

# 5133 & 5237 UNIVERSITY AVE

## CITY OF MADISON, WISCONSIN

4 1/4, SW 1/4, SECTION 18, TOWNSHIP 07 (NORTH), RANGE 09 (EAST)

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**PROJECT AREA**  
NOT TO SCALE



### PROJECT INFORMATION

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KENOSHA | APPLETON | WAUSAU

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CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

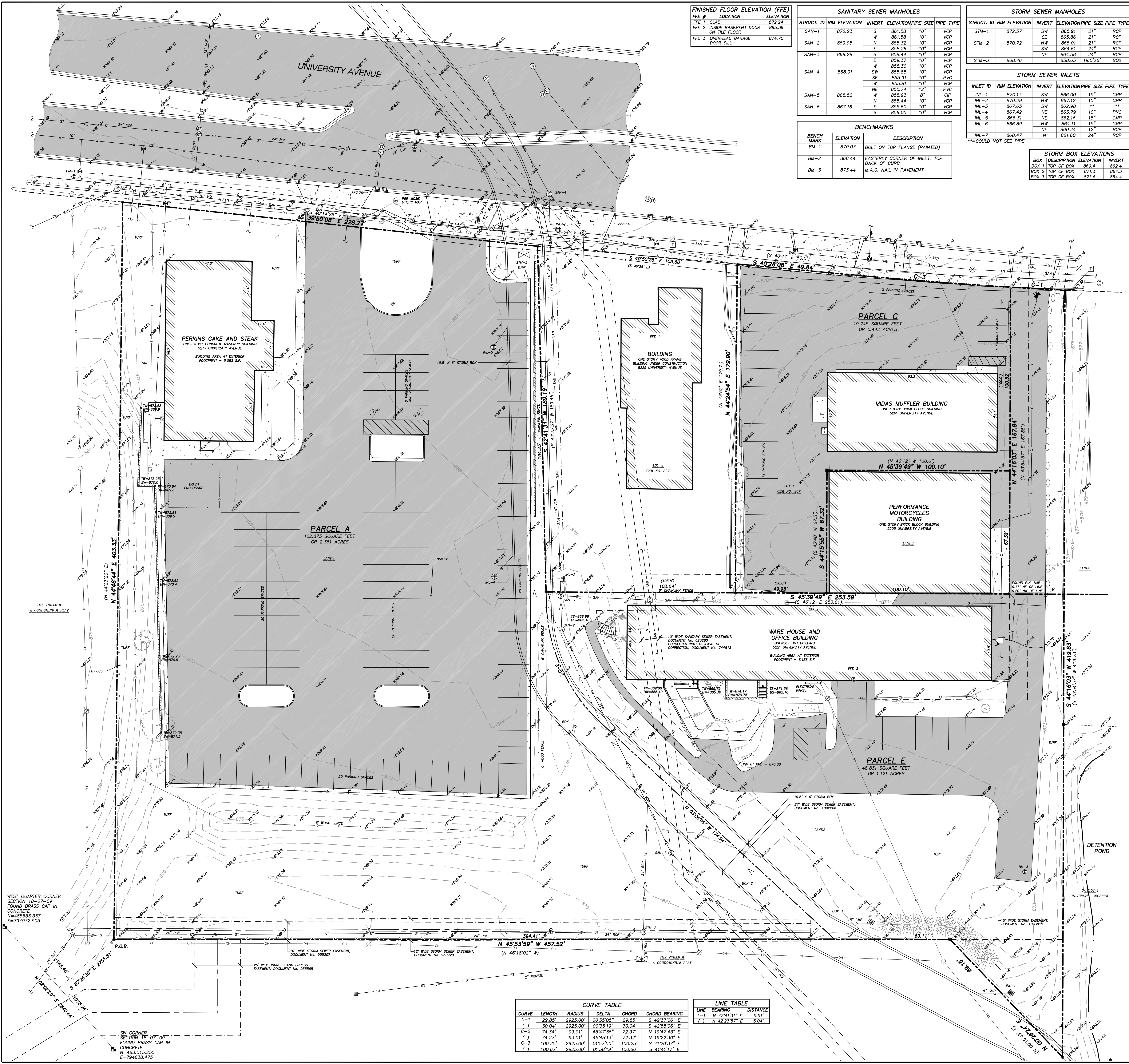
#	Date	Description
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
3		
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Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**C0.0**





FINISHED FLOOR ELEVATION (FFE)	FE #	LOCATION	ELEVATION
FFE 1	SLAB		872.24
FFE 2	INSIDE BASEMENT DOOR ON TILE FLOOR		865.39
FFE 3	OVERHEAD GARAGE DOOR SILL		874.70

SANITARY SEWER MANHOLES				
STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	872.23	S 861.58	10"	VCP
SAN-2	869.98	W 861.58	10"	VCP
SAN-3	869.28	E 858.44	10"	VCP
SAN-4	868.01	SW 858.30	10"	VCP
SAN-5	868.52	SE 859.91	10"	PVC
SAN-6	867.16	E 855.60	10"	VCP

STORM SEWER MANHOLES				
STRUCT. ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	872.57	SW 865.91	21"	RCP
STM-2	870.72	SE 865.01	21"	RCP
STM-3	868.46	NE 864.58	24"	RCP

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	870.03	BOLT ON TOP FLANGE (PAINTED)
BM-2	868.44	EASTERLY CORNER OF INLET, TOP BACK OF CURB
BM-3	873.44	M.A.G. NAIL IN PAVEMENT

STORM SEWER INLETS				
INLET ID	RIM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	870.13	SW 866.00	15"	CMP
INL-2	870.29	NW 867.12	15"	CMP
INL-3	867.65	SW 862.98	**	**
INL-4	867.42	NE 863.79	10"	PVC
INL-5	866.31	NE 862.16	18"	CMP
INL-6	866.69	NW 864.11	15"	CMP
INL-7	868.47	N 861.60	24"	RCP

STORM BOX ELEVATIONS		
BOX	DESCRIPTION	ELEVATION
BOX 1	TOP OF BOX	869.4
BOX 2	TOP OF BOX	871.3
BOX 3	TOP OF BOX	871.4

- LEGEND**
- GOVERNMENT CORNER
  - 3/4" REBAR FOUND
  - PK/MAG NAIL FOUND
  - COTTON SPINDLE SET
  - BENCHMARK
  - FINISHED FLOOR SHOT LOCATION
  - FLAG POLE
  - SIGN
  - SANITARY MANHOLE
  - HYDRANT
  - WATER OR GAS VALVE
  - WATER VALVE BOX
  - STORM MANHOLE
  - ROUND CASTED INLET
  - SQUARE CASTED INLET
  - CHUB INLET
  - STORM SEWER ACCESS
  - GAS REGULATOR/METER
  - MANHOLE
  - ELECTRIC MANHOLE
  - ELECTRIC MANHOLE
  - ELECTRIC TRANSFORMER
  - POWER POLE W/GUY
  - LIGHT POLE
  - TELEPHONE MANHOLE
  - DECIDUOUS TREE
  - HANDICAP PARKING
  - SECTION LINE
  - PARCEL BOUNDARY
  - RIGHT-OF-WAY LINE
  - CENTERLINE
  - PLATTED LOT LINE
  - EASEMENT LINE
  - FENCE LINE
  - STONE WALL
  - SHORE LINE
  - EDGE OF PAVEMENT
  - CONCRETE CURB & GUTTER
  - SANITARY SEWER
  - WATER LINE
  - ST
  - ST
  - NATURAL GAS
  - OVERHEAD ELECTRIC
  - UNDERGROUND ELECTRIC
  - INTERMEDIATE CONTOUR
  - SPOT ELEVATION
  - BITUMINOUS PAVEMENT
  - CONCRETE PAVEMENT
  - DISCONTINUED MAPPED PIPE LINE
  - RECORDED INFORMATION

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON SEPTEMBER 23, 2013.
  - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, THE WEST LINE OF THE SOUTHWEST QUARTER, BEARS N 02°02'21" E.
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 18, TOWNSHIP 07 NORTH, RANGE 09 EAST, ELEVATION = 866.40'.
  - CONTOUR INTERVAL IS ONE FOOT.
  - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
  - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20133802558 AND 20133802568.
  - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
  - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
  - COMBINED LOT AREAS = 151,704 SQUARE FEET OR 3.483 ACRES.
  - THERE ARE 101 REGULAR PARKING SPACES AND 2 HANDICAP SPACES FOR A TOTAL OF 103 PARKING SPACES.
  - STORM SEWER AND SANITARY SEWER ALONG UNIVERSITY AVENUE ARE BASED ON CITY OF MADISON AS-BUILT PLANS, 5992-08-79, 5992-08-86, 5992-08-87 AND 5992-08-82.
  - UNDERGROUND ELECTRIC AND GAS ARE BASED ON UTILITY MAPS SUPPLIED BY MADISON GAS AND ELECTRIC COMPANY.
  - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

**LEGAL DESCRIPTION**

**PARCEL A**  
 BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE NORTH 02 DEGREES 02 MINUTES 29 SECONDS EAST, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1075.24 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 30 SECOND EAST, 2751.81 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44 DEGREES 46 MINUTES 44 SECONDS EAST, 403.33 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF UNIVERSITY AVENUE; THENCE SOUTH 39 DEGREES 50 MINUTES 08 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 228.27 FEET TO THE NORTHERLY CORNER OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 207 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS, ON PAGES 207-207B, AS DOCUMENT NUMBER 1141736, DANE COUNTY REGISTRY; THENCE SOUTH 42 DEGREES 41 MINUTES 31 SECONDS WEST ALONG SAID WESTERLY LINE, 194.70 FEET TO A POINT OF CURVE; THENCE 74.27 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 93.01 FEET, THE CHORD BEARING SOUTH 19 DEGREES 47 MINUTES 43 SECONDS WEST, 174.54 FEET; THENCE SOUTH 03 DEGREES 08 MINUTES 05 SECONDS EAST, 174.54 FEET; THENCE NORTH 45 DEGREES 53 MINUTES 59 SECONDS WEST, 394.41 FEET TO THE POINT OF BEGINNING. THIS DESCRIPTION CONTAINS 102,873 SQUARE FEET OR 2.361 ACRES.

**PARCEL B**  
 BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE NORTH 02 DEGREES 02 MINUTES 29 SECONDS EAST, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 1075.24 FEET; THENCE SOUTH 87 DEGREES 28 MINUTES 30 SECONDS EAST, 2751.81 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44 DEGREES 46 MINUTES 44 SECONDS EAST, 403.33 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF UNIVERSITY AVENUE; THENCE SOUTH 39 DEGREES 50 MINUTES 08 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE, 228.27 FEET TO THE NORTHERLY CORNER OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 207 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS, ON PAGES 207-207B, AS DOCUMENT NUMBER 1141736, DANE COUNTY REGISTRY; THENCE SOUTH 42 DEGREES 41 MINUTES 31 SECONDS WEST ALONG SAID WESTERLY LINE, 194.70 FEET TO A POINT OF CURVE; THENCE 74.27 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 93.01 FEET, THE CHORD BEARING SOUTH 19 DEGREES 47 MINUTES 43 SECONDS WEST, 174.54 FEET; THENCE SOUTH 03 DEGREES 08 MINUTES 05 SECONDS EAST, 174.54 FEET; THENCE NORTH 45 DEGREES 53 MINUTES 59 SECONDS WEST, 394.41 FEET TO THE POINT OF BEGINNING. THIS DESCRIPTION CONTAINS 102,873 SQUARE FEET OR 2.361 ACRES.

**PARCEL C**  
 BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:  
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**SURVEYOR'S CERTIFICATE**

I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878 REGISTERED LAND SURVEYOR DATE

SCALE 1" = 20'

CALL DIGGER'S HOTLINE 1-800-242-8511 TOLL FREE

PREPARED FOR:  
 DEGAN AND ASSOCIATES  
 5133 UNIVERSITY AVENUE  
 MADISON, WI 53705

WEST QUARTER CORNER SECTION 18-07-09 FOUND BRASS CAP IN CONCRETE N=485653.337 E=794832.505

SW CORNER SECTION 18-07-09 FOUND BRASS CAP IN CONCRETE N=483,015.255 E=794838.475

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C-1	29.85'	2925.00'	00'35'09"	29.85' S 42°37'06" E
( )	30.04'	2925.00'	00'35'19"	30.04' S 42°58'06" E
C-2	74.34'	93.01'	45'47'36"	72.37' N 19°47'43" E
( )	74.27'	93.01'	45'45'13"	72.32' N 19°22'30" E
C-3	100.25'	2925.00'	01'57'50"	100.25' S 41°20'37" E
( )	100.67'	2925.00'	01'58'19"	100.66' S 41°41'00" E

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N 42°41'31" E	5.51'
( )	N 42°23'57" E	5.04'

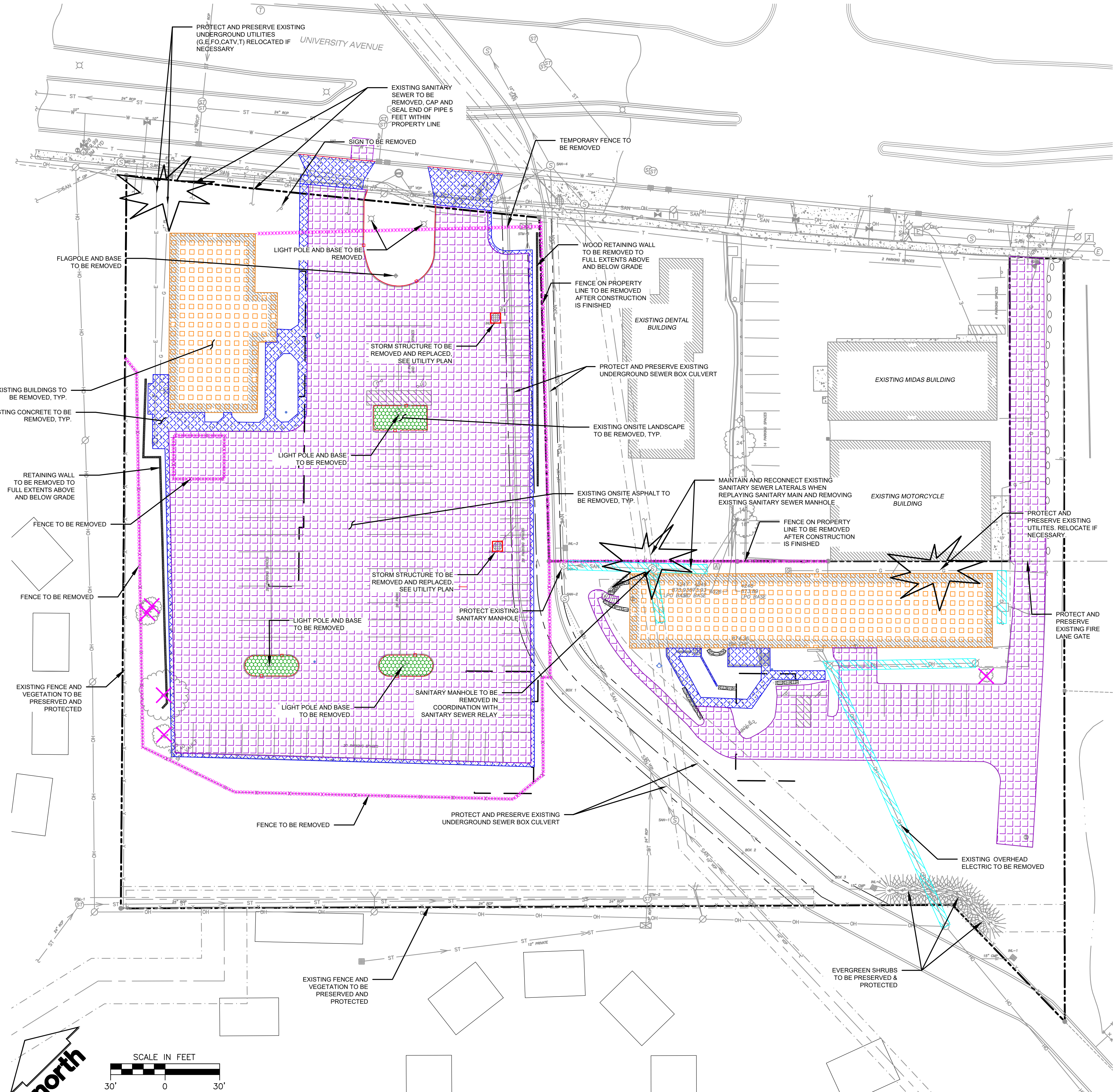
**EXISTING CONDITIONS SURVEY**  
 PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

DATE: 09-24-2013  
 CHECKED BY: JK  
 DATE: 10-07-2013  
 APPROVED BY: HPL  
 DATE: 10-08-2013

PROJECT NO.: 07-2912  
 FILE NO.: E-175  
 SURVEYED BY: JK  
 F.B. NO./P.G.: 225/88  
 SHEET NO.: 1 OF 1

JSD Professional Services, Inc.  
 Engineers • Surveyors • Planners  
 161 HORIZON DRIVE, SUITE 101  
 MADISON, WISCONSIN 53703  
 PHONE: (608)846-1860

File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C2.0 DEMO PLAN User: cjbones Plotted: Apr 17, 2020 9:54am Xrefs:

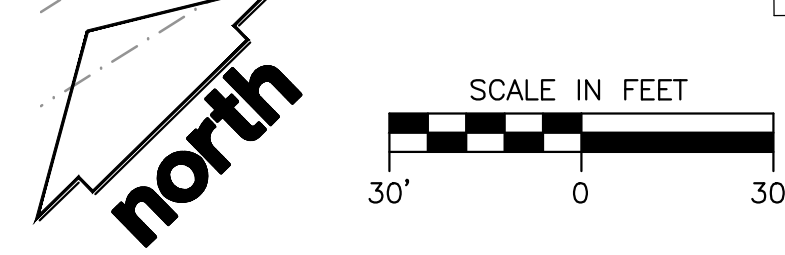


### LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
- DEMOLITION - REMOVAL OF RETAINING WALL
- DEMOLITION - REMOVAL OF ASPHALT SURFACES
- DEMOLITION - REMOVAL OF CONCRETE SURFACES
- DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
- DEMOLITION - REMOVAL OF UTILITIES
- DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
- DEMOLITION - REMOVAL OF FENCE
- REMOVE AND REPLACE STRUCTURE, SEE UTILITY PLAN
- TREE REMOVAL
- SHRUB REMOVAL
- PROTECT EXISTING TREE

- ### GENERAL NOTES
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
  - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
  - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
  - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

- ### DEMOLITION NOTES
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
  - CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
  - ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
  - ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
  - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
    - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
  - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
  - CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
  - ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
  - ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
  - ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
  - EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
  - SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
  - WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
  - ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
  - BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
  - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
  - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
  - ALL LIGHT POLES WITHIN THE LIMITS OF CONSTRUCTION TO BE REMOVED.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
3		
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Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

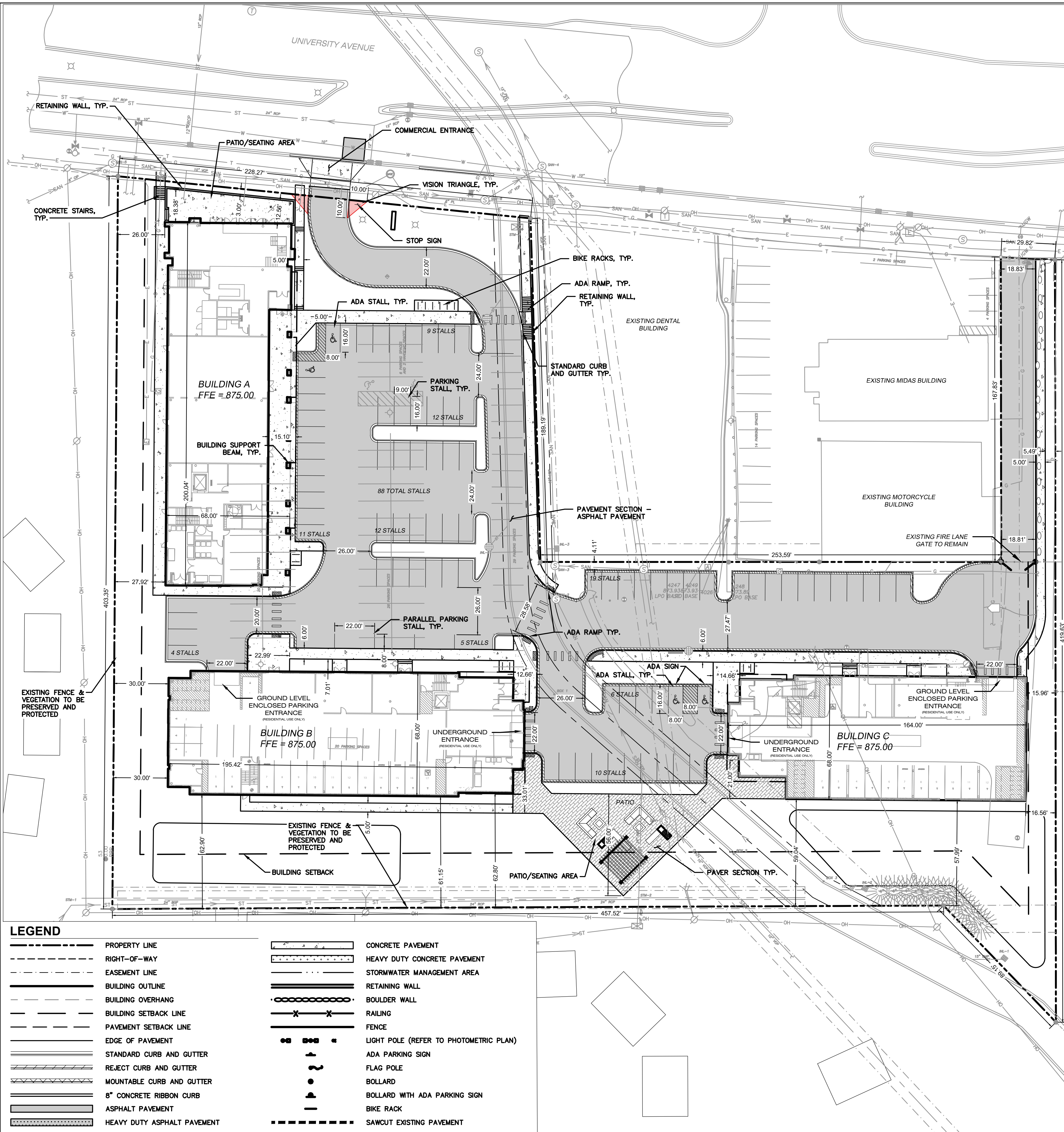
SHEET TITLE:  
**DEMO PLAN**

SHEET NUMBER:  
**C2.0**



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LEGEND	
---	PROPERTY LINE
- - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	BUILDING SETBACK LINE
---	PAVEMENT SETBACK LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	MOUNTABLE CURB AND GUTTER
---	8" CONCRETE RIBBON CURB
---	ASPHALT PAVEMENT
---	HEAVY DUTY ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	STORMWATER MANAGEMENT AREA
---	RETAINING WALL
---	BOULDER WALL
---	RAILING
---	FENCE
---	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
---	ADA PARKING SIGN
---	FLAG POLE
---	BOLLARD
---	BOLLARD WITH ADA PARKING SIGN
---	BIKE RACK
---	SAWCUT EXISTING PAVEMENT

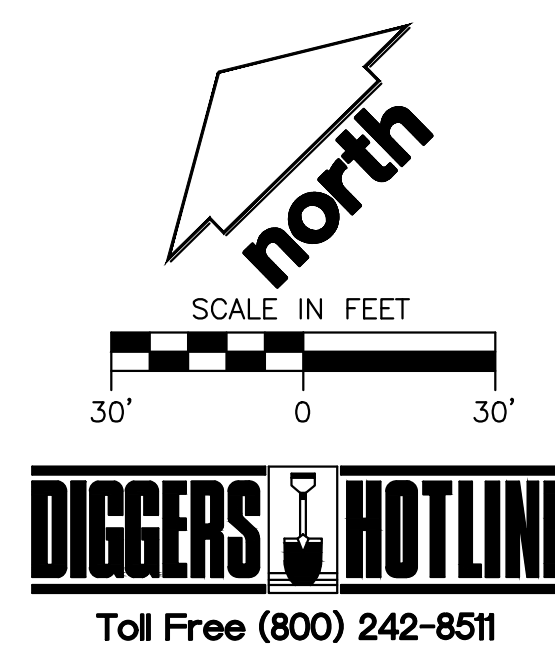
**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**PAVING NOTES**

- GENERAL**
  - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC, INC. DATED 4/6/2018.
  - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
  - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 55° F (11° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
  - ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS**
  - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
  - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS**
  - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
  - 2' x 5' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

SITE INFORMATION BLOCK	
Site Address	5237 University Ave.
Site Acreage (total)	3.482 Acres
Number of Building Stories-- Building A, B, & C (above grade)	3-4
Total Building Square Footage--Building A	11,753 SF
Total Building Square Footage--Building B	12,892 SF
Total Building Square Footage--Building C	10,535 SF
Use of property	Mixed Use--Commercial/Residential
Number of parking stalls:	
Automobile Stall	84
Underground/In-Building Automobile Stall	111
Accessible	9 (4 SURFACE, 5 IN-BUILDING)
Total Automobile Stalls	204
Bicycle	95
Impervious vs. Pervious Areas:	
Existing Impervious	76,993 S.F.
Existing Pervious	74,684 S.F.
Existing Impervious/Pervious Ratio	0.51
Proposed Impervious	100,465 S.F.
Proposed Pervious	51,240 S.F.
Proposed Impervious/Pervious Ratio	0.66
Required Usable Open Space	34,000 S.F.
Proposed Usable Open Space	34,871 S.F.



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161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
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Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

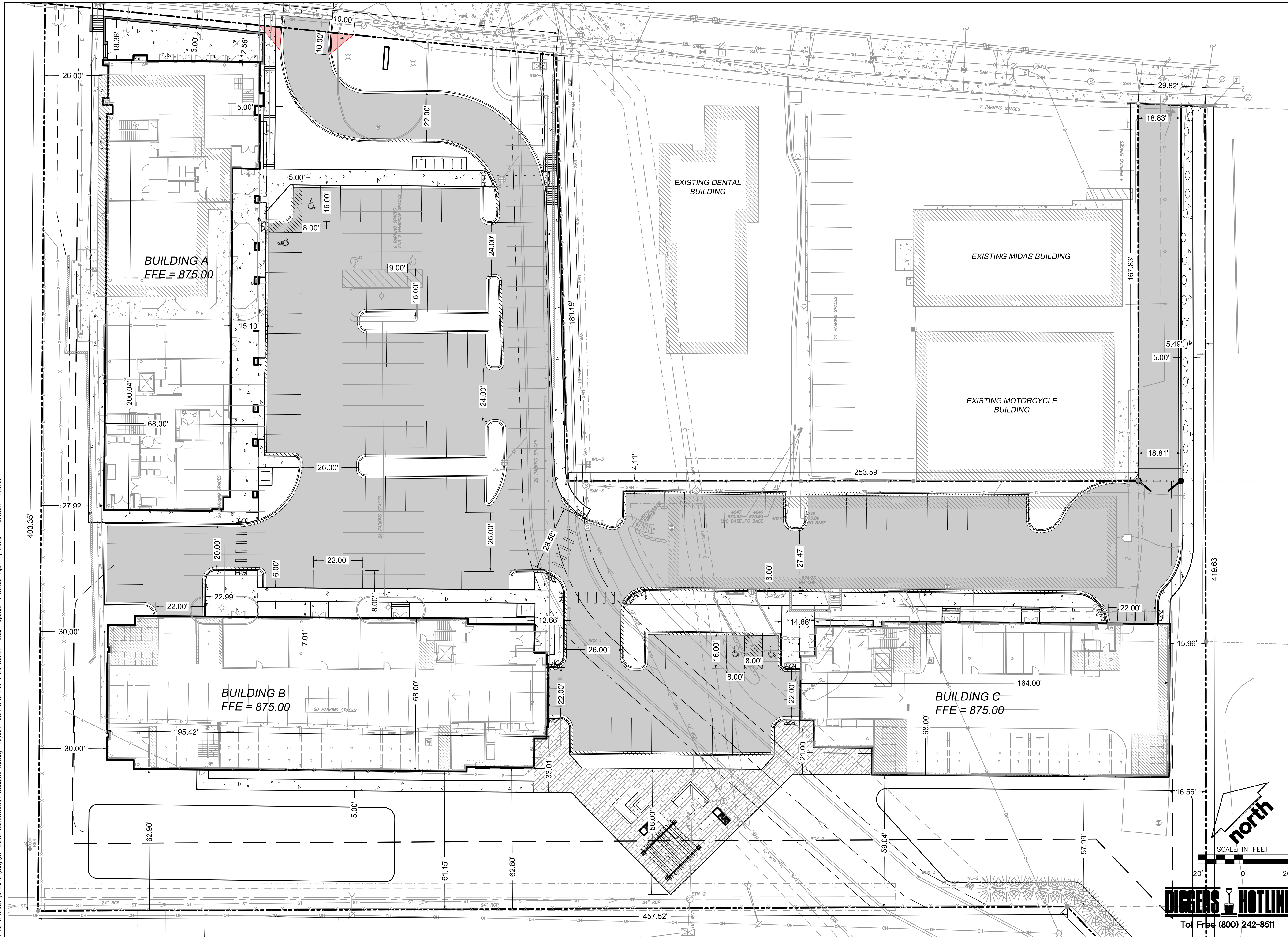
SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C3.0**

JSD PROJECT NO: 07-2812

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Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

SHEET TITLE:  
**SITE PLAN - 20 SCALE**

SHEET NUMBER:

**C3.1**

JSD PROJECT NO: 07-2812

**north**

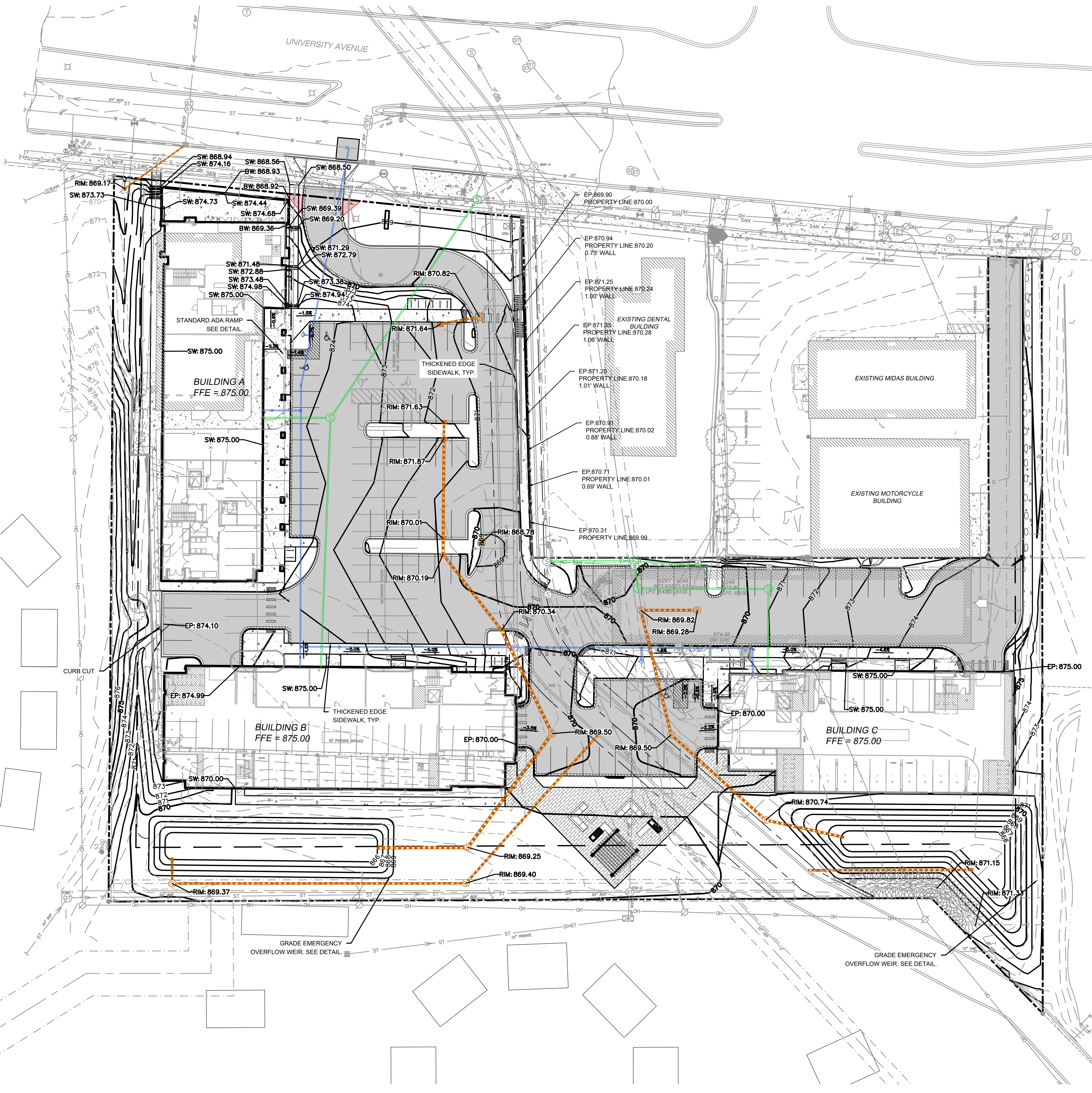
SCALE IN FEET

**DIGGERS HOTLINE**

Toll Free (800) 242-8511

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**GENERAL NOTES**

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3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

**GRADING AND SEEDING NOTES**

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

**CONSTRUCTION SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. ROUGH GRADE RETENTION PONDS AND INSTALL POND OUTLETS.
4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
8. RESTORE RETENTION POND (FINAL GRADE RETENTION POND PER PLAN REQUIREMENTS)
9. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

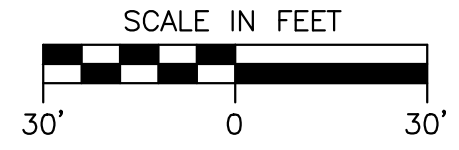
CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**STORMWATER FACILITIES CONSTRUCTION NOTES**

1. ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
3. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
5. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
7. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.

**LEGEND**

---	PROPERTY LINE	---	PROPOSED 1 FOOT CONTOUR
- - -	RIGHT-OF-WAY	---	PROPOSED 5 FOOT CONTOUR
---	EASEMENT LINE	---	EXISTING 1 FOOT CONTOUR
---	BUILDING OUTLINE	---	EXISTING 5 FOOT CONTOUR
---	BUILDING OVERHANG	---	DRAINAGE DIRECTION
---	EDGE OF PAVEMENT	---	GRADE BREAK
---	STANDARD CURB AND GUTTER	---	STORMWATER MANAGEMENT AREA
---	REJECT CURB AND GUTTER	---	RETAINING WALL
---	MOUNTABLE CURB AND GUTTER	---	BOULDER WALL
---	8" CONCRETE RIBBON CURB	---	RAILING
---	ASPHALT PAVEMENT	---	FENCE
---	HEAVY DUTY ASPHALT PAVEMENT	---	SPOT ELEVATION
---	CONCRETE PAVEMENT	---	EP - EDGE OF PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT	---	FG - FINISH GRADE
		---	EC - EDGE OF CONCRETE
		---	BOC - BACK OF CURB
		---	MATCH - MATCH EXISTING GRADE
		---	HP - HIGH POINT
		---	SW - SIDEWALK



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PO BOX 5567  
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PROJECT:  
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Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

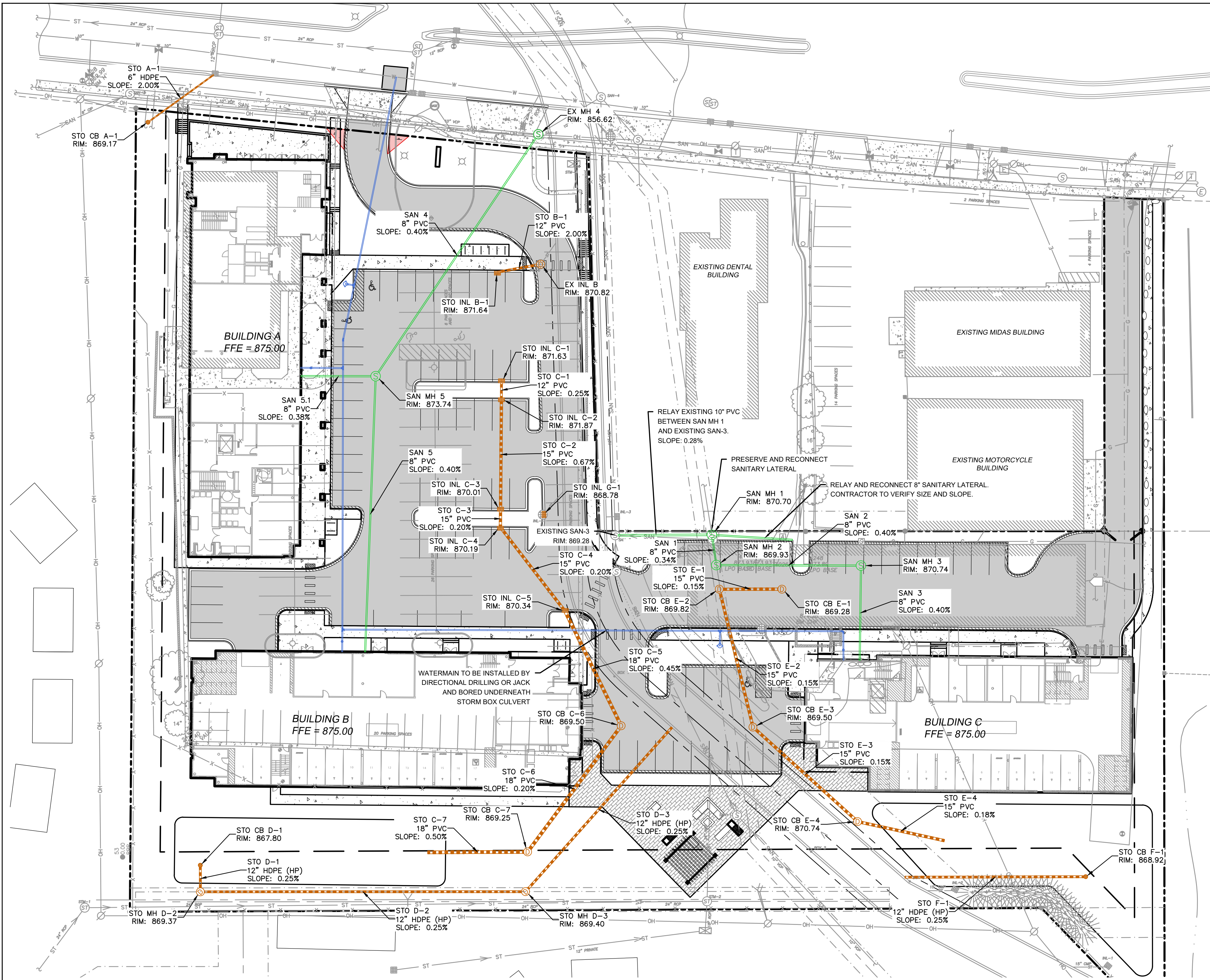
SHEET TITLE:  
**GRADING PLAN**

SHEET NUMBER:  
**C5.0**

JSD PROJECT NO: 07-2812

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**GENERAL NOTES**

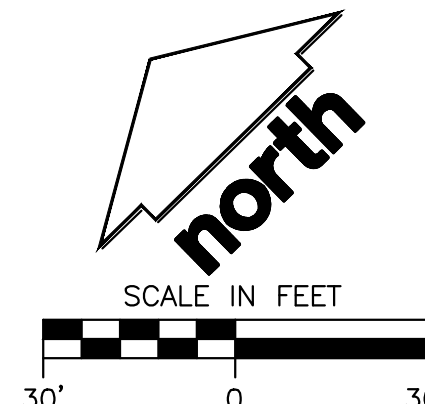
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**LEGEND**

	PROPERTY LINE		STORMWATER MANAGEMENT AREA
	RIGHT-OF-WAY		RETAINING WALL
	EASEMENT LINE		BOULDER WALL
	BUILDING OUTLINE		RAILING
	BUILDING OVERHANG		FENCE
	EDGE OF PAVEMENT		SANITARY SEWER
	STANDARD CURB AND GUTTER		WATERMAIN
	REJECT CURB AND GUTTER		STORM SEWER
	MOUNTABLE CURB AND GUTTER		8'x4'x2' INSULATION (PLAN VIEW)
	8' CONCRETE RIBBON CURB		8'x4'x2' INSULATION (PROFILE VIEW)
	ASPHALT PAVEMENT		
	HEAVY DUTY ASPHALT PAVEMENT		
	CONCRETE PAVEMENT		
	HEAVY DUTY CONCRETE PAVEMENT		

**UTILITY NOTES**

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -
  - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
  - INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEEHAH R-3067 WITH TYPE R GRATE, OR EQUAL.
  - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEEHAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
  - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN SPECIFICATIONS -
  - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(R).
  - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
  - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
  - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
  - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
  - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
  - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEEHAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).



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P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
3		
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Design/Drawn: CEJ, KJS  
Approved: AJS, JLF

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:

**C6.0**

JSD PROJECT NO: 07-2812

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PLAN MODIFICATIONS:

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1	01.15.2020	LAND USE UDC INITIAL
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3		
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Design/Drawn: CEJ, KJS  
 Approved: AJS, JLF

SHEET TITLE:  
**FIRE ACCESS PLAN**

SHEET NUMBER:  
**C7.0**



**City of Madison Fire Department**

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 5237 UNIVERSITY AVENUE  
 Contact Name & Phone #: JUSTIN FRAHM, (715) 298-6330

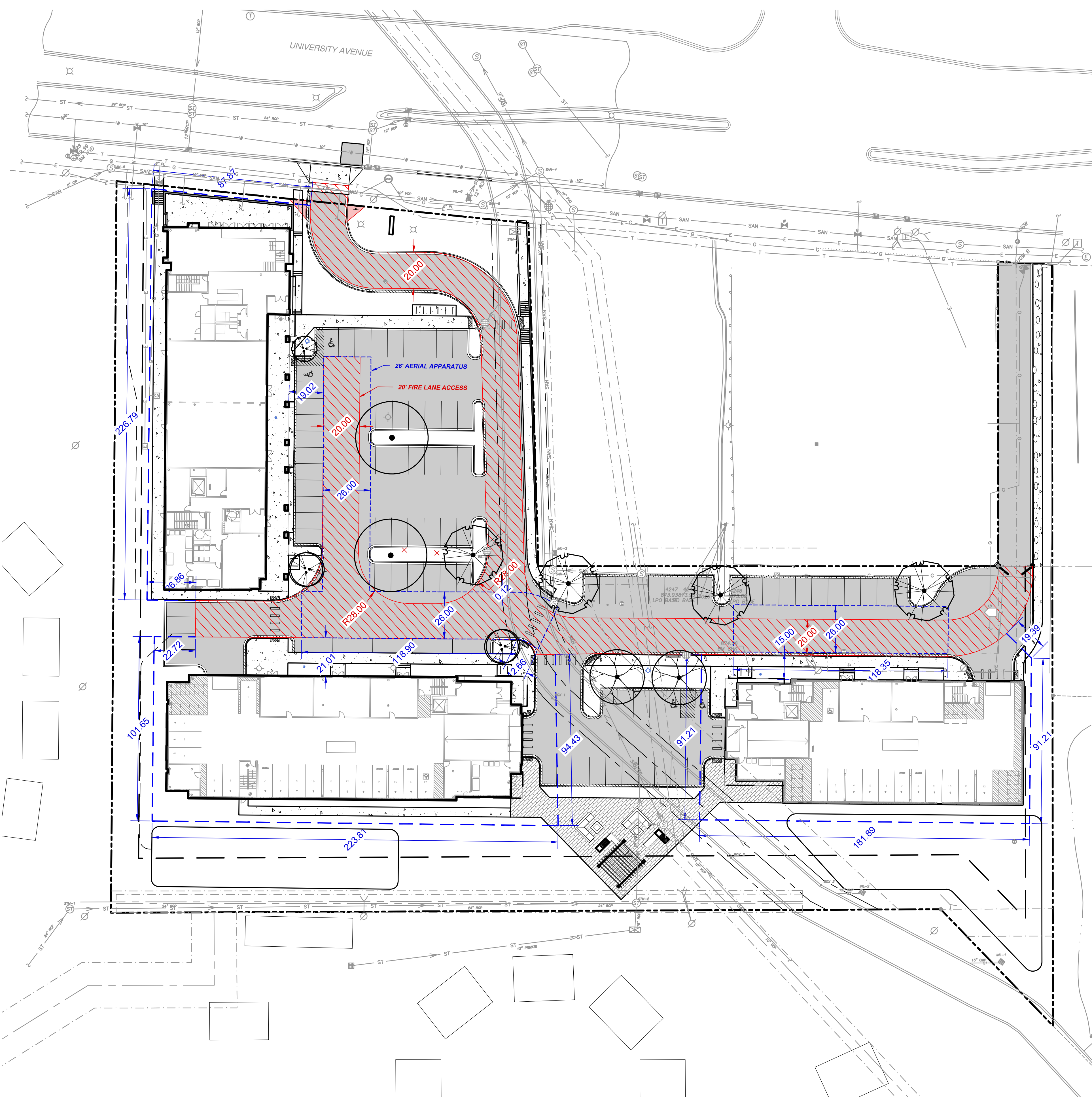
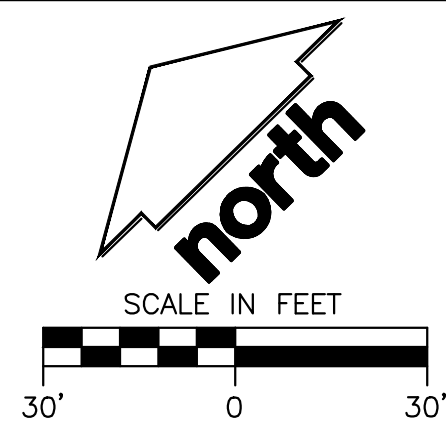
**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

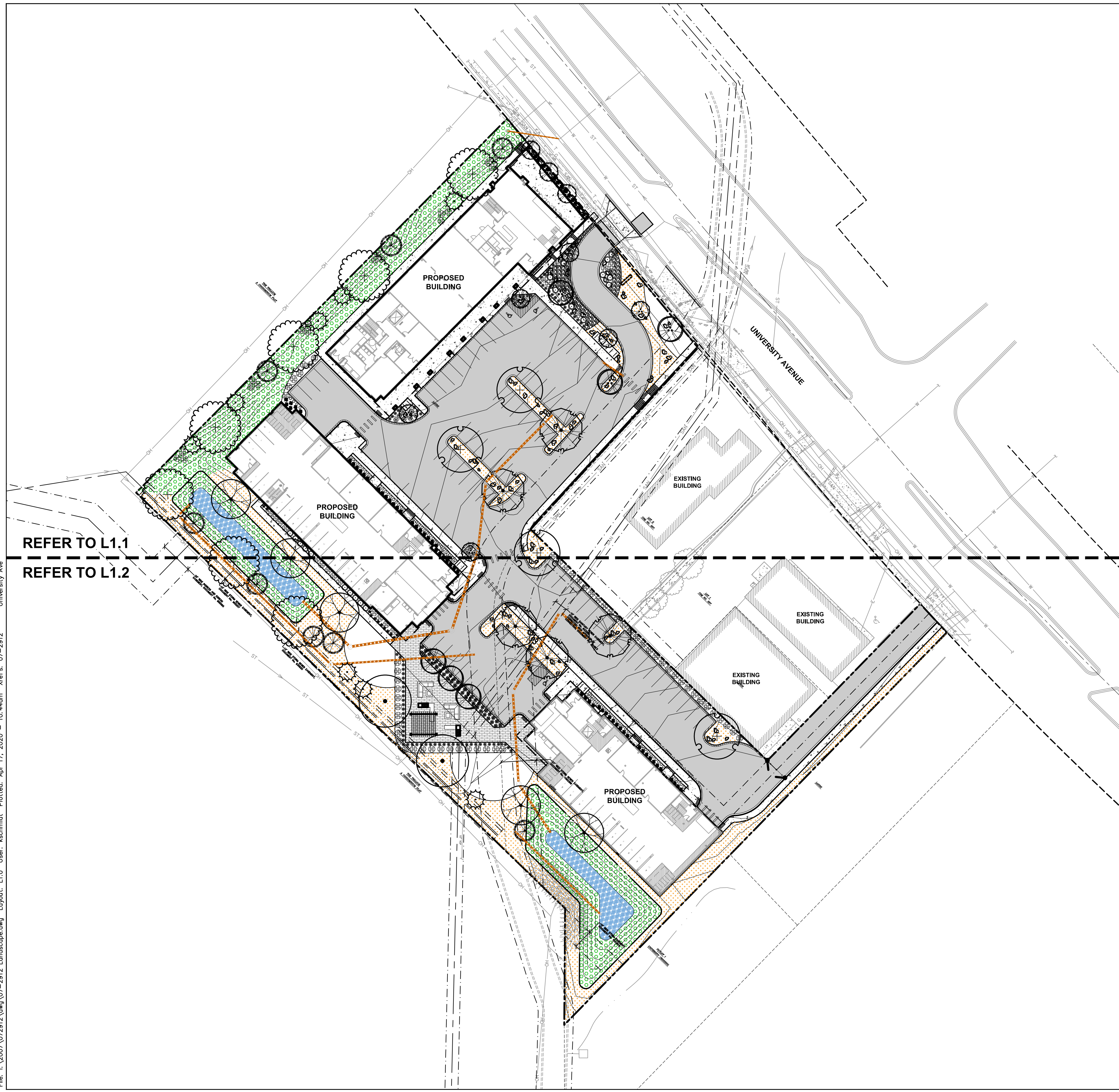
This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 1/21/2016





File: I:\2007\072912.dwg, 07-2912 Landscape.dwg Layout: L1.0 User: kschmidt Plotted: Apr. 17, 2020 - 10:44am Xrefs: 07-2912 University Ave



REFER TO L1.1  
REFER TO L1.2

**LEGEND**

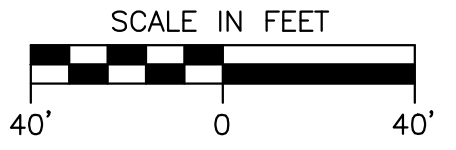
- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
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- ASPHALT PAVEMENT
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- - - 959 EXISTING 1 FOOT CONTOUR
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- X EXISTING FENCE
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- ○ ○ ○ ○ LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BIKE RACK
- LANDSCAPE EDGING
- BIORETENTION PLANTINGS (REFER TO L2.0)
- PRAIRIE SEED MIX 1 (REFER TO L2.0)
- PRAIRIE SEED MIX 2 (REFER TO L2.0)
- GRANITE RIP RAP

**GENERAL NOTES**

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE

**PLANT SCHEDULE**

ORNA	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
ORNA	AG	Amenlicheria grandiflora / Autumn Brilliance / Autumn Brilliance Spirea	B & B	1.5" Cal (Multi-Stem)	15	6
ORNA	CE	Cercis canadensis / Eastern Redbud	B & B	1.5" Cal (Multi-Stem)	15	8
ORNA	AS	Acer saccharum / Sugar Maple	B & B	2.5" Cal	35	2
ORNA	GT	Gleditsia triacanthos f. inermis / Thornless Honeylocust	B & B	2.5" Cal	35	5
ORNA	QR	Quercus laevis / Swamp White Oak	B & B	2.5" Cal	35	7
ORNA	QE	Quercus ellipsoidalis / Northern Pin Oak	B & B	2.5" Cal	35	5
ORNA	TOM	Taxodium distichum 'Micketon' / Shawnee Brave Bald Cypress	B & B	2.5" Cal	35	4
ORNA	LN	Linus 'New Horizon' / New Horizon Elm	B & B	2.5" Cal	35	4
ORNA	PO	Picea glauca 'Denata' / Black Hills Spruce	B & B	6" Tall	35	4
ORNA	CSP	Cornus sericea 'Farrow' / Arctic-Fire Red Twig Dogwood	3 gal	36" Min. Ht.	3	96
ORNA	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal	24" Tall/Wide	4	20
ORNA	JF	Juniperus sabinna 'Mini Arcade' / Mini Arcade Juniper	3 gal	18" Tall/Wide	4	14
ORNA	CHZ	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	16-12" Ht.	2	16
ORNA	DCR	Dryopteris x complexa 'Robust' / Robust Male Fern	1 gal	Cont.	2	73
ORNA	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal	Cont.	2	89
ORNA	PVS	Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass	1 gal	Cont.	2	44
ORNA	PAL	Perovskia altiplicifolia 'Little Spire' / Little Spire Russian Sage	1 gal	Cont.	2	81
ORNA	BR	Solidago rugosa 'Fireworks' / Winklesat Goldenrod	1 gal	Cont.	2	12



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P. 608.848.5060

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CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
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Design/Drawn: **KJS**  
Approved: **MAS**

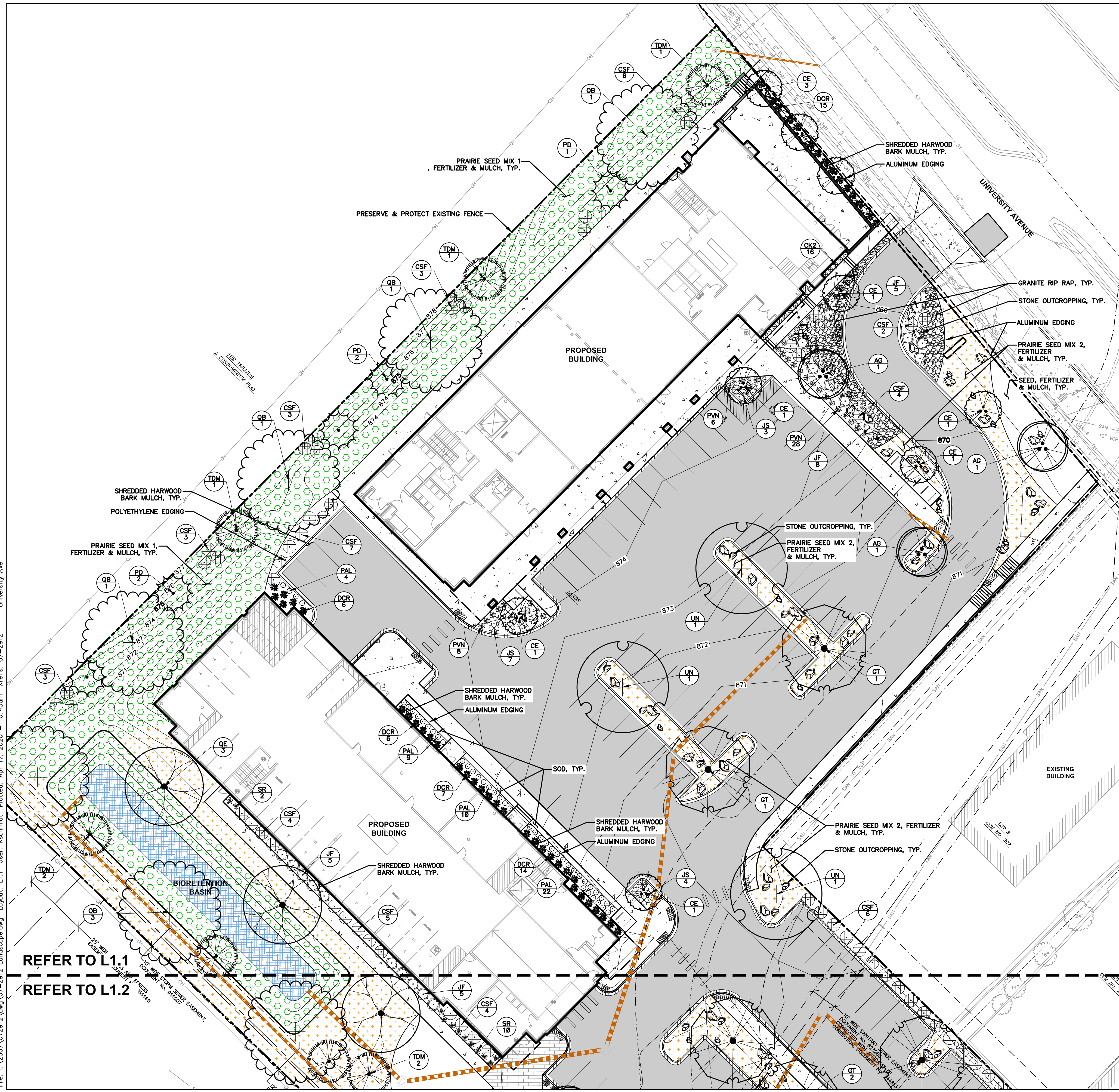
SHEET TITLE:  
**OVERALL  
LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.0**

JSD PROJECT NO: 07-2912

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File: I:\2007\072912.dwg, 07-2912 Landscape.dwg Layout: L1.1 User: kschmidt Plotted: Apr 17, 2020 - 10:45am Xrefs: 07-2912 University Ave



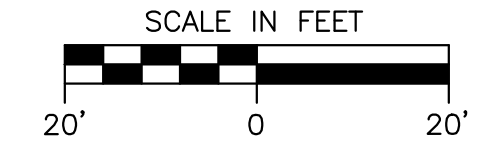
**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▬ BUILDING OUTLINE
- ▬ EDGE OF PAVEMENT
- ▬ STANDARD CURB AND GUTTER
- ▬ REJECT CURB AND GUTTER
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- ▬ ASPHALT PAVEMENT
- ▬ CONCRETE PAVEMENT
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- ▬ BIKE RACK
- ▬ LANDSCAPE EDGING
- ▬ BIORETENTION PLANTINGS (REFER TO L2.0)
- ▬ PRAIRIE SEED MIX 1 (REFER TO L2.0)
- ▬ PRAIRIE SEED MIX 2 (REFER TO L2.0)
- ▬ GRANITE RIP RAP

**PLANT SCHEDULE**

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry
	CE	Cercis canadensis / Eastern Redbud
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	AS	Acer saccharum / Sugar Maple
	GT	Gleditsia triacanthos f. inermis / Thornless Honeylocust
	QB	Quercus bicolor / Swamp White Oak
	QE	Quercus ellipsoidalis / Northern Pin Oak
	TDM	Taxodium distichum 'Mickelson' / Shawnee Brave Bald Cypress
	UN	Ulmus x 'New Horizon' / New Horizon Elm
TALL EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PD	Picea glauca 'Densata' / Black Hills Spruce
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	CSF	Cornus sericea 'Farrow' / Arctic Fire Red Twig Dogwood
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper
	JS	Juniperus sabina 'Mini Arcado' / Mini Arcado Juniper
ORNAMENTAL GRASSES/PERENNIALS	CODE	BOTANICAL / COMMON NAME
	CK2	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
	DCR	Dryopteris x complexa 'Robust' / Robust Male Fern
	PVS	Panicum virgatum 'North Wind' / Northwind Switch Grass
	PVS	Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass
	PAL	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage
	SR	Solidago rugosa 'Fireworks' / Wrinkleleaf Goldenrod

REFER TO L1.1  
REFER TO L1.2



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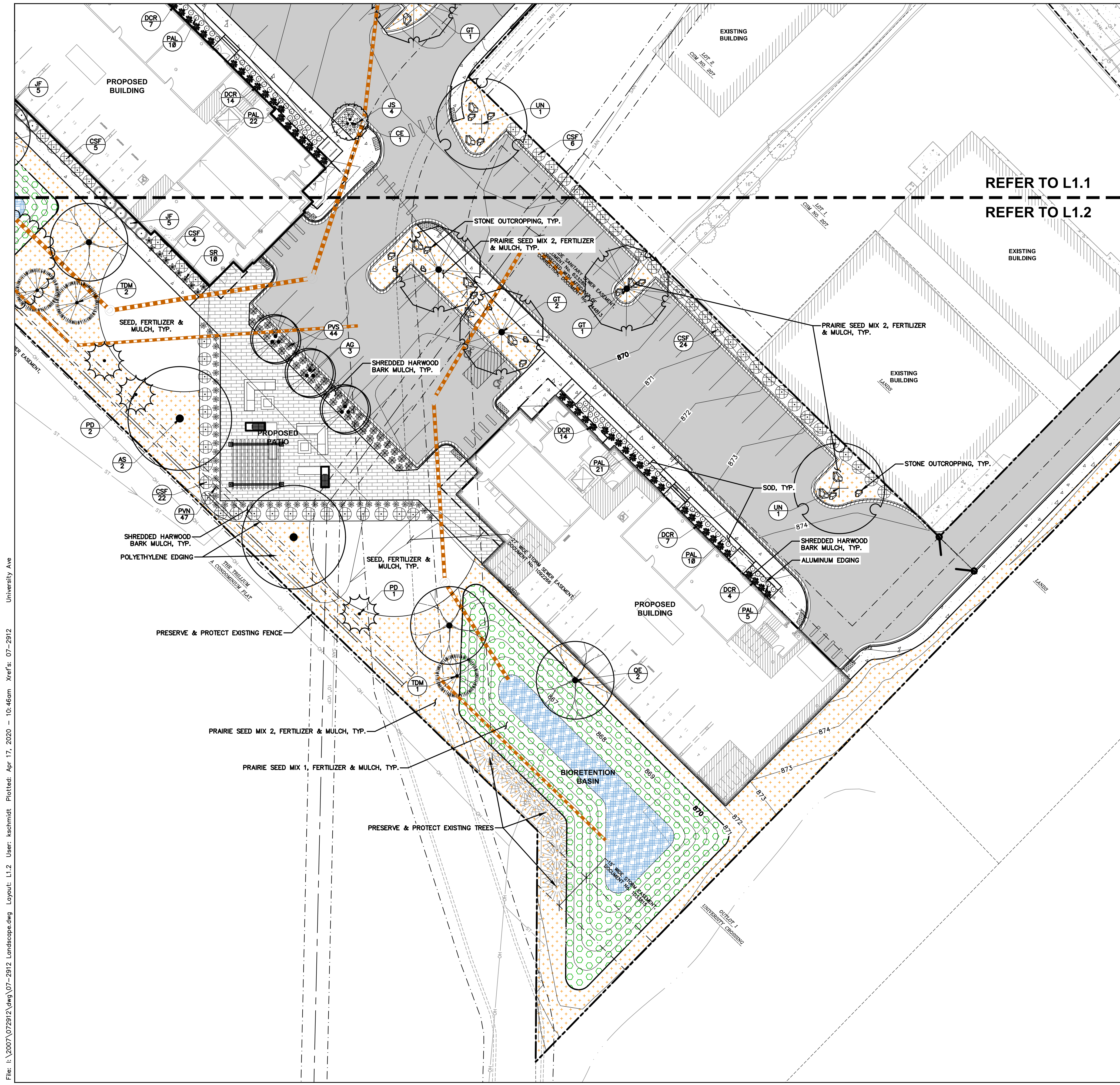
Design/Drawn: **KJS**  
Approved: **MAS**

SHEET TITLE:  
**DETAILED  
LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.1**

JSD PROJECT NO: 07-2912

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**LEGEND**

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- BIORETENTION PLANTINGS (REFER TO L2.0)
- PRAIRIE SEED MIX 1 (REFER TO L2.0)
- PRAIRIE SEED MIX 2 (REFER TO L2.0)
- GRANITE RIP RAP

REFER TO L1.1  
REFER TO L1.2

**PLANT SCHEDULE**

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry
	CE	Cercis canadensis / Eastern Redbud
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	AS	Acer saccharum / Sugar Maple
	GT	Gleditsia triacanthos f. inermis / Thornless Honeylocust
	QB	Quercus bicolor / Swamp White Oak
	QE	Quercus ellipsoidalis / Northern Pin Oak
	TDM	Taxodium distichum 'Mickelson' / Shawnee Brave Bald Cypress
	UN	Ulmus x 'New Horizon' / New Horizon Elm
TALL EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PD	Picea glauca 'Densata' / Black Hills Spruce
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	CSF	Cornus sericea 'Farrow' / Arctic Fire Red Twig Dogwood
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper
	JS	Juniperus sabina 'Mini Arcade' / Mini Arcade Juniper
ORNAMENTAL GRASSES/PERENNIALS	CODE	BOTANICAL / COMMON NAME
	CK2	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
	DCR	Dryopteris x complexa 'Robust' / Robust Male Fern
	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass
	PVS	Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass
	PAL	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage
	SR	Solidago rugosa 'Fireworks' / Wrinkleleaf Goldenrod



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**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:  
**DEGEN & ASSOCIATES, LLC**

CLIENT ADDRESS:  
**PO BOX 5567  
MADISON, WI 53705-0567**

PROJECT:  
**5133 & 5237  
UNIVERSITY AVE**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
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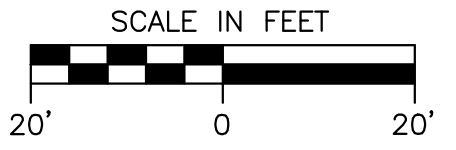
Design/Drawn: **KJS**  
Approved: **MAS**

SHEET TITLE:  
**DETAILED  
LANDSCAPE PLAN**

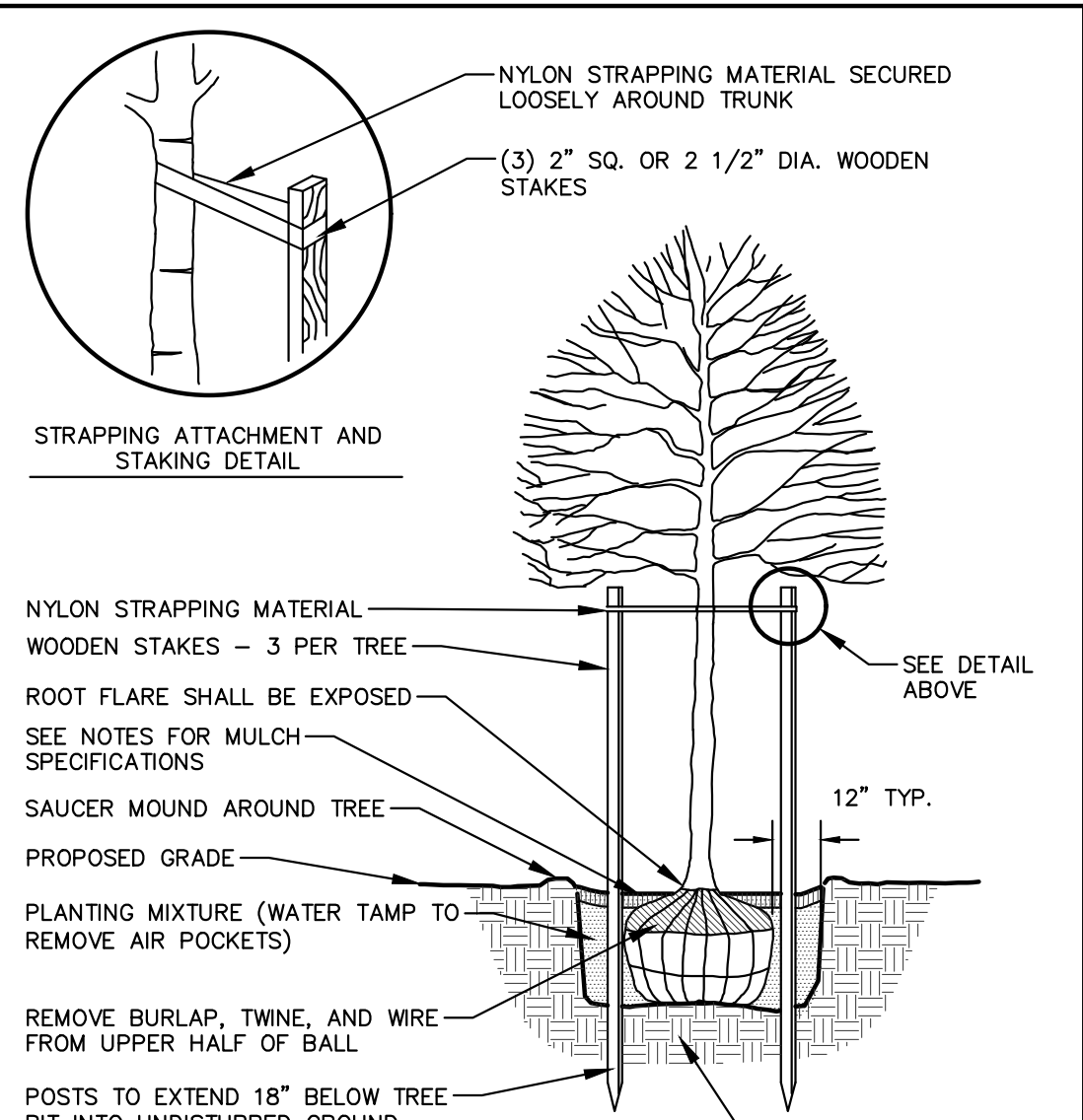
SHEET NUMBER:  
**L1.2**

JSD PROJECT NO: 07-2912

File: I:\2007\072912.dwg\07-2912 Landscape.dwg Layout: L1.2 User: kschmidt Plotted: Apr. 17, 2020 - 10:46am Xref's: 07-2912 University Ave



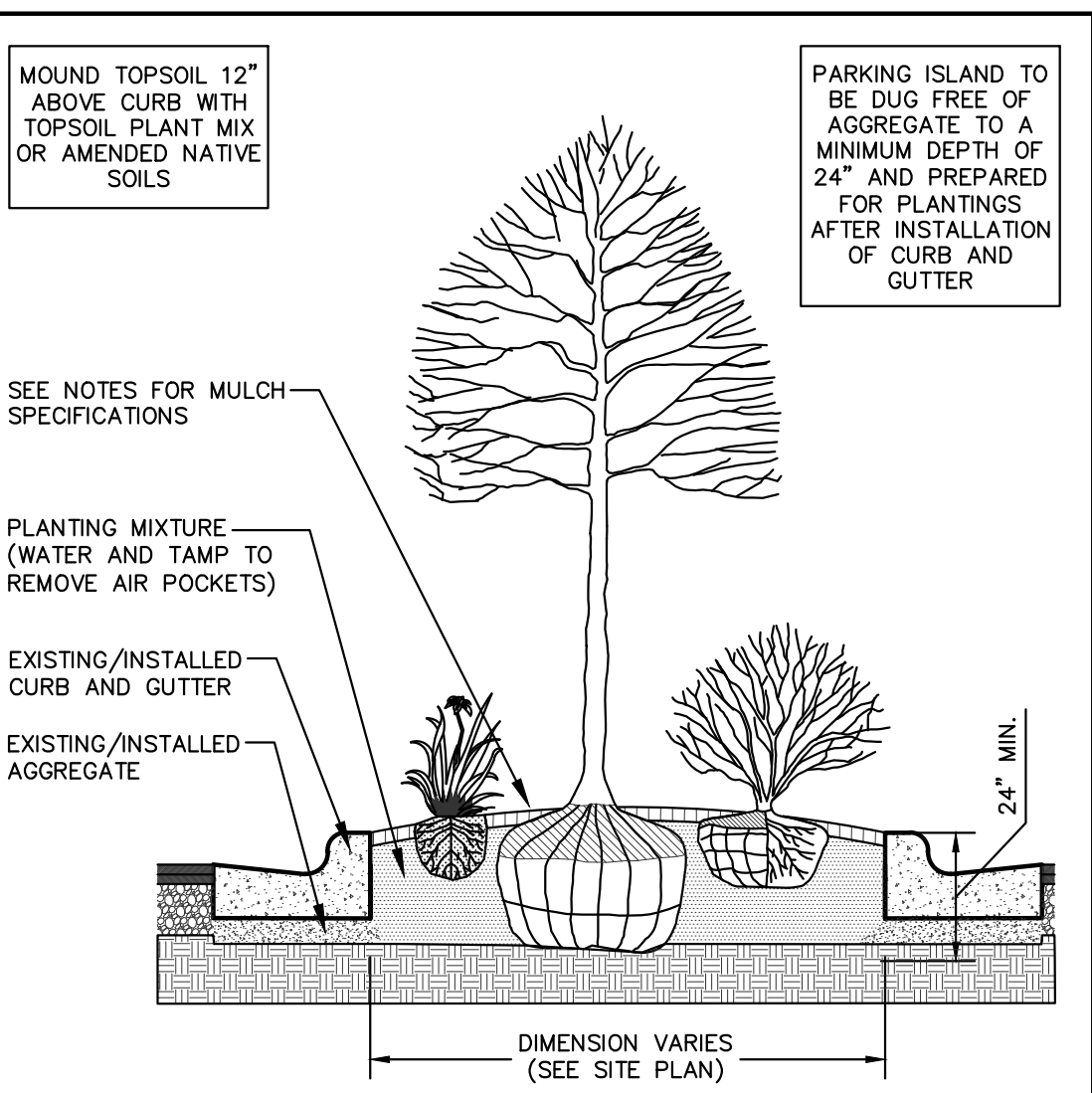
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



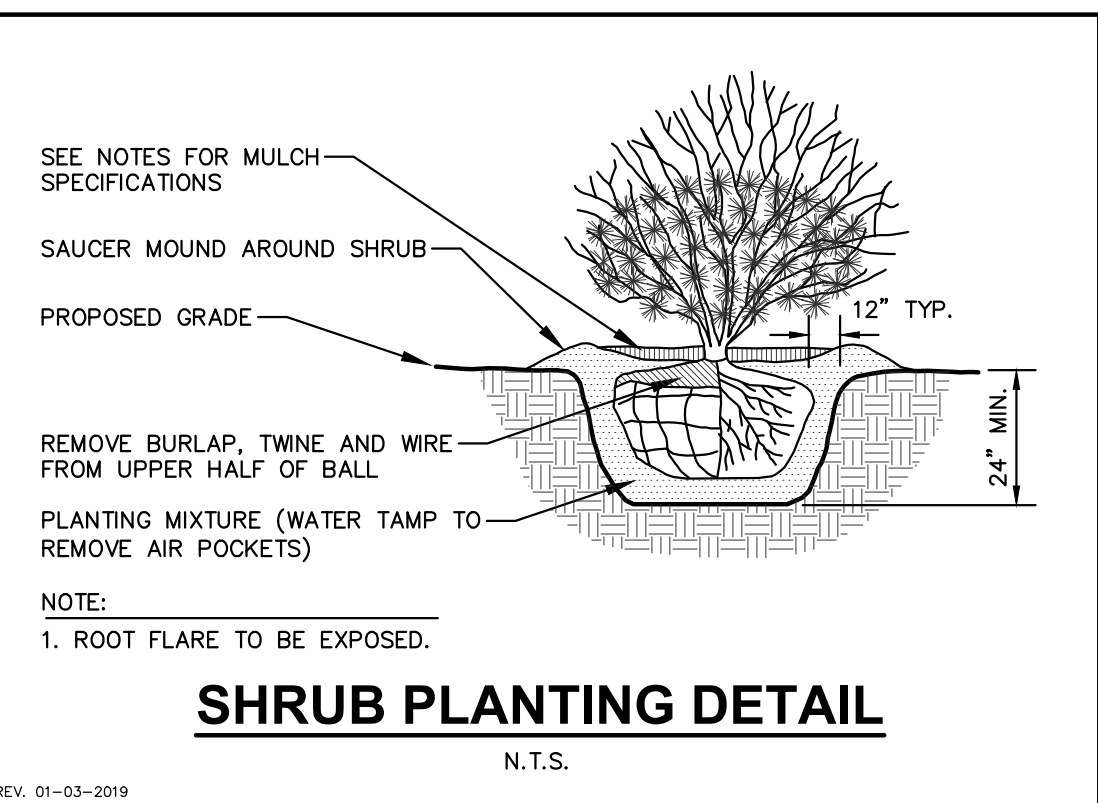
**DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.

**NOTE:**

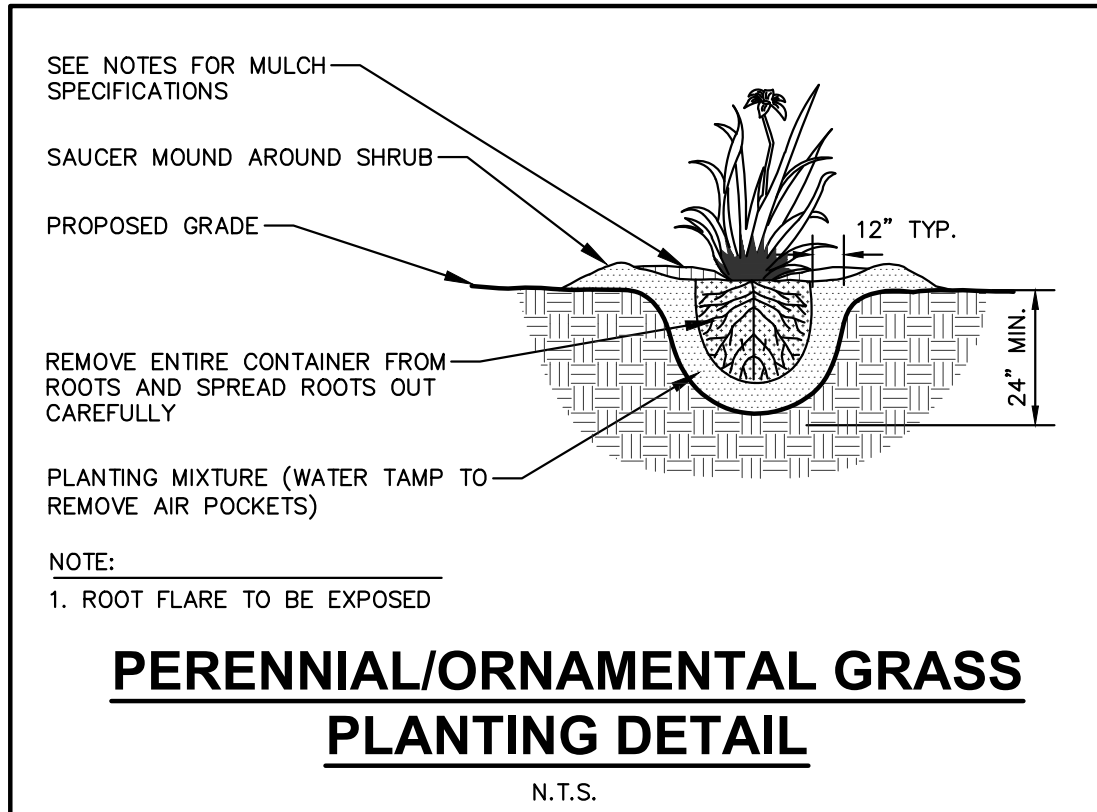
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED
2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION



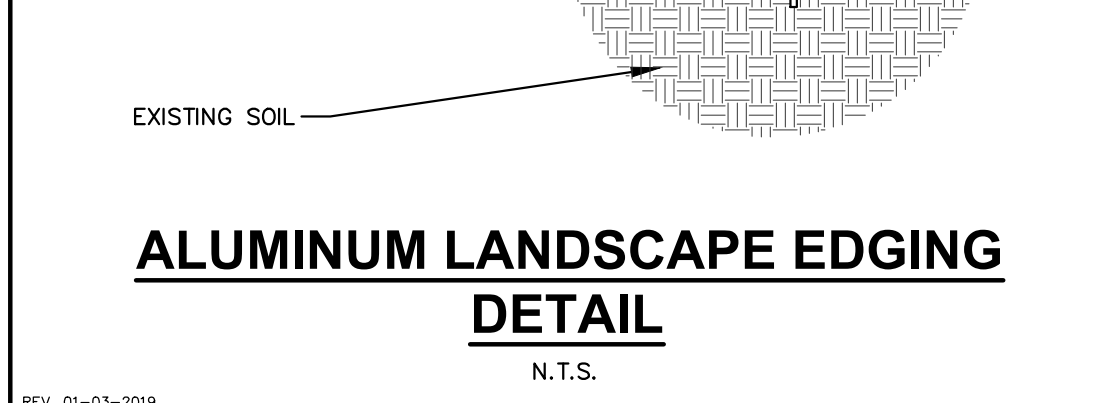
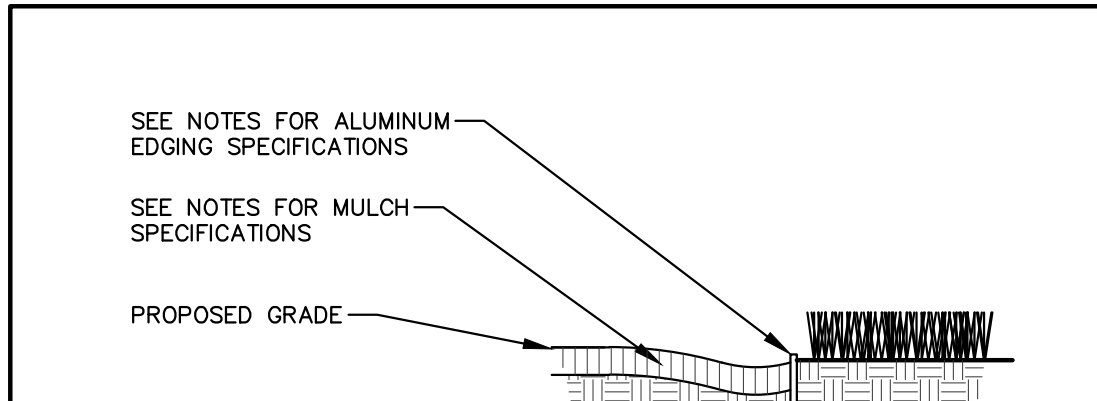
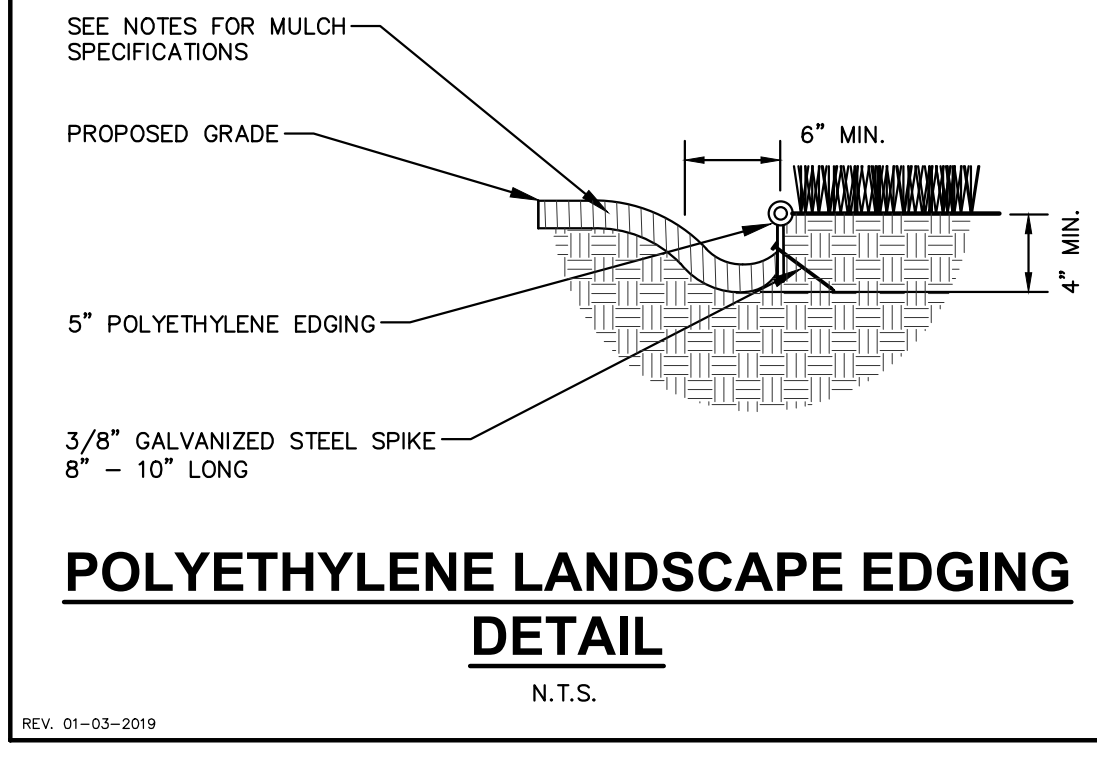
**PARKING ISLAND LANDSCAPE DETAIL**  
N.T.S.



**SHRUB PLANTING DETAIL**  
N.T.S.



**PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**  
N.T.S.



**ALUMINUM LANDSCAPE EDGING DETAIL**  
N.T.S.

**CONTRACTOR & OWNER RESPONSIBILITY NOTES**

1. **GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. **CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
3. **MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MAINTAINED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.**
4. **MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.**

**GENERAL NOTES**

1. **GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. **DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MATERIAL. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
3. **MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY, PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
4. **PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND NEAR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTS PRIOR TO INSTALLATION TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4\"
5. **CLEANUP:** THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

1. **MATERIALS - PLANTING MIXTURE:** ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
2. **MATERIALS - TOPSOIL:** TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4\"
3. **MATERIALS - SHREDDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
4. **MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDEN LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5\"
5. **MATERIALS - ALUMINUM EDGING:** EDGING SHALL BE 1/8\"
6. **MATERIALS - POLYETHYLENE EDGING:** EDGING SHALL BE 5\"
7. **MATERIALS - TREE PROTECTION:** ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
8. **MATERIALS - TREE WATERING BAGS:** ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE \"TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG,\" PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

**SEEDING, SODDING, & POND VEGETATION NOTES**

1. **MATERIALS - TURFGRASS SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6\"
2. **MATERIALS - TURF HIGHLAND ROUGH MIX SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6\"
3. **MATERIALS - SOD:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6\"
4. **MATERIALS - PRAIRIE SEED MIX 1:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH \"DIVERSE PRAIRIE FOR MEDIUM SOILS\" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
5. **MATERIALS - PRAIRIE SEED MIX 2:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH \"SHORT PRAIRIE FOR DRY SOILS\" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
6. **MATERIALS - BIORETENTION BASIN PLUG PLANTINGS:** PLUG PLANTINGS TO BE INSTALLED 1'-0\"

**OR**

7. **MATERIALS - BIORETENTION BASIN NATIVE VEGETATIVE MAT (NVM):** AREAS SPECIFIED ON PLANS SHALL RECEIVE AGRECOL \"RAINWATER RENEWAL\" NATIVE VEGETATIVE MAT - DEGRADABLE CORE. CONTRACTOR SHALL CONTACT AGRECOL NATIVE NURSERY 16 WEEKS IN ADVANCE OF INSTALLATION FOR PROPER GROWING LEAD TIME. CONTRACTOR SHALL ASSUME AVAILABLE DELIVERY DATE TO BE BETWEEN MID-JUNE THROUGH THE END OF OCTOBER DUE TO THE NVM GROWING SEASON. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION PROCEDURES.

**CITY OF MADISON LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location / Address: 5237 UNIVERSITY AVE. MADISON, WI 53705  
Name of Project: DEGEN & ASSOCIATES, LLC  
Owner / Contact: JUSTIN FRAHM  
Contact Phone: (715) 298-6330 Contact Email: justin.frahm@jrdinc.com

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

**Applicability:**  
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**  
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area	71,600
Total landscape points required	1,194

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area	217,800 square feet
First five (5) developed acres =	3,630 points
Remainder of developed area	
Total landscape points required	

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area	
Total landscape points required	

**10/2013**

**Tabulation of Points and Credits**  
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Oversitory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			31	1085
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			8	280
Ornamental tree	1 1/2 inch caliper	15			15	225
Upright evergreen shrub (i.e. arbutus)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12\"-24"	3			96	288
Shrub, evergreen	#3 gallon container size, Min. 12\"-24"	4			37	148
Ornamental grasses/ perennials	#1 gallon container size, Min. 8\"-18"	2			315	630
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per \"seat"				
<b>Sub Totals</b>						2656
			<b>Total Number of Points Provided</b>		2656	

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

**JSD Professional Services, Inc.**  
Engineers • Surveyors • Planners

**MADISON | MILWAUKEE KENOSHA | APPLETON | WAUSAU**

**MADISON REGIONAL OFFICE**  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

**CLIENT: DEGEN & ASSOCIATES, LLC**

**CLIENT ADDRESS: PO BOX 5567 MADISON, WI 53705-0567**

**PROJECT: 5133 & 5237 UNIVERSITY AVE**

**PROJECT LOCATION: MADISON, WI DANE COUNTY**

**PLAN MODIFICATIONS:**

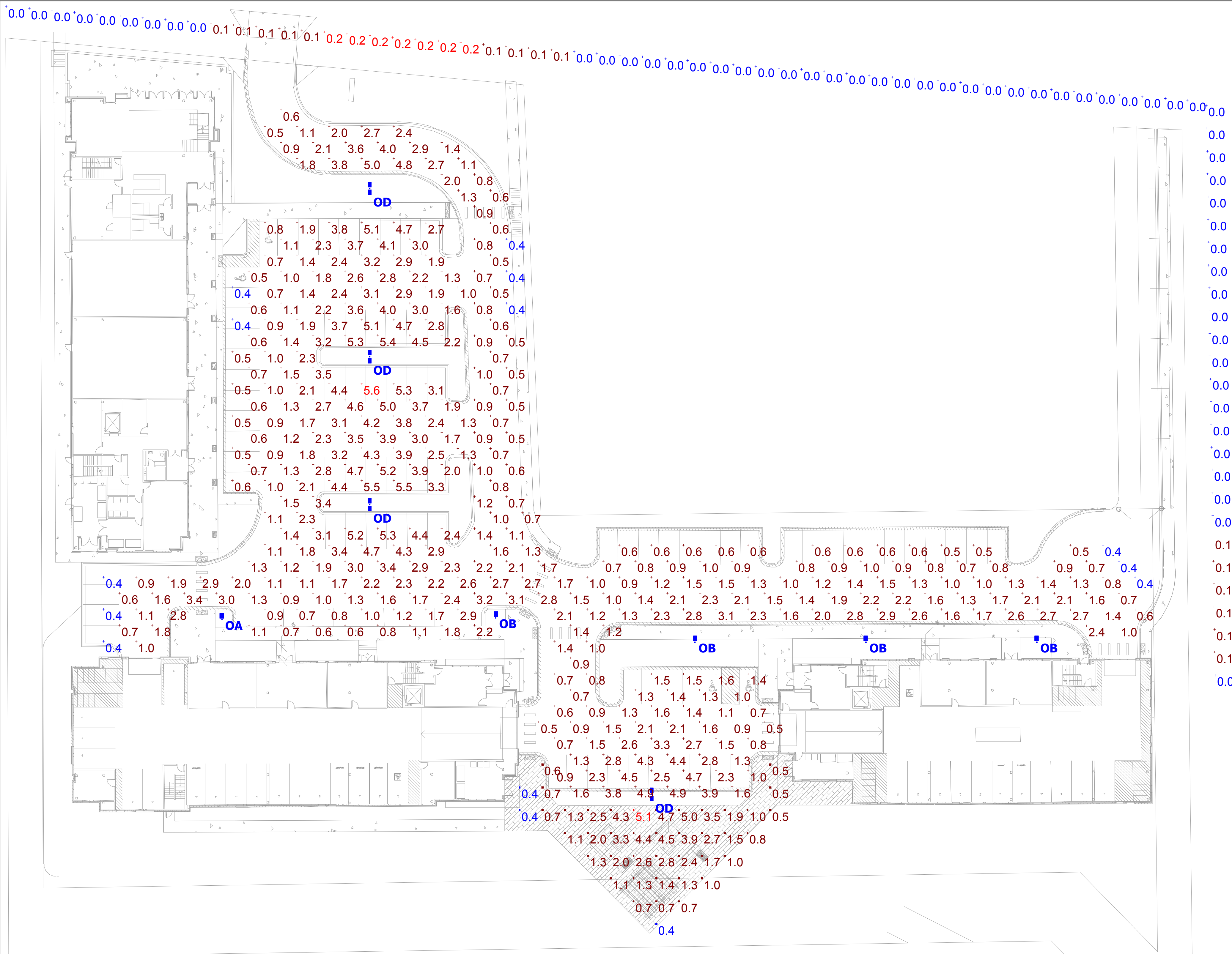
#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
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**Design/Drawn: KJS**  
**Approved: MAS**

**SHEET TITLE: LANDSCAPE NOTES, DETAILS & SPECIFICATIONS**

**SHEET NUMBER: L2.0**

JSD PROJECT NO: 07-2912



Schedule				
Symbol	Label	Quantity	Manufacturer	Catalog Number
□	OA	1	RAB LIGHTING	IVELOT
□	OB	4	RAB LIGHTING	IVELOT
□	OD	4	RAB LIGHTING	IVELOT

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	+	1.9 fc	5.6 fc	0.4 fc	14.0:1	4.8:1
PATIO	■	1.9 fc	5.1 fc	0.4 fc	12.8:1	4.8:1
PROPERTY LINE	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

Plan View  
Scale - 1" = 25ft



MADISON REDEVELOPMENT  
DEGEN UNIVERSITY

Designer  
Date  
1/9/2020  
Scale  
Not to Scale  
Drawing No.  
Summary

# DEGEN UNIVERSITY AVENUE MIXED-USE

MADISON, WISCONSIN



#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

## LAND USE UDC INITIAL

APRIL 17, 2020



# JLA

ARCHITECTS

JLA PROJECT NUMBER: 18-1112



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



**DEGEN UNIVERSITY  
AVENUE MIXED-USE**

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 17, 2020

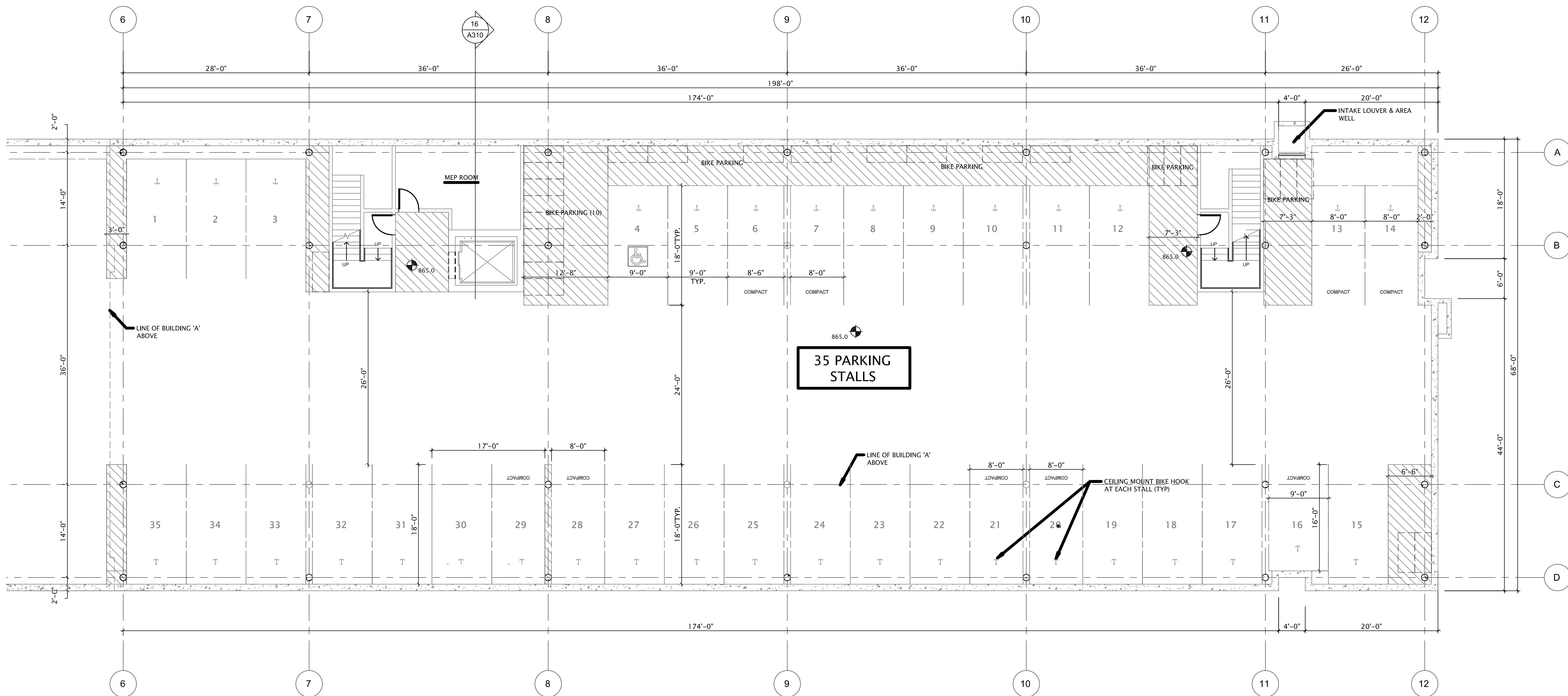
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

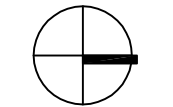
**LOWER LEVEL PLAN -  
BUILDING 'A'**

SHEET NUMBER

**A100-A**



**1** LOWER LEVEL PLAN - BUILDING 'A'  
1/8" = 1'-0"



4/17/2020 3:52:09 PM



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 17, 2020

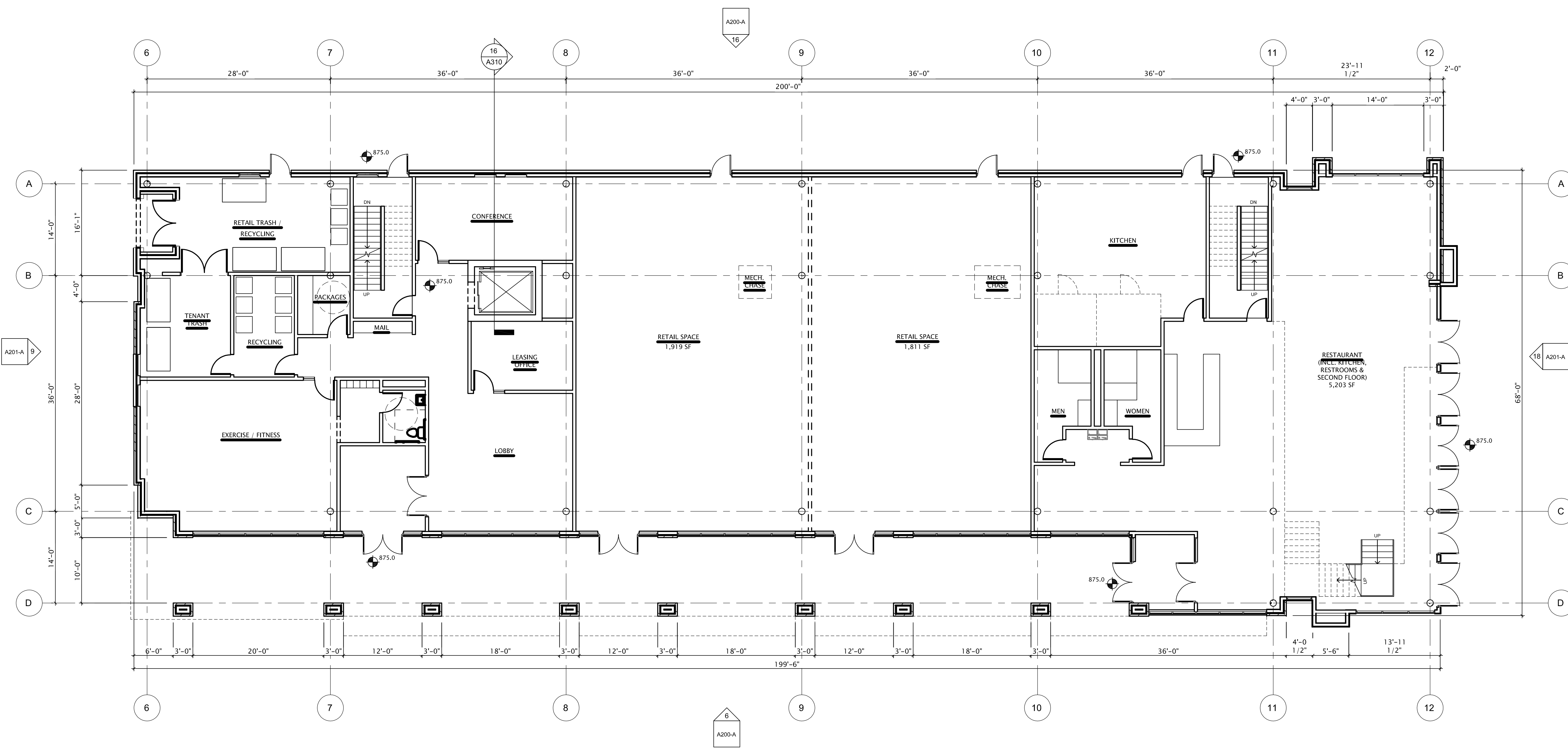
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Mark	Description	Date

SHEET TITLE

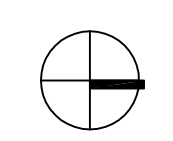
FIRST FLOOR PLAN -  
BUILDING 'A'

SHEET NUMBER

A101-A



1 FIRST FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"



4/17/2020 3:40:03 PM





**JLA**  
ARCHITECTS

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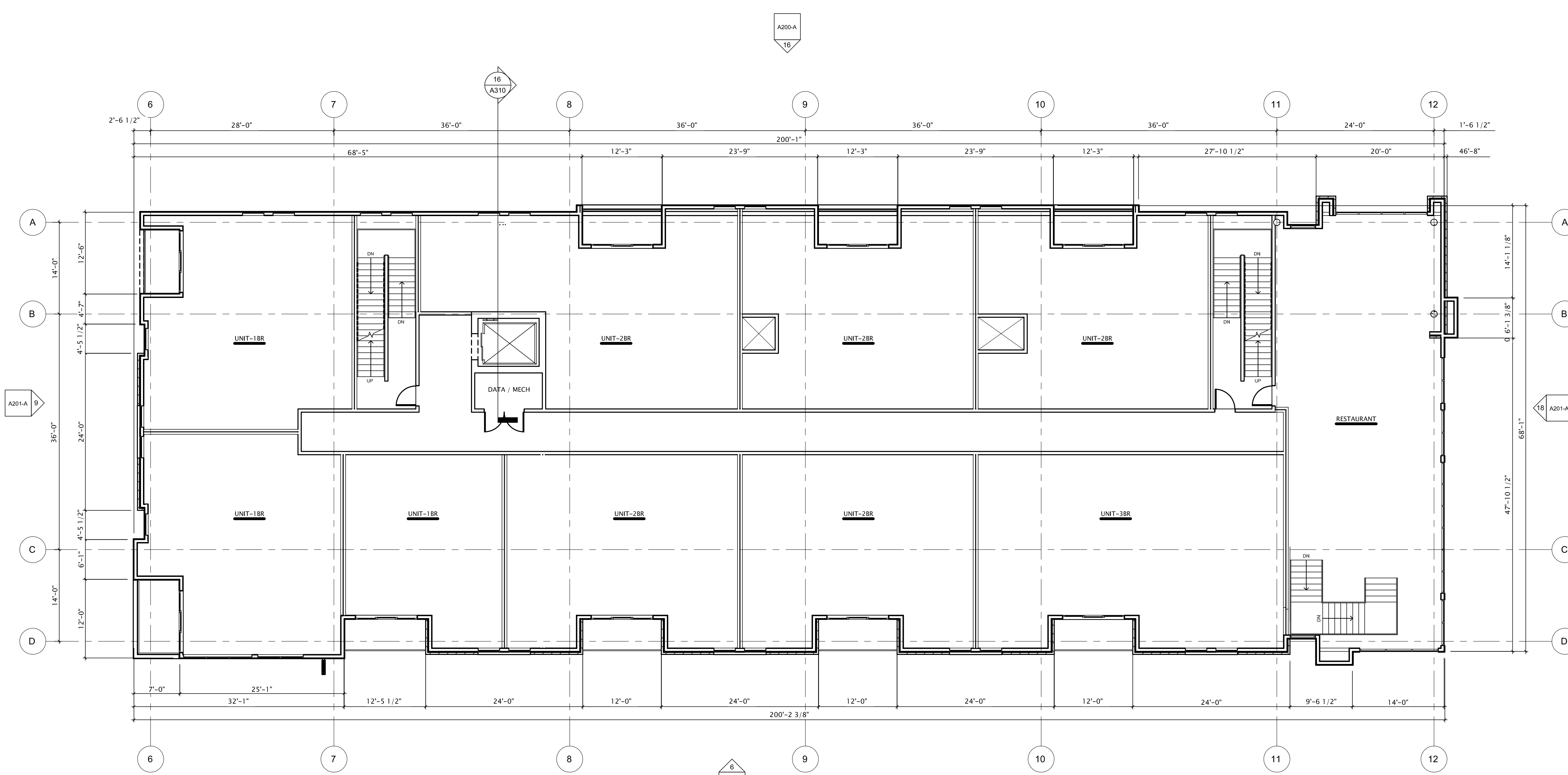
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

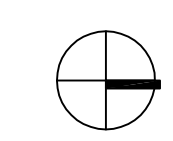
SECOND FLOOR PLAN  
- BUILDING 'A'

SHEET NUMBER

A102-A



1 SECOND FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"



4/15/2020 3:44:45 PM



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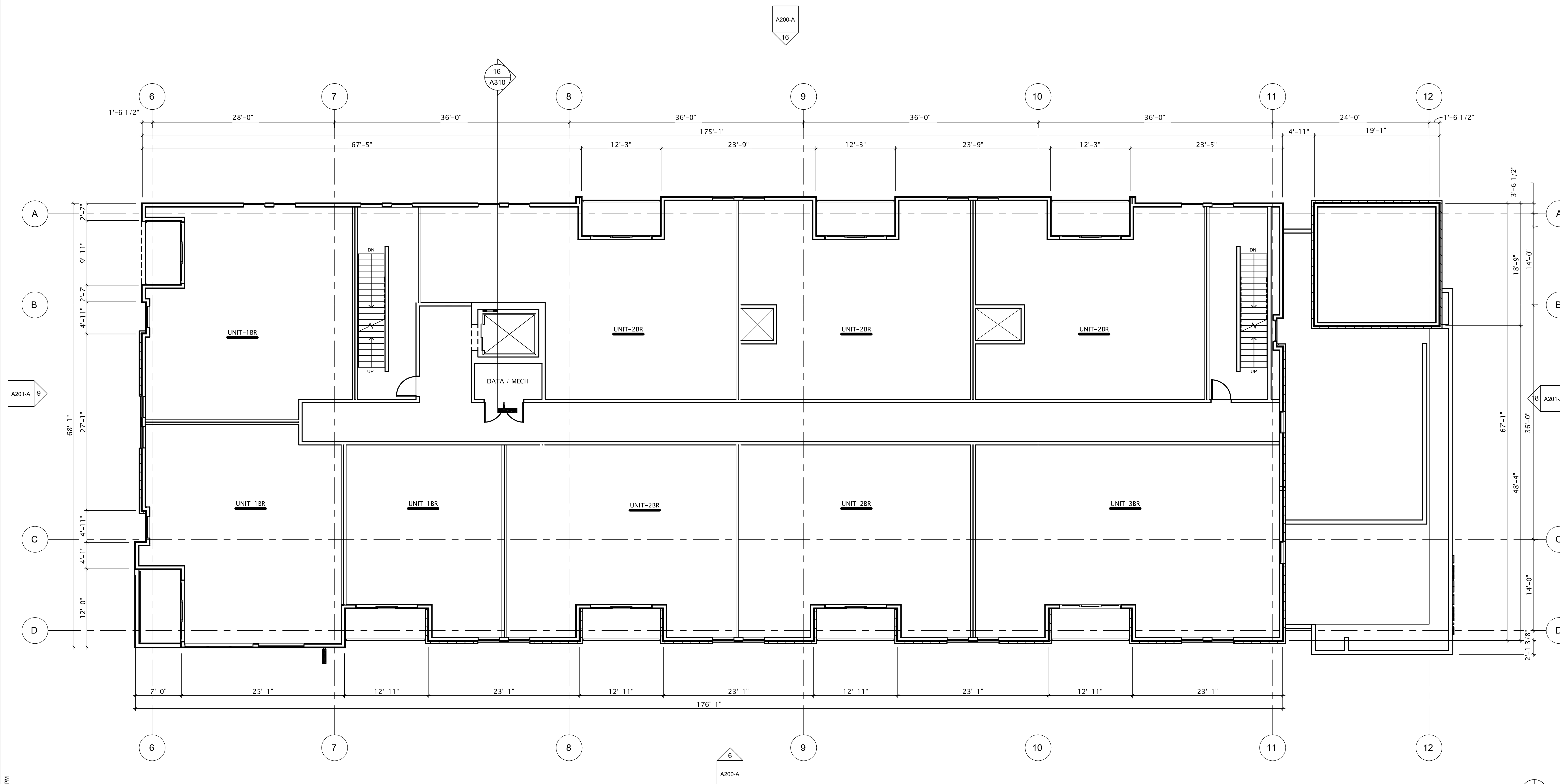
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN -  
BUILDING 'A'

SHEET NUMBER

A103-A



1 THIRD FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"

4/15/2020 3:48:51 PM



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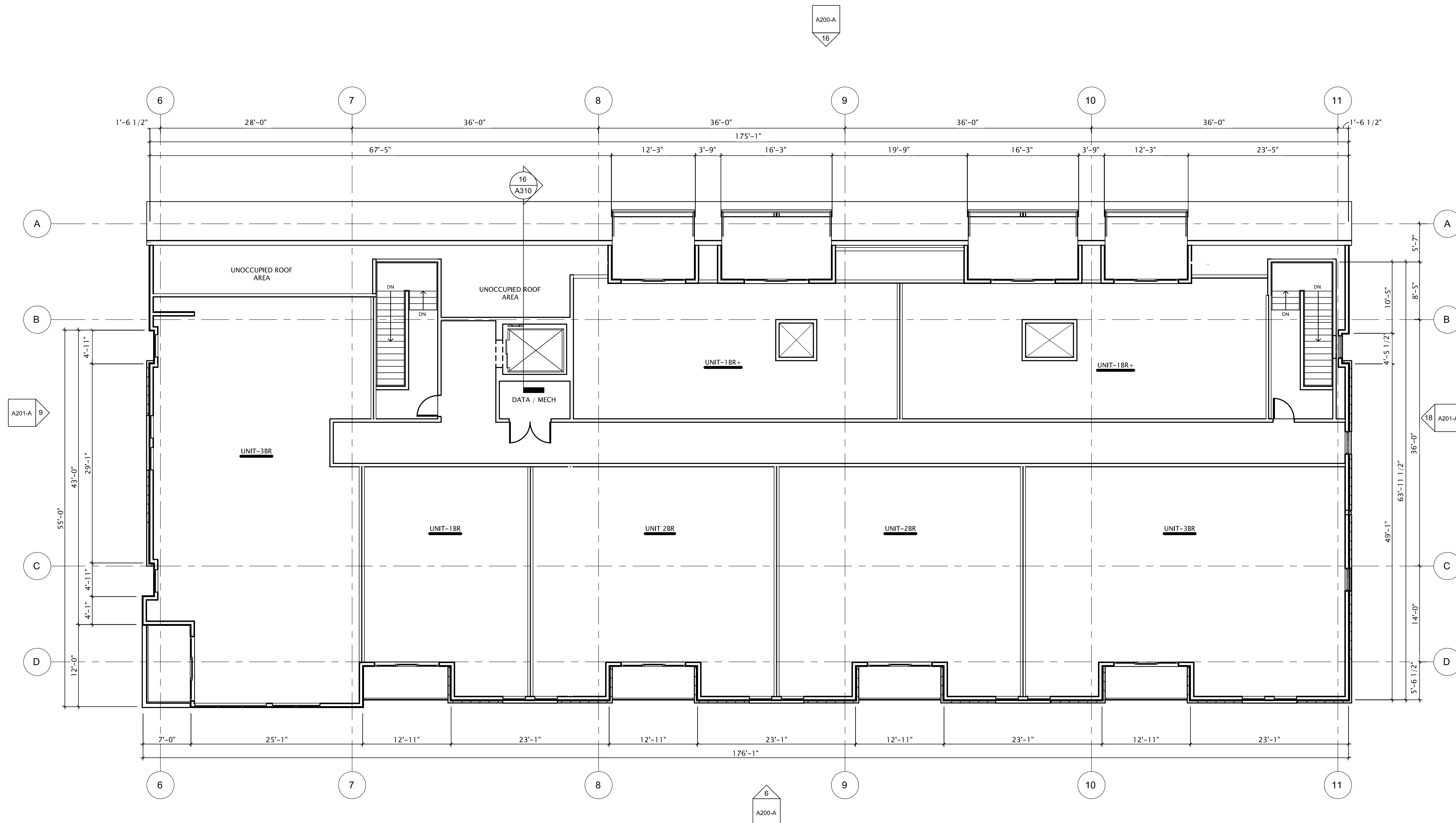
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

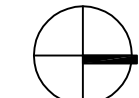
FOURTH FLOOR PLAN -  
BUILDING 'A'

SHEET NUMBER

A104-A



1 FOURTH FLOOR PLAN - BUILDING 'A'  
1/8" = 1'-0"



4/17/2020 3:52:09 PM



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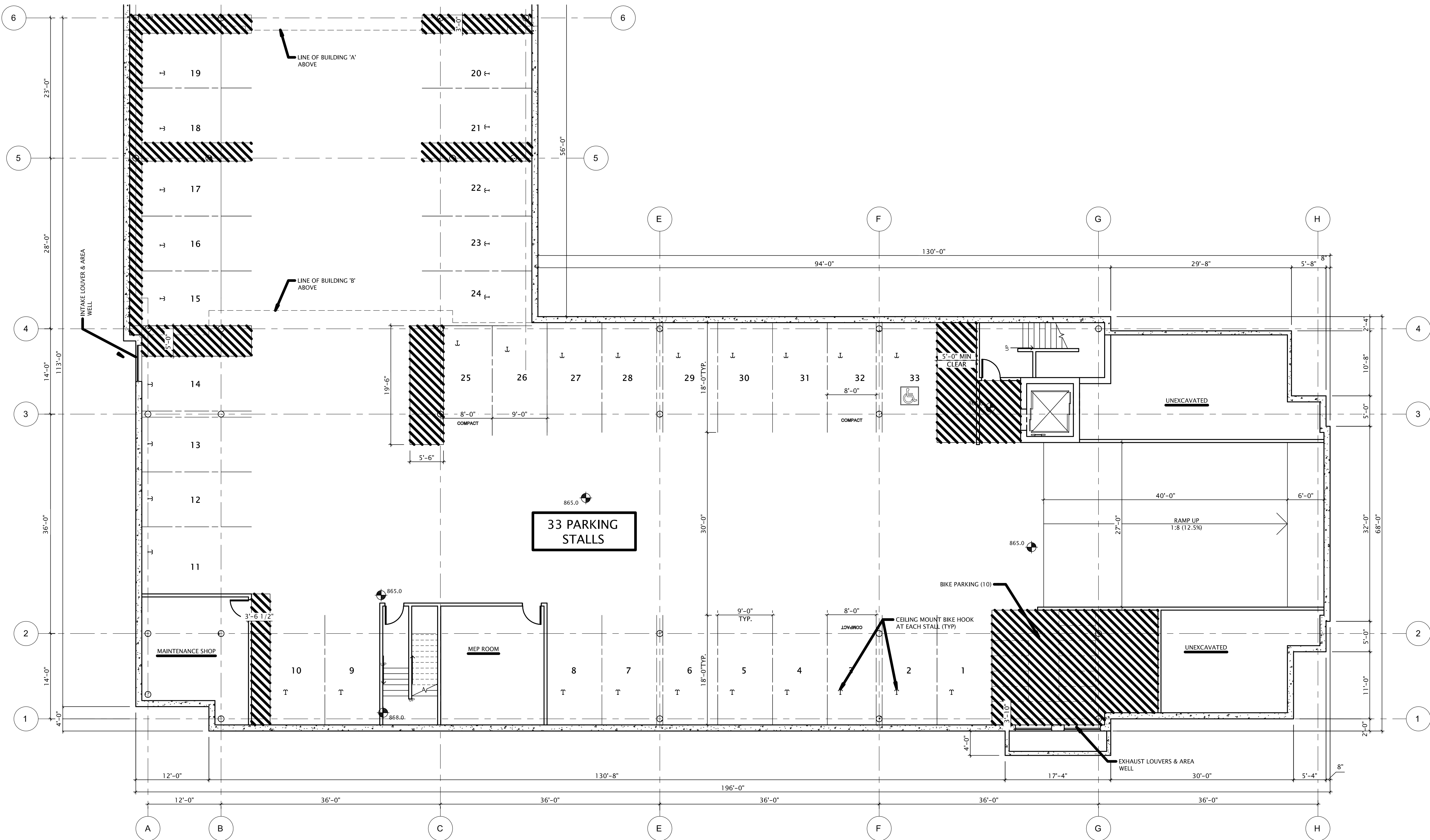
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

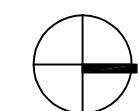
LOWER LEVEL PLAN -  
BUILDING 'B'

SHEET NUMBER

A100-B



1 LOWER LEVEL PLAN - BUILDING 'B'  
1/8" = 1'-0"





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**PROGRESS DOCUMENTS**

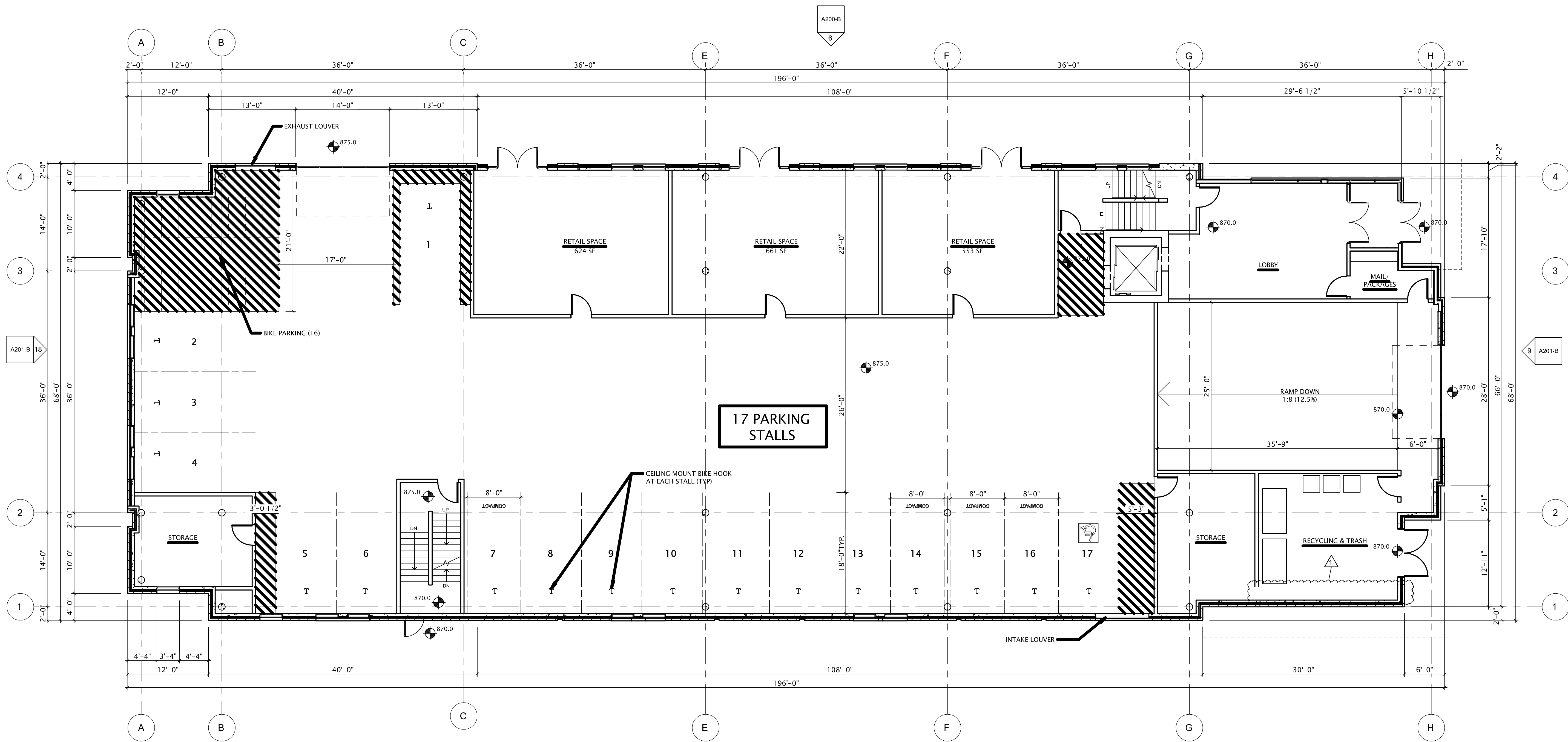
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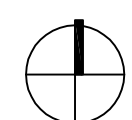
REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE  
**FIRST FLOOR PLAN - BUILDING 'B'**

SHEET NUMBER  
**A101-B**



1 FIRST FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"





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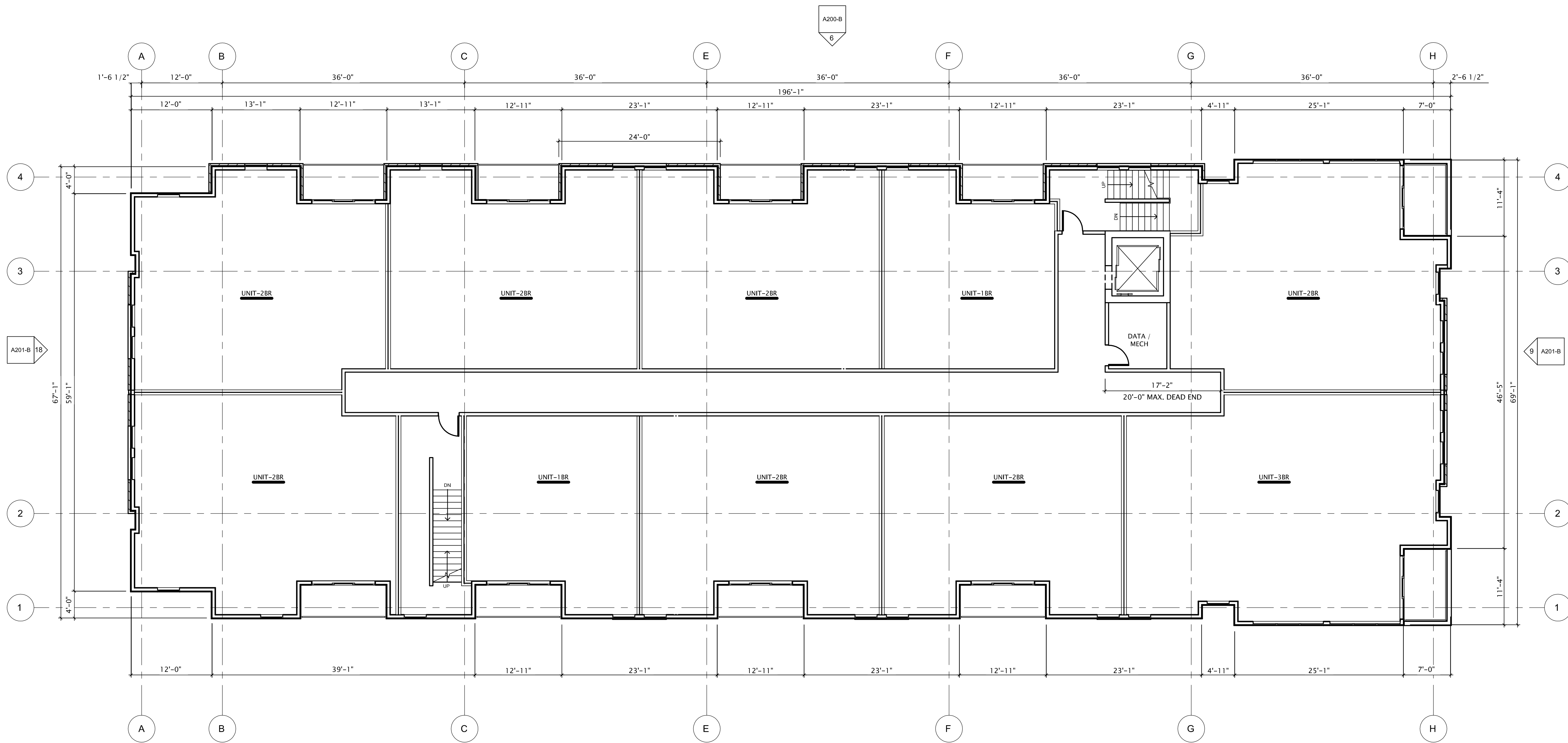
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

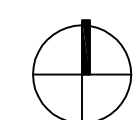
SECOND FLOOR PLAN  
- BUILDING 'B'

SHEET NUMBER

A102-B



1 SECOND FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"





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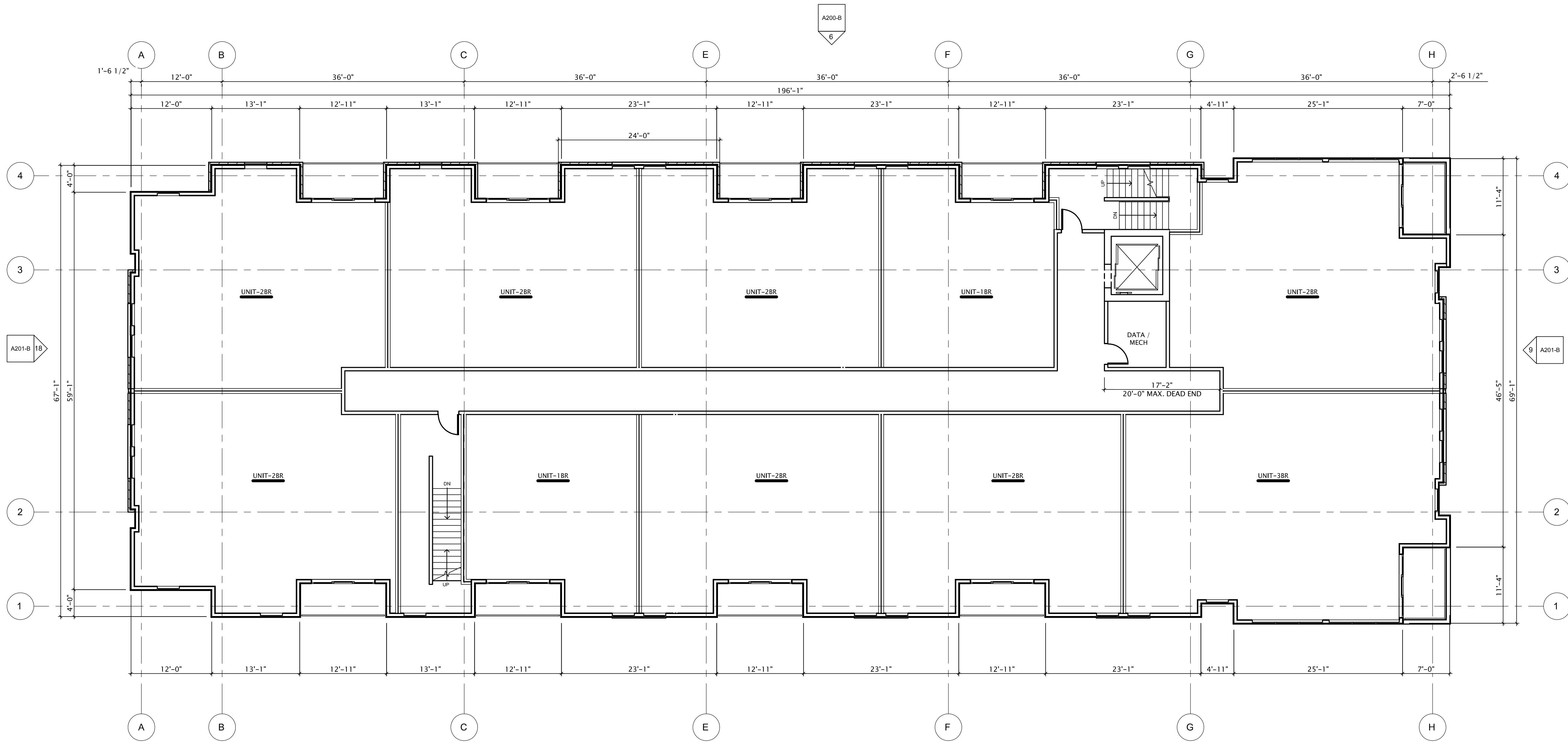
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN - BUILDING 'B'

SHEET NUMBER

A103-B



1 THIRD FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"



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ARCHITECTS

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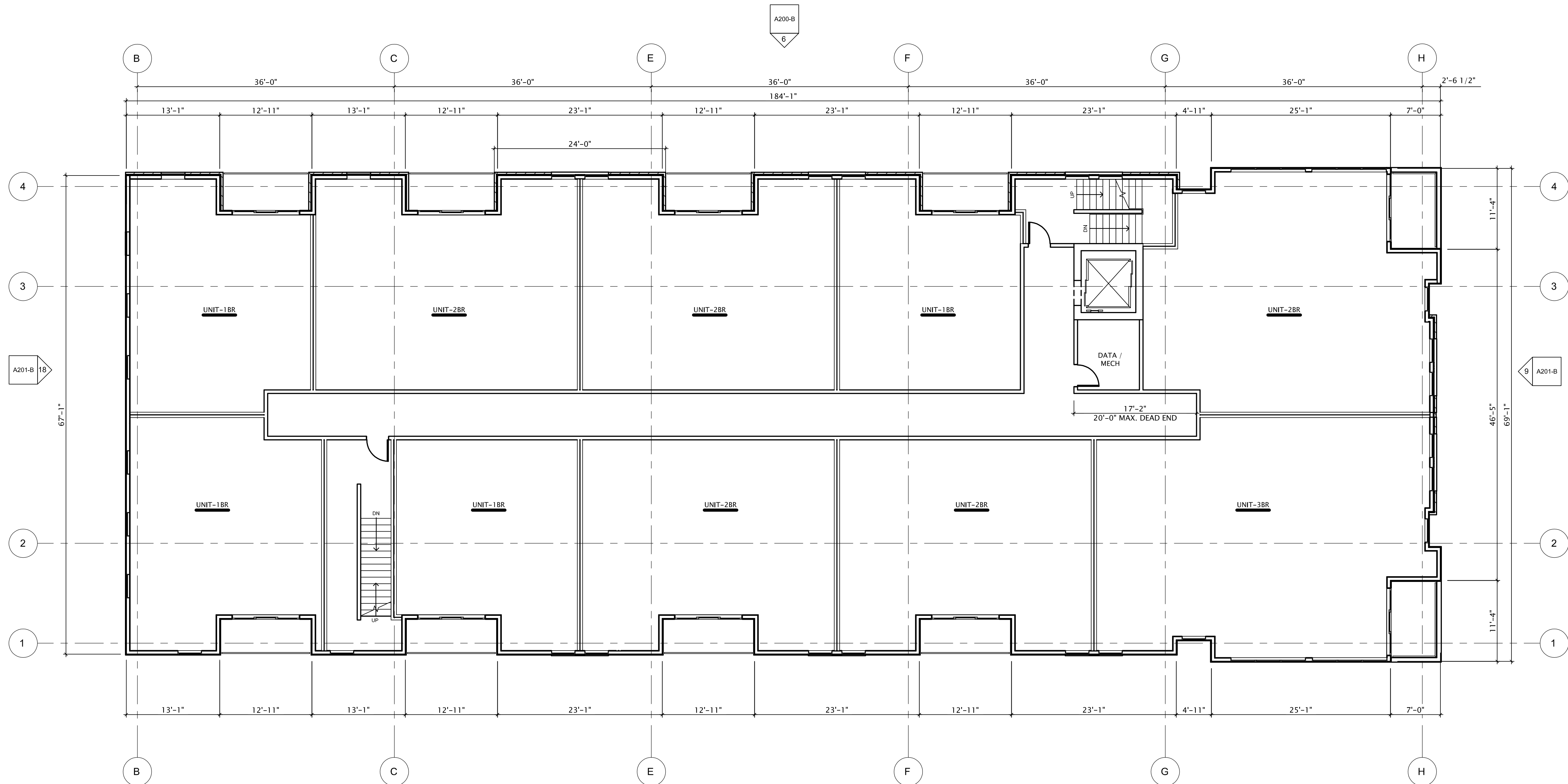
Mark	Description	Date

SHEET TITLE

FOURTH FLOOR PLAN -  
BUILDING 'B'

SHEET NUMBER

A104-B



1 FOURTH FLOOR PLAN - BUILDING 'B'  
1/8" = 1'-0"





**JLA**  
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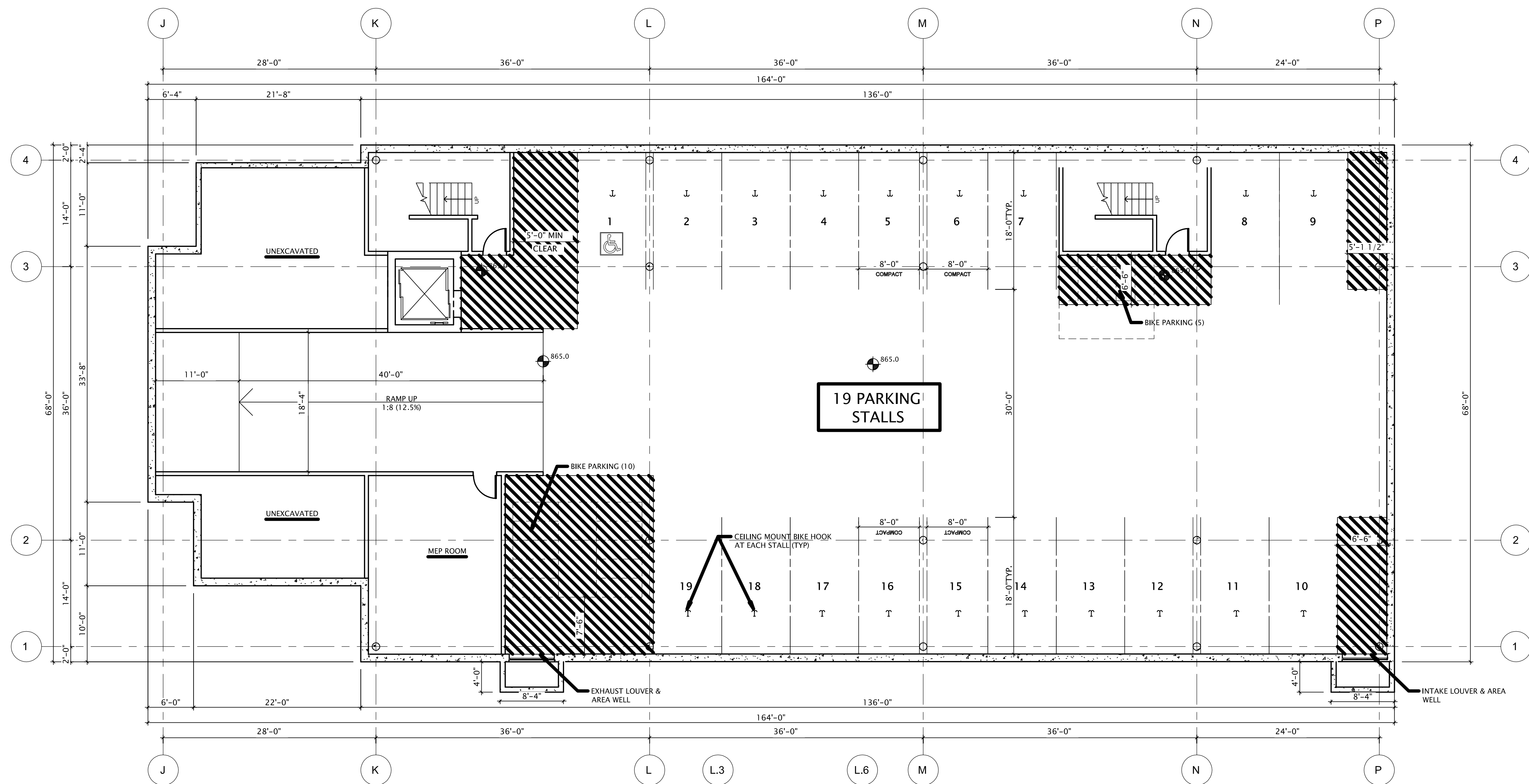
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Mark	Description	Date

SHEET TITLE

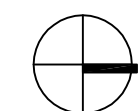
LOWER LEVEL PLAN -  
BUILDING 'C'

SHEET NUMBER

A100-C



1 LOWER LEVEL PLAN - BUILDING 'C'  
1/8" = 1'-0"





**JLA**  
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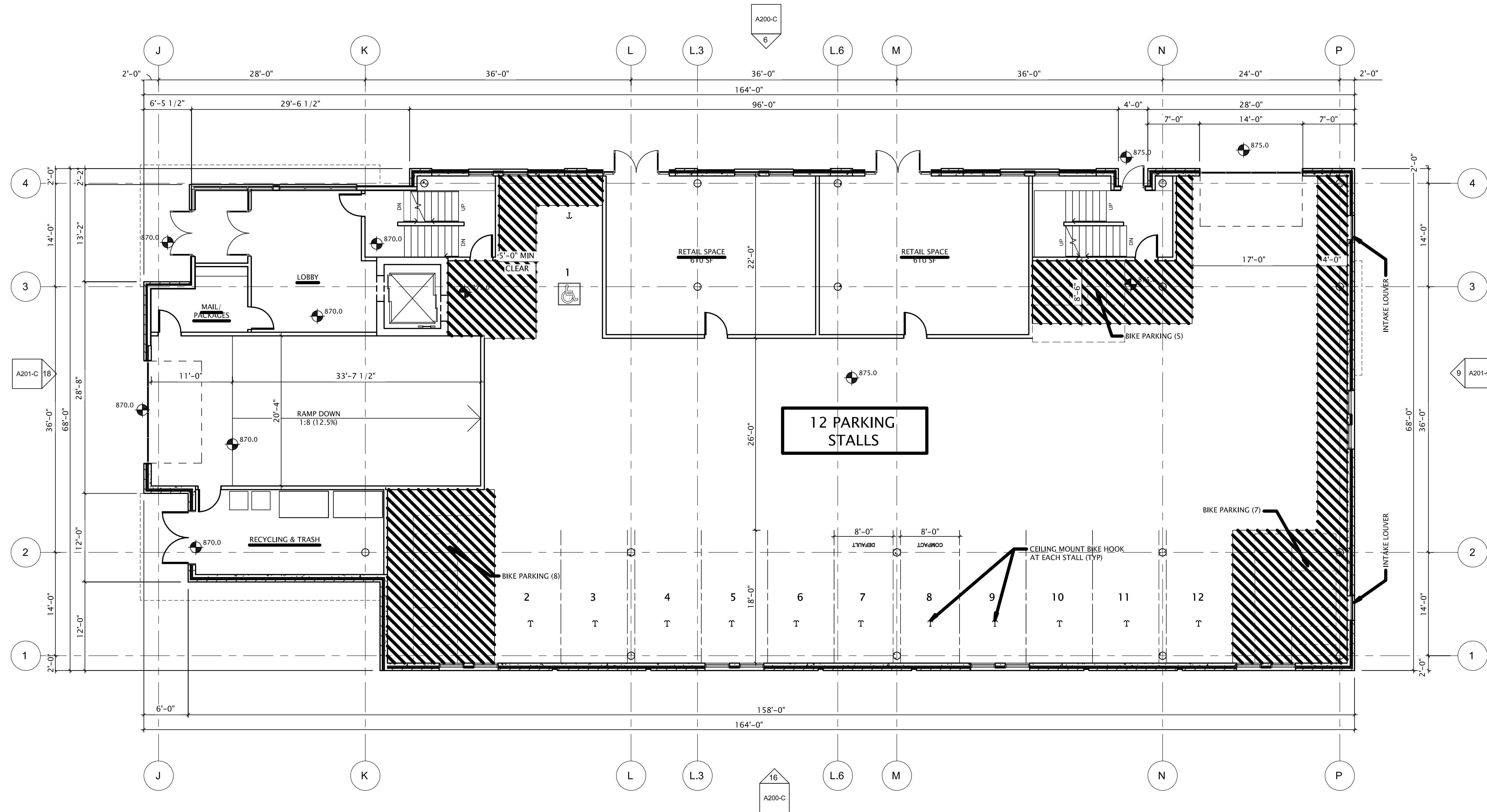
REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

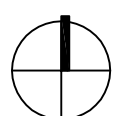
FIRST FLOOR PLAN -  
BUILDING 'C'

SHEET NUMBER

A101-C



1 FIRST FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"



4/17/2020 3:43:16 PM



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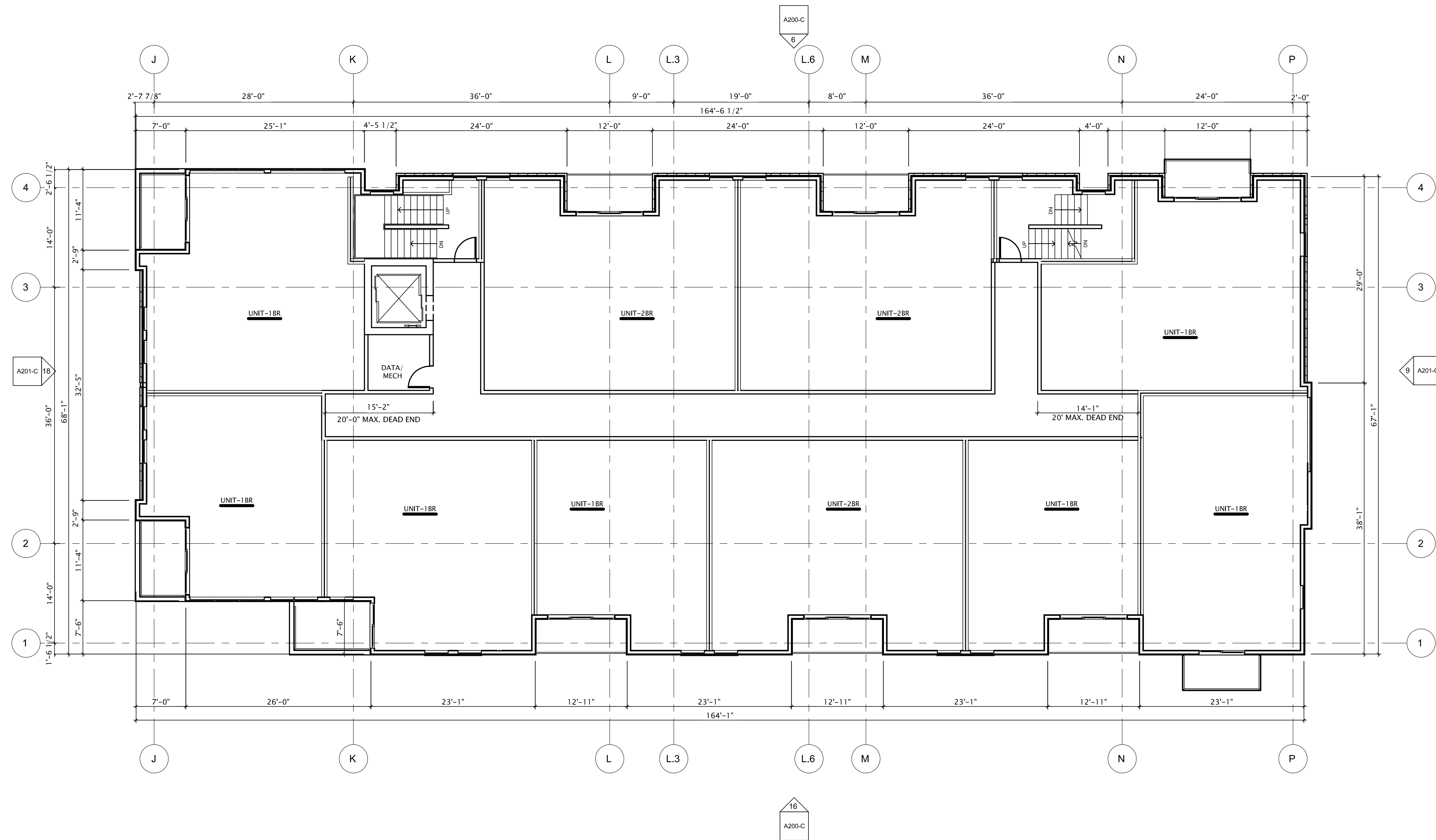
REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

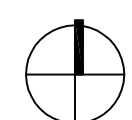
SECOND FLOOR PLAN  
- BUILDING 'C'

SHEET NUMBER

A102-C



1 SECOND FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"





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ARCHITECTS

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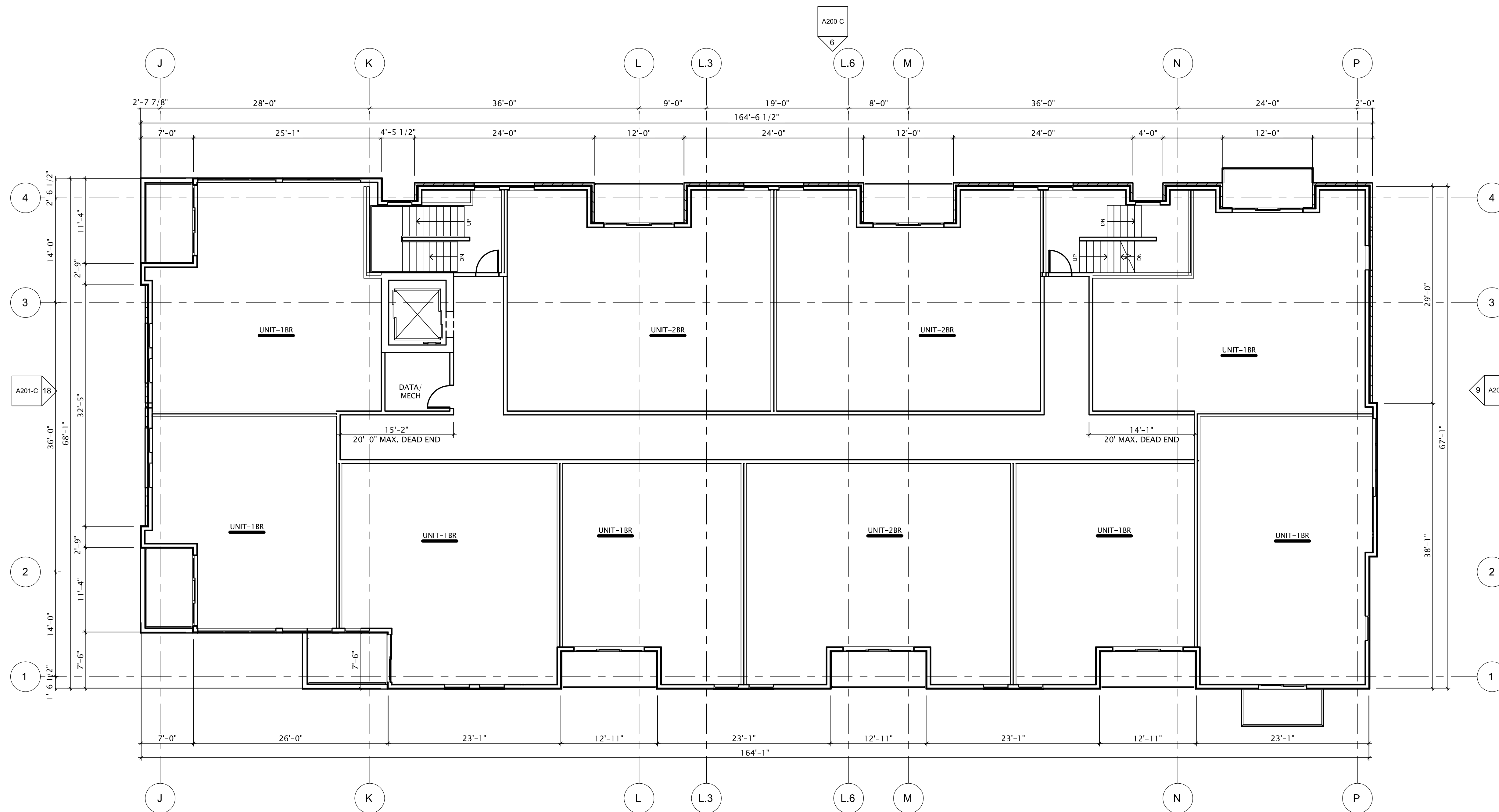
REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

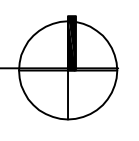
THIRD FLOOR PLAN -  
BUILDING 'C'

SHEET NUMBER

A103-C



1 THIRD FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"



4/15/2020 3:51:30 PM



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ARCHITECTS

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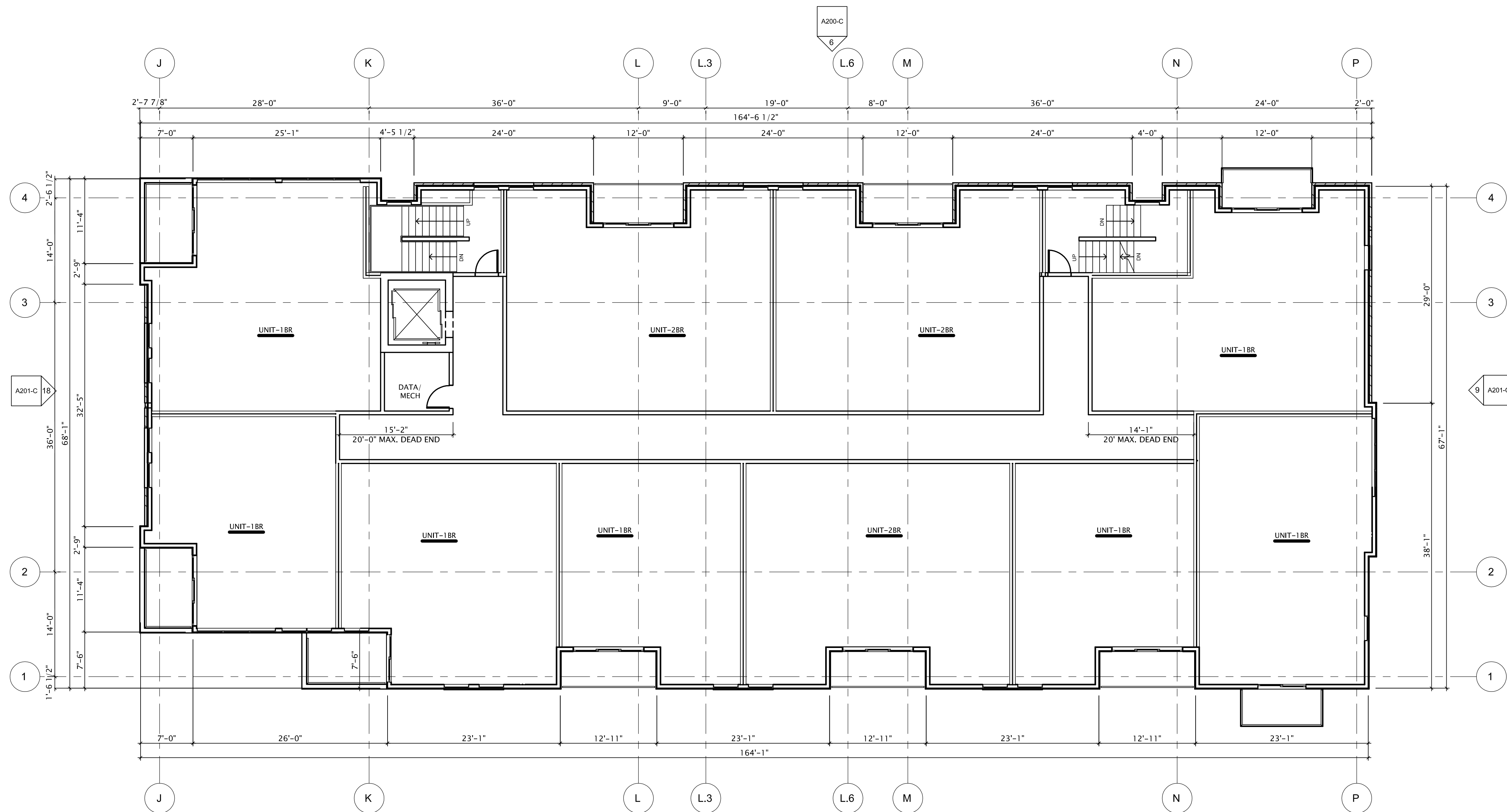
REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

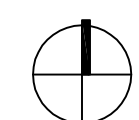
FOURTH FLOOR PLAN -  
BUILDING 'C'

SHEET NUMBER

A104-C



1 FOURTH FLOOR PLAN - BUILDING 'C'  
1/8" = 1'-0"





JLA ARCHITECTS

MADISON : MILWAUKEE  
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### DEGEN UNIVERSITY AVENUE MIXED-USE

LAND USE UDC INITIAL

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REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'A'

SHEET NUMBER

A200-A



6 BUILDING 'A' - EAST ELEVATION  
1/8" = 1'-0"

DEGEN UNIVERSITY AVENUE MIXED-USE  
01/18/2020 Material Selection

MARK	DESCRIPTION	DATE
1	REVISED ELEVATION / ADDED SHEET	01/31/2020



16 BUILDING 'A' - WEST ELEVATION  
1/8" = 1'-0"

1/20/2020 5:35:01 PM



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REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'A'

SHEET NUMBER

A201-A

**DEGEN UNIVERSITY AVENUE MIXED-USE  
01/28/2020 Material Selection**

**MASONRY**

BRICK #1  
BURNISHED BLOCK #1  
BURNISHED BLOCK #2

**color/#**

REDDISH ORANGE  
WARM GREY  
DARK GREY

**COMPOSITE LAP SIDING**

COMPOSITE LAP SIDING #1  
COMPOSITE LAP SIDING #2  
COMPOSITE LAP SIDING #3  
COMPOSITE LAP SIDING #4

LIGHT GREY  
WARM GREY  
DARK GREY  
REDDISH ORANGE

**COMPOSITE LAP SIDING - TRIM**

COMPOSITE TRIM #1  
COMPOSITE TRIM #2  
COMPOSITE TRIM #3  
COMPOSITE TRIM #4  
COMPOSITE TRIM - ACCENT #5

LIGHT GREY  
WARM GREY  
DARK GREY  
REDDISH ORANGE  
TO MATCH FIBERGLASS WINDOWS/DOORS

**COMPOSITE PANEL**

COMPOSITE PANEL #1  
COMPOSITE PANEL #2  
COMPOSITE PANEL #3  
COMPOSITE PANEL #4

LIGHT GREY  
DARK GREY  
YELLOW  
MEDIUM GREY

**COMPOSITE ROOF SCREEN**

COMPOSITE DECKING

DARK BROWN

**WINDOWS/PATIO DOORS**

RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH  
RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH  
RESIDENTIAL - VINYL WINDOWS  
RESIDENTIAL - VINYL PATIO DOOR

BLACK  
BLACK  
CLAY  
CLAY

**OVERHEAD DOOR**

INSULATED FIBERGLASS

DARK GREY

**GUARDRAILS/HANDRAILS**

PRE-FINISHED ALUMINUM

BLACK

**ROOFING**

DIMENSIONAL ASPHALT SHINGLES

EARTH TONE/GREYS

**AWNINGS**

PAINTED STEEL

GREY



9 BUILDING 'A' - SOUTH ELEVATION  
1/8" = 1'-0"



18 BUILDING 'A' - NORTH ELEVATION  
1/8" = 1'-0"







**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

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Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'A'

SHEET NUMBER

A201-A-BW

**DEGEN UNIVERSITY AVENUE MIXED-USE**  
01/28/2020 Material Selection

**MASONRY**

BRICK #1  
BURNISHED BLOCK #1  
BURNISHED BLOCK #2

**COMPOSITE LAP SIDING**

COMPOSITE LAP SIDING #1  
COMPOSITE LAP SIDING #2  
COMPOSITE LAP SIDING #3  
COMPOSITE LAP SIDING #4

**COMPOSITE LAP SIDING - TRIM**

COMPOSITE TRIM #1  
COMPOSITE TRIM #2  
COMPOSITE TRIM #3  
COMPOSITE TRIM #4  
COMPOSITE TRIM - ACCENT #5

**COMPOSITE PANEL**

COMPOSITE PANEL #1  
COMPOSITE PANEL #2  
COMPOSITE PANEL #3  
COMPOSITE PANEL #4

**COMPOSITE ROOF SCREEN**

COMPOSITE DECKING

**WINDOWS/PATIO DOORS**

RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH  
RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH  
RESIDENTIAL - VINYL WINDOWS  
RESIDENTIAL - VINYL PATIO DOOR

**OVERHEAD DOOR**

INSULATED FIBERGLASS

**GUARDRAILS/HANDRAILS**

PRE-FINISHED ALUMINUM

**ROOFING**

DIMENSIONAL ASPHALT SHINGLES

**AWNINGS**

PAINTED STEEL

color/#

REDDISH ORANGE  
WARM GREY  
DARK GREY

LIGHT GREY  
WARM GREY  
DARK GREY  
REDDISH ORANGE

LIGHT GREY  
WARM GREY  
DARK GREY  
REDDISH ORANGE  
TO MATCH FIBERGLASS WINDOWS/DOORS

LIGHT GREY  
DARK GREY  
YELLOW  
MEDIUM GREY

DARK BROWN

BLACK  
BLACK  
CLAY  
CLAY

DARK GREY

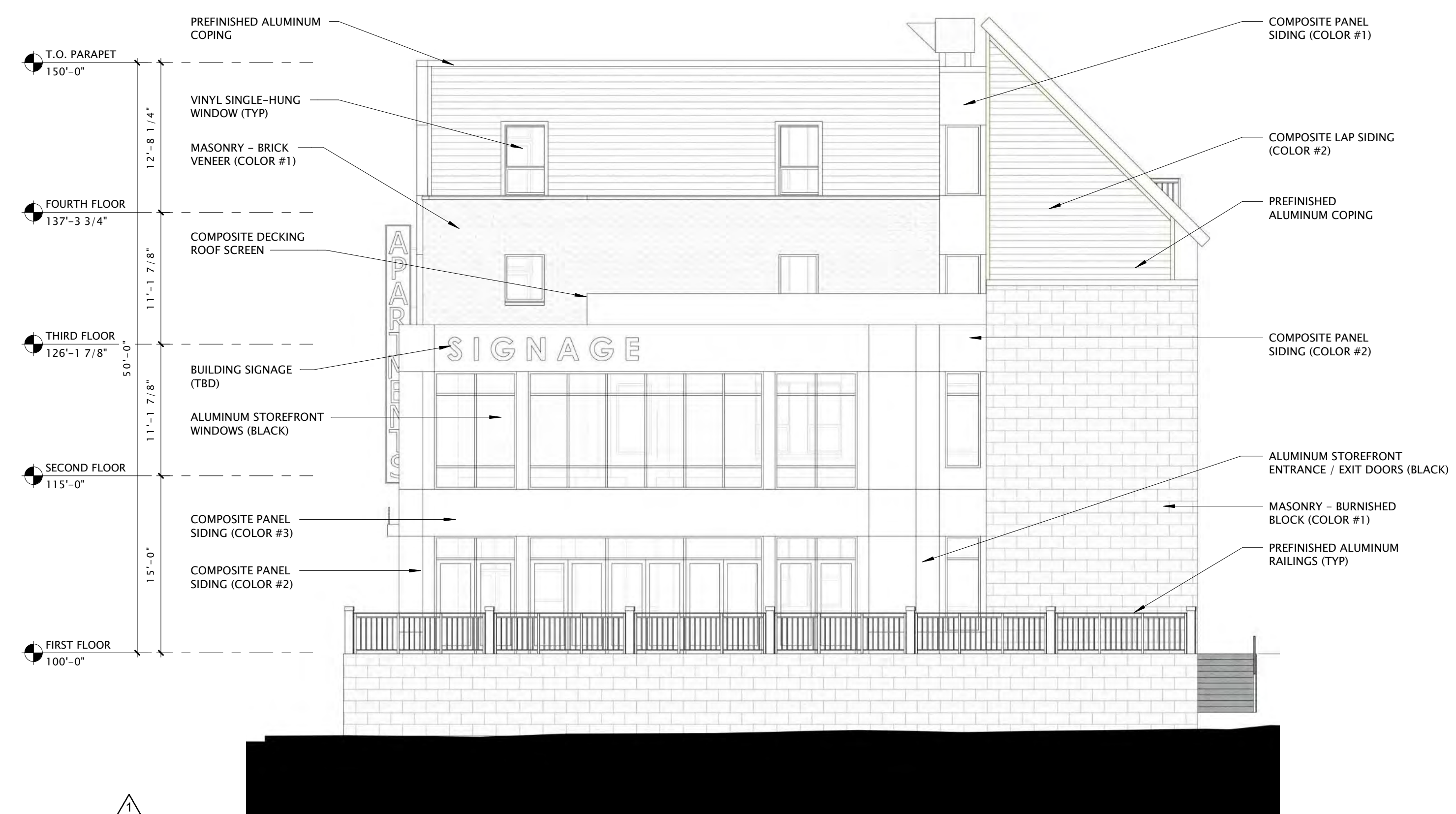
BLACK

EARTHTONE/GREYS

GREY



1 BUILDING 'A' - SOUTH ELEVATION BW  
1/8" = 1'-0"



2 BUILDING 'A' - NORTH ELEVATION BW  
1/8" = 1'-0"



JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

LAND USE UDC INITIAL

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REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'B'

SHEET NUMBER

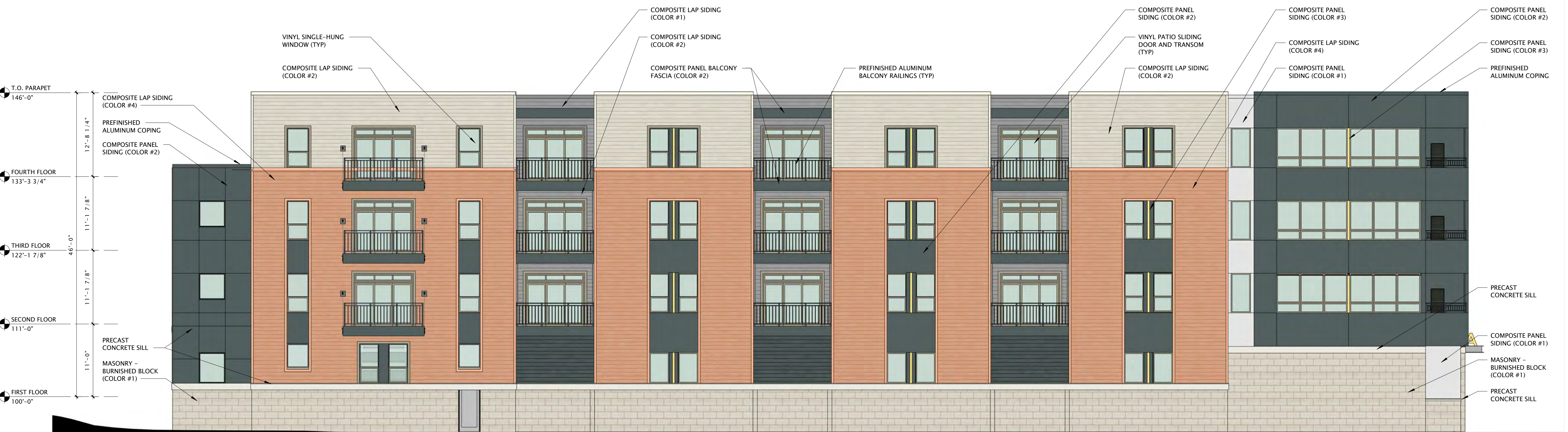
A200-B



6 BUILDING 'B' - NORTH ELEVATION  
1/8" = 1'-0"

DEGEN UNIVERSITY AVENUE MIXED-USE  
BY GLENN MURPHY ARCHITECTS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	COMPOSITE LAP SIDING (COLOR #1)	[Symbol]	COMPOSITE LAP SIDING (COLOR #2)
[Symbol]	COMPOSITE LAP SIDING (COLOR #3)	[Symbol]	COMPOSITE LAP SIDING (COLOR #4)
[Symbol]	COMPOSITE LAP SIDING (COLOR #5)	[Symbol]	COMPOSITE LAP SIDING (COLOR #6)
[Symbol]	COMPOSITE LAP SIDING (COLOR #7)	[Symbol]	COMPOSITE LAP SIDING (COLOR #8)
[Symbol]	COMPOSITE LAP SIDING (COLOR #9)	[Symbol]	COMPOSITE LAP SIDING (COLOR #10)
[Symbol]	COMPOSITE LAP SIDING (COLOR #11)	[Symbol]	COMPOSITE LAP SIDING (COLOR #12)
[Symbol]	COMPOSITE LAP SIDING (COLOR #13)	[Symbol]	COMPOSITE LAP SIDING (COLOR #14)
[Symbol]	COMPOSITE LAP SIDING (COLOR #15)	[Symbol]	COMPOSITE LAP SIDING (COLOR #16)
[Symbol]	COMPOSITE LAP SIDING (COLOR #17)	[Symbol]	COMPOSITE LAP SIDING (COLOR #18)
[Symbol]	COMPOSITE LAP SIDING (COLOR #19)	[Symbol]	COMPOSITE LAP SIDING (COLOR #20)
[Symbol]	COMPOSITE LAP SIDING (COLOR #21)	[Symbol]	COMPOSITE LAP SIDING (COLOR #22)
[Symbol]	COMPOSITE LAP SIDING (COLOR #23)	[Symbol]	COMPOSITE LAP SIDING (COLOR #24)
[Symbol]	COMPOSITE LAP SIDING (COLOR #25)	[Symbol]	COMPOSITE LAP SIDING (COLOR #26)
[Symbol]	COMPOSITE LAP SIDING (COLOR #27)	[Symbol]	COMPOSITE LAP SIDING (COLOR #28)
[Symbol]	COMPOSITE LAP SIDING (COLOR #29)	[Symbol]	COMPOSITE LAP SIDING (COLOR #30)
[Symbol]	COMPOSITE LAP SIDING (COLOR #31)	[Symbol]	COMPOSITE LAP SIDING (COLOR #32)
[Symbol]	COMPOSITE LAP SIDING (COLOR #33)	[Symbol]	COMPOSITE LAP SIDING (COLOR #34)
[Symbol]	COMPOSITE LAP SIDING (COLOR #35)	[Symbol]	COMPOSITE LAP SIDING (COLOR #36)
[Symbol]	COMPOSITE LAP SIDING (COLOR #37)	[Symbol]	COMPOSITE LAP SIDING (COLOR #38)
[Symbol]	COMPOSITE LAP SIDING (COLOR #39)	[Symbol]	COMPOSITE LAP SIDING (COLOR #40)
[Symbol]	COMPOSITE LAP SIDING (COLOR #41)	[Symbol]	COMPOSITE LAP SIDING (COLOR #42)
[Symbol]	COMPOSITE LAP SIDING (COLOR #43)	[Symbol]	COMPOSITE LAP SIDING (COLOR #44)
[Symbol]	COMPOSITE LAP SIDING (COLOR #45)	[Symbol]	COMPOSITE LAP SIDING (COLOR #46)
[Symbol]	COMPOSITE LAP SIDING (COLOR #47)	[Symbol]	COMPOSITE LAP SIDING (COLOR #48)
[Symbol]	COMPOSITE LAP SIDING (COLOR #49)	[Symbol]	COMPOSITE LAP SIDING (COLOR #50)
[Symbol]	COMPOSITE LAP SIDING (COLOR #51)	[Symbol]	COMPOSITE LAP SIDING (COLOR #52)
[Symbol]	COMPOSITE LAP SIDING (COLOR #53)	[Symbol]	COMPOSITE LAP SIDING (COLOR #54)
[Symbol]	COMPOSITE LAP SIDING (COLOR #55)	[Symbol]	COMPOSITE LAP SIDING (COLOR #56)
[Symbol]	COMPOSITE LAP SIDING (COLOR #57)	[Symbol]	COMPOSITE LAP SIDING (COLOR #58)
[Symbol]	COMPOSITE LAP SIDING (COLOR #59)	[Symbol]	COMPOSITE LAP SIDING (COLOR #60)
[Symbol]	COMPOSITE LAP SIDING (COLOR #61)	[Symbol]	COMPOSITE LAP SIDING (COLOR #62)
[Symbol]	COMPOSITE LAP SIDING (COLOR #63)	[Symbol]	COMPOSITE LAP SIDING (COLOR #64)
[Symbol]	COMPOSITE LAP SIDING (COLOR #65)	[Symbol]	COMPOSITE LAP SIDING (COLOR #66)
[Symbol]	COMPOSITE LAP SIDING (COLOR #67)	[Symbol]	COMPOSITE LAP SIDING (COLOR #68)
[Symbol]	COMPOSITE LAP SIDING (COLOR #69)	[Symbol]	COMPOSITE LAP SIDING (COLOR #70)
[Symbol]	COMPOSITE LAP SIDING (COLOR #71)	[Symbol]	COMPOSITE LAP SIDING (COLOR #72)
[Symbol]	COMPOSITE LAP SIDING (COLOR #73)	[Symbol]	COMPOSITE LAP SIDING (COLOR #74)
[Symbol]	COMPOSITE LAP SIDING (COLOR #75)	[Symbol]	COMPOSITE LAP SIDING (COLOR #76)
[Symbol]	COMPOSITE LAP SIDING (COLOR #77)	[Symbol]	COMPOSITE LAP SIDING (COLOR #78)
[Symbol]	COMPOSITE LAP SIDING (COLOR #79)	[Symbol]	COMPOSITE LAP SIDING (COLOR #80)
[Symbol]	COMPOSITE LAP SIDING (COLOR #81)	[Symbol]	COMPOSITE LAP SIDING (COLOR #82)
[Symbol]	COMPOSITE LAP SIDING (COLOR #83)	[Symbol]	COMPOSITE LAP SIDING (COLOR #84)
[Symbol]	COMPOSITE LAP SIDING (COLOR #85)	[Symbol]	COMPOSITE LAP SIDING (COLOR #86)
[Symbol]	COMPOSITE LAP SIDING (COLOR #87)	[Symbol]	COMPOSITE LAP SIDING (COLOR #88)
[Symbol]	COMPOSITE LAP SIDING (COLOR #89)	[Symbol]	COMPOSITE LAP SIDING (COLOR #90)
[Symbol]	COMPOSITE LAP SIDING (COLOR #91)	[Symbol]	COMPOSITE LAP SIDING (COLOR #92)
[Symbol]	COMPOSITE LAP SIDING (COLOR #93)	[Symbol]	COMPOSITE LAP SIDING (COLOR #94)
[Symbol]	COMPOSITE LAP SIDING (COLOR #95)	[Symbol]	COMPOSITE LAP SIDING (COLOR #96)
[Symbol]	COMPOSITE LAP SIDING (COLOR #97)	[Symbol]	COMPOSITE LAP SIDING (COLOR #98)
[Symbol]	COMPOSITE LAP SIDING (COLOR #99)	[Symbol]	COMPOSITE LAP SIDING (COLOR #100)



16 BUILDING 'B' - SOUTH ELEVATION  
1/8" = 1'-0"

1/30/2020 7:34:28 AM

**DEGEN UNIVERSITY AVENUE MIXED-USE  
01/28/2020 Material Selection**

**MASONRY**

- BRICK #1
- BURNISHED BLOCK #1
- BURNISHED BLOCK #2

**COMPOSITE LAP SIDING**

- COMPOSITE LAP SIDING #1
- COMPOSITE LAP SIDING #2
- COMPOSITE LAP SIDING #3
- COMPOSITE LAP SIDING #4

**COMPOSITE LAP SIDING - TRIM**

- COMPOSITE TRIM #1
- COMPOSITE TRIM #2
- COMPOSITE TRIM #3
- COMPOSITE TRIM #4
- COMPOSITE TRIM - ACCENT #5

**COMPOSITE PANEL**

- COMPOSITE PANEL #1
- COMPOSITE PANEL #2
- COMPOSITE PANEL #3
- COMPOSITE PANEL #4

**COMPOSITE ROOF SCREEN**

- COMPOSITE DECKING

**WINDOWS/PATIO DOORS**

- RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH
- RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH
- RESIDENTIAL - VINYL WINDOWS
- RESIDENTIAL - VINYL PATIO DOOR

**OVERHEAD DOOR**

- INSULATED FIBERGLASS

**GUARDRAILS/HANDRAILS**

- PRE-FINISHED ALUMINUM

**ROOFING**

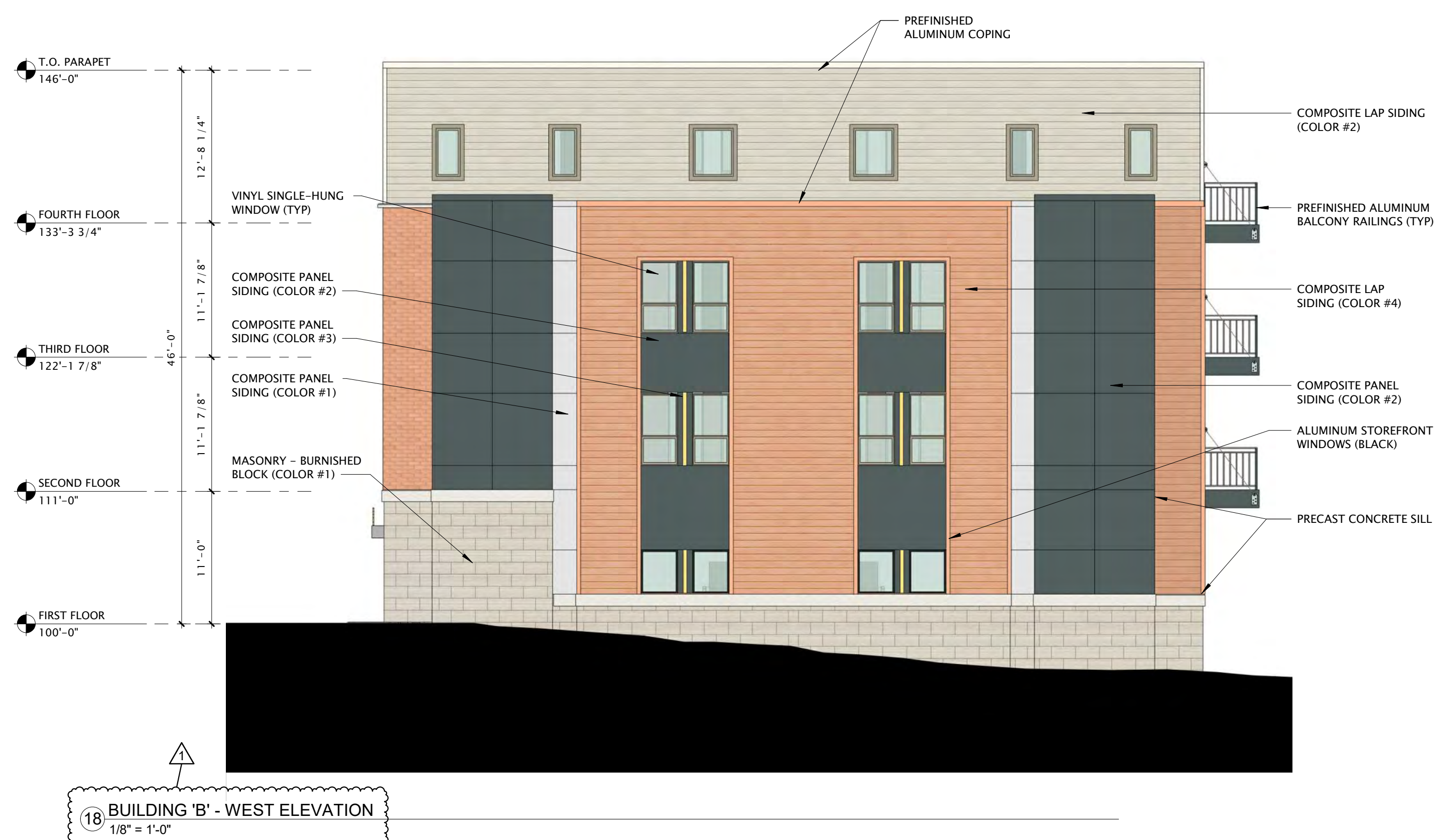
- DIMENSIONAL ASPHALT SHINGLES

**AWNINGS**

- PAINTED STEEL

**color/#**

- REDDISH ORANGE
- WARM GREY
- DARK GREY
- LIGHT GREY
- WARM GREY
- DARK GREY
- REDDISH ORANGE
- LIGHT GREY
- WARM GREY
- DARK GREY
- REDDISH ORANGE
- TO MATCH FIBERGLASS WINDOWS/DOORS
- LIGHT GREY
- DARK GREY
- YELLOW
- MEDIUM GREY
- DARK BROWN
- BLACK
- BLACK
- CLAY
- CLAY
- DARK GREY
- BLACK
- BLACK
- EARTHTONE/GREYS
- GREY



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'B'

SHEET NUMBER

**A201-B**



JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



### DEGEN UNIVERSITY AVENUE MIXED-USE

LAND USE UDC INITIAL

#### PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'B'

SHEET NUMBER

A200-B-BW



1 BUILDING 'B' - NORTH ELEVATION BW  
1/8" = 1'-0"

DEGEN UNIVERSITY AVENUE MIXED-USE  
01/29/2020 Material Selection

MASONRY	RESIDOR CHARGE	GLASS	RESIDOR CHARGE
BRICK	WANA GREY	GLASS	WANA GREY
BURNISHED BLOCK #1	WANA GREY	GLASS	WANA GREY
BURNISHED BLOCK #2	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #1)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #2)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #3)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #4)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #5)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #6)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #7)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #8)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #9)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #10)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #11)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #12)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #13)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #14)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #15)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #16)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #17)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #18)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #19)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #20)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #21)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #22)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #23)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #24)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #25)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #26)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #27)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #28)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #29)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #30)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #31)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #32)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #33)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #34)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #35)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #36)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #37)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #38)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #39)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #40)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #41)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #42)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #43)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #44)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #45)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #46)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #47)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #48)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #49)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #50)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #51)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #52)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #53)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #54)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #55)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #56)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #57)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #58)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #59)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #60)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #61)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #62)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #63)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #64)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #65)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #66)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #67)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #68)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #69)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #70)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #71)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #72)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #73)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #74)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #75)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #76)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #77)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #78)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #79)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #80)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #81)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #82)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #83)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #84)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #85)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #86)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #87)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #88)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #89)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #90)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #91)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #92)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #93)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #94)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #95)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #96)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #97)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #98)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #99)	WANA GREY	GLASS	WANA GREY
COMPOSITE LAP SIDING (COLOR #100)	WANA GREY	GLASS	WANA GREY



2 BUILDING 'B' - SOUTH ELEVATION BW  
1/8" = 1'-0"

**DEGEN UNIVERSITY AVENUE MIXED-USE  
01/28/2020 Material Selection**

**MASONRY**

- BRICK #1
- BURNISHED BLOCK #1
- BURNISHED BLOCK #2

**COMPOSITE LAP SIDING**

- COMPOSITE LAP SIDING #1
- COMPOSITE LAP SIDING #2
- COMPOSITE LAP SIDING #3
- COMPOSITE LAP SIDING #4

**COMPOSITE LAP SIDING - TRIM**

- COMPOSITE TRIM #1
- COMPOSITE TRIM #2
- COMPOSITE TRIM #3
- COMPOSITE TRIM #4
- COMPOSITE TRIM - ACCENT #5

**COMPOSITE PANEL**

- COMPOSITE PANEL #1
- COMPOSITE PANEL #2
- COMPOSITE PANEL #3
- COMPOSITE PANEL #4

**COMPOSITE ROOF SCREEN**

- COMPOSITE DECKING

**WINDOWS/PATIO DOORS**

- RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH
- RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH
- RESIDENTIAL - VINYL WINDOWS
- RESIDENTIAL - VINYL PATIO DOOR

**OVERHEAD DOOR**

- INSULATED FIBERGLASS

**GUARDRAILS/HANDRAILS**

- PRE-FINISHED ALUMINUM

**ROOFING**

- DIMENSIONAL ASPHALT SHINGLES

**AWNINGS**

- PAINTED STEEL

**color/#**

- REDDISH ORANGE
- WARM GREY
- DARK GREY

- LIGHT GREY
- WARM GREY
- DARK GREY
- REDDISH ORANGE

- LIGHT GREY
- WARM GREY
- DARK GREY
- REDDISH ORANGE
- TO MATCH FIBERGLASS WINDOWS/DOORS

- LIGHT GREY
- DARK GREY
- YELLOW
- MEDIUM GREY

- DARK BROWN

- BLACK
- BLACK
- CLAY
- CLAY

- DARK GREY

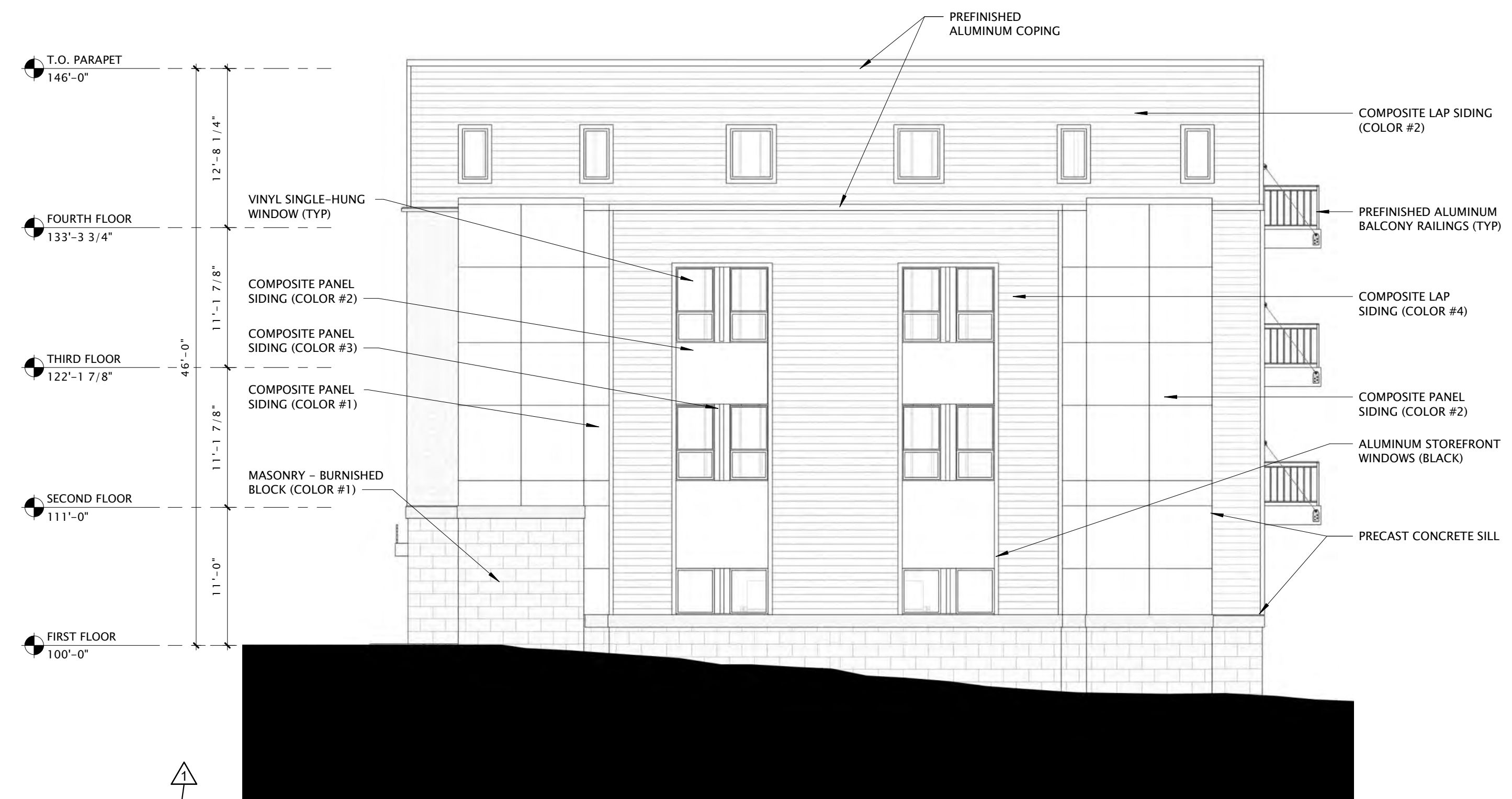
- BLACK

- EARTHTONE/GREYS

- GREY



1 BUILDING 'B' - EAST ELEVATION BW  
1/8" = 1'-0"



2 BUILDING 'B' - WEST ELEVATION BW  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
AVENUE MIXED-USE

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'B'

SHEET NUMBER

A201-B-BW



**DEGEN UNIVERSITY AVENUE MIXED-USE**  
01/28/2020 Material Selection

**MASONRY**

- BRICK #1
- BURNISHED BLOCK #1
- BURNISHED BLOCK #2

**COMPOSITE LAP SIDING**

- COMPOSITE LAP SIDING #1
- COMPOSITE LAP SIDING #2
- COMPOSITE LAP SIDING #3
- COMPOSITE LAP SIDING #4

**COMPOSITE LAP SIDING - TRIM**

- COMPOSITE TRIM #1
- COMPOSITE TRIM #2
- COMPOSITE TRIM #3
- COMPOSITE TRIM #4
- COMPOSITE TRIM - ACCENT #5

**COMPOSITE PANEL**

- COMPOSITE PANEL #1
- COMPOSITE PANEL #2
- COMPOSITE PANEL #3
- COMPOSITE PANEL #4

**COMPOSITE ROOF SCREEN**

- COMPOSITE DECKING

**WINDOWS/PATIO DOORS**

- RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH
- RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH
- RESIDENTIAL - VINYL WINDOWS
- RESIDENTIAL - VINYL PATIO DOOR

**OVERHEAD DOOR**

- INSULATED FIBERGLASS

**GUARDRAILS/HANDRAILS**

- PRE-FINISHED ALUMINUM

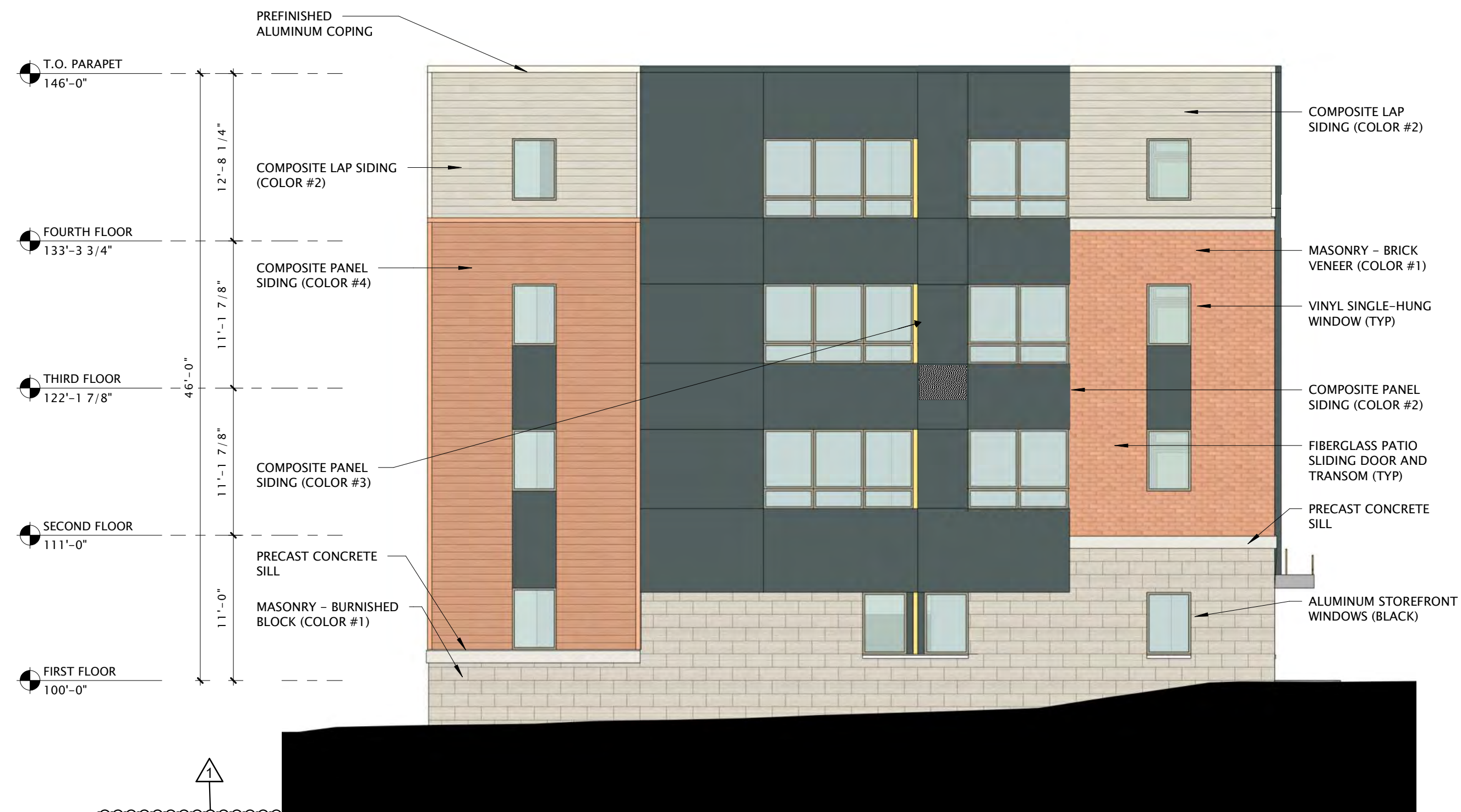
**ROOFING**

- DIMENSIONAL ASPHALT SHINGLES

**AWNINGS**

- PAINTED STEEL

- color/#
- REDDISH ORANGE
  - WARM GREY
  - DARK GREY
  - LIGHT GREY
  - WARM GREY
  - DARK GREY
  - REDDISH ORANGE
  - LIGHT GREY
  - DARK GREY
  - YELLOW
  - MEDIUM GREY
  - DARK BROWN
  - BLACK
  - BLACK CLAY
  - CLAY
  - DARK GREY
  - BLACK
  - EARTHTONE/GREYS
  - GREY



⑨ BUILDING 'C' - EAST ELEVATION  
1/8" = 1'-0"



⑩ BUILDING 'C' - WEST ELEVATION  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



**DEGEN UNIVERSITY AVENUE MIXED-USE**

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS-  
BUILDING 'C'

SHEET NUMBER

A201-C



JLA ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

LAND USE UDC INITIAL

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-C-BW



1 BUILDING 'C' - NORTH ELEVATION BW  
1/8" = 1'-0"



2 BUILDING 'C' - SOUTH ELEVATION BW  
1/8" = 1'-0"

- DEGEN UNIVERSITY AVENUE MIXED-USE  
01/28/2020 Material Selection
- MASONRY**
    - BRICK #1 REDDISH ORANGE
    - BURNISHED BLOCK #1 WARM GREY
    - BURNISHED BLOCK #2 DARK GREY
  - COMPOSITE LAP SIDING**
    - COMPOSITE LAP SIDING #1 LIGHT GREY
    - COMPOSITE LAP SIDING #2 MEDIUM GREY
    - COMPOSITE LAP SIDING #3 DARK GREY
    - COMPOSITE LAP SIDING #4 REDDISH ORANGE
  - COMPOSITE LAP SIDING - TRIM**
    - COMPOSITE TRIM #1 LIGHT GREY
    - COMPOSITE TRIM #2 WARM GREY
    - COMPOSITE TRIM #3 DARK GREY
    - COMPOSITE TRIM #4 REDDISH ORANGE
    - COMPOSITE TRIM - ACCENT #5 TO MATCH FIBERGLASS WINDOWS/DOORS
  - COMPOSITE PANEL**
    - COMPOSITE PANEL #1 LIGHT GREY
    - COMPOSITE PANEL #2 DARK GREY
    - COMPOSITE PANEL #3 YELLOW
    - COMPOSITE PANEL #4 MEDIUM GREY
  - COMPOSITE ROOF SCREEN**
    - COMPOSITE DECKING: DARK BROWN
  - WINDOWS/PATIO DOORS**
    - RESIDENTIAL COMMERCIAL: ALUMINUM WINDOW WITH ANODIZED FINISH
    - RETAIL COMMERCIAL: ALUMINUM DOORS WITH ANODIZED FINISH
    - RESIDENTIAL: VINYL WINDOWS
    - RESIDENTIAL: VINYL PATIO DOOR
  - OVERHEAD DOOR**
    - PRELARGED FIBERGLASS
    - QUADRANGLE HANDRAILS
    - PRE FINISHED ALUMINUM
  - ROOFING**
    - DIMENSIONAL ASPHALT SHINGLES
  - AWNING**
    - PAINTED STEEL



**DEGEN UNIVERSITY AVENUE MIXED-USE**  
01/28/2020 Material Selection

**MASONRY**

BRICK #1  
BURNISHED BLOCK #1  
BURNISHED BLOCK #2

COMPOSITE LAP SIDING  
COMPOSITE LAP SIDING #1  
COMPOSITE LAP SIDING #2  
COMPOSITE LAP SIDING #3  
COMPOSITE LAP SIDING #4

**COMPOSITE LAP SIDING - TRIM**

COMPOSITE TRIM #1  
COMPOSITE TRIM #2  
COMPOSITE TRIM #3  
COMPOSITE TRIM #4  
COMPOSITE TRIM - ACCENT #5

**COMPOSITE PANEL**

COMPOSITE PANEL #1  
COMPOSITE PANEL #2  
COMPOSITE PANEL #3  
COMPOSITE PANEL #4

**COMPOSITE ROOF SCREEN**

COMPOSITE DECKING

**WINDOWS/PATIO DOORS**

RETAIL / COMMERCIAL - ALUMINUM WINDOW WITH ANODIZED FINISH  
RETAIL / COMMERCIAL - ALUMINUM DOORS WITH ANODIZED FINISH  
RESIDENTIAL - VINYL WINDOWS  
RESIDENTIAL - VINYL PATIO DOOR

**OVERHEAD DOOR**

INSULATED FIBERGLASS

**GUARDRAILS/HANDRAILS**

PRE-FINISHED ALUMINUM

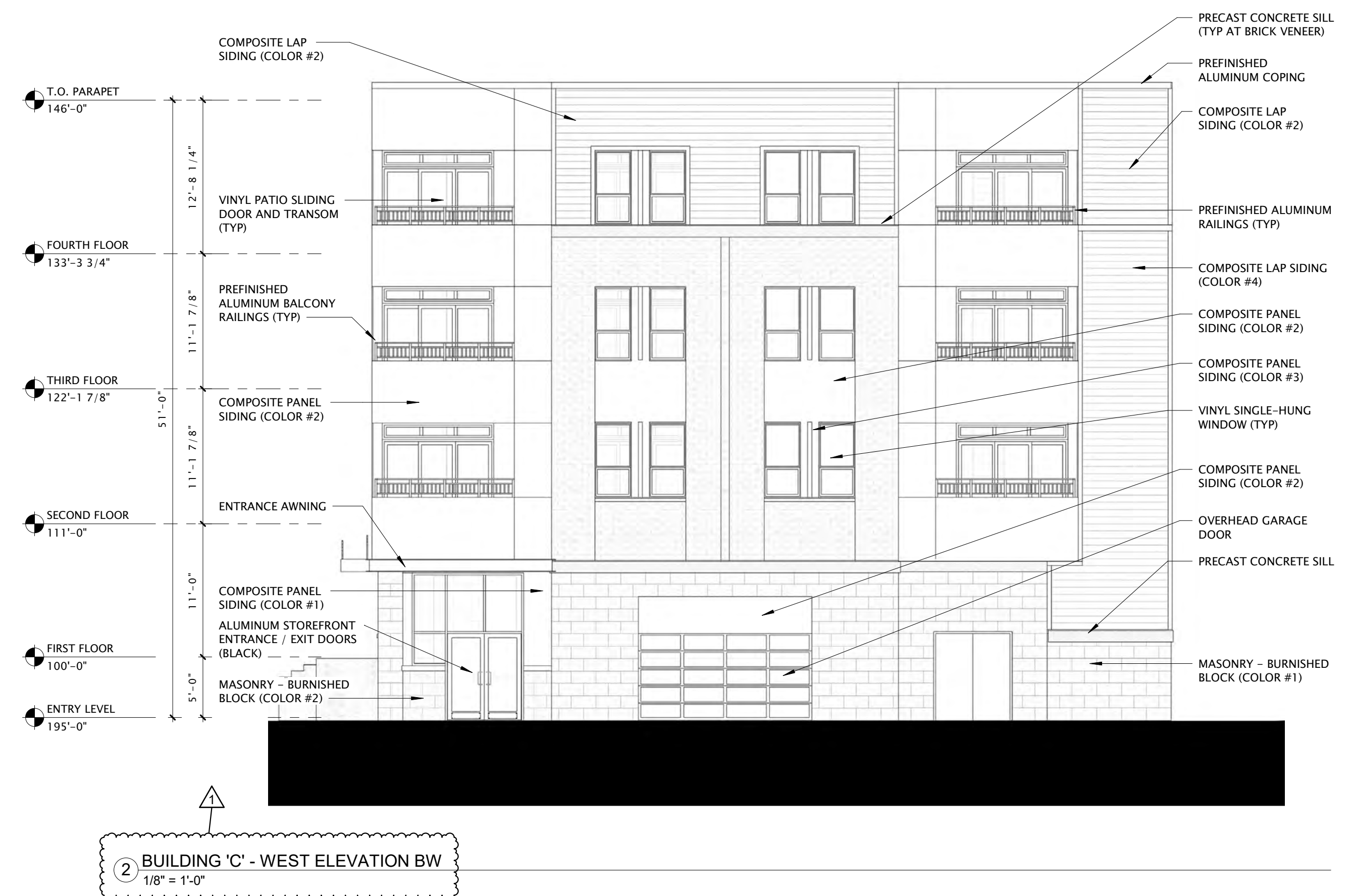
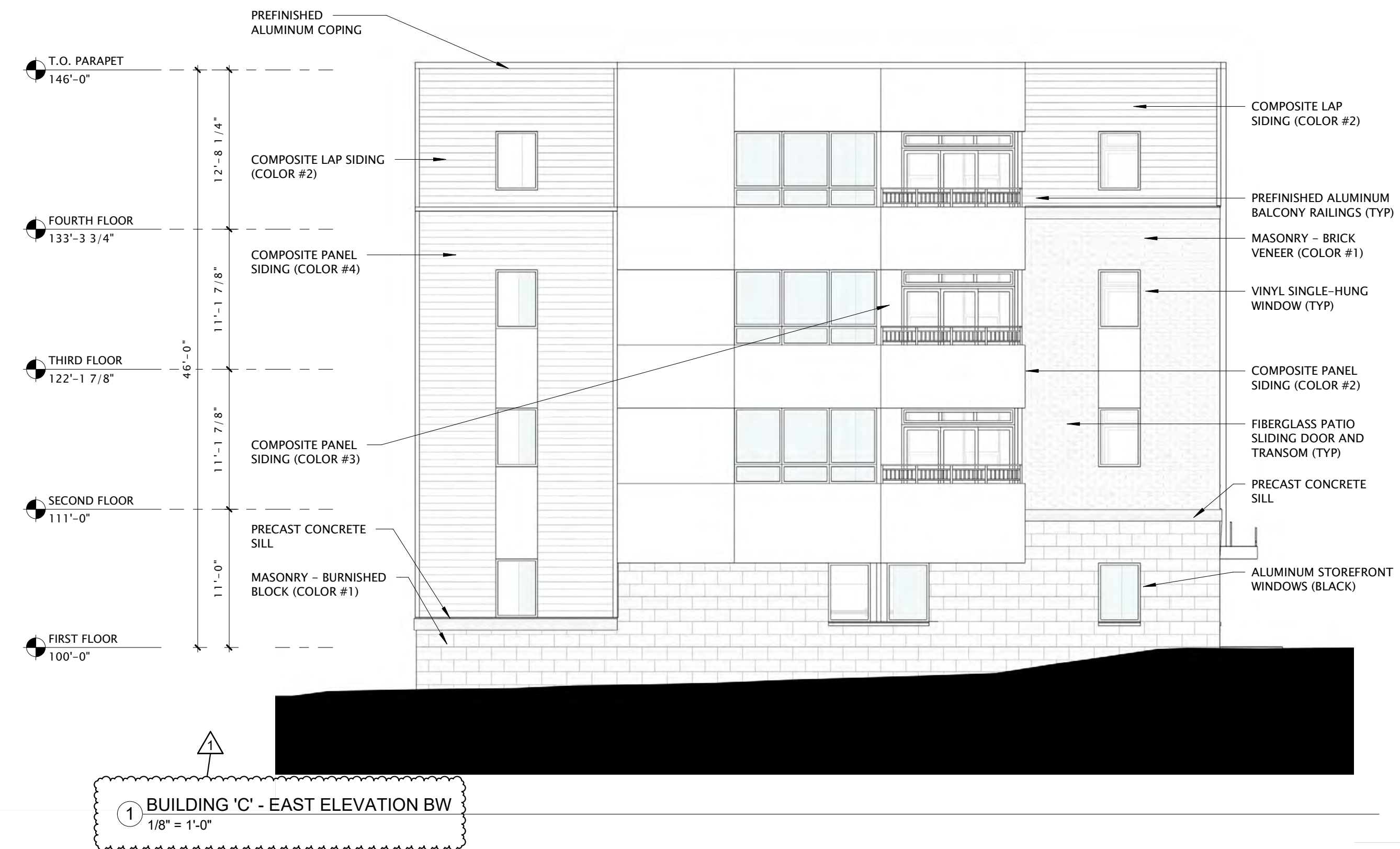
**ROOFING**

DIMENSIONAL ASPHALT SHINGLES

**AWNINGS**

PAINTED STEEL

color/#	
REDDISH ORANGE	
WARM GREY	
DARK GREY	
LIGHT GREY	
WARM GREY	
DARK GREY	
REDDISH ORANGE	
TO MATCH FIBERGLASS WINDOWS/DOORS	
LIGHT GREY	
WARM GREY	
DARK GREY	
REDDISH ORANGE	
TO MATCH FIBERGLASS WINDOWS/DOORS	
LIGHT GREY	
DARK GREY	
YELLOW	
MEDIUM GREY	
DARK BROWN	
BLACK	
BLACK	
CLAY	
CLAY	
DARK GREY	
BLACK	
BLACK	
EARTHTONE/GREYS	
GREY	



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



**DEGEN UNIVERSITY AVENUE MIXED-USE**

LAND USE UDC INITIAL

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date
1	REVISED ELEVATION / ADDED SHEET	01/31/2020

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A201-C-BW**



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY  
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DATE OF ISSUANCE    APRIL 17, 2020

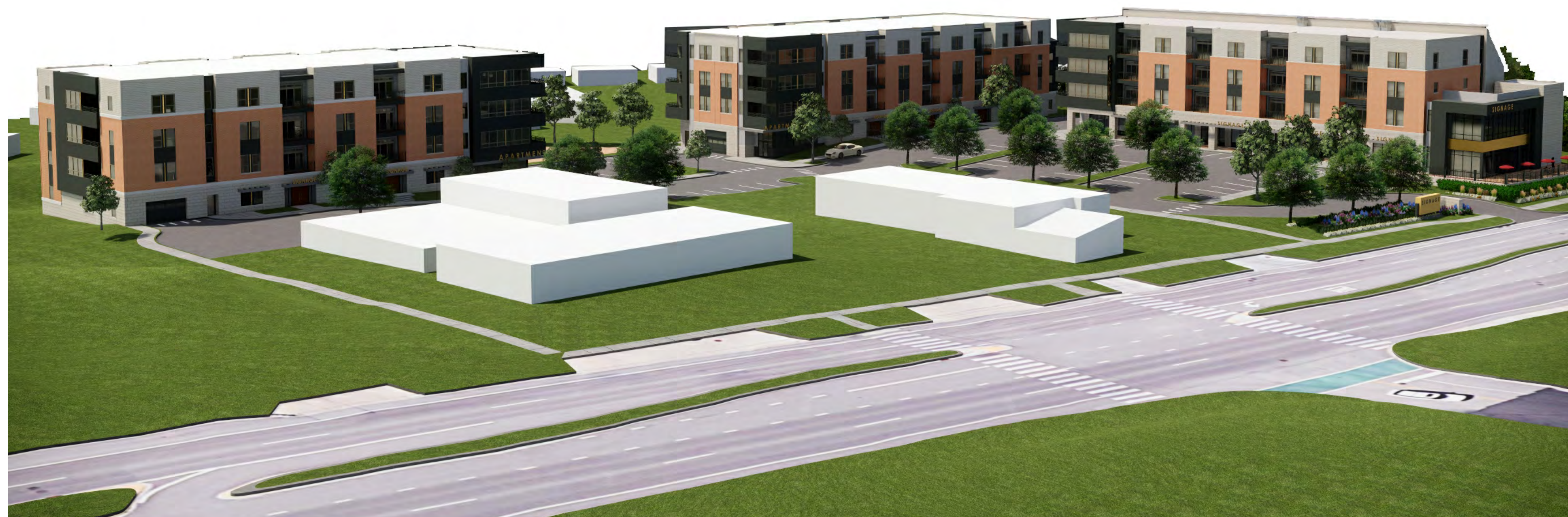
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A220



① PROJECT SITE LOOKING SOUTHWEST  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



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DATE OF ISSUANCE    APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A221



① BUILDING A LOOKING SOUTHEAST  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
jla-ap.com

JLA PROJECT NUMBER: 18-1112



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AVENUE MIXED-USE

LAND USE UDC INITIAL

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DATE OF ISSUANCE    APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A222



① BUILDING A LOOKING SOUTHWEST  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
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JLA PROJECT NUMBER: 18-1112



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DATE OF ISSUANCE    APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A223



① BUILDING 'B' PERSPECTIVE - LOOKING SOUTHWEST  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
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DATE OF ISSUANCE      APRIL 17, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR  
PERSPECTIVES

SHEET NUMBER

A224



① BUILDING 'C' PERSPECTIVE - LOOKING SOUTHEAST  
1/8" = 1'-0"



**JLA**  
ARCHITECTS

MADISON : MILWAUKEE  
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JLA PROJECT NUMBER: 18-1112



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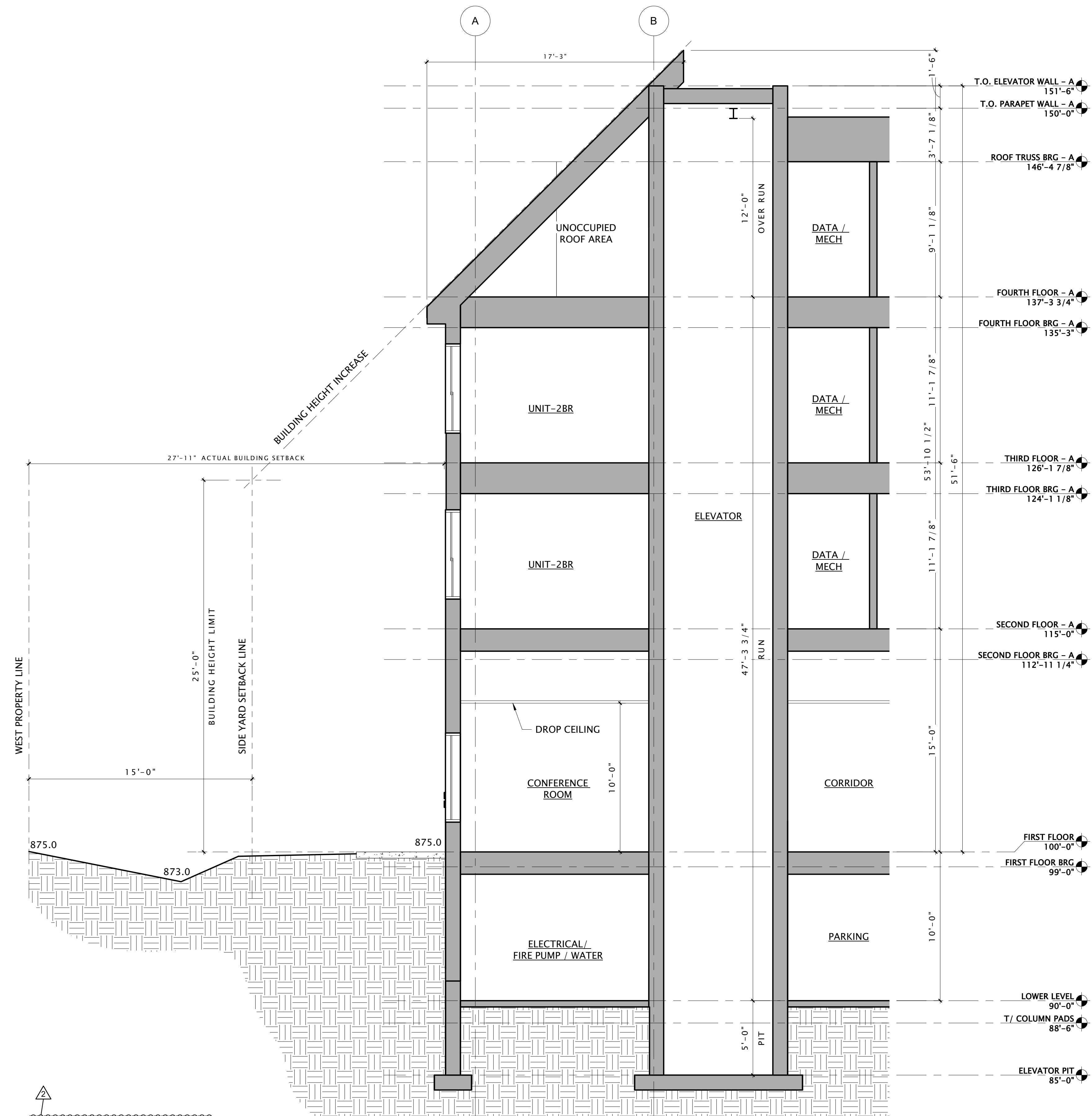
REVISION SCHEDULE		
Mark	Description	Date
2	ADDED SECTION	03/06/2022

SHEET TITLE

WALL SECTIONS

SHEET NUMBER

A310



16 BUILDING A WEST PROPERTY LINE SECTION  
1/4" = 1'-0"

3/17/2020 10:30:17 AM