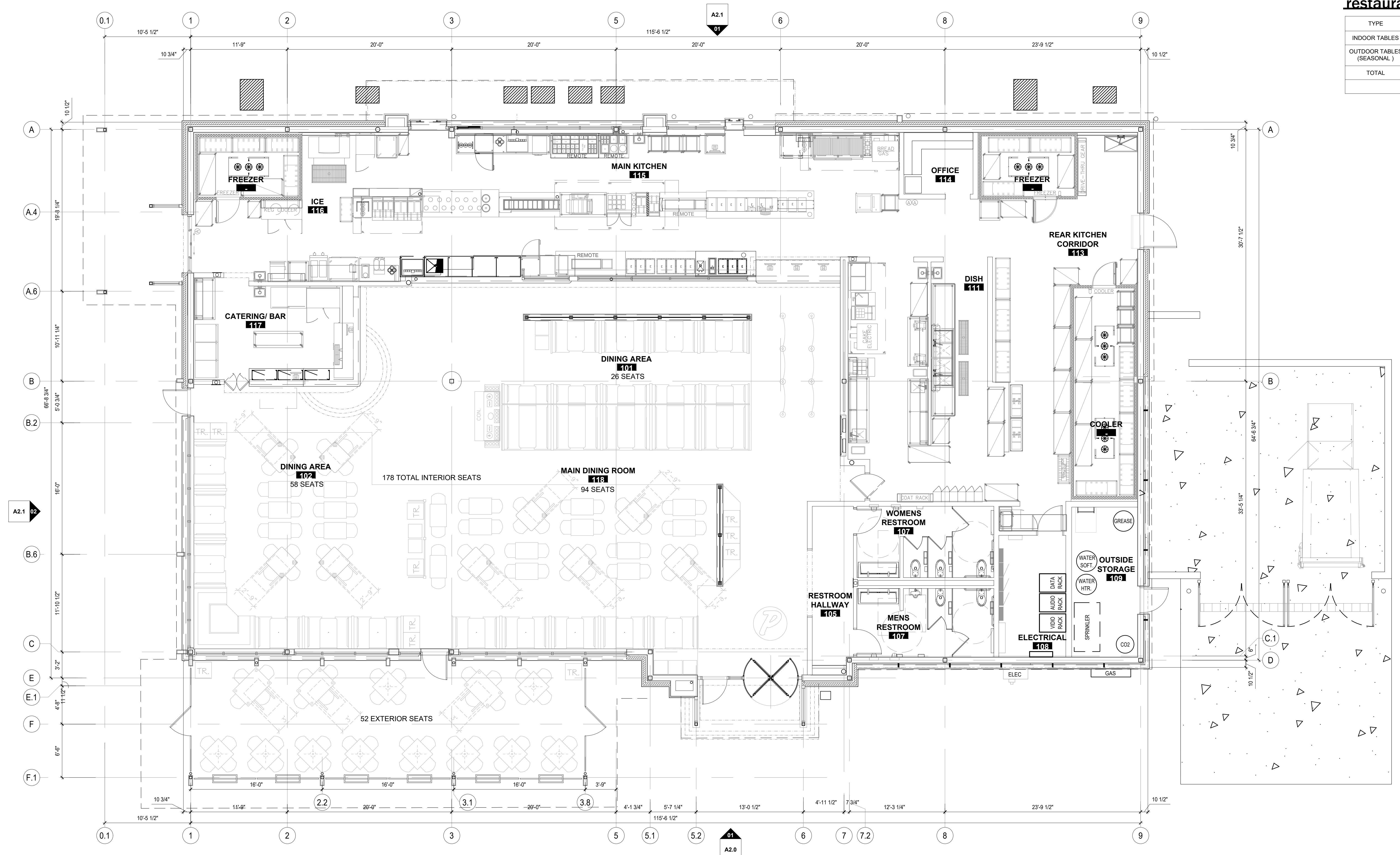


**restaurant seating quantities**

TYPE	TOTAL SEATING	H.C. SEATING	% SEATING H.C.
INDOOR TABLES	178	9	5.05%
OUTDOOR TABLES (SEASONAL)	52	3	5.76%
<b>TOTAL</b>	<b>230</b>	<b>12</b>	<b>5.20%</b>



**01 seating floor plan**  
SCALE | 3/16" = 1'-0"

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Portillo's Hot Dogs, LLC  
2001 Spring Road, Ste 400  
Oak Brook, IL 60523

project info

WEST TOWNE MALL  
522 S. GAMMON ROAD  
MADISON, WI 53719

prototype:  
DINER 2

issue dates

submission:	date
P&Z SUBMISSION	11/18/2020

revisions:

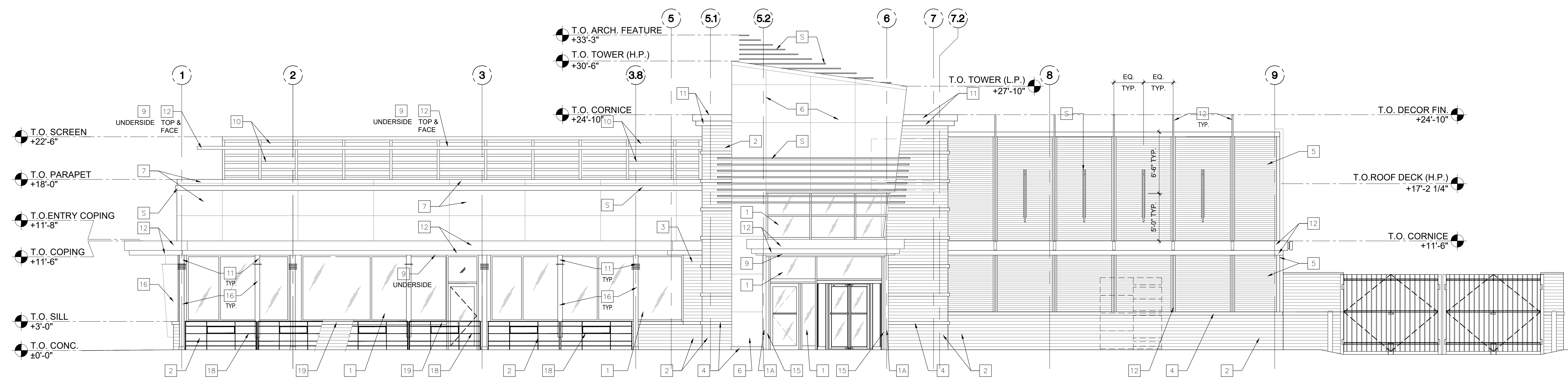
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designed by: NM  
checked by: dtm

seal

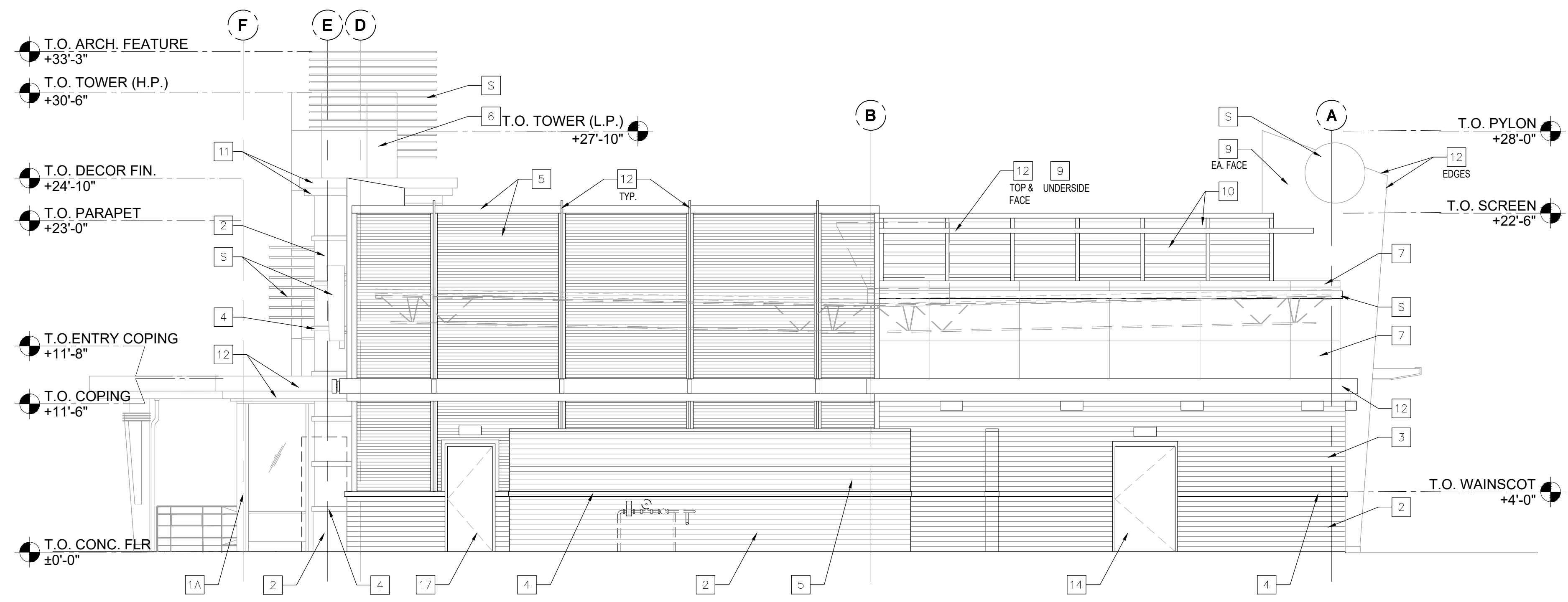
sheet info

EXTERIOR  
ELEVATIONS  
**A2.0**



**01 east elevation (front)**  
SCALE | 3/32" = 1'-0"

MATERIAL SCHEDULE		
KEY NOTE	MATERIAL	MATERIAL SPECIFICATION
1	ALUMINUM STOREFRONT	2"W x 4-1/2"D THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1" INSULATED GLASS CENTER SET, OLD CASTLE SERIES 3000XT OUTSIDE GLAZED OR EQUAL. COLORS: GLASS, "SOLAR GRAY" SOLARBAN 60 (TEMPERED AS REQUIRED), ALUM. CLEAR ANOD.
1A	ALUMINUM STOREFRONT	2"W x 4-1/2"D NON-THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1/4" CENTER SET, OLD CASTLE SERIES FG-1000 OUTSIDE GLAZED OR EQUAL. COLORS: GLASS, CLEAR (TEMPERED AS REQUIRED), ALUM. CLEAR ANOD.
2	FACE BRICK	UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: EBONITE SMOOTH
3	FACE BRICK	UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: RED/BROWN RANGE
4	PRECAST STONE TRIM	SMOOTH FACE CAST STONE TRIM PIECES SIZE AND SHAPE VARY RENAISSANCE STONE COLOR: ALABASTER
5	CORRUGATED WALL PANEL	PRE-FINISHED 7/8" DEEP CORRUGATED WALL PANELS, 24GA. STEEL WITH TRIM PAC-CLAD PETERSEN COLOR: COLONIAL RED
6	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: BONE WHITE
7	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: SILVERSMITH
8	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: RUBY RED
9	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: CARDINAL RED
10	RIBBED METAL PANEL	PRECISION SERIES WALL PANEL HIGHLIGHT C2, (CLIP) 24GA. STEEL PAC-CLAD PETERSEN COLOR: CHARCOAL
11	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: BONE WHITE
12	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: SILVERSMITH
13	SOFFIT PANELS	PRE-FINISHED SOFFIT PANELS PAC-850 HALF VENT, .032 ALUM. WITH TRIM PAC-CLAD PETERSEN OR EQUAL COLOR: CARDINAL RED
14	STAINLESS STEEL	BRUSHED. REFER TO DOOR SCHEDULE SHEET A8.0
15	MISC. BRAKE METAL	CLEAR ANOD. ALUM. TO MATCH STOREFRONT
16	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: CHARCOAL
17	PAINT	PAINT DOOR AND TRIM TO MATCH ADJACENT SURFACES
18	METAL FENCE	ORNAMENTAL IRON FENCE OR EQUAL, SEE DETAIL DRAWING A1.3. POWDER COAT COLOR: TBD
19	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: SILVERSMITH
S	ORNAMENTAL FEATURE	REFER TO A5 SERIES DRAWINGS & SIGN PACKAGE

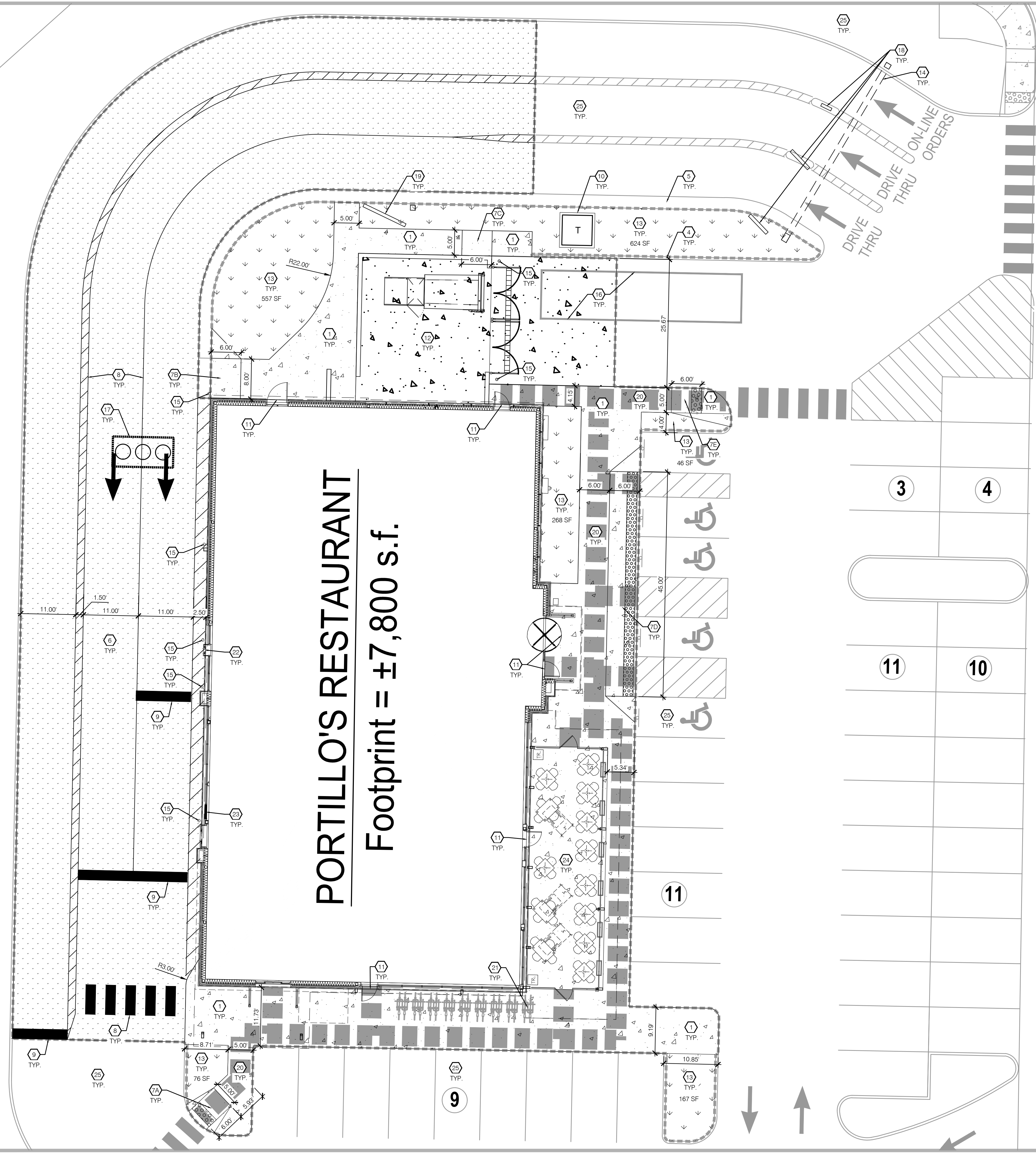


**02 north elevation (side)**  
SCALE | 3/32" = 1'-0"

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**PORTILLO'S RESTAURANT**  
Footprint = ±7,800 s.f.

### keyed notes

- 1 CONCRETE SIDEWALK.
- 2 NOT USED.
- 3 NOT USED.
- 4 CONCRETE CURB BY LANDLORD. SEE LANDLORD'S CIVIL PLANS BY RA SMITH.
- 5 RAISED CURBLESS SIDEWALK BY LANDLORD. SEE LANDLORD'S CIVIL PLANS BY RA SMITH.
- 6 CONCRETE PAVING.
- 7A CURB RAMP A.
- 7B CURB RAMP B.
- 7C CURB RAMP C.
- 7D CURB RAMP D.
- 7E CURB RAMP E.
- 8 ALKYD-READY MIX PAVEMENT STRIPING PER STATE DOT SPECIFICATIONS.
- 9 STOP BAR PER LOCAL JURISDICTION AND STATE DOT OR JURISDICTION STANDARD DRAWING.
- 10 CONCRETE TRANSFORMER PAD PER LOCAL UTILITY COMPANY SPECIFICATIONS. SEE UTILITY PLAN.
- 11 CONTRACTOR TO PROVIDE EXPANSION JOINT AT DOORS AND ALL LOCATIONS WHERE CONCRETE IS SHOWN ADJACENT TO THE BUILDING. SEE ARCHITECTURAL PLANS FOR JOINT DETAIL.
- 12 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
- 13 LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- 14 GATEWAY SIGNAGE FEATURE. SEE ARCHITECTURAL PLANS.
- 15 BOLLARD (7 TOTAL).
- 16 LOADING AREA (40' LENGTH).
- 17 GREASE INTERCEPTOR.
- 18 PRE-SALES BOARD. SEE ARCHITECTURAL PLANS.
- 19 MENU BOARD. SEE ARCHITECTURAL PLANS.
- 20 ACCESSIBLE ROUTE FROM BUILDING TO ACCESSIBLE PARKING STALLS. CROSS SLOPE IS NOT TO EXCEED 2.00%. SEE GRADING PLAN FOR SPOT GRADE ELEVATIONS.
- 21 BICYCLE RACK (9 TOTAL).
- 22 PAY WINDOW. SEE ARCHITECTURAL PLANS.
- 23 PICK-UP WINDOW. SEE ARCHITECTURAL PLANS.
- 24 OUTDOOR SEATING AREA. SEE ARCHITECTURAL PLANS.
- 25 SITE IMPROVEMENTS BY LANDLORD. SEE LANDLORD'S CIVIL PLANS BY RA SMITH.

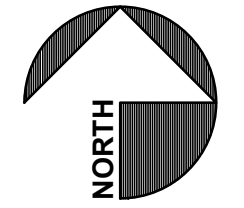
### legend

HEAVY DUTY CONCRETE PAVING.	
NATURAL GRAY CONCRETE	
LANDSCAPE, REFER TO LANDSCAPE PLAN. SEE SHEET L1.01.	
ADA ACCESSIBLE ROUTE: (SEE KEYED NOTE #20)	
LIMITS OF DISTURBANCE	



Know what's below.  
Call before you dig.

SCALE: 1" = 10.00'



7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T  
WDPARTNERS.COM

project no. | PRJNS0002

OWNER



Portillo's Hot Dogs, LLC  
2001 Spring Road, Ste 400  
Oak Brook, IL 60523

### project info

WEST TOWNE MALL  
522 S. GAMMON ROAD  
MADISON, WI 53719

prototype:  
DINER 2

### issue dates

submission:	date
PERMIT	11/17/2020
BID	-
CONSTRUCTION	-

revisions:  
# description date

designed by: BF  
checked by: CV

seal

### sheet info

SITE IMPROVEMENT  
PLAN

**C1.01**

electrical mechanical plumbing equipment architectural structural landscape civil



**EAST ELEVATION - Main Entrance (Patio Location May Vary)**  
Scale: N.T.S.



**SOUTH ELEVATION**  
Scale: N.T.S.

Scheme #1B RED - APRIL 2nd, 2019

File: P:\PRTNS0002\W\_Madison\_WI\_Madison05\Building\Arch\Exterior\Color\Portillo's\_Color\_Elevation\_South.dwg, plotdate: 11/19/2020 7:39:44 AM (4/19)



WEST ELEVATION - Drive-Thru Service

Scale: N.T.S.



NORTH ELEVATION- Rear- Back of House

Scale: N.T.S.

Scheme #1B RED - APRIL 2nd, 2019



Portillo's Hot Dogs, LLC  
2001 Spring Road, Ste 400  
Oak Brook, IL 60523

project info

WEST TOWNE MALL  
522 S. GAMMON ROAD  
MADISON, WI 53719

prototype:  
DINER 2

issue dates

submission: date  
P&Z SUBMISSION 11/18/2020

revisions:

/ # \ description date

designed by: NM  
checked by: dm

seal

sheet info

PROPOSED COLOR  
PERSPECTIVE

3



# ENTRY AND PATIO - Street View (Patio Location May Vary)

Scale: N.T.S.

Scheme #1B RED - APRIL 2nd, 2019

File: P:\PRTNS0002\W\_Madison\_WI\_Madison05\Building\Arch\Engineering\Portillo's\020205\_COLOR\_Exterior\_Elevation.dwg, plotfile: 11/18/2020 7:42 PM (449)

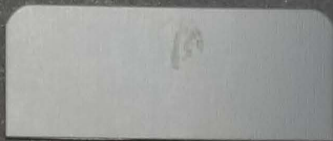




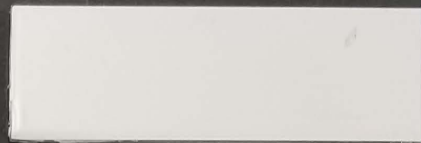




Sioux City Brick: Cabernet Burgundy



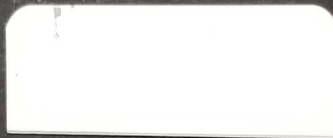
Charcoal



Bone White



Arriscraft White Rocked Georgia Sill



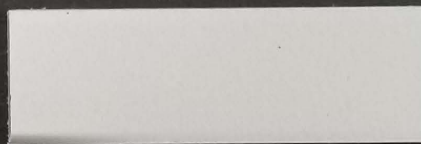
Clear Anodized Aluminum



Brite Red



Colonial Red



Silversmith



Sioux City Brick: Ebonite Smooth



SOUTH ELEVATION - Entrance and Outdoor Patio

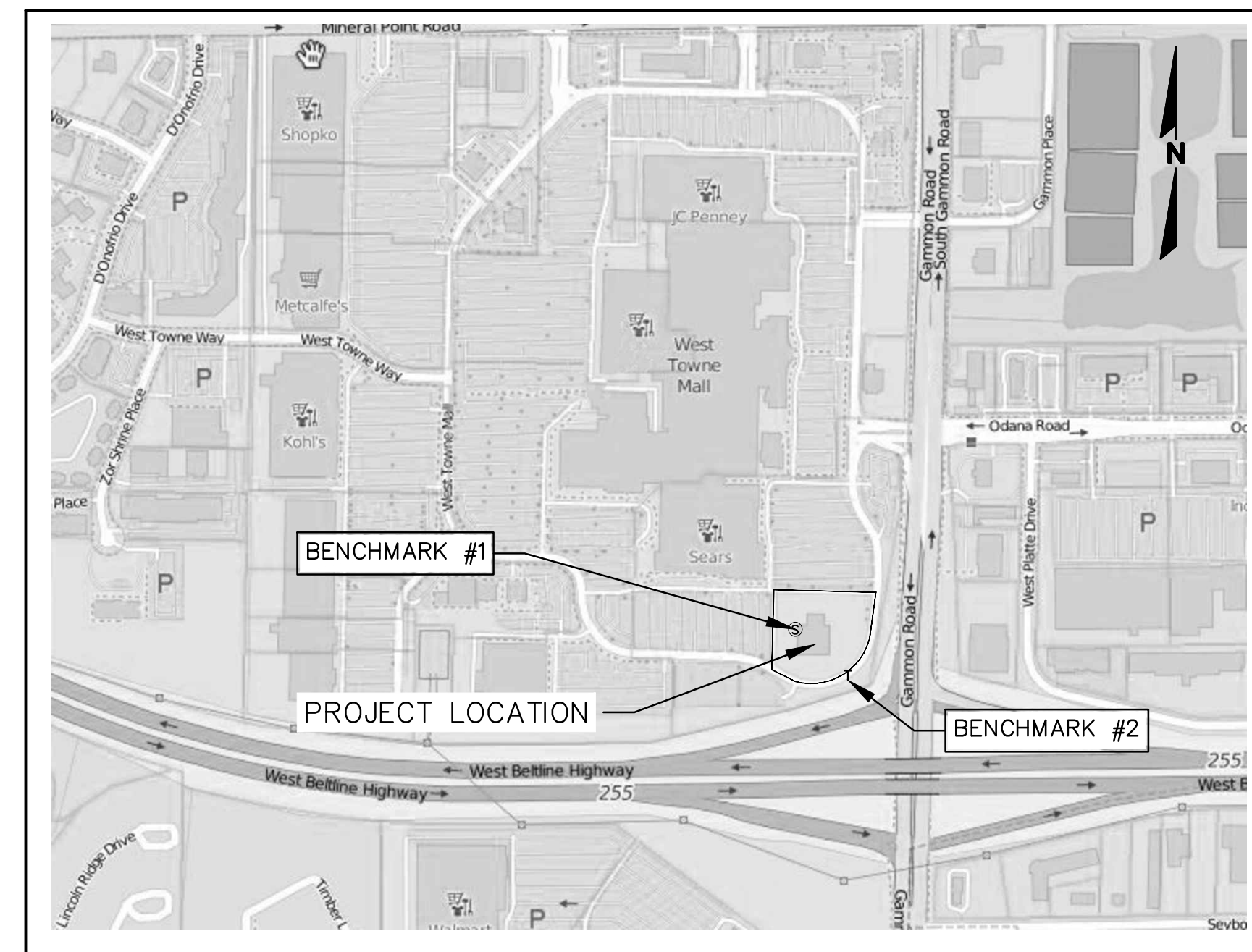
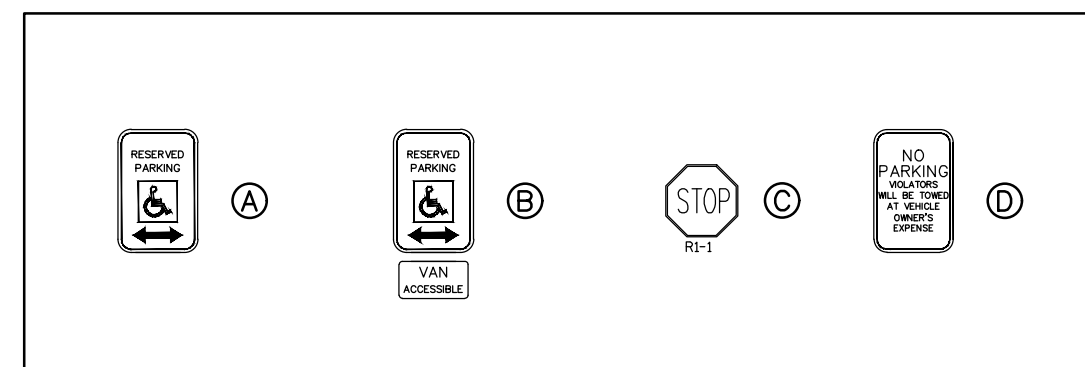
# SITE, GRADING, EROSION CONTROL, PAVING, UTILITY AND LANDSCAPE PLANS

## FOR PORTILLO'S AT WEST TOWNE MALL CITY OF MADISON, WISCONSIN

### LEGEND

PROPOSED	EXISTING	
( )	( )	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
○	○	1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
○	○	1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
○	○	BOLLARD
○	○	SOIL BORING/MONITORING WELL
○	○	FLAGPOLE
○	○	MALBOX
○	○	SIGN
○	○	BILLBOARD
○	○	CONTROL BOX
○	○	TRAFFIC SIGNAL
○	○	RAILROAD CROSSING SIGNAL
○	○	CABLE PEDESTAL
○	○	POWER POLE
○	○	GUY POLE
○	○	GUY WIRE
○	○	LIGHT POLE
○	○	SPOT/PEDESTAL/PAVER ACCENT LIGHT
○	○	HANDICAPPED PARKING
○	○	ELECTRIC MANHOLE
○	○	ELECTRIC PEDESTAL
○	○	TELEPHONE MANHOLE
○	○	TELEPHONE PEDESTAL
○	○	MARKED FIBER OPTIC
○	○	GAS VALVE
○	○	GAS METER
○	○	GAS WARNING SIGN
○	○	STORM MANHOLE
○	○	ROUND INLET OR CATCH BASIN
○	○	SQUARE INLET OR SLOT DRAIN
○	○	STORM SEWER END SECTION
○	○	SANITARY MANHOLE
○	○	CLEANOUT OR VENT
○	○	SANITARY INTERCEPTOR MANHOLE
○	○	MISCELLANEOUS MANHOLE
○	○	WATER VALVE
○	○	HYDRANT
○	○	WATER SERVICE CURB STOP
○	○	WATER MANHOLE
○	○	WELL
○	○	WATER SURFACE
○	○	WETLANDS FLAG
○	○	MARSH
○	○	CONIFEROUS TREE
○	○	DECIDUOUS TREE
○	○	SHRUB
○	○	EDGE OF TREES
○	○	GRAVITY SANITARY SEWER
○	○	SANITARY FORCE MAIN
○	○	STORM SEWER
○	○	WATERMAIN
○	○	GAS MAIN
○	○	ELECTRIC SERVICE
○	○	OVERHEAD WIRES
○	○	BUREAU ELEC. SERV.
○	○	TELEPHONE SERVICE
○	○	MARKED CABLE TV LINE
○	○	MARKED FIBER OPTIC
○	○	GRAVITY LEACHATE SYSTEM
○	○	LEACHATE FORCE MAIN
○	○	EXISTING UTILITY TO BE ABANDONED IN PLACE
○	○	EXISTING MANHOLE/INLET TO BE ABANDONED IN PLACE OR EXISTING LIGHT POLE AND BASE TO BE REMOVED.
○	○	PROPOSED 1-FOOT GRADE CONTOUR
○	○	PROPOSED 5-FOOT GRADE CONTOUR
○	○	SPOT/CURB FLOW LINE ELEVATION
○	○	TOP OF CURB SPOT ELEVATION
○	○	TEMPORARY INLET PROTECTION
○	○	PROPOSED CONSTRUCTION ENTRANCE
○	○	CONCRETE SIDEWALK PAVEMENT
○	○	STANDARD DUTY ASPHALT PAVEMENT
○	○	HEAVY DUTY ASPHALT PAVEMENT
○	○	HEAVY DUTY CONCRETE PAVEMENT
○	○	PROPOSED LANDSCAPE AREA

### SIGN LEGEND



VICINITY MAP  
SCALE: NOT TO SCALE

### GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- VERTICAL DATUM IS NAVD1927.
- TOPOGRAPHIC AND EXISTING CONDITIONS SHOWN HERON CREATED FROM SURVEY DATA TAKEN ON SEPTEMBER 17, 2020.
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION

### BENCHMARKS

**BENCHMARK #1**  
CUT T ON SANITARY RIM  
NORTHWEST CORNER OF EX BLDG  
ELEV: 210.84

**BENCHMARK #2**  
CHISELED T IN CURB  
ELEV: 210.70

### PROJECT DIRECTORY

#### OWNER/DEVELOPER:

**SERTAGE GROWTH PROPERTIES**  
ANDREW GLASSMAN  
DEVELOPMENT ASSOCIATE  
500 FIFTH AVENUE, SUITE 1530  
NEW YORK, NY 10110  
PH: (646)-876-7380  
EMAIL: AGLASSMAN@SERTAGE.COM

**STORM SEWER UTILITY:**  
CITY OF MADISON  
ROBERT PHILLIPS, P.E.  
CITY ENGINEER  
CITY-COUNTY BUILDING  
210 MARTIN LUTHER KING, JR. BLVD.  
MADISON, WI 53703  
PH: (608) 266-4751  
EMAIL: RPHILLIPS@CITYOFMADISON.COM

**ELECTRIC UTILITY:**  
ALLIANT ENERGY  
DENISE GEVLEINER  
PH: (608) 845-1129  
(608) 575-7833

**SANITARY SEWER UTILITY:**  
CITY OF MADISON  
ROBERT PHILLIPS, P.E.  
CITY ENGINEER  
CITY-COUNTY BUILDING  
210 MARTIN LUTHER KING, JR. BLVD.  
MADISON, WI 53703  
PH: (608) 266-4751  
EMAIL: RPHILLIPS@CITYOFMADISON.COM

**MADISON FIRE DEPARTMENT:**  
BILL SULLIVAN  
FIRE PROTECTION ENGINEER  
CITY OF MADISON FIRE DEPARTMENT  
314 WEST DAYTON STREET  
MADISON, WI 53703  
PH: (608) 281-9658  
EMAIL: WSULLIVAN@CITYOFMADISON.COM

**WATER UTILITY:**  
MADISON WATER UTILITY  
ADAM WIEDERHOEFT  
119 EAST OLIN AVE.  
MADISON, WI 53713  
PH: (608) 266-9121  
EMAIL: AWIEDERHOEFT@MADISONWATER.ORG

**GAS UTILITY:**  
MADISON GAS & ELECTRIC COMPANY  
STEVEN BEVERS DORF, P.E.  
133 S BLAIR ST  
MADISON, WI 53788  
PH: (608) 252-1552 OFFICE  
(608) 444-9620 MOBILE

A division of a part of the Southeast 1/4 of the Northeast 1/4 of Section 26, Township 7 North, Range 8 East, in the City of Madison, Dane County, Wisconsin.

COMMENCING at the Southeast corner of the Northeast 1/4 of said Section 26; thence North 01° 18' 41" East along the East line of said 1/4 Section a distance of 265.09 feet to a point; thence North 88° 41' 19" West 319.23 feet to the point of beginning of lands to be described; thence Northwesterly 163.96 feet along an arc of a curve whose center lies the North, whose radius is 179.65 feet and whose chord bears North 87° 40' 53" West 158.33 feet to a point; thence North 61° 32' 05" West 72.39 feet to a point; thence Northwesterly 15.16 feet along an arc of a curve whose center lies the East, whose radius is 10.00 feet and whose chord bears North 18° 06' 28" West 13.75 feet to a point; thence North 25° 19' 10" East 30.59 feet to a point; thence North 01° 18' 41" East 187.04 feet to a point; thence Northeasterly 23.56 feet along an arc of a curve whose center lies the Southeast, whose radius is 15.00 feet and whose chord bears North 46° 18' 41" East 21.21 feet to a point; thence South 88° 41' 19" East 184.65 feet to a point; thence Southeasterly 23.88 feet along an arc of a curve whose center lies the Southwest, whose radius is 15.20 feet and whose chord bears South 43° 41' 19" East 21.50 feet to a point; thence South 01° 18' 41" West 263.57 feet to the point of beginning.

Containing 60,908 Square Feet or 1.3982 Acres.

Prepared for: Sertage SRC Finance LLC  
Fieldwork completed on September 17, 2020

Survey No. 166794.

### PLAN

### INDEX

SHEET NO.	DESCRIPTION
C000	COVER SHEET
C001	EXISTING CONDITIONS
C100	DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING & EROSION CONTROL PLAN
C400	UTILITY PLAN
C500	EROSION CONTROL DETAILS
C501	UTILITY DETAILS
C502	STORMWATER DETAILS
C503	SIGNAGE AND STRIPING DETAILS
C504	PAVING DETAILS
C600	SPECIFICATIONS

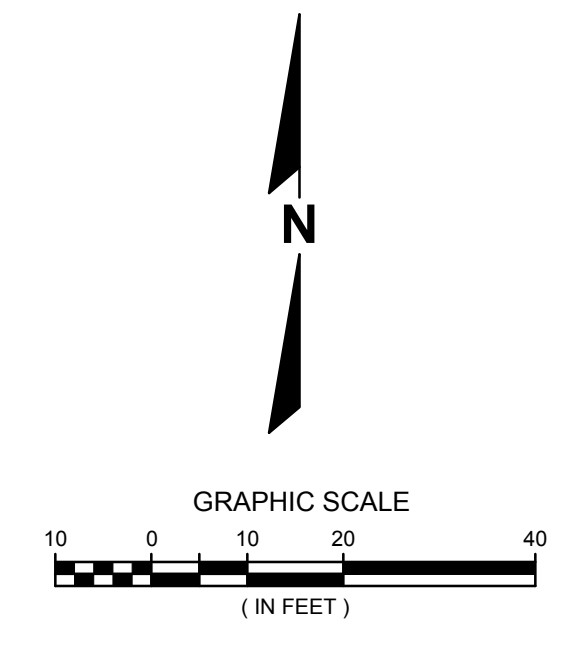
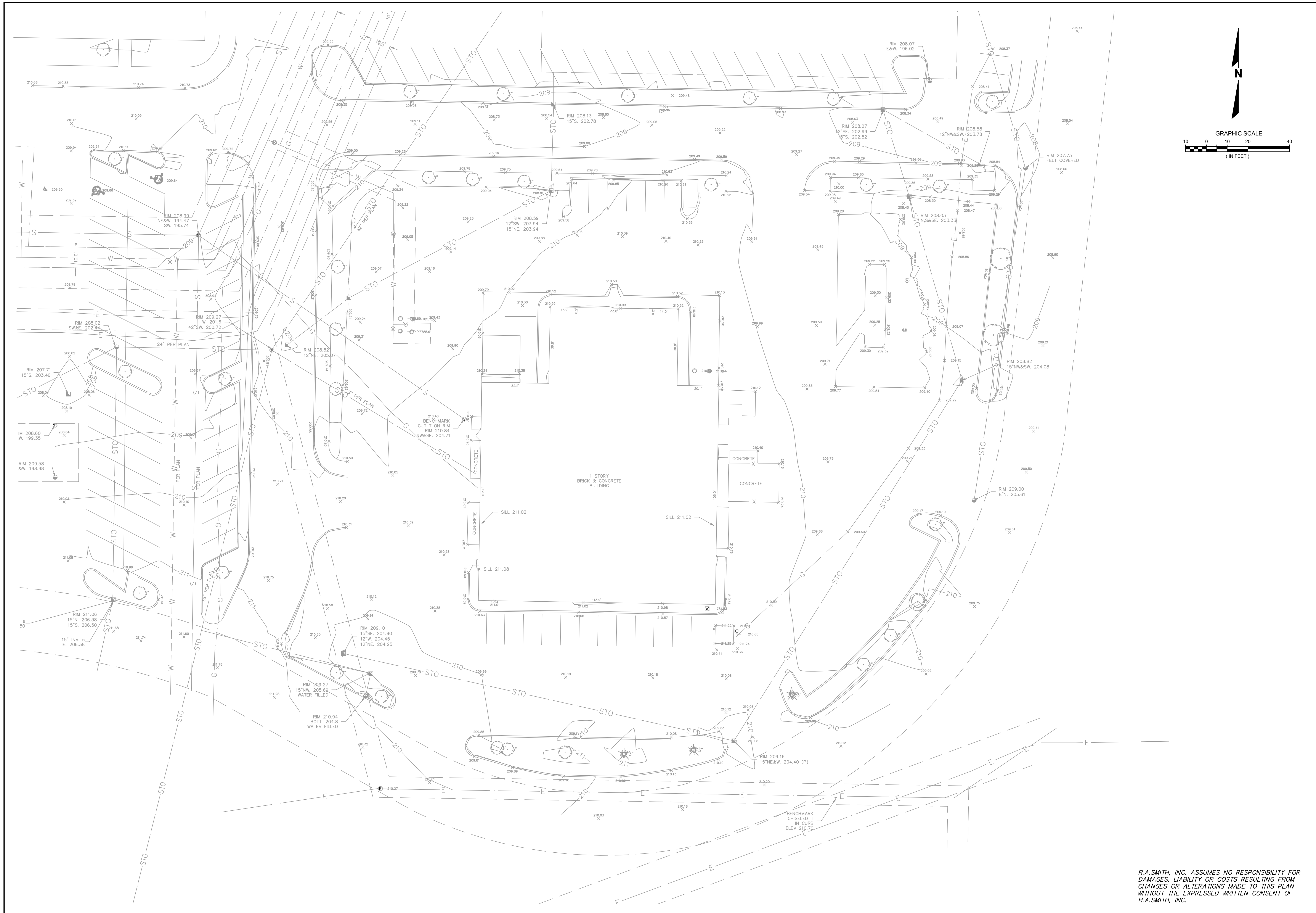
### PLAN DATE: NOVEMBER 18, 2020

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
raSmith.com  
CREATIVITY BEYOND ENGINEERING

**PORTILLO'S AT WEST TOWNE MALL**  
522 S GAMMON ROAD  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

DATE: 11/18/2020  
PROJ. NO: 3200225  
C000



DATE	DESCRIPTION

16745 W. Bluemound Road  
 Brookfield, WI 53005-5938  
 (262) 781-1000  
 rasmith.com

**raSmith**  
 CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
 Mount Pleasant, WI | Naperville, IL | Irvine, CA

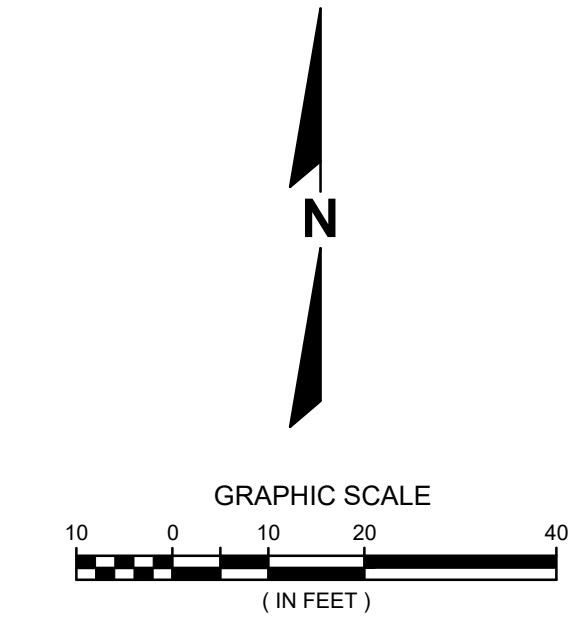
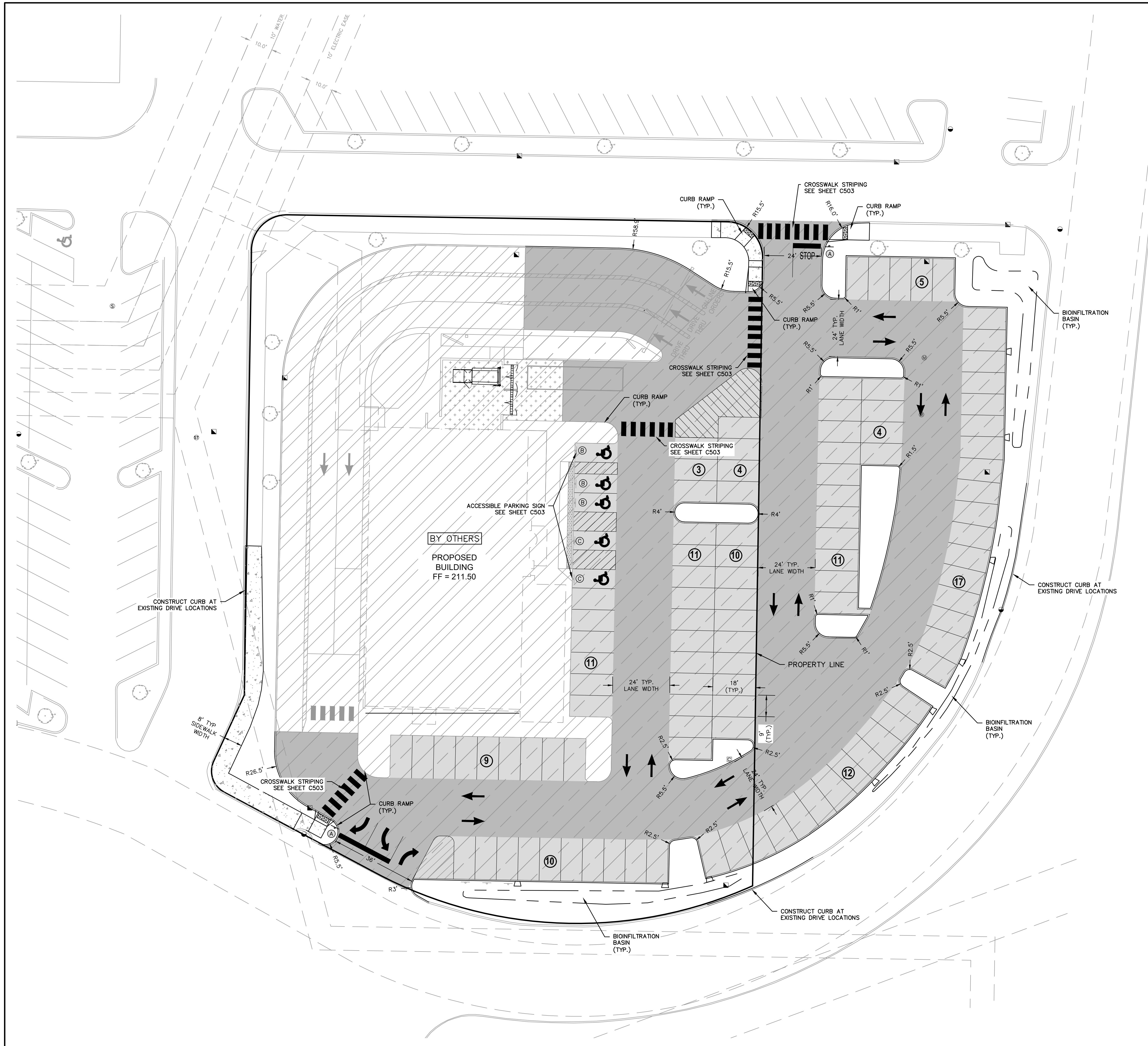
**WEST TOWNE MALL REDEVELOPMENT  
 CITY OF MADISON, WI  
 EXISTING CONDITIONS**

© COPYRIGHT 2020 R.A. Smith, Inc.
DATE: 11/18/2020
SCALE: 1" = 20'
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCOUREK, PE
DESIGNED BY: JLM
CHECKED BY: RJY
<b>SHEET NUMBER</b>
C001

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

N:\3200225\Draw\Sheets\3200225-X001.dwg, EXISTING CONDITIONS, 11/18/2020 8:45:15 AM, 6/1





**KEY MAP**  
NTS

- LEGEND**
- ▲ SIGN
  - PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
  - ▨ HEAVY-DUTY CONCRETE PAVEMENT
  - ▩ LIGHT-DUTY CONCRETE PAVEMENT
  - ▧ BUILDING PAD AND DRIVE THROUGH BY OTHERS
  - ▦ STANDARD-DUTY ASPHALT PAVEMENT OVERLAY
  - ▤ HEAVY-DUTY ASPHALT PAVEMENT
  - ▥ STANDARD-DUTY ASPHALT PAVEMENT
  - ♿ PROPOSED PAVEMENT MARKING (PARKING LOT)
  - PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC. (PARKING LOT)
  - BUILDING OUTLINE
  - PROJECT LIMITS

**SIGN LEGEND**

- Ⓐ STOP SIGN
- Ⓑ ADA
- Ⓒ ADA VAN

**GENERAL NOTES:**

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC. DATED SEPTEMBER 17, 2020.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.

SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH.

SITE CALCULATIONS			
	AC	SF	% OF PROJECT AREA
TOTAL PROJECT AREA:	2.03	88,323	-
EXISTING IMPERVIOUS AREA:	1.86	81,029	91.74%
PROPOSED IMPERVIOUS AREA:	1.72	74,972	84.88%
PROPOSED SITE GREENSPACE:	0.31	13,351	15.12%
EXISTING BUILDING AREA:	0.52	14,260	16.15%
PROPOSED BUILDING AREA:	0.18	7,763	8.79%

SITE DATA	
APPROVED PARKING (2017 SITE PLAN - 26,200 SF)	119 (115 & 4 ADA)
PROPOSED PARKING (PORTILLO'S - 7,763 SF)	61 (56 & 5 ADA)
PROPOSED PARKING (SERITAGE)	46
PROPOSED BIKE PARKING	18



Know what's below.  
Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

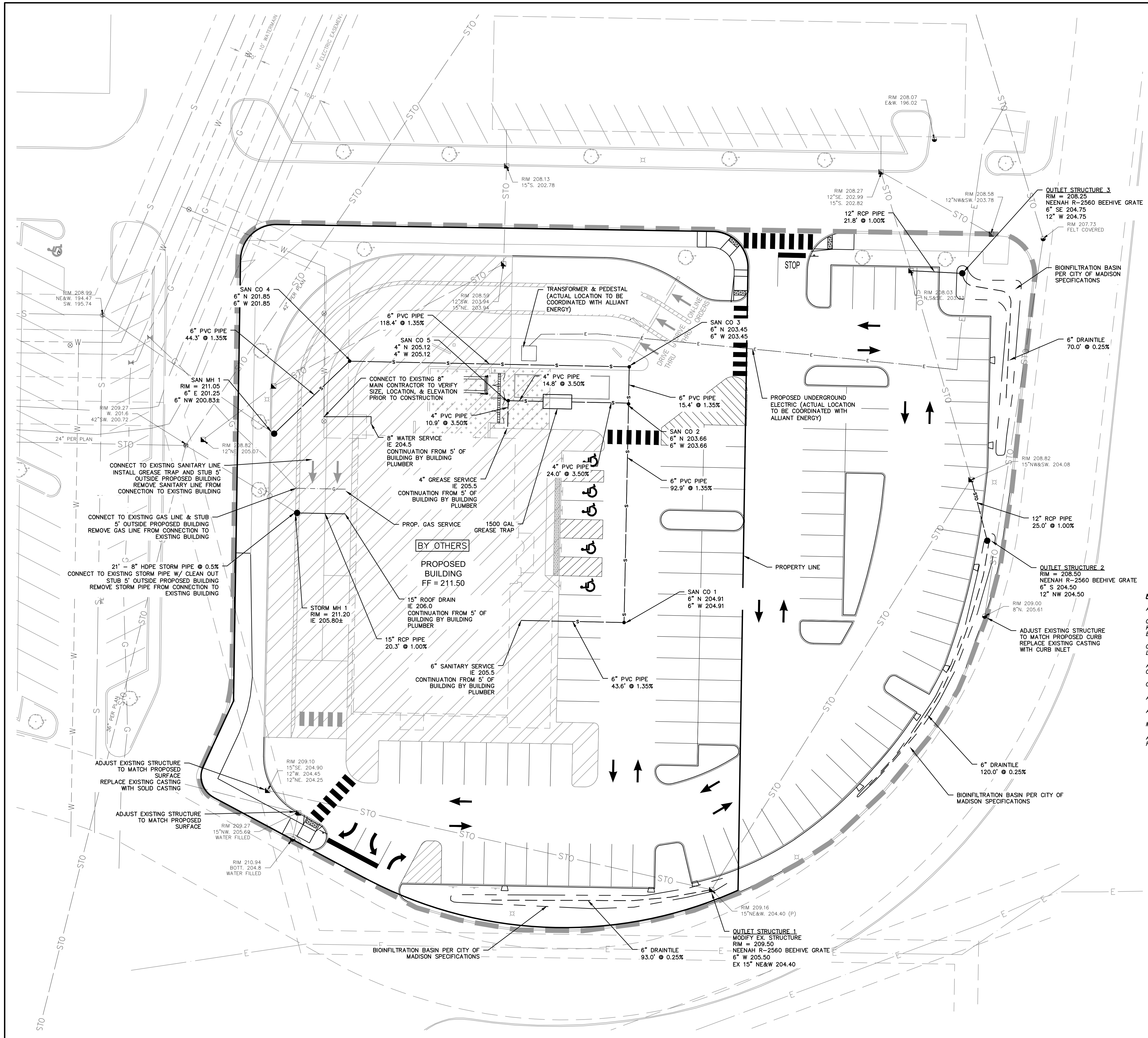
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Menomonee Falls, WI | Wauwatosa, WI | Waukesha, WI | Janesville, WI | Inone, CA

**WEST TOWNE MALL REDEVELOPMENT**  
**CITY OF MADISON, WI**

**SITE PLAN**

© COPYRIGHT 2020 R.A. Smith, Inc.
DATE: 11/18/2020
SCALE: 1" = 20'
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCOUREK, PE
DESIGNED BY: JLM
CHECKED BY: RJY
<b>SHEET NUMBER</b>
C200





**KEY MAP**  
NTS

**LEGEND**

- EXISTING SANITARY MANHOLE
- EXISTING STORM STRUCTURES
- EXISTING POWER POLES
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN
- PROPOSED UNDERDRAIN (SEE DETAILS, C502)
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED GAS LINE
- BUILDING PAD AND DRIVE THROUGH BY OTHERS

**NOTES**

- ALL PIPE LENGTHS ARE TO CENTER OF EXISTING OR PROPOSED STRUCTURE.
- CONTRACTOR SHALL FIELD VERIFY ALL PROPOSED POINTS OF CONNECTION TO EXISTING PIPE, STRUCTURES OR KNOWN CROSSINGS PRIOR TO PROPOSED UTILITY CONSTRUCTION. CONTACT ENGINEER FOR POSSIBLE REDESIGN IF EXISTING PIPE SIZES OR INVERTS VARY FROM THIS PLAN.
- CONTRACTOR SHALL FIELD ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE WITHIN THE PROJECT LIMITS. SEE GRADING PLAN FOR PROPOSED RIM GRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- CONTRACTOR TO FIELD LOCATE ALL EXISTING LATERAL LOCATIONS & ELEVATIONS PRIOR TO UTILITY CONSTRUCTION.
- ALL WATER SERVICES SHALL HAVE MINIMUM 6.0' OF COVER.
- ALL STORM STRUCTURES ARE 48" DIAMETER UNLESS OTHERWISE NOTED.
- MEP TO PROVIDE CONTINUATION OF UTILITIES FROM 5' OF BUILDING.
- ALL CATCH BASINS (CB) SHALL BE INSTALLED WITH FLOGRAD PLUS INSERT FILTERS TO MEET THE CITY OF MADISON REQUIREMENTS FOR OIL AND GREASE CONTROL.



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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

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Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Naperville, IL | Irvine, CA

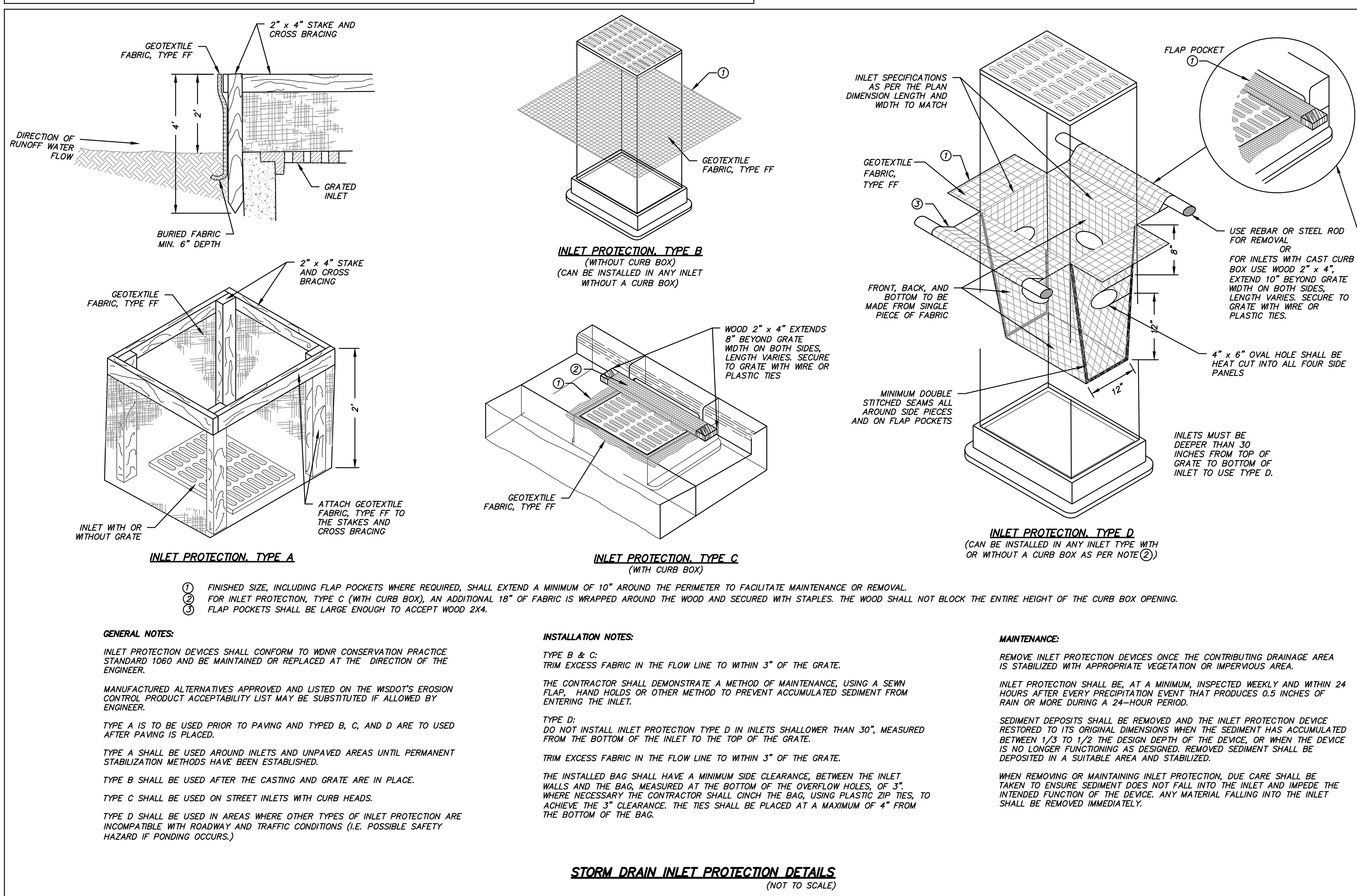
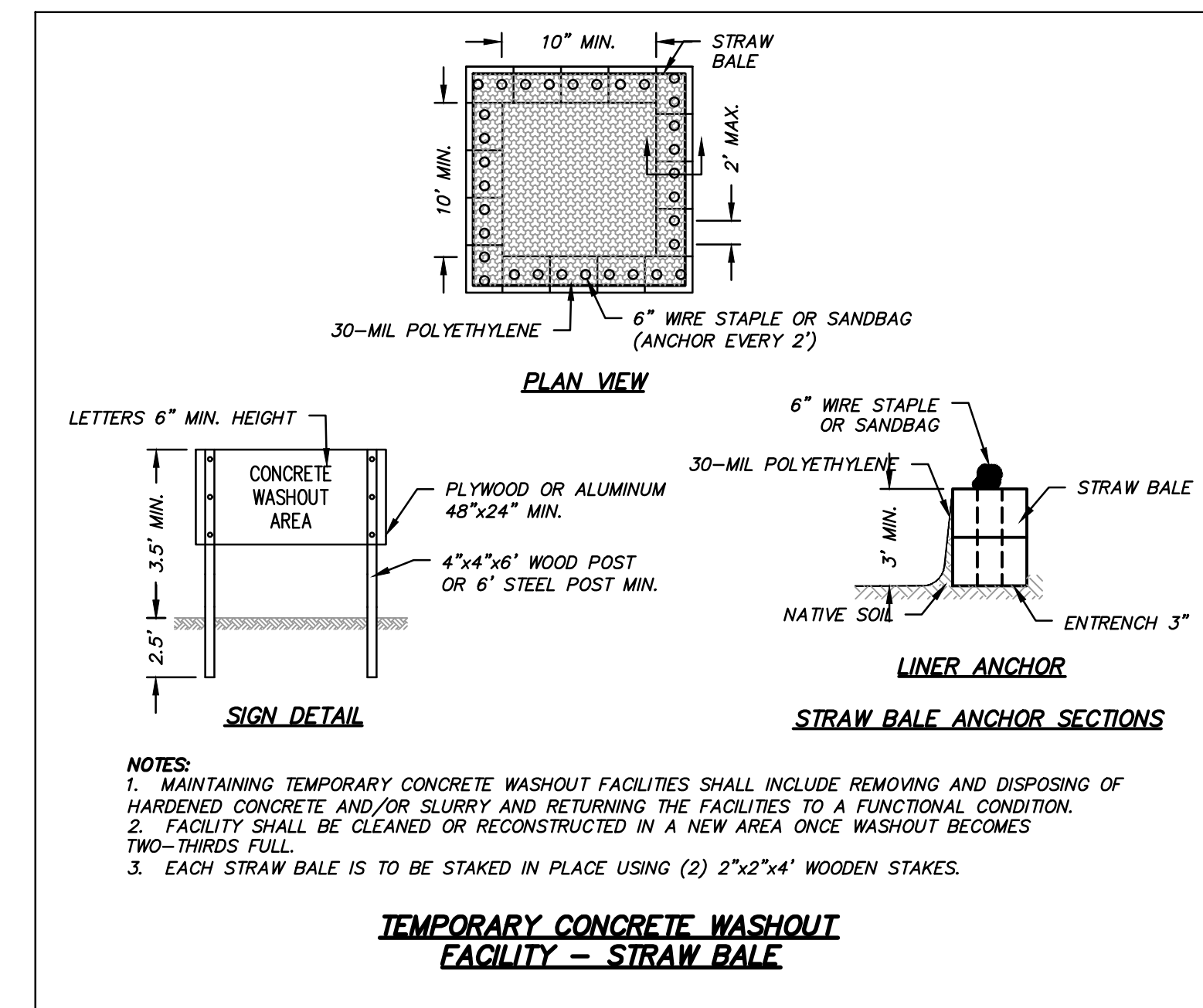
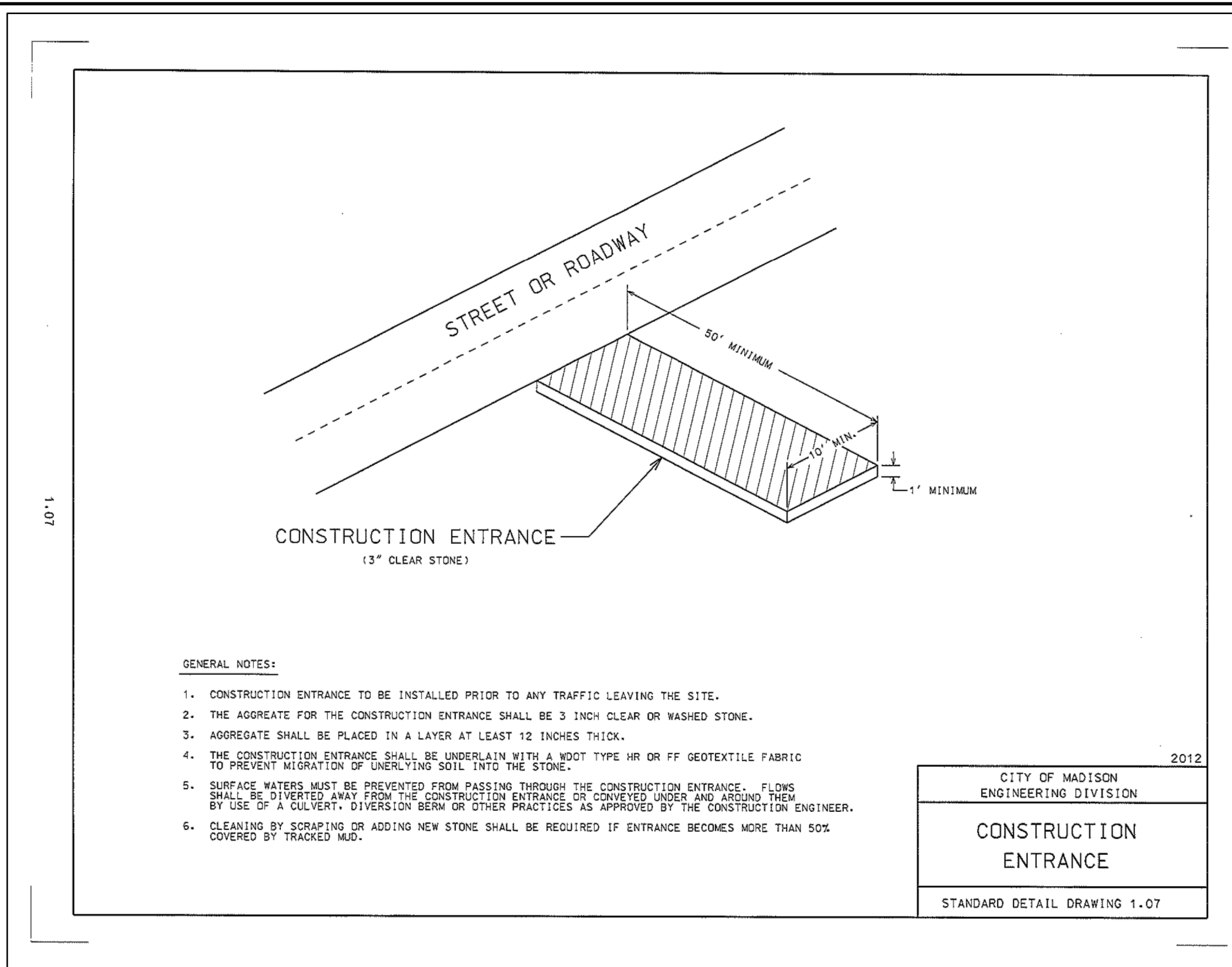
**WEST TOWNE MALL REDEVELOPMENT  
CITY OF MADISON, WI**

**UTILITY PLAN**

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DATE: 11/18/2020
SCALE: 1" = 20'
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCUREK, PE
DESIGNED BY: JLM
CHECKED BY: RJY
<b>SHEET NUMBER</b>
C400

N:\3200225\Draw\Sheets\3200225-UP01.dwg, UTILITY PLAN, 11/18/2020 8:17:10 AM, rjy

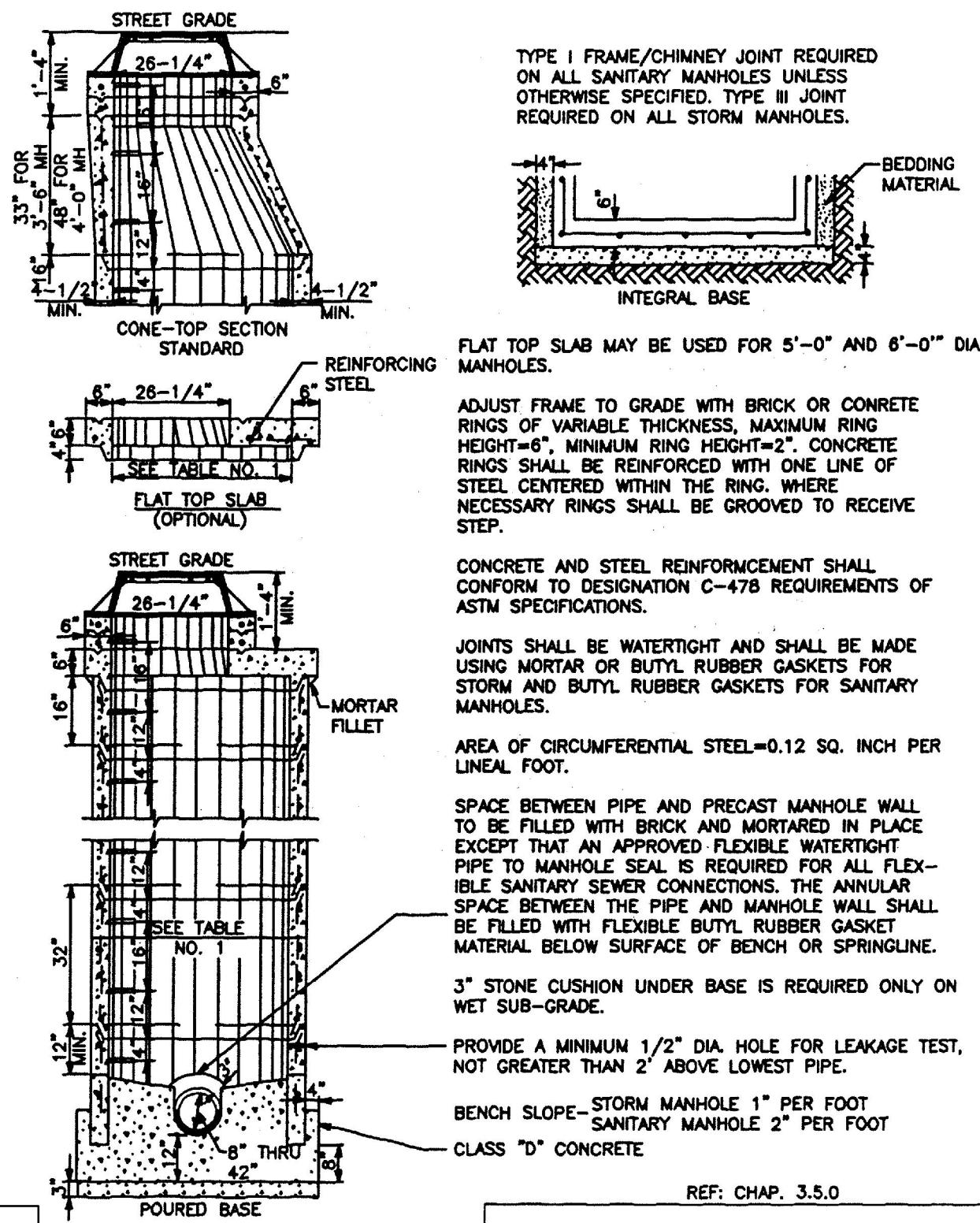




DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com <b>raSmith</b> CREATIVITY BEYOND ENGINEERING	
WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI EROSION CONTROL DETAILS	
© COPYRIGHT 2020 R.A. Smith, Inc. DATE: 11/18/2020 SCALE: N.T.S. JOB NO. 3200225 PROJECT MANAGER: MATT P. KOCOUREK, PE DESIGNED BY: CHECKED BY: SHEET NUMBER C500	

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
 Mount Pleasant, WI | Naperville, IL | Irvine, CA

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TYPE I FRAME/CHIMNEY JOINT REQUIRED ON ALL SANITARY MANHOLES UNLESS OTHERWISE SPECIFIED. TYPE III JOINT REQUIRED ON ALL STORM MANHOLES.

ADJUST FRAME TO GRADE WITH BRICK OR CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT=6". MINIMUM RING HEIGHT=2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.

CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.

JOINTS SHALL BE WATER TIGHT AND SHALL BE MADE USING MORTAR OR BUTYL RUBBER GASKETS FOR STORM AND BUTYL RUBBER GASKETS FOR SANITARY MANHOLES.

AREA OF CIRCUMFERENTIAL STEEL=0.12 SQ. INCH PER LINEAL FOOT.

SPACE BETWEEN PIPE AND PRECAST MANHOLE WALL TO BE FILLED WITH BRICK AND MORTARED IN PLACE EXCEPT THAT AN APPROVED FLEXIBLE WATER TIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL FLEXIBLE SANITARY SEWER CONNECTIONS. THE ANNULAR SPACE BETWEEN THE PIPE AND MANHOLE WALL SHALL BE FILLED WITH FLEXIBLE BUTYL RUBBER GASKET MATERIAL BELOW SURFACE OF BENCH OR SPRINGLINE.

3" STONE CUSHION UNDER BASE IS REQUIRED ONLY ON WET SUB-GRADE.

PROVIDE A MINIMUM 1/2" DIA. HOLE FOR LEAKAGE TEST, NOT GREATER THAN 2' ABOVE LOWEST PIPE.

BENCH SLOPE - STORM MANHOLE 1" PER FOOT  
 SANITARY MANHOLE 2" PER FOOT

CLASS "D" CONCRETE

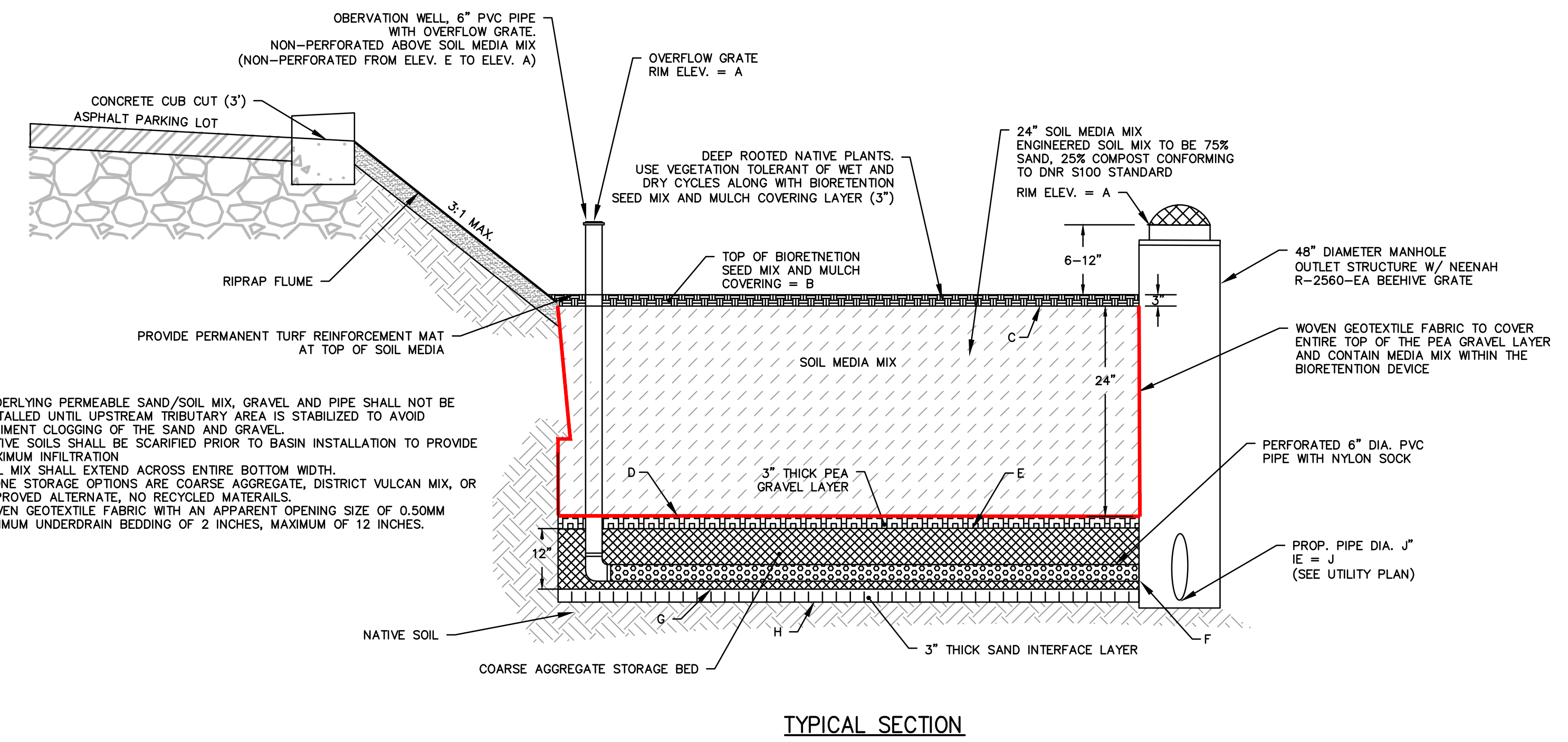
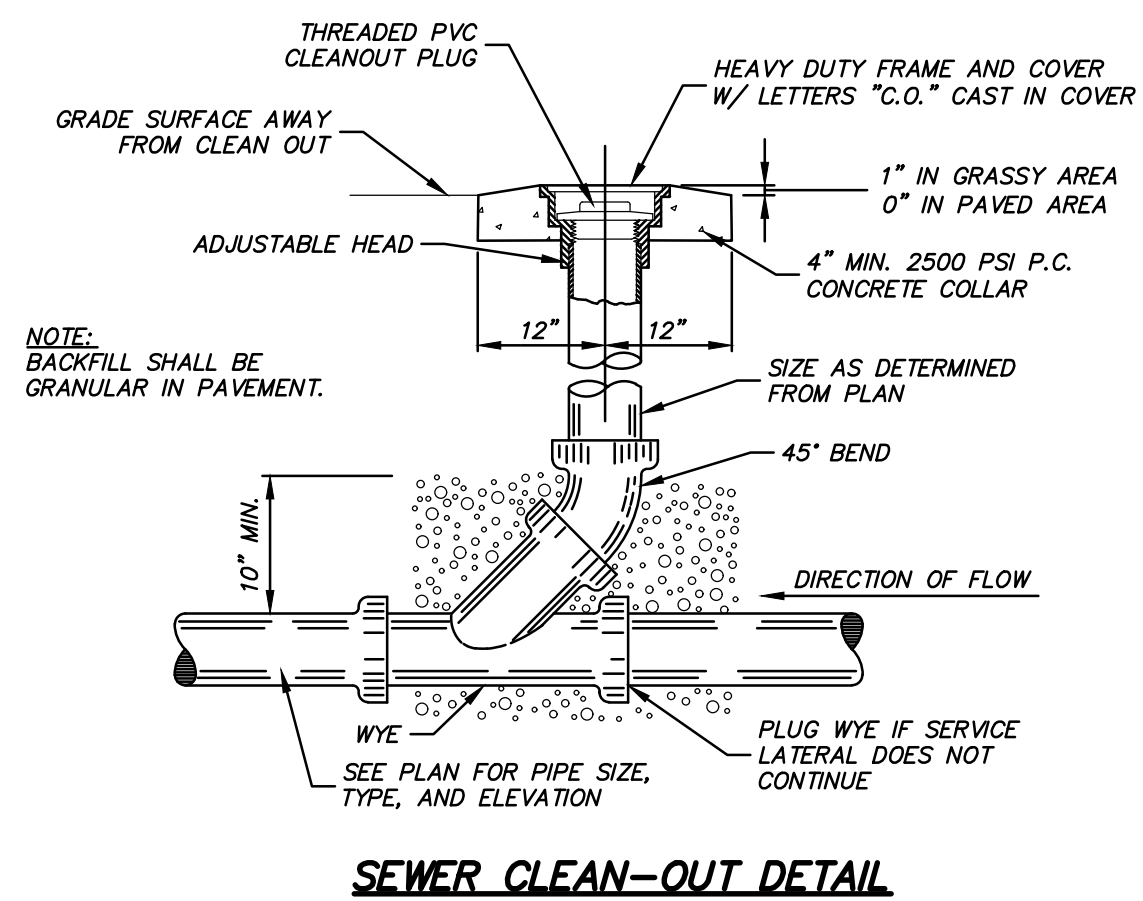
REF: CHAP. 3.5.0

PRECAST MANHOLE	
NOT TO SCALE	FILE NO. 12

NOTES:  
 CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

FOR ALL INLETS REFER TO FILE No. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, DETAIL ABOVE)

**STORM INLET DETAIL**



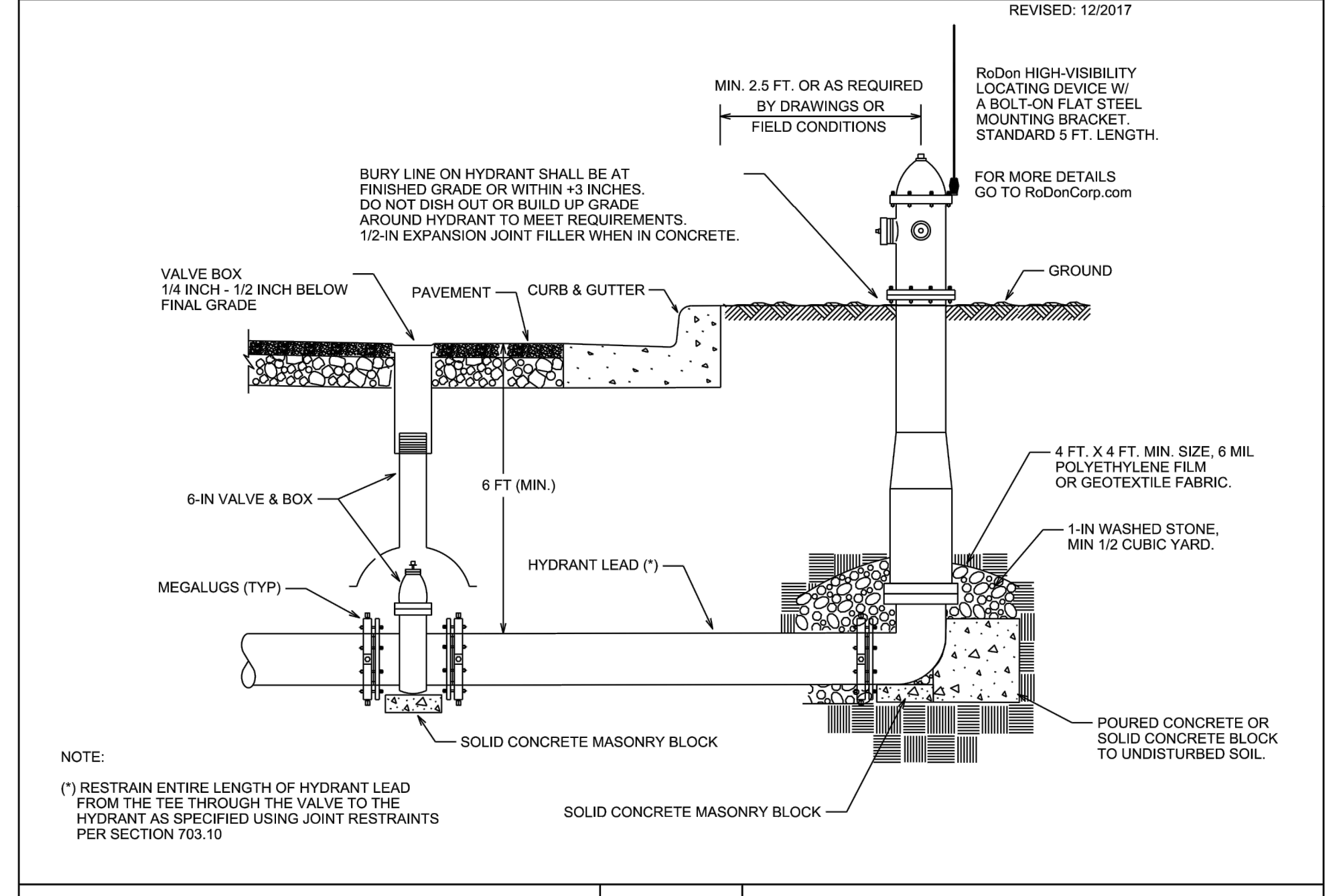
- NOTES:
- UNDERLYING PERMEABLE SAND/SOIL MIX, GRAVEL AND PIPE SHALL NOT BE INSTALLED UNTIL UPSTREAM TRIBUTARY AREA IS STABILIZED TO AVOID SEDIMENT CLOSING OF THE SAND AND GRAVEL.
  - NATIVE SOILS SHALL BE SCARIFIED PRIOR TO BASIN INSTALLATION TO PROVIDE MAXIMUM INFILTRATION.
  - SOIL MIX SHALL EXTEND ACROSS ENTIRE BOTTOM WIDTH.
  - STONE STORAGE OPTIONS ARE COARSE AGGREGATE, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE, NO RECYCLED MATERIALS.
  - WOVEN GEOTEXTILE FABRIC WITH AN APPARENT OPENING SIZE OF 0.50MM MINIMUM UNDERDRAIN BEDDING OF 2 INCHES, MAXIMUM OF 12 INCHES.

BASIN NAME	EMERGENCY OVERFLOW SPILLWAY	A RIM ELEVATION	B TOP OF BIOSWALE SEED MIX AND MULCH	C TOP OF SOIL MEDIA MIX	D TOP OF PEA GRAVEL	E TOP OF AGGREGATE STORAGE	F INVERT OF UNDERDRAIN	G TOP OF SAND INTERFACE LAYER	H BOTTOM OF BASIN	J OUTLET PIPE SIZE/INVERT ELEVATION
BIOSWALE 1	209.35	209.50	209.00	208.75	206.75	206.50	205.50	205.50	205.25	15"/204.40
BIOSWALE 2	208.65	208.50	208.00	207.75	205.75	205.50	204.50	204.50	204.25	12"/204.50
BIOSWALE 3	208.40	208.25	207.50	207.25	205.25	205.00	204.00	204.00	203.75	12"/204.00

**BIOSWALE DETAIL**  
 (NOT TO SCALE)

**PART VII - WATER MAINS AND SERVICE LATERALS**

**DETAIL DRAWING NO. 7.04**  
 REVISED: 12/2017



CITY OF MADISON WATER UTILITY	NOT TO SCALE	TYPICAL HYDRANT INSTALLATION
-------------------------------	--------------	------------------------------

City of Madison Standard Specifications for Public Works Construction

DESCRIPTION
DATE

16745 W. Bluemound Road  
 Brookfield, WI 53005-5938  
 (262) 781-1000  
 rasmith.com

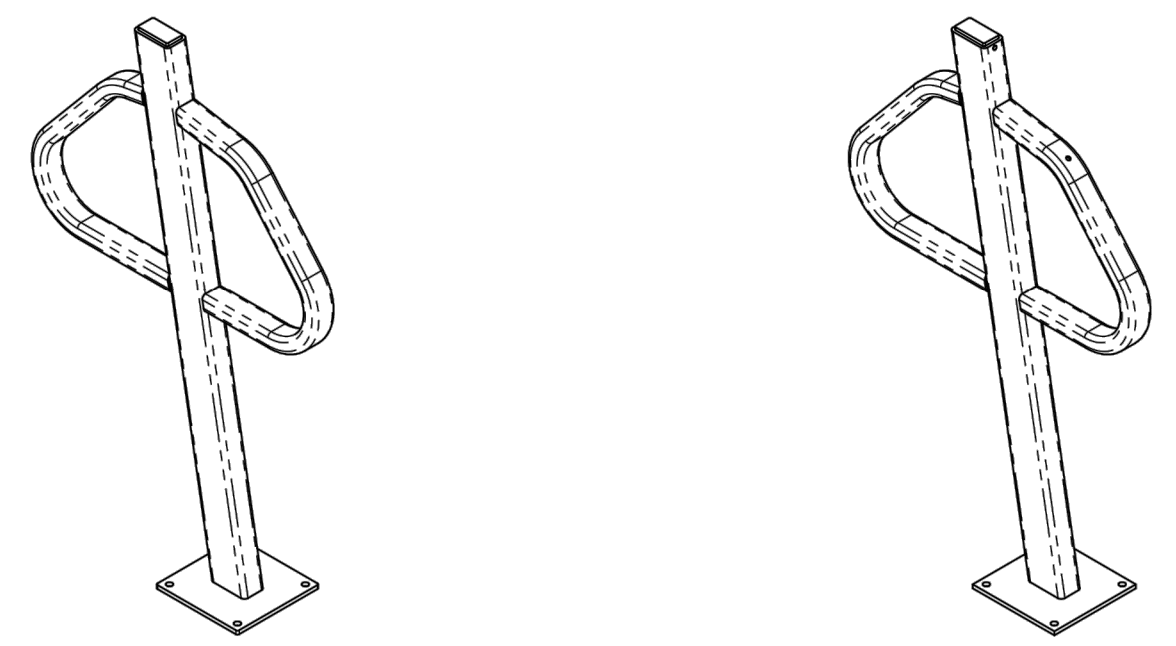


**WEST TOWNE MALL REDEVELOPMENT  
 CITY OF MADISON, WI**

**UTILITY DETAILS**

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 R.A. Smith, Inc.  
 DATE: 11/18/2020  
 SCALE: N.T.S.  
 JOB NO. 3200225  
 PROJECT MANAGER:  
 MATT P. KOCOUREK, PE  
 DESIGNED BY: JLM  
 CHECKED BY: RJY

<b>SHEET NUMBER</b>
C501



**FLANGE MOUNT PAINTED**

**FLANGE MOUNT GALVANIZED**

**NOTES:**

- DO NOT SCALE DRAWING.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- WEIGHT IS RACK ONLY, NOT TO BE CONSIDERED AS SHIPPING WEIGHT.
- FINISHING OPTIONS INCLUDE SUPER DURABLE POLYESTER POWDERCOAT AND HOT DIP GALVANIZING.
- SEE WEBSITE OR CATALOG FOR POLYESTER POWDERCOAT COLOR OPTIONS.



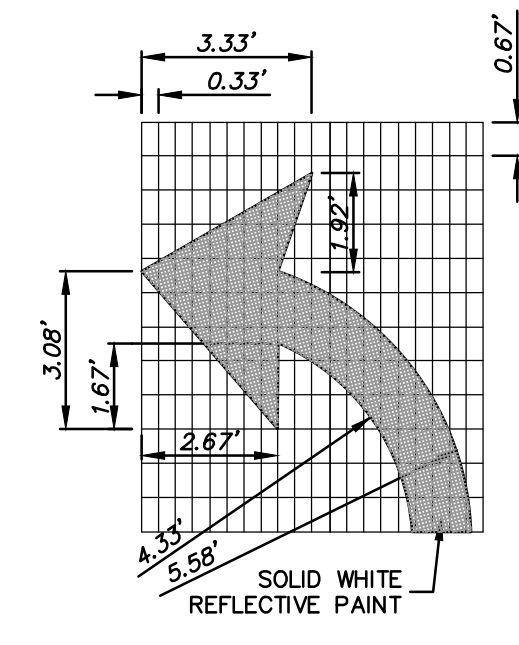
WE BRING CYCLING TO LIFE

**SARIS CYCLING GROUP**

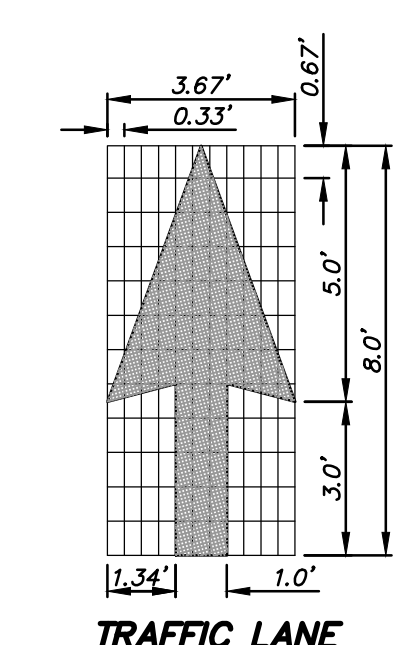
5253 VERONA RD., MADISON WI. 53711  
1-800-783-7257 / 1-608-274-1702  
WWW.SARISPARKING.COM

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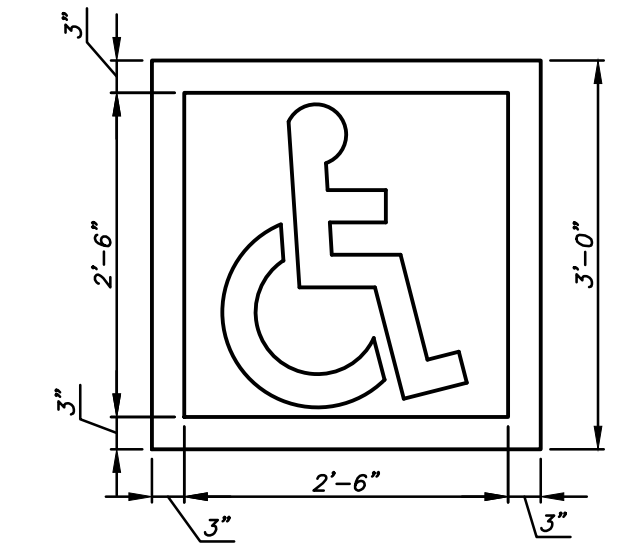
TITLE: **POST AND RING, 2450 SERIES, FM**



**TURNING ARROW**

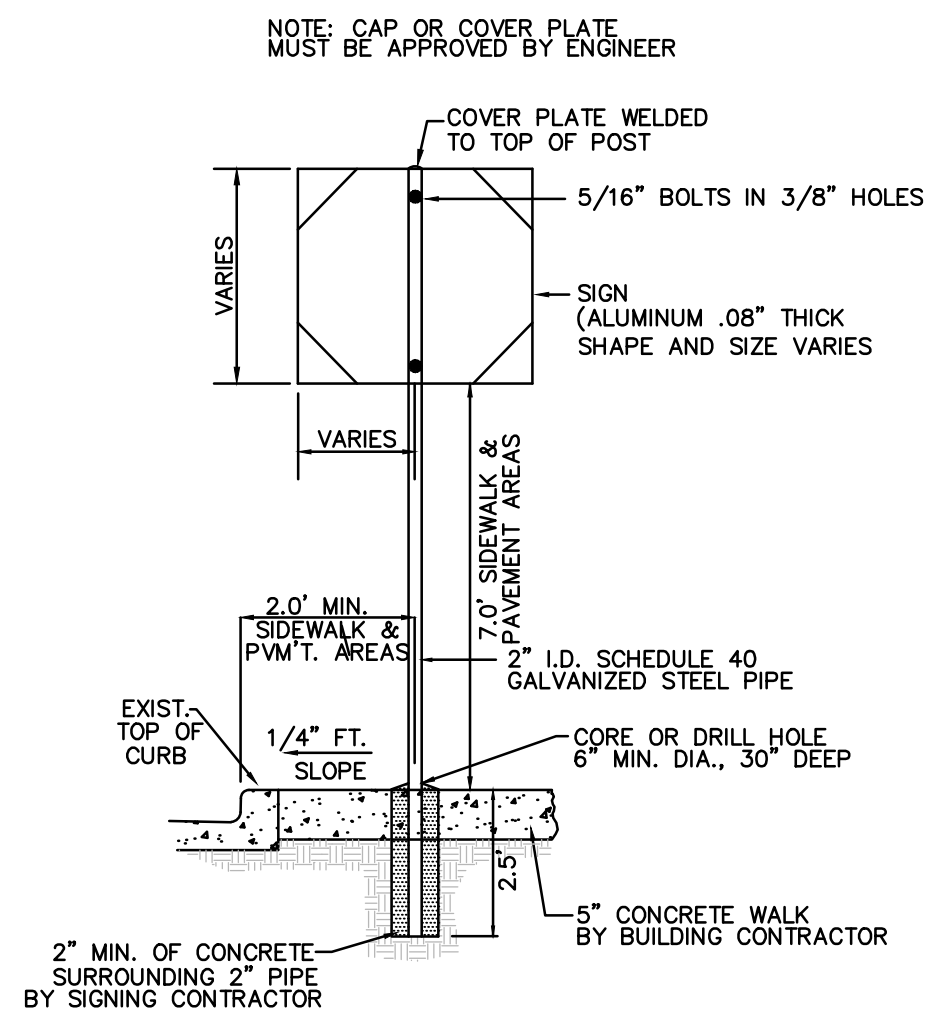


**TRAFFIC LANE DIRECTIONAL ARROW**

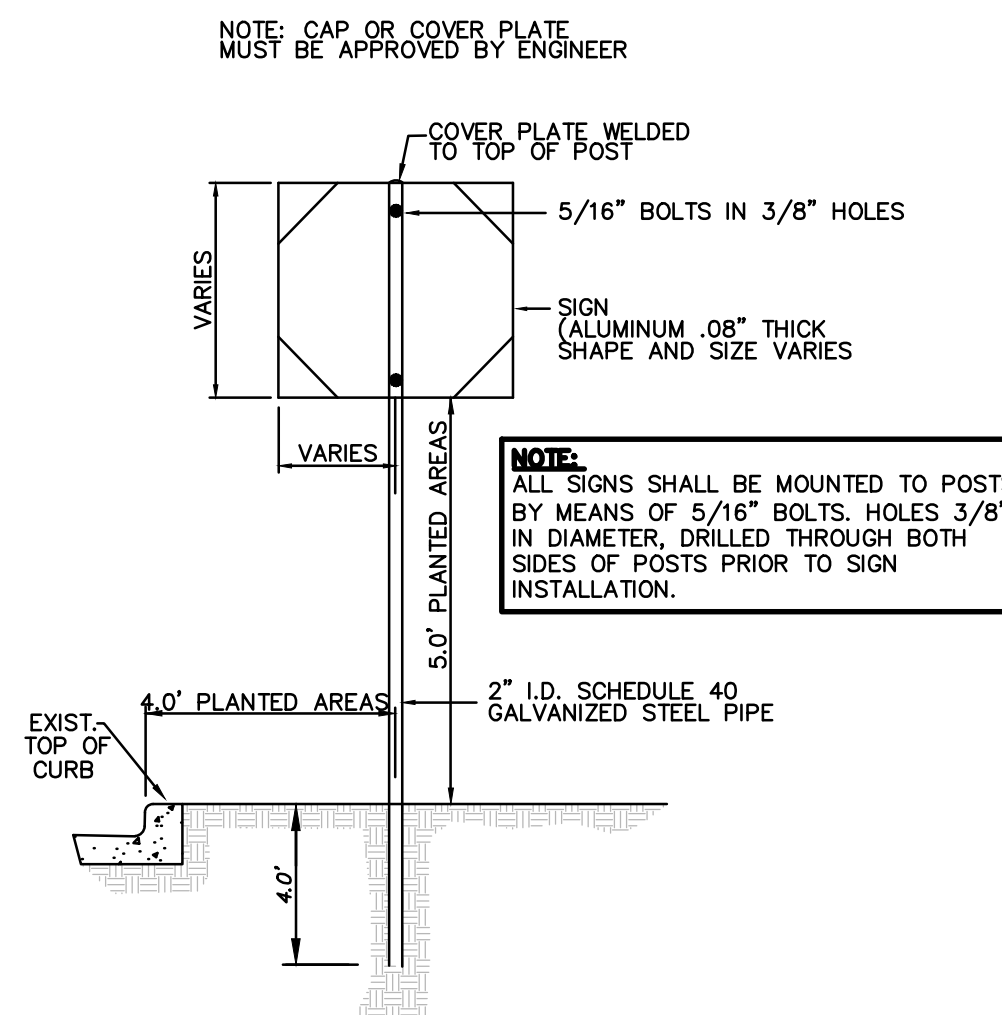


**ADA SYMBOL NOTES:**  
A. ALL STROKES TO BE 3" WDE.  
B. PROVIDE TWO COATS OF PAINT MINIMUM.  
C. BLUE BACKGROUND WITH WHITE SYMBOL.  
D. LOCATE SYMBOL AT CENTER OF STALL WHERE SHOWN ON SITE PLAN.  
E. ONE SYMBOL FOR EACH ADA PARKING SPACE.

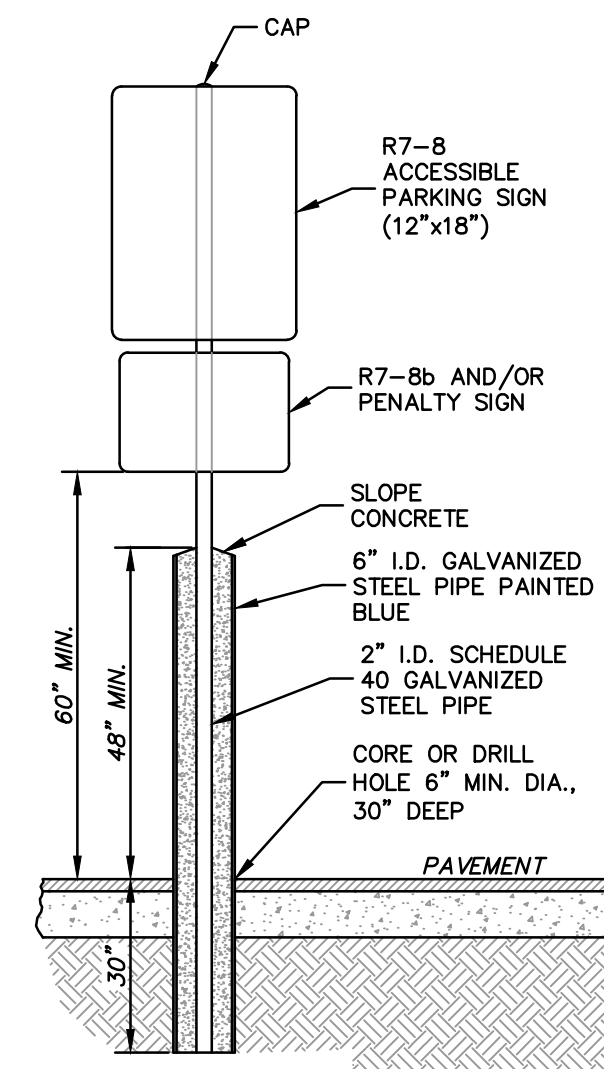
**PAINTED SYMBOL FOR ALL ACCESSIBLE AND VAN ACCESSIBLE SPACES**



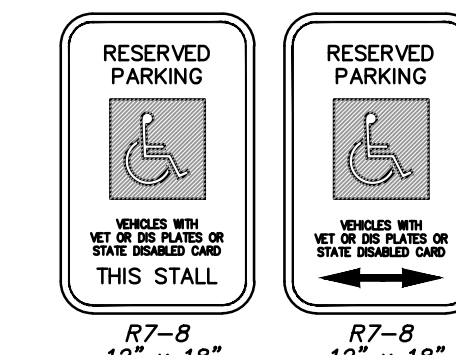
**SIGN & POST INSTALLATION TYPE I**  
FOR ALL SIGNS WITHIN THE CURB AROUND THE BUILDING



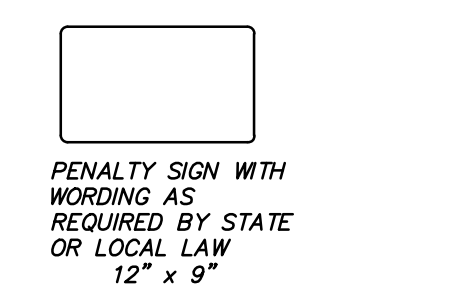
**SIGN & POST INSTALLATION TYPE II**  
FOR ALL SIGNS ON SITE, OUTSIDE THE BUILDING CURB



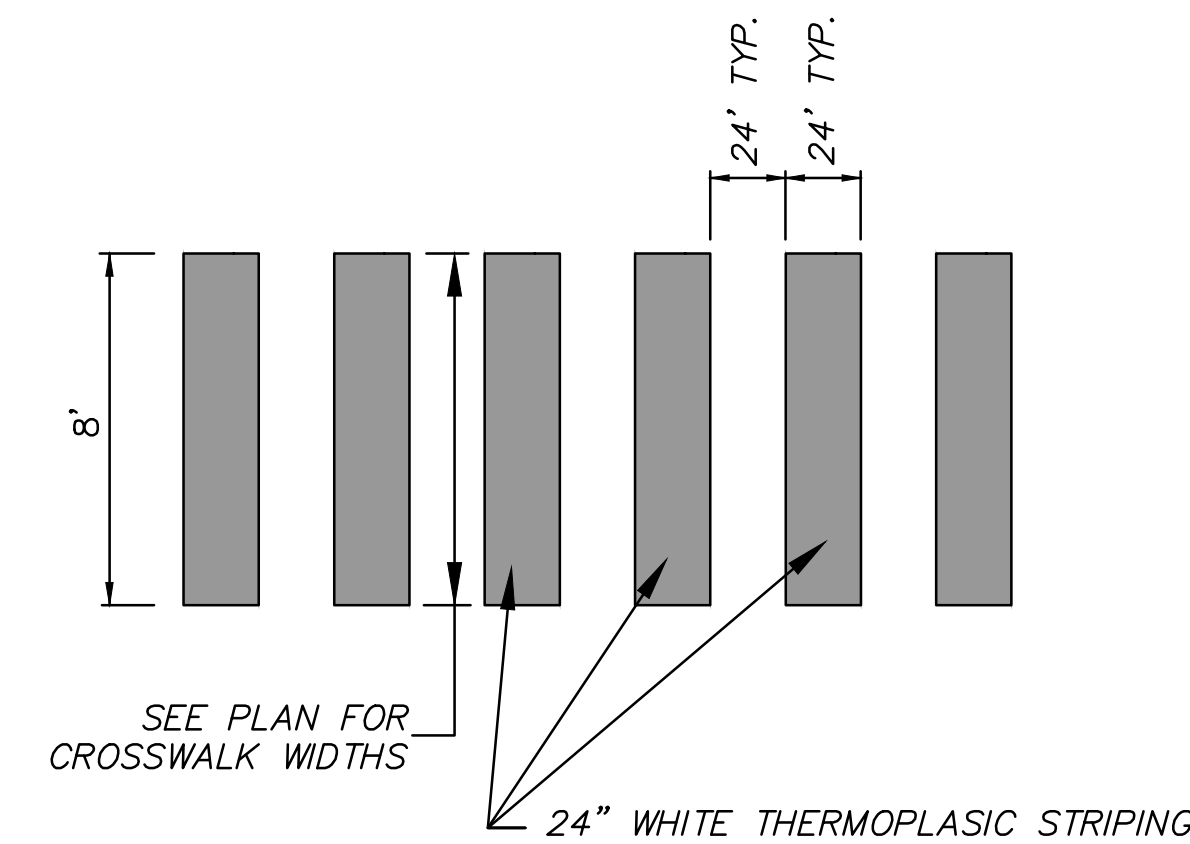
**ACCESSIBLE PARKING SIGN AND POST INSTALLATION IN BOLLARD TYPE III**



**R7-8 12' x 18" VAN ACCESSIBLE**



**STATE OF WISCONSIN ACCESSIBLE PARKING SIGNS**



SEE PLAN FOR CROSSWALK WIDTHS

**GENERAL NOTES**

- STRIPING TO BE SOLID WHITE REFLECTIVE THERMOPLASTIC TRAFFIC PAINT AS SPECIFIED ON PROJECT PLANS.

**CROSSWALK STRIPING NOT TO SCALE**

**WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI**

**SIGNAGE AND STRIPING DETAILS**

DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com



Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI  
Mount Pleasant, WI | Naperville, IL | Irvine, CA

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DATE: 11/18/2020

SCALE: N.T.S.

JOB NO. 3200225

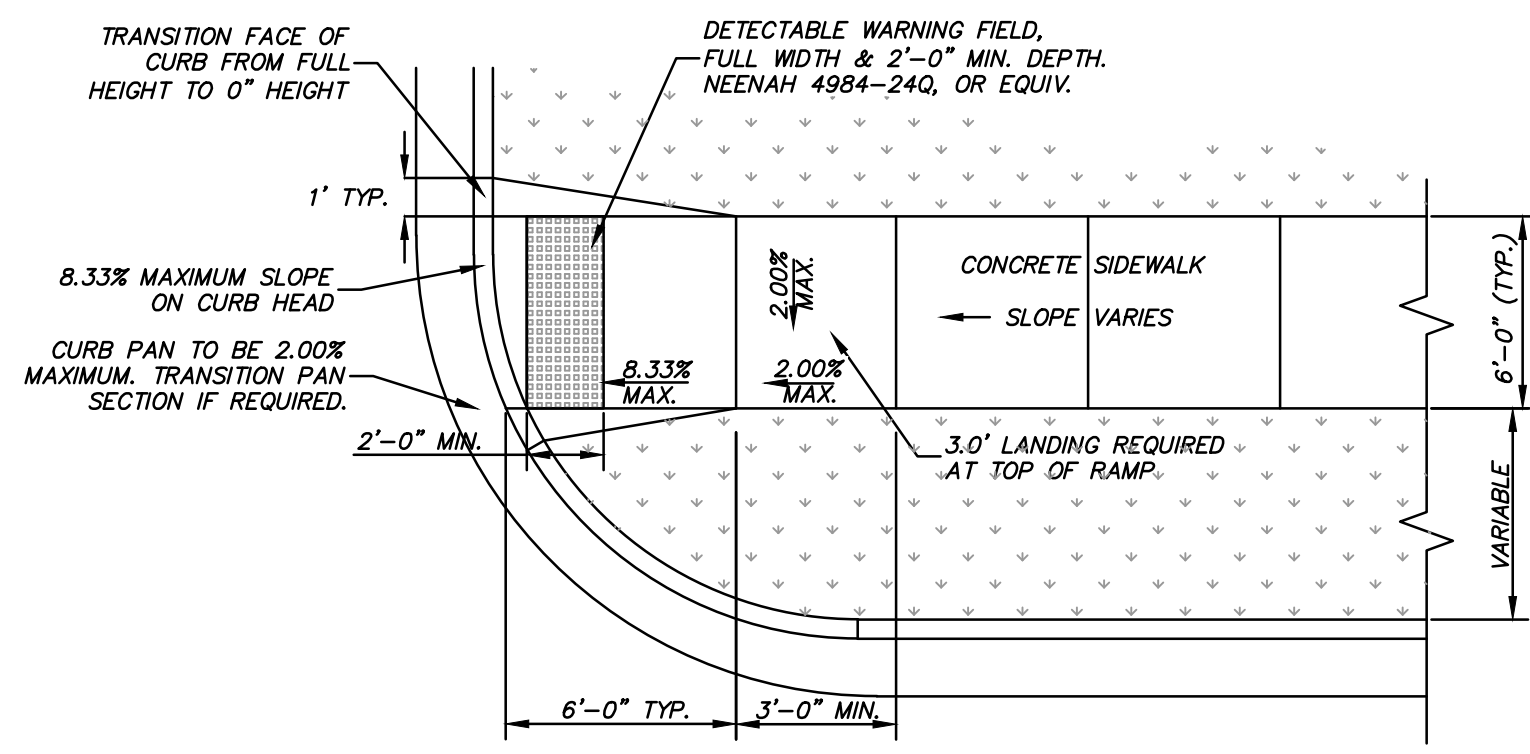
PROJECT MANAGER: MATT P. KOCOUREK, PE

DESIGNED BY: RJY

CHECKED BY: JLM

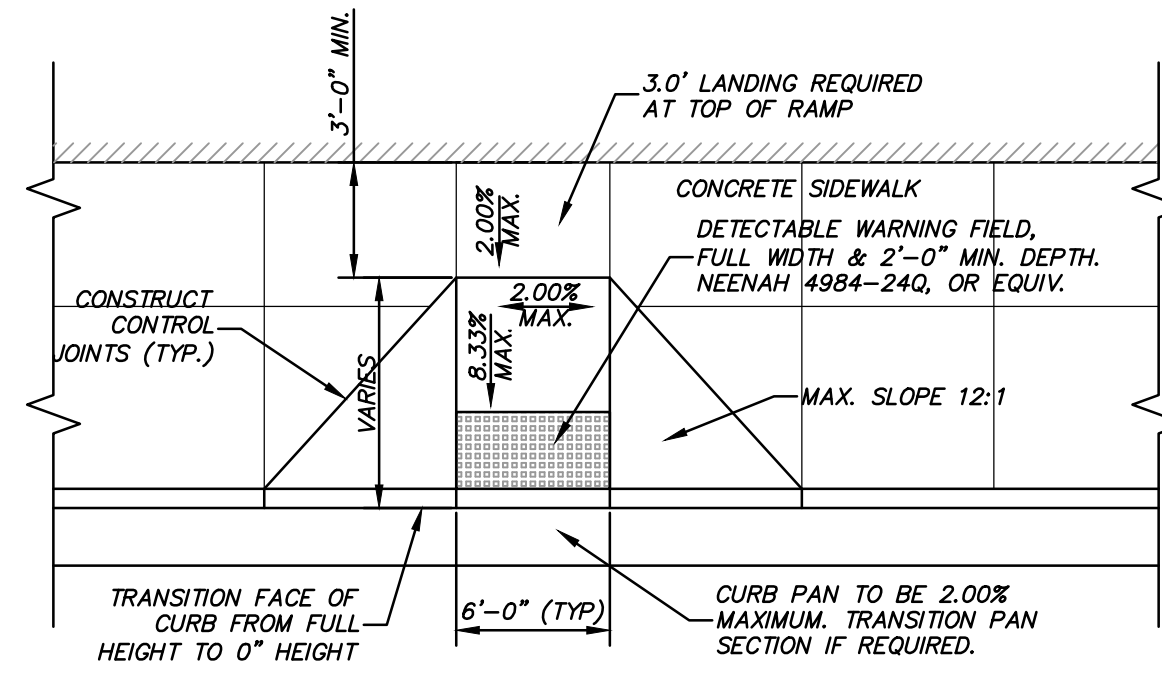
**SHEET NUMBER**

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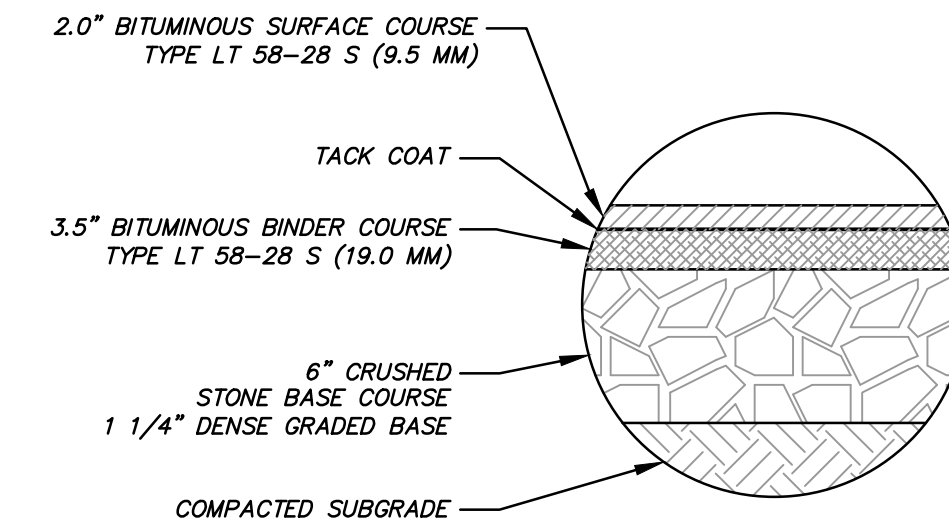


**TYPE 1 CURB RAMP**

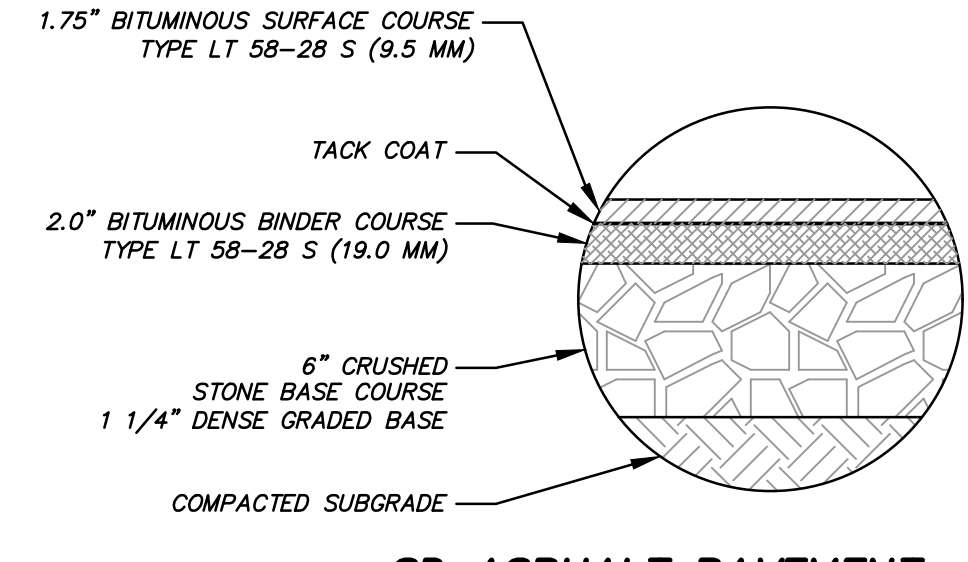
NOTES:  
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



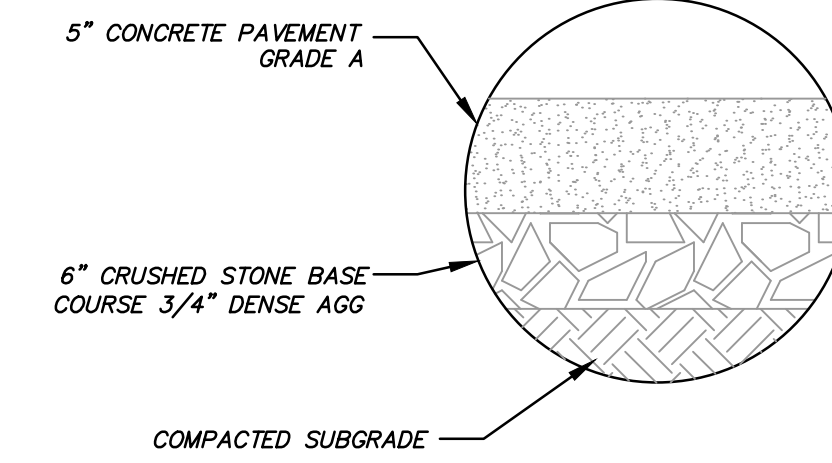
**TYPE 2 CURB RAMP**



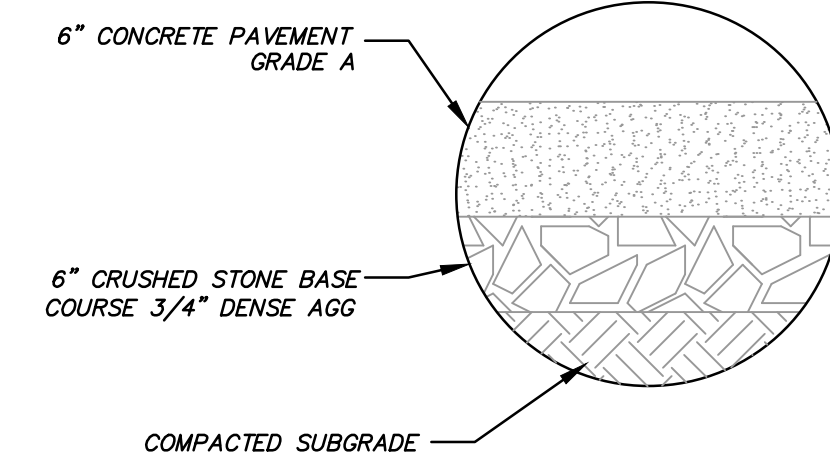
**HD ASPHALT PAVEMENT**



**SD ASPHALT PAVEMENT**

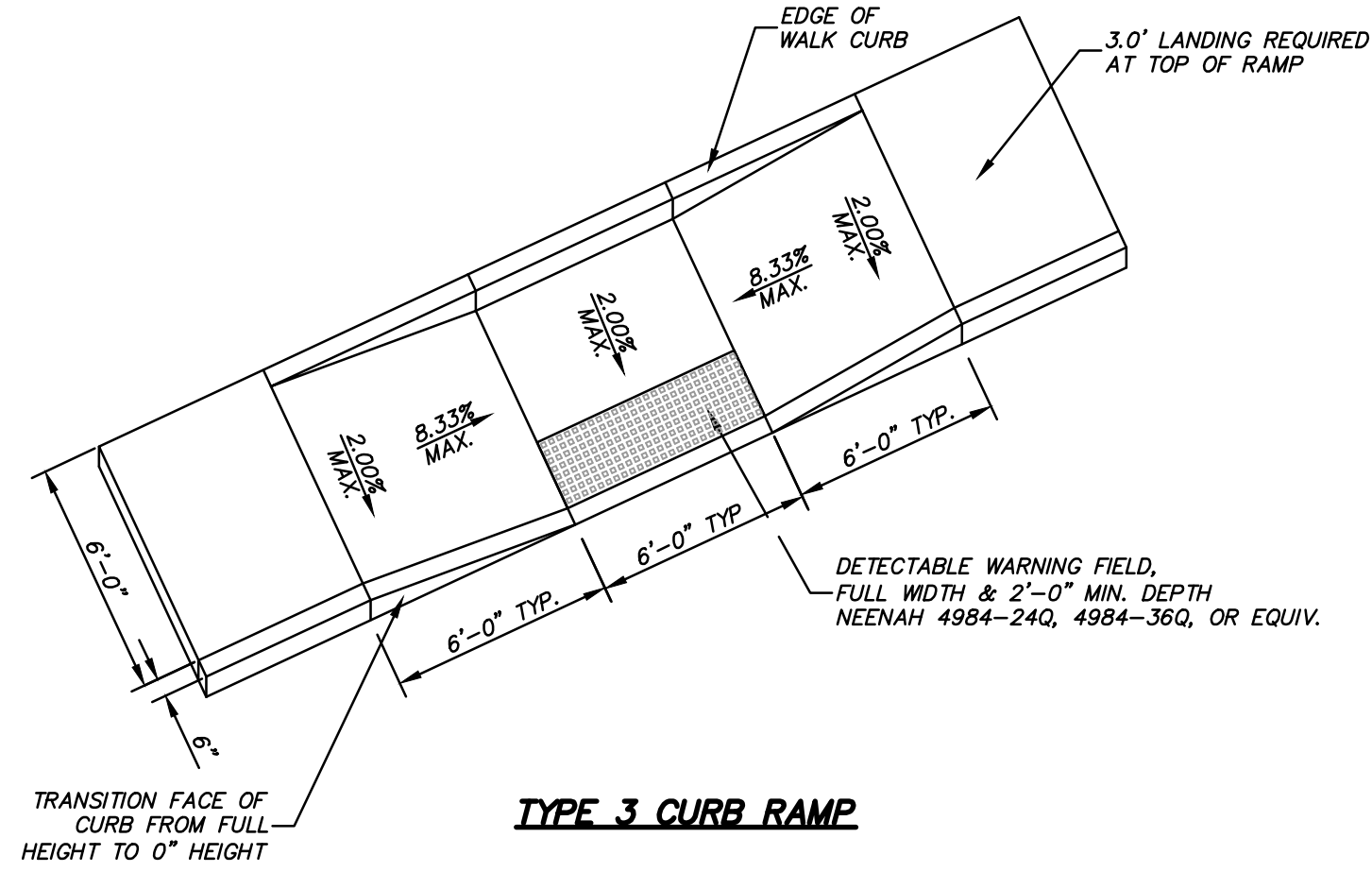


**CONCRETE SIDEWALK SECTION**

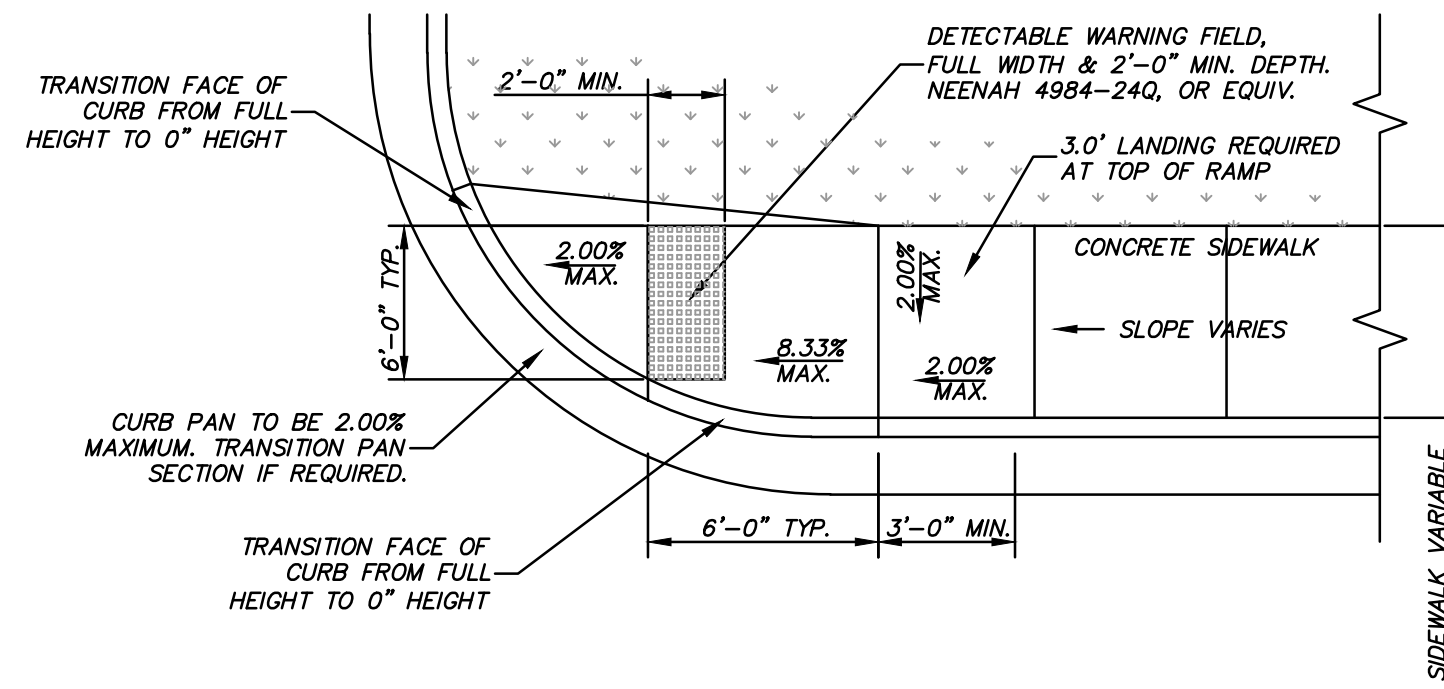


**HD CONCRETE SECTION**

\*\*ALL PAVEMENT DESIGN AND PAVING SHALL BE VERIFIED WITH THE GEOTECHNICAL ENGINEER.

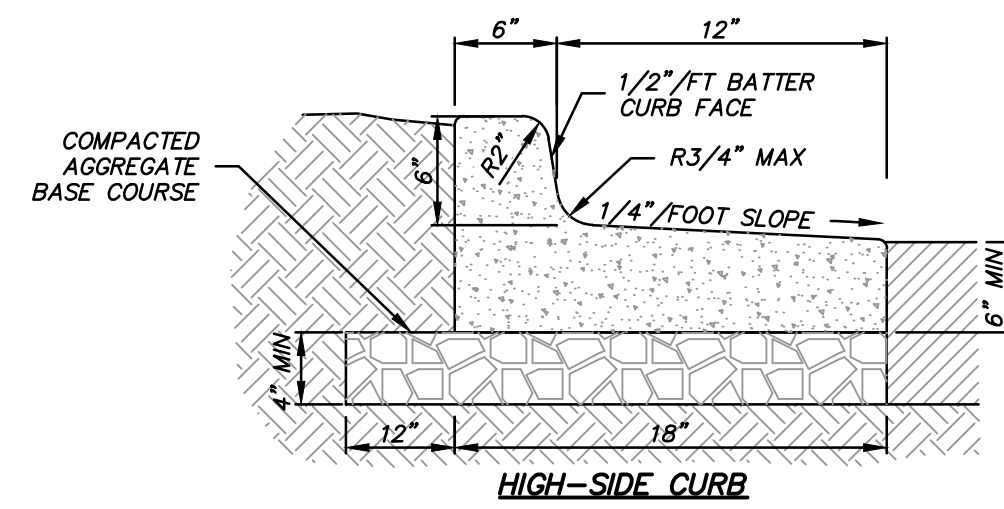


**TYPE 3 CURB RAMP**

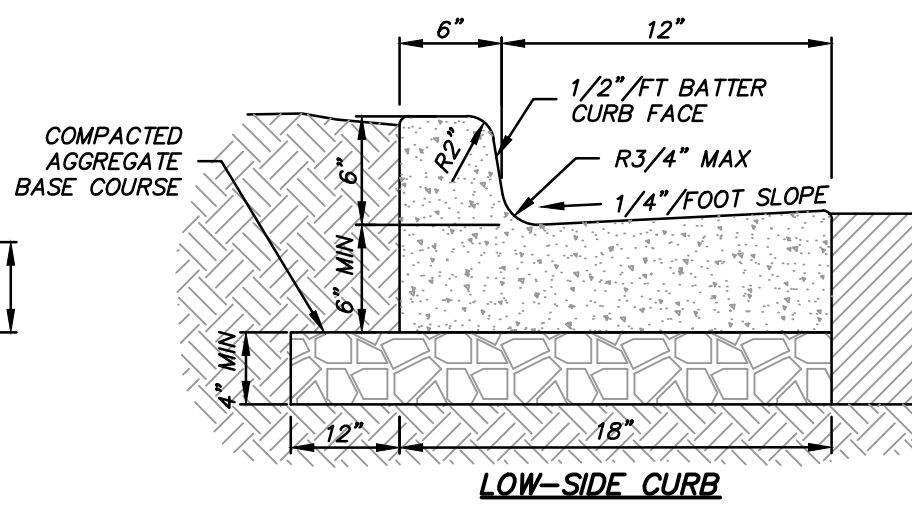


**TYPE 4 CURB RAMP**

NOTES:  
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



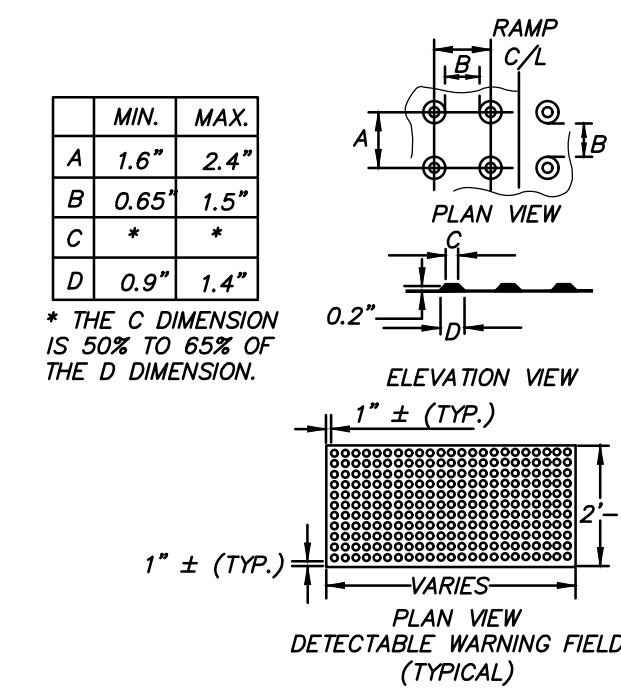
**HIGH-SIDE CURB**



**LOW-SIDE CURB**

NOTES:  
A) 3500 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF THE CURB & GUTTER.  
B) THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SLOPE OF THE GUTTER PAN.  
C) FOR DEPRESSED CURB HEAD SLOPE, USE THE SAME SLOPE AS ADJACENT SIDEWALK.  
D) THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE. PROVIDE MINIMUM 6" GUTTER THICKNESS MAINTAINED. TRANSVERSE CONTRACTION JOINTS SHALL BE CUT OR SAWED AT MAXIMUM 20 FOOT INTERVALS.  
E) 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB ABUTTING EXISTING CURB AND SIDEWALK, WALLS OR BUILDINGS, AND AT INTERVALS NOT TO EXCEED 300 FEET, WITH PREFERRED LOCATIONS BEING AT RADIUS POINTS OR ANGLE POINTS.

**CONCRETE CURB & GUTTER 18"**



**DETECTABLE WARNING FIELD (TRUNCATED DOMES)**

NOTES:  
1. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.  
2. DETECTABLE WARNING FIELDS SHALL BE "NEENAH DETECTABLE WARNING PLATES" 4984-XXXX, OR EQUIV.  
3. CURB RAMP DETECTABLE WARNING FIELDS TO BE INSTALLED 6 TO 8 INCHES FROM THE FACE OF CURB.

WEST TOWNE MALL REDEVELOPMENT  
CITY OF MADISON, WI

PAVING DETAILS

DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

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Mount Pleasant, WI | Naperville, IL | Irvine, CA

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DATE: 11/18/2020

SCALE: N.T.S.

JOB NO. 3200225

PROJECT MANAGER:  
MATT P. KOCUREK, PE

DESIGNED BY: RJY

CHECKED BY: JLM

**SHEET NUMBER**

C504

**SPECIFICATIONS**

**DIVISION 1 – GENERAL REQUIREMENTS**

**01 41 00 – REGULATORY REQUIREMENTS**

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:
  - a. WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS
  - b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST
  - c. STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION IN WISCONSIN (SSSWCW)
  - d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS 382-387
  - e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION
  - f. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
  - g. WISCONSIN WATER CONTROL DISTRICTS (WMCUD)
  - h. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS
  - i. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES
  - j. MUNICIPALITY DEVELOPMENT STANDARDS
  - k. COUNTY DEVELOPMENT STANDARDS
2. THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXPOSING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
5. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER.
  - a. ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC. HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
  - b. CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DESIGN (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED). TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM USE OF THE PROPOSED SUBSTITUTE.
6. THE CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. IF CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR HIS REPRESENTATIVE.
  - a. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE OWNER OR HIS REPRESENTATIVE SHALL DECODE ALL QUESTIONS WHICH SHALL ARISE AS TO THE QUALITY AND ACCEPTABILITY OF MATERIALS FURNISHED, WORK PERFORMED, AND WORKMANSHIP. INTERPRETATION OF THE PLANS AND SPECIFICATIONS HE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND MATERIALS FURNISHED.
  - b. FAILURE OR NEGLIGENCE ON THE PART OF THE OWNER OR HIS REPRESENTATIVE TO CONDEMN OR REJECT SUBSTANDARD OR INFERIOR WORK OR MATERIALS SHALL NOT BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR MATERIALS. IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE ACCEPTANCE OF WORK BY THE OWNER, NEITHER SHALL IT BE CONSTRUED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME, FROM THE RECOVERY OF DAMAGES OR OF SUCH A SUM OF MONEY AS MAY BE NEEDED TO BUILD NEW ALL PORTIONS OF THE SUBSTANDARD OR INFERIOR WORK OR REPLACEMENT OF IMPROPER MATERIALS WHEREVER FOUND.
  - c. INSPECTORS EMPLOYED BY THE OWNER SHALL BE AUTHORIZED TO INSPECT ALL WORK DONE AND ALL MATERIAL FURNISHED. SUCH INSPECTION MAY EXTEND TO ALL OR ANY PART OF THE WORK AND TO THE PREPARATION, FABRICATION OR MANUFACTURE OF THE MATERIALS TO BE USED. THE INSPECTOR IS NOT AUTHORIZED TO REVOKE, ALTER OR WAIVE ANY REQUIREMENTS OF THE SPECIFICATIONS, NOR IS HE AUTHORIZED TO ACCEPT ANY PORTION OF THE COMPLETED PROJECT. THE ACCEPTANCE OF THE CONTRACTOR SHALL NOT BE CONSTRUED AS ANY FAILURE OF THE WORK OR MATERIALS TO CONFORM TO THE SPECIFICATIONS AND CONTRACT, AND SHALL HAVE THE AUTHORITY TO REJECT MATERIALS. ANY DISPUTE BETWEEN THE INSPECTOR AND CONTRACTOR SHALL BE REFERRED TO THE OWNER OR HIS REPRESENTATIVE. ANY ADVICE WHICH THE INSPECTOR MAY GIVE THE CONTRACTOR SHALL IN NO WAY BE CONSTRUED AS BINDING THE ENGINEER IN ANY WAY OR RELINQUISHING HIS DUTY UNDER THE TERMS OF THE CONTRACT.
  - d. ALL MATERIALS AND EACH PART OF DETAIL OF THE WORK SHALL BE SUBJECT AT ALL TIMES TO INSPECTION BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE OR THE AUTHORITY HAVING JURISDICTION AND THE CONTRACTOR WILL BE HELD STRICTLY TO THE TRUE INTENT OF THE SPECIFICATIONS IN REGARD TO THE QUALITY OF MATERIALS, WORKMANSHIP, AND THE DILIGENT EXECUTION OF THE CONTRACT. SUCH INSPECTION MAY INCLUDE MILL, PLANT OR SHOP INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO SUCH INSPECTION. THE OWNER OR HIS REPRESENTATIVES SHALL BE ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND CORRECT INSPECTION.
  - e. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE. UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE STANDARDS OF WORKMANSHIP.
  - f. ALL EXPOSED ITEMS OF WORK SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS GENERALLY USED IN THE RESPECTIVE TYPES OF WORK. ITEMS OF WORK SHALL BE SOUND AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DEGRADATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY AND ACCEPTABILITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE OWNER OR HIS REPRESENTATIVE.
  - g. ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE. DEFECTIVE MATERIALS, WHETHER IN PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REPLACE SUCH DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF REMOVAL AND REPLACEMENT FROM ANY MONIES DUE OR WHICH MAY BECOME DUE TO THE CONTRACTOR.
  - h. THE CONTRACTOR SHALL KEEP A TRUE AND CORRECT COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES.
  - i. AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE OWNER OR HIS REPRESENTATIVE WITH A MARKED-UP SET OF DRAWINGS SHOWING ALL CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON THE ORIGINAL SET OF DRAWINGS AS THE WORK IS DONE, AND NOT MADE FROM MEMORY WHEN THE WORK IS DONE. THIS SET OF DRAWINGS SHOULD BE KEPT CLEAN IN A LOCATION AT THE SITE WHERE THE OWNER OR HIS REPRESENTATIVE MAY EXAMINE THEM.
  - j. THE MARKED-UP DRAWINGS SHALL BE ACCURATE. ARBITRARY MARKINGS ARE OF NO VALUE. CAREFUL MEASUREMENTS SHALL BE MADE TO LOCATE UNDERGROUND EXTERIOR AND UNDERGROUND INTERIOR SEWERS, GAS LINES, WATER LINES, ELECTRICAL CONDUIT AND MISCELLANEOUS PIPING.
7. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ONSITE OR IN THE PUBLIC RIGHT-OF-WAY.

**01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS**

1. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE WITH THE PLANS.
2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
3. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATION OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK.
6. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE.
7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ANY ADJACENT PROPERTY OR AREAS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED.
9. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.
10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
11. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES WILL BE ISSUED. OFFICIAL WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE.
12. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS ISSUED.
13. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

**DIVISION 31 – EARTHWORK**

**31 10 00 – SITE CLEARING & DEMOLITION**

1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MAJOR ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO INCLUDE REMOVAL AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATTER INTERFERING WITH NEW CONSTRUCTION.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. CALL BY TO NOTIFY UTILITY PROVIDERS AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.
4. INSTALL PERIMETER FENCING AS INDICATED PRIOR TO COMMENCING ANY CONSTRUCTION RELATED ACTIVITY.
5. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.
6. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTED BY THE OWNER.
7. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.
9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.
10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.
11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.
12. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER.
13. HOLES LEFT BY REMOVALS SHALL BE LEVELLED TO PREVIOUS FINISH ELEVATION AND LAWNED AND GRASSED.
14. REMOVE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.

**31 20 00 – EARTH MOVING**

1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND TOPSOIL.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS, AND THESE REQUIREMENTS: THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.
4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE WORK.
5. EXCAVATED MATERIAL SHALL BE INSTALLED IN A MANNER THAT SHALL BE COMPACTED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
6. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE WITHIN GREENSPACE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.
7. AREAS SHALL BE GRADED TO WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSISTENT IN ONE DIRECTION.
8. DISKING, NARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING.
9. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. DO NOT PROOF ROLL WET OR SATURATED SUBGRADE.
10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION, THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING OR PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND/OR SURROUNDING AREAS.
11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
12. DISPOSAL OF EXCAVATED MATERIAL SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF FOUR INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.

**31 25 00 – EROSION & SEDIMENTATION CONTROLS**

1. WORK SHALL CONSIST OF INSTALLATION OF TEMPORARY AND PERMANENT PRACTICES FOR SEDIMENTATION CONTROL, EROSION CONTROL, SLOPE PROTECTION, AND REMOVAL OF PRACTICES UPON FINAL SITE STABILIZATION.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. INSTALLATION AND MAINTENANCE OF PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE MWNR TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
4. ALL PRACTICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY. EARTHWORK ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY WITH CONSTRUCTION.
5. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.
6. ALL PRACTICES SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS AS NEEDED.
7. ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING UPON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
8. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISDOT STANDARD SPECIFICATIONS. WINTER WHEAT OR RYE SHALL BE USED FOR TEMPORARY SEED MIXTURE AFTER SEPTEMBER 1.
9. DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE COVER OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM).
10. ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME.
11. DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING, OR OTHER APPROPRIATE MEASURES.
12. THE CONTRACTOR SHALL BE PREPARED FOR DETERIORATING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. ALL WATER FROM CONSTRUCTION DETERIORATING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE PROJECT SITE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC ROADS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MEASURES.
14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
15. ALL SEEDED AREAS SHALL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN TO MAINTAIN A THICK DENSE VEGETATIVE COVER.

**DIVISION 32 – EXTERIOR IMPROVEMENTS**

**32 12 00 – ASPHALT PAVING**

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
4. ASPHALT MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS.
5. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS.
6. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP. TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE INSTALLATION; TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION.
7. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE (NO MINUS).
8. APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY.
9. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED.
10. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED CONTINUALLY AND DEPRESSED AREAS SHALL BE REPAIRED AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE.
11. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
12. A SLOPE NO GREATER THAN 2% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

**32 13 00 – CONCRETE PAVING**

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.
4. CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
5. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.
6. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M.
7. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260.
8. LIQUID CURING COMPOUND SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS AND ASHOTO M 148.
9. CURBING SHALL BE IN ACCORDANCE WITH SECTION 401 OF WISDOT STANDARD SPECIFICATIONS.
10. SIDEWALK AND PATIO SHALL BE IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.
11. CONCRETE FORMS SHALL REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE INSTALLATION AND SHALL BE CLEANED AFTER EACH USE. CONCRETE FORMS SHALL BE COATED WITH RELEASE AGENT TO ALLOW SEPARATION WITHOUT DAMAGE TO CONCRETE.
12. CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS. JOINT PATTERN SHALL FOLLOW ARCHITECTURAL PLANS IF AVAILABLE.
13. ISOLATION JOINTS SHALL CONSIST OF PREFORMED JOINT FILLER STRIPS ABUTTING CURBING, INLETS, CATCH BASINS, MANHOLES, STRUCTURES, AND OTHER FIXED STRUCTURES.
14. EDGES OF CONCRETE PAVEMENT, CURBING, SIDEWALK, PATIOS, AND JOINTS SHALL BE TOOLED IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING AFTER APPLYING SURFACE FINISHES AND ELIMINATE TOOL MARKS ON SURFACES.
15. FINISH, CURE, AND PROTECT CURBING IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS.
16. FINISH, CURE, AND PROTECT SIDEWALK AND PATIOS IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.
17. FINISH (ARTIFICIAL TURF DRAG), CURE, AND PROTECT VEHICULAR PAVEMENT AND PADS IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS.
18. MAINTAIN CONCRETE FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.
19. MAXIMUM DIFFERENCE BETWEEN CONCRETE SIDEWALKS AND ADJACENT PAVEMENT SURFACES SHALL NOT EXCEED 1/4-INCH VERTICAL.
20. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
21. A SLOPE NO GREATER THAN 2% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
22. ALL HANDICAP ACCESSIBLE DOORWAYS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF 5 FEET BY 5 FEET WITH A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS PRIOR TO COMMENCING WORK.
23. REMOVE AND REPLACE CONCRETE THAT IS BROKEN, DAMAGED, DEFECTIVE, OR DOES NOT COMPLY WITH THE REQUIREMENTS LISTED ABOVE.

**32 17 00 – PAVEMENT MARKING & SIGNAGE**

1. WORK SHALL CONSIST OF INSTALLATION OF PARKING LOT STRIPING, DIRECTION ARROWS, HANDICAP ACCESSIBLE SYMBOLS AND SITE SIGNAGE.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. PAVEMENT MARKING PAINT SHALL BE IN ACCORDANCE WITH SECTION 646 OF WISDOT STANDARD SPECIFICATIONS AND WISDOT APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS NOTED OTHERWISE ON THIS PLAN. MARKINGS SEPARATING OPPOSING TRAFFIC SHALL BE YELLOW.
4. ALL PARKING LOT STRIPING SHALL BE 4-INCH WIDTH UNLESS NOTED OTHERWISE ON THIS PLAN.
5. BARRICADE WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING PAINT IS DRIED. PROTECT ADJACENT AREAS FROM RECEIVING PAINT.
6. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS TO PRODUCE MARKINGS AS INDICATED WITH UNIFORM, STRAIGHT EDGES. TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS.
7. APPLY PAINT TO CLEAN AND DRY SURFACE, FREE FROM FROST, TO ENSURE PROPER BONDING.
8. NOTIFY OWNER OF ANY UNSOUND CONDITIONS PRIOR TO COMMENCING WORK. APPLYING PAVEMENT MARKING PAINT CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

**32 32 00 – RETAINING WALLS**

1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALL SYSTEMS IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES, AND DIMENSIONS SHOWN ON THIS PLAN. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR GENERAL LOCATION AND MATERIAL REFERENCE ONLY.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. THE CONTRACTOR SHALL ACQUIRE DETAILED DESIGN CALCULATIONS AND DRAWINGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.

**DIVISION 33 – UTILITIES**

**33 10 00 – WATER DISTRIBUTION**

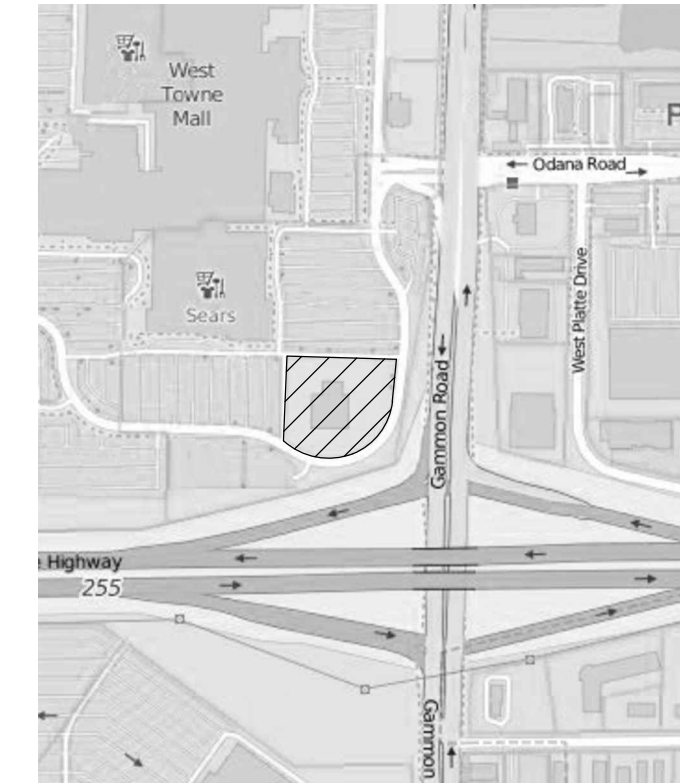
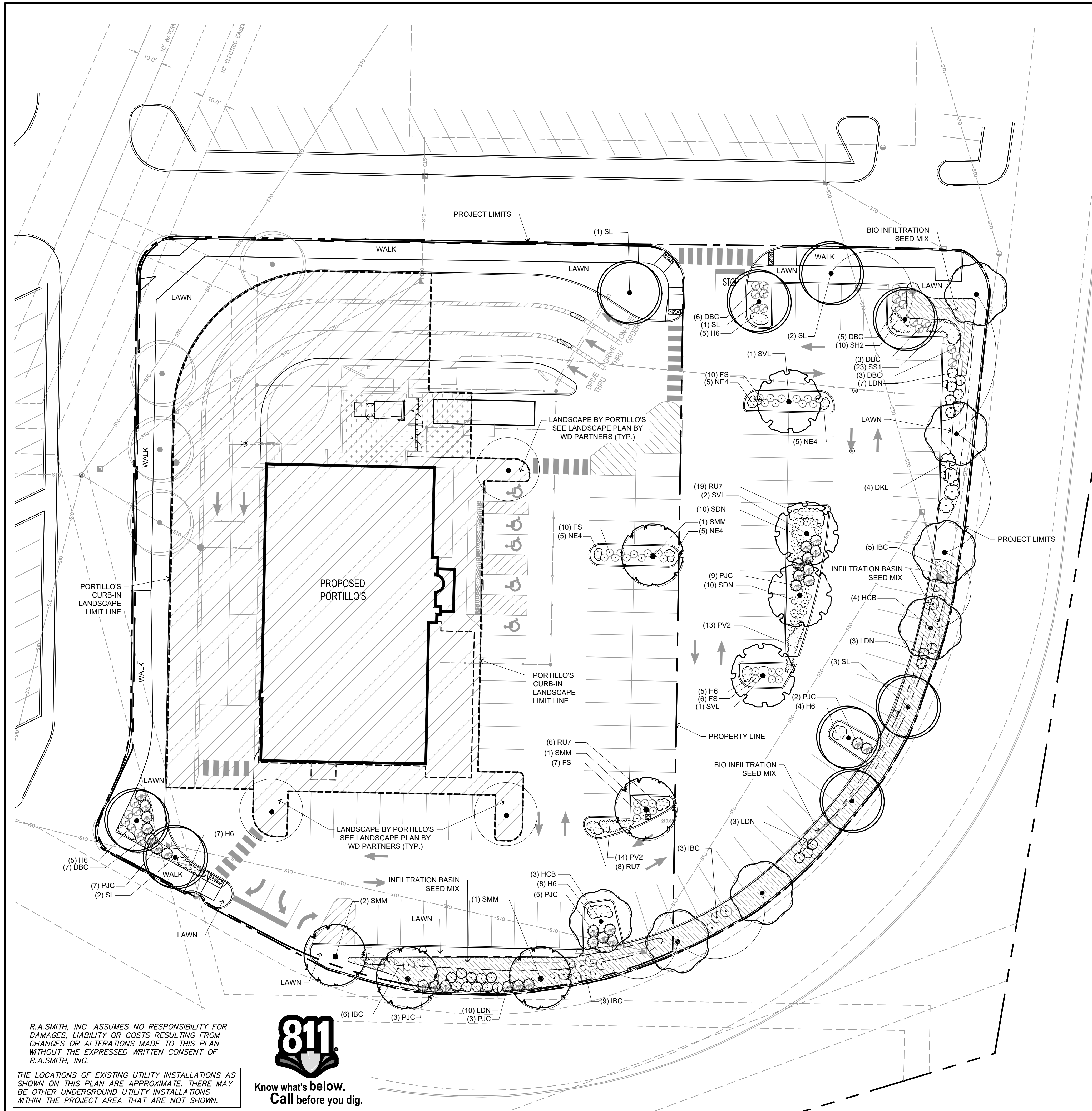
1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. POLY(VINYL CHLORIDE) (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW.
6. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 150 CONFORMING TO AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.18.0.0 OF SSSWCW.
7. POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.24.0.0 OF SSSWCW AND CONFORM TO AWWA C901.
8. COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.24.0.0 OF SSSWCW AND CONFORM TO ASTM B88.
9. BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.30.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B62.
10. GATE VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.27.0 OF SSSWCW AND CONFORM TO AWWA C500.
11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.28.0 OF SSSWCW AND CONFORM TO AWWA C504.
12. VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.29.0 OF SSSWCW AND CONFORM TO ASTM 448. VALVE BOXES SHALL BE SIZE D0, SCREW TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE SET TO PROPOSED GRADE, TRULY VERTICAL, AND SUPPORTED BY USE OF ADAPTOR.
13. HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.26.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF TEE AND HAVE A GROUND LINE TO CENTER DISTANCE OF 18 TO 21 INCHES.
14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.22.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.
15. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.
16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.21.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS.
17. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH SECTION 4.313 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.
18. TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
19. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
20. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
21. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
22. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE. PRIVATE WATER MAIN PIPE, AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
23. PROPOSED WATER SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.
24. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK.
25. PIPE BEDDING SHALL ADJUST ALL VALVE BOXES TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS.
26. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.15.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.16.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.

**33 30 00 – SANITARY SEWERAGE**

1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. POLY(VINYL CHLORIDE) (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.10.6 AND 8.14.4 OF SSSWCW.
6. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
7. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.
8. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.
9. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
10. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
11. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREFABRICATED CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE.
12. TRACER WIRE SHALL BE BROWN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET.
14. PROPOSED SANITARY SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.
15. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS.
16. AFTER INSTALLATION OF SANITARY SEWERAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. CONDUCT TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SSSWCW. REPAIR ANY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING.

**33 40 00 – STORMWATER DRAINAGE**

1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE STORMWATER DRAINAGE SYSTEM AND ALL APPURTENANCES.
2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
3. ALL PUBLIC STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS.
4. ALL PRIVATE STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS.
5. REINFORCED CONCRETE PIPE (RCP) AND END SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 8.6.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM C443. UNLESS NOTED OTHERWISE, 12-INCH DIAMETER PIPE SHALL BE CLASS V, 15-INCH DIAMETER PIPE SHALL BE CLASS IV, AND 18-INCH DIAMETER PIPE AND LARGER SHALL BE CLASS III.
6. CORRUGATED METAL PIPE (CMP) AND END SECTIONS SHALL BE 16 GAUGE CONFORMING TO ASTM A760.
7. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND FITTINGS SHALL BE ADS N12 AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
8. POLY(VINYL CHLORIDE) (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH-ON RUBBER GASKETED JOINTS CONFORMING TO ASTM D3212.
9. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
10. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
11. INLETS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C913. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
12. AREA DRAINS SHALL BE ADS NYLOPLAST AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER.
13. FRAMES AND GRATES SHALL BE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FRAMES AND GRATES ARE COMPATIBLE WITH PRECAST STRUCTURES PRIOR TO ORDERING.
14. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE



**KEY MAP**  
NTS

**PLANT SCHEDULE**

DECIDUOUS CANOPY TREE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SMM	5	State Street Miyabeii Maple	Acer miyabei 'Morton' TM	2 1/2' CAL	B&B	Full matching heads
HCB	7	Common Hackberry	Celtis occidentalis	2 1/2' CAL	B&B	Full matching heads
SL	9	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	2 1/2' CAL	B&B	Full matching heads
SVL	4	Sterling Silver Linden	Tilia tomentosa 'Sterling'	2 1/2' CAL	B&B	Full matching heads

DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
IBC	23	Iroquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	15' HT	CONT.	
SDN	20	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15' HT	CONT.	
DBC	24	Cool Splash False Honeysuckle	Diervilla sessilifolia 'Cool Splash'	15' HT	CONT.	
LDN	23	Little Devil Dwarf Ninebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
FS	33	Froebel Spirea	Spiraea x bumalda 'Froebelii'	15' HT	CONT.	
DKL	4	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	24" HT	CONT.	

EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	29	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18"SPD	CONT.	

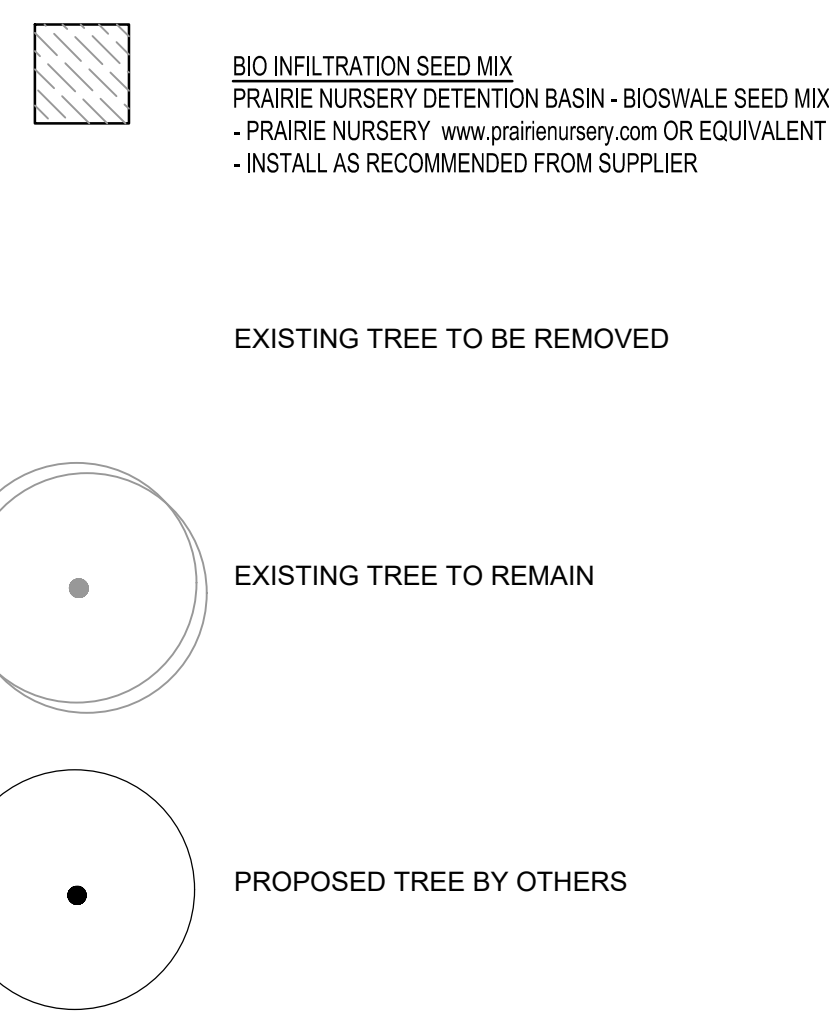
  

ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PV2	27	Cheyenne Sky Switch Grass	Panicum virgatum 'Cheyenne Sky'	1 GAL	POT	18" Spacing
SS1	23	Little Bluestem Grass	Schizachyrium scoparium	1 GAL	POT	18" Spacing
SH2	10	Tara Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 GAL	POT	18" Spacing

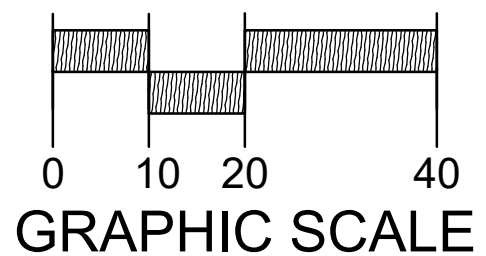
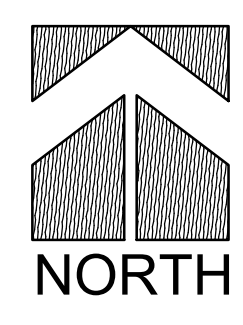
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
H6	34	Little Business Daylily	Hemerocallis x 'Little Business'	1 GAL	POT	24" Spacing
NE4	20	Kit Cat Catmint	Nepeta x faassenii 'Kit Cat'	1 GAL	POT	18" Spacing
RU7	33	Little Goldstar Black-eyed Susan	Rudbeckia fulgida var. sullivanti 'Little Goldstar'	1 GAL	POT	18" Spacing

**LANDSCAPE KEY**



**GENERAL LANDSCAPE NOTES**

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.



THIS PLAN IS FOR MUNICIPAL REVIEW  
NOT FOR BIDDING  
OR CONSTRUCTION PURPOSES

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



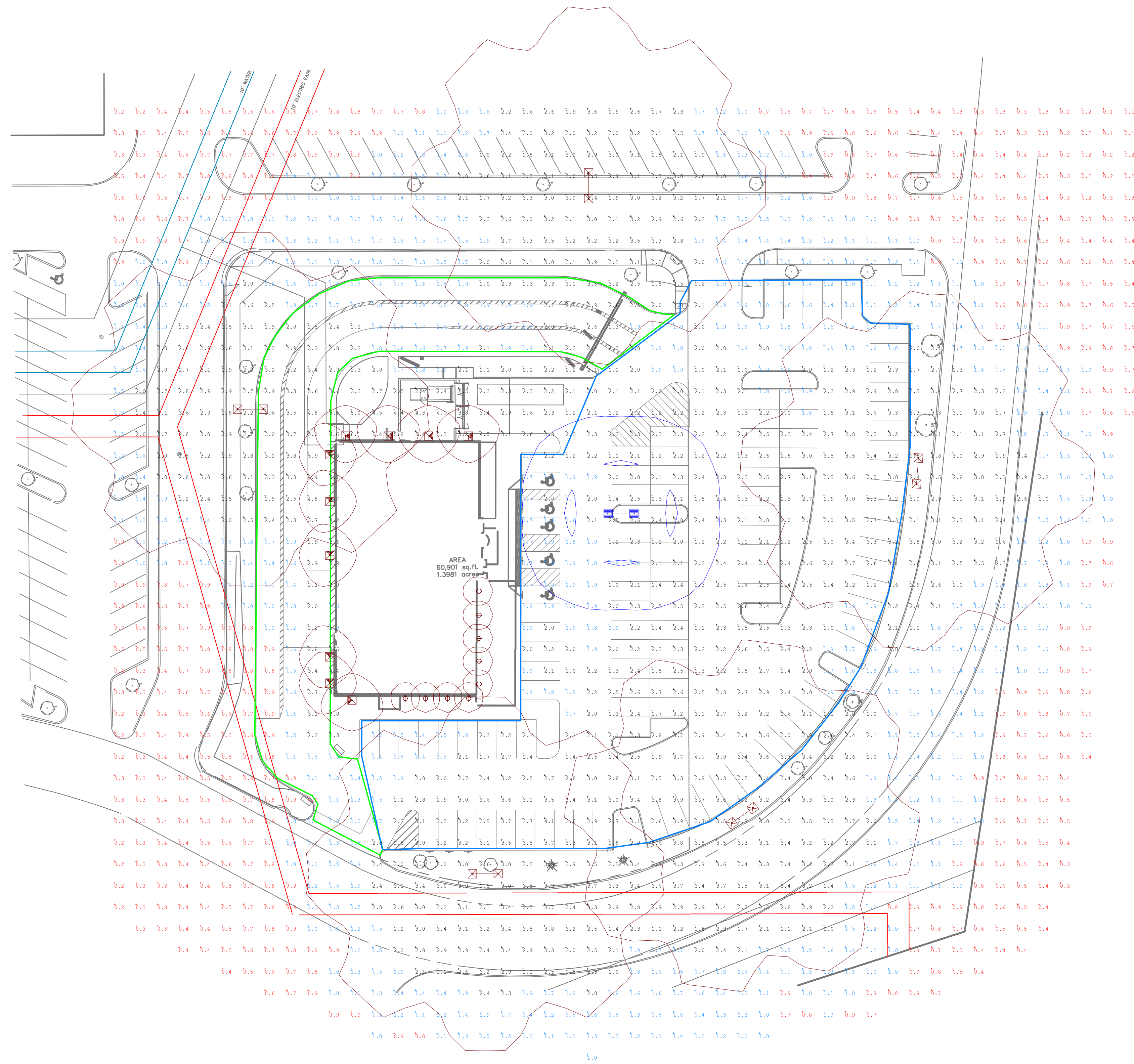
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DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 <b>raSmith</b> CREATIVITY BEYOND ENGINEERING www.ra-smith.com	
<b>WEST TOWNE MALL REDEVELOPMENT</b> <b>CITY OF MADISON, WI</b> <b>LANDSCAPE PLAN</b>	
© COPYRIGHT 2020 R.A. Smith, Inc. DATE: 11/18/2020 SCALE: 1" = 20' JOB NO. 3200225 PROJECT MANAGER: <b>MATT P. KOCOUREK, PE</b> DESIGNED BY: NJW/LJH CHECKED BY: LJH <b>SHEET NUMBER</b> <b>L100</b>	

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# REVISIONS

REV #	DATE	BY:
1	11/10/20	TO



OPTION 1

Calculation Summary							
Label	Avg	Max	Min	Avg/Min	Max/Min	PtSp/Lr	PtSp/Tb
PORTILLO DRIVE THRU	2.4	6.6	0.8	3.0	8.3	10	10
PORTILLO PARKING	2.4	4.1	1.0	2.4	4.1	10	10

Luminaire Schedule							
Symbol	Qty	Label	Lumens	LLF	Description	Lum. Watts	
⊗	5	NAP-X1	110000	0.400	VIS-COM-1000-MH-T5-DL 47' MOUNTING HEIGHT	1070	
⊗	1	A	N.A.	0.990	WLS-OSQ-A-5SH-K-40K-SLM 35' POLE 3' BASE	130	
⊗	9	CL1	N.A.	0.950	G-LIGHTING-GL-6543-B-CC-R3-TBL-A 11' MOUNTING HEIGHT BY	13	
⊗	10	W1	N.A.	0.950	LITH-WSR-LED-F1-SR3-40K 12' MOUNTING HEIGHT BY OTHERS	20	

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

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