

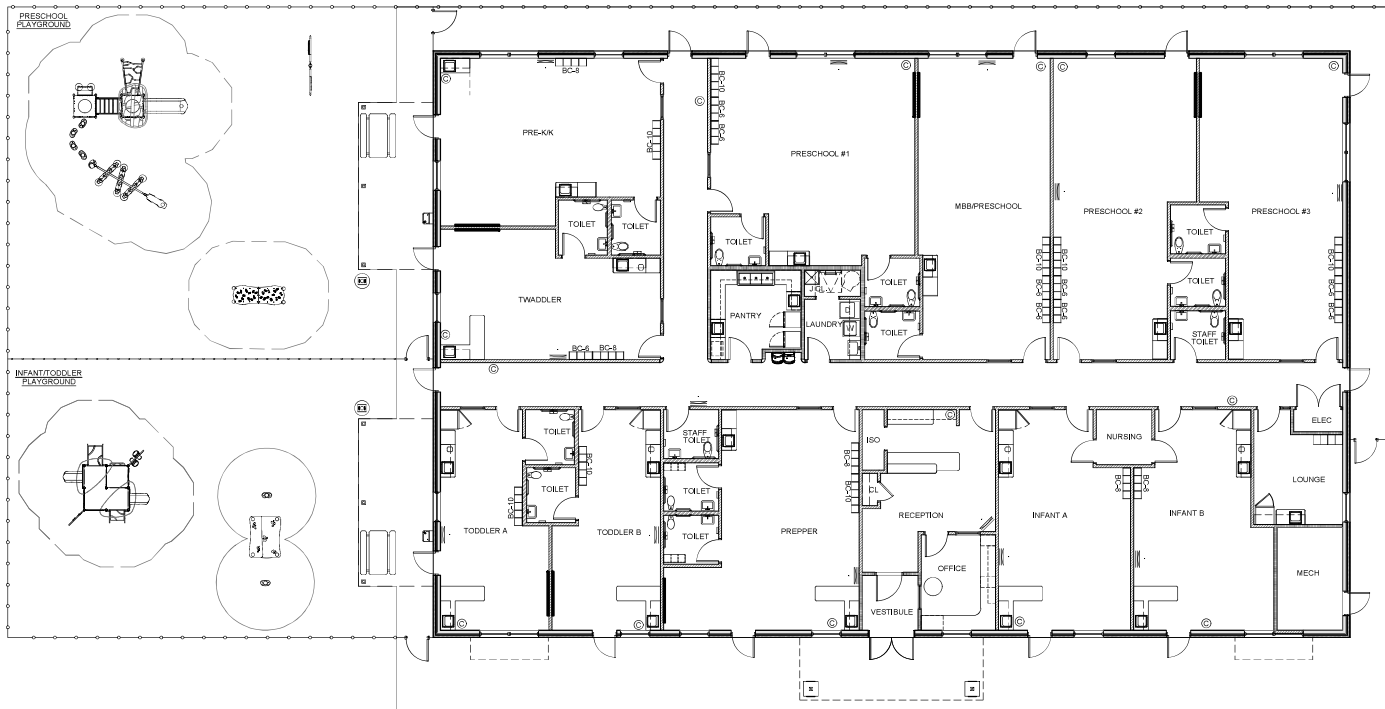
1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK UPON THE CONTRACTOR'S BEST JUDGMENT AND ATTENTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MATERIALS, METHODS, TECHNIQUES, EQUIPMENT AND QUALITY OF THE WORK.  
 2. OGC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONCE SUBMITTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED AT THE EXPENSE OF THE OGC.  
 3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT'S SITE FOR APPROVAL.

**LICENSING CALCULATIONS**  
The Learning Experience, Madison, WI

ROOM NAME	STATE REQUIRED AREA (S.F., SEE RATIO)	NET S.F.	ACTUAL S.F.	RATIO (CHILD PER S.F.)	# OF CHILDREN	# OF TEACHERS	TEACHER RATIO (TEACHERS PER CHILDREN)	AGE GROUP
INFANT A	440	447	501	1/55	8	2	1/4	6 WK-9 MO.
INFANT B	440	447	501	1/55	8	2	1/4	10 MO.-17 MO.
TODDLER A	280	333	387	1/55	8	2	1/4	18 MO.-23 MO.
TODDLER B	280	333	387	1/55	8	2	1/4	18 MO.-23 MO.
TWADDLER	420	428	477	1/55	12	2	1/6	24 MO.-30 MO.
PREPPER	560	563	631	1/55	16	2	1/8	30 MO.-36 MO.
PRESCHOOL #1	700	709	721	1/55	20	2	1/10	3-4 YRS.
PRESCHOOL #2	700	704	716	1/55	20	2	1/10	4-5 YRS.
PRESCHOOL #3	700	704	716	1/55	20	2	1/12	3-5 YRS.
PRE-KK	595	609	629	1/55	17	1	1/17	5-6 YRS.
MBB/PRESCHOOL	700	719	731	1/55	20	2	VARIES	VARIES
<b>TOTALS</b>	-	-	-	-	<b>157</b>	<b>21</b>	-	-

\*CALCULATED LESS BUILT-IN ITEMS  
 FIRST FLOOR 10,000 S.F.  
 PLAY AREA 4,988 S.F.

+2 ADMIN. STAFF	
<b>TOTAL</b>	<b>180</b>



**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**Jarmel Kizel**  
 ARCHITECTS AND ENGINEERS INC.  
 42 OKNER PARKWAY  
 LIVINGSTON, NEW JERSEY 07039  
 TEL: 973-584-6999  
 FAX: 973-584-6789  
 www.jarmelkizel.com  
 Architecture  
 Engineering  
 Interior Design  
 Implementation Services

**THE LEARNING EXPERIENCE**  
**ACADEMY OF EARLY EDUCATION**  
 652 BURR BIRNBA DRIVE  
 MIDDLETON, WISCONSIN

ISSUE			
NO.	DATE	DESCRIPTION	INT.

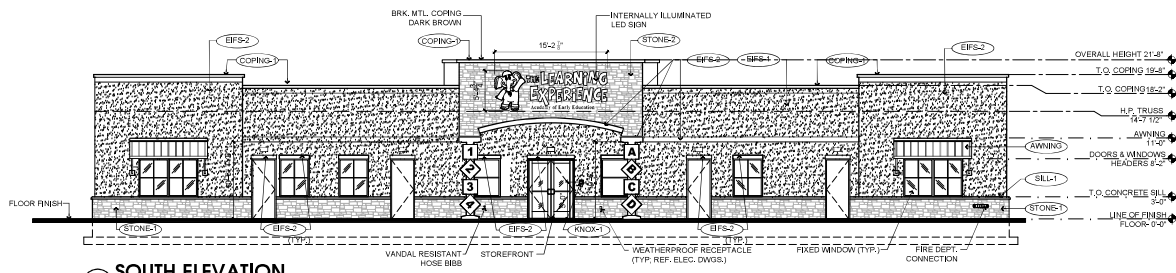
  

REVISION			
NO.	DATE	DESCRIPTION	INT.

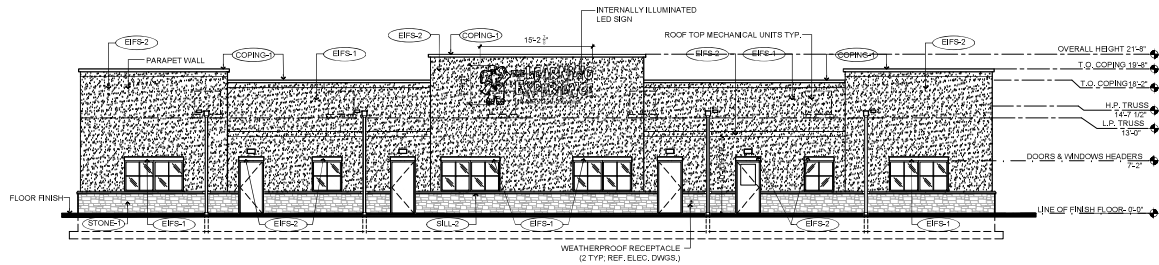
**PROFESSIONAL CERTIFICATION**  
 NAME OF LICENSEE:  
**MATTHEW B. JARMEL**  
 LICENSE NUMBER: 12809

Project Number:  
**TELEW22-114** Scale:  
 1/8" = 1'-0"  
 Drawn By:  
**CS** Approved By:  
**MBJ**

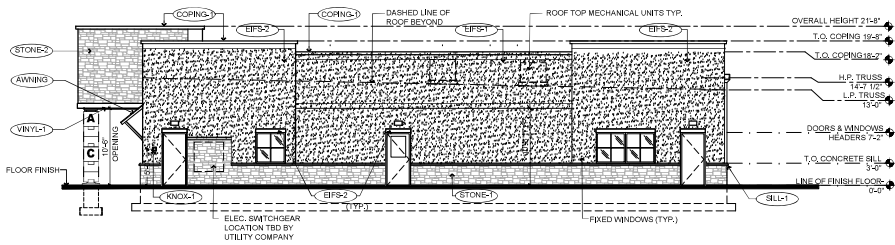
**PROPOSED FLOOR PLAN**  
 Drawing Number:  
**SA-1.1**



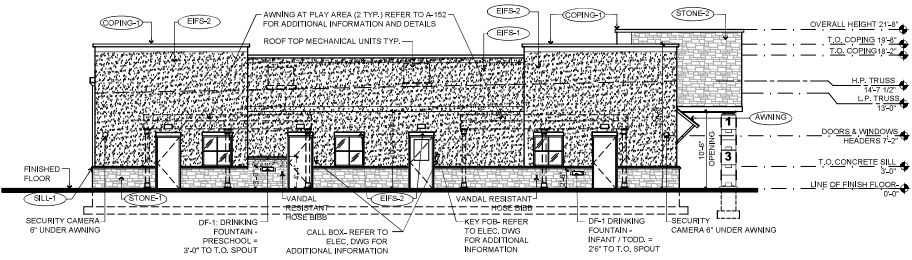
1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE / TYPE	FINISH / COLOR
STOREFRONT	KAWNEER	TRIFAB 401T 350 PER DOOR SCHEDULE	BONE WHITE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	PLY GEM	SILVER LINE V1 SERIES PER WINDOW SCHEDULE	WHITE
STONE-1	BUJCHEL STONE CORP.	6" FULL DEPTH STONE	CHILTON TAL GREY BLEND
STONE-2	BUJCHEL STONE CORP.	6" STONE VENEER	CHILTON TAL GREY BLEND
SILL-1	MODERN PRECAST	3 3/4"TH x W 2" FLAT W 1/4" DRIP EDGE	REGULAR (LIGHT GREY)
SILL-2	MODERN PRECAST	CUSTOM SILL 3 3/4"TH x W 2" FLAT REF. DTL. 6A-032	REGULAR (LIGHT GREY)
EPS-1	DRYVIT	-	SAND PEBBLE FINISH COLOR: OYSTER SHELL
EPS-2	DRYVIT	-	SAND PEBBLE FINISH COLOR: SANDLEWOOD BEIGE
GUTTER-1	-	6" ALUMINUM TYPE 'K' W/ LEAF SCREEN AND 6" LEADERS	MATCH FRIEZE BOARD
VINYL-1	ROYAL BUILDING PRODUCTS	COLORSCAPES TRIPLE 4 PERFORATED SOFFIT NOM. THICKNESS 0.042"	WHITE (REF. NOTE 2 BELOW)
AWNING	-	CUSTOM ALUMINUM	AWARD BLUE (PAC-CLAD)
COPING-1	FABRAL (OR EQUAL)	BREAK METAL	DARK BRONZE
KNOX-1	KNIX BOX	300 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)

FINISH SCHEDULE NOTES:  
 1. G.C. SHALL VERIFY KNIX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION.  
 2. G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS' WARRANTY REQUIREMENTS.

1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK.  
 2. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE AND HAVE CONTROL OVER CONTRACTOR'S MATERIALS, METHODS, TECHNIQUES, SEQUENCES, AND FOR THE SAFETY.  
 3. G.C. MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. CONSULT BUILDING PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED AT THE EXPENSE OF THE G.C.  
 4. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL.

**Jamel Kizel**  
 ARCHITECTS AND ENGINEERS, INC.  
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 FAX: 973.984.4093  
 WWW.JKPIR.COM  
 Architectural  
 Engineering  
 Interior Design  
 Implementation Services

**THE LEARNING EXPERIENCE**  
**ACADEMY OF EARLY EDUCATION**  
 452 BURNT SIENNA DRIVE  
 MIDDLETON, WISCONSIN

ISSUE			
NO.	DATE	DESCRIPTION	BY

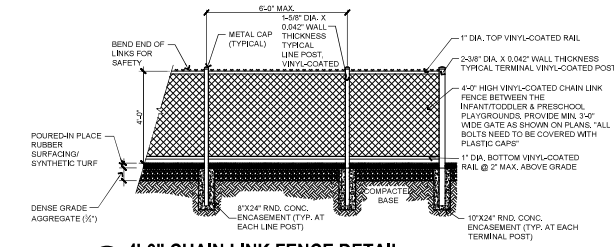
REVISION			
NO.	DATE	DESCRIPTION	BY

PROFESSIONAL CERTIFICATION  
 NAME OF LICENSEE:  
**MATTHEW B. JAMEL**  
 LICENSE NUMBER: 12809

Project Number: **TELE22-114** Scale: **1/8" = 1'-0"**  
 Drawn By: **DK** Approved By: **MBJ**

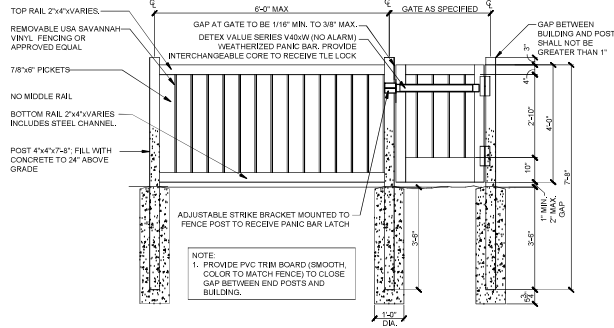
Drawing Name:  
**PROPOSED ELEVATIONS**

Drawing Number:  
**SA-1.2**



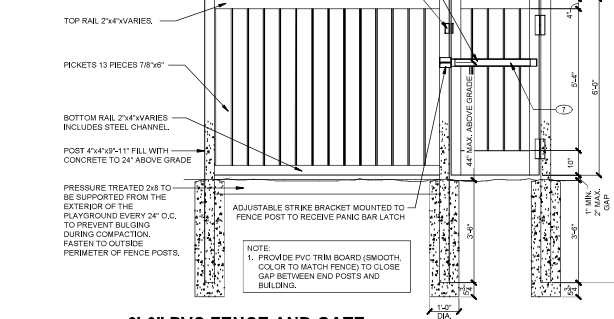
**6 4'-0" CHAIN LINK FENCE DETAIL**  
SCALE: 1/2"=1'-0"

- NO MIDDLE RAIL
- FENCE TO BE SOLID, BOARD ON BOARD WITH NO GAPS
- FENCE PANELS TO BE REMOVABLE FOR MAINTENANCE PURPOSES.



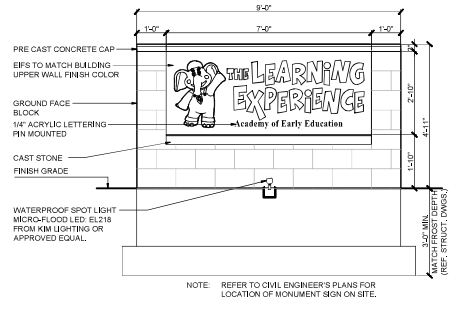
**5 4'-0" PVC FENCE AND GATE DETAIL**  
SCALE: 1/2"=1'-0"

- NO MIDDLE RAIL
- FENCE TO BE SOLID, BOARD ON BOARD WITH NO GAPS
- FENCE PANELS TO BE REMOVABLE FOR MAINTENANCE PURPOSES.



**4 6'-0" PVC FENCE AND GATE WITH PANIC HARDWARE**  
SCALE: 1/2"=1'-0"

**8 MONUMENT SIGNAGE ELEVATION**  
SCALE: 1/2"=1'-0"

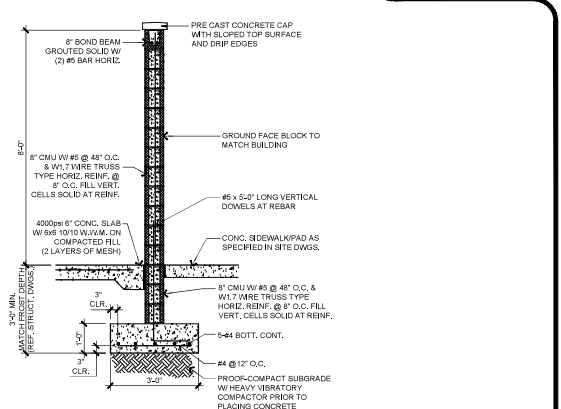


**7 MONUMENT SIGNAGE ELEVATION**  
SCALE: 1/2"=1'-0"

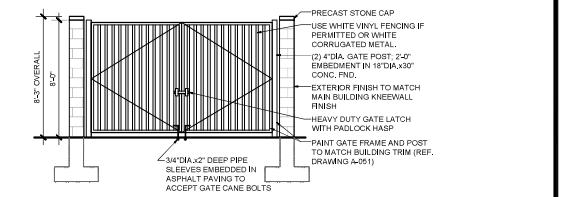
1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK. UNLESS THE CONTRACTOR BEST AND LATEST ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONTRACTOR'S METHODS, TECHNIQUES, SEQUENCES, AND JOB SITE SAFETY.

2. CONTRACTOR MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. CONTRACTOR-BUILT PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED AT THE EXPENSE OF THE GC.

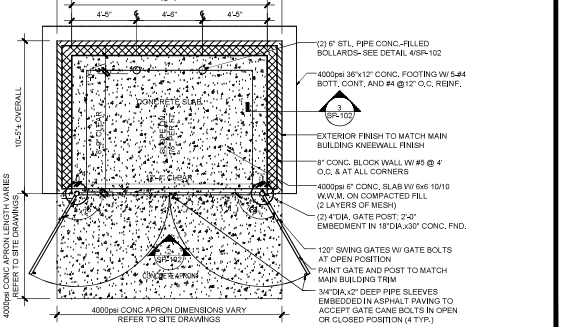
3. VISUAL REPRESENTATION HAS NO VALUE AND IS REQUESTED TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL.



**3 TRASH ENCLOSURE TYPICAL WALL SECTION**  
SCALE: 1/2"=1'-0"



**2 TRASH ENCLOSURE ELEVATION**  
SCALE: 1/4"=1'-0"



**1 TRASH ENCLOSURE PLAN**  
SCALE: 1/4"=1'-0"

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WWW.JKRIE.COM

Architecture  
Engineering  
Interior Design  
Implementation Services

THE LEARNING EXPERIENCE  
ACADEMY OF EARLY EDUCATION  
452 BURNETT SIENNA DRIVE  
MIDDLETON, WISCONSIN

**ISSUE**

NO.	DATE	DESCRIPTION	REV.

**REVISION**

NO.	DATE	DESCRIPTION	REV.

**PROFESSIONAL CERTIFICATION**  
NAME OF LICENSEE:  
**MATTHEW B. JARMEL**  
LICENSE NUMBER: 12809

Project Number: **TLEW22-114** Scale: **1/8"=1'-0"**  
Drawn By: **AM/MLH** Approved By: **MJK**  
Drawing Name:

**PROPOSED SITE DETAILS**

Drawing Number:  
**SA-1.3**

1. CONTRACTOR SHALL SUPERSEDE AND DIRECT THE WORK UNDER THE CONTRACT FOR BEST AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION METHODS, TECHNIQUES, EQUIPMENT, AND QUALITY SHEET.

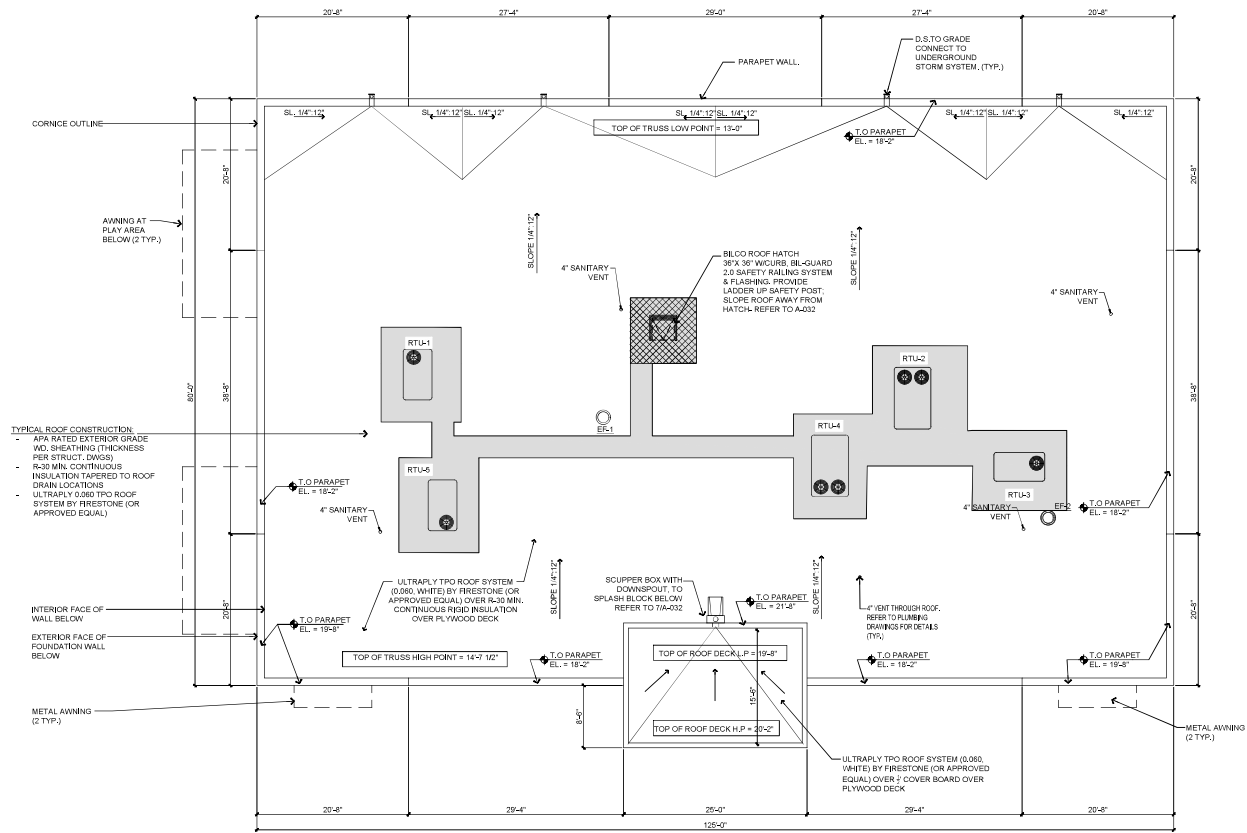
2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS MUST BE REPLACED AT THE EXPENSE OF THE GC.

3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT'S OFFICE FOR APPROVAL.



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655 BURR BIRNNA DRIVE  
MIDDLETON, WISCONSIN

**TYPICAL ROOF CONSTRUCTION**

- APA RATED EXTERIOR GRADE MD. SHEATHING (THICKNESS PER STRUCT. DWGS)
- R-30 MIN. CONTINUOUS INSULATION TAPERED TO ROOF DRAIN LOCATIONS
- ULTRALY TPO ROOF SYSTEM BY FIRESTONE (OR APPROVED EQUAL)

INTERIOR FACE OF WALL BELOW

EXTERIOR FACE OF FOUNDATION WALL BELOW

**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**ISSUE**

NO.	DATE	DESCRIPTION	INT.

**REVISION**

NO.	DATE	DESCRIPTION	INT.

**PROFESSIONAL CERTIFICATION**

NAME OF LICENSEE: **MATTHEW S. JARMEK**  
LICENSE NUMBER: 12809

Project Number: **TELEW22-114** Scale: **1/8" = 1'-0"**  
 Drawn By: **CS** Approved By: **MJK**  
 Drawing Name: **PROPOSED ROOF PLAN**

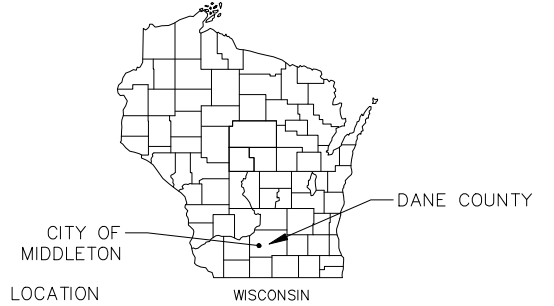
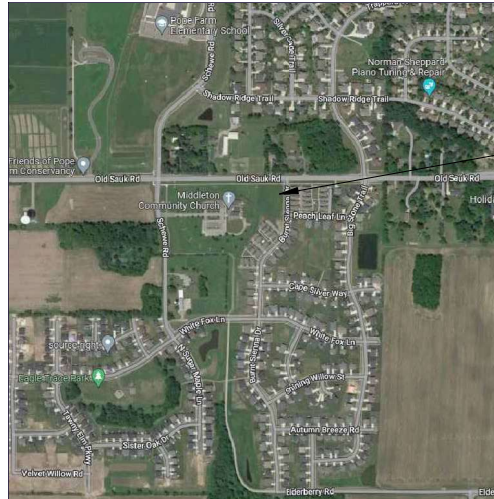
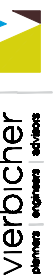
Drawing Number: **SA-1.4**



# THE LEARNING EXPERIENCE - MIDDLETON

BRADFORD REAL ESTATE COMPANIES

652 BURNT SIENNA DRIVE, MIDDLETON, WI



SHEET NO.	
C000	TITLE SHEET
C100	EXISTING CONDITIONS PLAN
C200	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

Title Sheet

THE LEARNING EXPERIENCE  
652 BURNT SIENNA DRIVE  
MIDDLETON, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

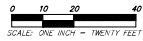
DATE: 1/30/2023  
DRAWN BY: AGGH  
CHECKED BY: OKNA  
PROJECT NO.: 220335

**NOT FOR CONSTRUCTION**

C000



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN, THE WESTERLY LINE OF LQ1 & CHAPEL VIEW MEASURED AS BEARING N 000121° E



**SURVEY LEGEND**

- ⊙ BENCHMARK
- ⊙ FOUND 1 1/4" # IRON ROD
- ⊙ FOUND 3/4" # IRON ROD
- ✕ SET CHISELED "X"
- ⊙ SET NAIL
- △ SET P.K. NAIL
- ◆ SET 3/4" # IRON ROD

**TOPOGRAPHIC SYMBOL LEGEND**

- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TELEPHONE PEDESTAL

**DRAFT**

**BENCHMARK TABLE**

- ⊙ BENCHMARK #1 - DEVL 1114.83; TAG BOLT ON HYDRANT AT NE CORNER OF BURNT SIENNA DR. AND PEACH LEAF LK.
- ⊙ BENCHMARK #2 - DEVL 1120.19; TOP OPERATING NUT ON HYDRANT AT SE CORNER OF OLD SAUK RD. AND BURNT SIENNA DR.

Description as provided in Title Commitment No. 3148635 dated October 19, 2022 from First American Title Insurance Company, Issuing office of 1330 University Avenue, 3rd Floor, P.O. Box 5572, Madison, WI 53705-5572.

The Land referred to herein below is situated in the County of Dane, State of Wisconsin, and is described as follows: Lot Four-Six (46), Chapel View, in the City of Madison, Dane County, Wisconsin.

APN: 251/0708-212-0108-8

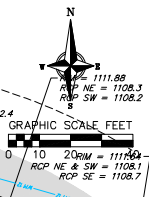
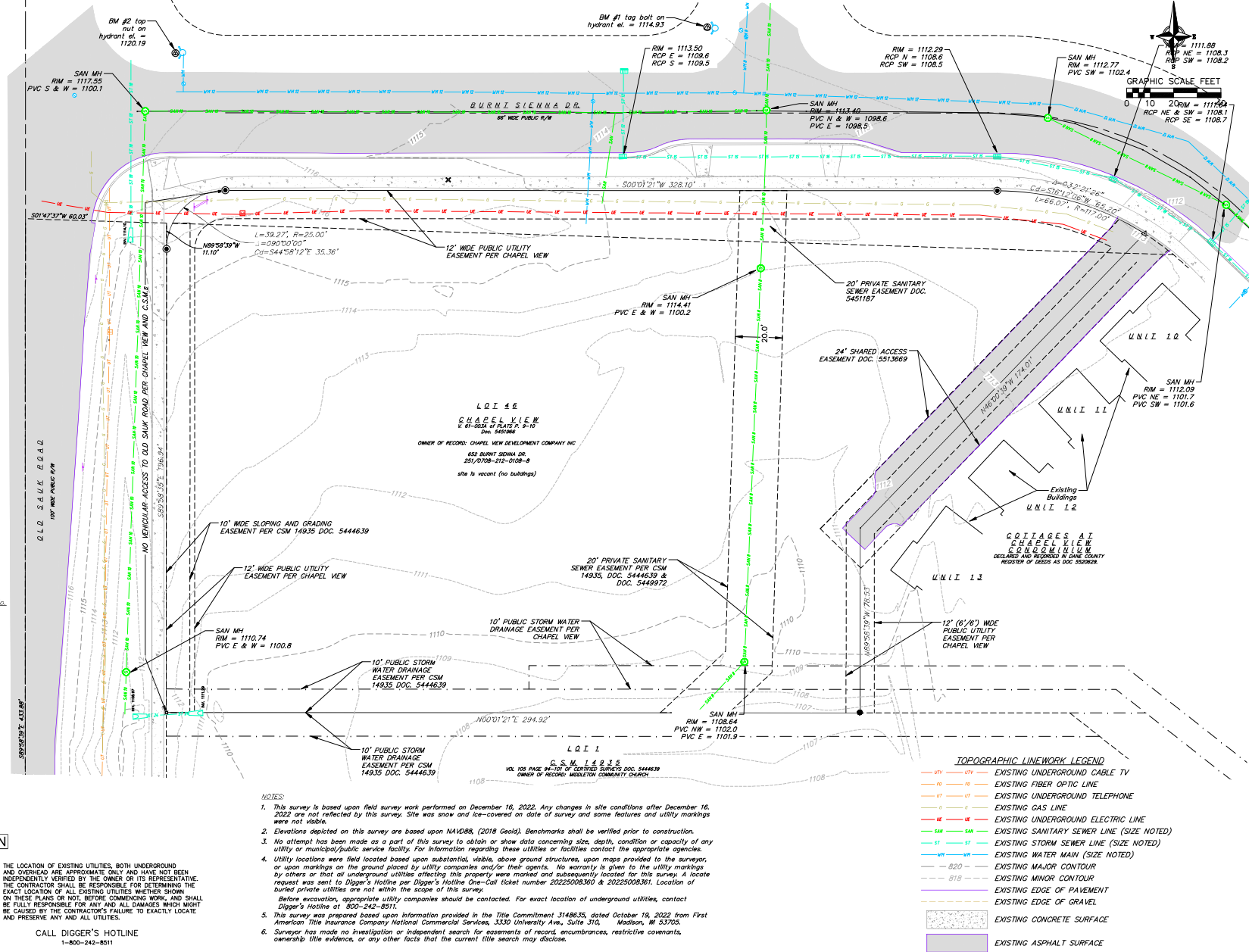
**SURVEYED FOR:**  
THE BRADFORD REAL ESTATE COMPANIES  
106 BARRINGTON COMMONS COURT,  
SUITE 722  
BARRINGTON, IL 60010

**SURVEYED BY:**  
VIERBICHER ASSOCIATES, INC.  
875 SHAWA ROUTE, PLS  
600 W. VIRGINIA STREET, SUITE 601  
MILWAUKEE, WISCONSIN 53204  
(262) 408-5584 PHONE  
WWW.VIERBICHER.COM

**NOT FOR CONSTRUCTION**



CALL DIGGER'S HOTLINE  
1-800-242-8511



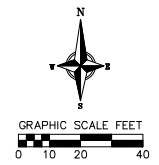
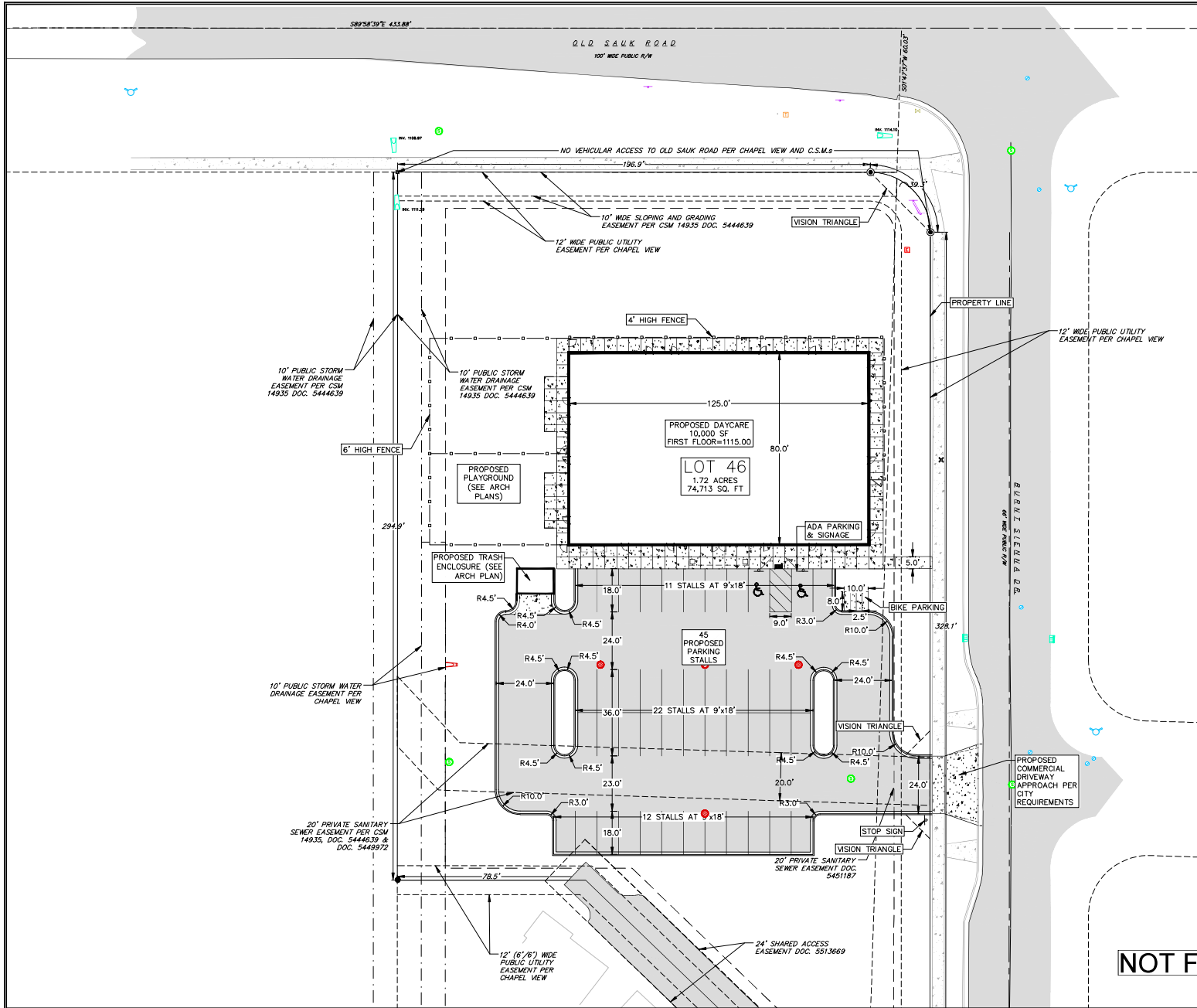
**Existing Conditions Plan**  
THE LEARNING EXPERIENCE  
652 BURNT SIENNA DRIVE  
MIDDLETON, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 1/12/2023  
DRAFTER: BR02  
CHECKED: ONA  
PROJECT NO.: 220335  
**C100**

- NOTES:**
- This survey is based upon field survey work performed on December 16, 2022. Any changes in site conditions after December 16, 2022 are not reflected by this survey. Site was snow and ice-covered on date of survey and some features and utility markings were not visible.
  - Elevations depicted on this survey are based upon NAVD83, (2018 Geoid). Benchmarks shall be verified prior to construction.
  - No attempt has been made as a part of this survey to obtain or show data concerning size, depth, condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities contact the appropriate agencies.
  - Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket number 20225008360 & 20225008361. Location of buried private utilities are not within the scope of this survey. Before excavation, appropriate utility companies should be contacted. For exact location of underground utilities, contact Digger's Hotline at 800-242-8511.
  - This survey was prepared based upon information provided in the Title Commitment 3148635, dated October 19, 2022 from First American Title Insurance Company National Commercial Services, 3350 University Ave., Suite 310, Madison, WI 53705.
  - Surveyor has made no investigation or independent search for encumbrances, restrictive covenants, ownership title evidence, or any other facts that the current title search may disclose.

- TOPOGRAPHIC LINEWORK LEGEND**
- UTV — UTV — EXISTING UNDERGROUND CABLE TV
  - FO — FO — EXISTING FIBER OPTIC LINE
  - OT — OT — EXISTING UNDERGROUND TELEPHONE
  - G — G — EXISTING GAS LINE
  - EE — EE — EXISTING UNDERGROUND ELECTRIC LINE
  - SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
  - WM — WM — EXISTING WATER MAIN (SIZE NOTED)
  - 820 — 820 — EXISTING MAJOR CONTOUR
  - 818 — 818 — EXISTING MINOR CONTOUR
  - — — EXISTING EDGE OF PAVEMENT
  - — — EXISTING EDGE OF GRAVEL
  - — — EXISTING CONCRETE SURFACE
  - — — EXISTING ASPHALT SURFACE



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
  - ▨ CURB AND GUTTER (REVERSE CURB HATCHED)
  - PROPOSED CHAIN LINK FENCE
  - PROPOSED WOOD FENCE
  - ▒ PROPOSED CONCRETE
  - ▓ PROPOSED LIGHT-DUTY ASPHALT
  - PROPOSED HEAVY-DUTY ASPHALT
  - PROPOSED SIGN
  - PROPOSED LIGHT POLE
  - PROPOSED BOLLARD
  - PROPOSED ADA DETECTABLE WARNING FIELD
  - PROPOSED HANDICAP PARKING

**LAND USE SUMMARY TABLE:**

AREA	SF	AC
TOTAL SITE	74,713	1.72
BUILDING FOOTPRINT	10,000	0.23
LOT COVERAGE	30,559	0.70
LANDSCAPE AREA	13,498	0.31
PAVED AREA	20,339	0.47

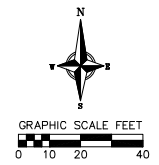
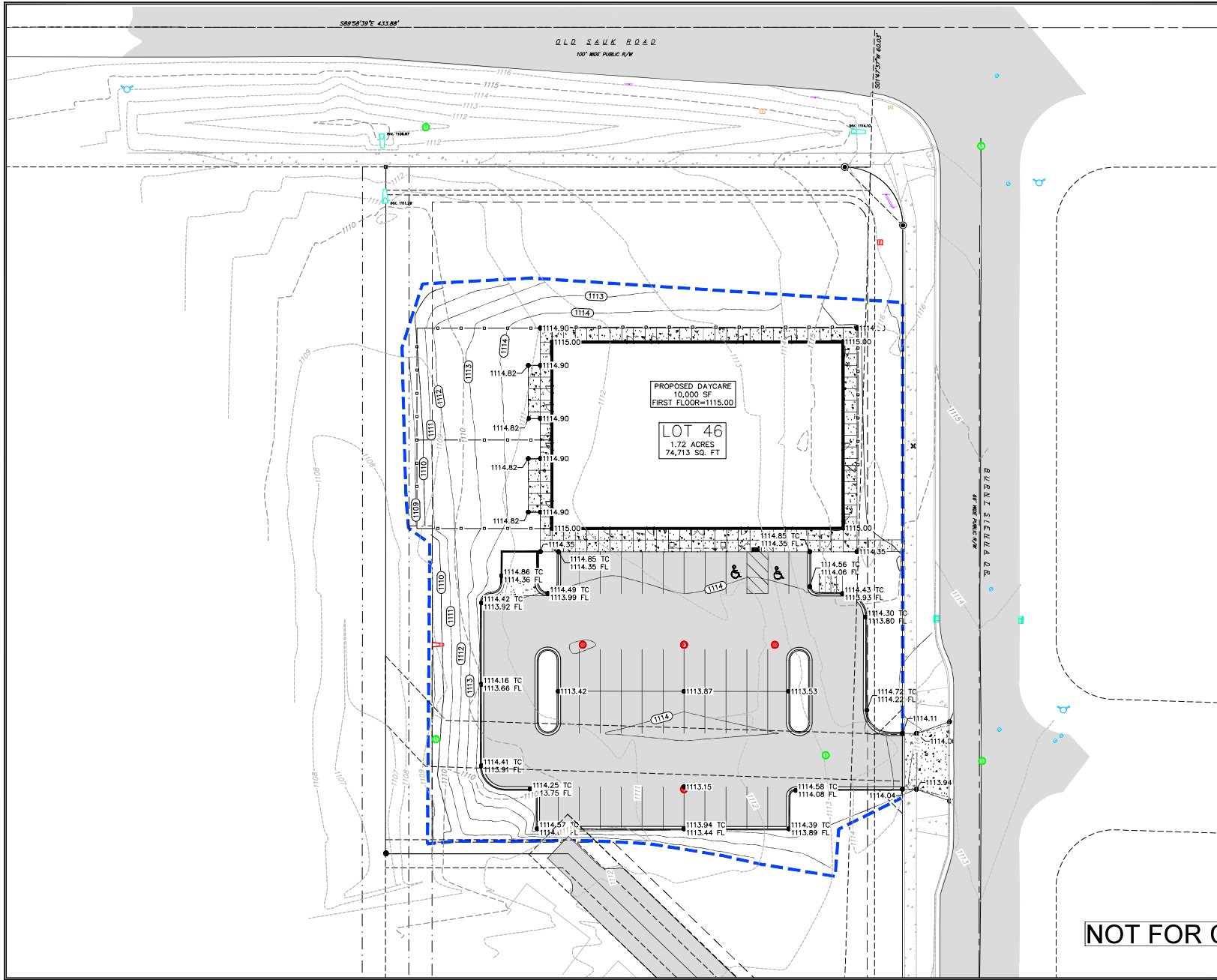
**NOT FOR CONSTRUCTION**



**Site Plan**  
THE LEARNING EXPERIENCE  
652 BURNT SIENNA DRIVE  
MIDDLETON, WISCONSIN

REV.	NO.	DATE	REVISIONS	REMARKS

DATE: 1/30/2023  
DRAWER: AGEH  
CHECKED: ORNA  
PROJECT NO.: 220335  
C200



- GRADING LEGEND**
- - - 820 - EXISTING MAJOR CONTOURS
  - - - 818 - EXISTING MINOR CONTOURS
  - - - 820 - PROPOSED MAJOR CONTOURS
  - - - 818 - PROPOSED MINOR CONTOURS
  - - - - - DITCH CENTERLINE
  - - - - - SILT FENCE
  - - - - - DISTURBED LIMITS
  - 2.92% - PROPOSED SLOPE ARROWS
  - 1048.61 - EXISTING SPOT ELEVATIONS
  - 1048.61 - PROPOSED SPOT ELEVATIONS

- ABBREVIATIONS**
- TC - TOP OF CURB
  - FF - FINISHED FLOOR
  - FL - FLOW LINE
  - SW - TOP OF WALK
  - TW - TOP OF WALL
  - BW - BOTTOM OF WALL

**NOT FOR CONSTRUCTION**

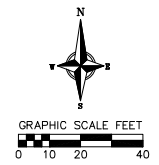
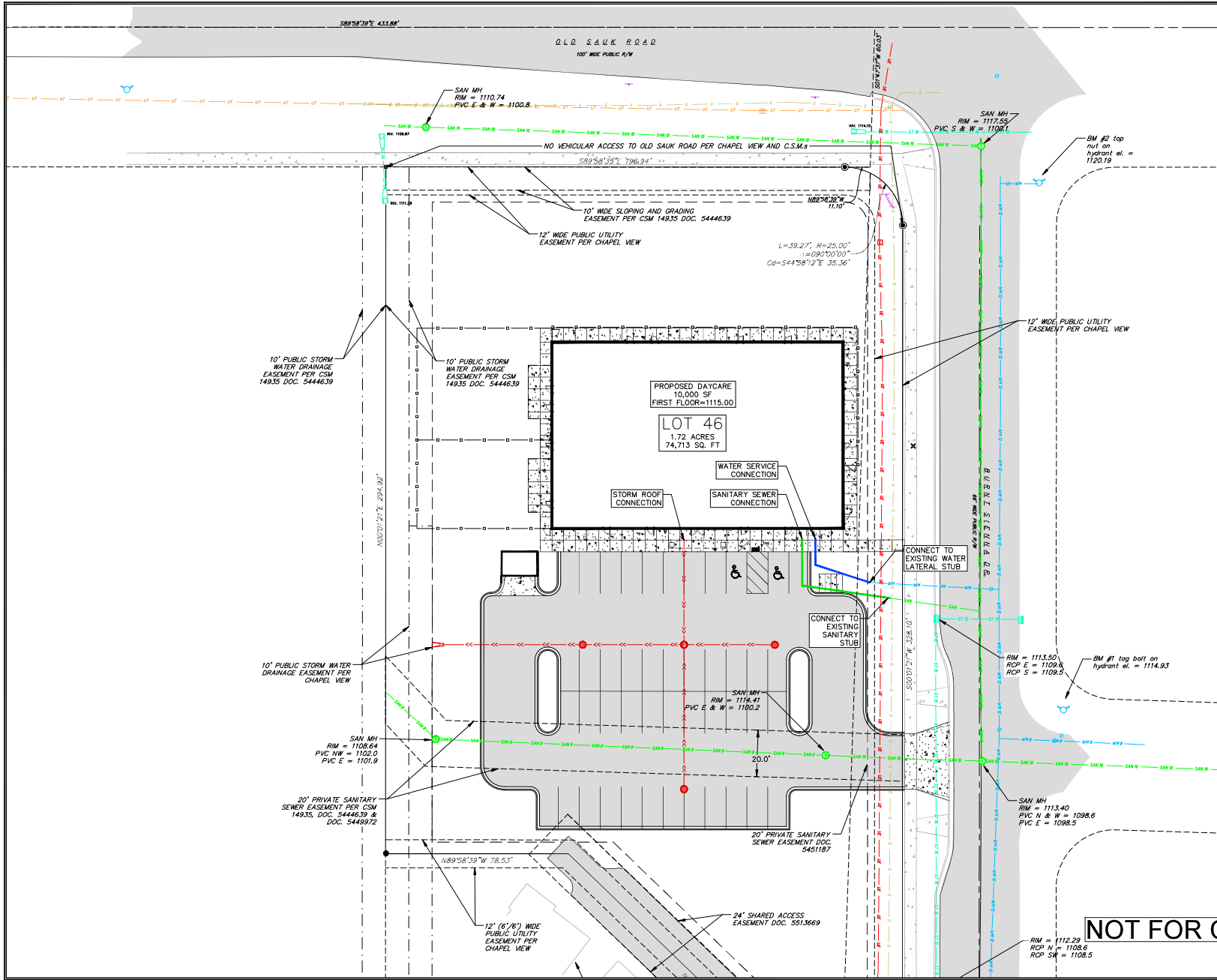


**Grading Plan**  
 THE LEARNING EXPERIENCE  
 652 BURNT SIENNA DRIVE  
 MIDDLETON, WISCONSIN

NO.	DATE	REVISIONS	REMARKS

DATE: 1/30/2023  
 DRAFTER: AGEH  
 CHECKED: ONNA  
 PROJECT NO.: 220335

C300



- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER ENDWALL
  - STORM SEWER CURB INLET
  - STORM SEWER CURB INLET W/MANHOLE
  - STORM SEWER FIELD INLET
  - ROOF DRAIN CLEANOUT
  - SANITARY SEWER PIPE (GRAVITY)
  - SANITARY SEWER LATERAL PIPE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - WATER MAIN
  - WATER SERVICE LATERAL PIPE
  - WATER VALVE MANHOLE
  - GAS MAIN
  - ELECTRIC SERVICE

- ABBREVIATIONS**
- SMH - STORM MANHOLE
  - FI - FIELD INLET
  - CI - CURB INLET
  - CB - CATCH BASIN
  - EW - ENDWALL
  - SMH - SANITARY MANHOLE

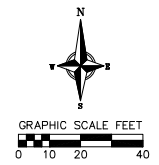
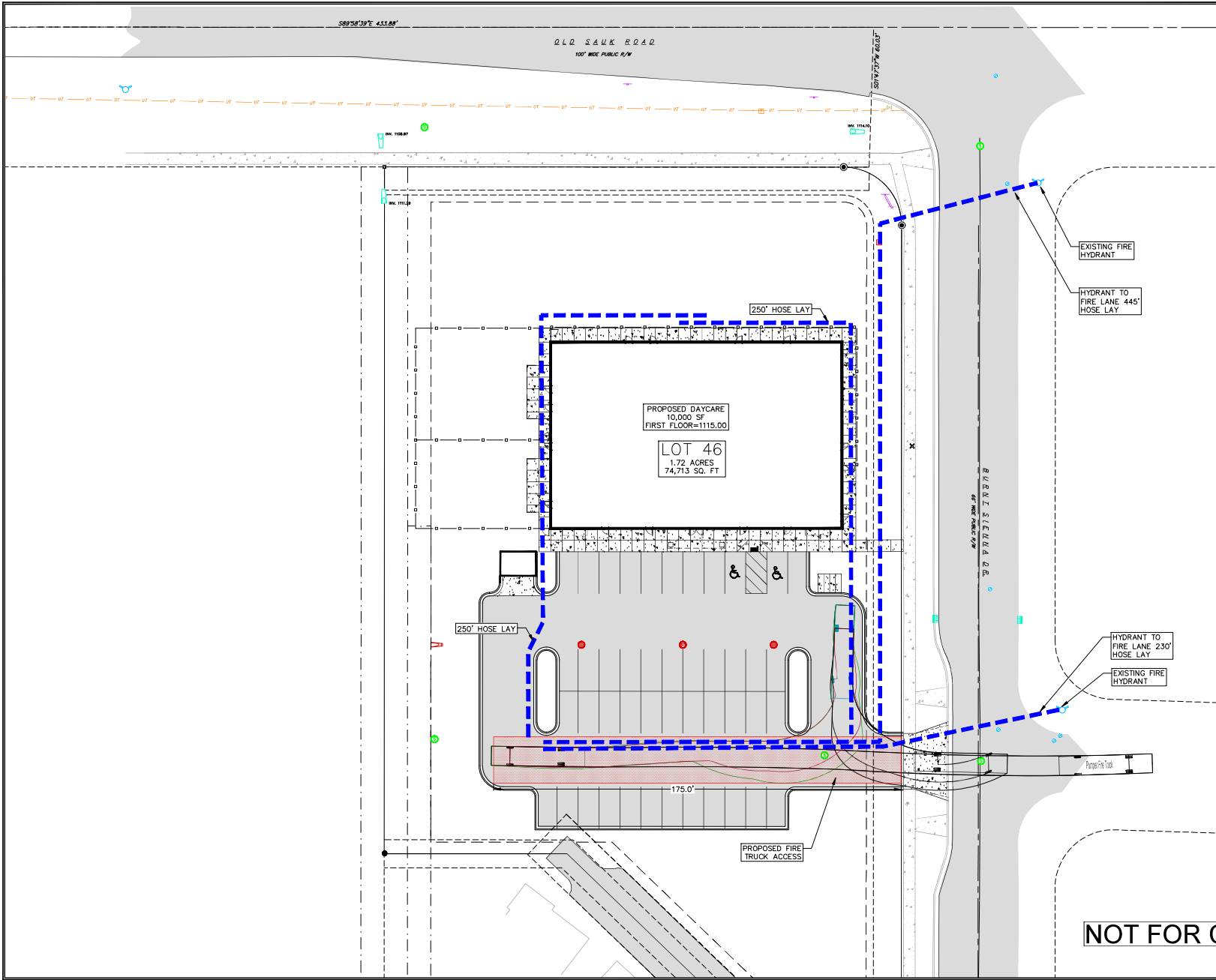
**NOT FOR CONSTRUCTION**



**Utility Plan**  
 THE LEARNING EXPERIENCE  
 652 BURNT SIENNA DRIVE  
 MIDDLETON, WISCONSIN

REV.	NO.	DATE	REVISIONS	REMARKS

DATE: 1/30/2023  
 DRAFTER:  
 AGED:  
 CHECKED:  
 OKNA  
 PROJECT NO.: 220335  
**C400**



**Fire Access Plan**  
 THE LEARNING EXPERIENCE  
 652 BURNT SIENNA DRIVE  
 MIDDLETON, WISCONSIN

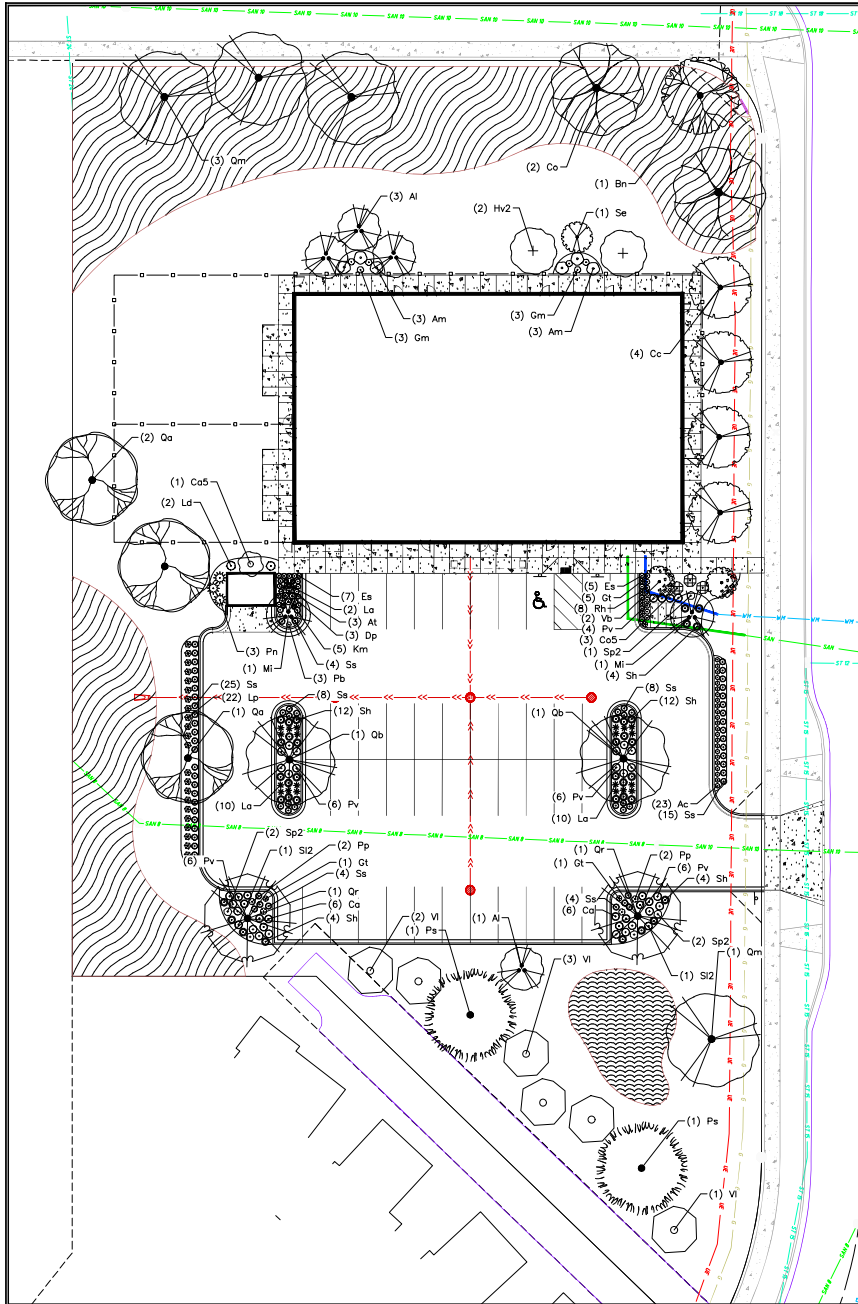
NO.	DATE	REVISIONS	REMARKS

DATE: 1/30/2023  
 DRAFTER: AGGH  
 CHECKED: OKNA  
 PROJECT NO.: 220335

**NOT FOR CONSTRUCTION**

EXH



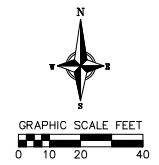


PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Bn	Betula nigra / River Birch Multi-Trunk	B & B	7' ht.		1
Co	Celtis occidentalis / Common Hackberry	B & B	2.5' cal		2
Ca	Quercus alba / White Oak	B & B	2.5' cal		3
Qa	Quercus bicolor / Swamp White Oak	B & B	2.5' cal		2
Qm	Quercus macrocarpa / Burr Oak	B & B	2.5' cal		4
Or	Quercus rubra / Red Oak	B & B	2.5' cal		2
EVERGREEN TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Ps	Pinus strobus / White Pine	B & B	6' ht.		2
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Al	Amelanchier laevis / Allegheny Serviceberry	B & B	7' ht.	Multi-Stem	4
Cc	Carpinus caroliniana / American Hornbeam	B & B	7' ht.		4
Hv2	Hamamelis virginiana / Common Witch Hazel	B & B	5' ht.		2
Mi	Malus ioensis / Prairie Crabapple	15 gal	4' ht.		2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Am	Aronia melanocarpa / Black Chokeberry	Pat	5 Gal.		6
Ca	Ceanothus americanus / New Jersey Tea	Cont.	3 Gal.		12
Ca5	Cephalanthus occidentalis / Buttonbush	Cont.	5 Gal.		3
Ca5	Corylus americana / American Hazelnut	B & B	4' ht.		1
Ld	Lonicera diervilla / Honeysuckle	Cont.	3 Gal.		2
Pn	Physocarpus opulifolius / Ninebark	Cont.	5 Gal.		3
Se	Sambucus canadensis / American Elderberry	Cont.	3 Gal.		1
Vi	Viburnum lentago / Nannyberry	B & B	7' ht.		6
Vb	Viburnum prunifolium / Blackhaw Viburnum	Cont.	5 Gal.		2
PERENNIALS SAVANNA	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Om	Geranium maculatum / Spotted Geranium	Cont.	1 Gal.		6
PERENNIALS SUN	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Ac	Allium cernuum / Nodding Onion	Cont.	1 Gal.		23
At	Asclepias tuberosa / Butterfly Milkweed	Cont.	1 Gal.		3
Bc	Bouteloua curtipendula / Side Oats Grama	Cont.	1 Gal.		8
Dp	Dalea purpurea / Purple Prairie Clover	Cont.	1 Gal.		3
Er	Eragrostis spectabilis / Purple Lovegrass	Cont.	1 Gal.		12
Gs	Geum triflorum / Prairie Smoke	Cont.	1 Gal.		7
Km	Koeleria macrantha / Prairie Junegrass	Cont.	1 Gal.		5
La	Liatris aspera / Rough Blazing Star	Cont.	1 Gal.		22
Lp	Liatris pycnostachya / Gayfeather	Cont.	1 Gal.		22
Pv	Panicum virgatum / Switch Grass	Cont.	1 Gal.		28
Pb	Phlox biloba / Sand Phlox	Cont.	1 Gal.		3
Pp	Phlox pilosa / Downy Phlox	Cont.	1 Gal.		4
Rh	Rudbeckia hirta / Black-eyed Susan	Cont.	1 Gal.		8
Sa	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.		75
Sl2	Silphium laciniatum / Compass Plant	Cont.	1 Gal.		2
Sp2	Silphium terebinthinaceum / Prairie Dock	Cont.	1 Gal.		5
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.		36

CONCEPT PLANT SCHEDULE

	SHORT PRAIRIE SEED MIX	12,156 sf
	BUTTERFLY GARDEN PLUGS	1,091 sf
	Allium cernuum / Nodding Onion	25
	Asclepias tuberosa / Butterfly Milkweed	42
	Asclepias verticillata / Whorled Milkweed	25
	Baptisia alba / White Wild Indigo	34
	Bouteloua curtipendula / Side Oats Grama	59
	Carex bicknellii / Prairie Sedge	25
	Coreopsis palmata / Stiff Tickseed	17
	Dalea candida / White Prairie Clover	17
	Dalea purpurea / Purple Prairie Clover	25
	Echinacea pallida / Pale Purple Coneflower	25
	Echinacea purpurea / Coneflower	17
	Eragrostis spectabilis / Purple Lovegrass	34
	Eryngium yuccifolium / Rattlesnake Master	35
	Koeleria macrantha / Prairie Junegrass	24
	Liatris aspera / Rough Blazing Star	50
	Liatris pycnostachya / Gayfeather	34
	Lobelia cardinalis / Cardinal Flower	17
	Monarda flatulosa / Bergamot	17
	Monarda punctata / Spotted Horsemint	25
	Phlox pilosa / Downy Phlox	25
	Ratibida pinnata / Yellow Coneflower	9
	Rudbeckia hirta / Black-eyed Susan	25
	Ruellia humilis / Wild Petunia	17
	Schizachyrium scoparium / Little Bluestem	84
	Solidago ohioense / Ohio Goldenrod	25
	Sporobolus heterolepis / Prairie Dropseed	84
	Symphoricarpos ericoides / Heath Aster	17
	Vernonia fasciculata / Ironweed	9



Landscape Site Plan  
THE LEARNING EXPERIENCE  
652 BURNT SIENNA DRIVE  
MIDDLETON, WISCONSIN

City of Madison Landscape Worksheet					
The Learning Experience Middleton	Date:	1/26/2023			
Total Square Footage of Developed Area:	(Site Area)	74713	(Building Footprint at Grade)	=	64713 sf
Total Landscape Points Required (<5 ac):	64,713	/ 300 =	216	x 5 =	1,079
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =	0
		Credits/ Existing Landscaping	Points Achieved	New/ Proposed Landscaping	Points Achieved
Overstory deciduous tree	2.5' cal	35	0	13	455
Tall Evergreen Tree	5-6 feet tall	35	0	2	70
Ornamental tree	1.5' cal	15	0	12	180
Upright evergreen shrub	3-4 feet tall	10	0	0	0
Shrub, deciduous	#3 gallon	3	0	36	108
Shrub, evergreen	#3 gallon	4	0	0	0
Ornamental grasses/perennials	#1 gallon	2	0	242	484
Ornamental/decorative fencing or wall	n/a	4 per 10 LF	0	0	0
Existing significant specimen tree	Min. Size 2.5' cal.	14 per caliper inch	0	0	0
Landscape Furniture for public seating and/or transit connections	S points per "seat"	0	0	0	0
<b>Sub Totals</b>					
		<b>Total Points Provided:</b>		<b>1297</b>	

NO.	DATE	REVISIONS	REMARKS

**PLANT MATERIAL NOTES:**

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

**LANDSCAPE MATERIAL NOTES:**

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.
2. SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
3. LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN.
4. LANDSCAPE BEDS AND STONE BORDERS ARE SEPARATED FROM SEEDED AREAS WITH WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 4"x4" OR EQUAL, COLOR BLACK ANODIZED.
5. ALL TREES AND/OR SHRUBS PLANTED IN SEEDED AREAS TO BE INSTALLED WITH A 5" DIAMETER MULCH RING AND A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULANT SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH APPLICATION. APPLICATION RATES TO REFLECT MANUFACTURER SPECIFICATIONS.

**SEEDING AND PLUG PLANTING NOTES:**

1. ALL AREAS LABELED "SHORT PRAIRIE" TO BE SEEDED WITH "SHORTGRASS PRAIRIE FOR MEDIUM SOILS" BY AGRECOL OR EQUIVALENT, PER MANUFACTURER'S SPECIFICATIONS. ALL NATIVE SEEDINGS BETWEEN JUNE 15TH AND OCTOBER 15TH TO RECEIVE AT LEAST 2" WATER TWICE WEEKLY. NATIVE SEEDING PRIOR TO JUNE 15TH AND AFTER OCTOBER 15TH DO NOT REQUIRE WATERING. PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
2. AREAS SHOWN AS TURF GRASS TO BE SEEDED WITH "WEAR-N-TEAR" SEED MIX BY LA CROSSE SEED OR EQUIVALENT. ALL SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. (PRIOR TO ROUTINE MAINTENANCE. SCHEDULE ESTABLISHMENT, MOWING SHOULD OCCUR TO MAINTAIN A TURF HEIGHT OF 3"-4") PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.
3. INSTALL BUTTERFLY GARDEN PLUG PLANTINGS AS 2" x 2" x 4" OR 2.25" x 2.25" x 5" DEEP PLUGS AS SUPPLIED BY AGRECOL, MIDWEST GROUNDCOVERS OR EQUAL. BIORETENTION PLUGS TO BE INSTALLED 14" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES RANDOMLY THROUGHOUT SPECIFIED AREA, MAINTAINING AN EVEN RATIO OF GRASSES/SEDGES TO FORBS (WILDFLOWERS) THROUGHOUT PLANTING. APPLY 2" WATER DAILY FOR 3 WEEKS FOLLOWING INSTALLATION.
4. ALL UNLABELED DISTURBED AREAS, AND AREAS LABELED LOW MAINTENANCE LAWN BLEND TO BE SEEDED WITH "LOW MAINTENANCE LAWN BLEND" BY PRAIRIE MOON OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL TURF SEEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.

**GENERAL LANDSCAPE NOTES:**

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ANY RIGHT OF WAY WORK.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES WITHIN SCOPE OF CONTRACT.
3. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS AT SITE AND COMPLETE WORK PER SCHEDULE.
4. CONTRACTOR SHALL CLEAN ALL PAVEMENT AREAS WITHIN SITE AFTER COMPLETION. CONTRACTOR SHALL CLEAN ANY AFFECTED PAVED AREAS OUTSIDE OF DISTURBANCE DELINEATION DAILY.

**PRAIRIE AREAS: PLANTING AND MAINTENANCE THROUGH YEAR 2**

- PREP WORK AT THE SITE**
1. Remove weeds from site prior to planting, using one or a combination of the following methods:
    1. Apply a vegetation killing herbicide such as glyphosate at least two times spaced two weeks apart. Apply seed or plant plugs after two weeks from the second herbicide application.
    2. Cover the area entirely with black plastic or cardboard for one growing season.
    3. Rotate or disk the area at least every month for at least one entire growing season.

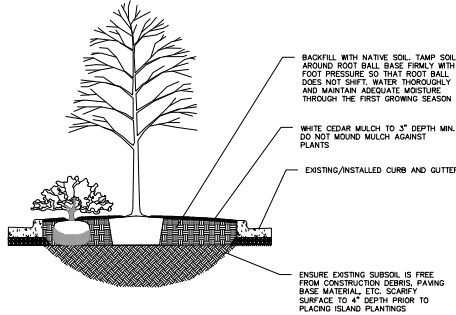
- PLANTING THE SEED**
- Plant seed mix before June 15 or after October 15 for best results. Soil seed contact is necessary for seeds to germinate; either till soil well or use a special drill for no-till seeding. Incorporate any necessary soil amendments prior to seeding. Do not plant seed deeper than one inch. Watering and mulching may help support germination, but watering must be done consistently until germination is complete.

- CARING FOR THE PLANTING**
- Weeds control is critical while the native plants are becoming established. Weeds may be controlled via mowing, spot herbicide application, or hand pulling. During the first growing season, mow at a height no less than 8" in late June, late July and late August. In the second year, mow at a height of no less than 8" in late June and mid August. Spot invasive weed treatment should be completed at least once a year with a selective herbicide. Refer to resources provided by the DNR for specific invasive species to be targeted.

- PRAIRIE AREAS: MAINTENANCE AFTER YEAR 2**
- After two growing seasons, weeds can be controlled via burning. Burning is best done in late spring (late April) for maximum initiation of seeds and to preserve winter nesting habitat. Burning should be done biennially. In areas where burning is not feasible, remaining vegetation should be mowed to a height of 6" in late fall or early spring every other year. Spot herbicide treatment should be considered an annual maintenance. Initial invasive species elimination effort results in lower maintenance efforts following treatments.

**NOTES:**

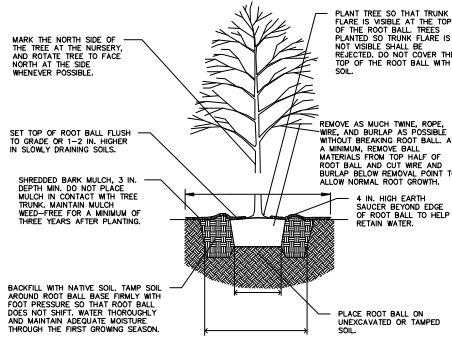
1. PARKING ISLAND TO BE FREE OF AGGREGATE TO A MINIMUM DEPTH OF 24"
2. ANY PAVEMENT BASE MATERIALS REMAINING FROM PAVEMENT INSTALLATION WITHIN PLANTING AREA SHALL BE REMOVED AND REPLACED WITH NATIVE SOIL PRIOR TO PLANTING



1 PARKING ISLAND PLANTING AREA  
1 NOT TO SCALE

**NOTES:**

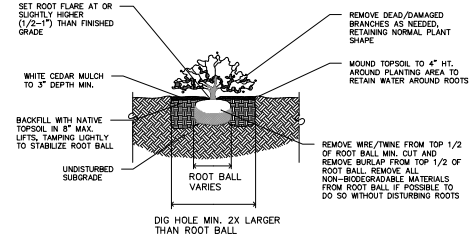
1. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.



1 B&B TREE PLANTING DETAIL  
1 NOT TO SCALE

**NOTES:**

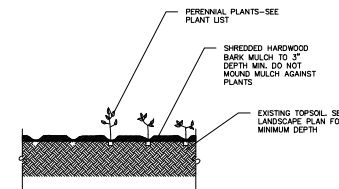
1. KEEP CONTAINERS ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS WILL BE REJECTED.
2. APPLY BALANCED SLOW RELEASE FERTILIZER PELLETS TO SOIL SURFACE PRIOR TO MULCHING, PER SPECIFIED APPLICATION RATES.
3. WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



1 SHRUB PLANTING DETAIL  
1 NOT TO SCALE

**NOTES:**

1. KEEP CONTAINERS ON PLANTS UNTIL READY TO INSTALL TO MINIMIZE ROOT DAMAGE FROM EXPOSURE TO AIR. GENTLY LOOSEN ROOTS ON ROOTBOUND PLANTS. SEVERELY ROOTBOUND PLANTS WILL BE REJECTED.
2. APPLY BALANCED SLOW RELEASE FERTILIZER PELLETS TO SOIL SURFACE PRIOR TO MULCHING, PER SPECIFIED APPLICATION RATES.
3. WATER PLANTS THOROUGHLY AFTER PLANTING TO SETTLE SOIL.



1 PERENNIAL PLANTING DETAIL  
1 NOT TO SCALE



REV.	NO.	DATE	REVISIONS	REMARKS

DATE: 1/30/2023  
DRAWN BY: EGOR  
CHECKED BY: ONNA  
PROJECT NO.: 220335





# CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 652 Burnt Sienna Drive, Middleton, WI  
 Name of Project The Learning Experience  
 Owner / Contact Gary Wendt (The Bradford Real Estate Companies)  
 Contact Phone 312-493-6256 Contact Email wendt@bradfordchicago.com

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

### Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 64,713

Total landscape points required 1,079

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area \_\_\_\_\_

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area \_\_\_\_\_

Total landscape points required \_\_\_\_\_

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area \_\_\_\_\_

Total landscape points required \_\_\_\_\_

**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			13	455
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			2	70
Ornamental tree	1 1/2 inch caliper	15			12	180
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			0	0
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			36	108
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			0	0
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			242	484
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			0	0
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200			0	0
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"			0	0
<b>Sub Totals</b>						1297

**Total Number of Points Provided** 1297

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

**Total Developed Area**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

**Development Frontage Landscaping**

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

**Interior Parking Lot Landscaping**

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

**Foundation Plantings**

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

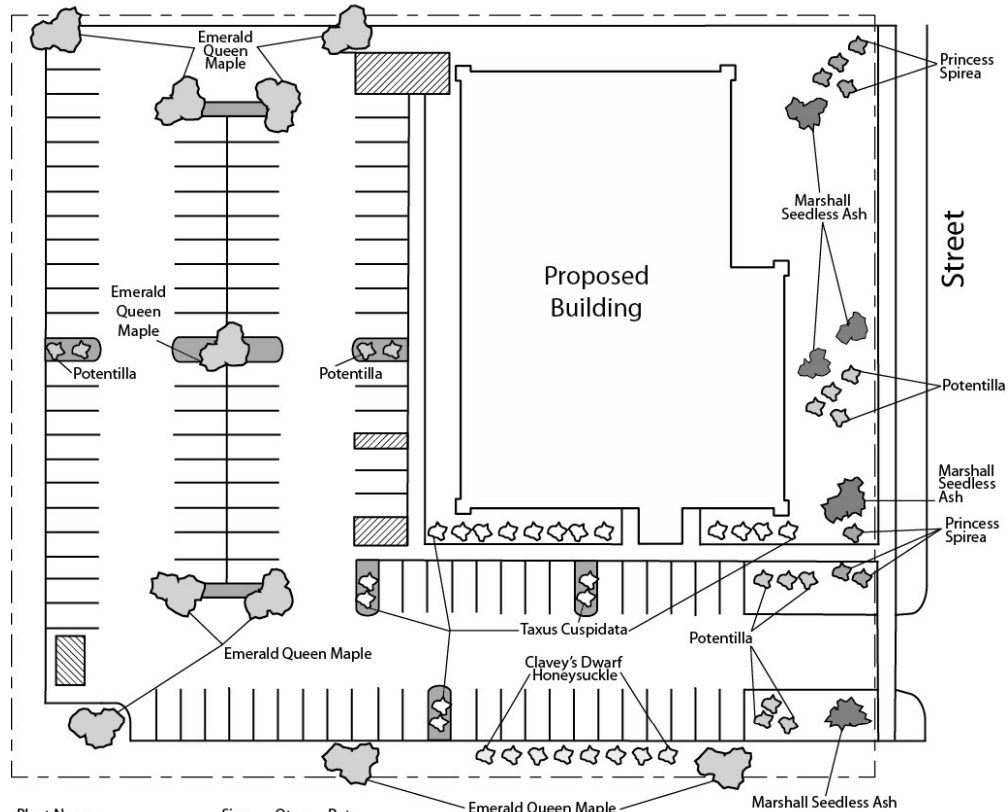
**Screening Along District Boundaries**

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

**Screening of Other Site Elements**

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

**Example Landscape Plan**



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honeysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
			TOTAL 585

Call City Zoning, 266-4551, with your questions about this type of plan

## LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

### **Applicability.**

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### **Landscape Plan and Design Standards.**

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
  1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
  2. Site amenities, including bike racks, benches, trash receptacles, etc.
  3. Storage areas including trash and loading.
  4. Lighting (landscape, pedestrian or parking area).
  5. Irrigation.
  6. Hard surface materials.
  7. Labeling of mulching, edging and curbing.
  8. Areas of seeding or sodding.
  9. Areas to remain undisturbed and limits of land disturbance.
  10. Plants shall be depicted at their size at sixty percent (60%) of growth.
  11. Existing trees eight (8) inches or more in diameter.
  12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

### **Landscape Calculations and Distribution.**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
  1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
  2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
  3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

### **Development Frontage Landscaping.**

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

**Interior Parking Lot Landscaping.**

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

**Foundation Plantings.**

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

**Screening Along District Boundaries.**

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

**Screening of Other Site Elements.**

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

**Maintenance.**

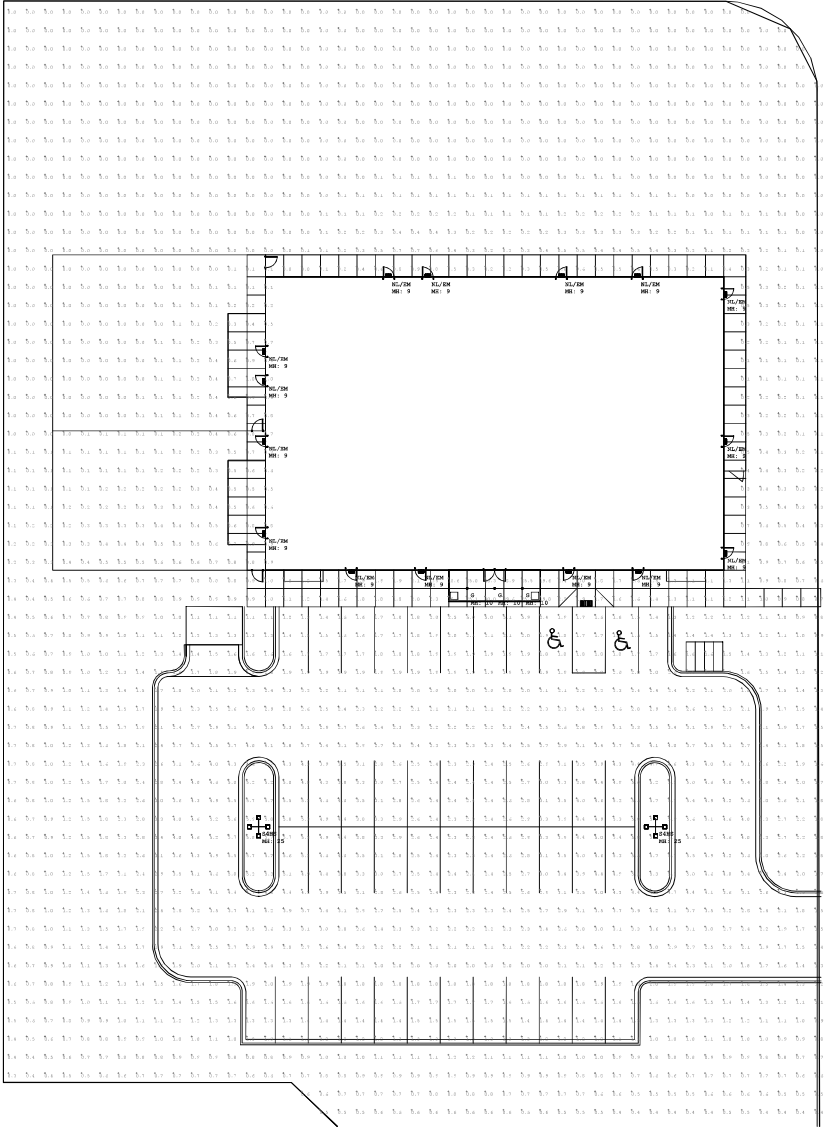
The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.

1. CONTRACTOR SHALL SUPERSEDE AND DIRECT THE WORK UNDER THE CONTRACT FOR BEST AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION METHODS, MATERIALS, TECHNIQUES, EQUIPMENT, AND QUALITY CONTROL.

2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNSPECIFIED SUBSTITUTIONS MUST BE SUBMITTED AT THE EXPENSE OF THE GC.

3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS, MUST BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL.

**JK**  
**Jarmel Kizel**  
 ARCHITECTS AND ENGINEERS INC.  
 42 OKNER PARKWAY  
 LIVINGSTON, NEW JERSEY 07039  
 TEL: 908.546.6699  
 FAX: 973.584.2269  
 www.jarmelkizel.com  
 Architecture  
 Engineering  
 Interior Design  
 Implementation Services



SYMBOL	CITY	LABEL	ARRANGEMENT	DESCRIPTION	RAY	SDF	CUMULATIVE QUANTITY	AVAILABLE FLOOR AREA	TOTAL PARTS	POSTING INDEX
1	1	1	1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4	4	4	4
5	5	5	5	5	5	5	5	5	5	5
6	6	6	6	6	6	6	6	6	6	6
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17	17	17	17	17	17	17	17	17	17	17
18	18	18	18	18	18	18	18	18	18	18
19	19	19	19	19	19	19	19	19	19	19
20	20	20	20	20	20	20	20	20	20	20

**THE LEARNING EXPERIENCE**  
**ACADEMY OF EARLY EDUCATION**  
 652 BURR BIRNNA DRIVE  
 MIDDLETON, WISCONSIN

**ISSUE**

NO.	DATE	DESCRIPTION	INT.

**REVISION**

NO.	DATE	DESCRIPTION	INT.

**PROFESSIONAL CERTIFICATION**  
 NAME OF LICENSEE:  
**MATTHEW S. JARREL**  
 LICENSE NUMBER: 12809

Project Number: **TELEW22-114** Scale: **NTS**  
 Drawn By: **CS** Approved By: **MAJ**

**SITE PHOTOMETRICS**

**1 SITE PHOTOMETRICS PLAN**

Drawing Number:  
**SA-1.6**



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 652 BURNT SIENNA DRIVE, MIDDLETON, WI

**Contact Name & Phone #:** Gary Wendt 312-493-6256

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2021 Edition Chapter 5 and Appendix D**; please see the codes for further information.