keep them clean and uncluttered. This allows good visibility from inside the store out and vise versa.

PDQ has cameras that record twenty-four hours a day. These cameras are located and placed by a professional in the security industry. We use these tapes for educational and instructional proposes beside the security issues.

Landscaping is an item that is not normally associated with security but plays an important part of the overall program. PDQ like landscaping but we want to make sure it is clean and not over grown providing a place for individuals to hide.

Our sight plan contributes to the safety of all by being wide open and attractive in appearance. PDQ makes sure to provide adequate trash receptacles and keeps them emptied. We provide plenty of parking near the store with easy turning movements. In this case we will have around twenty-five parking stall near the store with another twenty on the sight for employees and deliveries. This does not include the handicap stalls that will be placed according to code.

With an operation like PDQ's deliveries are required. Based on past experiences I believe the following deliveries will be taking place:

Groceries	once a week	mid-morning
Pop (3 companies)	once a week	mid-day
Beer (3 companies)	once a week	mid-day
Bread	3 times a week	5:00-6:00 AM
Milk	2 times a week	5:00-6:00 AM
Hostess	3 times a week	5:00-6:00 AM
Chips (2 companies)	2 times per week	mid-day
Gasoline	5 times per week	during operational hours
Donuts	Dailey	early morning
Ice	once per week	mid-day

There is ample room on sight for parking and delivery of products. No parking will need to take place on the street adjoining the property. Parking will most likely take place on north of the store and south of the car wash and diesel islands.

Since this property is located in an industrial area and near a couple of major transportation routes deliveries should not cause a problem for anyone. In fact all road designs and our internal design make traffic flow very smooth. This includes all turning and backing motions that might be encountered. At no time will any vehicle need to back or maneuver on the street. All truck movements can take place private property with no affect on the street traffic.

The properties surrounding the area are as follows and in my opinion will not be negatively affected by our project. In fact I think we will provide a service that many of the adjoining property owners will use.

Directly to the west and across the street are industrial uses. To the south is a used car lot and educational facility. To the north is a vacant field used for Madison East physical education classes and evening sport activities.

In a plan of operation you try to discuss and plan for negatives of this operation or potential problems it may cause. I'm having a tough time thinking of anything negative about this sight. The roads accessing the property have been built to handle large volumes of traffic including trucks and cars. The turning radius for vehicles is more than acceptable. The property is currently contaminated and not being used and will be cleaned up and redeveloped into an attractive viable business. Internal circulation has been reviewed and appears acceptable for the entire operation. Services not now being offered to this industrial area will possibly be available with the approval of this operation.

This type of use is acceptable in this district with a conditional use permit for automobile laundry. Selling of Motor Fuels is a permitted use in M-1. PDQ after consulting with Planning Staff has determined it would be in everbodies best interest to rezone to PUD and have entire operation reviewed. This will assure a high quality development compatible to all involved.

PDQ will be using the experience from 50 years of store operation and the talents of highly trained individuals to operate this store. Our sight plan is designed with both pedestrian and vehicular traffic in mind. Our entire staff is required to complete the PDQ training course. We also have supervisors who inspect and review store operations on a weekly basis. This supervisor or one is available 24 hours a day for phone calls and questions from store personnel.

PDQ Food Stores will offer product and services consistent with our other stores located in Madison and Milwaukee area. If you would like to see an operational store similar to the one we are proposing hear feel free to visit our store located at 4741 Lien Road in Madison WI, or one of our other many locations. If you happen to be in Waukesha WI

stop by and visit or store located at 2106 S. West Avenue. I have included a separate photo display of some stores. This will give you an idea of construction materials, colors and services offered.

The grocery category will include: milk & dairy, meats, cheese, breads, produce, chips, snacks, cereal, cigarettes, soft drinks, beer juices, bottled water, frozen food, ice cream, ice, paper products, detergents, cleaning supplies, pet foods, etc...

The health and beauty aid category will include: aspirin, cold medicines, first aid supplies. Toothpaste, shampoos, deodorants, shaving supplies, diapers, ect...

The general merchandise category will include: school supplies, greeting cards, fresh flowers, newspapers & magazines, toys, automotive products, batteries, cameras, flashlights, ect...

PDQ Food Service will include fresh cookies, muffins, and pastries baked at the store, fresh sandwiches prepared at the store or special order from the deli, fountain drinks/juices, delivered bakery, and fresh gourmet coffee World Cup coffee, including varieties of House Blend, Decaffeinated House Blend, Columbian, French Roast, Hazelnut, Decaffeinated Hazelnut, Irish Crème, Sumatran, and special flavor each month. The coffee offering will include 3-4 flavors of cappuccino.

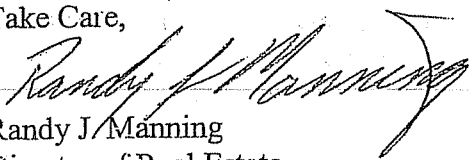
PDQ will offer three grades of fuel at each of the seven self- service gasoline dispensers. The dispenser will have credit card readers allowing costumers to complete their transaction at the island if they wish. One or two of the dispensers will have a diesel product for the consumer driving a diesel-operated car.

Additional services PDQ will offer are an automated teller machine (ATM) located inside the store, money order, PDQ accepts checks for purchases, air machine, and photocopier are part of the additional services provided for our costumers.

I have tried to provide as much information as possible about our operation to assist you in making an informed decision. If you have further questions or comments please feel free to contact me at 608-444-2813.

Thanks in advance for your time and consideration on this matter.

Take Care,


Randy J Manning
Director of Real Estate

**Zoning Text GDP/SIP
PDQ 401 N. Third Street**

Legal Description: The lands subject to this planned unit development shall include those described in Sheet C-1, attached hereto.

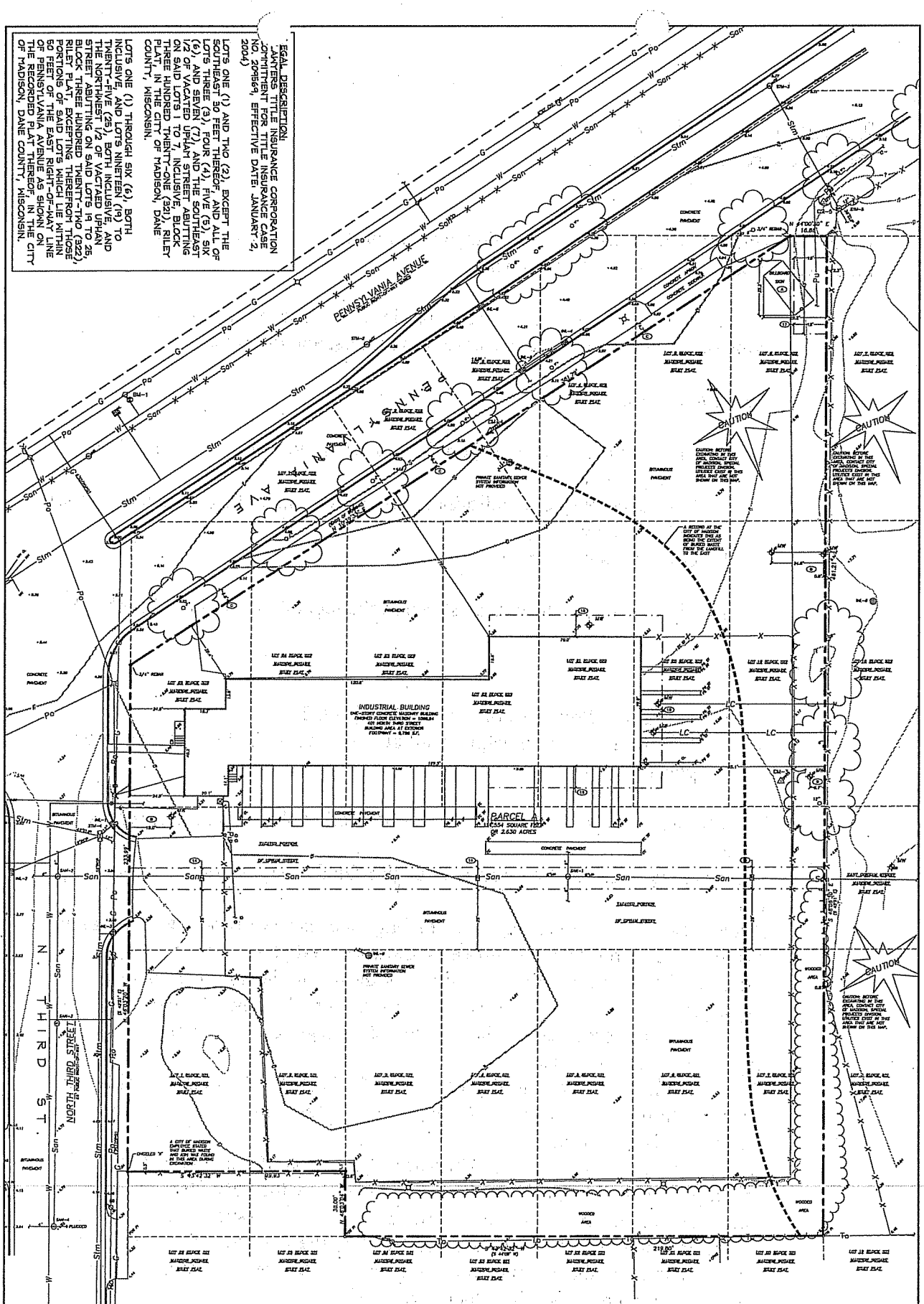
- A. Statement of Purpose: This zoning district is established to allow the construction of a convenience store, gas pumps, and car wash.
- B. Permitted Uses:
 - 1. Those that are stated as permitted uses in the Commercial and M1 zoning district
 - 2. Uses accessory or conditional to permitted (including car laundry) uses as listed above.
 - 3. Other uses listed here.
- C. Lot Area: Lot area is 2.6 acres as stated in the legal description in Exhibit A.
- D. Floor Area Ratio:
 - 1. Maximum floor area ration permitted is 6:1
 - 2. Maximum building height shall be 2 stories or as shown on approved plans.
- E. Yard Requirements Yard areas will be provided as shown on the approved plans.
- F. Landscaping: Site landscaping shall be provided as shown on the approved plans.
- G. Accessory Off-Street Parking and Loading: Accessory off-street parking and loading will be provided as shown on the approved plans.
- H. Lighting-Site lighting will be provided as shown on the approved plans
- I. Signage: Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared tot the C3 district, or signage will be provided as approved on the recorded plans.
- J. Family Definition: The family definition of this PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinance for the C1 and M1 districts.
- K. Alterations and Revisions: No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alteration s or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

DEAL DESCRIPTION:
 REAL TRUST INSURANCE CORPORATION
 JOINTMENT FOR TITLE INSURANCE CASE
 NO. 209869, EFFECTIVE DATE, JANUARY 2,
 2004)

**LOTS ONE (1) AND TWO (2), EXCEPT THE
 SOUTH-ONE-HALF (S1/2) THEREOF AND
 LOTS THREE (3) THROUGH FIVE (5), SIX (6),
 AND SEVEN (7), AND THE SOUTHEAST
 1/2 OF VACATED UPHAN STREET ABUTTING
 ON SAID LOTS 1 TO 7, INCLUSIVE, BLOCK
 THREE HUNDRED TWENTY-ONE (321), RILEY
 PLANT, IN THE CITY OF MADISON, DANE
 COUNTY, WISCONSIN.**

**LOTS ONE (1) THROUGH SIX (6), BOTH
 INCLUSIVE, AND LOTS NINETEEN (19) TO
 TWENTY-FIVE (25), BOTH INCLUSIVE, AND
 THE NORTHWEST 1/2 OF VACATED UPHAN
 STREET ABUTTING ON SAID LOTS 19 TO 25,
 BLOCK THREE HUNDRED TWENTY-TWO (322),
 RILEY PLANT, IN THE CITY OF MADISON,
 DANE COUNTY, WISCONSIN.**

**POSITIONS OF SAID LOTS THIRTY-ONE (31) AND
 THIRTY-TWO (32) ARE SHOWN WITHIN
 SO FEET OF THE EAST RIGHT-OF-WAY LINE
 OF PENNSYLVANIA AVENUE AS SHOWN ON
 THE RECORDED PLAT THEREOF, IN THE CITY
 OF MADISON, DANE COUNTY, WISCONSIN.**



C-1

0 10 20 40
 (SCALE INDICATED FOR
 24" X 36" SHEET)

Sheet Number

**EXISTING
 CONDITIONS**

Drawn By: AW
 Checked By: CT
 File: P-EX
 Issued For: CUP
 Issue Date: 08/22/05
 Project No.: 20980

CITY OF MADISON
 WISCONSIN

**PDA
 PENNSYLVANIA
 AVENUE**

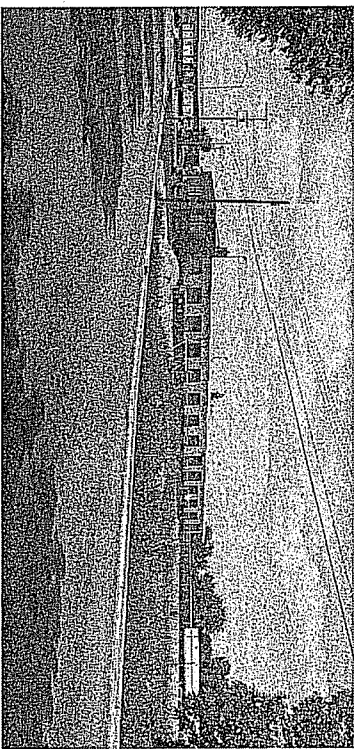
Revision: _____ Date: _____
 Project Name: _____

SMA
 SCHAEFER ANDERSON
 ASSOCIATES, INC.
 1200 EAST WISCONSIN
 MADISON, WISCONSIN 53703
 761.793.9200
 WWW.SMAWISCONSIN.COM

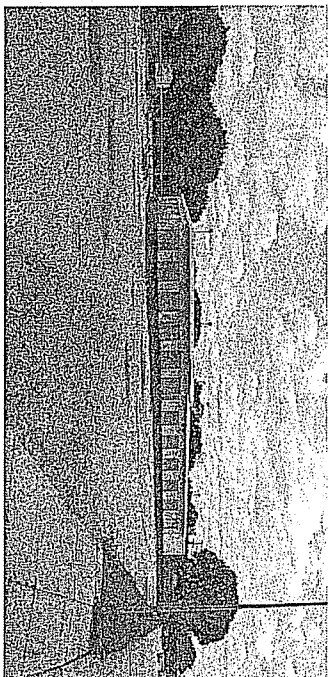
PROFESSIONAL SEAL



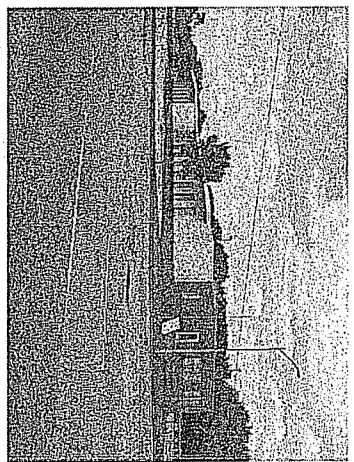
VIEW FROM N. THIRD STREET LOOKING NORTHEAST



VIEW FROM N. THIRD STREET LOOKING NORTH



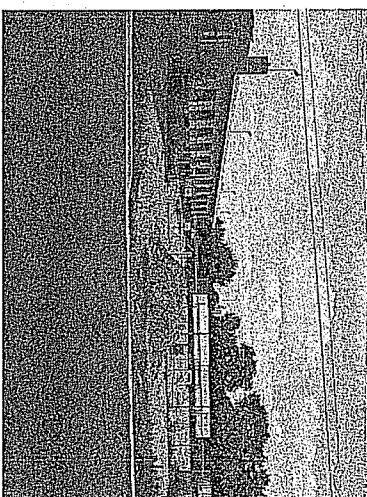
VIEW FROM PENNSYLVANIA AVENUE LOOKING SOUTHEAST



VIEW FROM PENNSYLVANIA AVENUE AND THIRD STREET LOOKING NORTHEAST



VIEW TO PROPERTY ADJACENT TO KELLHER FIELD



VIEW FROM N. THIRD STREET LOOKING NORTHEAST

SAA
SCHUMBERG & ANDERSON
ASSOCIATES, INC.
MADISON, WISCONSIN
TEL: 608.261.1700
WWW.SAA-ARCHITECTS.COM

Revision _____ Date _____
Project Name _____

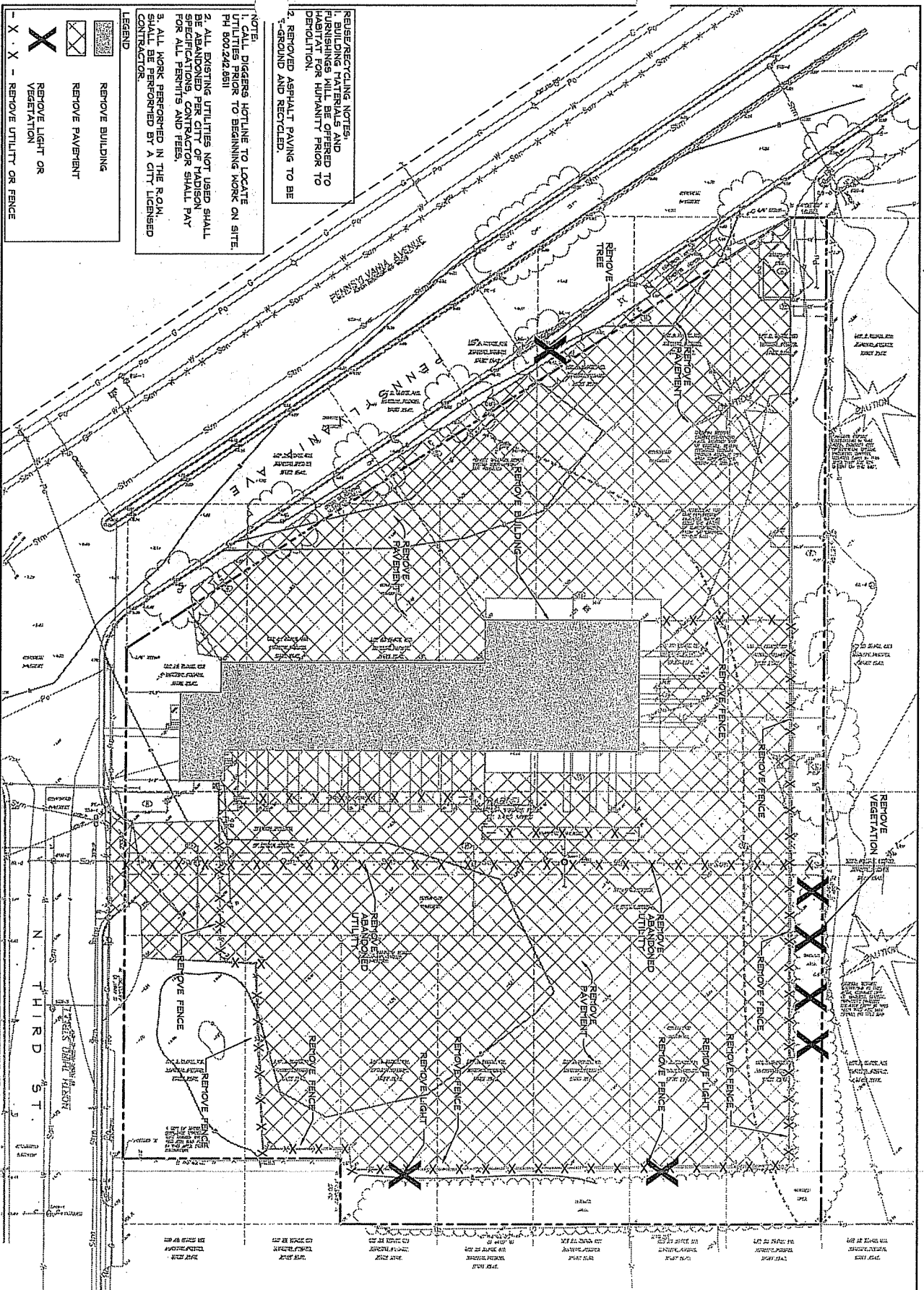
PDD
PENNSYLVANIA
AVENUE

CITY OF MADISON
WISCONSIN

Drawn By: AW
Checked By: CT
File: P-EX2
Issued For: CUP
Issue Date: 06/22/05
Project No. 2090

Sheet Title
EXISTING SITE
PHOTOS

Sheet Number
C-2



REDEMPTION NOTES:
 1. BUILDING MATERIALS AND FURNISHINGS WILL BE OFFERED TO CHARITY FOR HUMANITY PRIOR TO DESTRUCTION.
 2. REMOVE ASPHALT PAVING TO BE RE-GRADED AND RECTIFIED.

NOTE:
 1. ALL EXISTING UTILITIES NOT USED SHALL BE ABANDONED PER CITY OF MADISON FOR ALL PERMITS AND FEES.
 2. ALL WORK PERFORMED IN THE R.O.M. SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

LEGEND

- REMOVE BUILDING
- REMOVE PAVEMENT
- REMOVE LIGHT OR VEGETATION
- REMOVE UTILITY OR FENCE

PROFESSIONAL SEAL

SMA
 SCHRAMM / ANDERSON
 ASSOCIATES, INC.
 1000 W. MADISON ST.
 MADISON, WI 53703
 TEL: 608.261.1100
 WWW.SMA-INC.COM

PROJECT NAME
 PDQ
 PENNSYLVANIA
 AVENUE

LOCATION
 DATE

SCALE INDICATED FOR THIS SHEET
 0 10 20 40
 FEET

SHED NUMBER
 C-3

CITY OF MADISON WISCONSIN

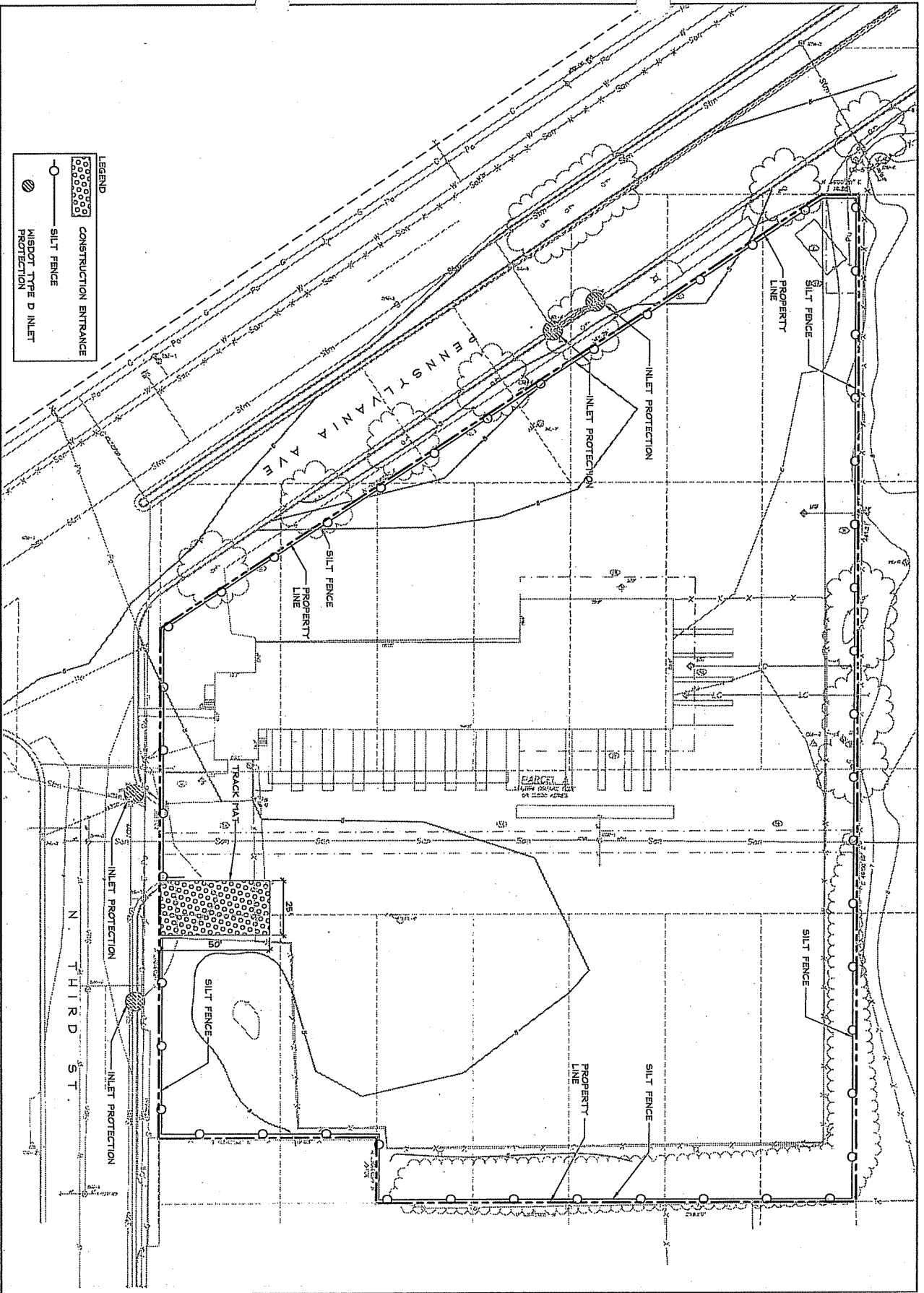
DEMOLITION PLAN

SHORT TITLE
 PENNSYLVANIA AVENUE

DATE
 08/22/05

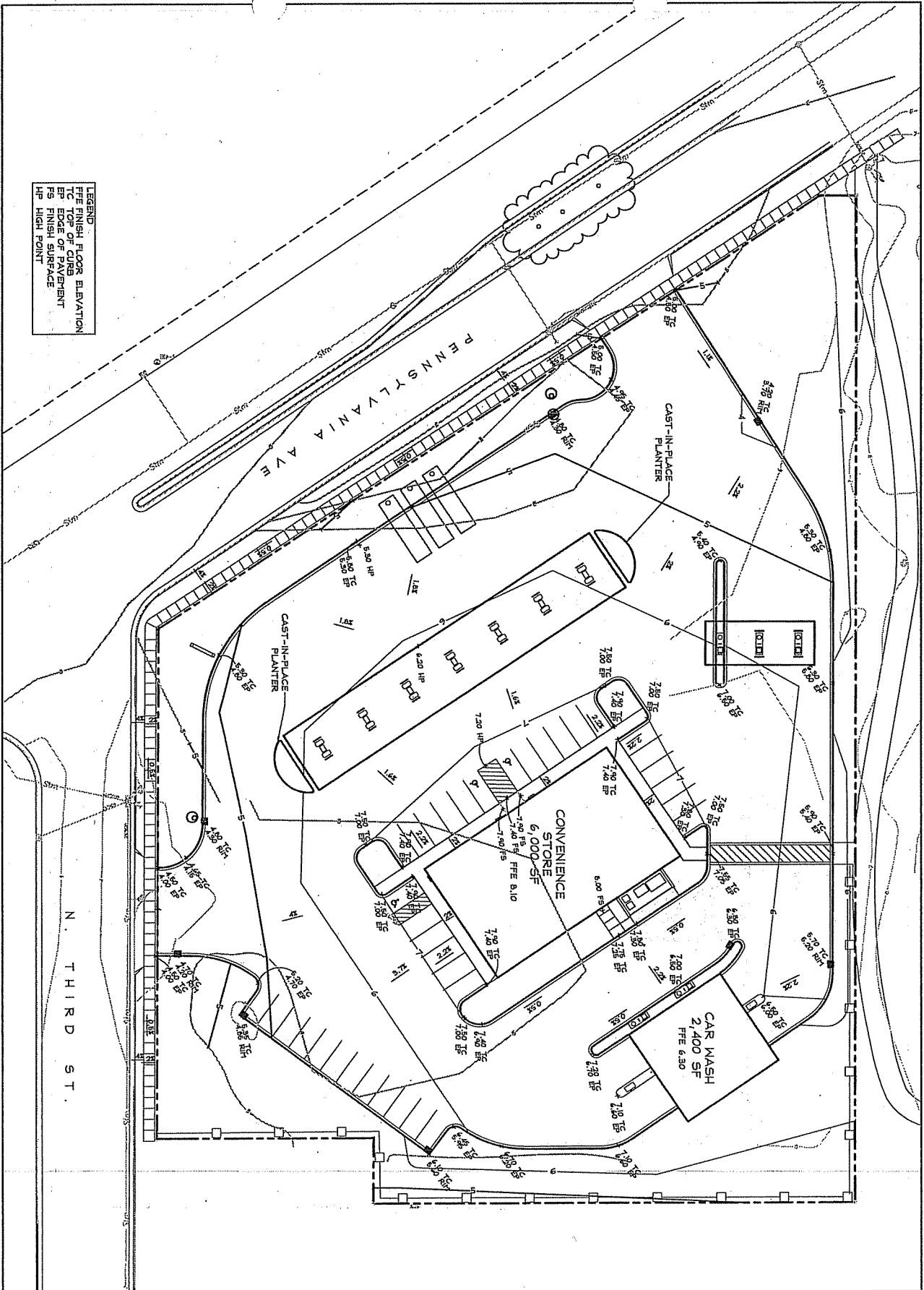
PROJECT NO.
 2080

DRAWN BY: AW
CHECKED BY: CT
FILE: P-DE
ISSUED FOR: CUP
ISSUE DATE: 08/22/05
PROJECT NO.: 2080



SCHMIDTNER / ANDERSON 1733 BROADWAY, SUITE 200 MADISON, WISCONSIN 53703 TEL: 608.261.1111 FAX: 608.261.1130 WWW.SMA-ENGINEERS.COM	
PROFESSIONAL SEAL	
PROJECT NAME PDQ PENNSYLVANIA AVENUE	REVISION DATE
DRAWN BY: AW CHECKED BY: CT FILE: P-EC ISSUED FOR: CJP ISSUE DATE: 06/22/05 PROJECT NO.: 2090	SHEET TITLE EROSION CONTROL PLAN
SCALE: 1" = 20' (SEE PLAN FOR 24"x36" SHEET) 0 10 20 40	SHEET NUMBER C-4
CITY OF MADISON WISCONSIN	

2



LEGEND
 FFE FINISH FLOOR ELEVATION
 TC TOP OF CURB
 EP EDGE OF PAVEMENT
 FS FINISH SURFACE
 HP HIGH POINT

C-5
 (SCALE: NOT TO SCALE FOR 24" X 36" SHEET)
 0 10 20 40
 Feet

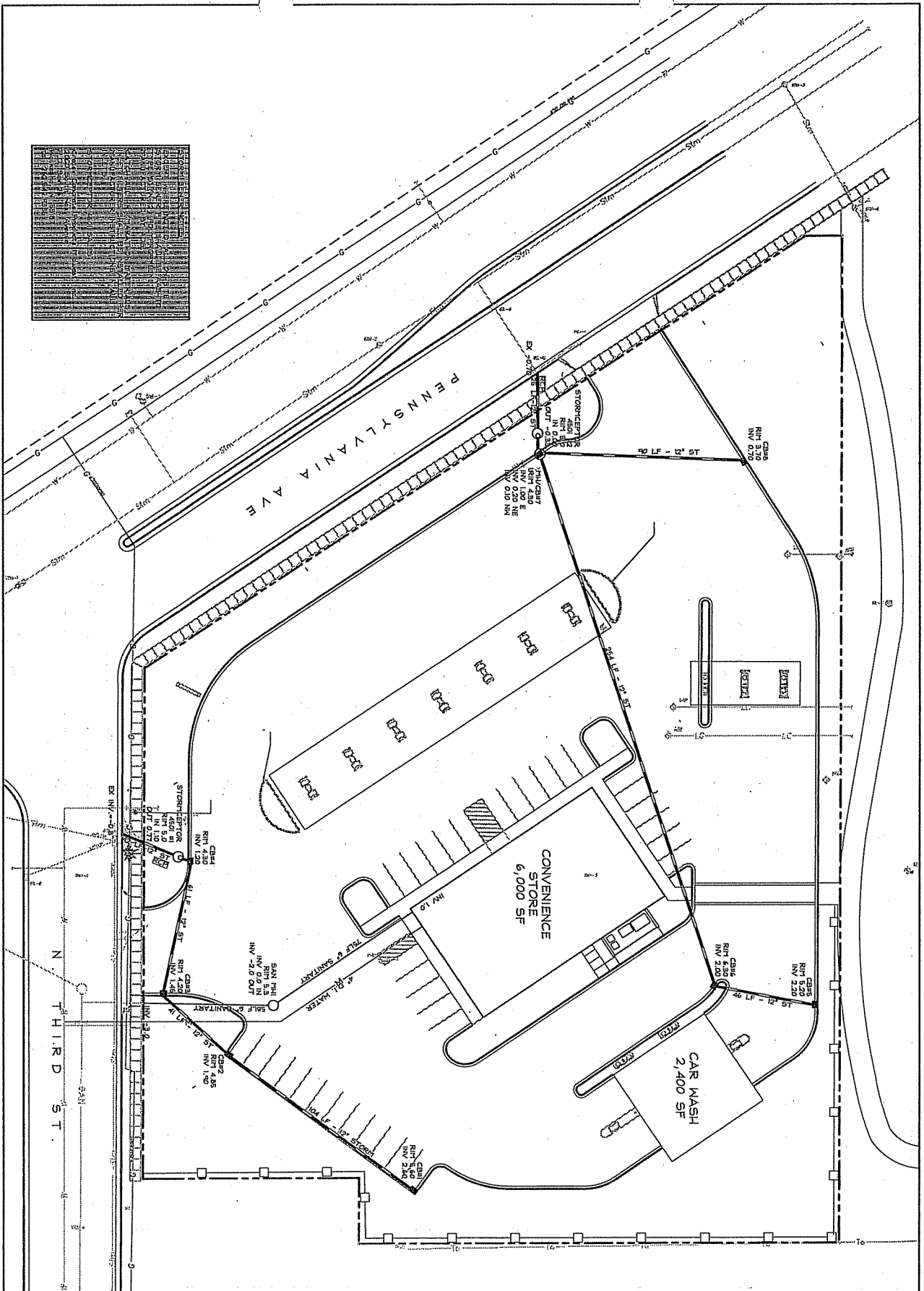
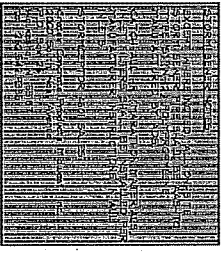
GRADING PLAN
 Sheet Title
 Drawn By: AW
 Checked By: CT
 File: P-SIG
 Issued For: CUP
 Issue Date: 08/22/05
 Project No.: 2090

CITY OF MADISON
 WISCONSIN

Project Name
 PDD
 PENNSYLVANIA
 AVENUE

Author
 Date
 Title

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 711 3rd Building
 Madison, WI 53703
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 www.saa.com
 Professional Seal



(Scale: 1" = 20')
 0 10 20 40
 Feet
 Street Number
C-6

Utility Plan
 Sheet No. 2080
 Project No. 2080
 Issue Date: 08/22/05
 File: CLIP
 Checked By: OT
 Drawn By: RDP
 City of Madison
 Wisconsin

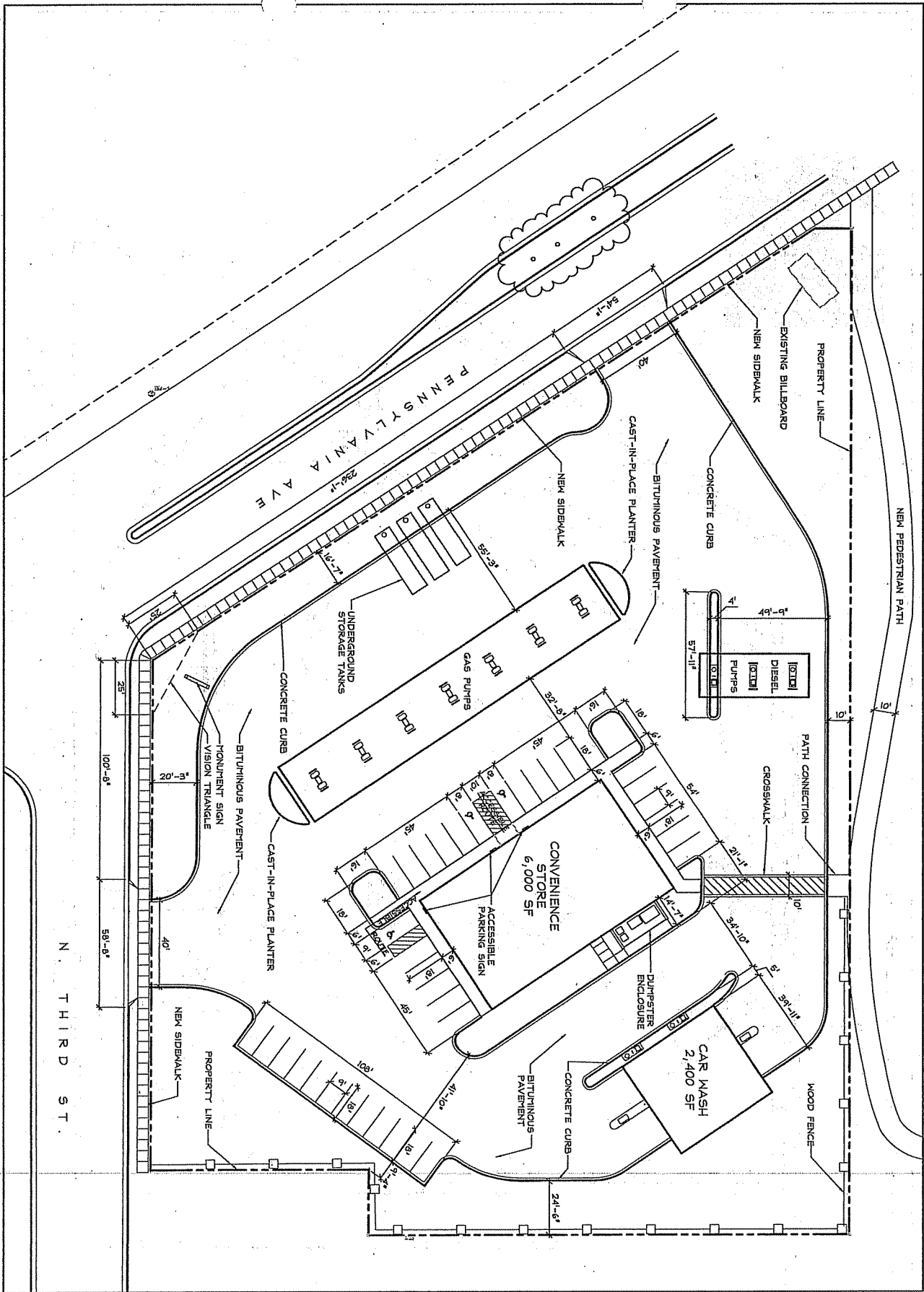
PDD
 PENNSYLVANIA
 AVENUE

Revision
 Date

Project Name

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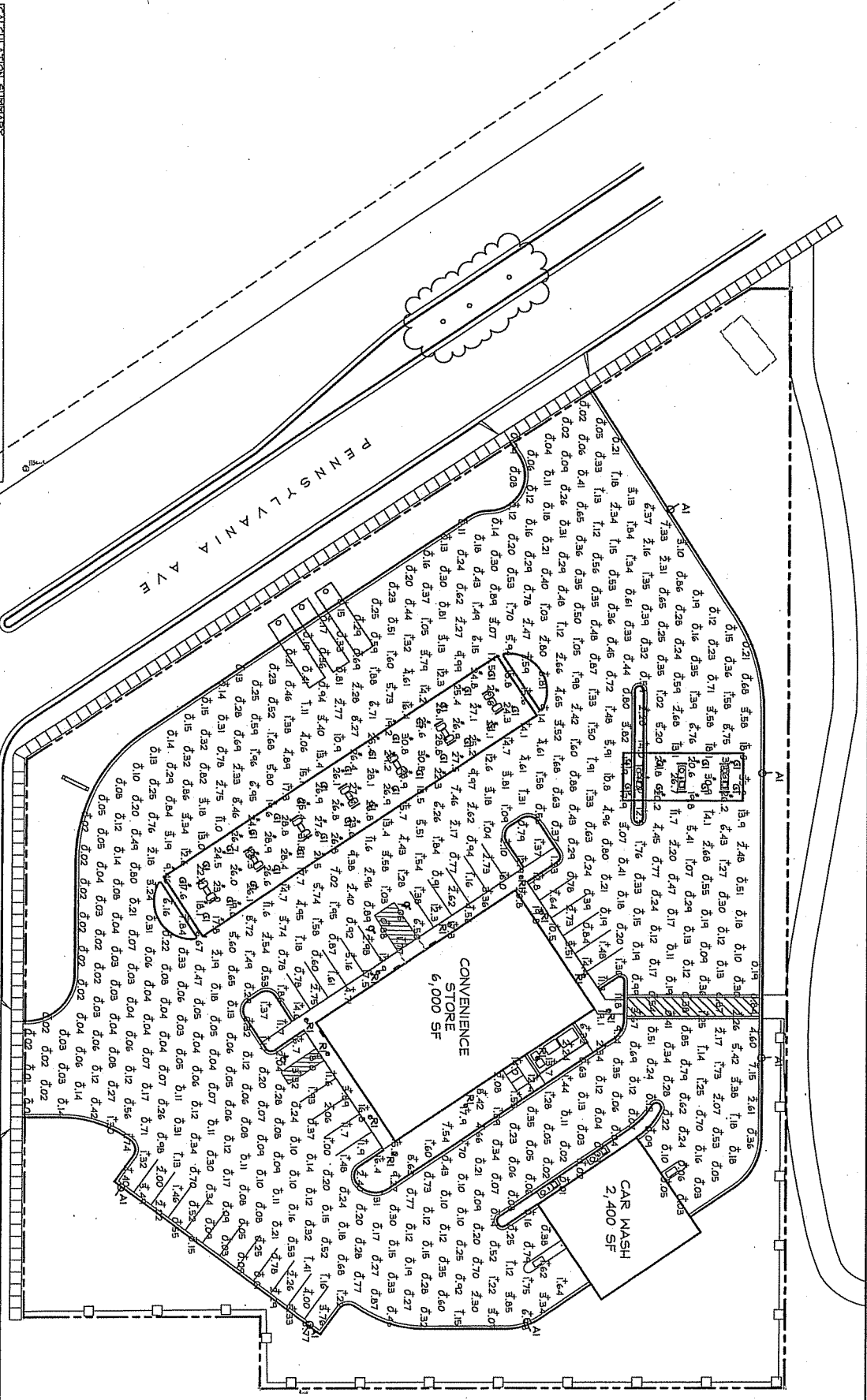
SMA
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Professional Seal	Date
Project Name	Drawn By: AW
PDQ PENNSYLVANIA AVENUE	Checked By: CT
	File: P-SP
	Issued For: CUP
	Issue Date: 08/22/05
	Project No.: 2090
	Sheet Title:
	SITE PLAN
	City of Madison Wisconsin
	Scale Indicated for 24"x36" Sheet: 0 10 20 40
	Sheet Number:
	C-7

FOR SCHEDULE	FOR SCHEDULE
AI 6	(1) 14000
CI 1	(1) 14000
RI 0	(1) 14000

CONCRETE	REINFORCING	FORMWORK	PAINTING	MECHANICAL	ELECTRICAL	PLUMBING	FINISH
1000	1000	1000	1000	1000	1000	1000	1000
1000	1000	1000	1000	1000	1000	1000	1000



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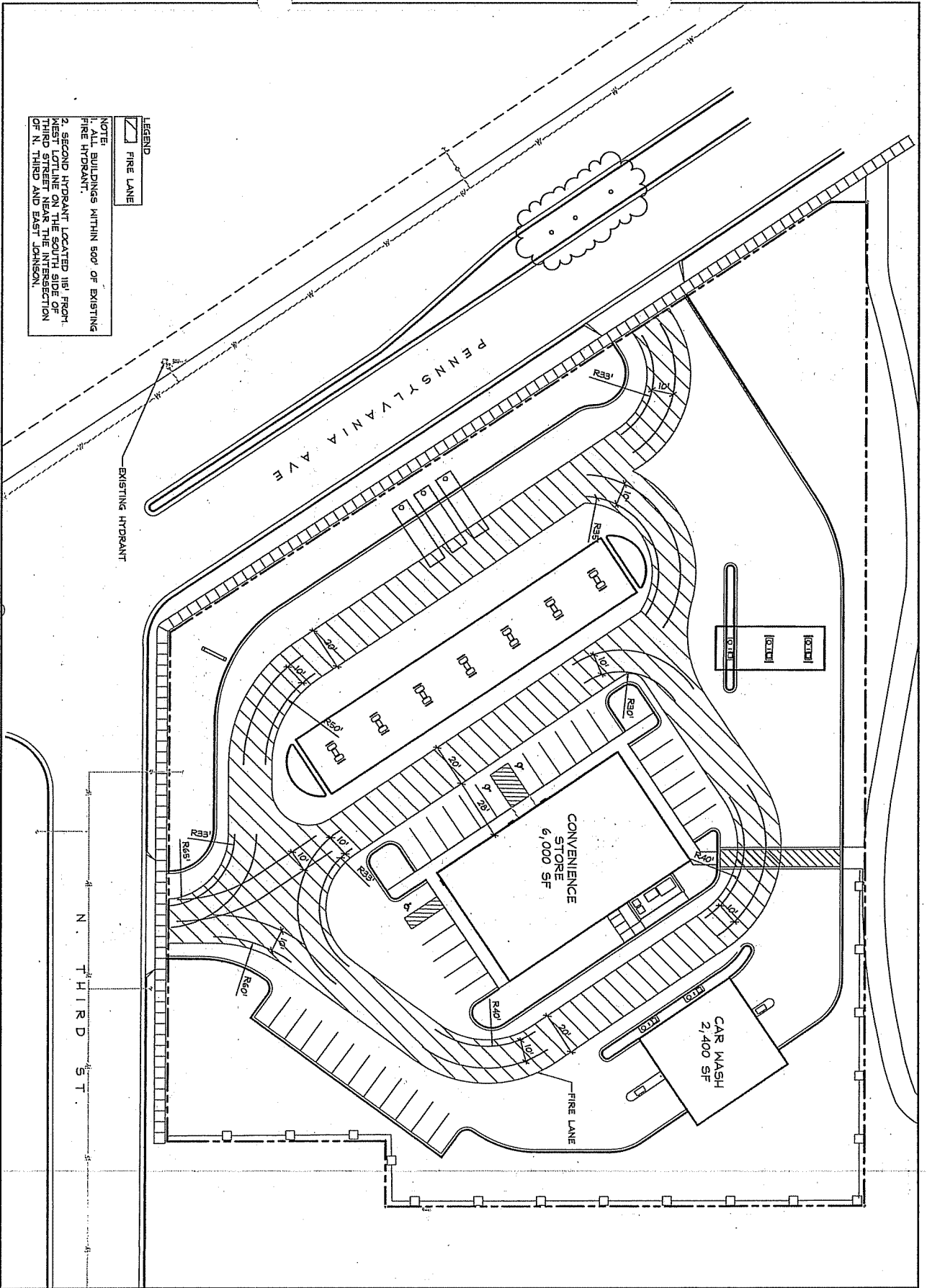
PDD
 PENNSYLVANIA
 AVENUE

CITY OF MADISON
 WISCONSIN

Drawn By: AW
 Checked By: CT
 File: P-E
 Issued For: CUP
 Issue Date: 06/22/05
 Project No.: 2000

Scale: (SCALE INDICATED FOR SHEET)

C-8



LEGEND

▭ FIRE LANE

NOTE:

1. ALL BUILDINGS WITHIN 500' OF EXISTING FIRE HYDRANT.

2. SECOND HYDRANT LOCATED 100' FROM WEST END ON THE SOUTH SIDE OF THIRD STREET NEAR THE INTERSECTION OF N. THIRD AND EAST JOHNSON.

PROFESSIONAL SEAL

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PENNSYLVANIA AVENUE

REVISION

NO.	DATE	DESCRIPTION

PROJECT NAME

CITY OF MADISON WISCONSIN

Drawn By: AW
Checked By: CT
File: P-FP
Issued For: CJP
Issue Date: 08/22/05
Project No.: 2090

Sheet Title:
FIRE PROTECTION PLAN

(SCALE INDICATED FOR 24x36" SHEET)

0 10 20 40

Sheet Number

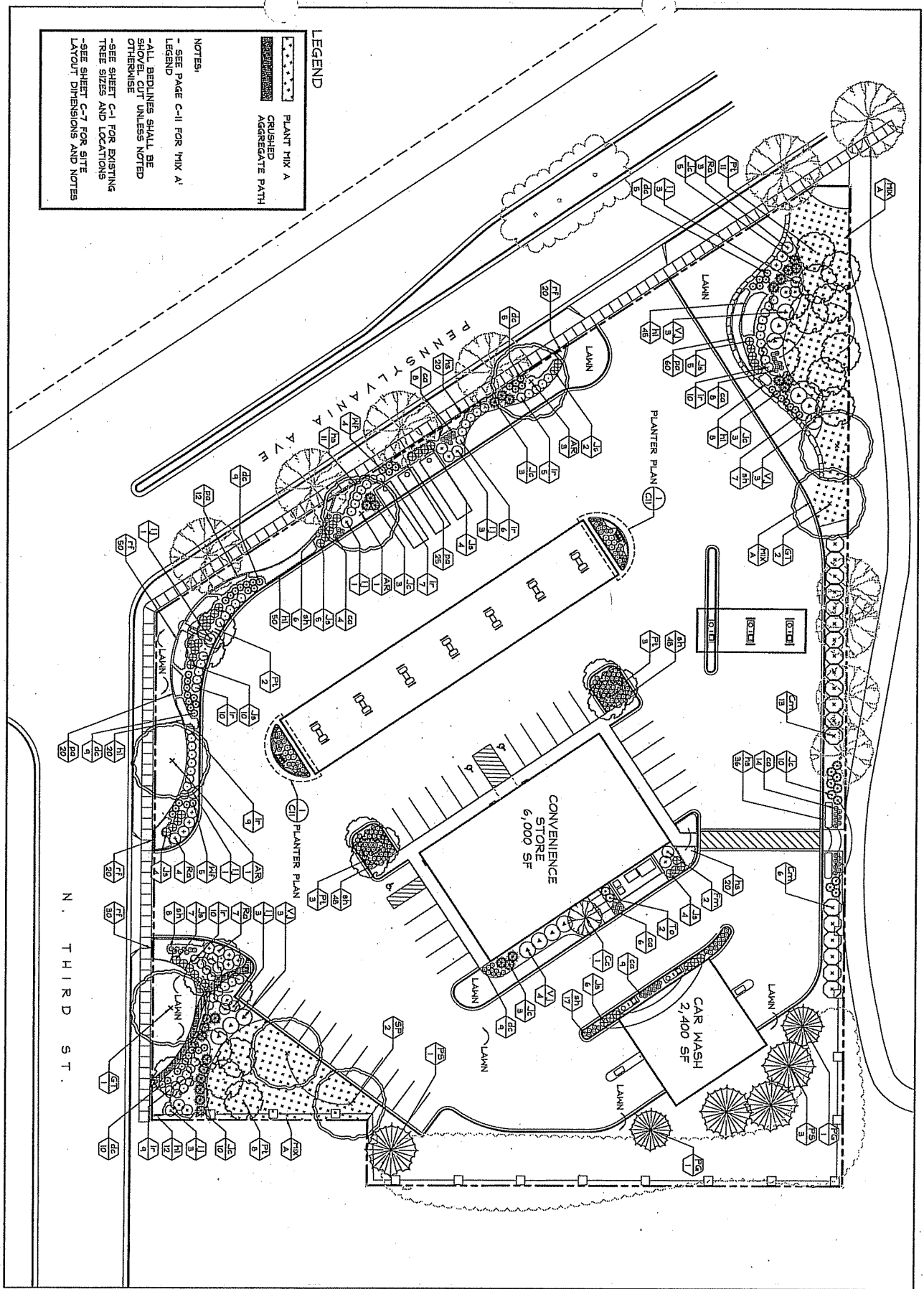
C-9

LEGEND

PLANT MIX A
 CRUSHED AGGREGATE PATH

NOTES:

- SEE PAGE C-11 FOR MIX A LEGEND
- ALL BEDLINES SHALL BE SHOVEL CUT UNLESS NOTED OTHERWISE
- SEE SHEET C-1 FOR EXISTING TREE SIZES AND LOCATIONS
- SEE SHEET C-7 FOR SITE LAYOUT DIMENSIONS AND NOTES



CITY OF MADISON
WISCONSIN

Drawn By: A/W
 Checked By: CT
 File: PLS
 Issue For: CJP
 Issue Date: 08/22/05
 Project No.: 2090

Sheet Title:
LANDSCAPE PLAN

Scale:
 0 10 20
 Feet

Sheet Number:
C-10

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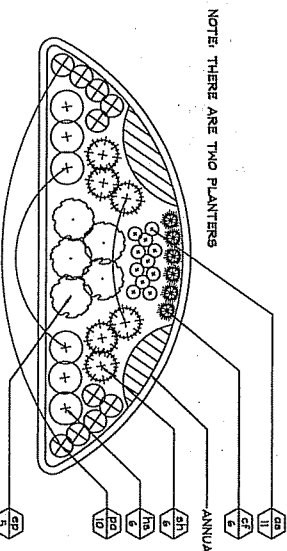
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PDQ
 PENNSYLVANIA
 AVENUE

Project Name

Revision: DATE

PLANTER PLAN ENLARGEMENT



NOTES:
 - SEE DETAIL XX FOR CONTAINER DIMENSIONS AND FILL MATERIAL
 - ALL PLANTING WITHIN 3\"/>

NATIVE PLANT MIX A

WOODLAND EDGE/SAVANNA MIX

BOTANICAL NAME	COMMON NAME
MILDFLOWERS	
<i>Astera rubra</i>	Red Barberry
<i>Agastache foeniculum</i>	Lavender Hyssop
<i>Asplenium canadense</i>	Columbine
<i>Arisaema triphyllum</i>	Jack in the Pulpit
<i>Aster sagittalis</i>	Arrow Leaved Aster
<i>Baptisia australis</i>	Blue False Indigo
<i>Baptisia leuca</i>	White False Indigo
<i>Cassia diplachne</i>	Pole Indian Plantain
<i>Campylosiphium americanum</i>	Tall Bellflower
<i>Dodecatheon meadia</i>	Shoestring
<i>Echinacea purpurea</i>	Purple Coneflower
<i>Eupatorium purpureum</i>	Sweet Joe Pye Weed
<i>Monarda fistulosa</i>	Bergamot
<i>Nepaea dielsii</i>	Glade Nettle
<i>Periclymenon digitale</i>	Smoother Penstemon
<i>Polygonatum canadense</i>	Great Solomon's Seal
<i>Rudbeckia hirta</i>	Black Eyed Susan
<i>Rudbeckia subinermis</i>	Sweet Black Eyed Susan
<i>Rudbeckia triloba</i>	Brown Eyed Susan
<i>Smilacina racemosa</i>	Solomon's Plume
<i>Veronicastrum virginicum</i>	Calver's Root
<i>Zizia aurea</i>	Golden Alexander
GRASSES	
<i>Cirsium altissimum latifolium</i>	Northern Sea Oats
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Hystrix patula</i>	Boottersnash Grass
TOTAL NATIVE PLANT MIX AREA	5,500 SF

LANDSCAPE PLANT LEGEND

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments
SHADE TREES						
AR	<i>Acer Rubrum</i>	Red Maple	2'-3' Cal.	B4B	3	20'-0" spacing O.C.
GT	<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust	2' Cal.	B4B	3	20'-0" spacing O.C.
SA	<i>Salix alba 'Tristis'</i>	Golden Weeping Willow	2' Cal.	B4B	2	20'-0" spacing O.C.
ORNAMENTAL TREES						
CC	<i>Cercis canadensis</i>	Eastern Redbud	6' Ht.	Cent.	1	Multi-stem
PL	<i>Populus tremuloides</i>	Quaking Aspen	2' Cal.	B4B	27	Spacing per plan
EVERGREEN TREES						
PG	<i>Pinus strobus</i>	Black Hills Spruce	6-7' Ht.	Cent.	2	Upright, dense evergreen
PS	<i>Pinus strobus</i>	Eastern White Pine	6-7' Ht.	Cent.	4	20'-0" spacing O.C.
EVERGREEN SHRUBS						
JE	<i>Juniperus chinensis 'Sage Green'</i>	Sage Green Juniper	18-24' Ht.	Cent.	37	5'-0" spacing O.C.
JS	<i>Juniperus squarrosa 'Blue Star'</i>	Blue Star Juniper	18' Ht.	Cent.	47	4'-0" spacing O.C.
TO	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Arb.	5-6' Ht.	Cent.	2	4'-0" spacing O.C.
DECIDUOUS SHRUBS						
GM	<i>Germplasma 'Garden Glory'</i>	Garden Glory Camellia	#5	Cent.	19	6'-0" spacing O.C.
FR	<i>Fothergilla 'Mount Airy'</i>	Mount Airy Fothergilla	#5	Cent.	2	6'-0" spacing O.C.
LD	<i>Lilium verticalis 'Jim Dandy'</i>	Jim Dandy Whiteberry	#2	Cent.	15	4'-0" spacing O.C.
LR	<i>Lilium verticalis 'Red Sprite'</i>	Red Sprite Whiteberry	#2	Cent.	66	3'-0" spacing O.C.
RO	<i>Rhus ornata 'Ivy Leaf'</i>	Grey-La Sumac	#2	Cent.	14	5'-0" spacing O.C.
VJ	<i>Viburnum x Juddi</i>	Judd Viburnum	#5	Cent.	13	6'-0" spacing O.C.
WJ	<i>Waldsteinia florida 'Tinselt'</i>	Pinet Waldstein	#2	Cent.	9	4'-0" spacing O.C.
GROUNDCOVERS / PERENNIALS / GRASSES						
GA	<i>Allium schoenoprasum</i>	Garden Chives	4.5"	Cent.	22	Aromatic
CF	<i>Carex flacca</i>	Blue-green Sedge	#1	Cent.	12	1'-1.5" spacing O.C.
CG	<i>Callirhoe coccinea</i>	Feather Reed Grass	#1	Cent.	49	2'-0" spacing O.C.
DC	<i>Dieris palmetum</i>	Turkey Tail Grass	#1	Cent.	47	3' O.C. spacing
EP	<i>Echinacea purpurea</i>	Purple Coneflower	#1	Cent.	10	1'-0" spacing O.C.
HI	<i>Helleborus x Lamm Queen</i>	Hybrid Helleborus	4.5"	Cent.	146	max. 4-5" Ht.
HA	<i>Hemerocallis 'Stella D' Oro'</i>	Stella Daylily	#1	Cent.	76	Yellow flower
PA	<i>Phlox x cordata 'Hildd'</i>	Arden's Phlox	4.5"	Cent.	117	1.5" Ht. x 2' Spread
RF	<i>Rudbeckia fulgida speciosa</i>	Shouy Coneflower	#1	Cent.	120	Rudbeckia Neumannii
SH	<i>Sporobolus heterolepis</i>	Northern Droopseed	#1	Cent.	134	2'-0" spacing O.C.

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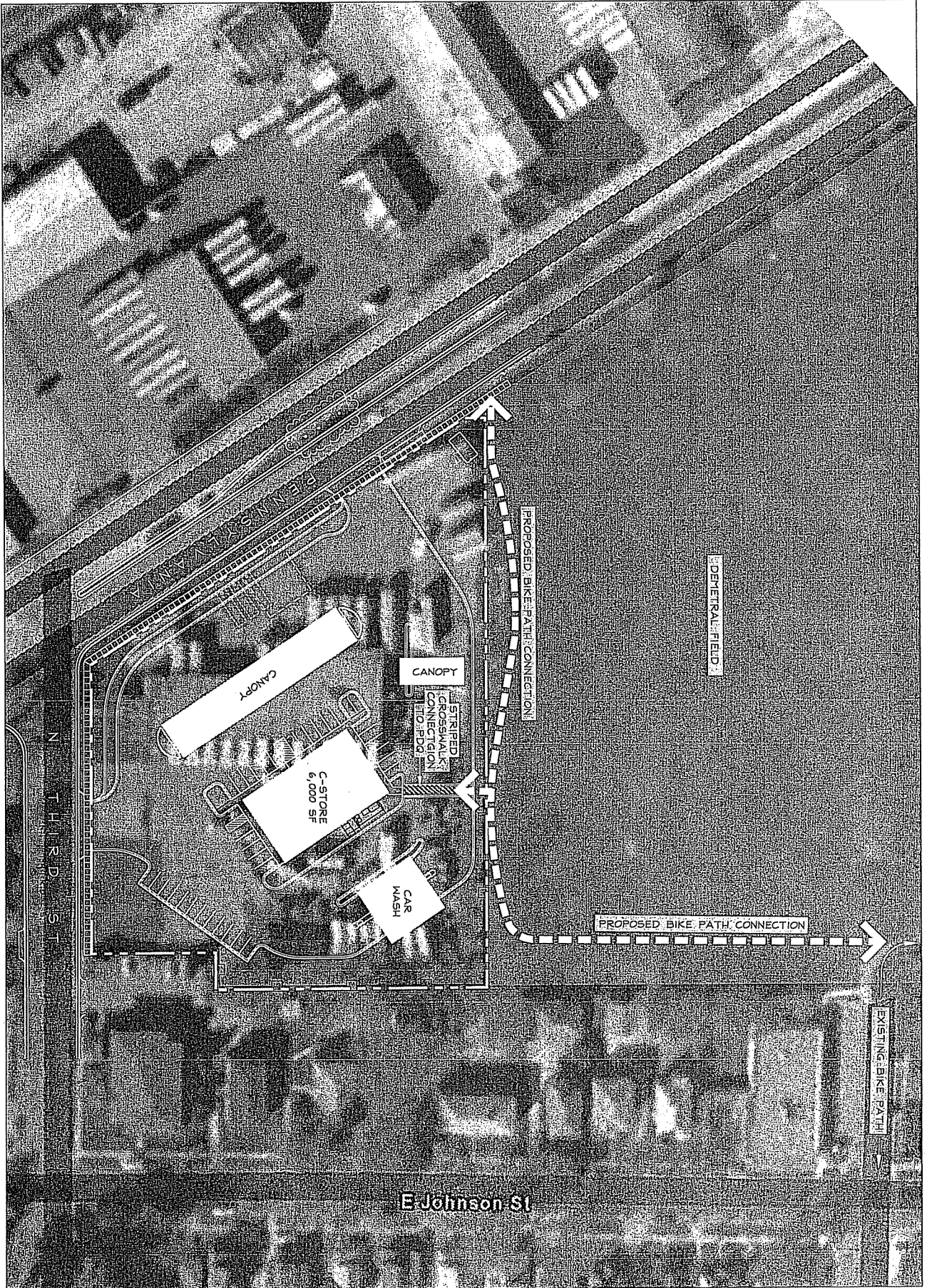
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 Signature
 Date

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 AVENUE

CITY OF MADISON
 WISCONSIN

Drawn By: AW
 Checked By: OT
 File: PLS
 Issued For: CUP
 Issue Date: 08/22/09
 Product No.: 2090

C-11



C-12

Sheet Number
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 (SCALE INDICATED FOR 24" X 36" SHEET)

PATH CONNECTION PLAN

Sheet Title
 Drawn By: AW
 Checked By: CT
 File: PATH
 Issued For: CJP
 Issue Date: 06/22/05
 Project No.: 2090

CITY OF MADISON
 WISCONSIN

P.D.O.
 PENNSYLVANIA
 AVENUE

Revision _____ Date _____

 Project Name _____

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Project Name: **FOUNDER'S SUITE**

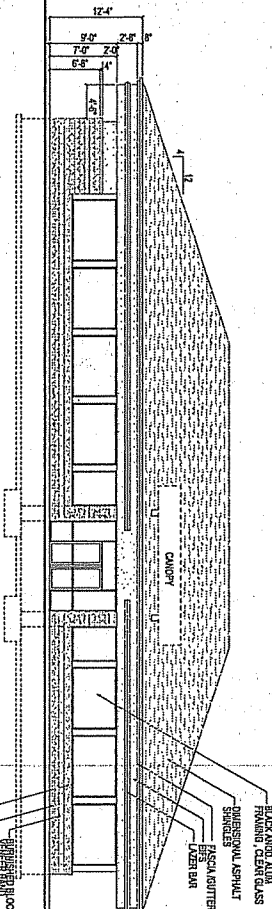
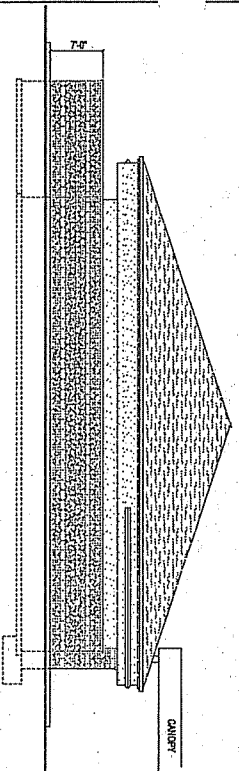
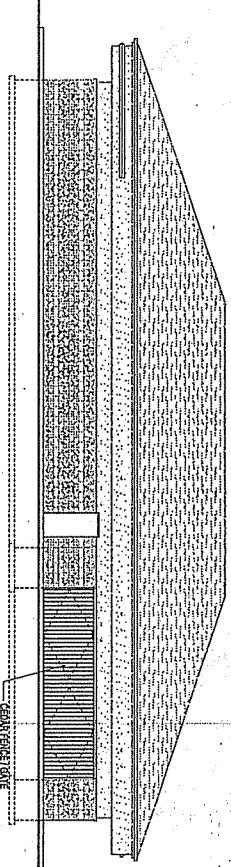
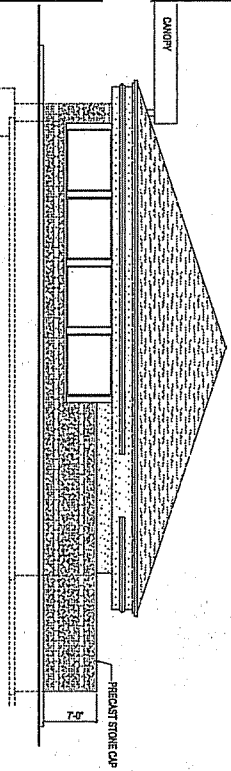
Revision: _____ Date: _____
 Project Name: **PDA PENNSYLVANIA AVENUE**

CITY OF MADISON
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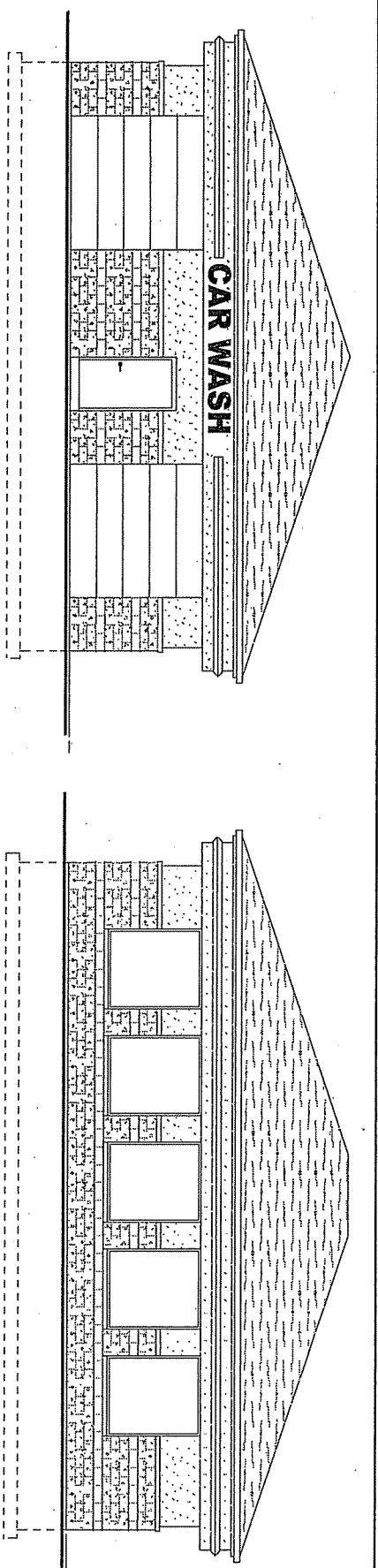
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 Checked By: _____
 File: P-A1
 Issued For: CUP
 Issue Date: 06/22/05
 Project No. 2980
 Sheet Title: **BUILDING ELEVATIONS**



Sheet Number: **A-1**

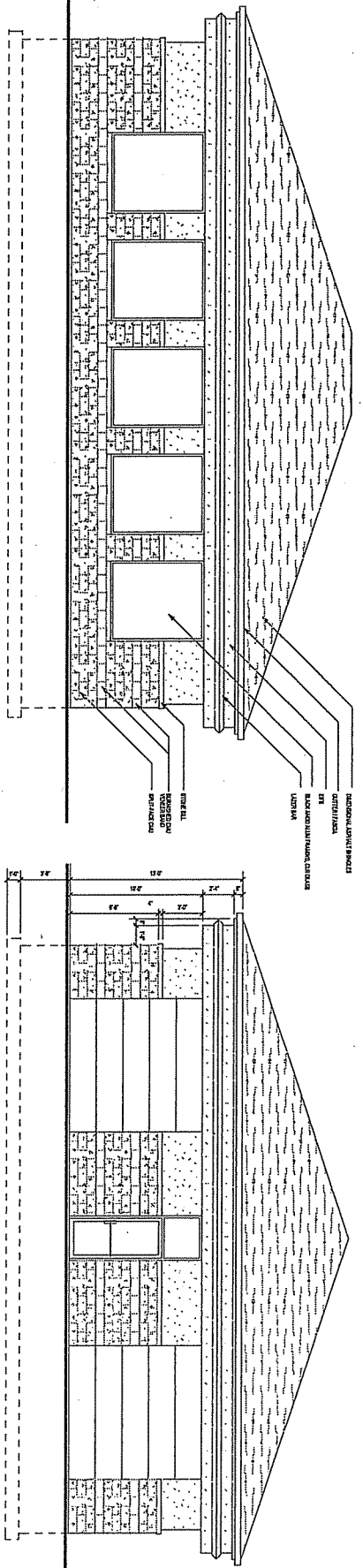


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SOUTH ELEVATION
1/8" = 1'-0"

EAST ELEVATION
1/8" = 1'-0"

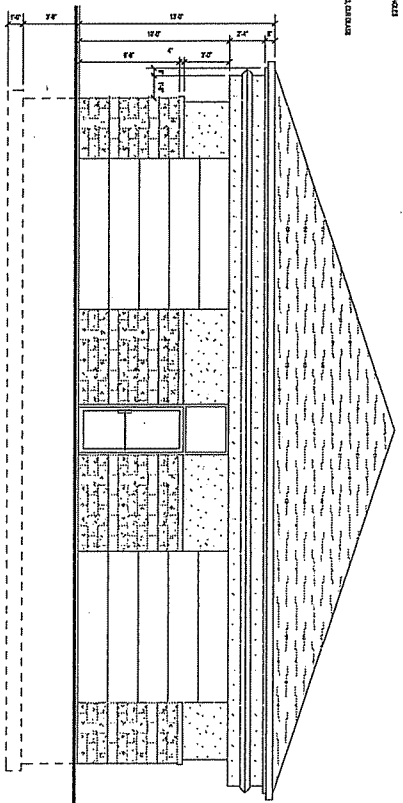


WEST ELEVATION
1/8" = 1'-0"

NORTH ELEVATION
1/8" = 1'-0"

NOTES:
 1. All elevations are shown as they appear from the street.
 2. All elevations are shown as they appear from the street.
 3. All elevations are shown as they appear from the street.
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 10. All elevations are shown as they appear from the street.

INSIDE FINISH
 EXTERIOR FINISH
 CONCRETE
 BRICK
 BLOCK
 STUCCO
 METAL
 GLASS
 PAINT



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CITY OF MADISON WISCONSIN	
Drawn By:	Checked By:
File:	F-A2
Issued For:	CLP
Issue Date:	06/22/05
Project No.:	2080
Sheet Title:	BUILDING ELEVATIONS
(SCALE INDICATED FOR 0 2 4 8)	Sheet Number:
A-2	