

UW CAMPUS HOTEL



760 REGENT STREET | MADISON, WISCONSIN

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ATTACHMENTS

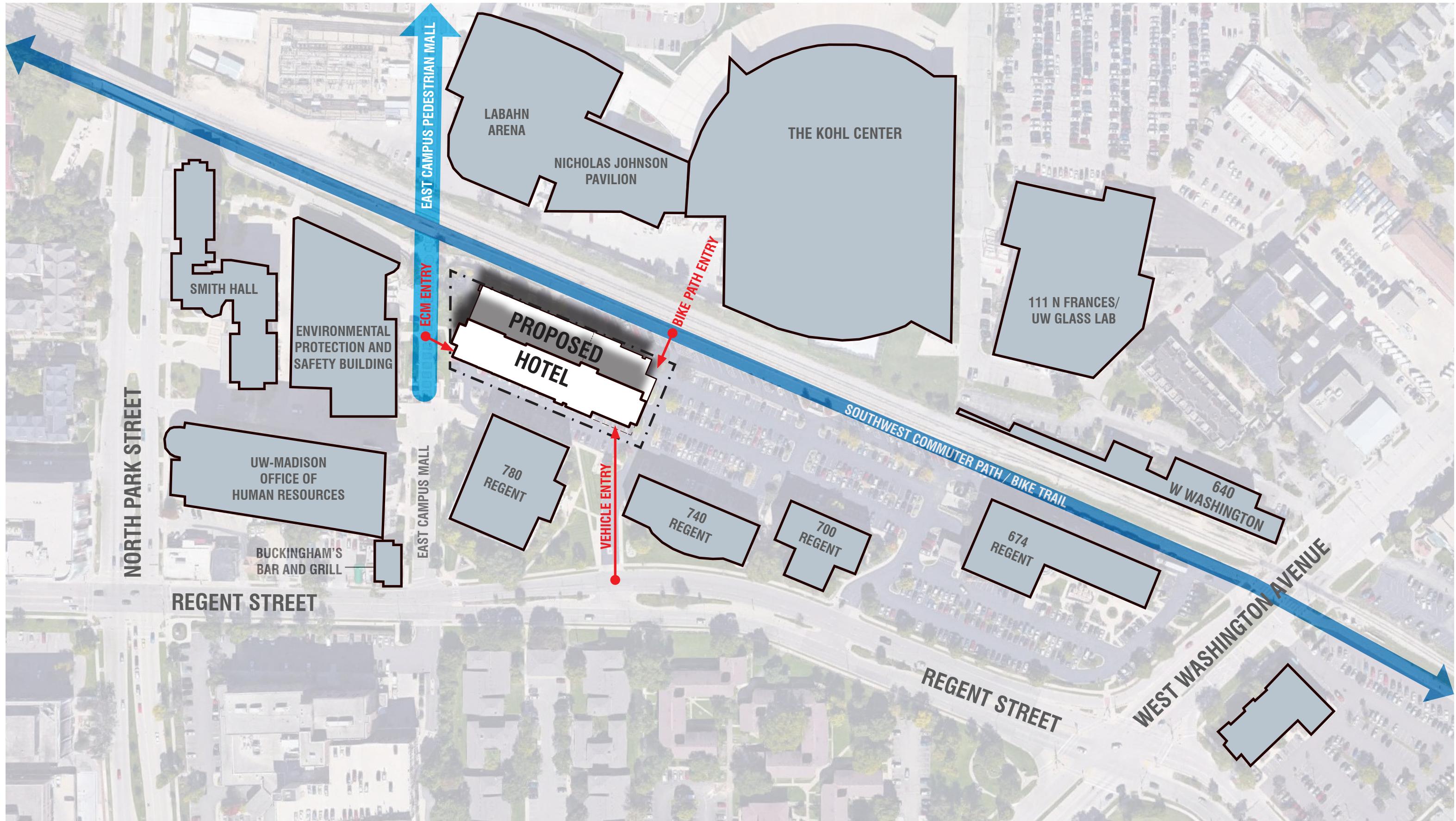
CIVIL, LANDSCAPE, AND LIGHTING DETAILED DRAWINGS



 NOT TO SCALE

LOCATION PLAN

CITY OF MADISON LUA | 05-29-2019 | PAGE 02



SITE CONTEXT PLAN

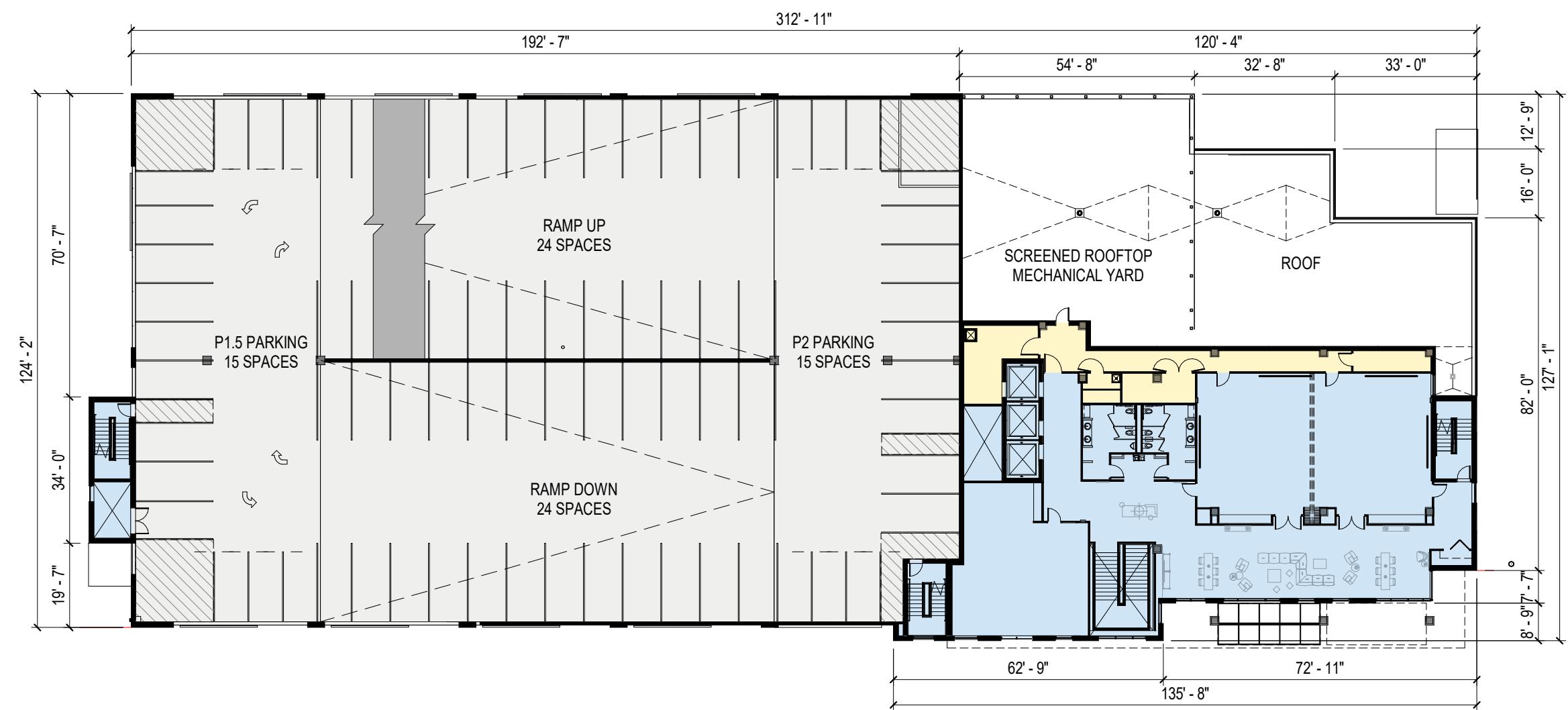
CITY OF MADISON LUA | 05-29-2019 | PAGE 03

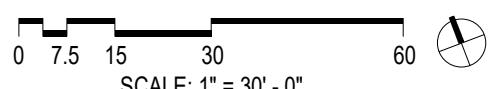
PUBLIC HOTEL USE - CIRCULATION / SUPPORT
 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS



 0 7.5 15 30 60
 SCALE: 1" = 30' - 0"

PUBLIC HOTEL USE - CIRCULATION / SUPPORT
 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS




 SCALE: 1" = 30' - 0"

2ND FLOOR PLAN

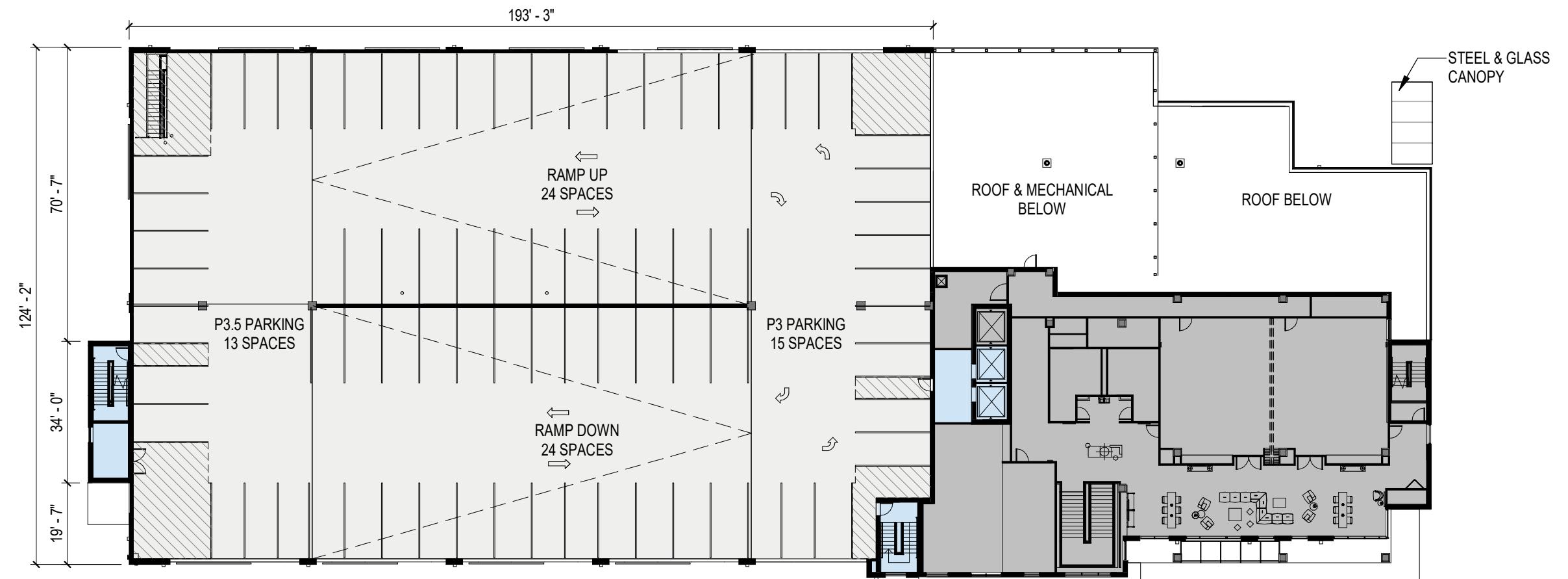
CITY OF MADISON LUA | 05-29-2019 | PAGE 05

Mortenson

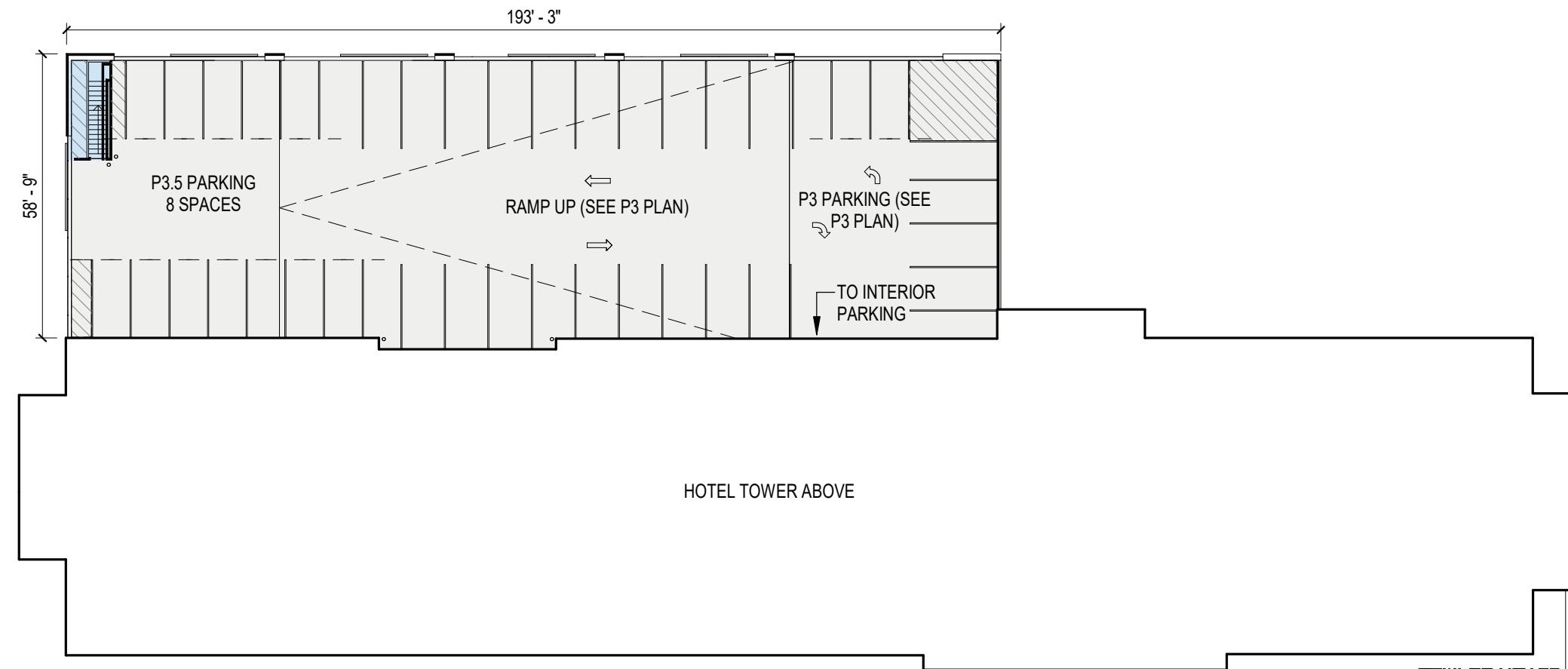
UW CAMPUS HOTEL
MADISON, WISCONSIN

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 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS



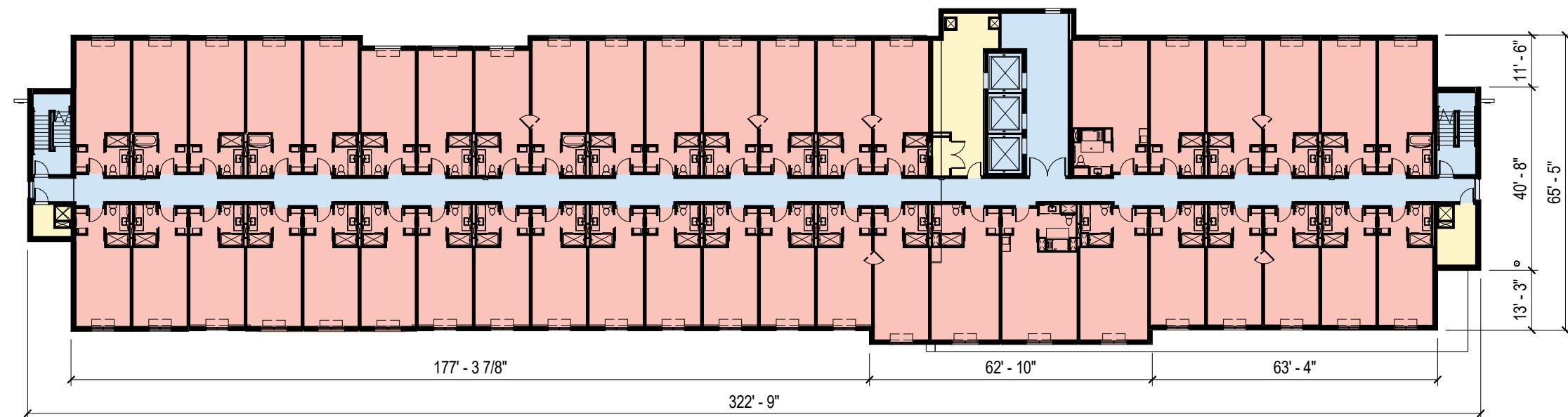
- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS

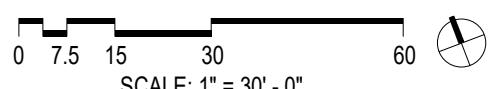


P3.5 PLAN

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PUBLIC HOTEL USE - CIRCULATION / SUPPORT
 ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
 BACK OF HOUSE
 GUESTROOMS




 SCALE: 1" = 30' - 0"

Mortenson

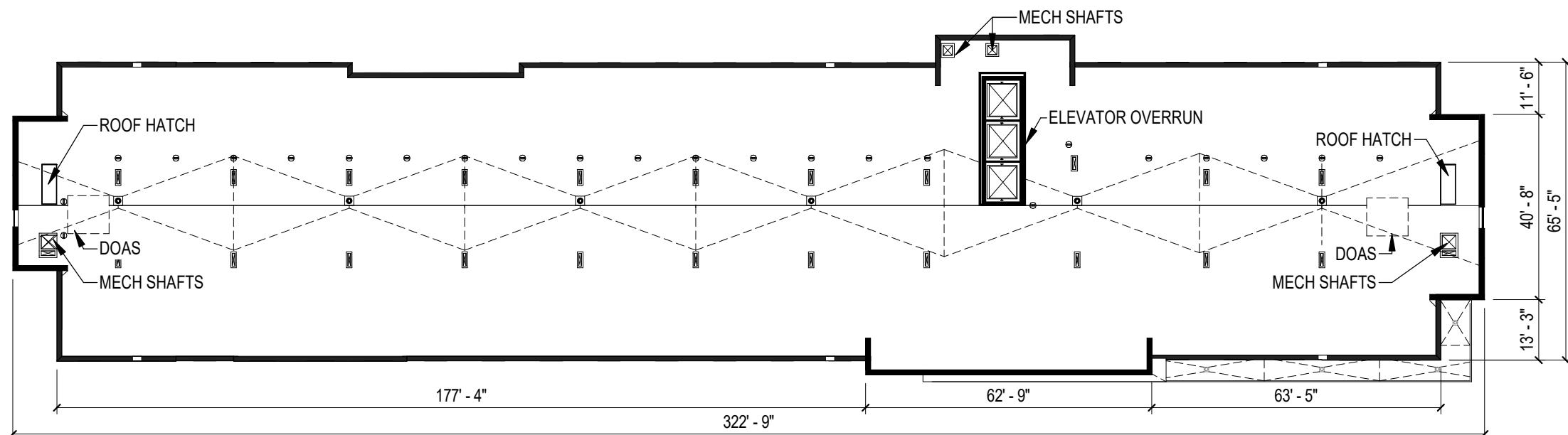
UW CAMPUS HOTEL
MADISON, WISCONSIN

3RD-6TH FLOOR PLAN

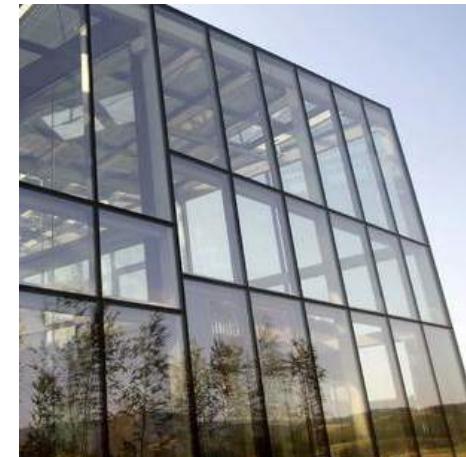
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- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



0 7.5 15 30 60
SCALE: 1" = 30' - 0"



DARK CORRUGATED METAL

EIFS

WARM CORRUGATED METAL

CURTAIN WALL

WHITE METAL PANEL



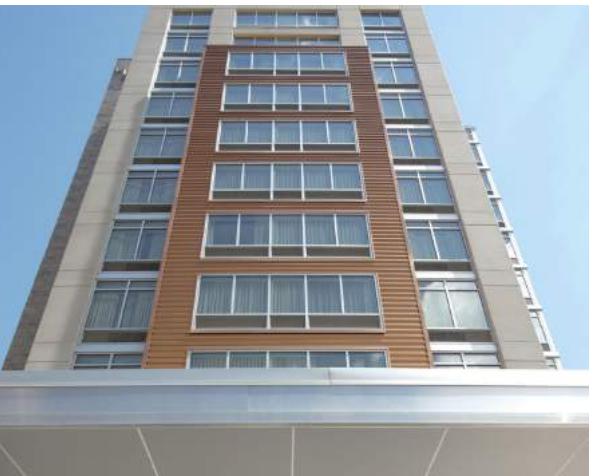
0 4 8 16 32
SCALE: 3/64" = 1' - 0"

SOUTH ELEVATION

CITY OF MADISON LUA | 05-29-2019 | PAGE 10



GLASS CANOPY/STEEL FRAME



WINDOW



SCREENING



ARCHITECTURAL PRECAST



0 4 8 16 32
SCALE: 3/64" = 1' - 0"

NORTH ELEVATION

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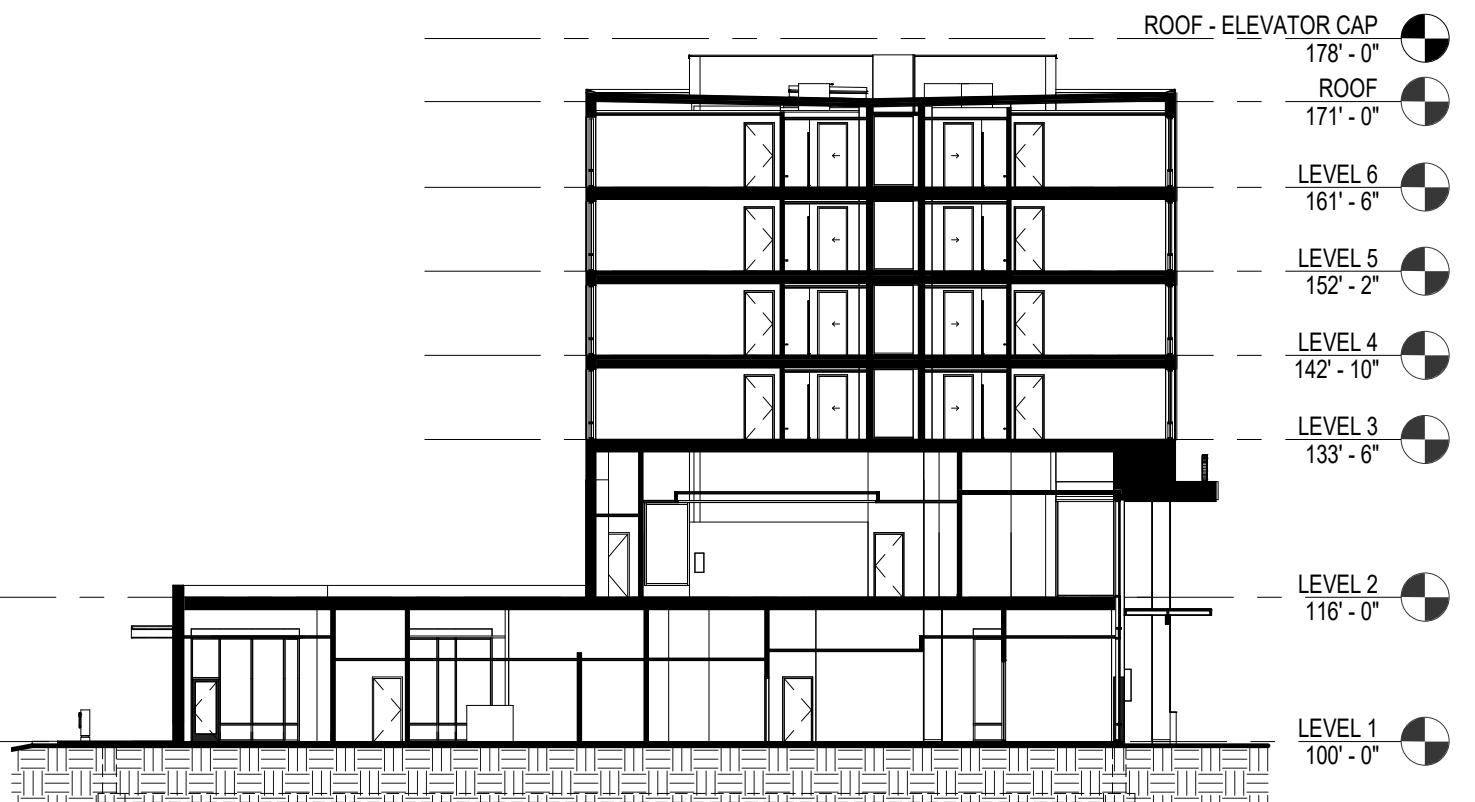
EAST ELEVATION



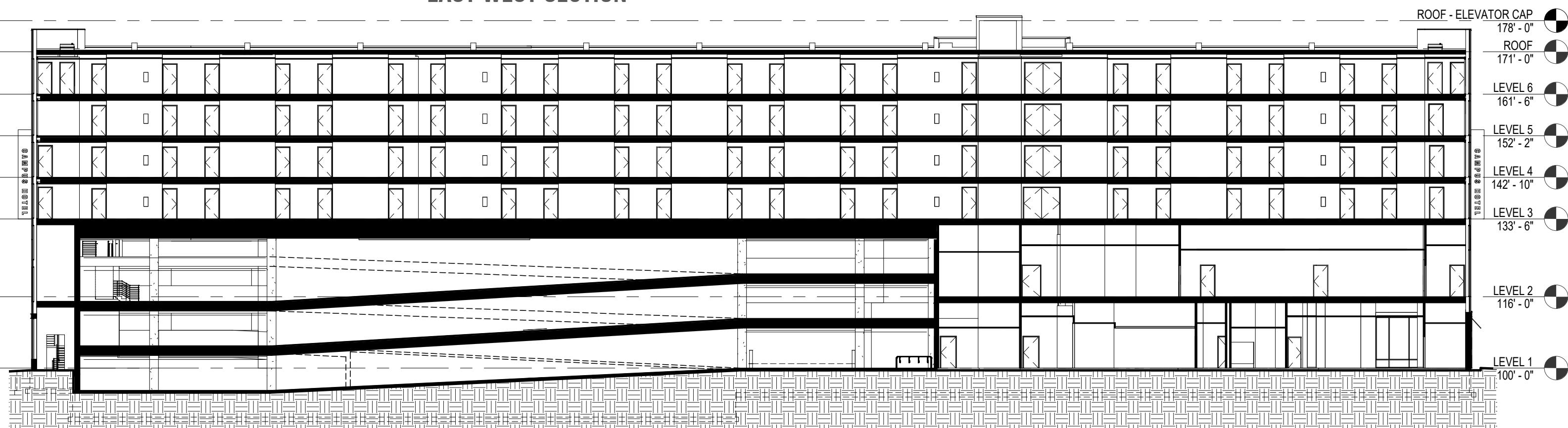
0 4 8 16 32
SCALE: 3/64" = 1' - 0"

WEST ELEVATION

CITY OF MADISON LUA | 05-29-2019 | PAGE 12



EAST WEST SECTION



NORTH SOUTH SECTION

0 4 8 16 32

SCALE: 3/64" = 1' - 0"



VIEW OF VEHICLE ENTRY

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VIEW OF BIKE PATH ENTRY

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VIEW OF EAST CAMPUS MALL ENTRY

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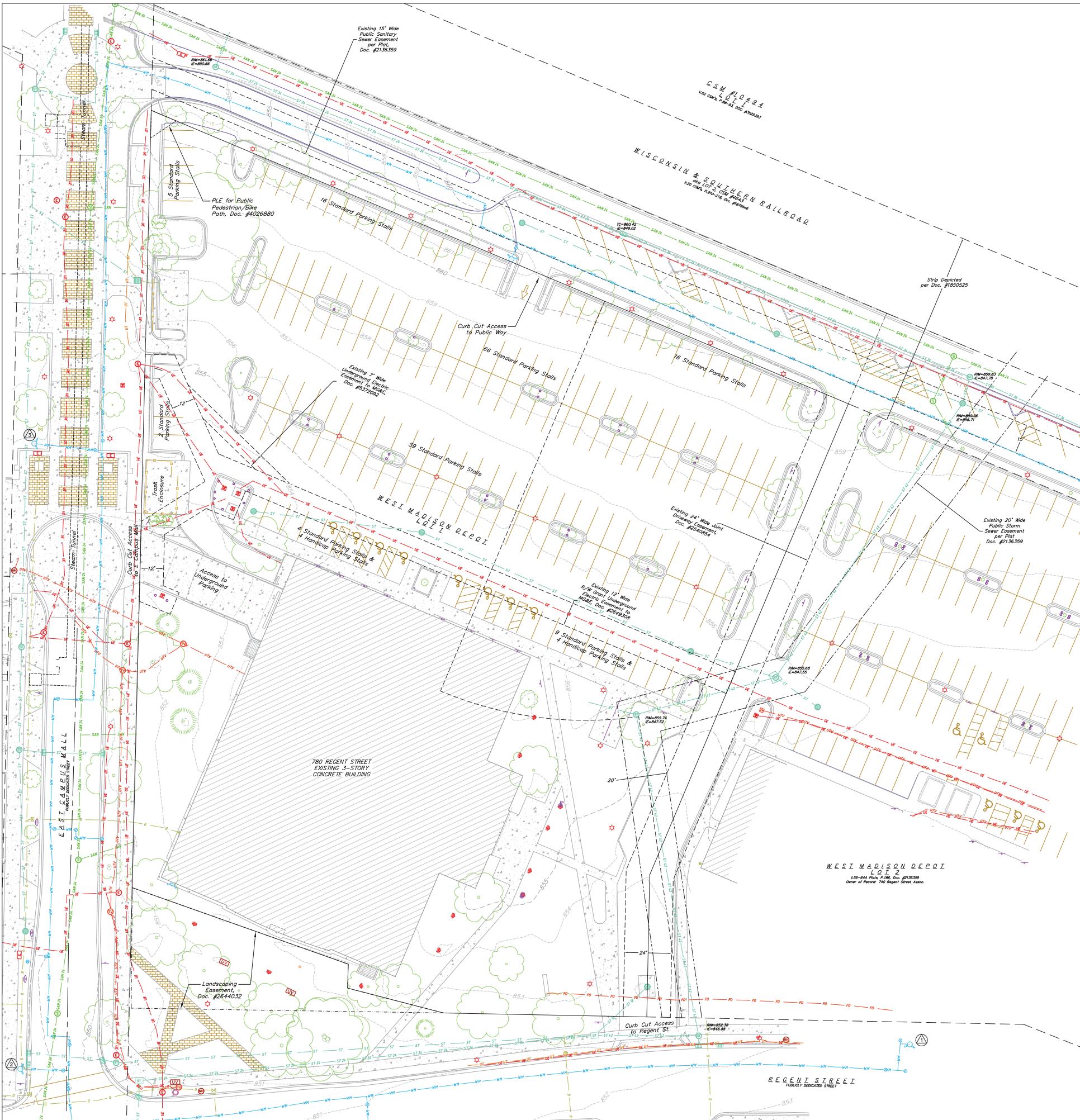


VIEW OF POCKET PARK FROM BIKE TRAIL



VIEW OF POCKET PARK

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TOPOGRAPHIC LINELINE LEGEND

- UTV - EXISTING UNDERGROUND CABLE TV
- UT - EXISTING UNDERGROUND TELEPHONE
- * - EXISTING GENERAL FENCE
- - EXISTING WOOD FENCE
- G - EXISTING GAS LINE
- UE - EXISTING UNDERGROUND ELECTRIC LINE
- SAN - EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST - EXISTING STORM SEWER LINE (SIZE NOTED)
- WN - EXISTING WATER MAIN (SIZE NOTED)
- 820 - EXISTING MAJOR CONTOUR
- 818 - EXISTING MINOR CONTOUR

TOPOGRAPHIC SYMBOL LEGEND

- - EXISTING BOLLARD
- - EXISTING ELECTRIC RECTANGULAR MANHOLE
- - EXISTING FLAG POLE
- ☒ - EXISTING TRANSFORMER
- △ - EXISTING SIGN
- ◊ - EXISTING LIGHT POLE
- - EXISTING PARKING METER
- - EXISTING CURB INLET
- - EXISTING FIELD INLET RECTANGULAR
- - EXISTING FIELD INLET
- - EXISTING STORM MANHOLE
- - EXISTING STORM MANHOLE RECTANGULAR
- - EXISTING SANITARY MANHOLE
- - EXISTING FIRE HYDRANT
- - EXISTING FIRE DEPARTMENT CONNECTION
- - EXISTING WATER MAIN VALVE
- △ - EXISTING GAS VALVE
- - EXISTING GAS METER
- - EXISTING ELECTRIC MANHOLE

HATCHING LEGEND

- Existing Concrete
- Existing Brick Pavers

NOTES:

1. THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON AUGUST 16 THROUGH AUGUST 23, 2019. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 23, 2019, NOT DETECTED DURING FIELD SURVEY WORK, WILL REQUIRE ADDITIONAL FIELD SURVEY WORK PERFORMED ON FEBRUARY 22, 2019.
2. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
3. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF NEW UTILITIES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR, REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLAN.
4. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGER'S HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.



Revisions

SITE BENCHMARKS

(1) ARROW BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF REGENT STREET, APPROXIMATELY 430' EAST OF THE INTERSECTION WITH EAST CAMPUS MALL. ELEV = 855.83

(2) ARROW BOLT ON FIRE HYDRANT LOCATED IN THE NORTHEAST QUADRANT OF REGENT STREET AND EAST CAMPUS MALL. ELEV = 852.43

(3) TAG BOLT ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF EAST CAMPUS MALL APPROXIMATELY 65' NORTH OF THE OUL-DE-SAC. ELEV = 854.77

CITY OF MADISON LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
 MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
 Madison, WI 53715

Project No. Mortenson
 218051

Sheet Title

EXISTING CONDITIONS PLAN

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
www.DiggersHotline.com

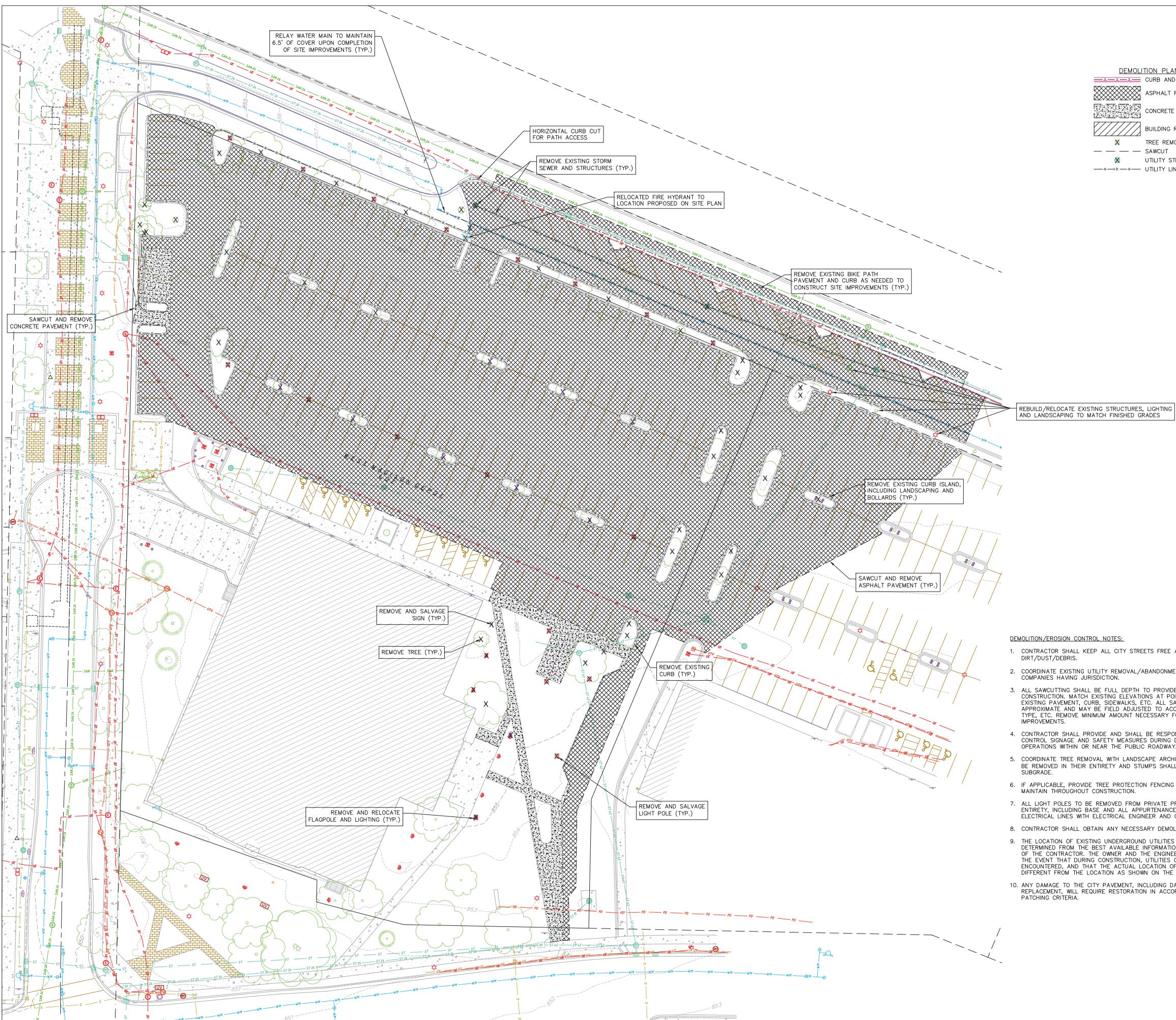
THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY LOCATED. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THIS SURVEY OR NOT. CONTRACTOR SHALL LOCATE ALL UTILITIES AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

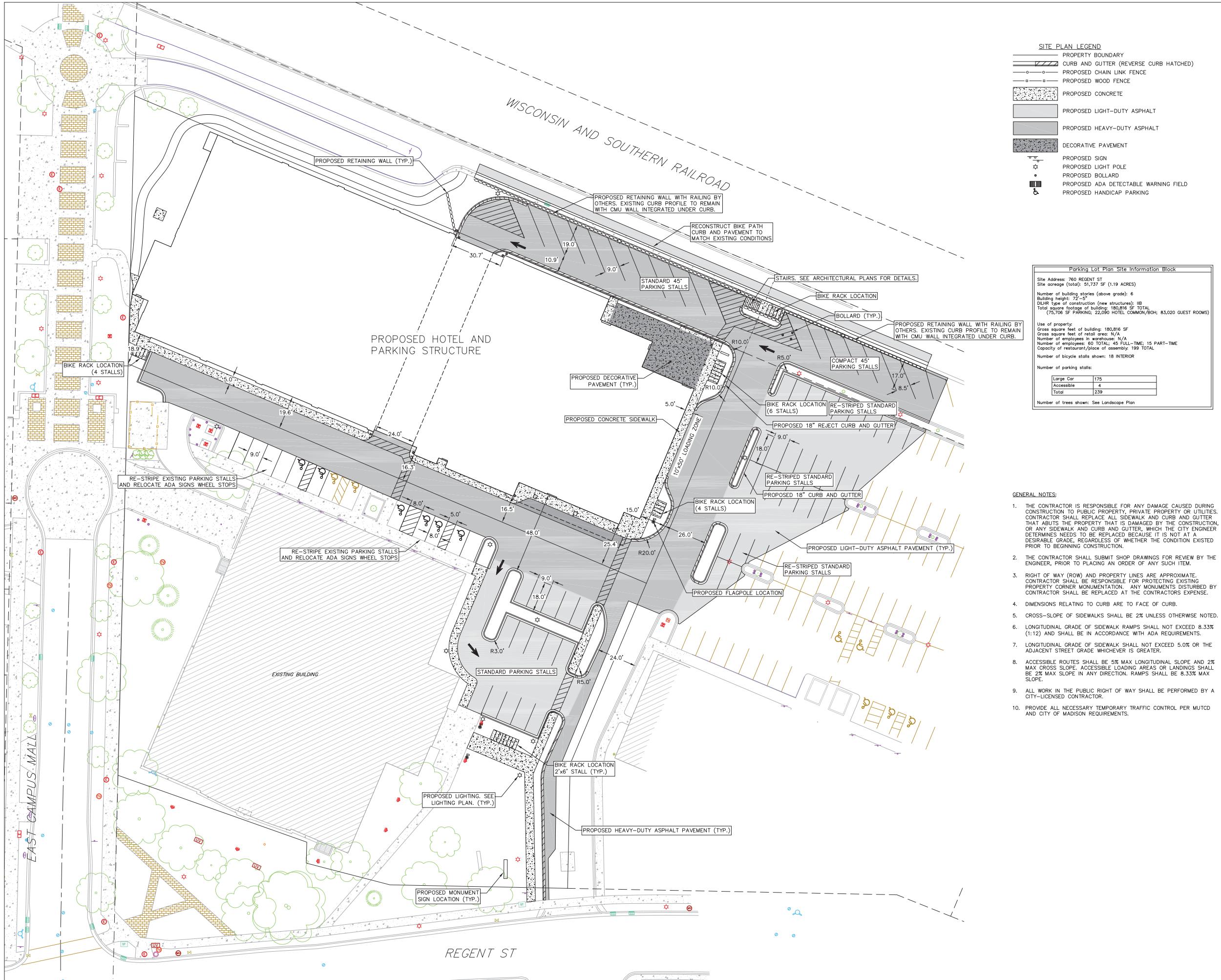
CALL DIGGER'S HOTLINE
 1-800-242-8511

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 111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
 Telephone 414.272.2000 Fax 414.272.2013

44 East Millin Street, Suite 700, Madison, Wisconsin 53703
 Telephone 608.233.6300 Fax 608.233.6311

Sheet No. C100





CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date

MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street

Madison, WI 53715

Project No. Mortenson

218051

Sheet Title

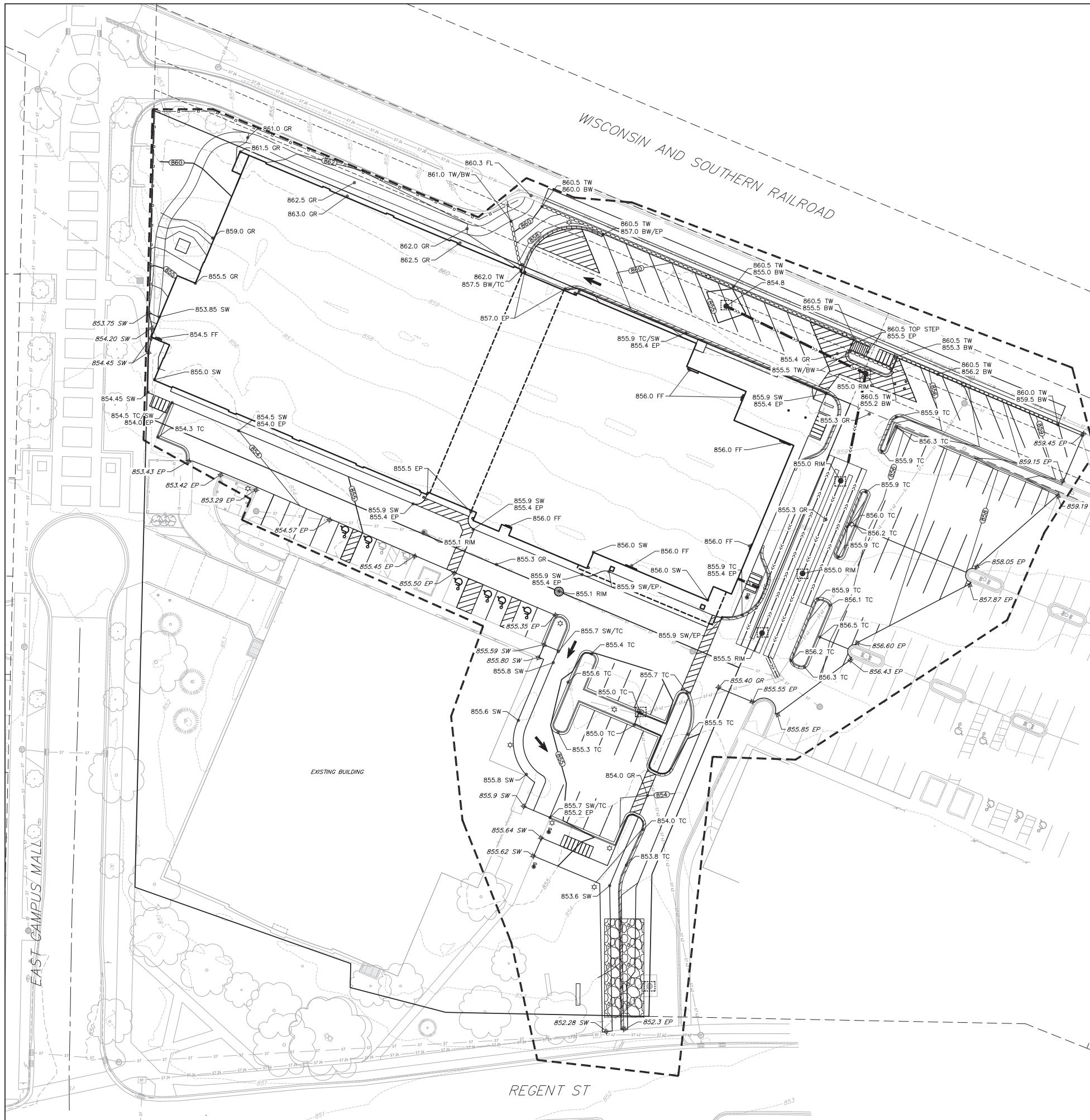
SITE PLAN

111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203

44 East Mifflin Street, Suite 700, Madison, Wisconsin 53703

Telephone 608.283.6300 Fax 608.283.6317

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Revisions

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date

MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title

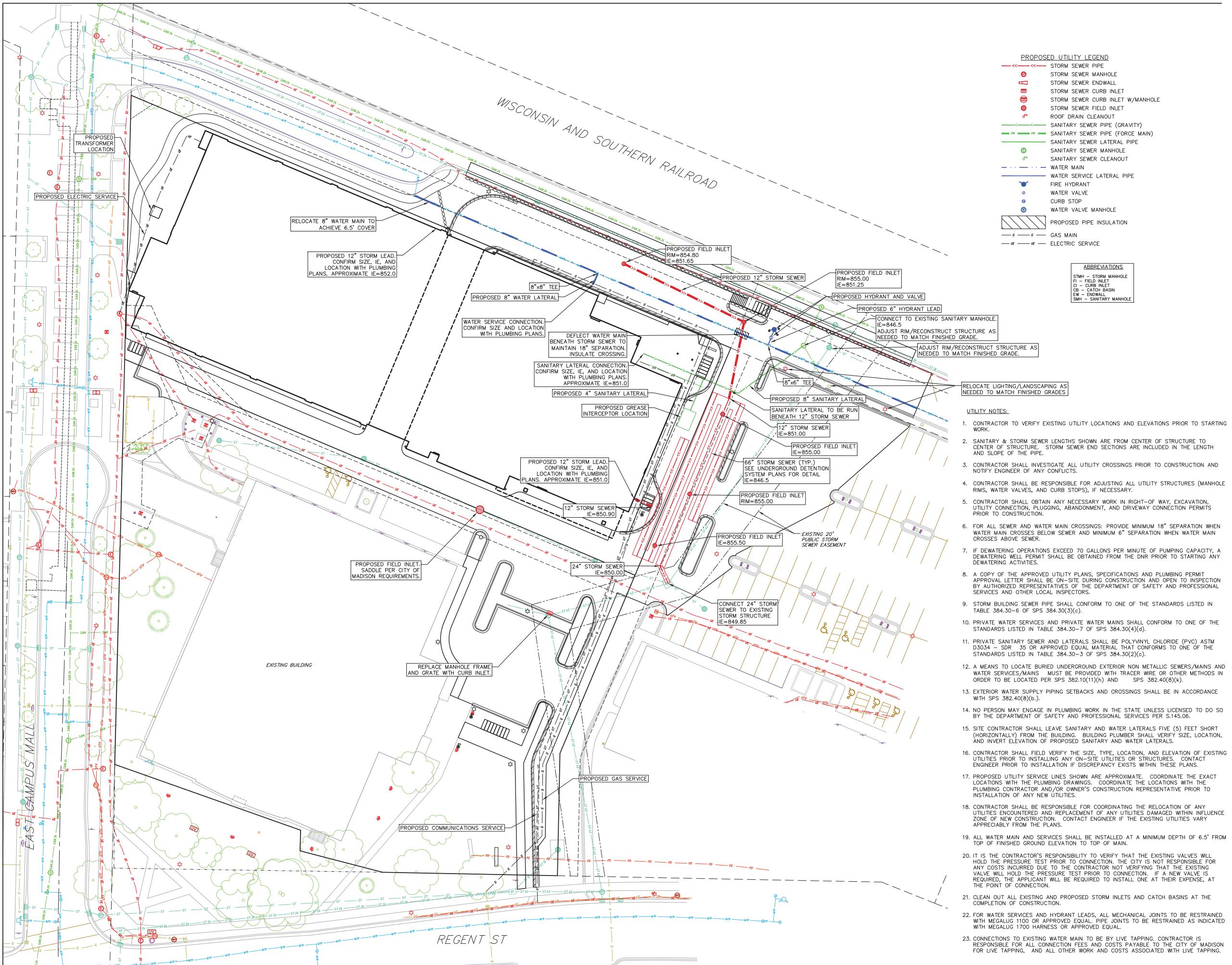
GRADING & EROSION
CONTROL PLAN

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Sheet No.

C300



EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/unoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL—DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL—STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

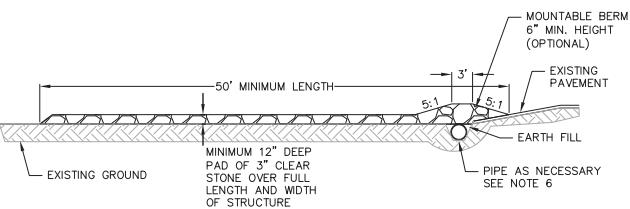
PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

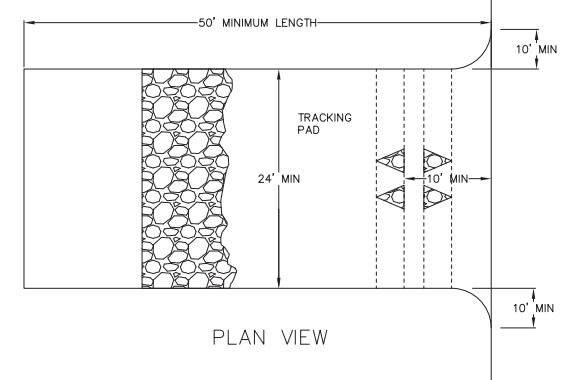
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE $\frac{1}{2}$ " TO $1\frac{1}{2}$ " STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

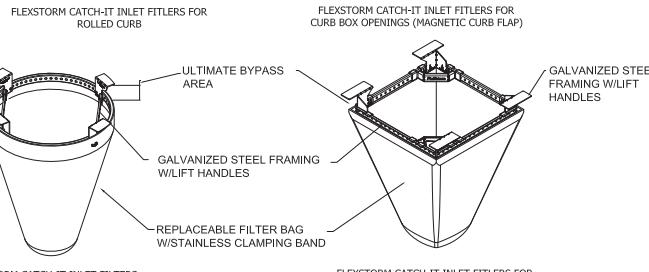
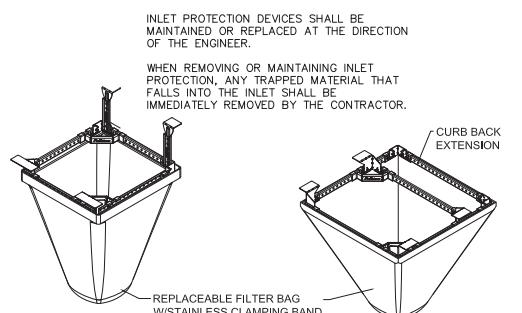


PROFILE VIEW



PLAN VIEW

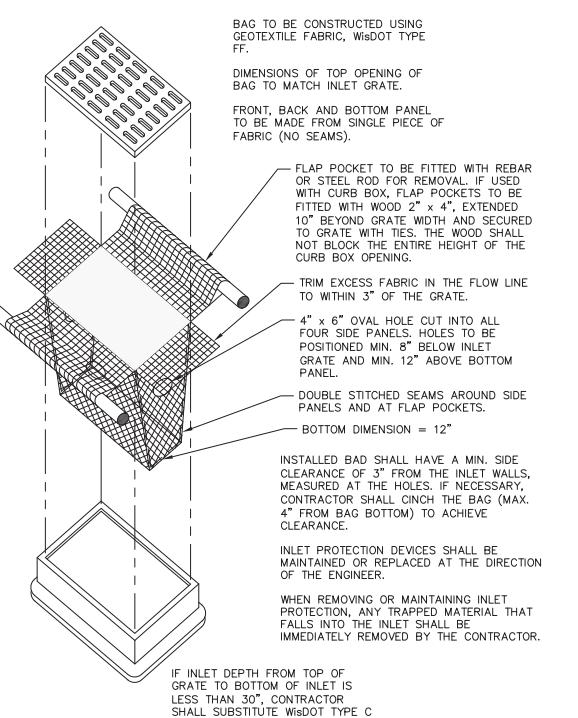
1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH — MINIMUM OF 50'
3. WIDTH — 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE — CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER — ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION — A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.



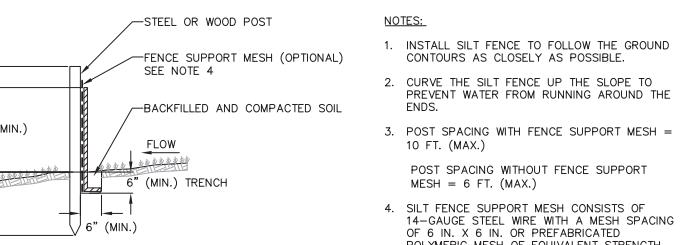
NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MCBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

FLEXSTORM INLET PROTECTION
NOT TO SCALE

11

INLET PROTECTION TYPE D
NOT TO SCALE

11

SILT FENCE
NOT TO SCALESILT SOCK
NOT TO SCALECITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date

MAY 29, 2019

UW CAMPUS HOTEL

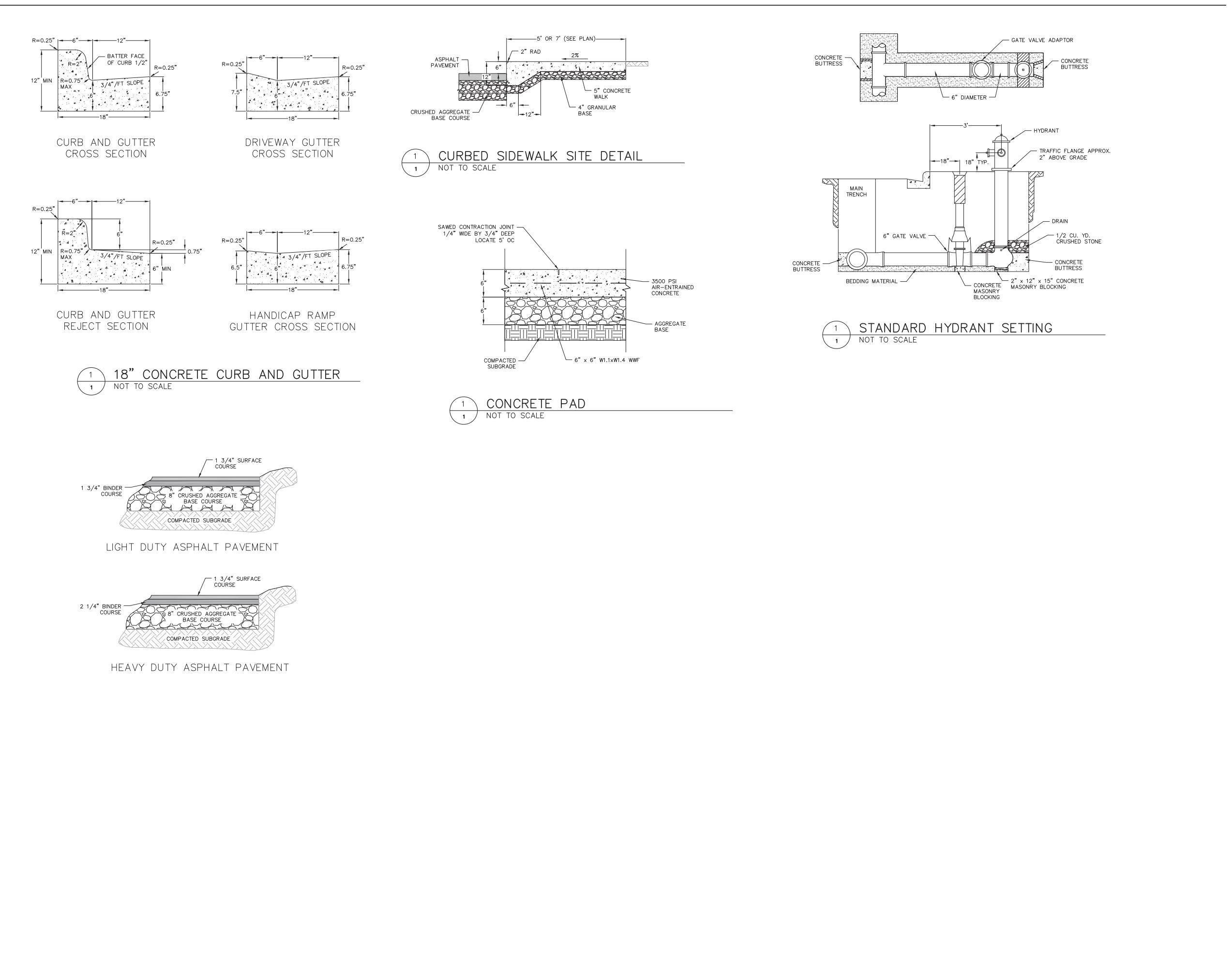
760 Regent Street
Madison, WI 53715Project No. Mortenson
218051

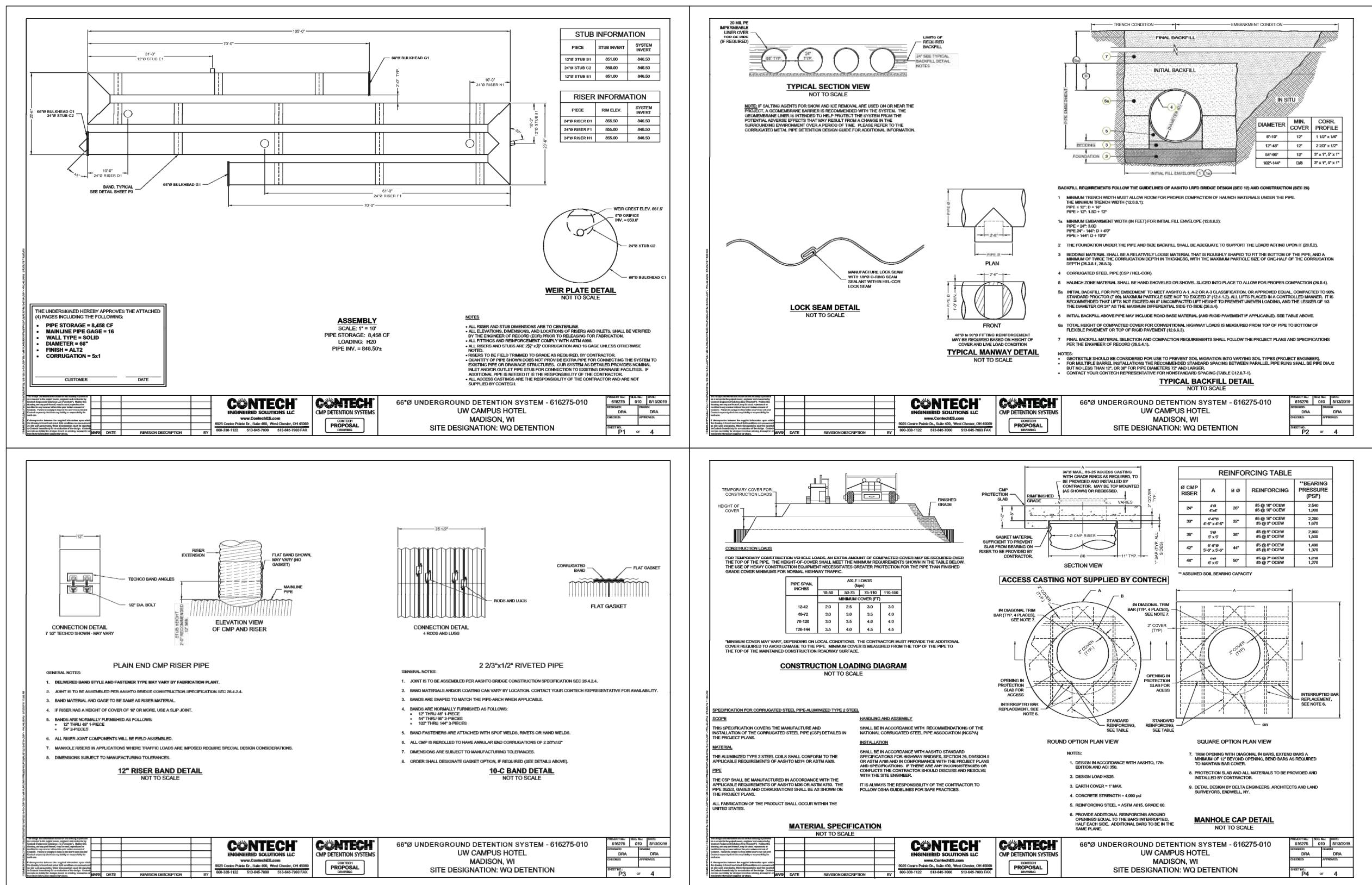
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CONSTRUCTION
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111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414.272.2000, Fax 414.272.200144 East Mifflin Street, Suite 700, Madison, Wisconsin 53703
Telephone 608.233.6300, Fax 608.233.6317

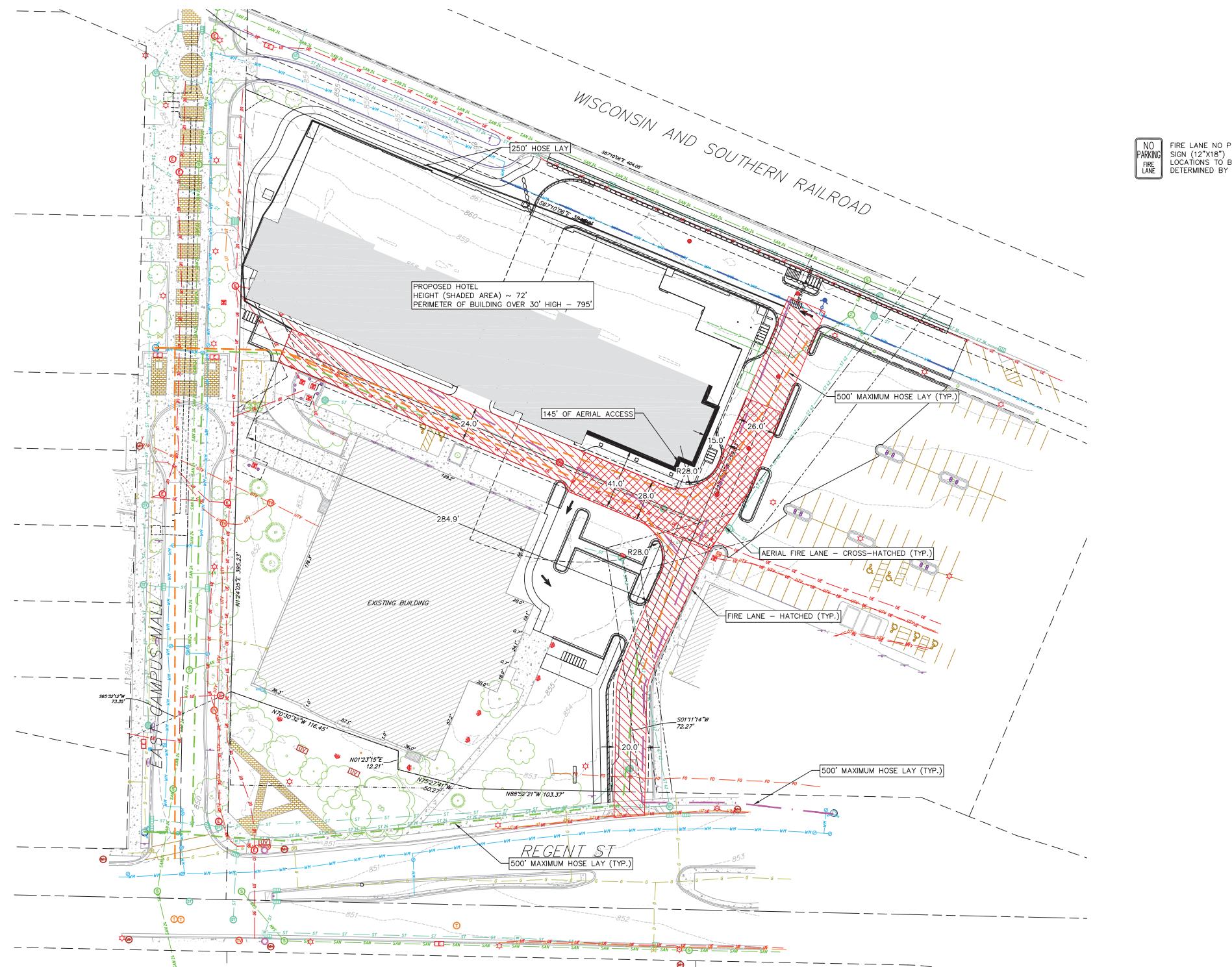
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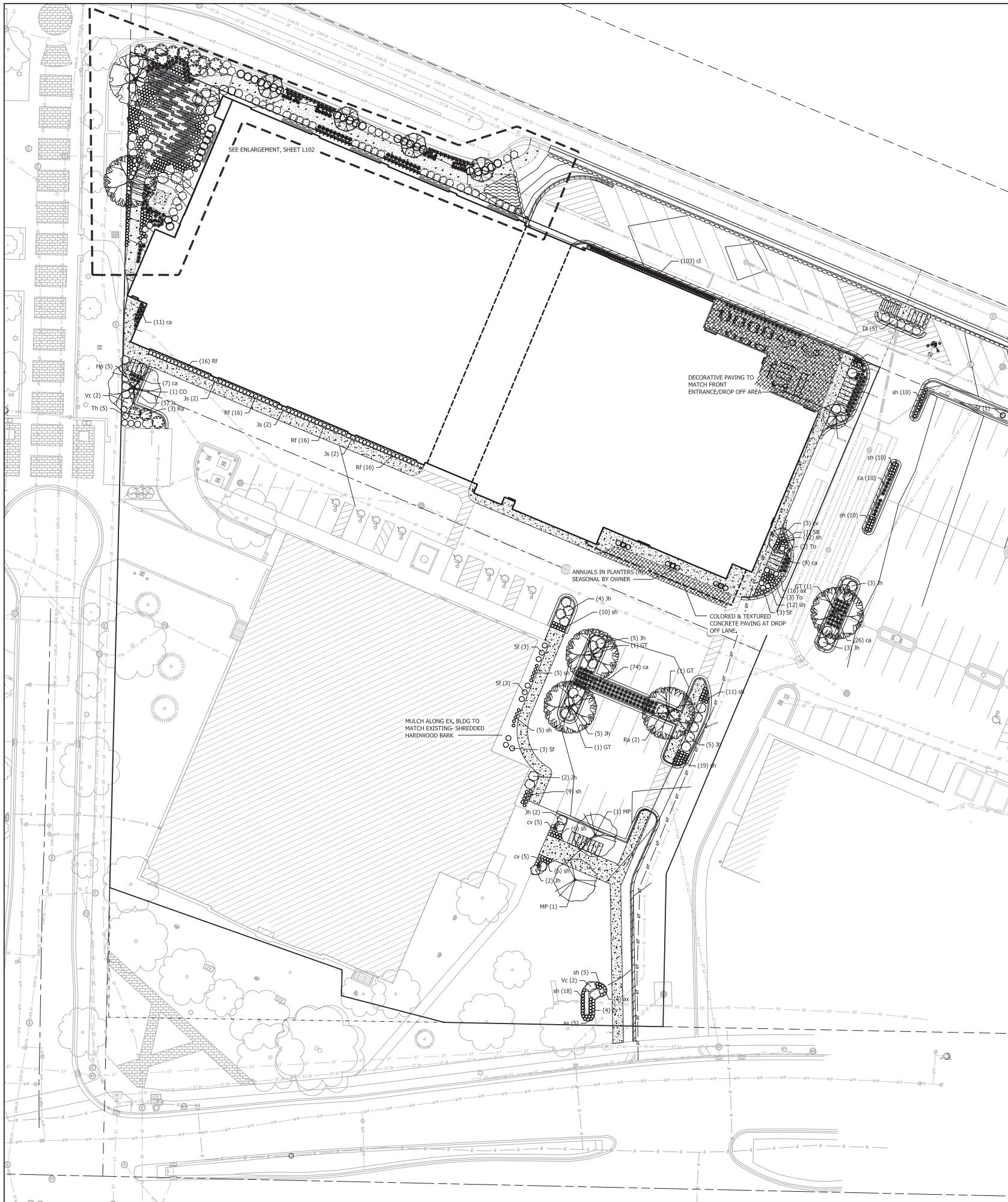
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NOT FOR CONSTRUCTION





PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
CO	Celtis occidentalis / Common Hackberry	B & B	2.5' Cal	1	
GT	Gleditsia triacanthos / Northern Acacia	B & B	2.5' Cal	5	
GD	Gleditsia triacanthos 'Northern Acacia' / Northern Acacia Honeylocust	B & B	2.5' Cal	1	
OV	Gymnocladus dioica 'McBranched' / Decaf Kentucky Coffeetree	B & B	2.5' Cal	4	
	50' x 40'				
	Ostrya virginiana / American Hop hornbeam	B & B	2.5' Cal	4	
	25' x 15'				
EXISTING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
Ex Gt	Gleditsia triacanthos / Honey Locust	Existing	6"	2	
UNDERSTORY TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	
MP	Maianthemum canadense 'Prairie Maid' / Prairie Maid Crabapple	B & B	2' Cal	2	
SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2' Cal	3	
	25' x 15'				
DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY	
DI	Dewberry / Rubus hispida / Dwarf Bush Honeysuckle	5 gal	Cont	5	
Ha	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	24" ht.	14	
Hp	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal	Cont	20	
Rf	Rhamnus frangula 'Fine Line' / Fine Line Buckthorn	5 gal	Cont	64	
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Cont	15	
Sf	Spiraea x frutescens 'Pink-a-licious' / Pink-a-licious Fitch Spirea	3 gal	Cont	13	
Vc	Viburnum x cassiope / Withered Viburnum	5 gal	Cont	8	
	5-6' x 5-6'				
EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY	
Bs	Buxus sempervirens 'Wintergreen' / Wintergreen Korean Littleleaf Boxwood	5 gal	Cont	20	
JF	Juniperus chinensis 'Fairview' / Fairview Juniper	3-4' x 3-4'	6" ht.	2	
Jh	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Cont	52	
Js	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	3 gal	Cont	20	
Te	Taxus x media 'Everblo' / Everlow Yew	5 gal	Cont	31	
Tm	Taxus x media 'Hicksii' / Hicks Yew	10 gal	Cont	2	
To	Thujopsis dolabrata 'Hetz Midget' / Hetz Midget Arborvitae	5 gal	24" ht.	11	
Th	Thujopsis dolabrata 'Holmstrup' / Holmstrup Cedar	10 gal	6" ht.	10	
	12-16' x 2-4'				
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY	
ar	Ajuga reptans 'Chocolate Chip' / Chocolate Chip Carpet Bugle	4" pot	56		
ax	Amsinckia x 'Blue Ice' / Blue Ice Star Flower	4" pot	Cont	84	
ca	Calystegia soldanella 'Karl Foerster' / Feather Reed Grass	1 gal	Cont	247	
d	Chasmanthium latifolium / Northern Sea Oats	3-5' x 20"	1 gal	Cont	103
cv	Coreopsis verticillata 'Zagreb' / Zagreb Thread Leaf Coreopsis	4" pot	Cont	17	
hbt	Heuchera x 'Berry Timeless' / Coral Bells	4" pot	Cont	21	
ham	Hosta x 'August Moon' / Plantain Lily	1 gal	Cont	28	
po	Polystichum acrostichoides / Christmas Fern	1 gal	Cont	57	
sh	Sporobolus heterolepis / Prairie Dropseed	1 gal	Cont	305	
	2' x 18"				
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	SPACING	QTY
	Vinca minor 'Bowles' / Bowles' Common Periwinkle	flat	2" pot	12" o.c.	151 sf



SEEDING/DECORATIVE PAVING SCHEDULE

	DECORATIVE PAVING	1,848 sf
	COMPACTED CRUSHED GRANITE	2,214 sf

Revisions

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI 260.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be sodded with Kentucky bluegrass turf sod grown in soil.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be sodded/sodded.
- Landscape beds to be mulched with shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging. Permaloc CleanLine 3/8" x 4" or equal, color black anodized.

CITY OF MADISON LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date

MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
 Madison, WI 53715

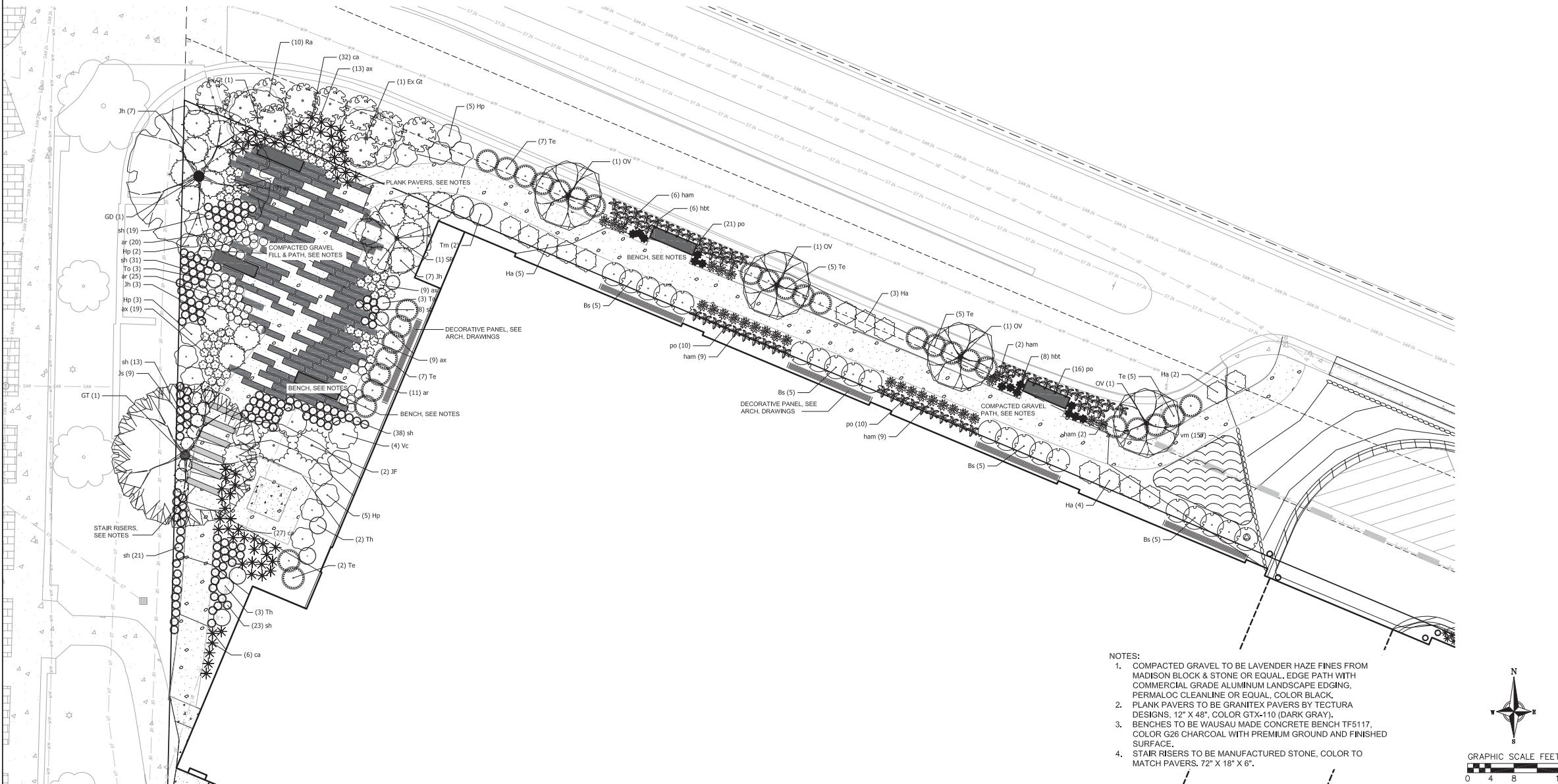
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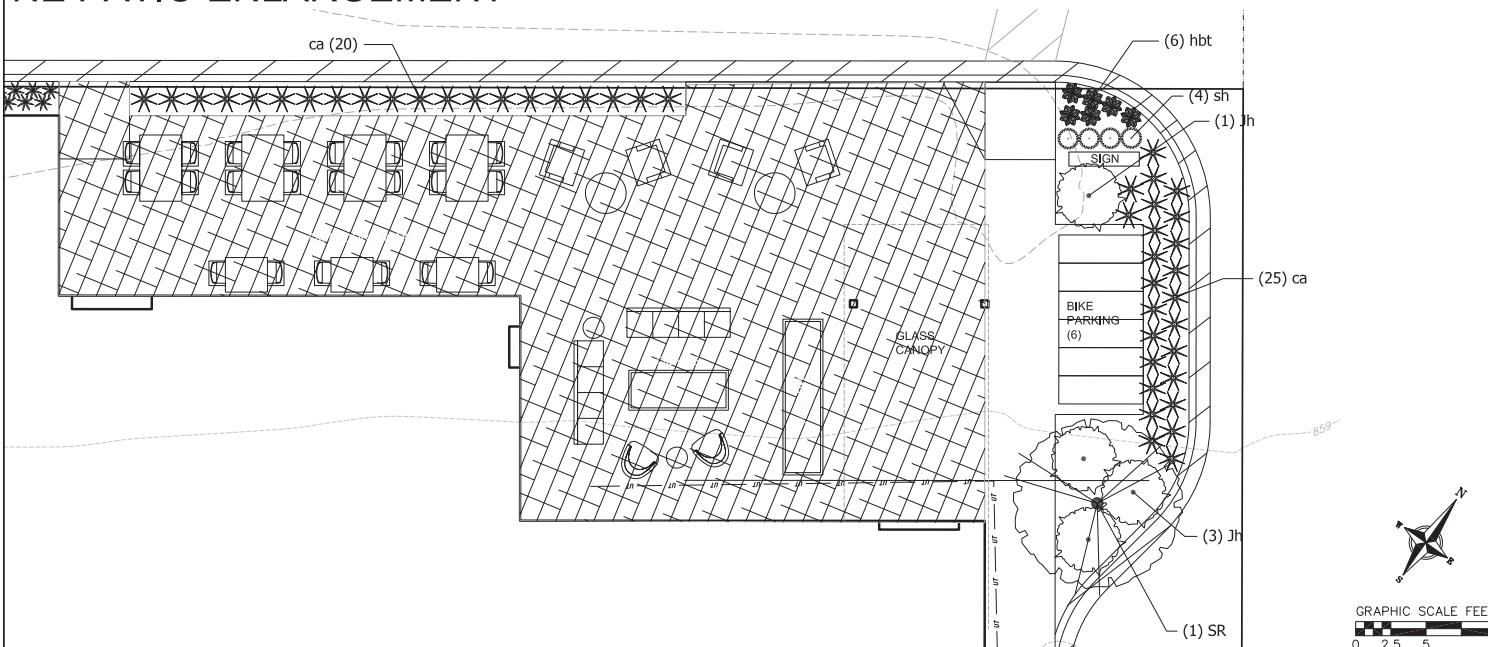
LANDSCAPE PLAN

City of Madison Landscape Worksheet						
Address:		760 Regent St	Date:		05.03.2019	
Total Square Footage of Developed Area:		(Site Area)	51737	(Building Footprint at Grade)		38023 = 13714 sf
Total Landscape Points Required:		13,714	/ 300 =	46	x 5 =	229
Credits/ Existing Landscaping				New/ Proposed Landscaping		
Plant Type/ Element	Min. Site at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Ostrya virginiana	2.5' cal	35	0	2	70	
Tall Evergreen Tree	5-6 feet tall	35	0	0	0	
Ornamental tree	1.5' cal	15	0	3	45	
Upright evergreen shrub	3-4 feet tall	10	0	7	70	
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3	0	82	246	
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4	0	53	212	
Ornamental grasses/ perennials	#1 gallon container size, Min. 5-18"	2	0	254	508	
Ornamental/ decorative fencing or wall	4 per 10 LF		0	0	0	
Existing significant specimen tree	Min. Size 2.5" cal. Trees must be 2.5" cal. or larger and cannot comprise more than 30% of total required points	200	14 per caliper inch, Max. points per tree: 200	0	0	
Landscape furniture for public seating and/or transit connections	Furniture must be within development, publicly accessible, and not comprise more than 5% of total required points	5 points per "seat"	0	0	30	
Sub Totals				0	1181	
						Total Points Provided: 1181

NW CORNER PLAZA & NORTH PATH ENLARGEMENT



NE PATIO ENLARGEMENT



CITY OF MADISON LUA
 SUBMITTAL
 SCOPE DOCUMENTS

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 LANDSCAPE DETAIL

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