

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>1-26-11</u>	Action Requested
UDC MEETING DATE: <u>2-2-11</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 5402 WORLD DRAIRY DRIVE

ALDERMANIC DISTRICT: 16

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
MADISON DEVELOPMENT CORP. STRANG, INC.

550 W. WASHINGTON AVE. 6411 MINERAL POINT ROAD
MADISON, WI 53703 MADISON, WI 53705

CONTACT PERSON: PETER TAN

Address: STRANG, INC.
MADISON, WI

Phone: 608-276-9200

Fax: 608-276-9204

E-mail address: tan@strang-inc.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



January 5, 2011

Madison Plan Commission
215 Martin Luther King, Jr. Blvd.
Madison, WI 53701-2985

Re.: Letter of Intent for Midwest BioLink Commercialization and Business Center
5402 World Dairy Drive, Madison 53716

Project Name:

Midwest BioLink Commercialization and Business Center.
Shortened reference may be made as "The BioLink Center."

Construction Schedule:

Estimated to be from July 2011 through June of 2012.

Existing Project Conditions:

The existing conditions on the property are vacant land, graded and somewhat overgrown by wild vegetation. The lot is fairly flat with some mild contour as indicated on the survey map.

Involved Parties:

Owner: Madison Development Corporation
550 West Washington Avenue
Madison, Wisconsin 53703
Frank Staniszewski, President
608-256-2799, Ext 212
fstan@mdcorp.org

Owner Representative:
Ruedebusch Development & Construction
4605 Dovetail Drive
Madison, WI 53704
Mike Mathews, Senior Vice-President
608-249-2112, Ext 211

Land is Owned by:
City of Madison
Contact: Michael Gay, City Office of Business Resources and BioAg
Gateway Project Manager
(Land will be transferred to Madison Development Corporation upon
execution of a TIF Development Agreement-TIF Resolution has been
approved.)

Architect: Strang, Inc.
6411 Mineral Point Road
Madison, WI 53705
Wayne Whiting, Principal in Charge
Peter Tan, Design Principal
Tom Kleinheinz, Project Manager
608-276-9200

Civil Engineer: JSD Professional Services
161 Horizon Drive
Verona, WI 53593
Wade Wyse, PE
608-848-5060

Landscape: JSD Professional Services
161 Horizon Drive
Verona, WI 53593
Michael Schmeltzer, Landscape Architect
608-848-5060

Contractor: Not yet selected and will be done so by advertised bid.

Land Surveyor: MSA Professional Services
2901 International Lane, Suite 300
Madison, WI 53704
Kevin Lord, RLS, P.E.
608-242-7779

Soils Engineer: River Valley Testing Corp.
1060 Breezewood Lane, Suite 102
Neenah, WI 54956
Matthew Meyer, P.E.
920-886-1406

Project Description/Uses:

Madison Development Corporation, in conjunction with the City of Madison, is planning to construct a new state-of-the-art research facility at 5402 World Dairy Drive. This project is receiving public assistance in the form of a TIF loan and the transfer of land currently owned by the City, as part of the approved TIF. The project is also receiving considerable construction financing in the form of a grant from the US Dept. of Commerce, Economic Development Administration (EDA). The facility will provide bio and agro-science entrepreneurs the catalyst to take their technology to the next level. The 31,000 SF project will include: experimentation and prototyping flex space, controlled environmental research space, plant science commercialization greenhouses, offices, research laboratory space, pilot plant processing, small conferencing/meeting spaces, and business support services.

The proposed one-story (high-bay) building will be constructed of a brick veneer, concrete masonry, and metal panels wall systems. Aluminum framed glass storefront windows are

provided at the primary entrance, and the west and north elevations. Aluminum framed greenhouse structures will be provided on the south side of the facility. A small second floor interstitial area is being provided to accommodate mechanical equipment. A roof-top screen wall system will screen anticipated roof-mounted mechanical equipment. The building is also designed to include a "flat", adhered, single-ply membrane roof system.

Building height above grade is one story plus equipment mezzanine

- / 23'-0" to highest roof
- / 34'-0" to top of roof screen

The uses of the proposed building include:

- / Flexible Space for agribusiness related business tenants: 12,974 square feet. This will be open high bay area which may be improved by tenants for production, packing, storage, or some laboratory uses.
- / Greenhouse: 5,520 square feet. Enclosed greenhouse for planting and growing various research plants.
- / Headhouse: 3,490 square feet. Headhouse area is fairly rough space intended for plant preparation, potting, planting and post harvest of plants and initial processing of plants and plant material.
- / Headhouse/common equipment rooms: 745 square feet. These rooms will contain common use equipment related to plant functions, including items such as autoclave to sterilize plant and other materials prior to disposal, storage area for pesticides, a centrifuge area and other tools.
- / Office and Reception/Vestibule: 827 square feet. Used for reception area, and office of facility manager.
- / Conference/Break Rooms: 865 square feet. Common use spaces for building tenant businesses.
- / Mechanical Room: 5,786 square feet. For building mechanicals.
- / Receiving: 247 square feet, receiving room adjacent to loading dock area.
- / Other Miscellaneous Spaces: 5,400 square feet. Includes circulation, rest rooms, shower room, janitor closet.

The total gross square footage of the building is 35,800 GSF. The building "foot-print" on the site is 31,000 SF.

Roughly 20,000 gross square feet is devoted to general business space for agribusinesses that may include some laboratory and associated space, related offices and work stations, production and processing of agricultural products. Roughly 10,000 gross square feet is devoted to planting, greenhouse growing, and related plant and plant product processing functions.

The estimated number of employees is 86. This was calculated by adding the rentable square footage of Flex space and Headhouse space, plus the office/reception--totaling 17,195 – and dividing by one employee per 200 square feet. (The rentable greenhouse space is not calculated to have an employee contribution, since those employees would be housed in either the headhouse or flex space areas.)

Potential Capacity (as determined by building code): 254 occupants

Parking & Loading:

Number of parking spaces: 75 total, including 3 accessible spaces.
Accessible parking is provided adjacent to the main building entrance for staff and visitors.

There is one truck loading dock (covered) suitable for a 67 foot vehicle. Most deliveries for potential tenants will be via small box trucks.

Bicycle parking: 7-stall bicycle parking rack by the main building entry.

Hours of Operation:

The hours of operation will generally be during normal business hours (8-5) for most functions. Since the facility will include greenhouses and live plants, there will likely be some late hour usage for plant care workers. The facility will have automated systems for heat, plant lighting, and watering which may limit the need for extensive off hours attention to live plants.

Site Area:

The site contains a total of 2.63 acres, or 114,563 square feet.

Trash Removal/Storage:

Trash removal and storage consists of 2 dumpsters of 6-yd (ea.) capacity located near the loading dock on the north side of the building.



January 5, 2011

Zoning Text: Specific Implementation Plan (PUD-SIP)

Project Name: Midwest BioLink Commercialization and Business Center

Site Address: 5402 World Dairy Drive

Legal Description: This PUD-SIP zoning district is established to allow for the construction of office, research, laboratory and greenhouse facilities.

A. Statement of Purpose:

1. This Planned Unit Development (PUD) District is established to provide employment opportunities within and aesthetically attractive working environment exclusively for and conducive to the development and protection of research and development institutions, certain specialized manufacturing and industrial establishments and offices of a non-nuisance type. The essential purpose of this district is to achieve development which is practical, feasible and economical and maintain desirable economic development activities in an attractive urban setting. The district is intended to provide sites which are suitable for industrial and office uses within and aesthetically attractive area.

B. Permitted Uses:

1. Lot Number	Permitted Use	Zoning Requested
Lot 10 (Ten)	Office, Research and Development, Laboratory, Greenhouse, Business engaged In Dairy or Agricultural purpose	PUD-SIP

2. The temporary building for storage of building materials and equipment for construction purposes when on the same lot as a principal use for a period not to exceed the duration of such construction.

C. Lot Area:

1. Lot area = 114,563 square feet, (2.63 Acres)

D. Floor Area Ratio:

1. The building coverage on any zoning lot shall not exceed 0.5.

2. Floor area Ratio for this project is .31
3. Maximum Height for this building is 2 (two) stories (the second story is a small interstitial area for mechanical equipment and access).

E. Yard Requirements:

1. Yard areas will be as provided and shown on approved plans.

Note: The submitted drawings currently show an emergency generator enclosure at the east end of the building, which is located within the setback area. At the time of this application City of Madison staff (Matt Tucker) was in the process of determining if this was in compliance with the PUD/GDP zoning for the site. If he should determine that it is not in compliance, the owner intends to seek an amendment to the GDP which would permit this.

F. Landscaping:

1. Site landscaping will be as provided and shown on approved plans.

G. Accessory and off-street parking & loading:

1. Accessory off-street parking and loading will be provided as shown on approved plans.

H. Lighting:

1. Site lighting will be provided as shown on approved plans.

I. Signage:

1. Signage will be allowed as per Chapter 31 of the Madison General Ordinances, and approved plans.

J. Alterations and revisions:

1. No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.



6411 MINERAL POINT ROAD T/ 608 276 9200
MADISON, WI 53705-4395 F/ 608 276 9204

MINUTES

CLIENT:	Madison Development Corp.	PROJECT NAME:	Midwest BioLink Commercialization and Business Center
SUBJECT:	Meeting with Alder Judy Compton	PROJECT NUMBER:	2009064
		DATE:	1/12/11
		ISSUED BY:	Peter Tan
IN ATTENDANCE:	Alder Judy Compton Frank Staniszewski - MDC Mike Mathews - Ruedebusch Peter Tan – Strang Michael Gay, City of Madison	COPIES TO:	Participants Strang file Wayne Whiting Tom Kleinheinz

Meeting Purpose:

To present the design and exterior materials and finishes of the project to Alder Judy Compton, and to address the concerns she has regarding the project.

Discussion:

1. Exterior materials:

Peter presented the design of the project and indicated where each material was located on the exterior of the building. The corrugated galvalume metal panel is used as an accent in combination with a palette of materials that includes brick, grey concrete block and grey concealed fastener metal panel to reinforce both the agrarian and high-tech metaphors used in the design. Peter showed photographs of Class A type buildings in our community that Strang has designed that use this material, including Summit Credit Union Rimrock Road, GE Lunar, APT Touchstone Theatre, SAFC Tetrionics, HealthEmotions Research Institute and General Heating and Air Conditioning. After a discussion, Alder Judy Compton accepted the choice of materials as presented.

2. Dumpster enclosure:

The next item of discussion focused on Alder Compton's concern that dumpster enclosures in the city have been used for illicit activities related to drugs and temporary shelter for the homeless. The decision was made to locate a person-door on the east side of the dumpster enclosure to enable building occupants to safely access the dumpsters without having to open the large vehicular access doors. The large dumpster doors will be locked and secured for entry only by management and the waste disposal service. The height of the enclosure will also be raised by 8" to 16" to make it more difficult for people to climb into the enclosure. Alder Compton agreed that it was not necessary to place a roof over the enclosure.

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN

3. Sustainability:

The project will be designed with strong emphasis on sustainability. In keeping with our shared goal of being responsible stewards of the environment, sustainable building materials and energy efficient systems have been incorporated into the project. LEED Certification will not be pursued. In the final cost estimating and setting of Bid Alternates, MDC, the architects and engineers shall consider materials and methods to enhance sustainability such as a green roof or other techniques.

4. Handling of hazardous material disposal:

The facility shall follow all applicable and required standards for biohazard waste disposal. Hazardous biological material will be sterilized in autoclaves before disposal. Flammable and toxic chemicals will be deposited in secure fireproof containers and disposed of by a contracted service.

MEETING ADJOURNED: 2:30 PM

NEXT MEETING: To be determined

WISCONSIN DEPARTMENT
OF AGRICULTURE

STATE
HYGIENE
LAB

4

5

11

12

6

9

0
11

BIOAG
SHOWCASE
(200 ACRES)

INTERSTATE 90/39

N

PELAUM RD

STATE
HYGIENE
LAB

AGRICULTURE DR

DAIRY DR

WORLD DAIRY DR

AGRICULTURE DR

WALTON COMMONS W
WALTON COMMONS E

GRAHAM PL

BIOLINK

UW FEN OAK
AGRICULTURE
EXTENSION
OFFICE

FEMRITE DR

**Bio-Ag Gateway
Campus Sites**

Lot 4 - 4.463 acres

Lot 5 - 4.749 acres

Lot 6 - 3.724 acres

Lot 9 - 5.855 acres

Lot 11 - 3.001 acres

Lot 12 - 3.311 acres

Outlot 12 - 1.390 acres

Contact:

Michael Gay, City of Madison
Office of Business Resources

608-267-4933

mgay@cityofmadison.com

Interstate 39/90

Beltline 12/18

Femrite Drive

Agriculture Drive

World Dairy Drive

Graham Place

Walton Commons

Midwest BioLink
Commercialization &
Business Center Site

Wisconsin Department of Agriculture
Trade & Consumer Protection

State Department
of Hygiene



BioLink Site Photos

(Locations indicated in aerial photo)



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



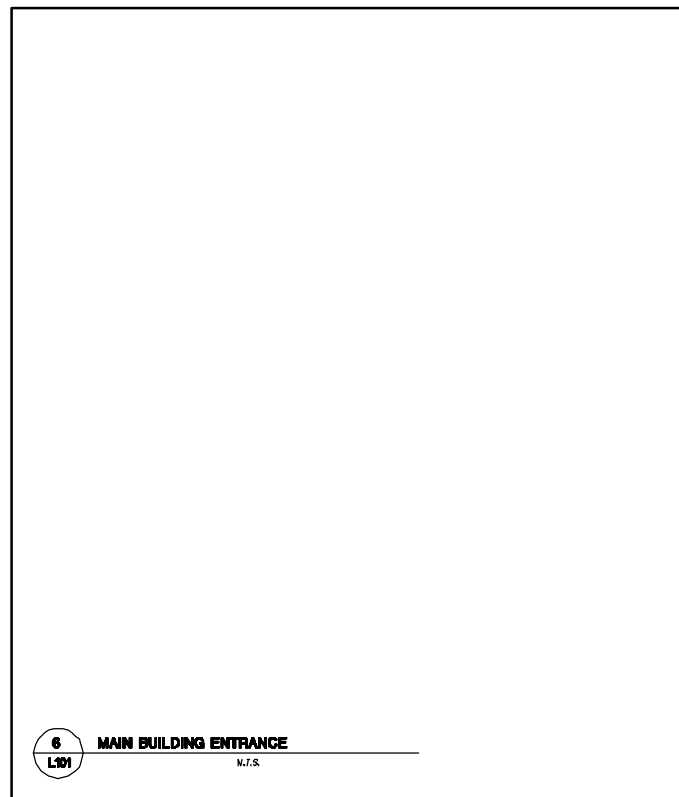
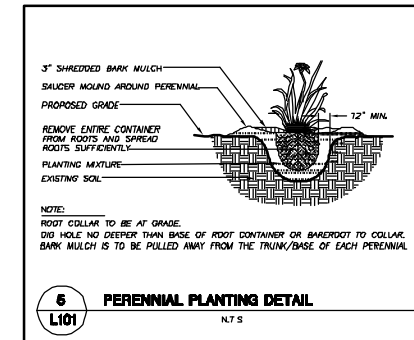
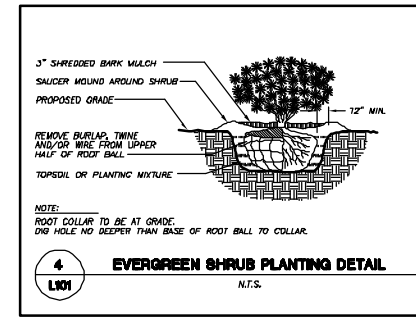
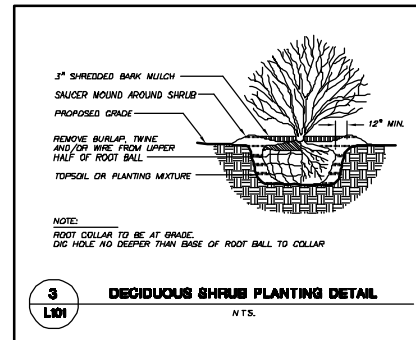
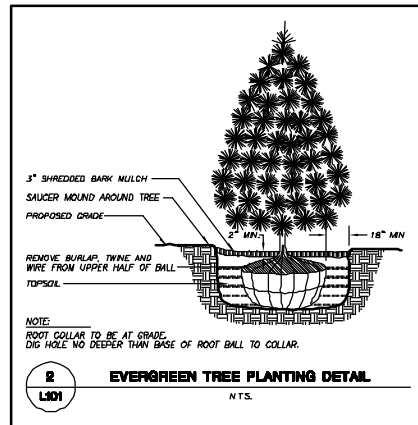
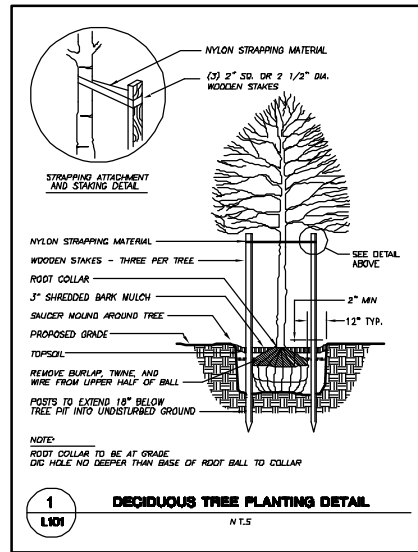
Photo 7



Photo 8

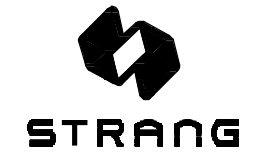


Photo 9



LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL. ALL WORK IN THE P-O-W AND PUBLIC ELEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-365-5144 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL THE DIGGING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THEM STOCK NOT PLANTED BY STANDING STOCK IN A SHADY AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTH AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAMPS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- SEEDING: ALL DISTURBED AREAS SHALL BE SEEDING AS SPECIFIED IN THESE NOTES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FREELY DUG DURING THE MOST RECENT FAVORABLE HARVEST SEASON. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF "THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF WAHRY, PARVARY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF 50 (50) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 - SEEDING AREAS = 7"
 - PARKING ISLANDS = 20"
 - TREE RINGS AND PITS = SEE DETAILS
 PLANTING SOIL TO BE A MINIMUM 6" DEPTH UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OVER 3/4" IN DIAMETER, AND FREE FROM TOKNS. TOPSOIL SHALL HAVE A PH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - FERTILIZER AND MULCH: ALL TREE RINGS, AND PLANTED PARKING ISLANDS SHALL RECEIVE 3" OF MUSHROOM COMPOST, TILLED INTO THE TOP 12" OF ALL PLANTING BEDS. TREE RINGS SHALL AND BRETENTION AREA SHALL RECEIVE 3" DEPTH, FINELY SHREDDED, WEED FREE, CEDAR BARK MULCH (LOVE-FREE) OVER ENTIRE BED UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH DANE COUNTY AND STATE OF WISCONSIN REQUIREMENTS. ALL TREE RINGS SHALL BE AT LEAST 6" IN DIAMETER.
- MATERIALS - EDGING: EDGING SHALL BE 3" DEEP, BLACK, POLYETHYLENE EDGING EXCEPT FOR TREE RINGS. ALL DECIDUOUS, ORNAMENTAL, AND EVERGREEN TREES NOT WITHIN EDGED LANDSCAPE BEDS SHALL BE INSTALLED WITH A 6" DIAMETER TREE RING WITH SHOVEL EDGING.
- MATERIALS - SEED: ALL LAWN SEED SHALL BE EARTH CARPET'S "BOULEVARD" OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- AREA DESIGNATED TO RECEIVE PRIME SEED MIX IS TO BE SEEDING WITH "LOW GROWING PRIME FOR MEDIUM SOILS" SEED MIX (ITEM NO. 50010) AS PROVIDED BY PRIME NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53864, TEL. 808-298-3679. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT.
- LAWN SEEDING OPERATIONS: FOLLOW MANUFACTURER'S SPECIFICATIONS FOR LAWN SEEDING, UNLESS OTHERWISE SPECIFIED IN THESE SPECIFICATIONS. SPECIFICATION'S FOR SEEDING WITH DOT SEED MIX CAN BE FOUND AT [HTTPS://TRIST.001.STATE.WI.US/STATIC/STANDARDS/STANDARDS/SEEDING.PDF](https://trist.001.state.wi.us/STATIC/STANDARDS/STANDARDS/SEEDING.PDF). IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED WITH FINAL ACCEPTANCE FROM THE OWNER.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A301. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCABS ON BARK, TRACE THE INJURED CHANNEL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDING LAWN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



ARCHITECTURE
ENGINEERING
INTERIOR DESIGN

STRANG INC.
8421 W. WISCONSIN POINT ROAD
MADISON, WI 53728-4982
7608 876 8800
7608 275 0224

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
 - SURVEYING & MAPPING
 - CONSTRUCTION SERVICES
 - WATER RESOURCES
 - PLANNING & DEVELOPMENT
 - TRANSPORTATION ENGINEERING
 - STRUCTURAL ENGINEERING
 - LANDSCAPE ARCHITECTURE
- MADISON REGIONAL OFFICE
481 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.285.8800 PHONE | 608.285.8855 FAX
MADISON | MILWAUKEE
KROENKE | APPLETON
www.jsdinc.com

DRAWING SET	SD
COPYRIGHT	12-23-10
FILE NAME	09-3827 Landscap
REVISIONS	
DRAWN	JLF
CHECKED	MS
DATE	12-23-10
PROJECT NO.	2009064
PROJECT TITLE	

MIDWEST BIOLINK
COMMERCIALIZATION
AND BUSINESS
CENTER

5402 WORLD DAIRY DRIVE
MADISON, WI 53716

SHEET TITLE

LANDSCAPE
SPECIFICATIONS
AND DETAILS

SHEET NO.
L101

LANDSCAPE NOTES

1. REFER TO SHEET L101 FOR ADDITIONAL NOTES AND LEGEND INFORMATION
2. REFER TO THE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS NOTES AND LEGEND.
3. REFER TO CIVIL PLANS FOR PROPOSED EROSION CONTROL, GRADING, AND UTILITIES.
4. ASD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE SHOWN CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK GRADING AND VEHICULAR WITH GENERAL CONTRACTOR
6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED BY THE TITLE BLOCK.
7. ANY IRRIGATION DESIGN BY OTHERS.

LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- EDGE OF ASPHALT
- ADJUTING
- EASCENT
- DOLLARD

LEGEND (PLANTS)

- 16" DECIDUOUS TREES (800 SQUARE FEET)
- 9" DECIDUOUS TREES (300 SQUARE FEET)
- 4" DECIDUOUS TREES (100 SQUARE FEET)
- 1" DECIDUOUS TREES (50 SQUARE FEET)

- ORNAMENTAL GRASSES
- LYONGICUM SHRUBS
- SMALL DECIDUOUS SHRUBS
- MEDIUM/LARGE DECIDUOUS SHRUBS
- HELEBRUMS
- DECIDUOUS TREES
- EVERGREEN TREES
- MEDIUM-SCALE DECIDUOUS TREES
- FULL-SCALE DECIDUOUS TREES

LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas
(Question for US National Concrete Landscape)

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT:

I - Equivalent of Trees Required
The number of trees is based on the number of parking stalls. Using the table below to determine the number of trees is based on the number of stalls required. An example (see below) is provided for 10 parking stalls.

II - Equivalent of Landscaping Points Required
The number of points is based on the number of parking stalls. Using the table below to determine the number of points is based on the number of stalls required. An example (see below) is provided for 10 parking stalls.

Number of Parking Stalls	Equivalent of Trees Required
10	10
20	20
30	30
40	40
50	50
60	60
70	70
80	80
90	90
100	100

Number of Parking Stalls	Equivalent of Landscaping Points Required
10	100
20	200
30	300
40	400
50	500
60	600
70	700
80	800
90	900
100	1000

Element	Area	Points per Sq Ft	Total Points
Concrete (900 sq ft)	900	100	90,000
Asphalt (400 sq ft)	400	100	40,000
Grass (100 sq ft)	100	100	10,000
Plantings (100 sq ft)	100	100	10,000
TOTAL			150,000

Approved by: _____ Date: _____

LANDSCAPE PLANT SCHEDULE

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	MAJOR/RECD LS POINTS	ACTUAL LS POINTS
LARGE GROWING DECIDUOUS TREES (CANOPY TREES)							
RM	2	Red Maple	ACER rubrum	2" Cal.	0.60	0.0	0
CB	2	Circle Birch	CHAMAECARPUS "Palmer's Gold"	2" Cal.	0.60	0.0	0
RC	2	Northern Red Oak	QUERCUS rubra	2" Cal.	0.60	0.0	0
CC	1	Cleveland Oak	QUERCUS coccinea	2" Cal.	0.60	0.0	0
MEDIUM-TALL GROWING DECIDUOUS TREES							
MN	2	American Hornbeam	CORNUS amomifera	2" Cal.	0.60	0.0	0
CP	5	Cherokee Caneberry	RYTHUS corymbosa "Cherokee"	1 1/2" Cal.	0.60	0.0	0
TALL EVERGREEN TREES							
RP	6	Red Pine	PINUS resinosa	3"-4"	0.60	0.0	0
ORNAMENTAL DECIDUOUS TREES							
CC	1	Cornus	PHORNIX v. variegata	18" Ht.	#3 Cont.	0.0	15
CR	1	Thomas Coakspur Hawthorn	CARYOPHTERUS couglteri var. opuntia	2" Cal.	0.60	0.0	15
LARGE GROWING DECIDUOUS SHRUBS							
KE	10	Knotted Hydrangea	COENOS coccinea	18"-24" Ht.	#3 Cont.	0.0	20
KN	3	Knotted Hydrangea	COENOS coccinea	18"-24" Ht.	#3 Cont.	0.0	6
HC	9	Hardy Hydrangea	COENOS coccinea	18"-24" Ht.	#3 Cont.	0.0	18
HR	7	Hardy Hydrangea	COENOS coccinea	18"-24" Ht.	#3 Cont.	0.0	14
SRV	3	Sterile Red Quince	SYDNEYA rubra	18"-24" Ht.	#3 Cont.	0.0	6
MEDIUM GROWING DECIDUOUS SHRUBS							
FR	5	Fire Poppet Weigela	WEIGELA hortensis	18"-24" Ht.	#2 Cont.	0.0	12
PPW	5	Pink Poppy Weigela	WEIGELA hortensis	18"-24" Ht.	#2 Cont.	0.0	12
LOW GROWING DECIDUOUS SHRUBS							
FB	100	Concord Flame Barbary	CEONIS barbata "Concord Flame"	15"-18" Ht.	#2 Cont.	0.0	200
MF	27	Mossy Lyoniche	FONCICA v. violacea "Mossy Lyoniche"	15"-18" Ht.	#2 Cont.	0.0	54
LOW GROWING EVERGREEN SHRUBS							
SL	10	Silky Dogwood	DOGWOOD	10"-12" Ht.	#1 Cont.	0.0	147
PERENNIALS							
FR	8	Floral Flame Aster	ASTER hortensis	10"-12" Ht.	#1 Cont.	0.0	0
MB	18	Mossy Lyoniche	DOGWOOD	10"-12" Ht.	#1 Cont.	0.0	0
FE	8	Floral Flame Aster	ASTER hortensis	10"-12" Ht.	#1 Cont.	0.0	0
HR	8	Hardy Hydrangea	COENOS coccinea	10"-12" Ht.	#1 Cont.	0.0	0
HF	14	Hardy Hydrangea	COENOS coccinea	10"-12" Ht.	#1 Cont.	0.0	0
S	16	Siberian Iris	IRIS sibirica	10"-12" Ht.	#1 Cont.	0.0	0
PC	17	Pink Poppy Weigela	WEIGELA hortensis	10"-12" Ht.	#1 Cont.	0.0	0
ORNAMENTAL GRASSES							
KF	0	Kentucky Bluegrass	POA pratensis	10"-12" Ht.	#1 Cont.	0.0	0
BD	0	Bermuda Grass	CYNODON dactylon	10"-12" Ht.	#1 Cont.	0.0	0
GG	0	Golf Course Grass	POA annua	10"-12" Ht.	#1 Cont.	0.0	0
AG	0	American Grass	POA annua	10"-12" Ht.	#1 Cont.	0.0	0
MBS	0	Mossy Lyoniche	DOGWOOD	10"-12" Ht.	#1 Cont.	0.0	0
GG	0	Golf Course Grass	POA annua	10"-12" Ht.	#1 Cont.	0.0	0
GRASSES AND SEDGES							
LS	0	Limp Bluegrass	CYNODON dactylon	3" Ht.	Ht	0.0	0
MS	0	Mossy Lyoniche	DOGWOOD	3" Ht.	Ht	0.0	0
MS	0	Mossy Lyoniche	DOGWOOD	3" Ht.	Ht	0.0	0
PR	20	Prairie Dropseed	SPECTROBOLUS heterophyllus	3" Ht.	Ht	0.0	0
SG	0	Siberian Iris	IRIS sibirica	3" Ht.	Ht	0.0	0
CC	0	Cornus	PHORNIX v. variegata	3" Ht.	Ht	0.0	0

500 TOTAL POINTS REQUIRED 889 TOTAL POINTS ACHIEVED

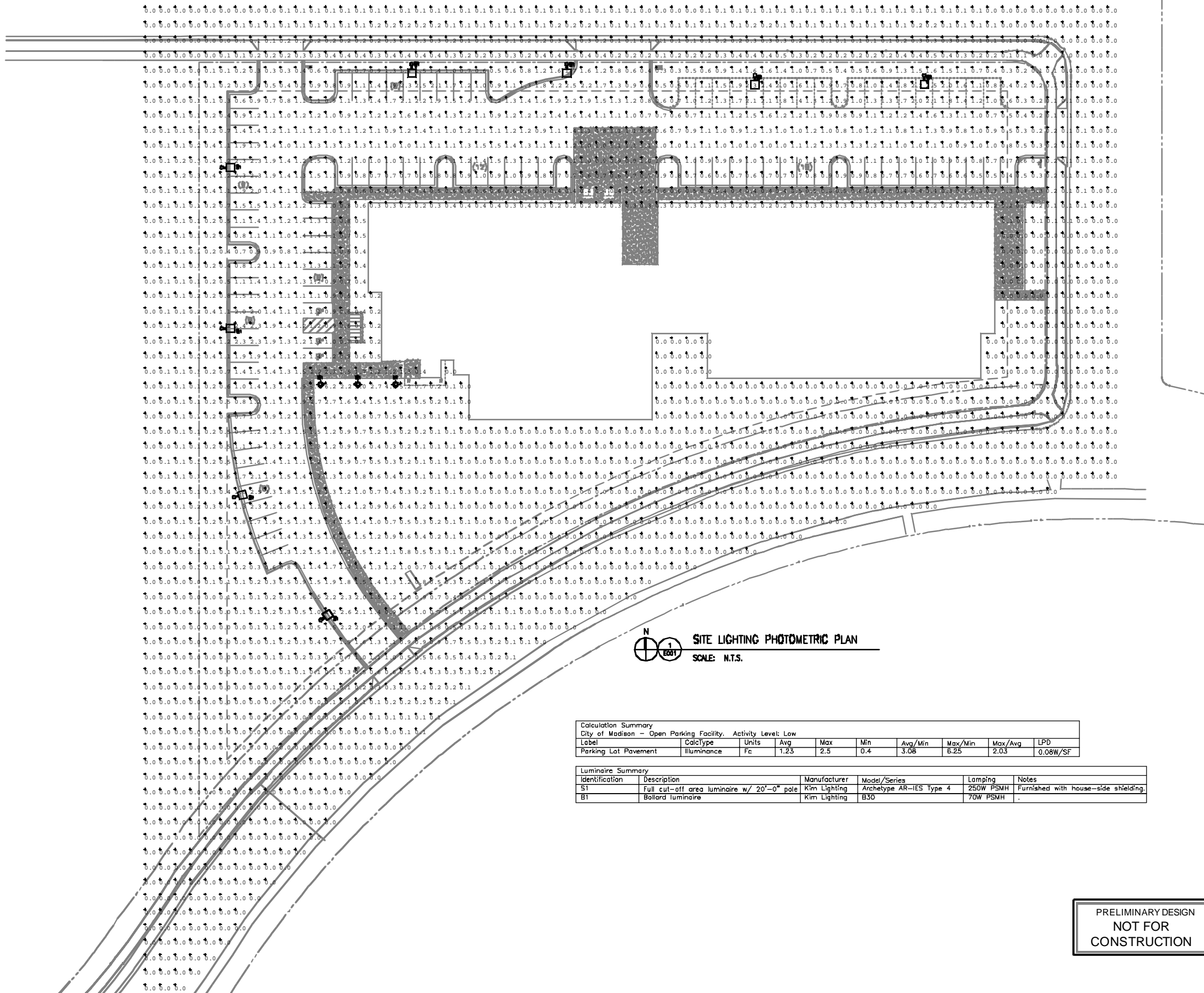
EXACT QUANTITIES OF PERENNIALS AND ORNAMENTAL GRASSES TO BE DETERMINED.



STRANG

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STRANG INC.
6161 MINERAL POINT ROAD
MADISON, WI 53706-4886
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N
1
E001
SITE LIGHTING PHOTOMETRIC PLAN
SCALE: N.T.S.

Calculation Summary									
City of Madison - Open Parking Facility, Activity Level: Low									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg	LPD
Parking Lot Pavement		Footcandle	1.23	2.5	0.4	3.08	6.25	2.03	0.08W/SF

Luminaire Summary					
Identification	Description	Manufacturer	Model/Series	Lamping	Notes
ST	Full cut-off area luminaire w/ 20'-0" pole	Kim Lighting	Archetype AR-IES Type 4	250W PSMH	Furnished with house-side shielding.
BT	Ballast luminaire	Kim Lighting	B30	70W PSMH	

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 REVISIONS

DRAWN BB
 CHECKED BB
 DATE 01-26-11
 PROJECT NO. 2009064
 PROJECT TITLE

MIDWEST BIOLINK
 COMMERCIALIZATION
 AND BUSINESS
 CENTER
 5402 WORLD DAIRY DRIVE
 MADISON, WI 53716

PRELIMINARY DESIGN
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SHEET TITLE
 SITE LIGHTING
 PHOTOMETRIC PLAN
 SHEET NO.
 E001

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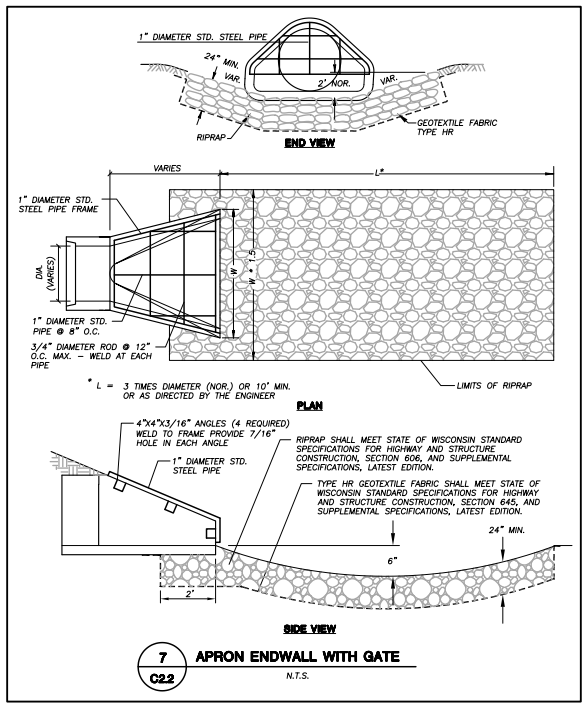
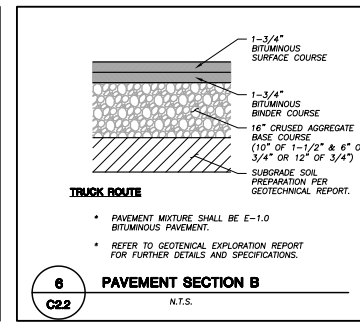
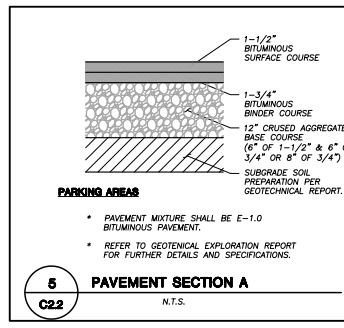
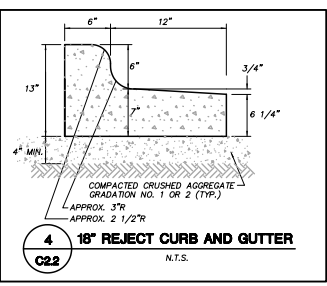
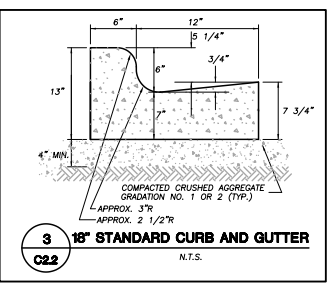
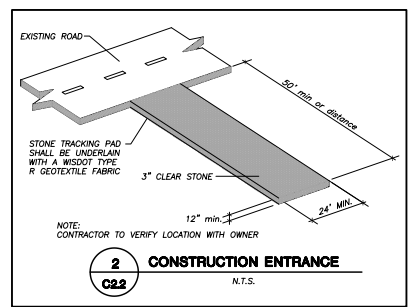
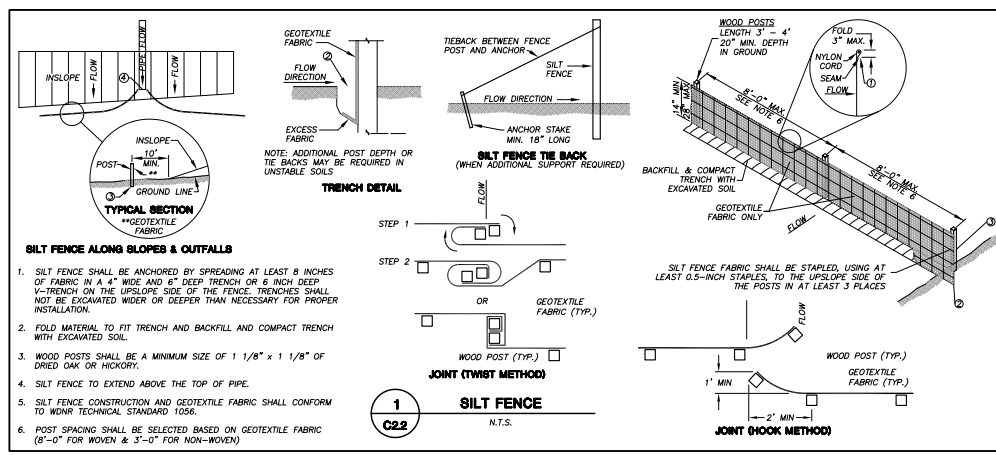
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MADISON, WI 53708-4868
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- MADISON REGIONAL OFFICE
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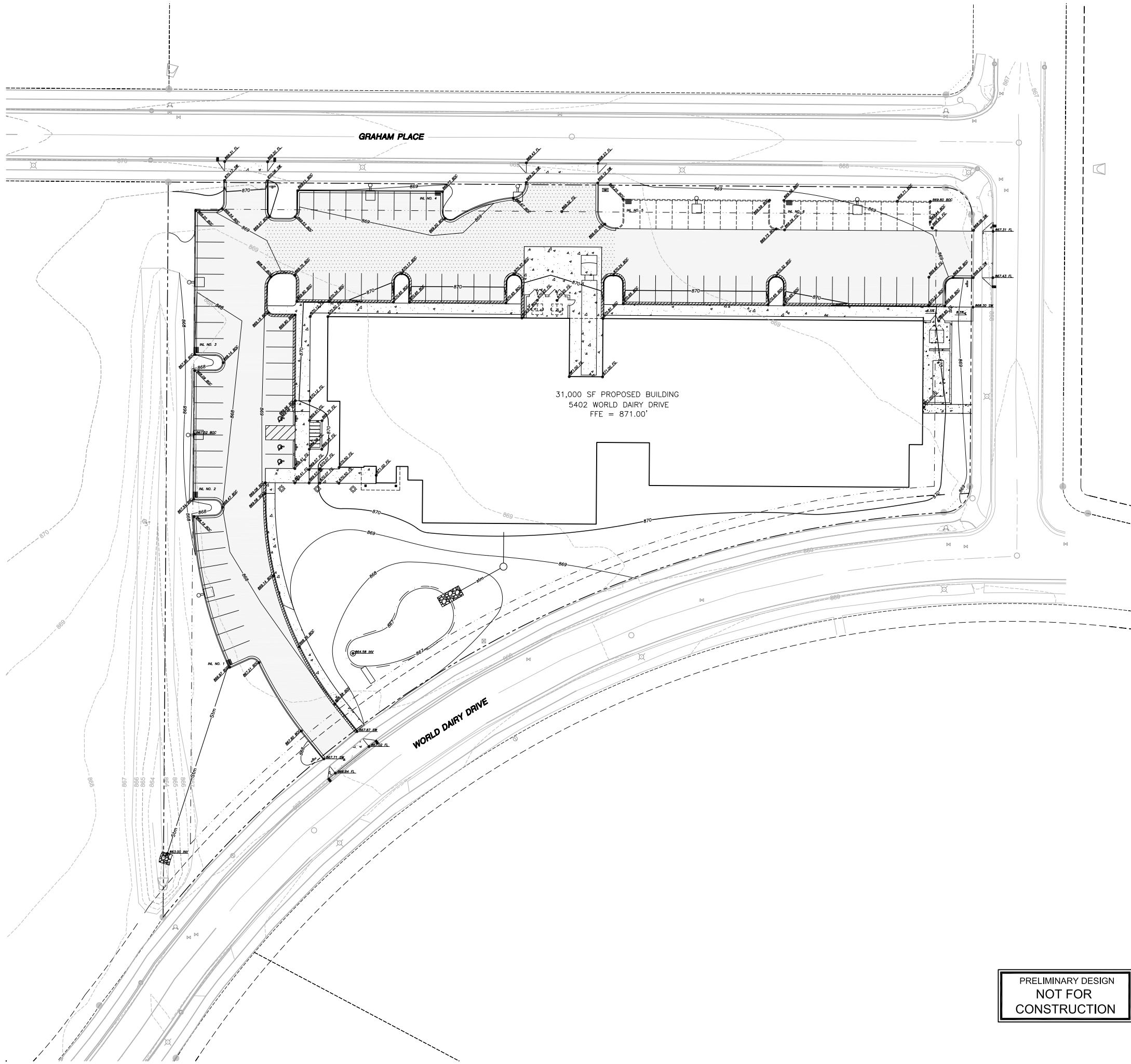
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PROJECT TITLE	

MIDWEST BIOLINK
COMMERCIALIZATION
AND BUSINESS
CENTER

5402 WORLD DAIRY DRIVE
MADISON, WI 53716

SHEET TITLE
DETAILS

SHEET NO.
C203



LEGEND (PROPOSED)

- PROPERTY LINE
- 869- PROPOSED 1 FOOT CONTOUR
- 870- PROPOSED 5 FOOT CONTOUR
- INFILTRATION/SWALE AREA
- stm- STORM SEWER
- EDGE OF PAVEMENT
- SAWCUT
- 18" STANDARD CURB & GUTTER
- 18" REJECT CURB & GUTTER
- ASPHALT PAVEMENT TYPE A
- ASPHALT PAVEMENT TYPE B
- CONCRETE PAVEMENT
- SPOT ELEVATION
- FL - FLOW LINE
- SW - SIDEWALK
- BSC - BACK OF CURB
- FG - FINISHED GRADE

GENERAL NOTES

1. EXISTING CONDITIONS SURVEY PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY INFORMATION PRIOR TO CONSTRUCTION.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH WISCONSIN GENERAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
6. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
7. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
8. REFER TO GEOTECHNICAL REPORT FOR FURTHER PAVEMENT INFORMATION.

GRADING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. NO GRADING OUTSIDE OF CONSTRUCTION LIMITS OR BEYOND SILT FENCE LOCATIONS.
3. ALL HANDICAP PARKING AND ACCESS POINTS MUST COMPLY WITH ADA REQUIREMENTS.



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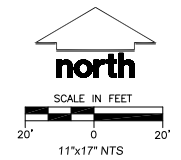
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**MIDWEST BIOLINK
COMMERCIALIZATION
AND BUSINESS
CENTER**

5402 WORLD DAIRY DRIVE
MADISON, WI 53716

SHEET TITLE
**DETAILED GRADING
PLAN**

SHEET NO.
C202



STRANG INC.
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- LEGEND (PROPOSED)**
- PROPERTY LINE
 - - - PROPOSED 1 FOOT CONTOUR
 - - - PROPOSED 5 FOOT CONTOUR
 - INFILTRATION/SWALE AREA
 - - - STORM SEWER
 - - - SANITARY SEWER
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 - - - 18" REJECT CURB & GUTTER
 - - - ASPHALT PAVEMENT TYPE A
 - - - ASPHALT PAVEMENT TYPE B
 - - - CONCRETE PAVEMENT

- GENERAL NOTES**
- EXISTING CONDITIONS SURVEY PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY INFORMATION PRIOR TO CONSTRUCTION.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
 - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH WNR GENERAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
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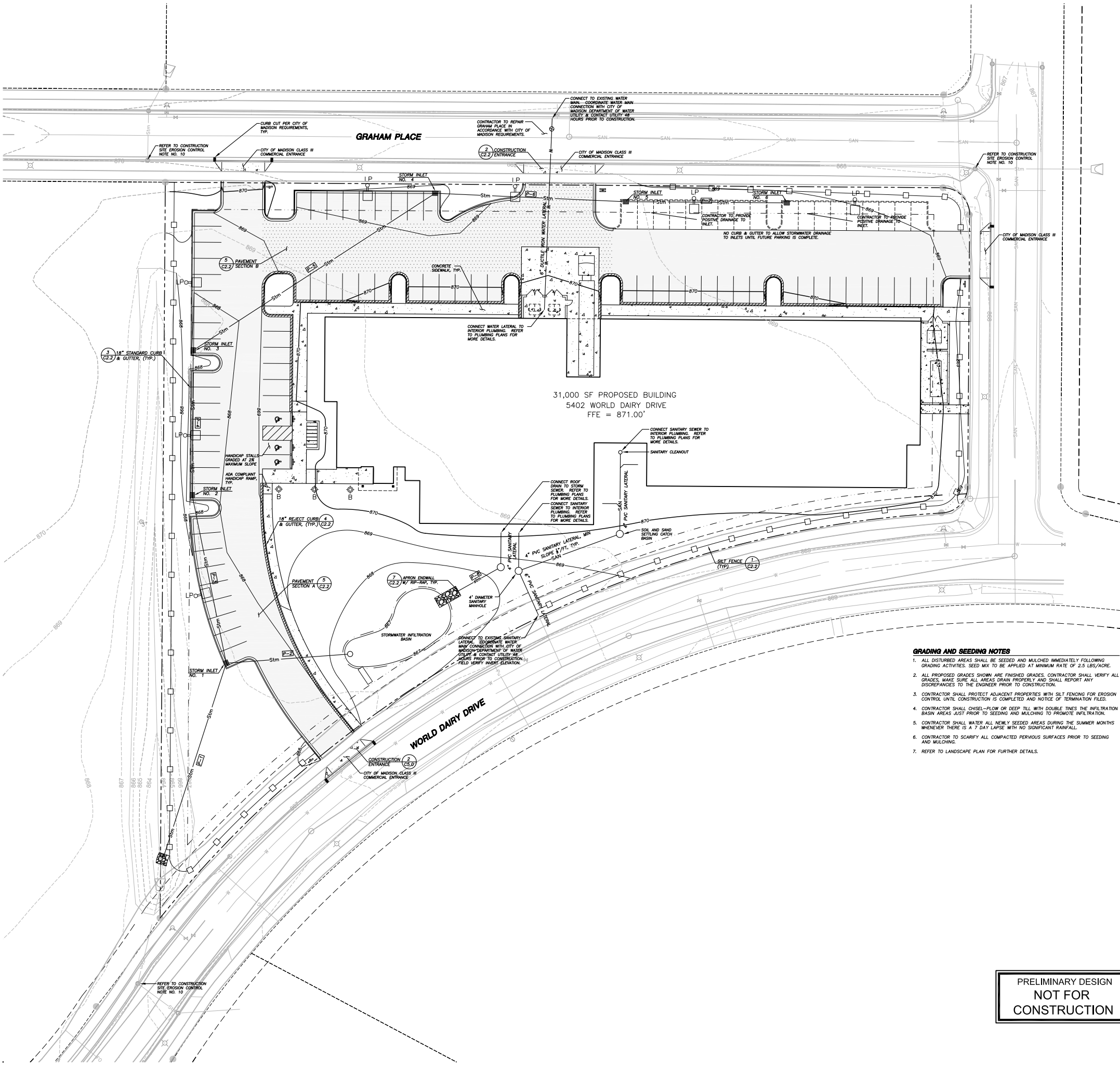
- CONSTRUCTION SITE EROSION CONTROL**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WNR TECHNICAL STANDARDS.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 4" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WNR TECHNICAL STANDARDS.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION, INCLUDING INLETS WITHIN THE STREET. REFER TO WISDOT FDM FOR RESPECTIVE DETAILS.
 - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 - ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT THEREOF, AS REQUIRED.
 - CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
 - CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WNR REQUIREMENTS.
 - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WNR TECHNICAL STANDARD 1068.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 5" MINIMUM BURST.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISCONSIN, AND WNR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAB FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30-6.
 - ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO COMM 84.30-7.
 - CONTRACTOR TO PROVIDE A MEANS OF LOCATING ALL PIPES.

DRAWING SET	SD
COPYRIGHT	12-23-10
FILE NAME	09-3827
REVISIONS	01-26-2011
DRAWN	BJK
CHECKED	
DATE	12-23-10
PROJECT NO.	2009 064
PROJECT TITLE	

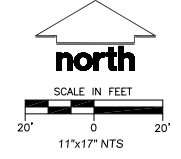
**MIDWEST BIOLINK
 COMMERCIALIZATION
 AND BUSINESS
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 5402 WORLD DAIRY DRIVE
 MADISON, WI 53716

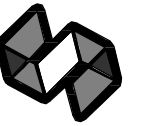
SHEET TITLE
**GRADING, EROSION
 CONTROL, & UTILITY
 PLAN**
 SHEET NO.
C201



- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE APPLIED AT MINIMUM RATE OF 2.5 LBS./ACRE.
 - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
 - CONTRACTOR SHALL CHISEL-FLOW OR DEEP TILL WITH DOUBLE TIMES THE INFILTRATION BASIN AREAS JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 - CONTRACTOR TO SCARIFY ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
 - REFER TO LANDSCAPE PLAN FOR FURTHER DETAILS.

**PRELIMINARY DESIGN
 NOT FOR
 CONSTRUCTION**





STRANG

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN

STRANG INC.
2411 MINERAL POINT ROAD
MADISON, WI 53708-4300
T/ 608 278 9200
F/ 608 278 9204

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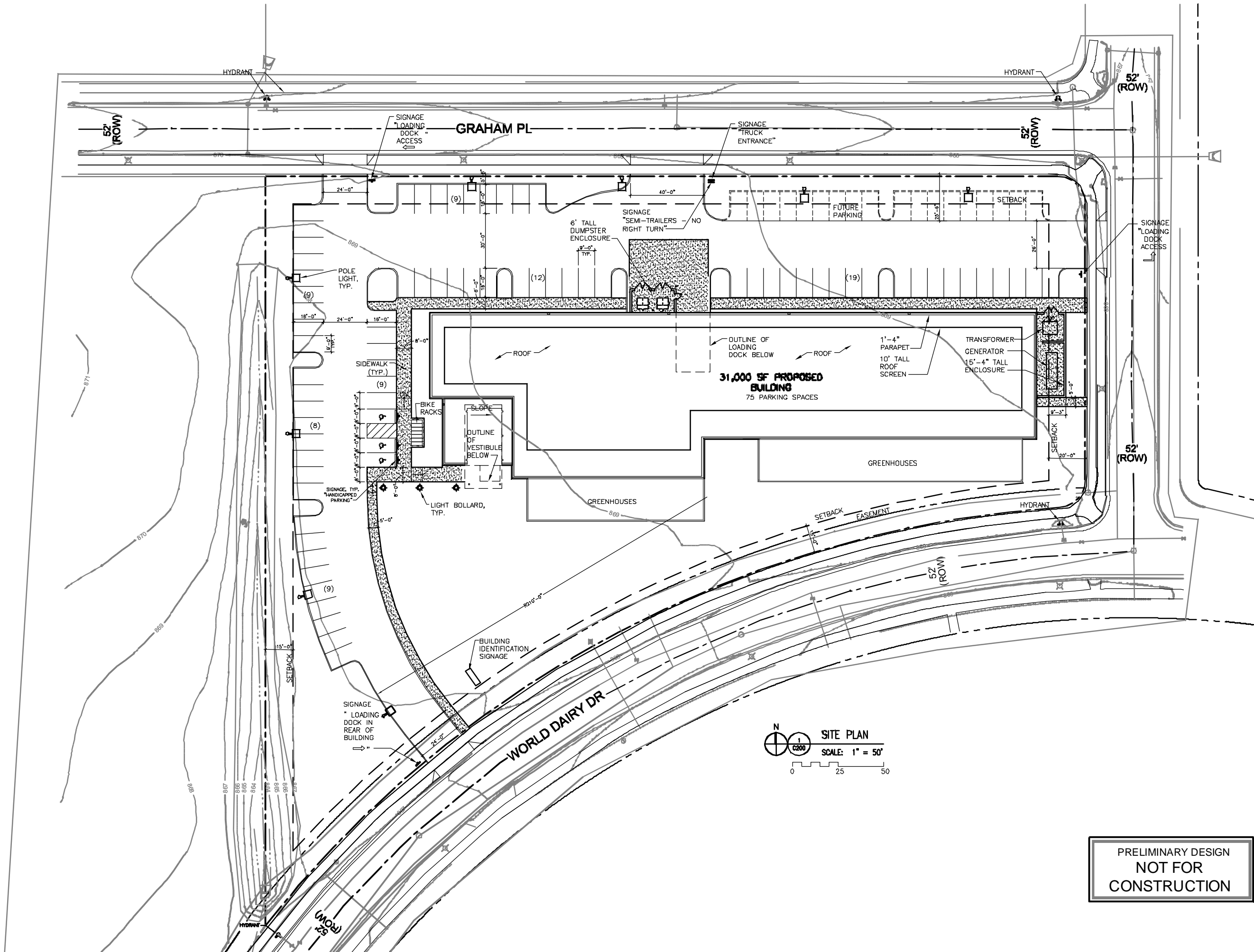
**MIDWEST BIOLINK
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AND BUSINESS
CENTER**

5402 WORLD DAIRY DRIVE
MADISON, WI 53716

SHEET TITLE
SITE PLAN

SHEET NO.
C200

**PRELIMINARY DESIGN
NOT FOR
CONSTRUCTION**





1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION
SCALE: 3/32" = 1'-0"



4 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN



MIDWEST BIO-LINK
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ARCHITECTURE
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SCALE: 1" = 10'

