



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>4/8/2015</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>5/6/2015</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 1406 MOUND STREET, MADISON 53717
Project Title (if any): BETH ISRAEL CENTER

2. This is an application for (Check all that apply to this UDC application):

- New Development
- Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

CITY OF MADISON
APR - 8 2015
10:41 AM
Planning & Community
& Economic Development

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee)
- Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: BETH ISRAEL CENTER Company: _____
 Street Address: 1406 MOUND STREET City/State: MADISON WI Zip: 53711
 Telephone: (608) 256-7763 Fax: () Email: _____

Project Contact Person: BRIDGET GROWNAY Company: RYAN SIGNS, INC.
 Street Address: 3007 PERRY STREET City/State: MADISON, WI Zip: 53713
 Telephone: (608) 271-7979 Fax: (608) 271-7853 Email: bridgetgrownaye@ryansigns.net

Project Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: () Fax: () Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant: Bridget GROWNAY Relationship to Property: Agent to OWNER
 Authorized Signature: [Signature] Date: 4/8/2015

Ryan Signs, Inc.

3007 Perry Street
Madison, WI 53713
Phone 608-271-7979
Fax 608-271-7853
mbgrowneyselene@ryansigns.net

April 8, 2015

TO: Mr. Al Martin
City of Madison Urban Design Commission

FROM: Mary Beth Growney Selene
Serving as Agent for Beth Israel Center

**RE: **COMPREHENSIVE DESIGN PLAN FOR
BETH ISRAEL CENTER
1406 MOUND STREET****

Dear Urban Design Commission Members;

Following please find, for your consideration and request for approval of a Comprehensive Design Plan for the Beth Israel Center at 1406 Mound Street.

BACKGROUND

1. The property is zoned TR-C4 (Traditional Residential-Consistent District 4)

ALLOWABLE SIGNAGE

1. 31.14 (3)(e) 1. Identification Signs for Churches...
 - a. Area and Number. One (1) wall and one (1) ground sign per street frontage may be displayed; identifying the entity, with a maximum of two (2) ground signs and two (2) wall signs per zoning lot. Additional wall or ground signs for wayfinding purposes may be permitted when approved by the Urban Design Commission when the Zoning lot is occupied by two or more of the uses as described above and the size of the lot, number of vehicular and pedestrian entrances, and layout of the buildings require additional signs for wayfinding purposes in order to promote traffic and pedestrian safety.

Signs under this paragraph whether displayed on a wall or the ground shall not exceed 12 sf2 in net area nor be closer than 10 feet to any lot line, except such signs may be increased in net area by 1 sf2 for each additional foot that the sign setback more than 12 feet from the street lot line.

REQUEST FOR APPROVAL OF A COMPREHENSIVE DESIGN PLAN

1. The Mound Street (front) elevation sign shall not exceed 17 sf2.
2. The Parking Lot entrance sign shall not exceed 8 sf2.
3. The Randall Street (side) elevation shall not exceed 42 sf2.
4. There will be no ground signs on the site.
5. All other signage on the site will comply with MGO Chapter 31.

Thank you for your consideration.

Respectfully Submitted.

RYAN SIGNS, INC.



President
Serving as Agent for Beth Israel Center

Following is a comparison of the City of Madison Sign Ordinance and the signage, as proposed, which shows which signs comply with Chapter 31 and those requiring Comprehensive Design Plan approval within the TR-C4 Zoning District.

Code	Sign Type	Allowed and Comprehensive Design	Existing and Proposed
31.14 (3)(e) 1.	<u>Identification Signs for Churches</u>	<p>Signs under this paragraph whether displayed on a wall or the ground shall not exceed 12 sf2 in net area nor be closer than 10 feet to any lot line, except such signs may be increased in net area by 1 sf2 for each additional foot that the sign setback more than 12 feet from the street lot line.</p> <p>Through the approval of this CDP, the lot will be allowed three wall signs, with one wall sign exceeding allowable square footage. Under this CDP, no ground signs shall be allowed.</p>	<p><u>MOUND STREET ELEVATION</u> Sign is in compliance with code</p> <p><u>PARKING LOT ELEVATION</u> Sign is in compliance with code</p> <p><u>RANDALL STREET ELEVATION</u> The sign is set back 11' – 16' based on the curve of the wall. The sign exceeds the 32 sf2 limitation by 10 square feet.</p> <p>Through approval of this CDP, the Randal Street elevation will be allowed as a third wall sign and will exceed code limitation by one wall sign, not to exceed three (3) wall signs.</p> <p>This CDP also states that there will be no ground signs on the site.</p>

4'-7"



9"

South Elevation

Brushed Aluminum Letters,
Stud Mounted to Building



Wind Load	Illumination Compliance	Construction:
Compliance Statement:	Statement:	Flat Cut Letters
Withstand up to 75 MPH Winds	N/A	Stud Mounted to Building
	Meets Maximum Guidelines of City of Madison	

Ryan Signs, Inc.
3007 Perry Street • Madison, WI 53713 • Tel (608) 271-7979 • Fax (608) 271-7653

BETH ISRAEL CENTER

SCALE: 3/16" = 1'-0" APPROVED: _____
DATE: 2/27/15
REVISED: _____
DRAWN BY: KW

Copyright © 2014, by Ryan Signs, Inc.

These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you as a service to you and are not to be used for any other project without the express written consent of Ryan Signs, Inc. in Madison, Wisconsin. A sign designed and manufactured according to these plans. Distribution of these plans, or the use of these plans to construct a sign similar to the one embodied herein is expressly prohibited. In the event that such use, distribution or exhibition occurs, the undersigned expressly agrees to pay to Ryan Signs, Inc. the sum of 25% of our purchase price as quoted to you. This covenant of payment is acknowledged to be compensatory for the time, effort and talent devoted to the preparation of these plans and is not to be construed as a fee for the design of the sign. _____ client signature.

DRAWING NUMBER: **5804N**

2B.1



North Elevation

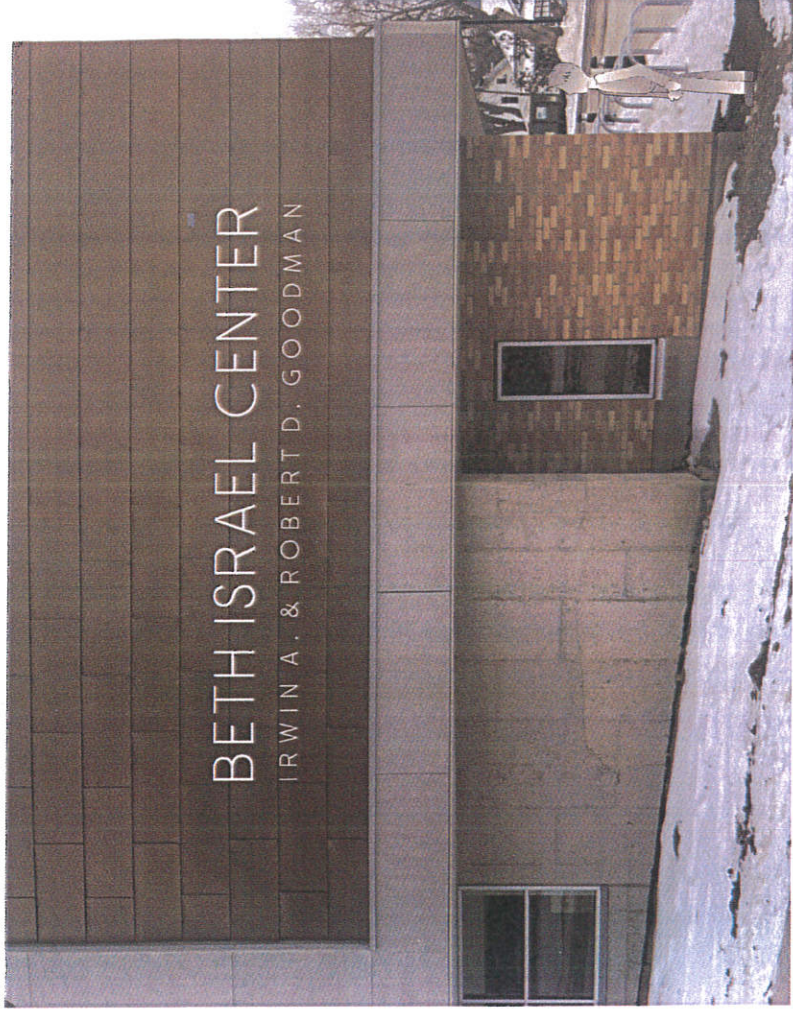
**Brushed Aluminum Letters
Stud Mounted to Building**

Wind Load	Compliance Statement:	Wind Load	Compliance Statement:
Withstand up to 75 MPH Winds	N/A	Withstand up to 75 MPH Winds	N/A
Illumination	Compliance	Construction	Compliance
Letters	Letters	Stud Mounted to Building	Letters
Moods	Statement	City of Madison	Compliance
Letters	Letters	City of Madison	Letters

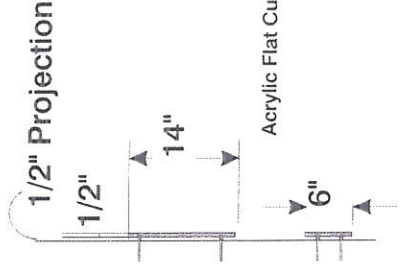
Ryan Signs, Inc.	SCALE: 3/16" = 1'-0"	APPROVED:
3027 BROAD STREET • MADISON, WI 53713 • TEL: (608) 271-2929 • FAX: (608) 271-2928	DATE: 11/14/14	DATE: 2/19/15
BETH ISRAEL CENTER	STATE: WI	PROJECT: 2014
<small>These plans are the exclusive property of Ryan Signs, Inc. and are the result of the original design work of its employees. They are submitted to you for your review and approval. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Ryan Signs, Inc. The client agrees to pay to Ryan Signs, Inc. the sum of 25% of the purchase price as agreed to you. This agreement of payment is acknowledged in the signature block below.</small>	CLIENT SIGNATURE:	5804C



16'-6"



14"
6"



East Elevation



Flat Cut Acrylic Letters Brushed Aluminum Finish

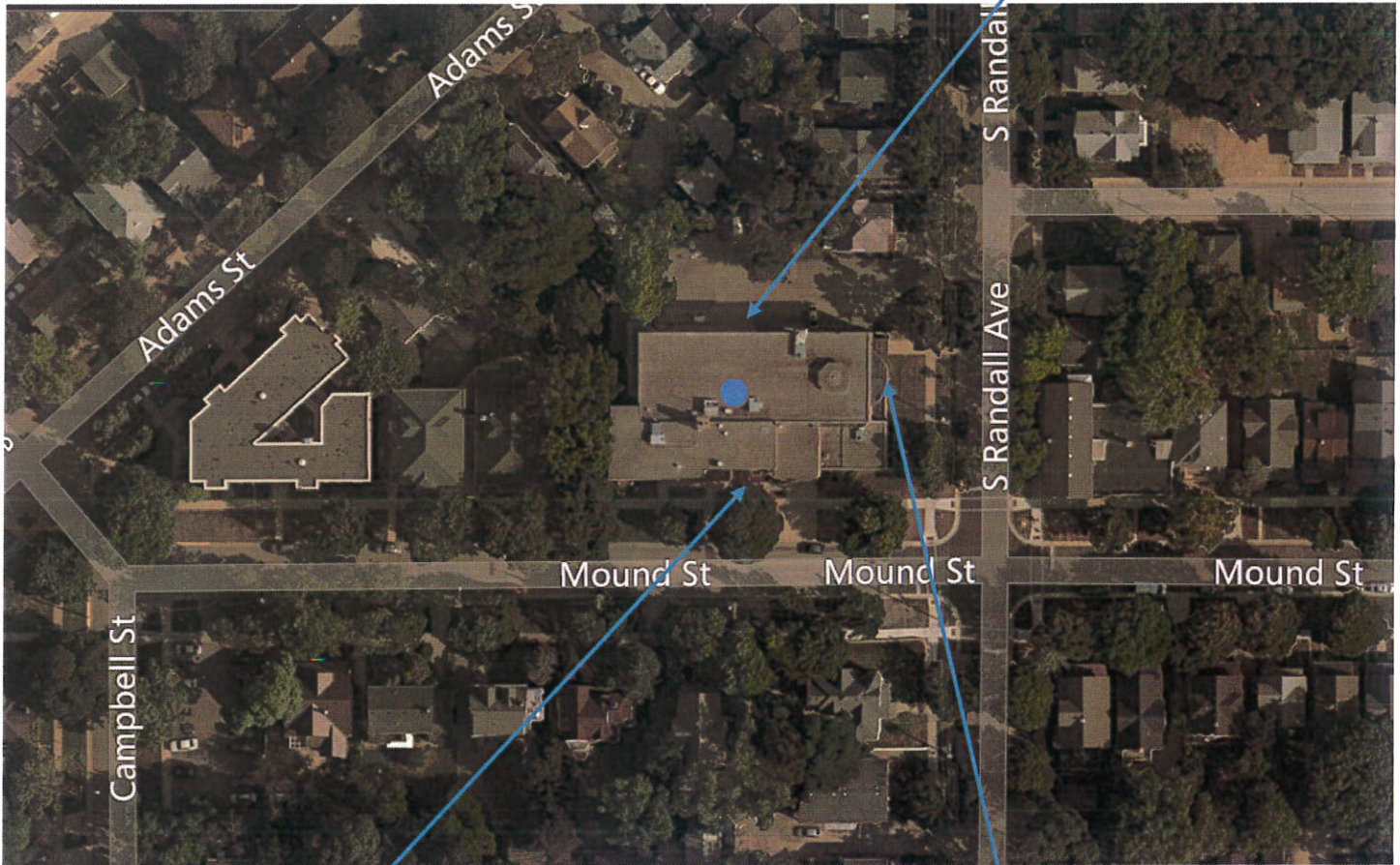
Wind Load	Illumination Compliance	Construction:
Compliance Statement:	Statement:	Flat Cut Letters w/Projection
Withstand up to 75	N/A	Stud Mounted to Building
MPH Winds	Meets Maximum Guidelines	
	of City of Madison	

Ryan Signs, Inc.		SCALE: 3/16" = 1'-0"	APPROVED:
3007 Perry Street • Madison, WI 53713 • Tel: (608) 271-7979 • Fax: (608) 271-7853		DATE: 11/14/14	DATE: 11/14/14
BETH ISRAEL CENTER		REVISED: 2/27/15	DESIGNED BY: Ryan Signs, Inc.
		DRAWN BY: KW	
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		DRAWING NUMBER:	5804D

N



North Elevation



South Elevation



East Elevation