

UW CAMPUS HOTEL



760 REGENT STREET | MADISON, WISCONSIN

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ATTACHMENTS

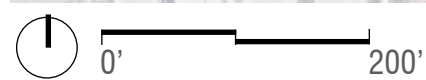
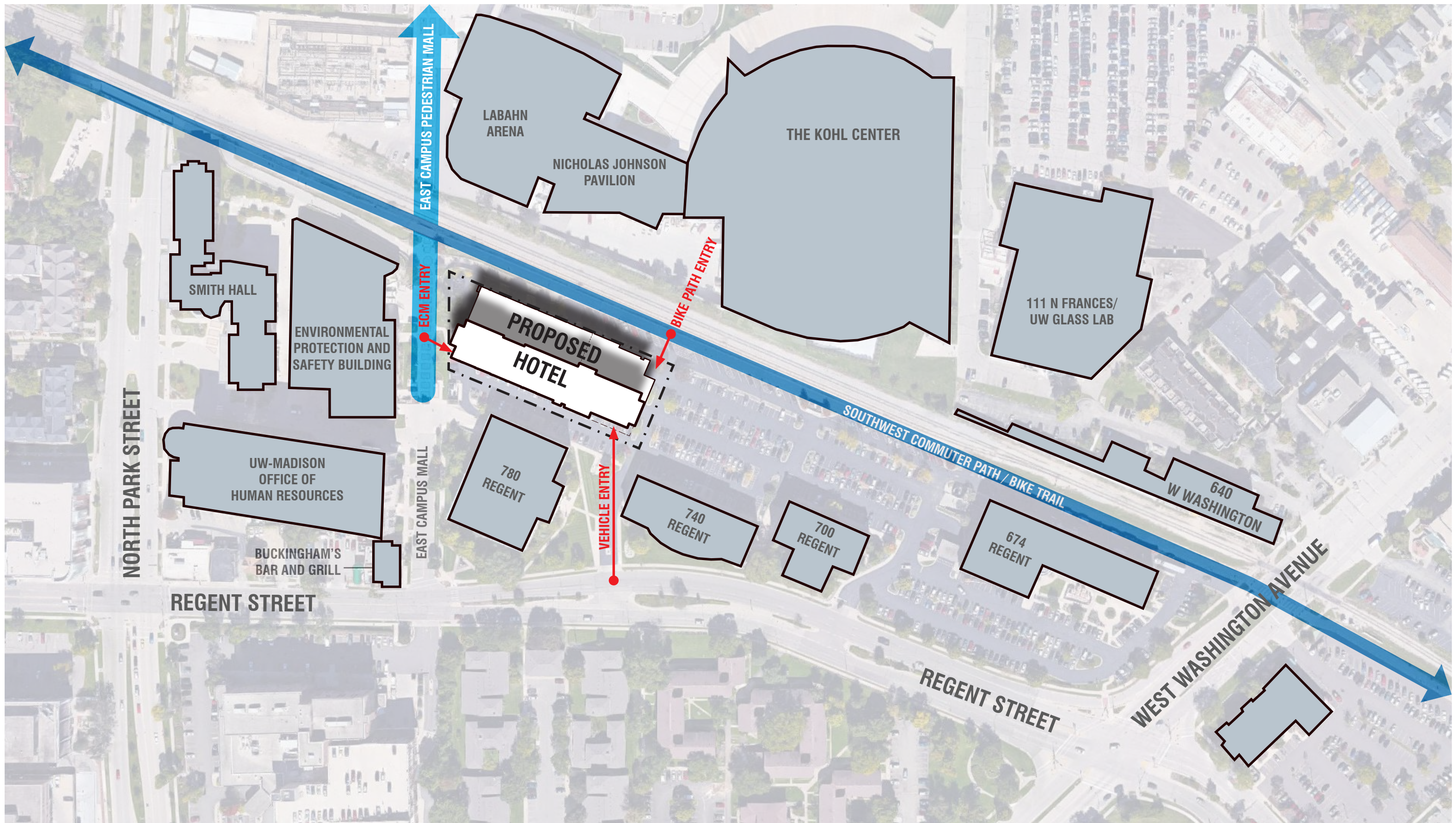
CIVIL, LANDSCAPE, AND LIGHTING DETAILED DRAWINGS



NOT TO SCALE

LOCATION PLAN

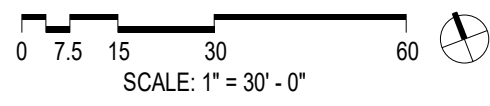
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SITE CONTEXT PLAN

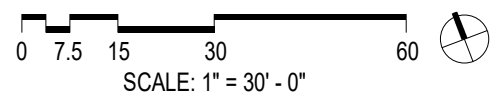
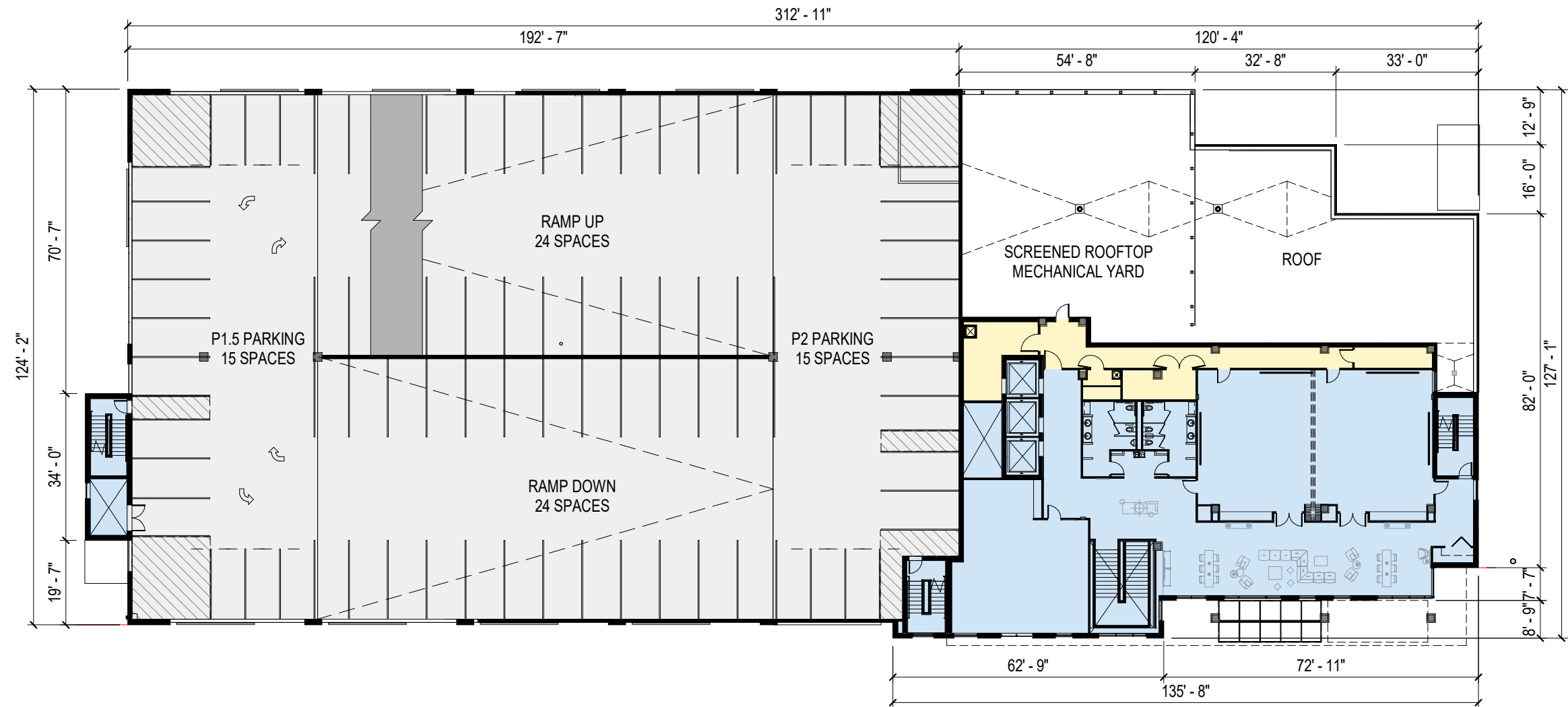
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- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



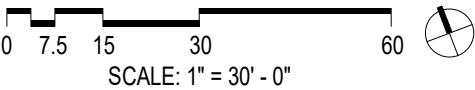
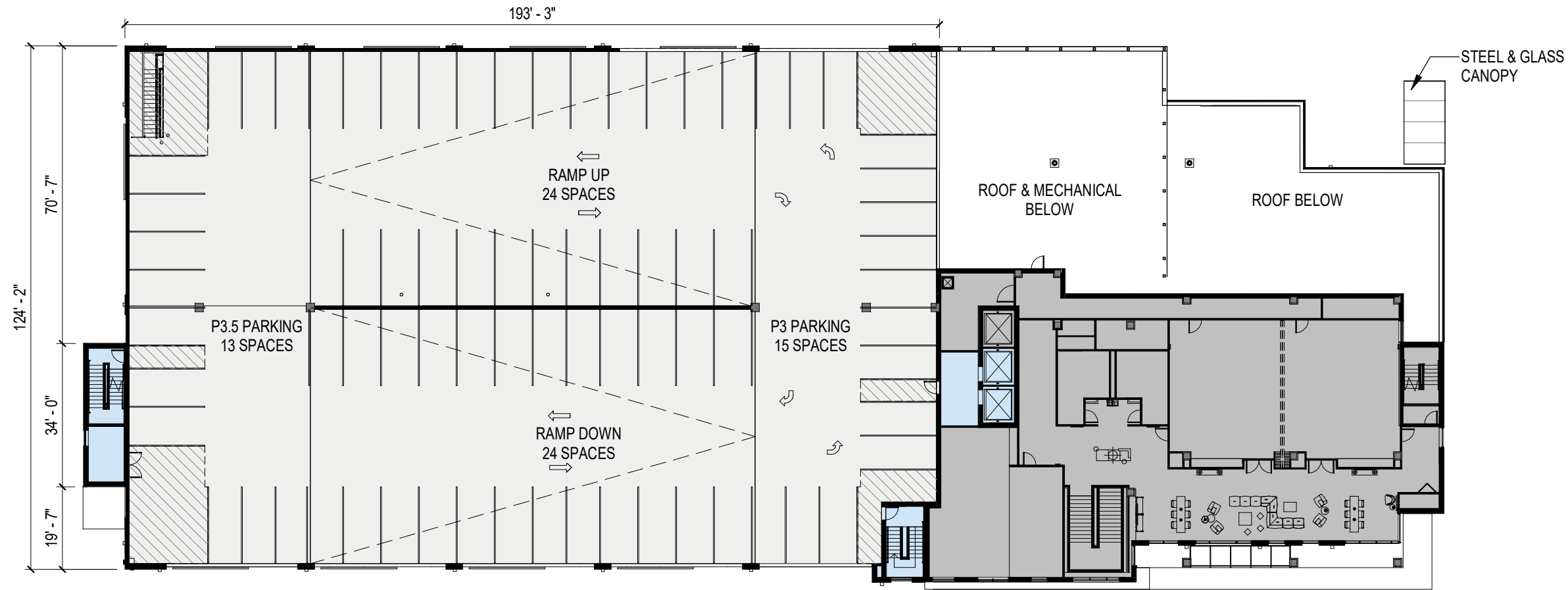
1ST FLOOR PLAN

- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



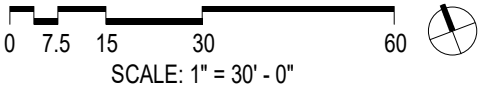
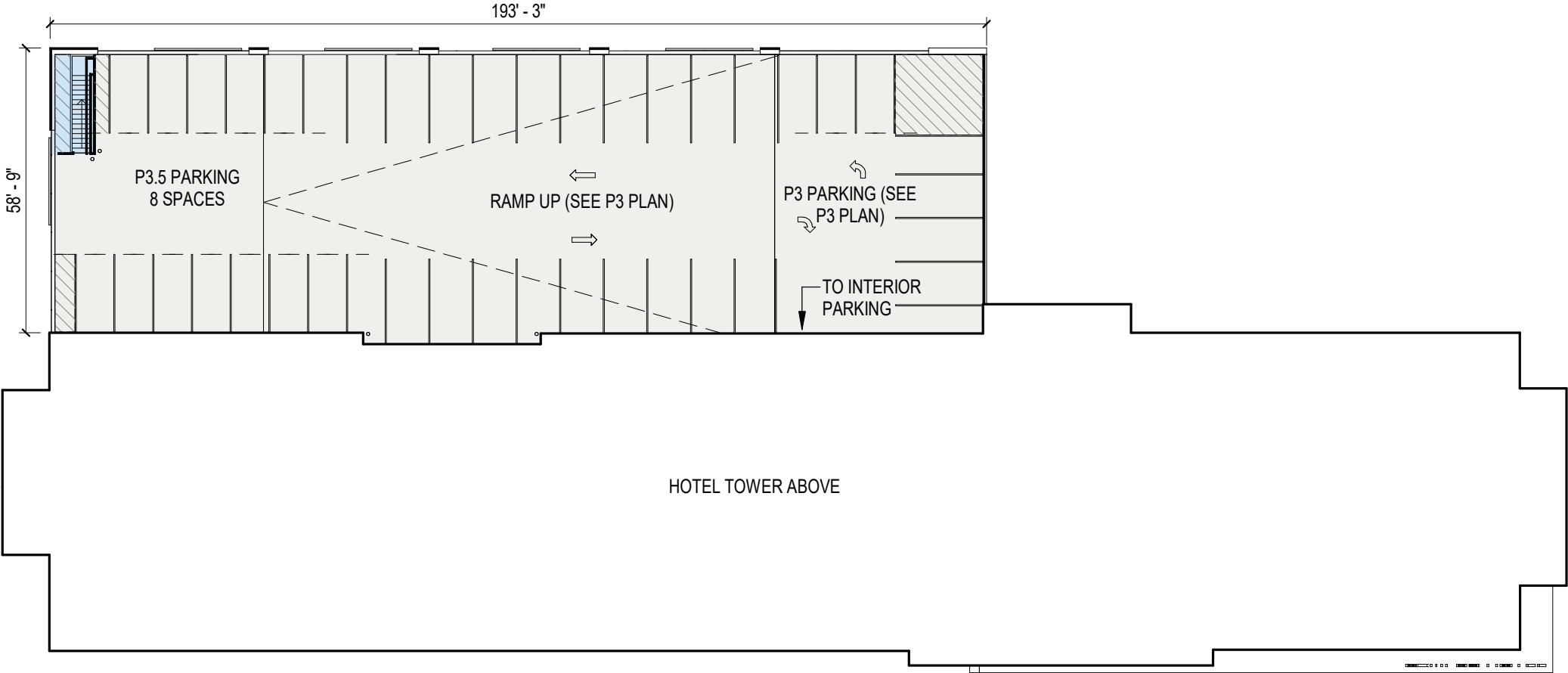
2ND FLOOR PLAN

- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



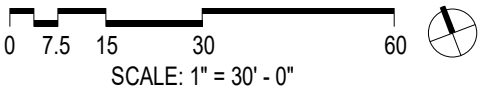
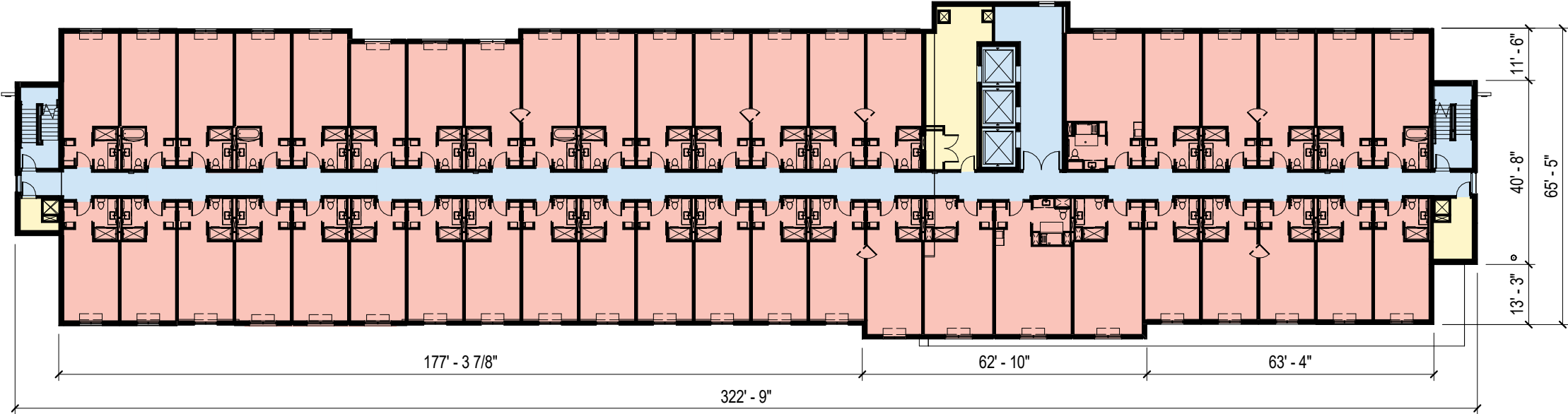
P3 PLAN

- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



P3.5 PLAN

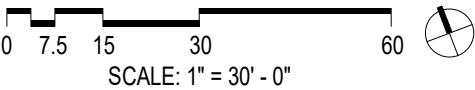
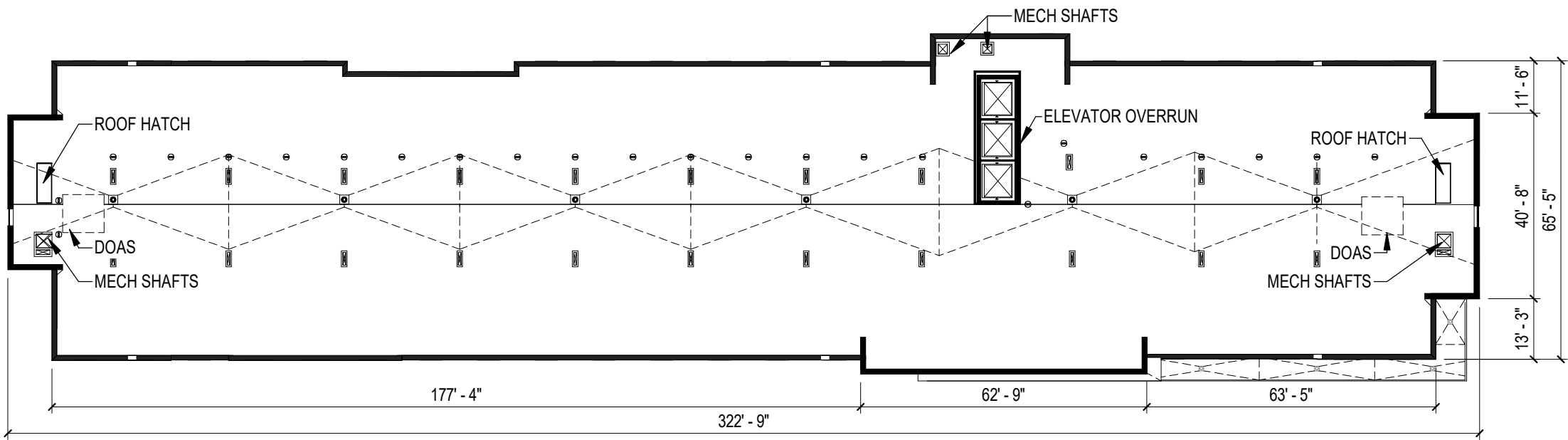
- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
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3RD-6TH FLOOR PLAN

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- PUBLIC HOTEL USE - CIRCULATION / SUPPORT
- ACTIVE SPACES INCLUDING BAR / RESTAURANT / LOUNGE
- BACK OF HOUSE
- GUESTROOMS



ROOF PLAN



DARK CORRUGATED METAL



EIFS



WARM CORRUGATED METAL



CURTAIN WALL



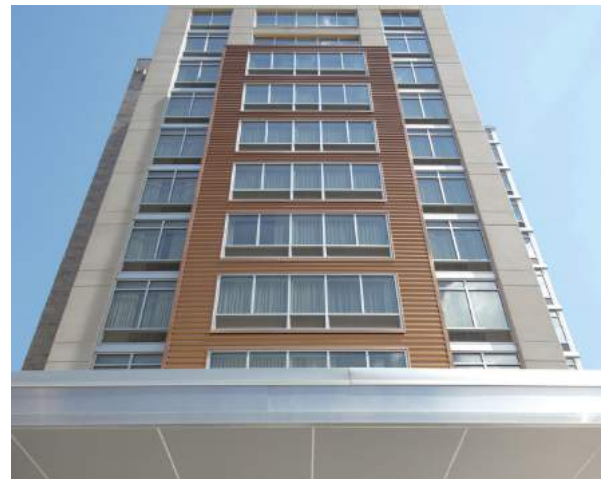
WHITE METAL PANEL



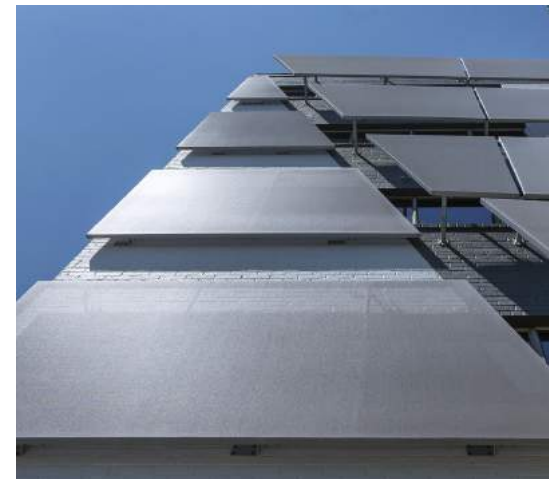
0 4 8 16 32
SCALE: 3/64" = 1' - 0"



GLASS CANOPY/STEEL FRAME



WINDOW



SCREENING



ARCHITECTURAL PRECAST



0 4 8 16 32
SCALE: 3/64" = 1' - 0"

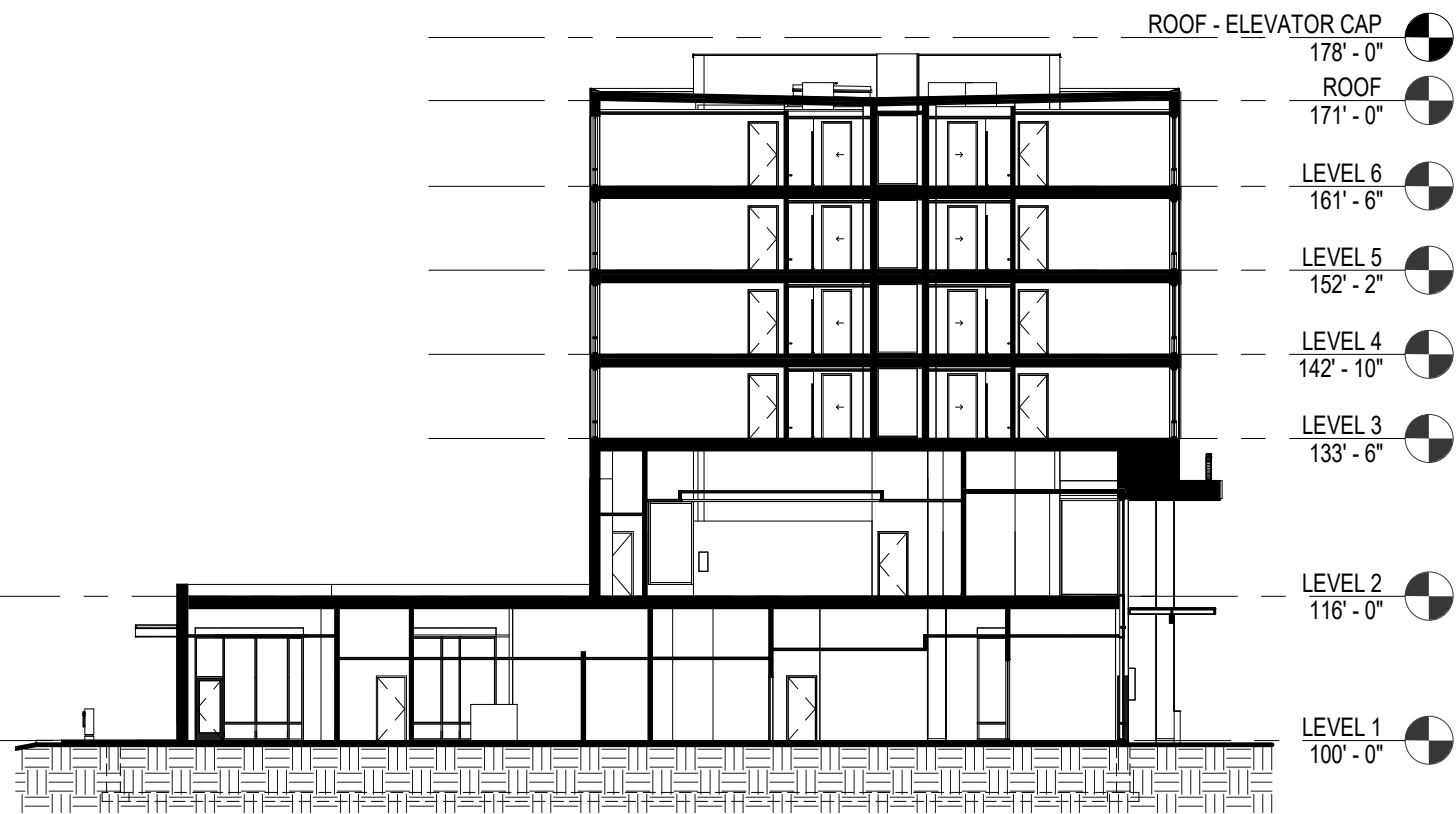


EAST ELEVATION

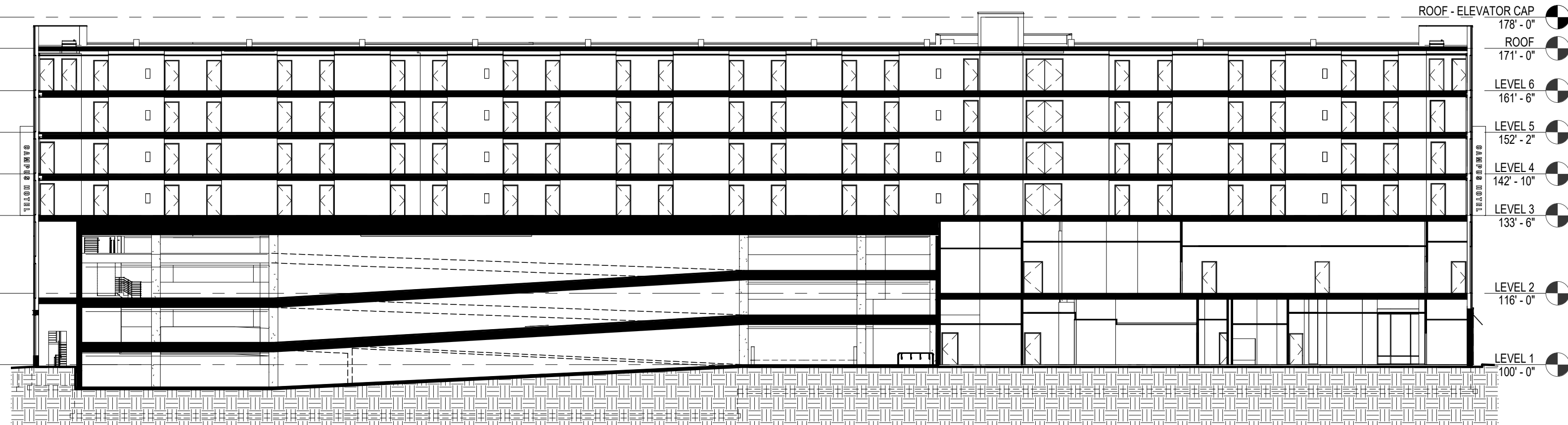


WEST ELEVATION

0 4 8 16 32
SCALE: 3/64" = 1' - 0"



EAST WEST SECTION



NORTH SOUTH SECTION

0 4 8 16 32
SCALE: 3/64" = 1' - 0"



VIEW OF VEHICLE ENTRY



VIEW OF BIKE PATH ENTRY



VIEW OF EAST CAMPUS MALL ENTRY

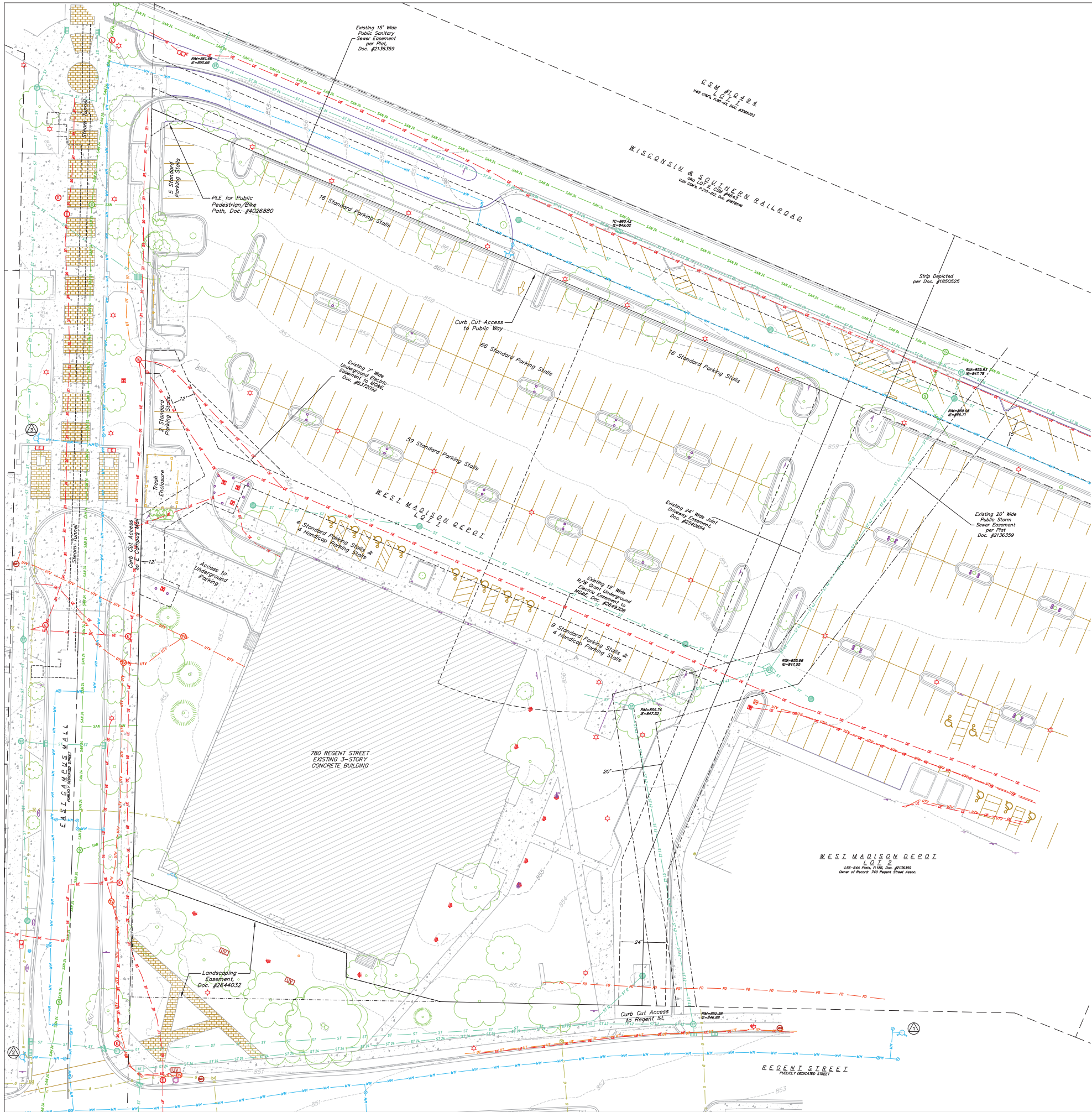


VIEW OF POCKET PARK FROM BIKE TRAIL



VIEW OF POCKET PARK

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TOPOGRAPHIC LINEWORK LEGEND

UTV	EXISTING UNDERGROUND CABLE TV
UT	EXISTING UNDERGROUND TELEPHONE
GF	EXISTING GENERAL FENCE
WF	EXISTING WOOD FENCE
GL	EXISTING GAS LINE
EL	EXISTING UNDERGROUND ELECTRIC LINE
SS	EXISTING SANITARY SEWER LINE (SIZE NOTED)
ST	EXISTING STORM SEWER LINE (SIZE NOTED)
WM	EXISTING WATER MAIN (SIZE NOTED)
820	EXISTING MAJOR CONTOUR
818	EXISTING MINOR CONTOUR

TOPOGRAPHIC SYMBOL LEGEND

EXISTING BOLLARD	EXISTING ELECTRIC RECTANGULAR MANHOLE
EXISTING FLAG POLE	EXISTING TRANSFORMER
EXISTING SIGN	EXISTING LIGHT POLE
EXISTING PARKING METER	EXISTING GENERIC LIGHT
EXISTING CURB INLET	EXISTING TV MANHOLE
EXISTING FIELD INLET RECTANGULAR	EXISTING TV PEDESTAL
EXISTING FIELD INLET	EXISTING TELEPHONE MANHOLE
EXISTING STORM MANHOLE	EXISTING UNIDENTIFIED MANHOLE
EXISTING STORM MANHOLE RECTANGULAR	EXISTING UNIDENTIFIED UTILITY VAULT
EXISTING SANITARY MANHOLE	EXISTING HANDICAP PARKING
EXISTING FIRE HYDRANT	EXISTING TRAFFIC SIGNAL
EXISTING FIRE DEPARTMENT CONNECTION	EXISTING SHRUB
EXISTING WATER MAIN VALVE	EXISTING CONIFEROUS TREE
EXISTING GAS VALVE	EXISTING DECIDUOUS TREE
EXISTING GAS METER	
EXISTING ELECTRIC MANHOLE	

HATCHING LEGEND

EXISTING CONCRETE
EXISTING BRICK PAVERS

- NOTES:**
- THIS SURVEY IS BASED UPON FIELD SURVEY WORK PERFORMED ON AUGUST 16 THROUGH AUGUST 23, 2018. ANY CHANGES IN SITE CONDITIONS AFTER AUGUST 23, 2018 ARE NOT REFLECTED BY THIS SURVEY. ADDITIONAL FIELD SURVEY WORK WAS PERFORMED ON FEBRUARY 22, 2019.
 - EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
 - CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
 - THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.



SITE BENCHMARKS

- ARROW BOLT ON FIRE HYDRANT LOCATED ON NORTH SIDE OF REGENT STREET, APPROXIMATELY 430' EAST OF THE INTERSECTION WITH EAST CAMPUS MALL. ELEV = 855.83
- ARROW BOLT ON FIRE HYDRANT LOCATED IN THE NORTHWEST QUADRANT OF REGENT STREET AND EAST CAMPUS MALL. ELEV = 852.43
- TAG BOLT ON FIRE HYDRANT LOCATED ON THE WEST SIDE OF EAST CAMPUS MALL, APPROXIMATELY 65' NORTH OF THE CUL-DE-SAC. ELEV = 854.77



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

Revisions

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS
Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

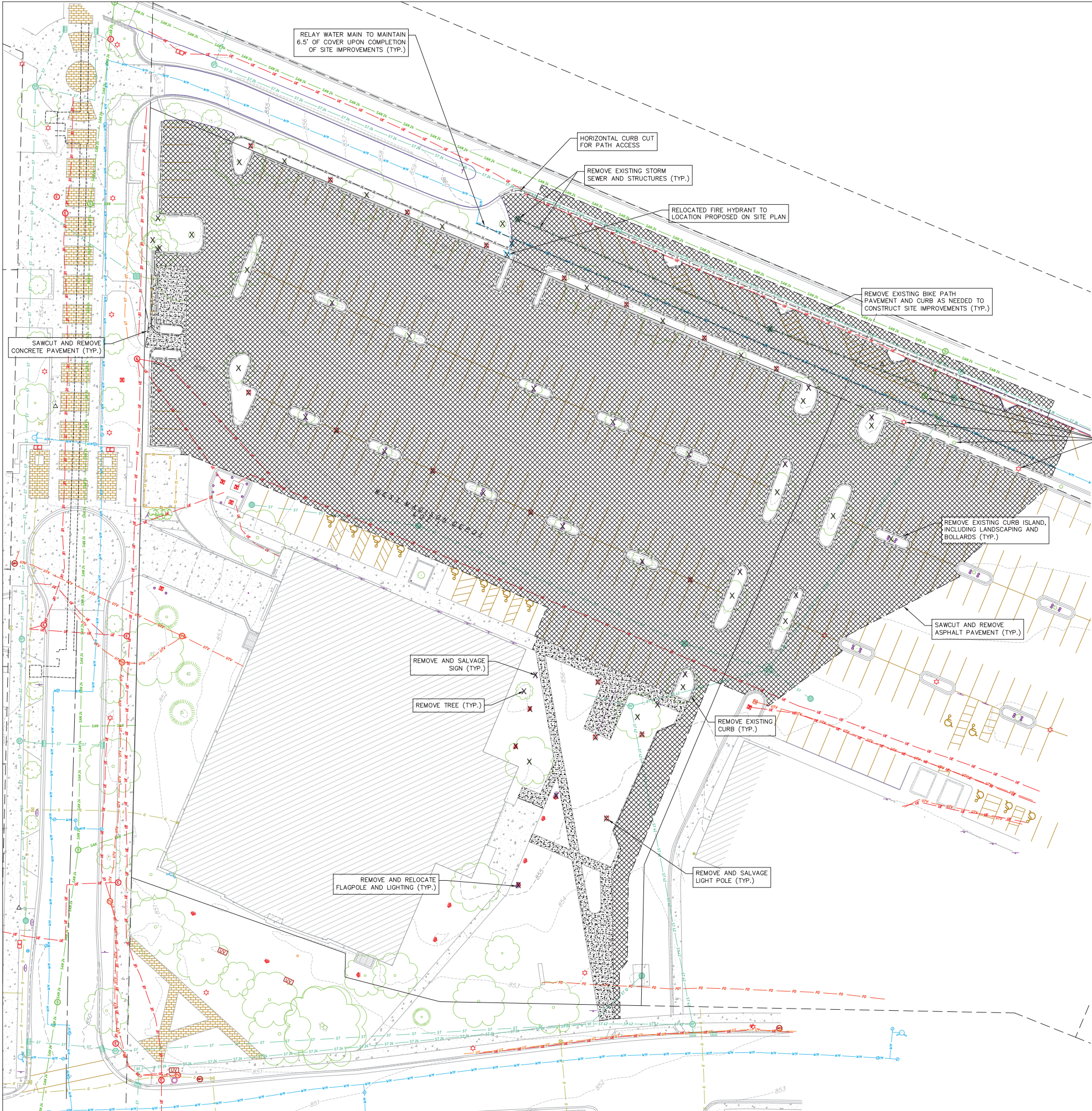
Project No.
218051

Sheet Title

EXISTING
CONDITIONS
PLAN

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Sheet No.
C100



DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL



- DEMOLITION/EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
 6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
 7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
 9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
 10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

Revisions

CITY OF MADISON LUA SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
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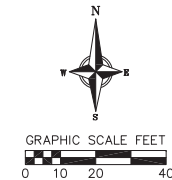
Project No. Mortenson
218051

Sheet Title
DEMOLITION PLAN

- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER (REVERSE CURB HATCHED)
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED WOOD FENCE
 - PROPOSED CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED HEAVY-DUTY ASPHALT
 - DECORATIVE PAVEMENT
 - PROPOSED SIGN
 - PROPOSED LIGHT POLE
 - PROPOSED BOLLARD
 - PROPOSED ADA DETECTABLE WARNING FIELD
 - PROPOSED HANDICAP PARKING

Parking Lot Plan Site Information Block	
Site Address:	760 REGENT ST
Site acreage (total):	51,737 SF (1.19 ACRES)
Number of building stories (above grade):	6
Building height:	72'-0"
OLHR type of construction (new structures):	IB
Total square footage of building:	180,816 SF TOTAL
(75,706 SF PARKING; 22,090 HOTEL COMMON/BOH; 83,020 GUEST ROOMS)	
Use of property:	
Gross square feet of building:	180,816 SF
Gross square feet of retail area:	N/A
Number of employees in warehouse:	N/A
Number of employees:	65 TOTAL; 45 FULL-TIME; 15 PART-TIME
Capacity of restaurant/place of assembly:	199 TOTAL
Number of bicycle stalls shown:	18 INTERIOR
Number of parking stalls:	
Large Car	175
Accessible	4
Total	239
Number of trees shown:	See Landscape Plan

- GENERAL NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
 - RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 - DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
 - CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
 - LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 - ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
 - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - PROVIDE ALL NECESSARY TEMPORARY TRAFFIC CONTROL PER MUTCD AND CITY OF MADISON REQUIREMENTS.



Revisions

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

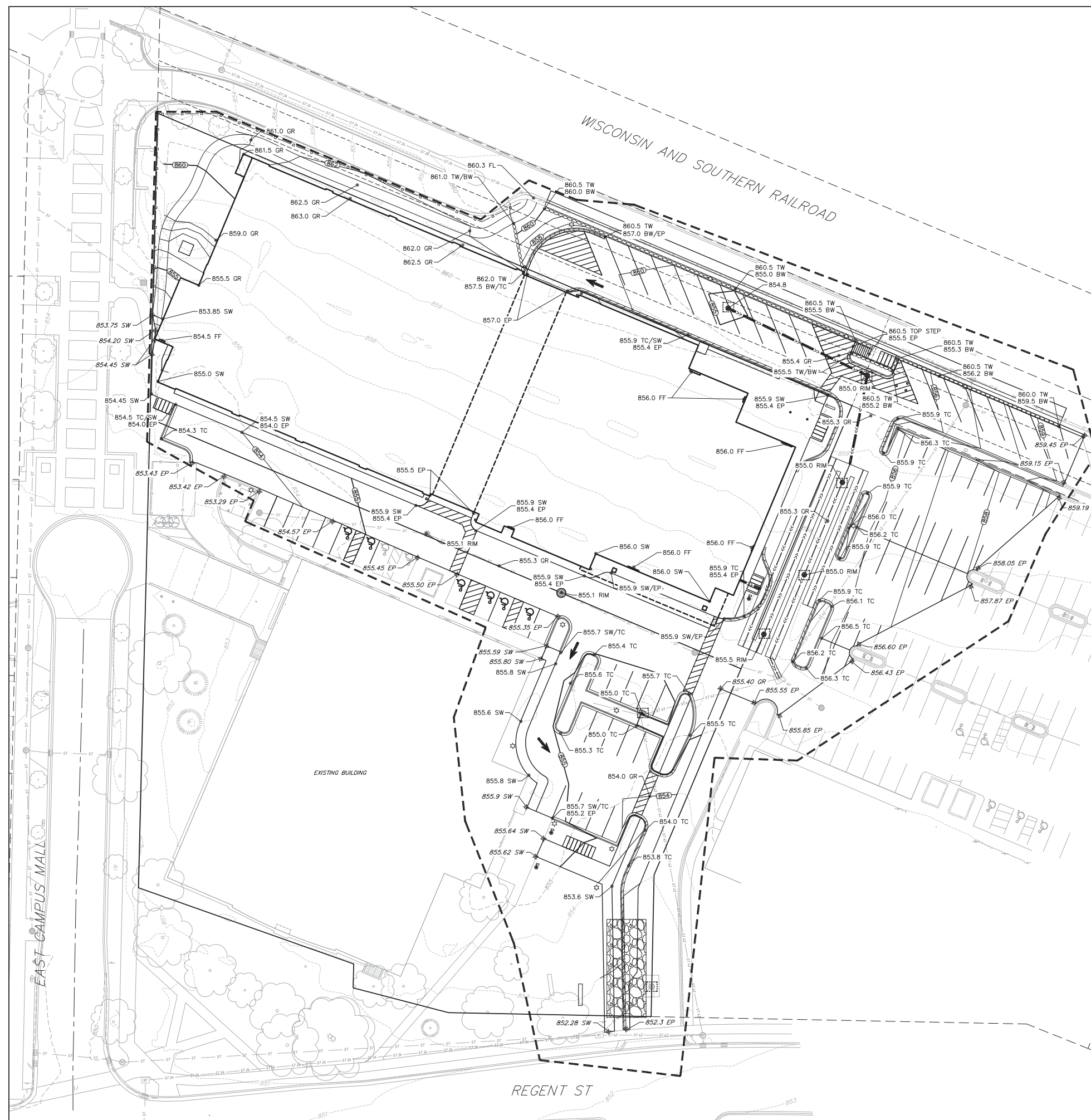
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Sheet Title
SITE PLAN

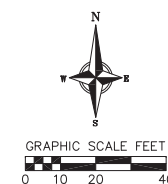
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Sheet No.
C200



- | GRADING LEGEND | |
|---|------------------------------|
|  | EXISTING MAJOR CONTOURS |
|  | EXISTING MINOR CONTOURS |
|  | PROPOSED MAJOR CONTOURS |
|  | PROPOSED MINOR CONTOURS |
|  | DITCH CENTERLINE |
|  | SILT FENCE |
|  | DISTURBED LIMITS |
|  | BERM |
|  | DRAINAGE DIRECTION |
|  | PROPOSED SLOPE ARROWS |
|  | EXISTING SPOT ELEVATIONS |
|  | PROPOSED SPOT ELEVATIONS |
|  | STONE WEEPER |
|  | VELOCITY CHECK |
|  | INLET PROTECTION |
|  | EROSION MAT CLASS I, TYPE A |
|  | EROSION MAT CLASS II, TYPE B |
|  | TRACKING PAD |
|  | RIP RAP |
| ABBREVIATIONS | |
| TC | TOP OF CURB |
| FF | FINISHED FLOOR |
| FL | FLOW LINE |
| SW | TOP OF WALK |
| TW | TOP OF WALK |
| BW | BOTTOM OF WALL |
| EP | EDGE OF PAVEMENT |
| GR | GRADE |

- GRADING NOTES:**
1. ALL GRADES SHOWN ARE FINISHED GRADES. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 2. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
 3. INSTALL A 50' x 20' x 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
 4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 5. INSTALL W/ DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND W/ DOT TYPE A IN FIELD INLETS.
 6. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT THE MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.



Revisions

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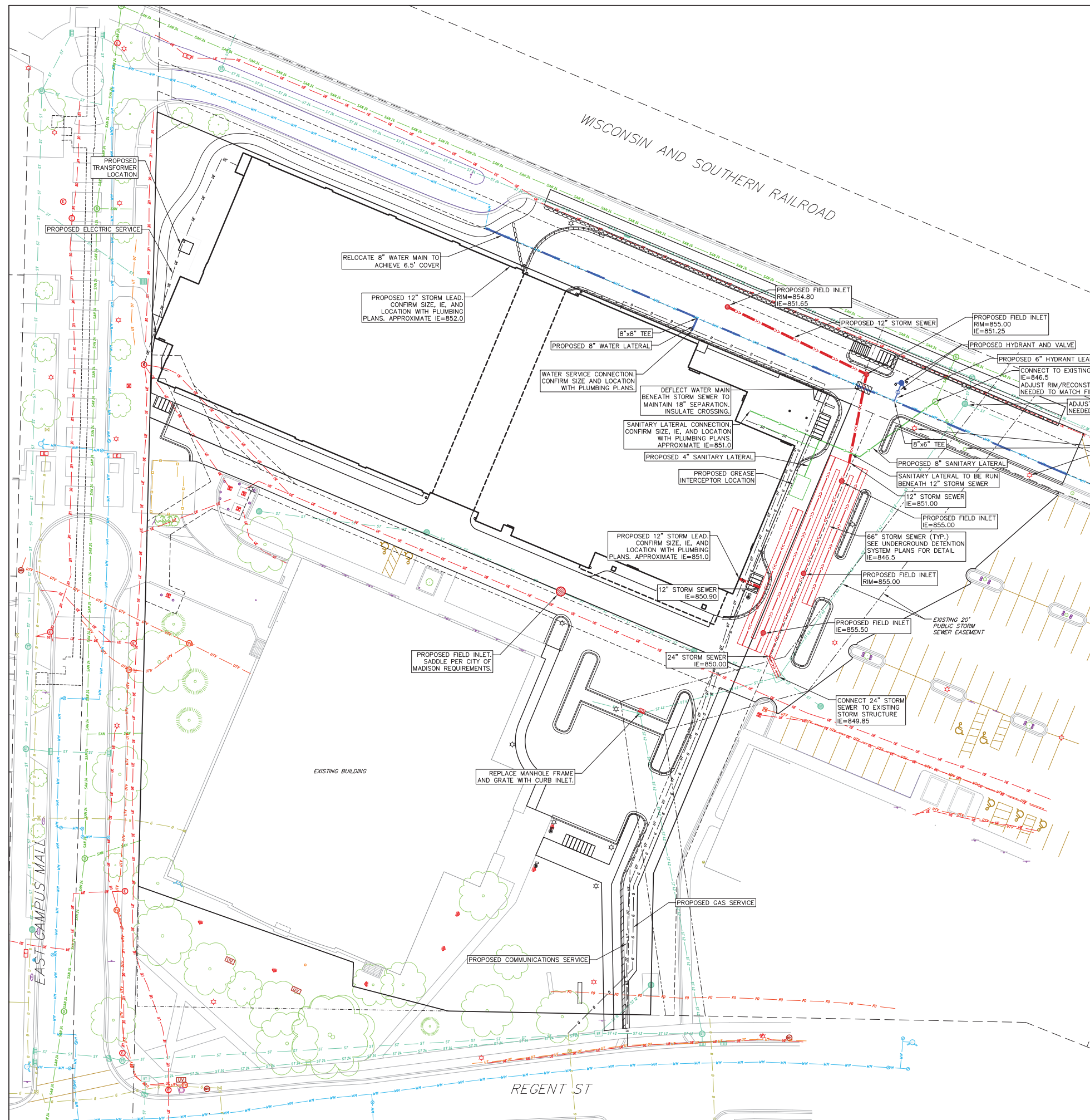
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Sheet Title

**GRADING & EROSION
CONTROL PLAN**

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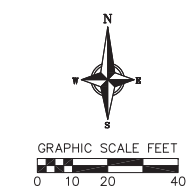
PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS

- STMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

- UTILITY NOTES:**
- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
 - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
 - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(h) AND SPS 382.40(6)(k).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
 - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - FOR WATER SERVICES AND HYDRANT LEADS, ALL MECHANICAL JOINTS TO BE RESTRAINED WITH MEGALUG 1100 OR APPROVED EQUAL. PIPE JOINTS TO BE RESTRAINED AS INDICATED WITH MEGALUG 1700 HARNESS OR APPROVED EQUAL.
 - CONNECTIONS TO EXISTING WATER MAIN TO BE BY LIVE TAPPING. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES AND COSTS PAYABLE TO THE CITY OF MADISON FOR LIVE TAPPING, AND ALL OTHER WORK AND COSTS ASSOCIATED WITH LIVE TAPPING.



Revisions

**CITY OF MADISON LUA
SUBMITTAL**
SCOPE DOCUMENTS
Drawing Date
MAY 29, 2019
UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715
Project No. Mortenson
218051
Sheet Title
UTILITY PLAN
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Sheet No.
C400

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
20. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
21. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
22. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

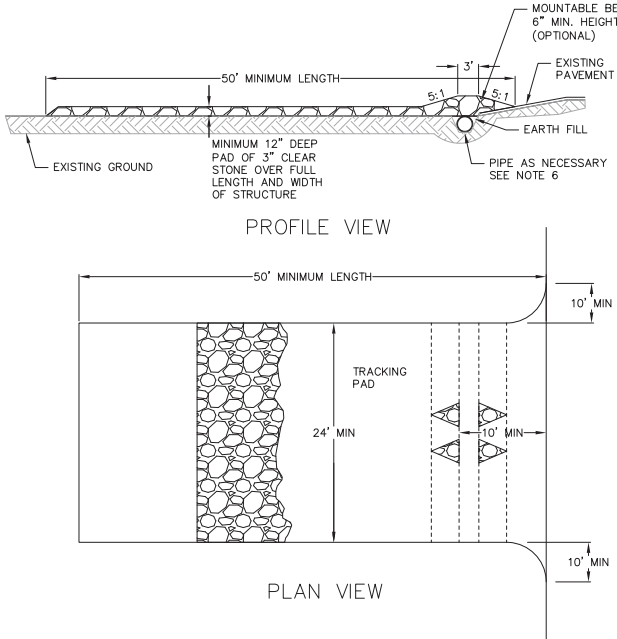
TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

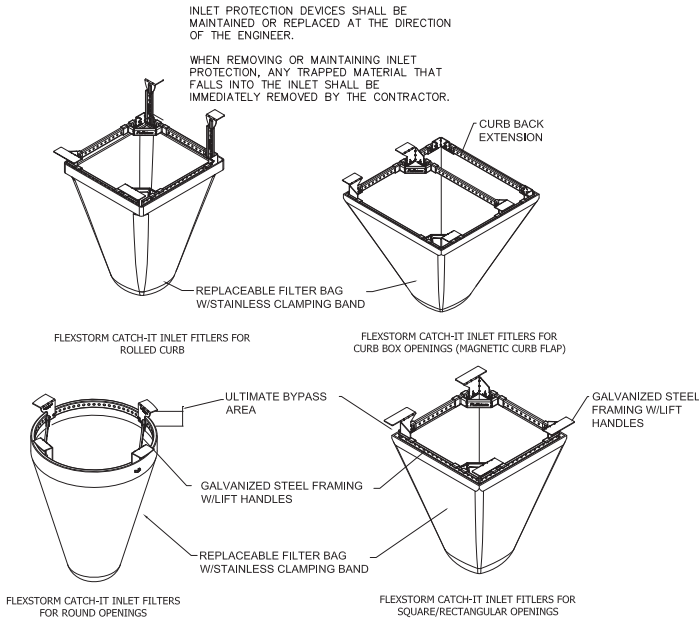
TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.



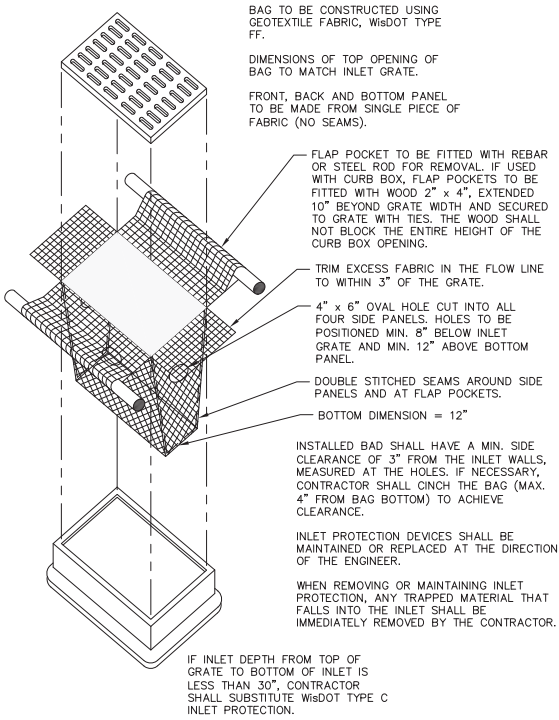
1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD
1 NOT TO SCALE

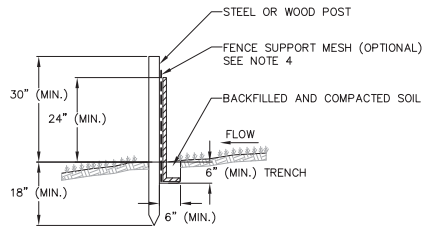


NEENAH CASTING	INLET TYPE	GRATE SIZE	OPENING SIZE	ADS P/N
1040/1642/1733	ROUND	26	24	62MRDFX
3067 W/FLAP	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3067 EXTENDED BACK	CURB BOX	35.25 X 17.75	33.0 X 15.0	62LCBEXTFX
3246A	CURB BOX	35.75 X 23.875	33.5 X 21.0	62LCBFX
3030	SQUARE/RECT	23 X 16	20.5 X 13.5	62MGBFX
3067-C	SQUARE/RECT	35.25 X 17.75	33 X 15	62LSQFX

1 FLEXSTORM INLET PROTECTION
11 NOT TO SCALE



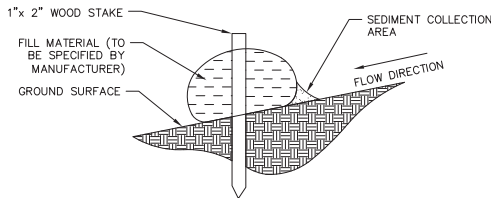
1 INLET PROTECTION TYPE D
1 NOT TO SCALE



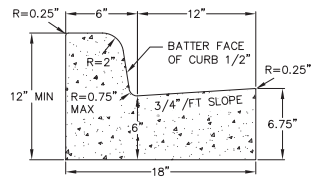
NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

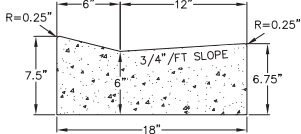
1 SILT FENCE
1 NOT TO SCALE



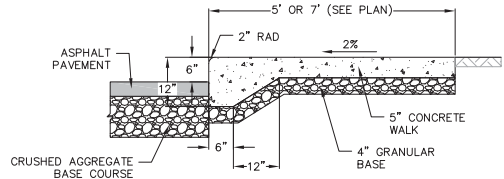
1 SILT SOCK
1 NOT TO SCALE



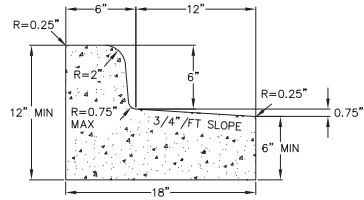
CURB AND GUTTER
CROSS SECTION



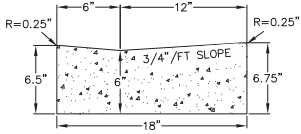
DRIVEWAY GUTTER
CROSS SECTION



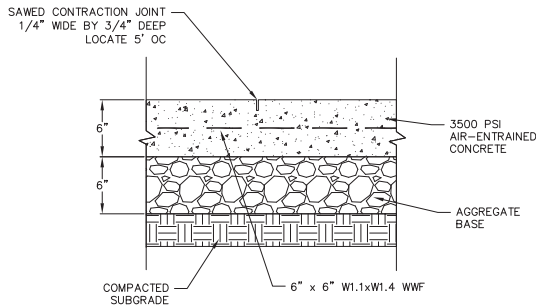
1
1 CURBED SIDEWALK SITE DETAIL
NOT TO SCALE



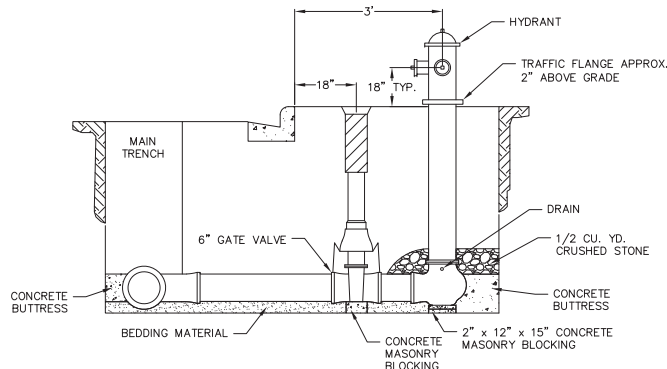
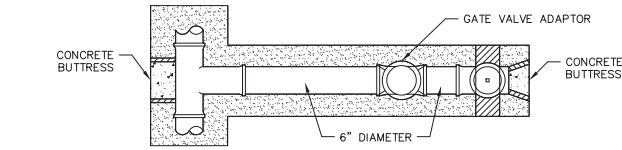
CURB AND GUTTER
REJECT SECTION



HANDICAP RAMP
GUTTER CROSS SECTION

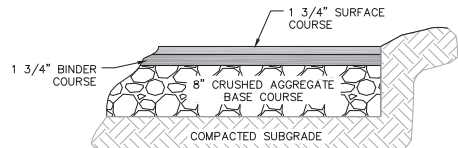


1
1 CONCRETE PAD
NOT TO SCALE

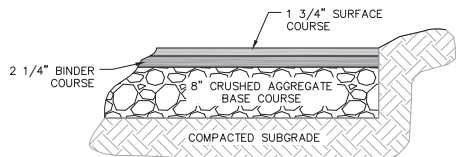


1
1 STANDARD HYDRANT SETTING
NOT TO SCALE

1
1 18" CONCRETE CURB AND GUTTER
NOT TO SCALE



LIGHT DUTY ASPHALT PAVEMENT



HEAVY DUTY ASPHALT PAVEMENT

Revisions

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date

MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

Project No.

218051

Sheet Title

CONSTRUCTION
DETAILS

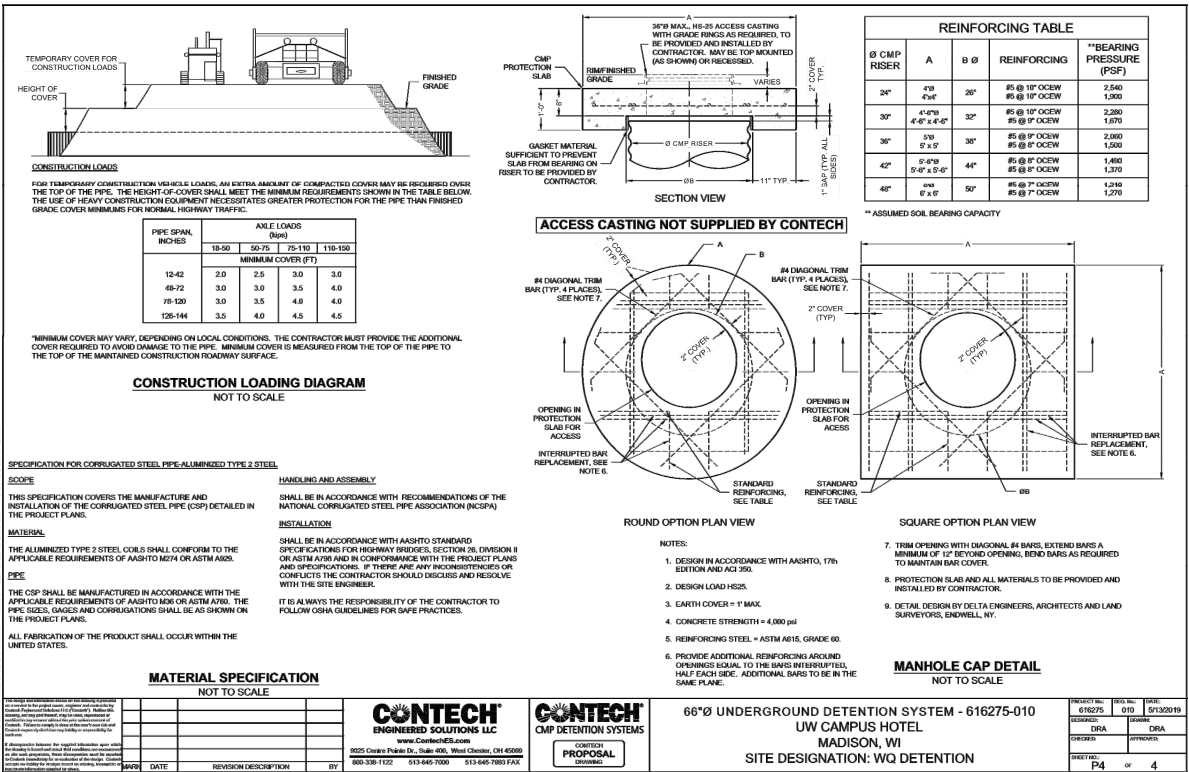
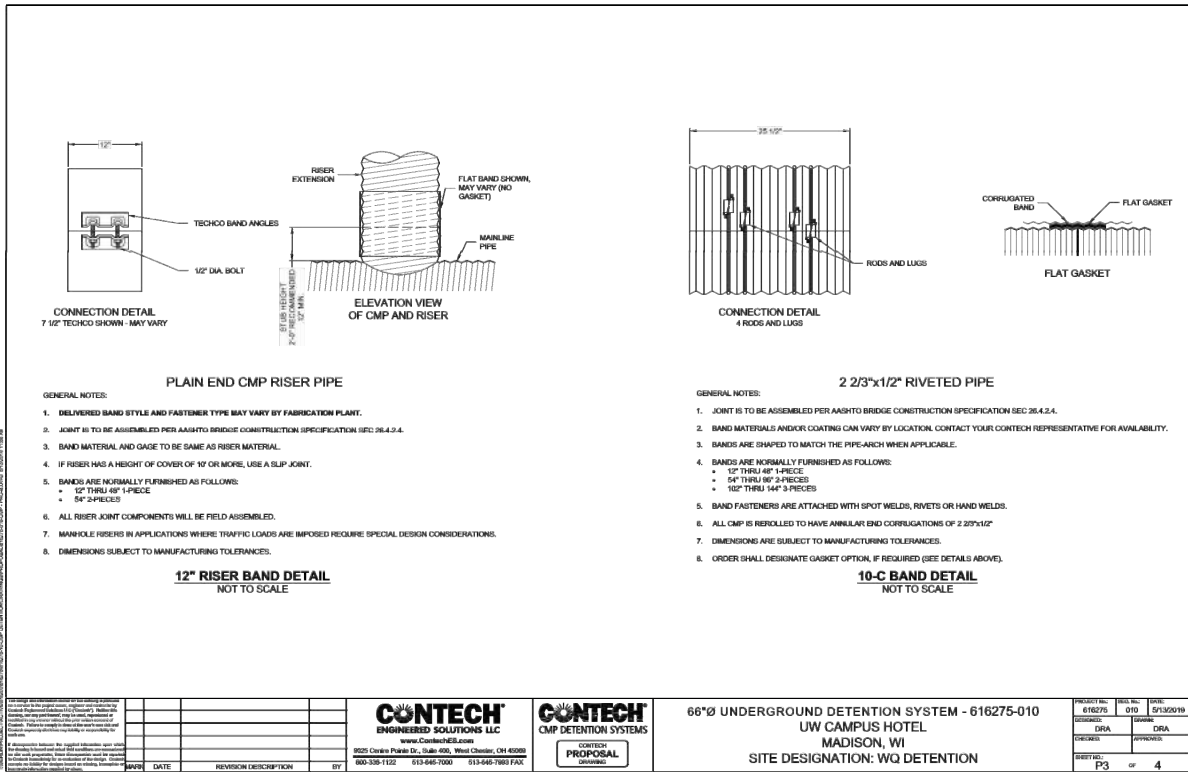
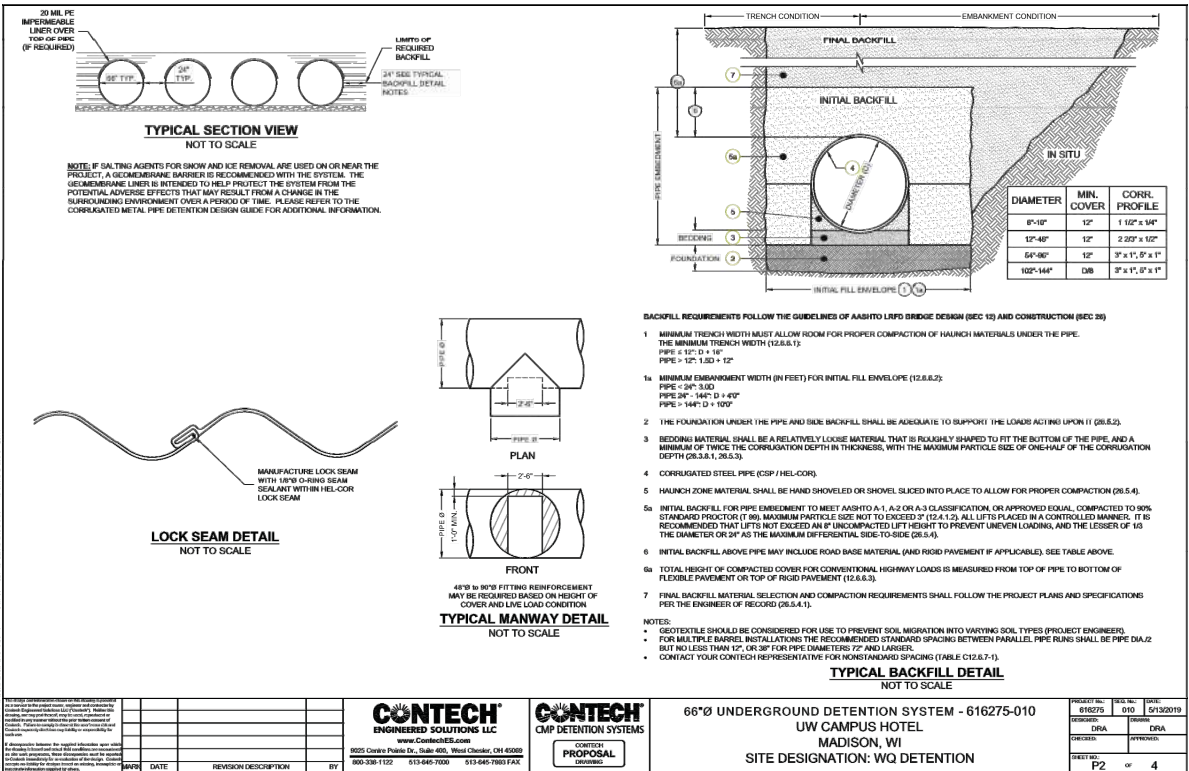
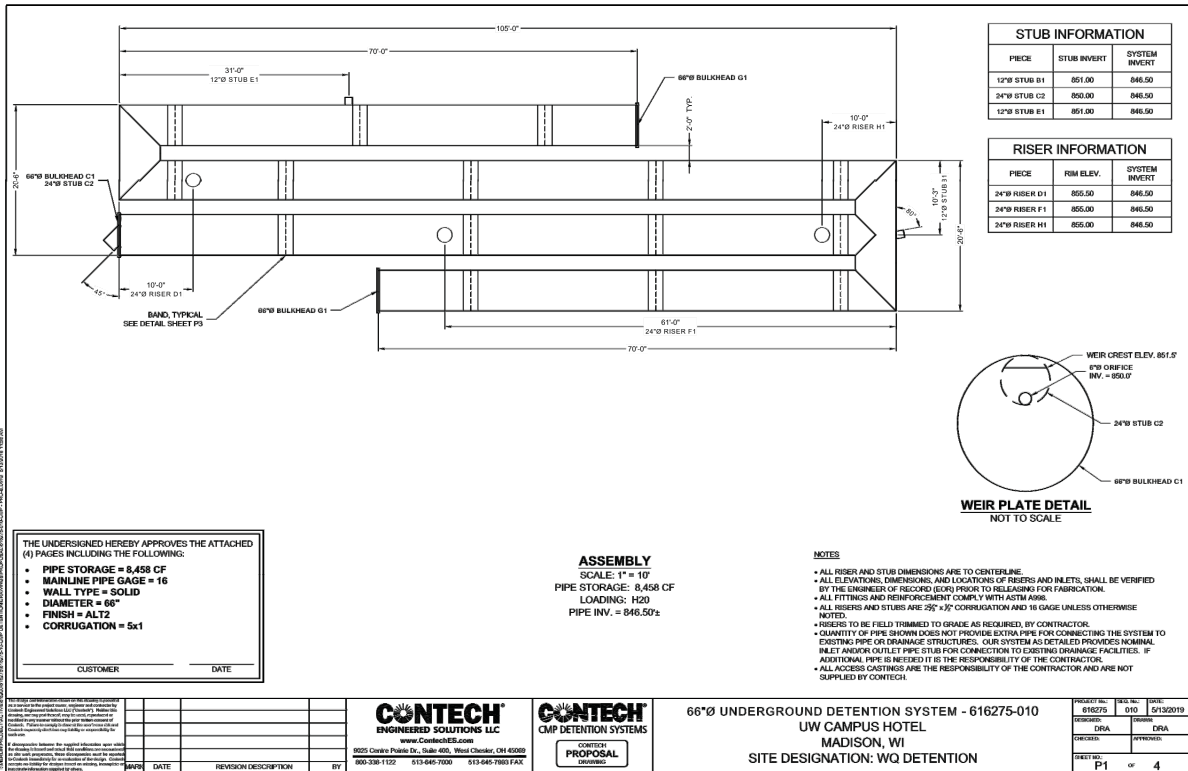
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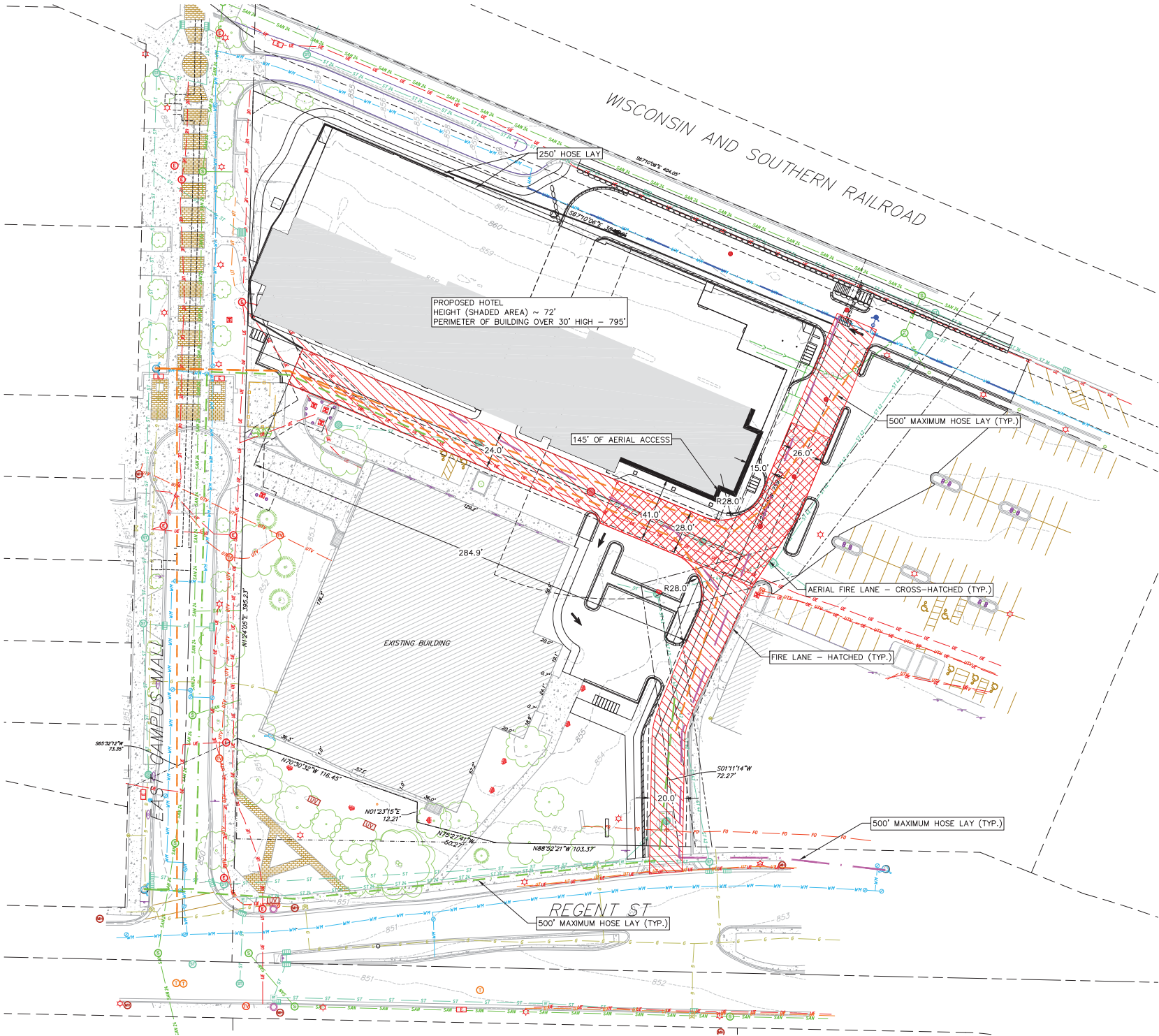
CITY OF MADISON LUA
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 SCOPE DOCUMENTS
 Drawing Date
 MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
 Madison, WI 53715

Project No. 218051 Mortenson

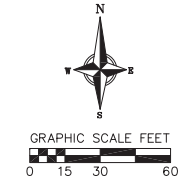
Sheet Title
 CONSTRUCTION
 DETAILS



NO
PARKING
FIRE
LANE

FIRE LANE NO PARKING
SIGN (12"x18")
LOCATIONS TO BE
DETERMINED BY CITY

NOT FOR CONSTRUCTION



Revisions

CITY OF MADISON LUA
SUBMITTAL
SCOPE DOCUMENTS
Drawing Date
MAY 29, 2019
UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715
Project No. 218051
Mortenson
Sheet Title
FIRE ACCESS
EXHIBIT



<u>DECIDUOUS TREES</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>QTY</u>
CO		Gleditsia occidentalis / Common Honeyberry	8 B & B	2.5"Cal	1
		40" x 60" x 40"60"			
GT		Gleditsia triacanthos 'Northern Acclaim' / Northern Acclaim Honeylocust	8 B & B	2.5"Cal	1
GT		Gymnocladus dioica 'McKBranch' / Decal Kentucky Coffee Tree	8 B & B	2.5"Cal	5
		50" x 40"60"			
OV		Carya virginiana / American Hophornbeam	8 B & B	2.5"Cal	4
		25" x 15"			
<u>EXISTING TREES</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>QTY</u>
	Ex Gt	Gleditsia triacanthos / Honey Locust	Existing	6"	2
<u>UNDERSTORY TREES</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>QTY</u>
MP		Malus x 'Prairie Maid' / Prairie Maid Crabapple	8 B & B	2"Cal	2
		20" x 25"			
SR		Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	8 B & B	2"Cal	3
		25" x 15"			

BOTANICAL NAME / COMMON NAME		SIZE	FIELD CONT.	QTY
DE	<i>Dennillia lonicera</i> / Dwarf Bush Honeysuckle	3'-4'	Cont.	5
	Hydrangea arborescens "Annabelle" / Annabelle Smooth Hydrangea	4'-4 1/2'	24" Ht.	14
HP	Hydrangea paniculata "Jane" / Little Lime Hydrangea	3'-5" x 3'-5"	Cont.	20
RF	Rhamnus frangula "Fine Line" / Fine Line Buckthorn	5'-7" x 2"	64" Lm.	14
Ra	Rhus aromatica "Gro-Low" / Gro-Low Fragrant Sumac	2'-3" x 6'-8"	Cont.	15
SP	Spirea frutescens "Pink-a-licious" / Pink-a-licious Fritsch Spirea	2'-3" x 2'-3"	Cont.	13
VC	Viburnum cassinoides / Withered Viburnum	5'-6" x 5'-6"	Cont.	8

GREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD	QTY
Es	Buxus sinica includes 'Wintergreen' / Wintergreen Korean Littleleaf Boxwood	5 gal	Cont	20
IF	Juniperus chinensis 'Fairview' / Fairview Juniper	8 B & 6' ht.		2
Js	15-20" x 6-7"	5 gal	Cont	52
Js	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Cont	20
Js	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	5 gal	Cont	52
Te	12" x 3-4"	5 gal	Cont	31
Tm	Taxus x media 'Everlow' / Everlow Yew	10 gal	Cont	1
Tm	2-3' x 4-5"	10 gal	Cont	11
Tm	Taxus x media 'Hicks' / Hicks Yew	5 gal	24" ht.	2
Th	6-15" x 4-6"	10 gal	6' ht.	10
Th	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae			
Th	2-3' x 2-3"			
Th	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar			
	12-16" x 2-4"			

PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	QTY
	<i>Ajuga reptans</i> 'Chocolate Chip' / Chocolate Chip Carpet Bugle	4" pot		56
	4-10" x 18"			
ax	<i>Amonia</i> x 'Blue Ice' / Blue Ice Star Flower	4" pot	Cont.	84
	18" x 20"			
ca	<i>Calamagrostis</i> x italifolia 'Karl Foerster' / Feather Reed Grass	1 gal	Cont.	143
	3-5' x 2'			
id	<i>Chasmananthus</i> acutifolius / Northern Sea Oats	1 gal	Cont.	207
	30-36" x 12-18"			
ev	<i>Coropsis verticillata</i> 'Zagreb' / Zagreb Thread Leaf Coreopsis	4" pot	Cont.	17
	12-18" x 18"			
mbt	<i>Heuchera</i> x 'Berry Timeless' / Coral Bells	4" pot	Cont.	21
	8-10" x 20"			
ham	<i>Hasta</i> x 'August Moon' / Plantain Lily	1 gal	Cont.	28
	20" x 24-30"			
oo	<i>Polystichum acrostichoides</i> / Christmas Fern	1 gal	Cont.	57
	1-3'			
sh	<i>Sporobolus heterolepis</i> / Prairie Dropseed	1 gal	Cont.	305
	2' x 18"			

GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT.	FIELD2	SPACING	QTY
	Vinca minor 'Bowles' / Bowles' Common Periwinkle 6" ht.	flat	2" pot	12" o.c.	151 sf

SEEDING/DECORATIVE PAVING SCHEDULE

	<u>DECORATIVE PAVING</u>	1,848 sf
	<u>COMPACTED CRUSHED GRANITE</u>	2,214 sf

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
 All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
 Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
 All shrubs, trees, and vines shall be supplied with Kentucky bluegrass, turf sod grown in soil.
 All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil all planting areas and 6" of topsoil in areas to be seeded/sodded.
 Landscape beds to be mulched with shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging. Permaloc CleanLine 4" x 4" equal, color black anodized.

City of Madison Landscape Worksheet				Date:		05.03.2019				
Address:		760 Regent St								
Total Square Footage of Developed Area:		(Site Area)		51737		(Building Footprint at Grade)		38023		= 13714 sf
Total Landscape Points Required:		13,714		/ 300 =		46		x 5 =		229
				Credits/ Existing Landscaping		New/ Proposed Landscaping				
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved				
Overstory deciduous tree	2.5' cal	35		0	2	70				
Fall Evergreen Tree	5-6 feet tall	35		0		0				
Ornamental tree	1.5' cal	15		0	3	45				
Upright evergreen shrub	3-4 feet tall	10		0	7	70				
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3		0	82	246				
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4		0	53	212				
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2		0	254	508				
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0				
Existing significant specimen tree	Min. Size 2.5' cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Min. points per tree: 200		0		0				
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points	5 points per "seat"		0		30				
Sub Totals				0	6	1181				
Total Points Provided:				1181						

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

Project No.	Mortenson
218051	

Sheet Title

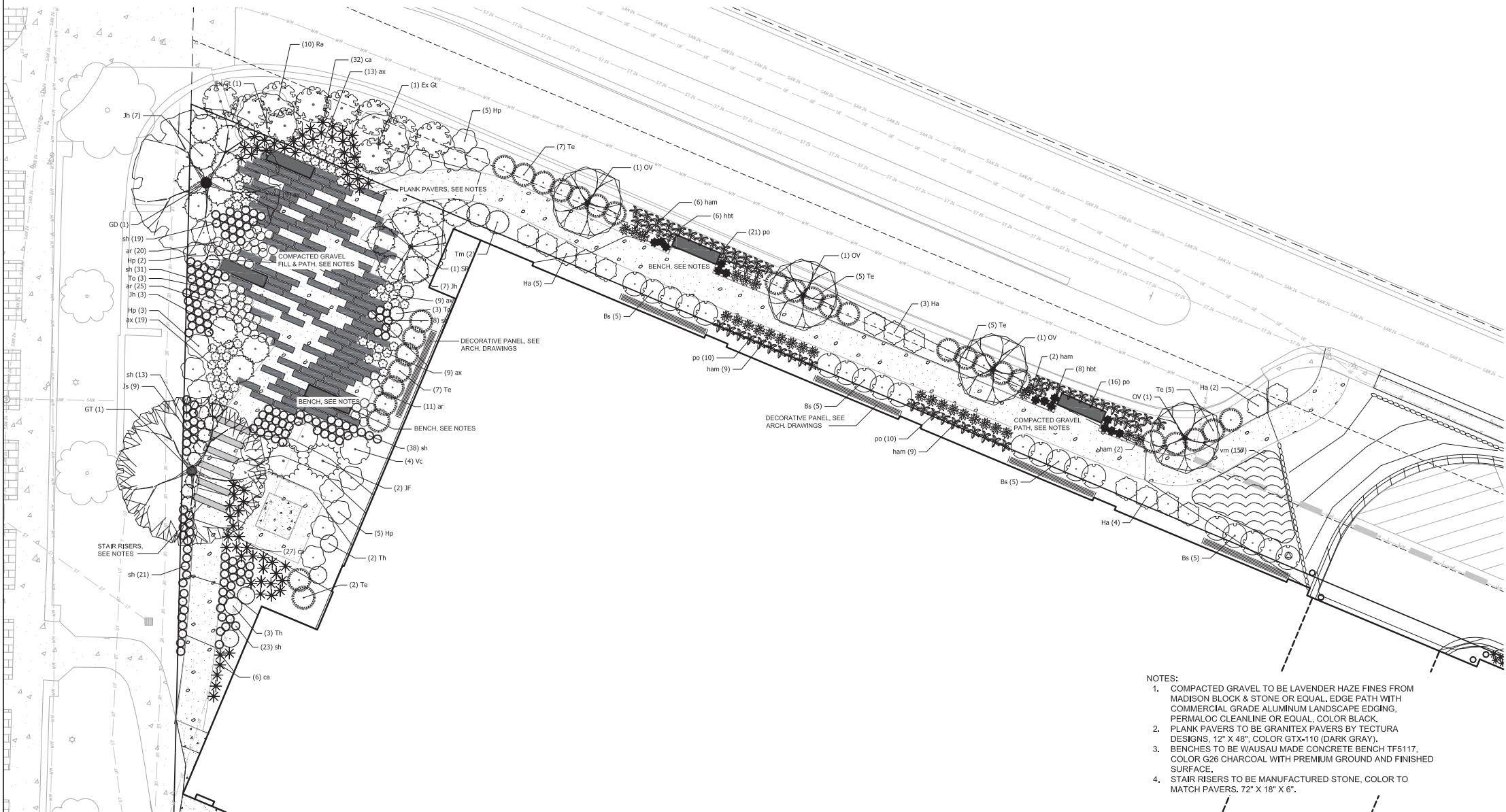
LANDSCAPE PLAN

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111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414.272.2000 Fax 414.272.2001
44 East Millin Street, Suite 700, Madison, Wisconsin 53703
Telephone 608.283.6300 Fax 608.283.6317

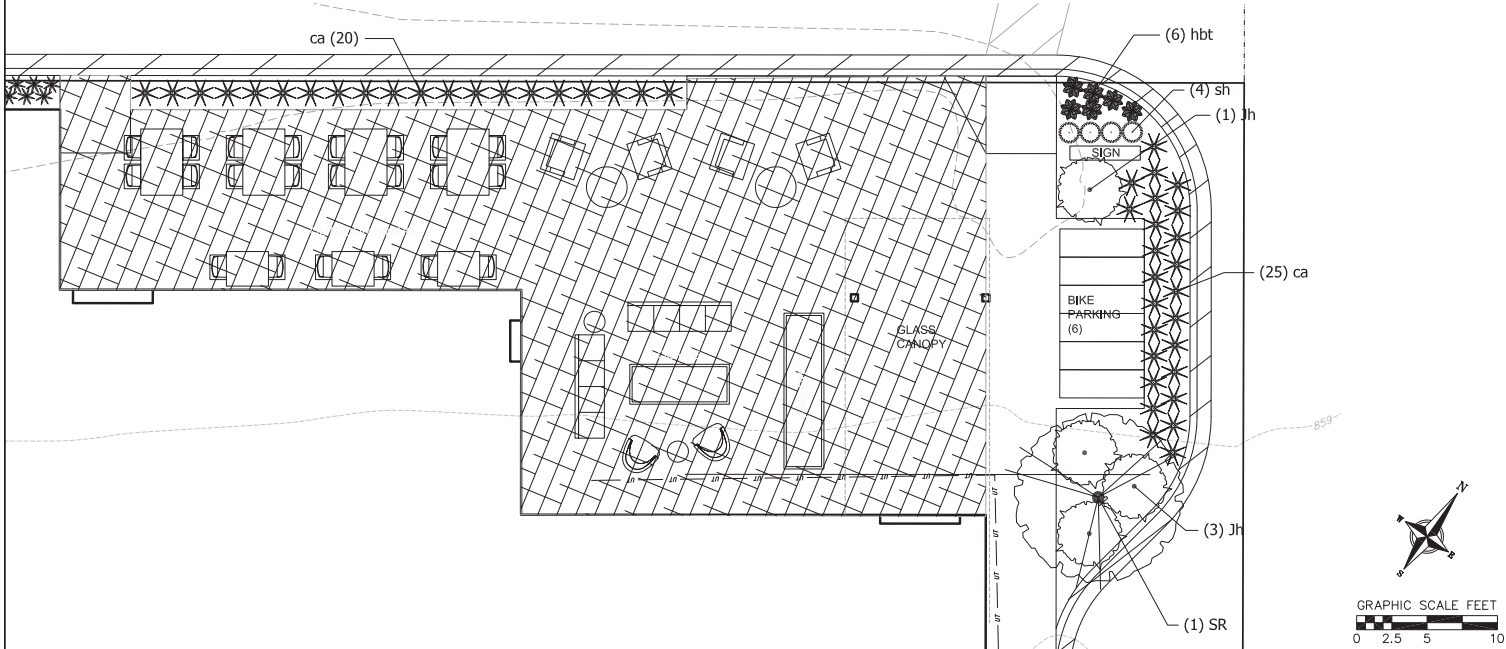
Sheet No.

L101

NW CORNER PLAZA & NORTH PATH ENLARGEMENT



NE PATIO ENLARGEMENT



Revisions

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

760 Regent Street
Madison, WI 53715

Project No.	Mortenson
218051	

Sheet Title

LANDSCAPE DETAIL

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44 East Main Street, Suite 700, Madison, Wisconsin 53703
Telephone 608.283.6300 Fax 608.283.6317

Sheet No.

L102

Revisions

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No. Mortenson
218051

Sheet Title
SITE LIGHTING

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111 West Washington Avenue, Madison, WI 53703

Telephone: 608.272.2868 Fax: 608.272.2869

44 East Main Street, Ste. 100 Madison, WI 53703

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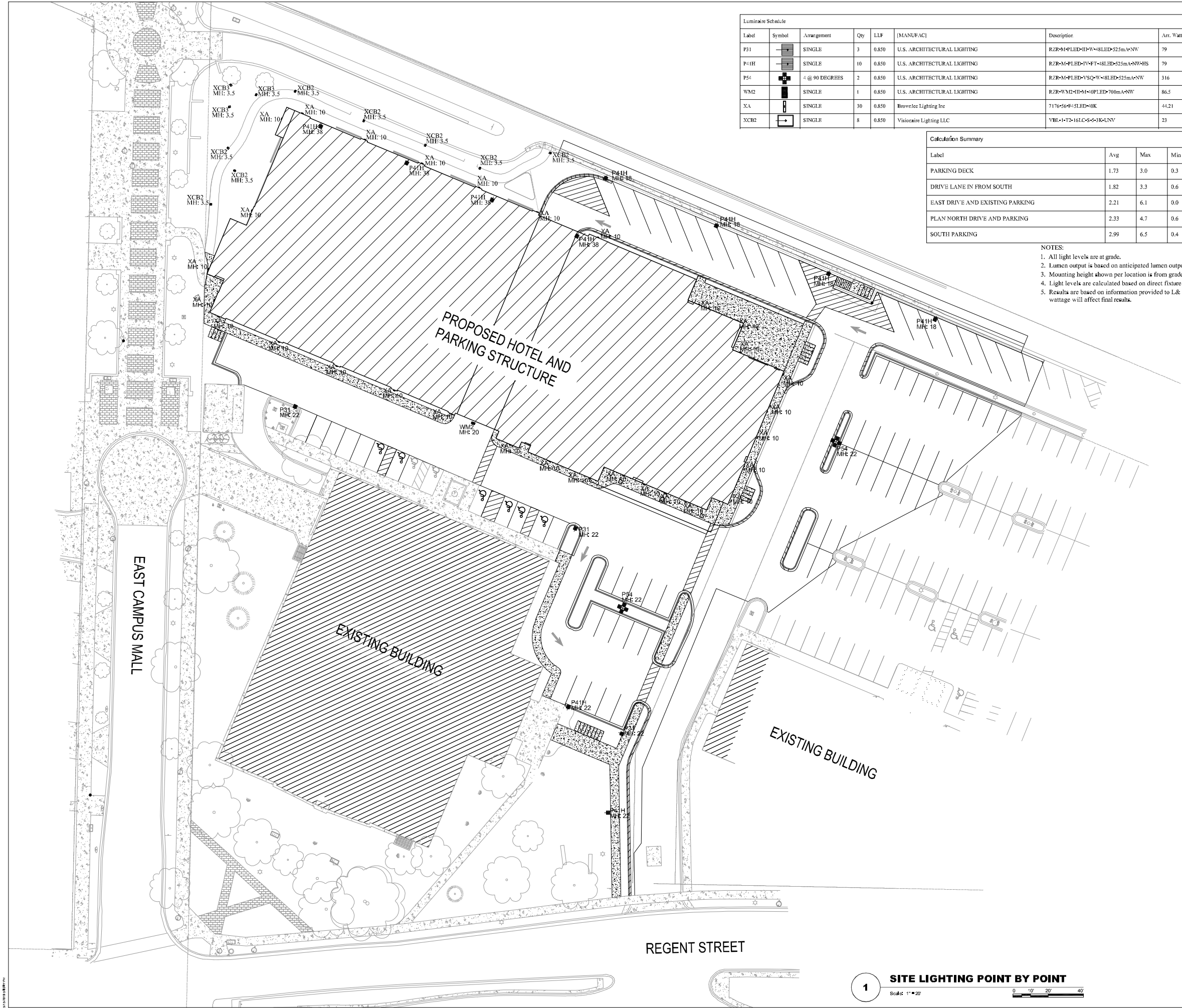
Sheet No.

ES100

Luminaire Schedule								
Label	Symbol	Arrangement	Qty	LLF	(MANUFACT)	Description	Arr. Watts	Lum. Watts
P31		SINGLE	3	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLD-III-W-8LED-525mA-NW	79	79
P41H		SINGLE	10	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLD-IV-FT-8LED-525mA-NW-HS	79	79
P54		4 @ 90 DEGREES	2	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLD-VS-Q-W-8LED-525mA-NW	316	79
WM2		SINGLE	1	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-WM2-III-M-0PLED-700mA-NW	86.5	86.5
XA		SINGLE	30	0.850	Browlee Lighting Inc	7176-56-F-5LED-0K	44.21	44.21
XCB2		SINGLE	8	0.850	Visionaire Lighting LLC	VBL-1-T2-16LC-S-5-J-K-LNV	23	23
Lum. Lumens								
P31								9582
P41H								7323
P54								10247
WM2								8845
XA								4286
XCB2								2957

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING DECK	1.73	3.0	0.3	5.77	10.00
DRIVE LANE IN FROM SOUTH	1.82	3.3	0.6	3.03	5.50
EAST DRIVE AND EXISTING PARKING	2.21	6.1	0.0	N.A.	N.A.
PLAN NORTH DRIVE AND PARKING	2.33	4.7	0.6	3.88	7.83
SOUTH PARKING	2.99	6.5	0.4	7.48	16.25

- NOTES:
1. All light levels are at grade.
 2. Lumen output is based on anticipated lumen output at half of the rated life of the LED.
 3. Mounting height shown per location is from grade to fixture aperture.
 4. Light levels are calculated based on direct fixture contribution only.
 5. Results are based on information provided to L & M. Changes to location, fixture, wattage will affect final results.



Revisions

CITY OF MADISON LUA
SUBMITTAL

SCOPE DOCUMENTS

Drawing Date
MAY 29, 2019

UW CAMPUS HOTEL

780 Regent Street
Madison, WI 53715

Project No.
218051

Sheet Title

SITE LIGHTING POINT
BY POINT

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111 West Wisconsin Avenue, Madison, Wisconsin 53703

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41 East Maple Street, Suite 700 Madison, Wisconsin 53703

Telephone: 608.253.0300 Fax: 608.253.0307

Sheet No.
ES101

Luminaire Schedule								
Label	Symbol	Arrangement	Qty	LLF	[MANUFAC]	Description	Arr. Watts	Lum. Watts
P31		SINGLE	3	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLD-III-W-48LED-525mA-NW	79	79
P41H		SINGLE	10	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLD-IV-FT-48LED-525mA-NW-HS	79	79
P54		4 @ 90 DEGREES	2	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-M-PLD-VS-Q-W-48LED-525mA-NW	316	79
WM2		SINGLE	1	0.850	U.S. ARCHITECTURAL LIGHTING	RZR-WM2-III-M-40PLED-700mA-NW	86.5	86.5
XA		SINGLE	30	0.850	Brownlee Lighting Inc	7176-56-F4-5LED-40K	44.21	44.21
XCB2		SINGLE	8	0.850	Visioaire Lighting LLC	VBL-1-T2-16LC-S-5-5-K-UNV	23	23

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING DECK	1.73	3.0	0.3	5.77	10.00
DRIVE LANE IN FROM SOUTH	1.82	3.3	0.6	3.03	5.50
EAST DRIVE AND EXISTING PARKING	2.21	6.1	0.0	N.A.	N.A.
PLAN NORTH DRIVE AND PARKING	2.33	4.7	0.6	3.88	7.83
SOUTH PARKING	2.99	6.5	0.4	7.48	16.25

NOTES:

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