

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

- New development       Alteration to an existing or previously-approved development  
 Informational       Initial approval       Final approval

## 3. Project Type

- Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
     General Development Plan (GDP)  
     Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

- Comprehensive Design Review (CDR)  
 Signage Variance (i.e. modification of signage height, area, and setback)

### Other

- Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_ **Company** \_\_\_\_\_

**Street address** \_\_\_\_\_ **City/State/Zip** \_\_\_\_\_

**Telephone** \_\_\_\_\_ **Email** \_\_\_\_\_

**Project contact person** \_\_\_\_\_ **Company** \_\_\_\_\_

**Street address** \_\_\_\_\_ **City/State/Zip** \_\_\_\_\_

**Telephone** \_\_\_\_\_ **Email** \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

**Street address** \_\_\_\_\_ **City/State/Zip** \_\_\_\_\_

**Telephone** \_\_\_\_\_ **Email** \_\_\_\_\_

5. Required Submittal Materials

- Application Form
- Letter of Intent
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans (Refer to checklist provided below for plan details)
- Filing fee
- Electronic Submittal\*



Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on January 4, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Curt Brink Relationship to property Developer  
 Authorized signature of **Property Owner** *Curt Brink* Date \_\_\_\_\_

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit





January 23, 2019  
*Via hand delivery and email*

City of Madison  
Urban Design Commission

**Re: Letter of Intent for Proposed Development  
929 East Washington Avenue**

Dear Commission Members and City Staff:

We are pleased to present the enclosed documents for a new mixed use commercial and office development at 929 East Washington Avenue. The project is the next phase of the development of the 900 block of East Washington Avenue. Currently, the Hotel Indigo including the restoration of the historic Kleuter Building is under construction and will be opening this spring.

This phase of the project will require a Conditional Use for a building taller than 5 stories located in the TE zoning district. We are also applying for a demolition permit for two buildings on the site. The project is located within Urban Design District 8 along the East Washington Capitol Gateway Corridor in Sub Block 13 A & B. The project meets the established requirements for building heights, façade height, minimum and maximum setback and step back requirements. The building height does extend in the area of bonus stories in terms of dimensions because of the higher floor to floor heights for office and commercial use.

During a recent informational presentation to the Urban Design Commission, the feedback we received on the building's design was very positive. One commission member complemented the "subtle and elegant" glass facade of the central mass of the building. Nonetheless, we understand that the zoning department has identified a concern with the proposed design to the extent that it conflicts with section 28.173(6)(c) of the zoning code (Podium Building; Massing and Articulation), which requires facades facing a public street to exhibit "vertical articulation" at a minimum interval of forty feet. It is our understanding that city staff may soon be recommending a change to the zoning text that would resolve this issue by vesting the Urban Design Commission with greater authority to approve the final design. It is our hope that consideration of the land use approvals for this project will move forward on a parallel track with the proposed text amendment.

Most of the building is planned for office use, the first floor along East Washington Avenue is planned for commercial, retail and restaurant use, although no tenants have yet to be identified for the first floor. If a restaurant is proposed on the first floor a separate conditional use approval will be required. Also, the terrace along East Washington Avenue is designed to accommodate outdoor seating and dining.

The exterior design of the building follows the set back and step back requirements of Urban Design District 8 creating a podium building. The first floor of the building facing East Washington Avenue is mostly glass and is recessed back from the face of the building exposing freestanding stone clad columns at the street level to create layering and depth at the street level. The next two floors of the podium are highly articulated with alternating vertical panels of stone and glass, the podium building is highly articulated to create interest at the pedestrian and street level. Limestone on the vertical panels and column cladding recalls the sand stone wall around Breeze Steven Field across the street. Above the podium is a glass volume with two creases creating three sloped smooth glass planes each with a unique reflection. The upper part of the building is intended to be viewed from a further

distance and add interest to the city skyline with its iconic and memorable shape. The parking structure is in the center of the block and is screened from East Washington Avenue by the office building. Future phases of the development will continue to surround and screen the parking structure except at the telephone building and internal driveway, where the parking structure will remain exposed. Along the south and east facades green screen panels are attached to the concrete structure and planted with vines from the ground and from the green roof to create green columns in the spring summer and fall. The roof of the parking structure is covered with both extensive and intensive plantings and outdoor seating areas for the building occupants. The growing medium is mounded over structural columns to allow for small trees on the roof.

Most of the major mechanical equipment is located within the building. Because of the FAA height restriction there are no major mechanical systems on the top roof of the building. Mechanical units are located on the third floor along the northwest corner of the building, as well as on each floor of the office building within the core. An emergency generator is located on the top floor of the parking garage, an electrical vault is located on the ground floor of the parking garage, and an outside air system is located on the fifth floor facing the green roof.

The developer anticipates applying for Tax Increment Financing to support the structured parking required for the proposed office space.

A traffic impact analysis has been completed on the site by Strand Associates, a draft version has been sent to Traffic Engineering. Jeff Held is currently in conversations with Traffic Engineering regarding the report.

### **Demolition Request**

The buildings required to be demolished to allow for the new development and parking structure include:

1. 945 East Washington Avenue, a one-story wood frame building with a brick façade along East Washington Ave
3. 924 East Main Street, a 1 story brick building with garage door on East Main Street

### **Existing buildings to remain**

1. 946 East Main Street, The Wisconsin Telephone Building
2. 949 East Washington Ave, Wisconsin Employees Credit Union Building

### **Site Description**

The 4.3 acre property is located on the 900 block of East Washington Avenue, bounded by South Paterson Street, East Main Street, South Breatly Street and East Washington Avenue, with the exception of a 10,800 square foot parcel on the corner of South Breatly Street and East Washington Avenue.

Currently, the block consists of Units 1, 2 and 3 of the Archipelago Village Condominium. The Archipelago Village Condominium Plat and Declaration will be amended and restated as part of this development phase to amend the boundaries of Unit 2 (surface parking lot unit), to create Unit 3 (office building unit), to create Unit 4 (parking structure unit) and to create Unit 5 (area for future development on the southeast corner of the block). Unit 1 (Hotel Unit) will remain as currently described and depicted in the Archipelago Village Condominium documents.

### **Project Data**

Zoning District: TE, Traditional Employment

Urban Design District 8

Aldermanic District 6, Marsha Rummel

Building Use: Office and commercial uses, future first floor uses may include retail and restaurant

Building Stories: 11 Stories

First Floor Elevation: 852' (18" above grade)

Building Height: 156'-6", tops out at elevation: 1008.5'

Maximum height allowed per FAA within 3-mile radius of the airport: Elevation: 1009' or 157.0' tall (1009' – 852' = 157')

Building Area: 257,188 Gross Square Feet

First Floor potential commercial/retail/restaurant area: approximately 11,000 Useable Square Feet

Parking: 693 parking stalls

Bike Parking: 133 stalls

Setback from property line along East Washington: 15'

### **Zoning Requirements:**

1. The project is zoned Traditional Employment TE
2. Building Form: Podium Building
3. Office use Parking Requirements:
  - a. Maximum Required:
    - i. 1 per 250 sq. ft. of floor area
    - ii.  $252,188 \text{ GSF} / 250 = 1,008$  maximum number of stalls ( $257,188 \text{ GSF} - 5,000 \text{ SF for restaurant} = 252,188 \text{ GSF}$ )
  - b. Minimum Required:
    - i. 1 per 400 sq. ft. of floor area
    - ii.  $252,188 \text{ SF} / 400 = 630$  minimum number of stalls
  - c. Vehicular parking proposed: 693 Stalls
  - d. Bike parking required: 1 per 2,000 sq. ft. of floor area
    - i.  $252,188 \text{ SF} / 2000 = 126$  stalls
  - e. Bike parking provided: 133
    - i. On grade East Washington Ave: 18
    - ii. Within parking structure on first floor near entrance: 69 bike stalls
    - iii. On lower level of parking structure in bike parking room: 46 bike stalls
4. Restaurant use Parking Requirements:
  - a. Assume (1) 5000 SF restaurant with 100-person capacity
  - b. Minimum: 15% of capacity: 15 stalls
  - c. Maximum: 40% of Capacity: 40 stalls
  - d. Bike parking requirement: 5% of capacity: 5 bike stalls
5. Parking Reductions:
  - a. Vehicular: up to 50% reduced on transit corridor
  - b. Bicycle: Zoning Administrator can reduce requirement based on several factors
6. Loading Requirements:
  - a. Office buildings: 50,000 SF to 200,000 SF require 2 loading spaces of 10' x 50'
  - b. Buildings over 200,000 SF require 2 loading spaces, plus 1 additional loading space per 75,000 SF above 200,000 SF.
  - c. Project office area: 257,188 SF
  - d. Shared Loading: 2 or more uses on adjacent zoning lots may share a loading area. Loading area will be shared with the Hotel Indigo.
  - e. 4 Loading spaces are provided:
    - i. (2) 10' x 50' loading zones are provided on the internal drive (which does not require the semi-trucks to back-up on a public street unlike several other new developments in the area). Not backing-in off a public street will increase pedestrian safety and reduce traffic.
    - ii. An additional (2) 10' x 35' box truck loading and receiving area is provided off the internal drive.
7. Trash for the new 929 building is provided in an enclosed room within the parking structure and is accessed from the internal drive.

### **Urban Design District Eight – Preliminary Summary of Standards & Requirements: Block 13.a**

1. Building Height Requirements:
  - a. 12 stories maximum with 3-5 stories at the street level.
  - b. Building Height provided: 11 stories with 3 stories at street level and 8 stories stepped back 15'
  - c. Building Height requirement: Maximum height without bonus stories: 147'
  - d. Building height proposed: 156'-6", this is 9'-6" over the maximum that the building height allows before the bonus story allowance.
  - e. 3 bonus stories are allowed on block 13a. This project is only asking for an additional 9'-6" in height.
  - f. Bonus story requirements fulfilled by:
    - i. Structured parking shared by multiple users with space for public use
    - ii. Mid-block and through block public pedestrian, bike and or vehicular connections.

- iii. Minimum of 50% vegetative roof cover
  - iv. Potential onsite daycare
  - v. Rehabilitation of historic structures: Kleuter Building and Wisconsin Telephone Garage and Warehouse.
- 2. Building Location and Orientation Requirements:
  - a. 15' minimum setback along East Washington and 10' maximum setback along South Patterson.
  - b. Building Location and Orientation provided: 15' setback along East Washington
- 3. Parking and Service Area Requirements:
  - a. Parking should be located behind or along the side of the building. No additional access points shall be added along East Washington. Landscape tree islands shall be provided at a ratio of 1:12
  - b. Parking and Service Areas Provided: Structured parking is in the center of the block and behind the current proposed development. Loading and trash are located along the internal north south drive that was approved as part of the Hotel Indigo project. Subsequent future phases will continue to enclose and screen the centrally located parking structure. No new surface parking is proposed for this phase.
  - c. The main parking access is from South Brearly and South Paterson Streets.
- 4. Landscaping and Open Space Requirements:
  - a. Street façade along East Washington shall provide a dual canopy of trees along both the building setback and the public right of way.
  - b. Landscaping and Open Space Provided: A dual tree canopy is provided along East Washington along with a raised terrace for outdoor seating.
  - c. A green roof is located above the parking structure
- 5. Building Massing and Articulation Requirements:
  - a. All visible sides of the building shall be designed with details that complement the façades. Architectural details at the ground floor shall be provided to enhance the pedestrian character of the street. Mechanical equipment shall be screened and integrated with the building design.
  - b. Building Massing and Articulation Provided: The ground floor of the building is setback behind exposed structural columns to increase the depth of the sidewalk and terrace area and provide depth, layering and interest for pedestrians. First floor uses are intended to activate the street and outdoor terrace. Mechanical equipment is located internally and screened.
  - c. The 3-story building base is more articulated with vertical windows and opaque panels to add interest and scale at the pedestrian and vehicle level. The upper floor volume is imagined as a glass volume with unique angles and creases to create a memorable architectural statement that can be perceived from a distance adding to the interest of the city skyline.
- 6. Materials and Color Requirements:
  - a. Exterior material shall be durable, high-quality materials and appropriate for external use.
  - b. Materials and Colors Provided: Durable materials shall be used.
- 7. Window and Entrance Requirements:
  - a. 60% of the ground floor shall be glazing.
  - b. Window and Entrances provided: 60% or more of the ground floor will be glazing on the primary street façade.
- 8. Restoration of Buildings with Historic Value Requirements: Owners are encouraged to restore the original character of historically significant buildings.
  - a. Restoration of Buildings with Historic Values Provided: The Kleuter Wholesale Grocery Warehouse building was designed by Alvin E. Small and built in 1915. It was built for Kleuter and Co, one of Madison's most well-known wholesale groceries at the time. The five story building consisted of brick and cast-in-place reinforced concrete. The primary façades along East Washington Avenue and South Peterson Street are brick façades and were designed in the prairie school style. These façades remain largely unaltered. All exterior façades will be restored to their original character as part of the historic restoration and reuse as the Hotel Indigo.
  - b. The Wisconsin Telephone Co. Garage and Warehouse building at 926 East Main Street will remain in place and repurposed when the right tenant is identified. The brick garage has masonry buttresses and a gabled metal roof, it was built in 1929 in a Colonial Revival style, the architects were Herbst and Kuenzli. The project is not registered as a landmark but is eligible for the designation.
- 9. Signage
  - a. Branding and wayfinding signage will be incorporated into the architecture of the building and site entrances.



- b. A signage package is not part of this submittal and will be completed for submittal to the Urban Design Commission.

**Future Phases**

The developer intends to continue to develop the site with opportunities for several future buildings and additional structured parking. The city has outlined that the major use on this site will be for employment as mentioned in the Comprehensive Plan and the Zoning Ordinance. The current proposed development complies with that requirement. The development team would like to work with the city and alder to allow a mix of uses on the block in future phases. Benefits of allowing residential uses within future phases of this development, especially along Main Street include:

- Creating a development that is always activated, not just during work hours on weekdays, but on evenings and weekends as well.
- Sharing the structured parking infrastructure with residents would allow the parking structure to be better utilized during nights and weekends, rather than being mostly empty after hours.
- Reducing peak time traffic; residential uses would help to offset the office traffic peak travel times.
- A balance of residents could help to activate the street and encourage more retail and restaurant amenities especially along Main Street. Restaurants and retail would have more customers in the area on mornings, evenings and weekends after the office workers have left the area.
- Added safety in the area with residents providing ownership of the neighborhood, especially on nights and weekends.
- Central Park allows residential users access to green space and more residents will help to activate the park
- Allows for higher density and increased tax base while retaining a favorable parking ratio for office tenants

**Project Team**

Owner Developer:	Archipelago Village, LLC PO Box 512 505 N Carrol Street Madison WI 53701	Curt Brink Jim and Marlene Korb
Architect:	Potter Lawson, Inc. 749 University Row, Suite 300 Madison, WI 53705	Doug Hursh
Civil Engineer:	OTIE	John Thousand
Landscape Architect:	Ken Saiki Design	Rebecca DeBoer
Lighting Designers:	Lighting Ergonomics	Mandar Bankhele
Traffic Engineer:	Strand Associates	Jeff Held
Parking Consultant:	Walker Parking Consultants	Tom Hanula
Contractor:	Miron Construction	Steve Wolter
Attorneys:	Carlson Black O'Callaghan & Battenberg, LLP	Matt Carlson & Dan O'Callaghan

**Schedule**

The project is scheduled to start construction in July of 2019 and be completed and occupied by July of 2021.

Thank you for reviewing the proposed development documents. We are excited to present the design for this new mixed-use, urban infill development. Please contact me if you have any questions regarding this submittal.

Sincerely,



Douglas R. Hursh, AIA, LEED AP  
Director of Design



Notes:

**PRELIMINARY**  
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave  
Madison, Wisconsin

2016.36.02

Date	Issuance/Revision	By/For
02/23/19	URBAN DESIGN SUBMITTAL	

**SITE CONTEXT  
IMAGES**



Hotel Indigo - East Washington Ave Perspective



Hotel Indigo - East Main St Perspective



924 East Main St - To be Demolished



945 East Washington Ave - To be Demolished



945 East Main St Telephone Building - To Remain



949 East Washington Ave - To Remain





Notes:

PRELIMINARY  
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave  
Madison, Wisconsin

2016.36.02

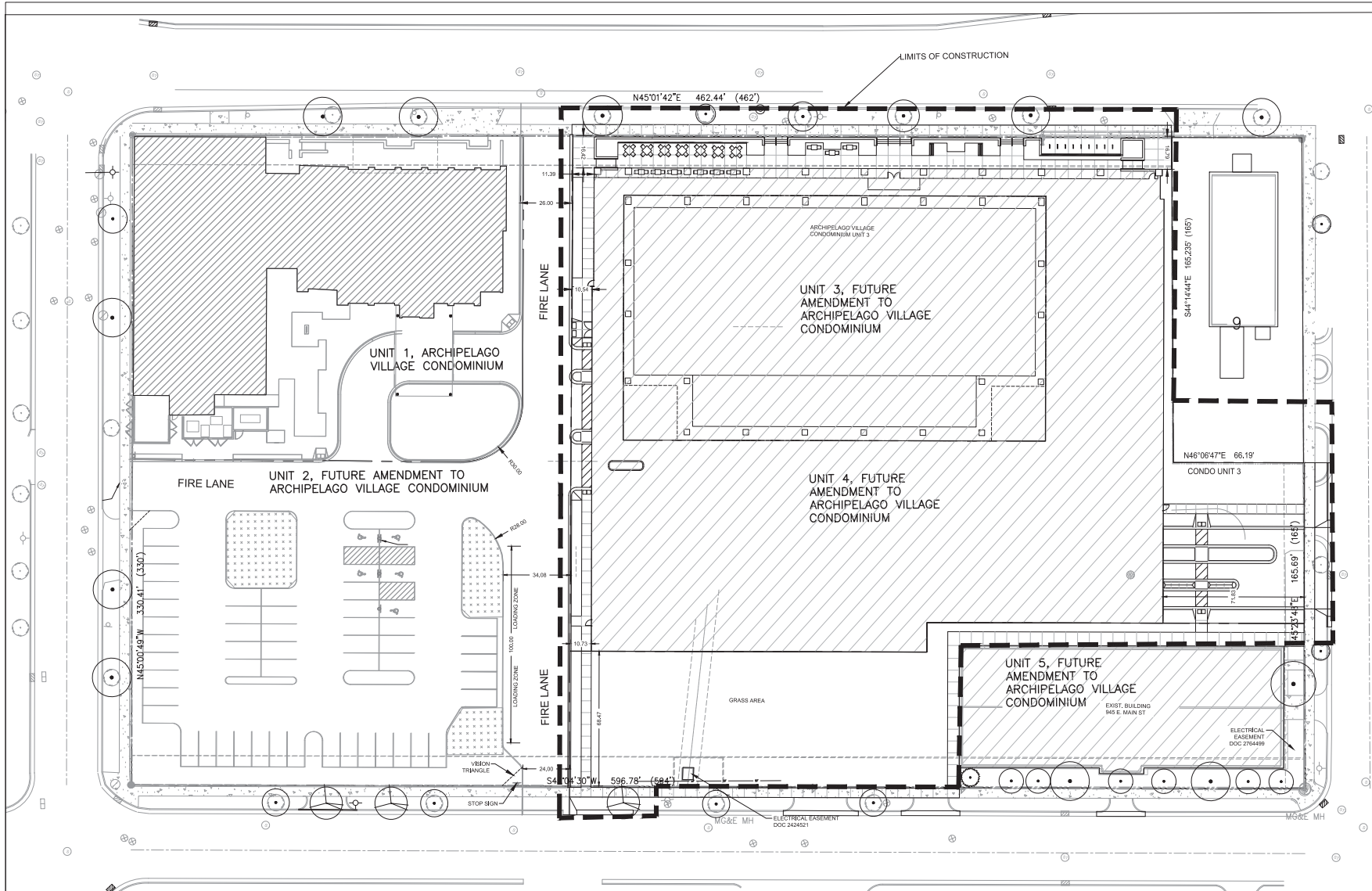
Date	Issued/Revisions	By/Rev
02/23/19	URBAN DESIGN SUBMITTAL	

**SITE CONTEXT  
IMAGES**









Notes: \_\_\_\_\_

**Archipelago**  
929 E Washington Ave  
Madison, Wisconsin

Project #: 2016.36.02

- GENERAL**
1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES FROM TWO PHASE ACTIVITIES.
  2. ALL ELEVATIONS ARE REFERENCED TO THE LOCAL DATUM (AS BASED ON A SURVEY PERFORMED BY HEINRICH AND ASSOCIATES ON NOVEMBER 8, 2007).
  3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
  4. ALL STAKES NECESSARY FOR THE CONTRACTOR TO DETERMINE LOCATION AND/OR GRADES FOR ANY SECTION OF THE WORK HEREBY DESCRIBED SHALL BE SET BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
  5. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO CONSTRUCTION.
  6. MATERIAL TESTS CONDUCTED BY AN INDEPENDENT TESTING LAB MAY BE ORDERED BY THE ENGINEER OR OWNER. IF SUCH TESTING IS ORDERED, THE CONTRACTOR SHALL FURNISH THE SAMPLES AND THE COST OF TESTING SHALL BE PAID BY THE OWNER. RETESTING OF ANY FAILING TESTS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
  7. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
  8. A PRE CONFERENCE MAY BE HELD PRIOR TO CONSTRUCTION START UP.
  9. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS OF CONSTRUCTION AS MAY BE REQUIRED TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SPINNS SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION MANUAL OF TRAFFIC CONTROL DEVICES. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.

10. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING.
11. ALL ROAD AND PAVING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION - EDITION OF 2008, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN.
12. WHERE SPECIFIC PORTIONS OF THESE SPECIFICATIONS ARE IN CONFLICT WITH THE STANDARD SPECIFICATIONS, THESE SPECIFICATIONS SHALL GOVERN.
13. THERE ARE NO FRONT OR SIDE YARD SETBACKS.
14. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.
15. CONTRACTOR SHALL REPLACE ANY CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK, CURB, AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED DUE TO UNDESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
16. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
17. NO VISUAL OBSTRUCTIONS TO BE LOCATED WITHIN VISION TRIANGLES BETWEEN THE HEIGHTS OF 2.25 FT. OR BEHIND THE PROPERTY LINE AT STREETS AND TO BEHIND THE PROPERTY LINE AT DRIVEWAYS.

Land Use Summary Table	
Site Area	Lot 4.27 A / Disturbed 2.50Ac.
Total Building Sq Ft.	257,288 S.F. (929)
Building Footprint Sq Ft.	68,041 Sq Ft.
Building Type	Commercial (220)
Lot Coverage	83%
Quality Open Space	13,076 Sq Ft.
Landscaping Area	14,205 Sq Ft.
Paved Area	61,467 Sq. Ft.

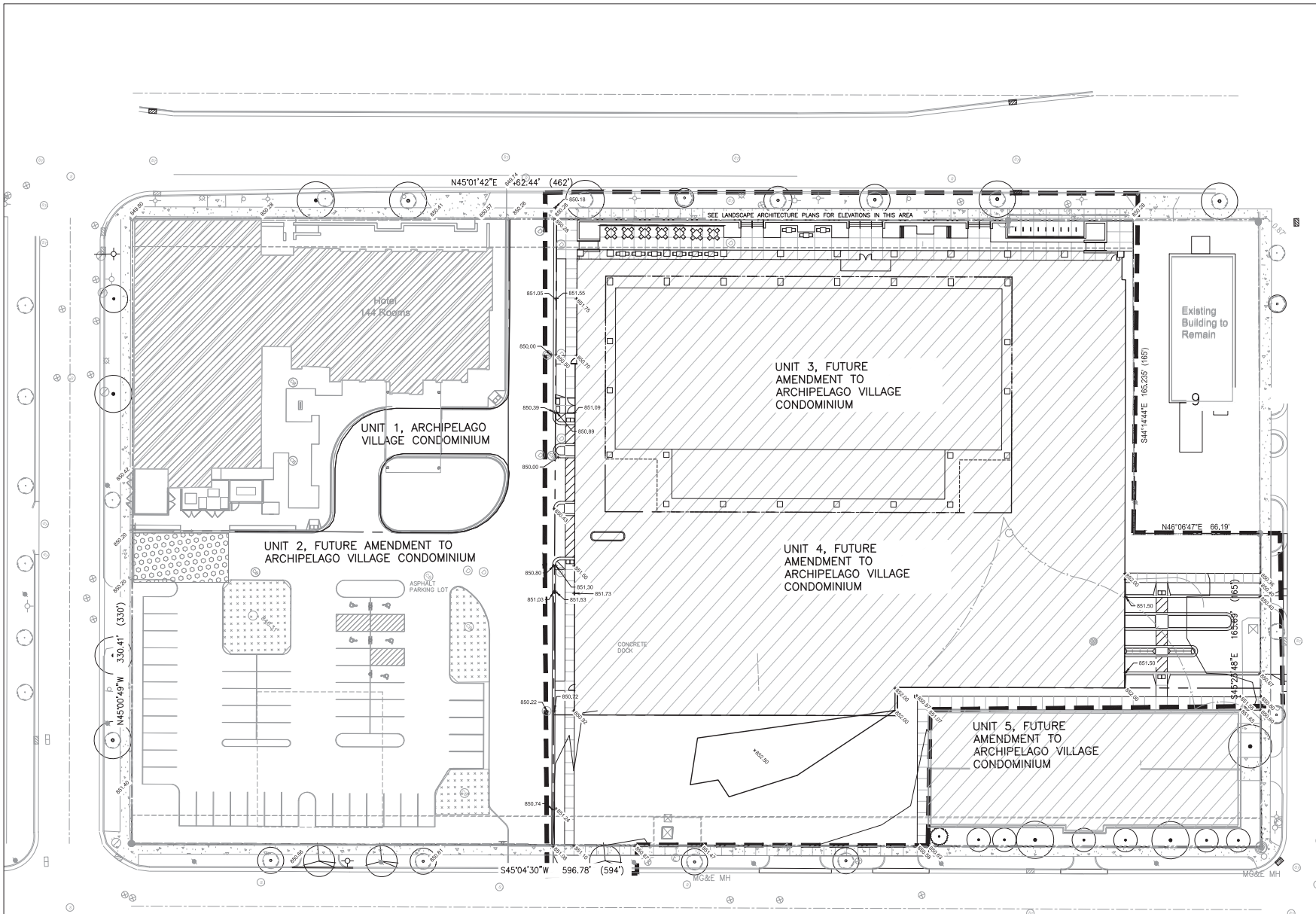
**CURB, GRADE, BEAM CURB, SIDEWALK AND MISCELLANEOUS**

1. WHERE INDICATED ON THE PLANS, INSTALL CONCRETE SIDEWALK IN ACCORDANCE WITH SECTION 602 OF THE STANDARD SPECIFICATIONS.
2. CONCRETE CURB SHALL BE INSTALLED WHERE INDICATED ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 601 OF THE STANDARD SPECIFICATIONS. DIMENSIONS SHALL BE AS SHOWN ON THE DETAIL SHEET.
3. ALL SURPLUS EXCAVATED MATERIAL SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR ITS TEMPORARY LOCATION.
4. ALL ENTRANCES SHALL HAVE THE EXISTING VERTICAL FACE SHOWN AND REMOVED ON THE ENTIRE CURB AND GUTTER LENGTH (REMOVED AND REPLACED WITH CONCRETE GUTTER SECTION).

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Notes: \_\_\_\_\_



**GRADING AND EROSION CONTROL**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, PARKING AREAS, BUILDING PADS AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.
2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC SOILS FOUND WITHIN THE GRADING LIMITS IN ACCORDANCE WITH SECTION 605 OF THE STANDARD SPECIFICATIONS, GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SOD AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS.
3. THE SUB GRADE FOR THE ROAD, PARKING AREAS, AND THE BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 207 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION. COMPACTION OF THE SUB GRADE IN CUT SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 207.2.3.2.3 USING MECHANICAL COMPACTION EQUIPMENT. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.
4. THE GRANULAR BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED AND WITNESSED BY OWNER OR OWNERS REPRESENTATIVE.
5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
6. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDMR BEST MANAGEMENT PRACTICES.
7. ELEVATIONS SHOWN ARE FINISHED GROUND PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

SCALE 1" = 20'  
10' 20'

Archipelago

929 E Washington Ave  
Madison, Wisconsin

Project #: 2016.36.02

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
SITE  
GRADING PLAN

C104



Material	Plant	Quantity	Notes
Bluegrass Lawn			
Green Roof			
Hardwood Bark Mulch			
Stone Mulch			
Existing Tree			
Shovel-Cut Edge			

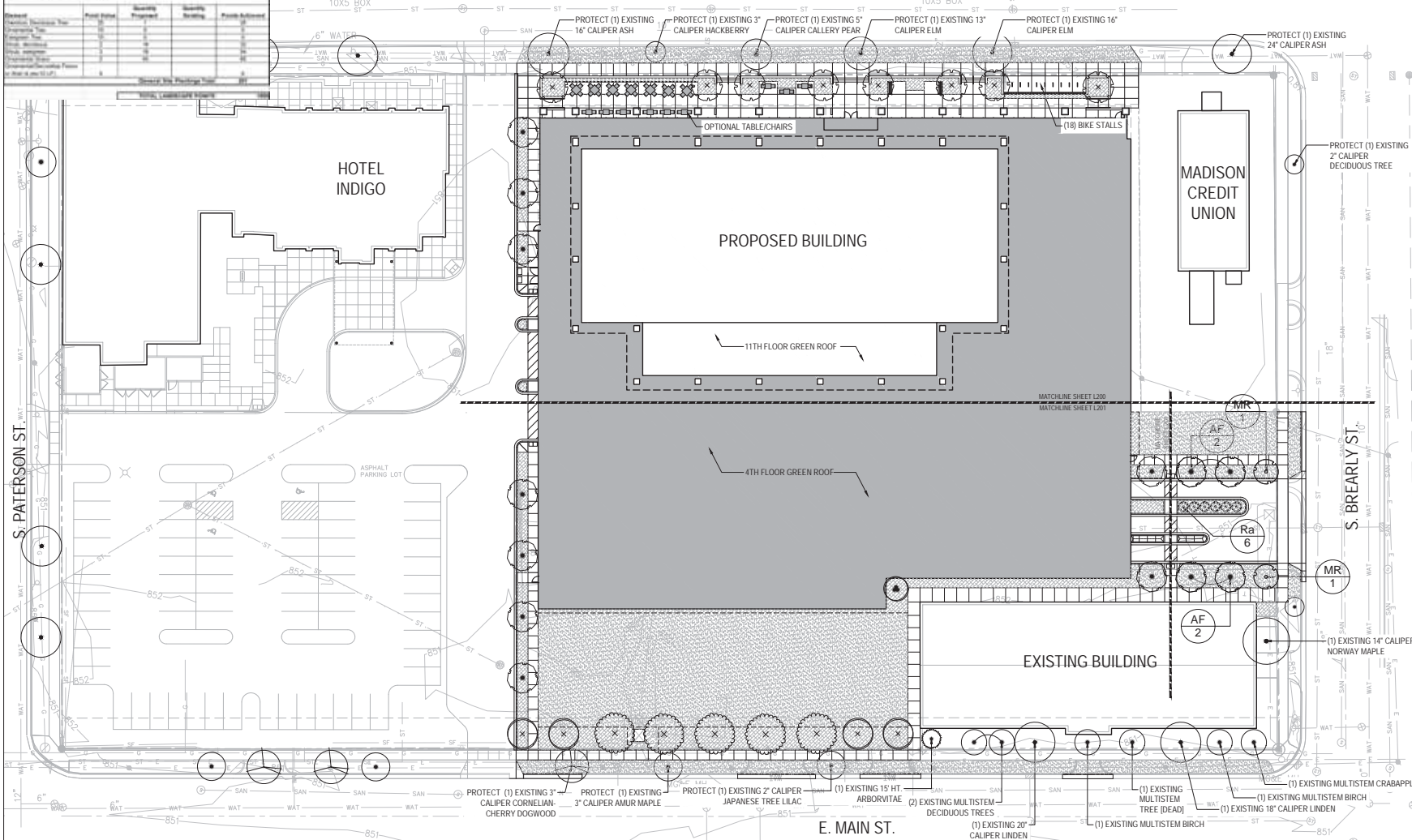
## LEGEND

-  BLUEGRASS LAWN
-  GREEN ROOF
-  HARDWOOD BARK MULCH PLANTING BED
-  STONE MULCH
-  EXISTING TREE
-  SHOVEL-CUT EDGE

## NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31 13 16.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDING AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE "SELECTIVE TREE AND SHRUB PROTECTION AND TRIMMING" FOR PROTECTION REQUIREMENTS.
- FORESTRY WILL ISSUE A REMOVAL PERMIT FOR STREET TREES.
- CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFFMAN) AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK. REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFFMAN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

### E. WASHINGTON AVE.



1 OVERALL SITE RESTORATION PLAN  
SCALE: 1" = 20' (AT 30"x42" FULL SIZE SHEET)

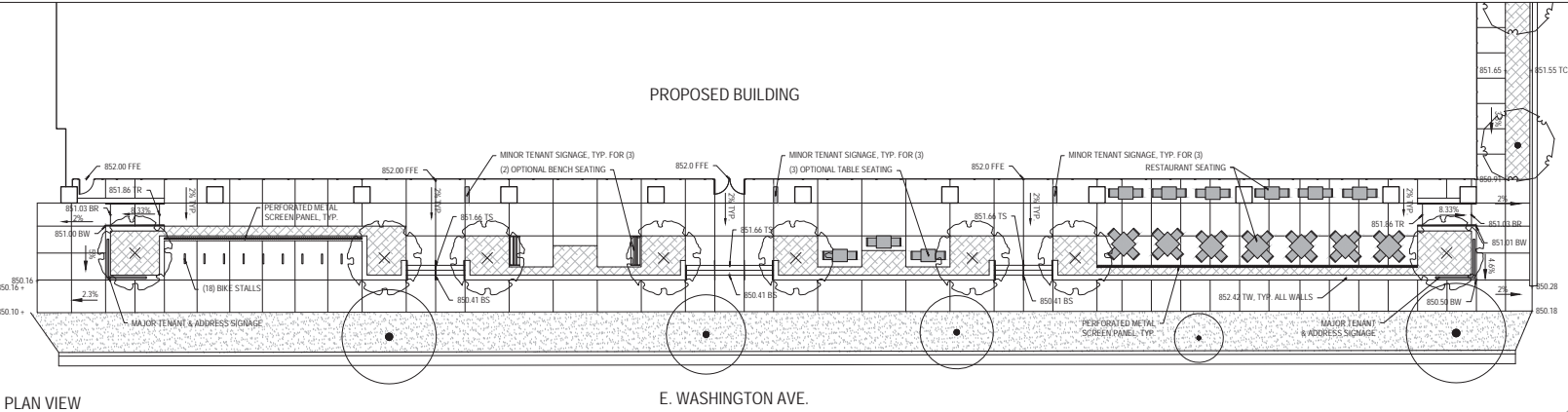


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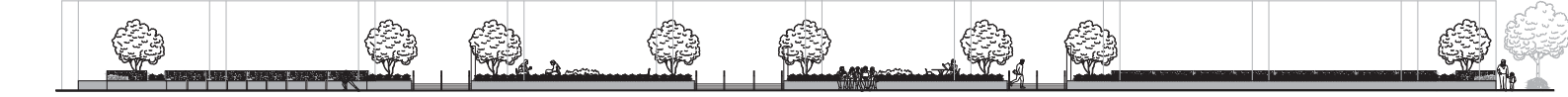
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OVERALL SITE RESTORATION PLAN  
L100



PLAN VIEW

E. WASHINGTON AVE.



ELEVATION VIEW

1 EAST WASHINGTON AVENUE TERRACE  
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



2 SIGNAGE OPTIONS & INSPIRATION // NOTE: IMAGES AND LOCATIONS ARE CONCEPTUAL, HAVE BEEN PROVIDED FOR INFORMATION ONLY, AND DO NOT CONSTITUTE A SIGNAGE PACKAGE SUBMITTAL  
SCALE: N/A

Notes: \_\_\_\_\_

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EAST WASHINGTON  
AVENUE TERRACE PLAN  
L101











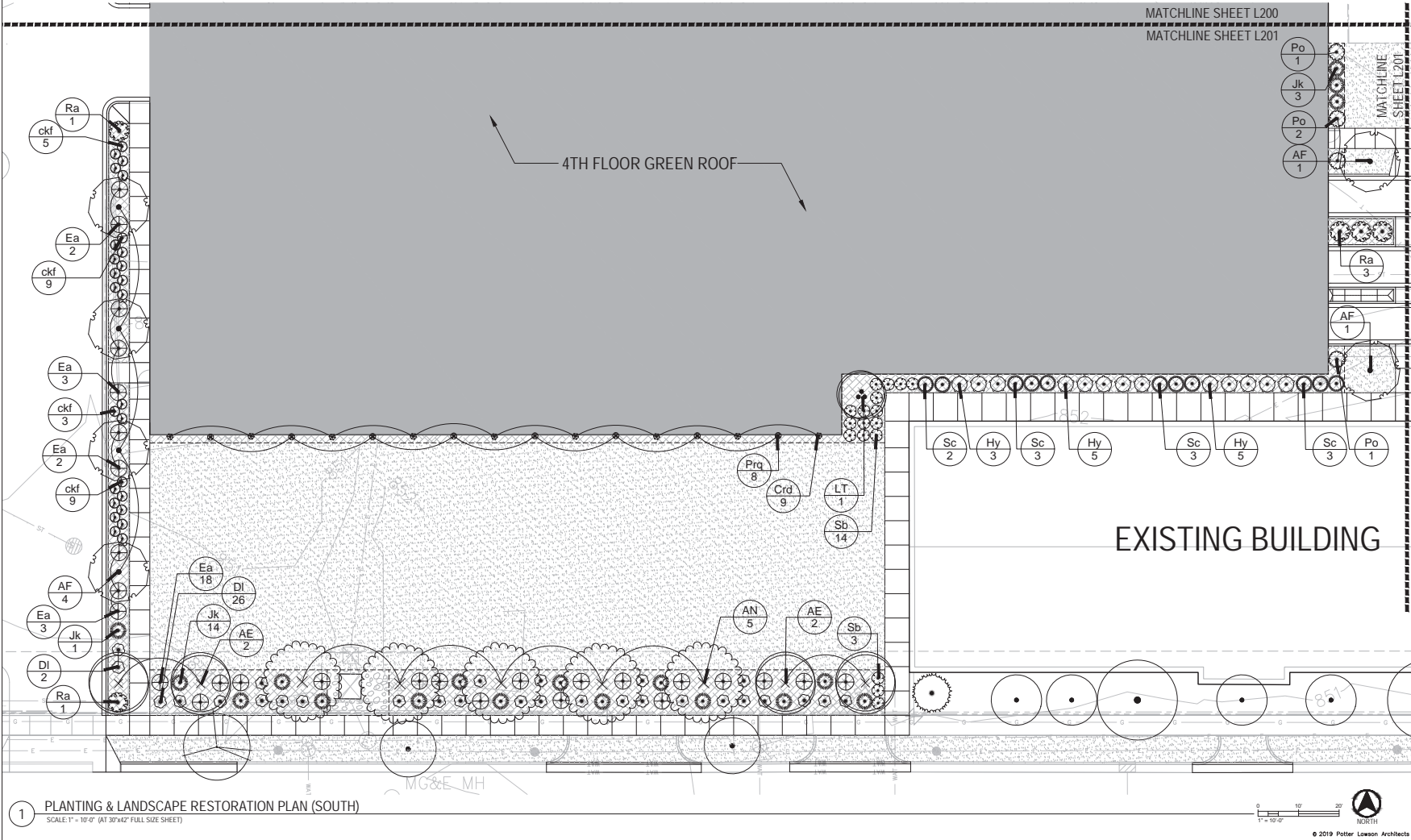
PLANT SCHEDULE PLANT SCHEDULE (SOUTH)

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AN	Acer truncatum 'Norwegian Sunset' / Maple	B & B	2.5' Cal		5
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5' Cal		10
	LT	Liriodendron tulipifera 'Arnold' / Arnold Tulip Poplar	B & B	2' Cal		1
ORNAMENTAL TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AE	Aesculus x carnea 'Fort McNair' / Red Horsechestnut	B & B	2' Cal		4
	MR	Malus x 'Red Jewel' / Crab Apple	B & B	2' Cal	SINGLE, STRAIGHT LEADER	2
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	DI	Diervilla lonicera 'Kodiak Black' / Kodiak Black Dwarf Bush Honeysuckle	3 gal	24" SPR. (MIN)	Space 60" O.C.	28
	Ea	Eunonymus alatus 'Rudy Haag' / Rudy Haag Burning Bush	3 gal	24" HT (MIN)	Space 60" O.C.	28
	Hy	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	30" HT (MIN)	Space 60" O.C.	13
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	18" HT. MIN.	Space 48" o.c.	4

	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	24" SPR. (MIN)		11
	Sb	Spiraea betulifolia 'Tor' / Tor Bristleleaf Spirea	3 gal	18" HT (MIN)	MATCH	17
	Sc	Stephanandra indica 'Crispa' / Cuffleaf Stephanandra	3 gal	18" SP. (MIN)	Space 48" o.c.	11
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	JK	Juniperus chinensis 'Kailiys Compact' / Kailay Compact Pfitzer Juniper	3 gal	18" SP. (MIN)	Space 60" O.C.	18
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	df	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.		26
VINES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE	NOTES	QTY
	Crd	Campsis radicans / Trumpet Creeper	1 gal	CONT.	36" HT. (MIN)	9
	Prq	Parthenocissus quinquefolia / Virginia Creeper	1 gal	CONT.	36" HT. (MIN)	8

LEGEND

-  BLUEGRASS LAWN
-  GREEN ROOF
-  HARDWOOD BARK MULCH PLANTING BED
-  STONE MULCH
-  EXISTING TREE
-  SHOVEL-CUT EDGE



1 PLANTING & LANDSCAPE RESTORATION PLAN (SOUTH)  
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



Notes:

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Madison, Wisconsin

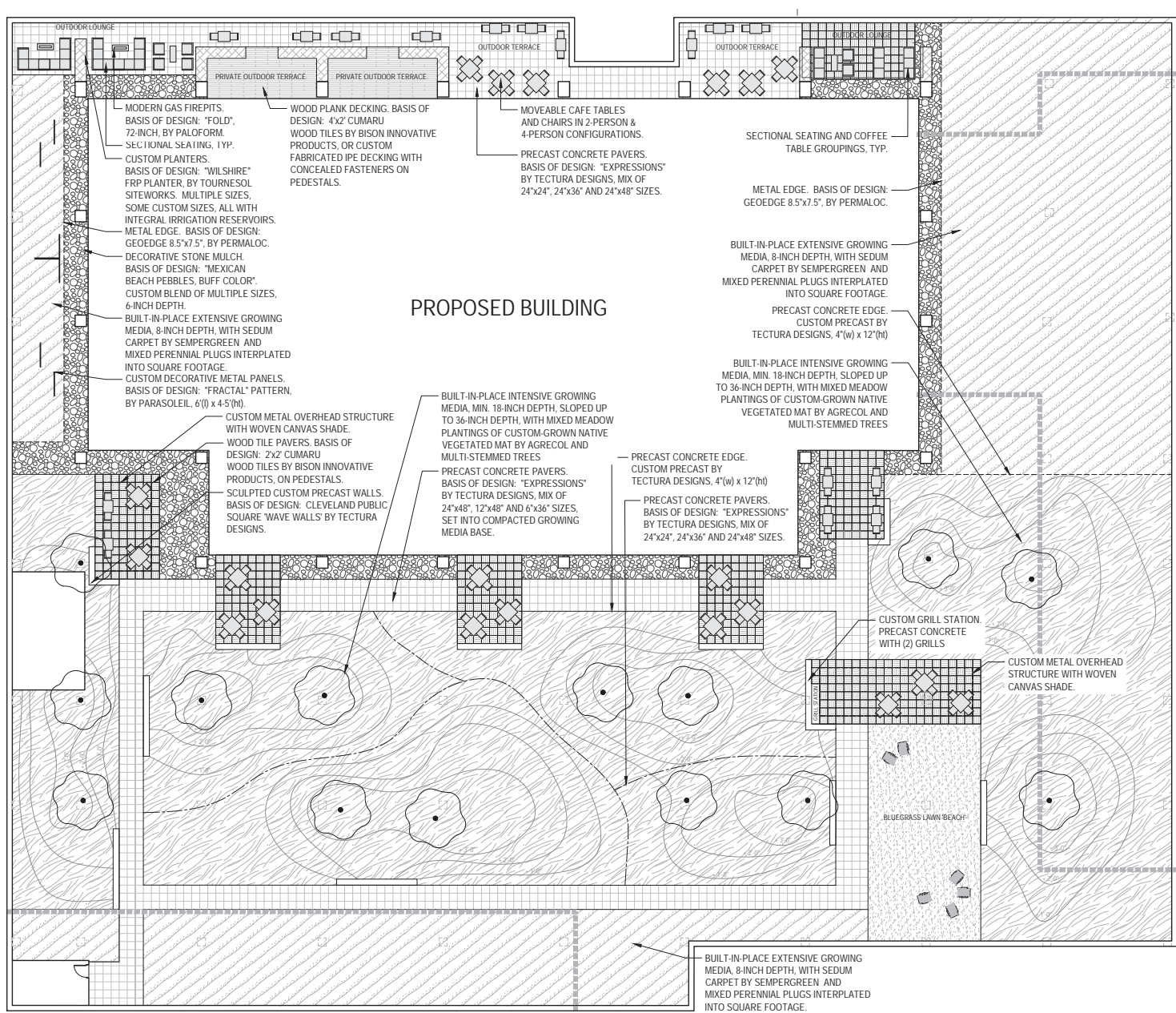
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PLANTING & LANDSCAPE RESTORATION PLAN (SOUTH)

L201





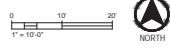
- ### LEGEND
- SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
  - BLUEGRASS LAWN
  - STONE MULCH
  - MEADOW OVER 24" OF INTENSIVE GROWING MEDIA
  - PROPOSED TREE
  - L-SHAPE ALUMINUM EDGE
  - RETAINING / SEAT WALL, 1.5' HT. TYP.
  - PHASE 2 BUILDING EXPANSION LIMITS
  - STRUCTURAL BUILDING COLUMN
  - OVERHEAD SHADE STRUCTURE
  - POTENTIAL WALKING PATH THROUGH MEADOW



Notes:

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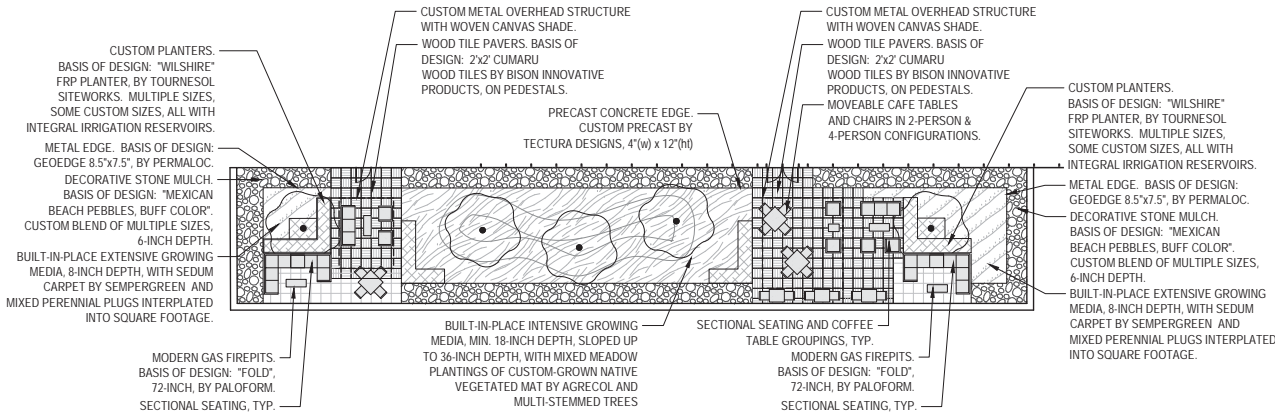
1 4TH FLOOR GREEN ROOF PLAN  
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



Notes: \_\_\_\_\_

### LEGEND

- SEDUM CARPET OVER 6-8" OF EXTENSIVE GROWING MEDIA
- BLUEGRASS LAWN
- STONE MULCH
- MEADOW OVER 24" OF INTENSIVE GROWING MEDIA
- PROPOSED TREE
- L-SHAPE ALUMINUM EDGE
- RETAINING / SEAT WALL, 1.5' HT. TYP.
- PHASE 2 BUILDING EXPANSION LIMITS
- STRUCTURAL BUILDING COLUMN
- OVERHEAD SHADE STRUCTURE



1 11TH FLOOR GREEN ROOF PLAN  
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



### Archipelago

929 E Washington Ave  
Madison, Wisconsin

Project #: 2016.36.02

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### 11TH FLOOR GREEN ROOF PLAN

# L301





D1. Demolition Context Aerial  
Archipelago - Madison  
January 23, 2019



## 924 East Main St.

**Foundation:** Concrete foundation.

**Structure:** Concrete masonry unit bearing walls and piers with a steel barrel vault roof truss.

**Roof:** Curved roof with a rubber roofing membrane.

**Façade:** Brick façade.

**Building Description:** The building is one story and composed of a brick façades.



## D2. Demolition Context Images

Archipelago - Madison

January 23, 2019

**Potter  
Lawson**

Success by Design

### 945 East Washington Ave.

**Foundation:** Concrete foundation.

**Structure:** Concrete masonry unit bearing walls with a steel roof truss.

**Roof:** Curved roof with a rubber roofing membrane.

**Façade:** Brick façade.

**Building Description:** The building is one story and composed of a brick facades.



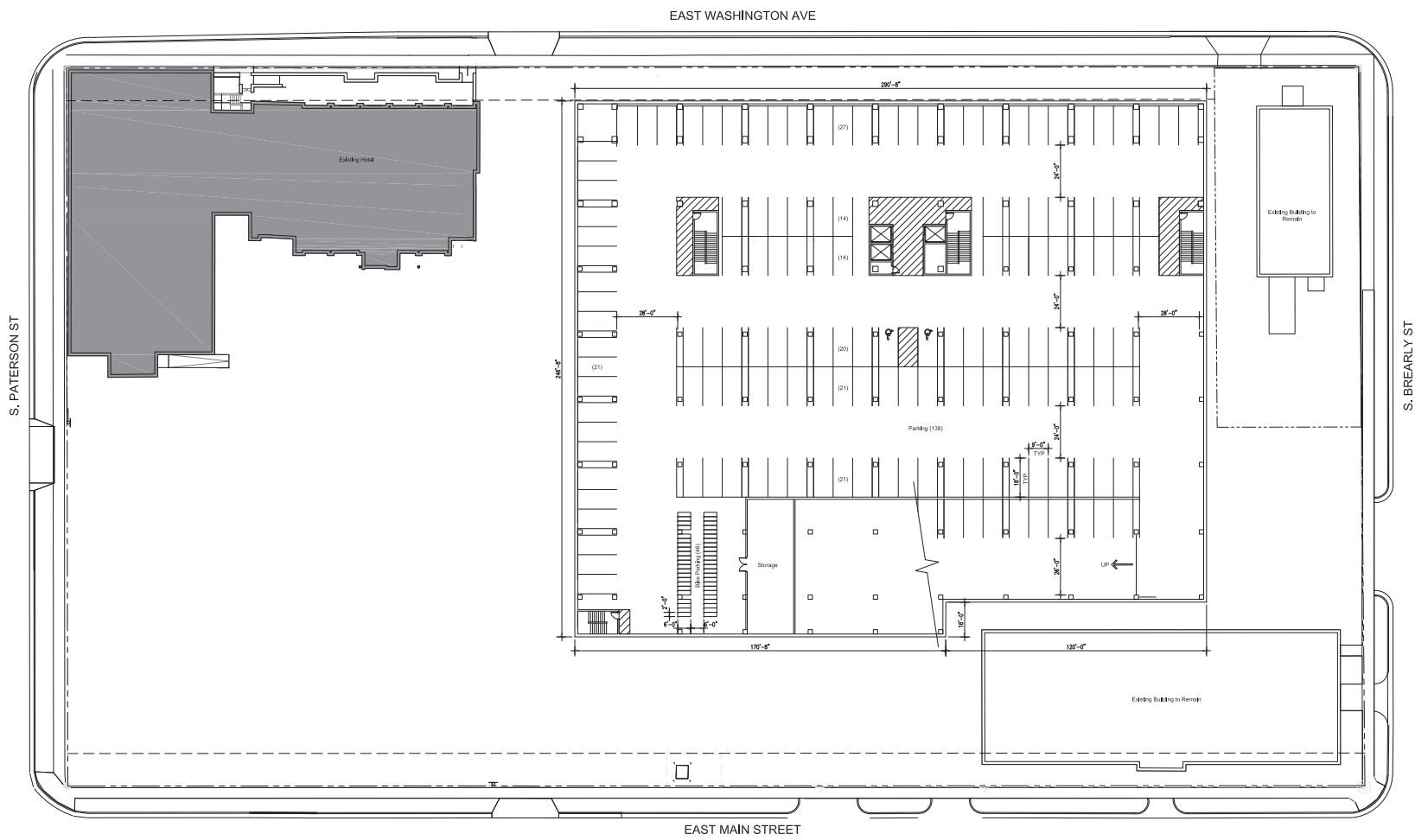
### D3. Demolition Context Images

Archipelago - Madison

January 23, 2019



Notes: \_\_\_\_\_



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929 E Washington Ave  
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
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**Lower Level Plan**

01 Lower Level Plan  
A101 1"=20'

Notes: \_\_\_\_\_

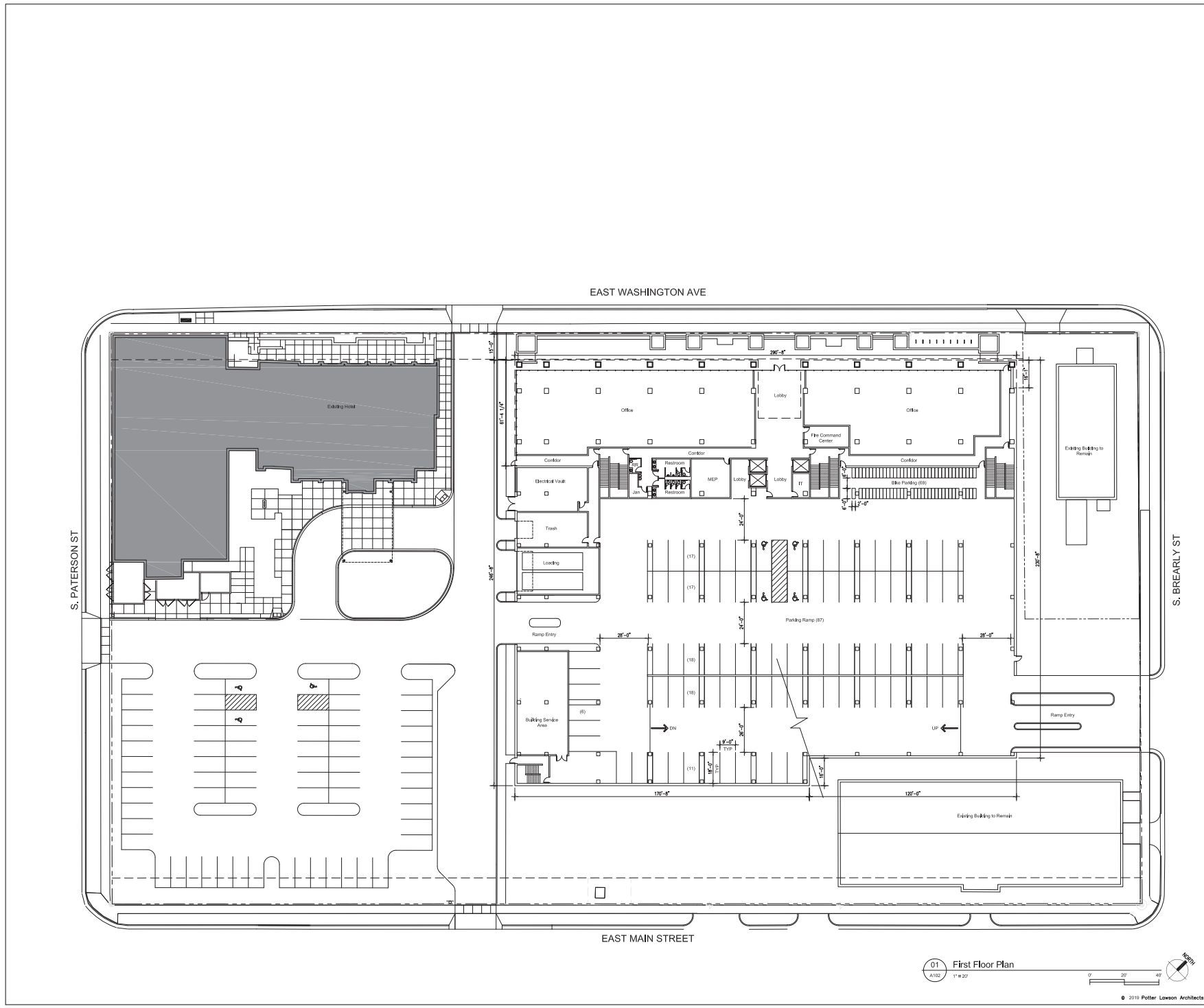
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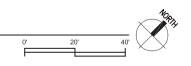
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**First Floor Plan**

**A102**



**01 First Floor Plan**  
A102 1"=20'



Notes: \_\_\_\_\_

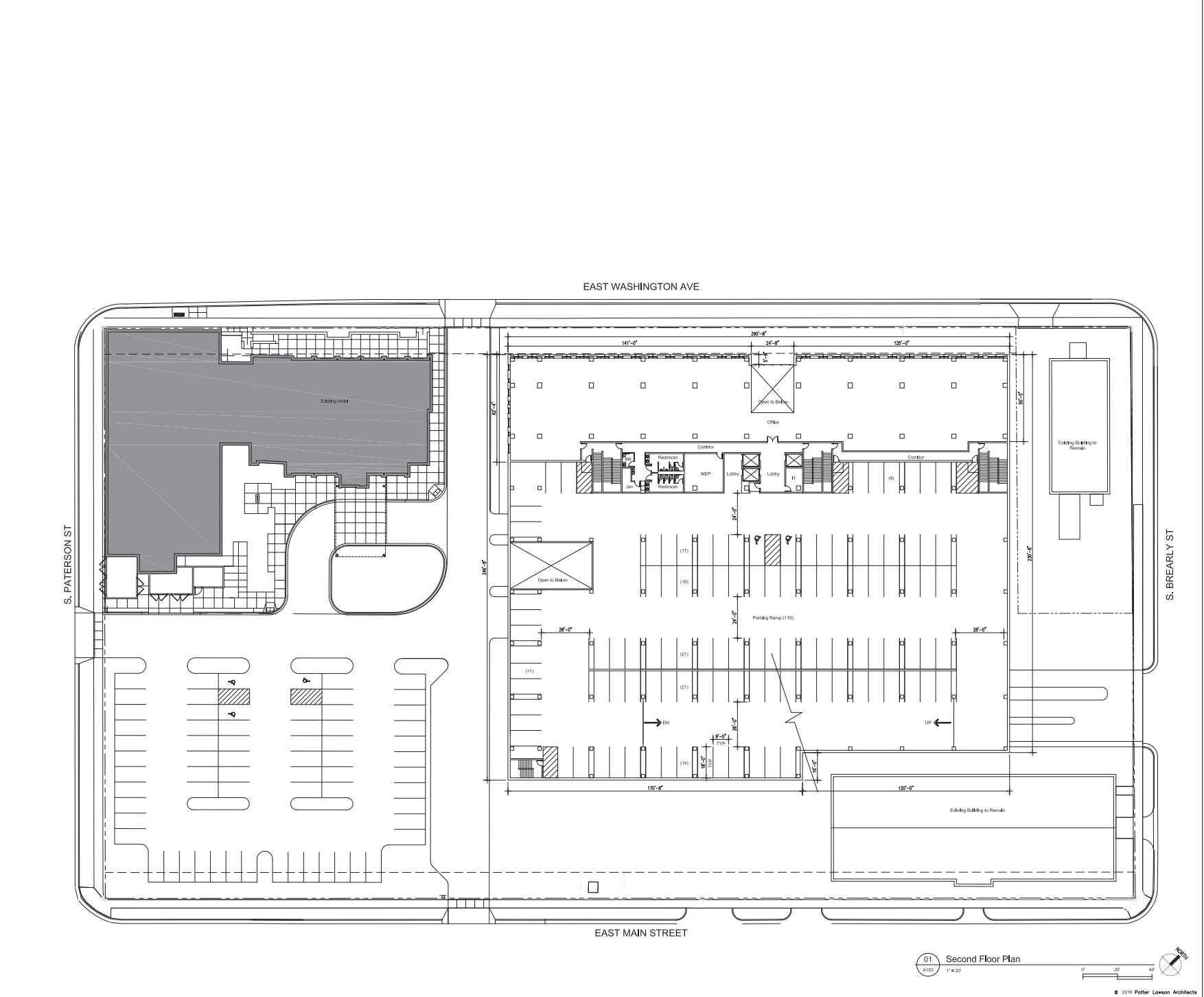
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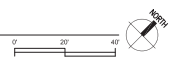
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**Second Floor Plan**

**A103**



01 Second Floor Plan  
A103 1"=20'



Notes: \_\_\_\_\_

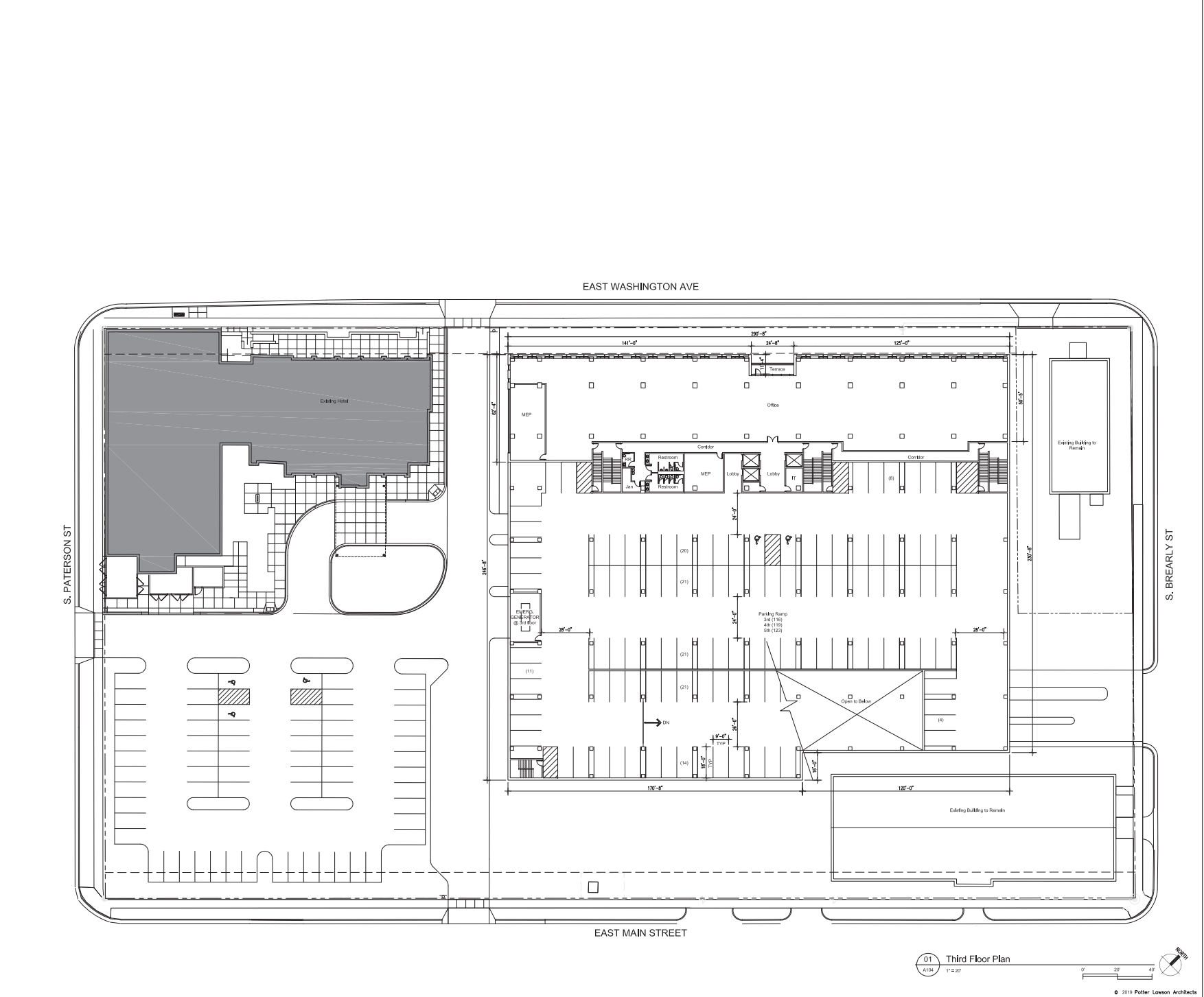
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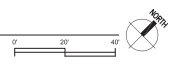
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**Third Floor Plan**

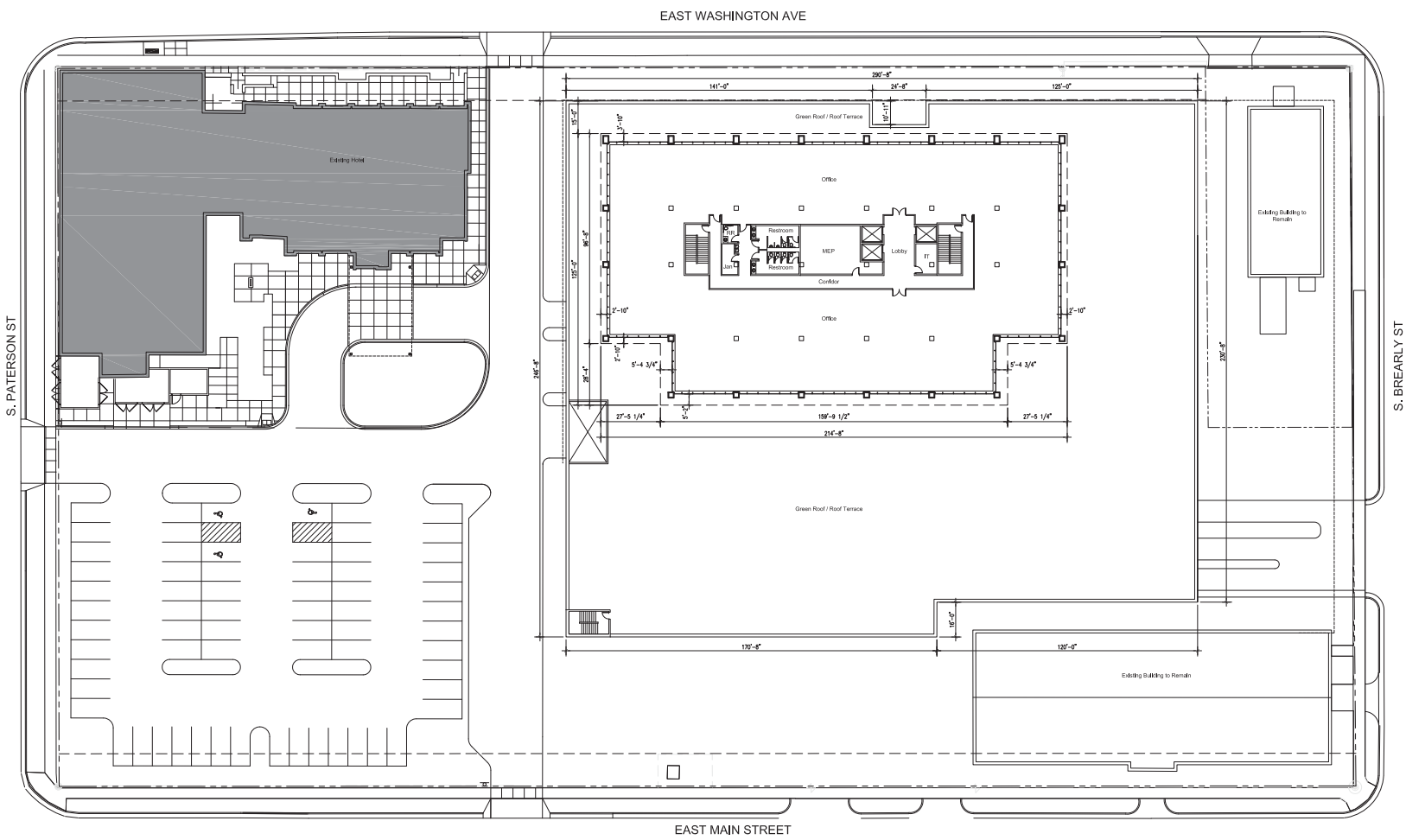
**A104**



01 Third Floor Plan  
A104 1"=32'



Notes: \_\_\_\_\_



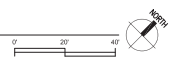
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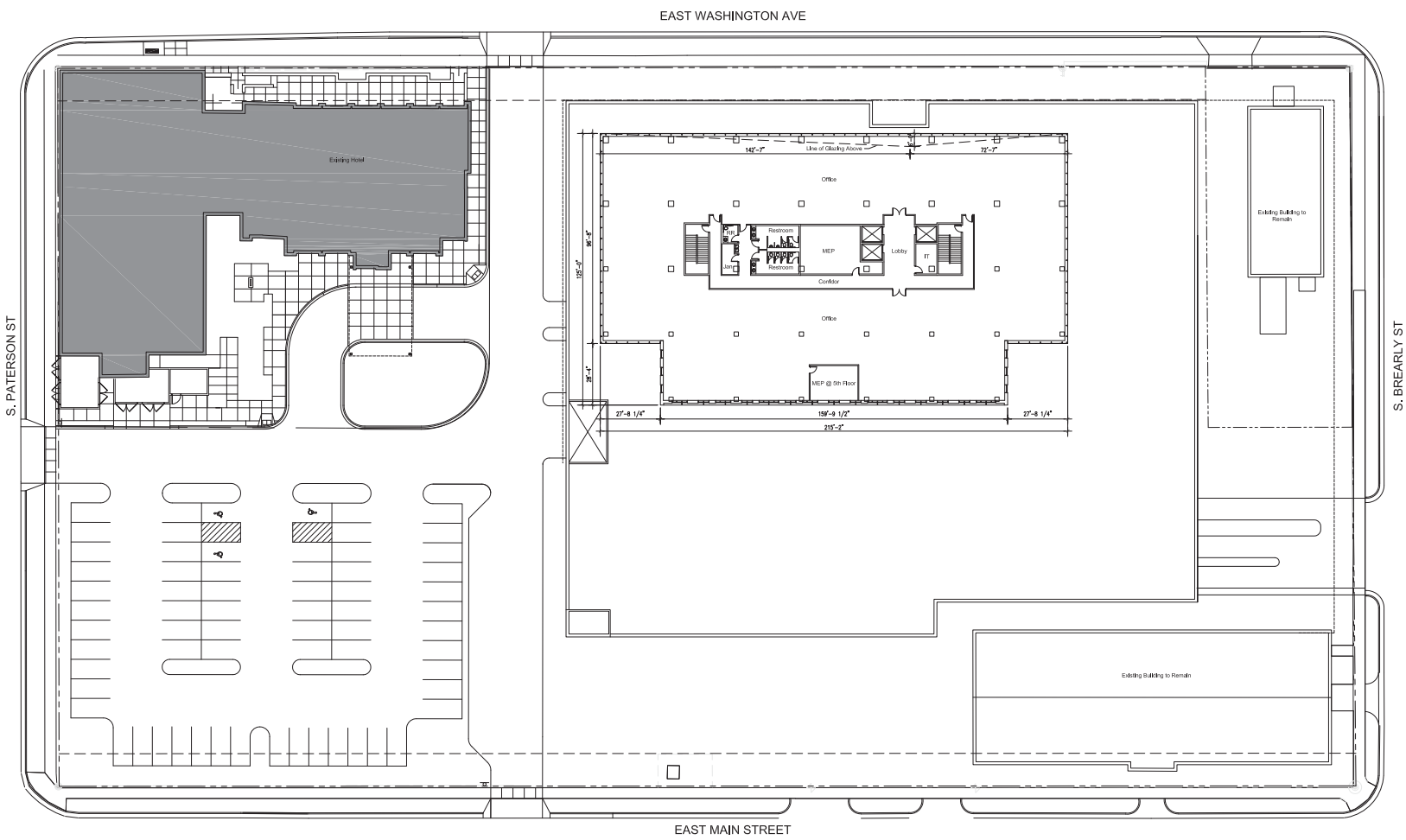
**Fourth Floor Plan**

01 Fourth Floor Plan  
A100 1"=32'





Notes: \_\_\_\_\_



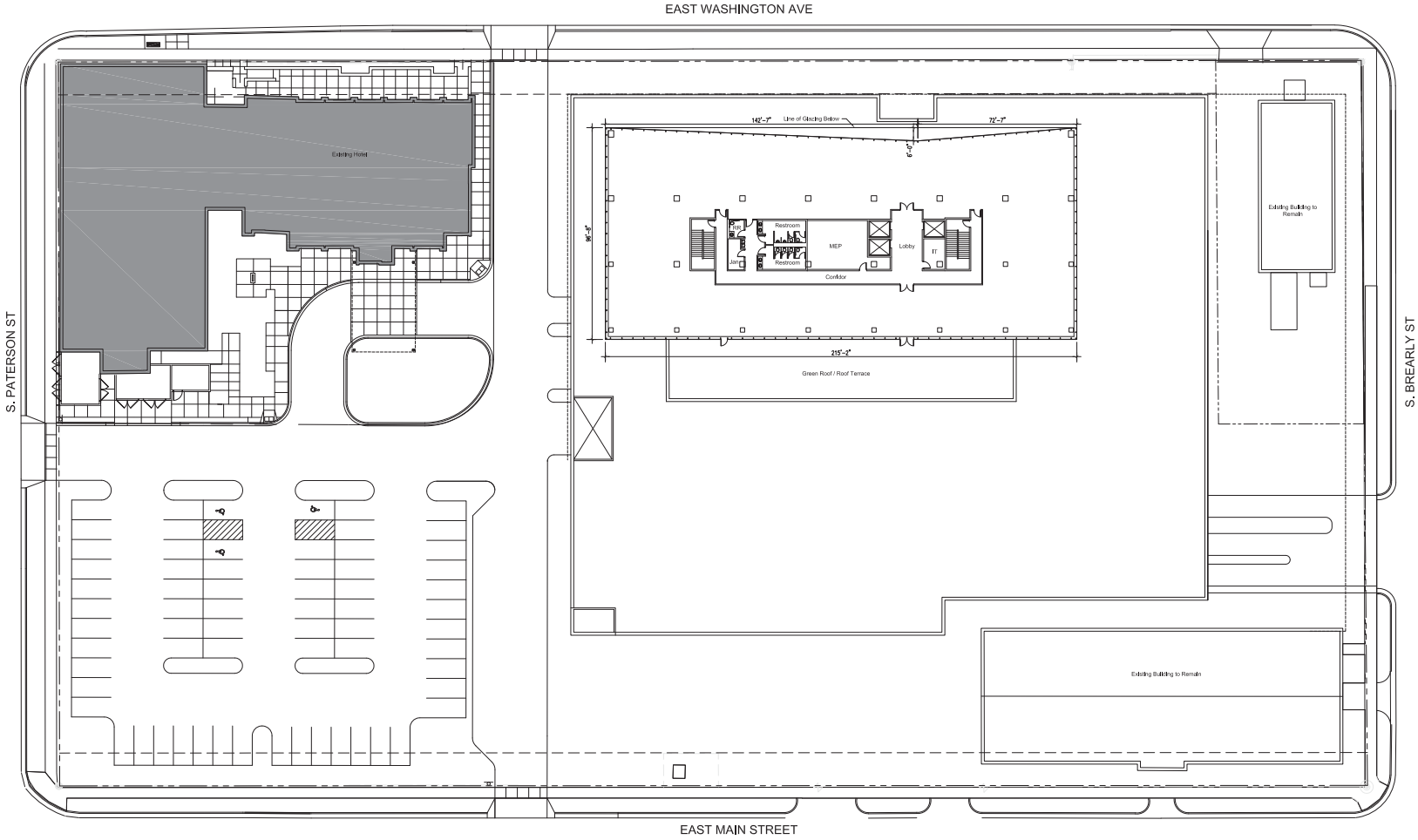
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**Fifth - Tenth  
Floor Plan**

Notes: \_\_\_\_\_



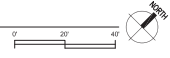
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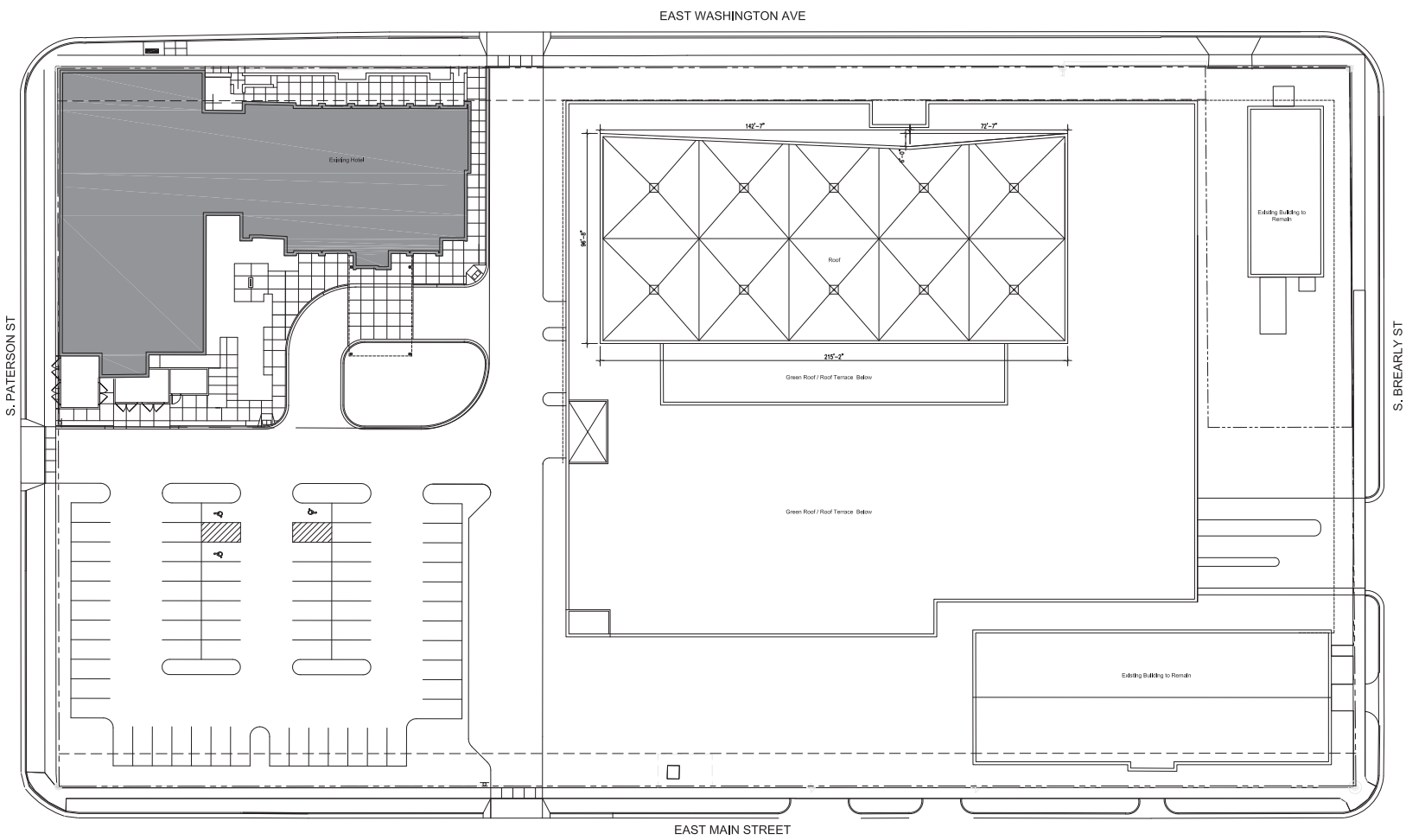
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01/23/19	URBAN DESIGN SUBMITTAL	

**Eleventh Floor Plan**

01 Eleventh Floor Plan  
A107 1"=20'



Notes: \_\_\_\_\_



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**Roof Plan**

01 Roof Plan  
A10 1"=20'

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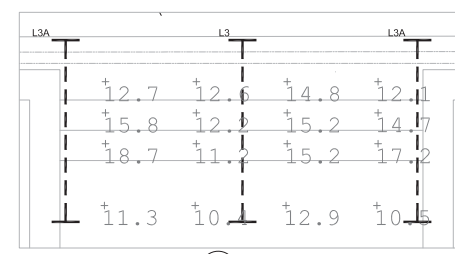
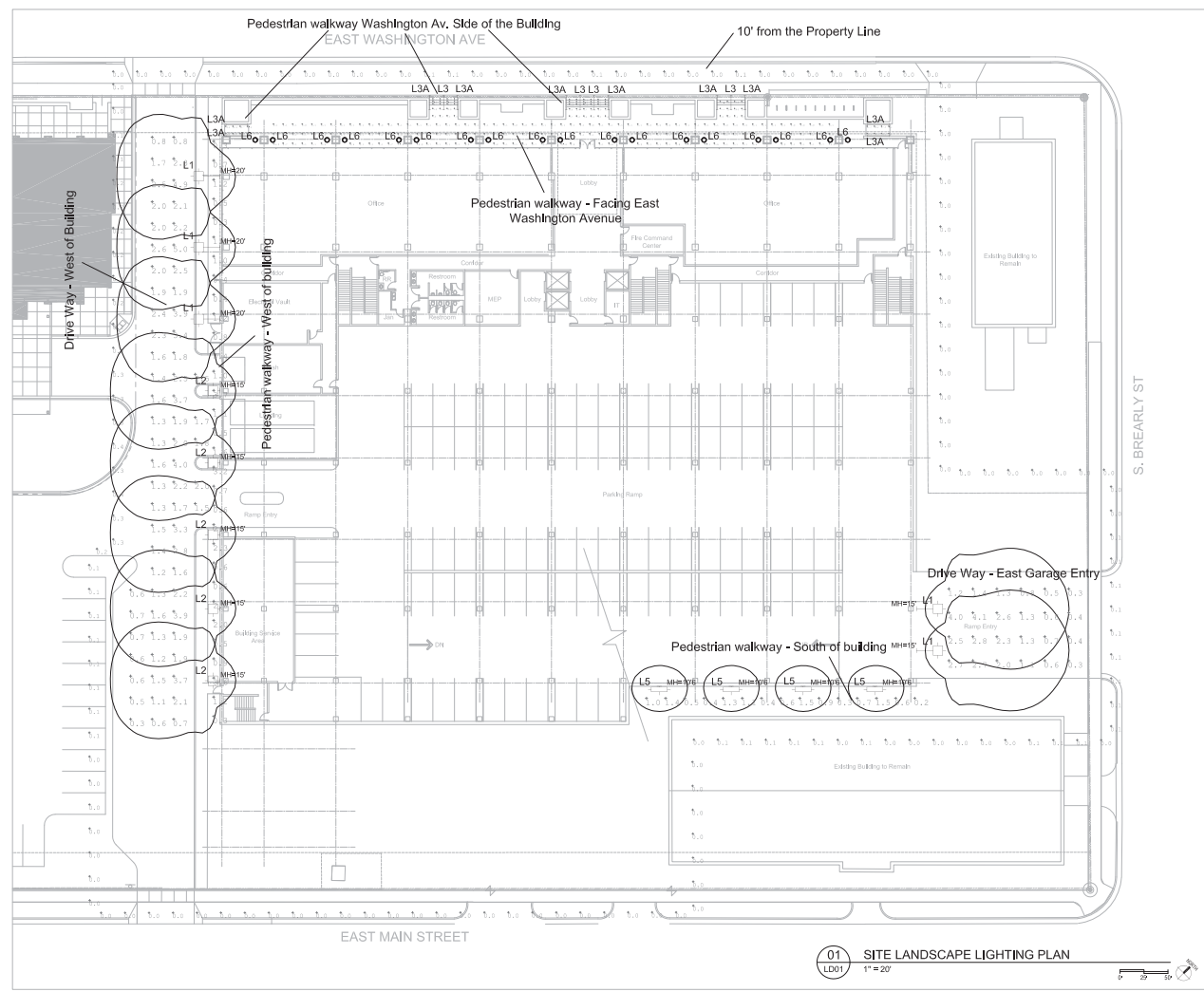




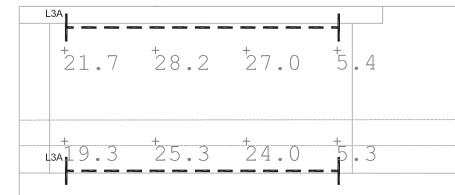
Notes:

**LIGHTING PLAN LEGEND**

CONTROL LEGEND	
TYPE	SUBSTITUTES SUPERSEDES
①	POWER
②	CONTROL
③	CIRCUMVENTOR OR LOW-VOLTAGE RELAY/ZONE
④	HOLLOW CIRCLE - NORMAL POWER
⑤	SOLID CIRCLE - EMERGENCY POWER
⑥	LOCATION OF CIRCLE INDICATES POWER ENTRY POINT TO THE LUMINAIRE
LIGHTING LEGEND	
⊞	WALL MOUNTED LUMINAIRE MOUNTING LOCATED IN WALL
—	CONCEALED LINEAR LIGHT SOURCE
○	RECESSED MOUNTED LUMINAIRE MOUNTING LOCATED IN CEILING



**02 TYPICAL STAIR LIGHTING PLAN**  
LD01 Not to Scale



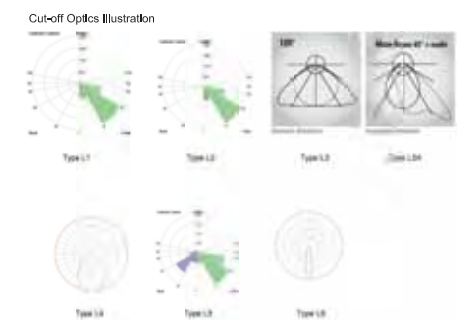
**03 TYPICAL RAMP LIGHTING PLAN**  
LD01 Not to Scale

**Luminaire Schedule**

Luminaire Manufacturer and Luminaire Type	Manufacturer	Detailed Luminaire Description	Optics (Beam Diameter, Reflector, Lens, etc.)	Finish	Manufacturer and Catalog Number Reference	Manufacturer's Recommended Luminaire (CR, Rq, CE, ETC) or IESNA (Photometric) Data (Footcandle/ Luminaire/ Feet)	Ford Luminaire Weight and Luminaire/ Watt	Control Gear Description	Installation Notes
LD1	LED	Full 60° Cut-Off Designation Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Beam Control. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.5" H x 11.5" W x 11.5" D	Full Flood Beam with 100° Beam Spread and Full Cut-Off Beam Control	White Thermal Black Powder Coat Finish with 3" and 1/2" Radius	8054 Catalog Number: 10001 84 84	10001 Luminaire Luminaire: 12.5" H x 11.5" W x 11.5" D (10001) Beam Spread: 100°	8.7 Weight/100 Watts	10001 (10001) Integrated Electronic Control Gear with 0-10V Dimming and 0-10V Dimming	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
LD2	LED	Full 60° Cut-Off Designation Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Beam Control. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.5" H x 11.5" W x 11.5" D	Full Flood Beam with 100° Beam Spread and Full Cut-Off Beam Control	White Thermal Black Powder Coat Finish with 3" and 1/2" Radius	8054 Catalog Number: 10001 84 84	10001 Luminaire Luminaire: 12.5" H x 11.5" W x 11.5" D (10001) Beam Spread: 100°	8.7 Weight/100 Watts	10001 (10001) Integrated Electronic Control Gear with 0-10V Dimming and 0-10V Dimming	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
LD3	LED	Full 60° Cut-Off Designation Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Beam Control. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.5" H x 11.5" W x 11.5" D	Full Flood Beam with 100° Beam Spread and Full Cut-Off Beam Control	White Thermal Black Powder Coat Finish with 3" and 1/2" Radius	8054 Catalog Number: 10001 84 84	10001 Luminaire Luminaire: 12.5" H x 11.5" W x 11.5" D (10001) Beam Spread: 100°	8.7 Weight/100 Watts	10001 (10001) Integrated Electronic Control Gear with 0-10V Dimming and 0-10V Dimming	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
LD4	LED	Full 60° Cut-Off Designation Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Beam Control. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.5" H x 11.5" W x 11.5" D	Full Flood Beam with 100° Beam Spread and Full Cut-Off Beam Control	White Thermal Black Powder Coat Finish with 3" and 1/2" Radius	8054 Catalog Number: 10001 84 84	10001 Luminaire Luminaire: 12.5" H x 11.5" W x 11.5" D (10001) Beam Spread: 100°	8.7 Weight/100 Watts	10001 (10001) Integrated Electronic Control Gear with 0-10V Dimming and 0-10V Dimming	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
LD5	LED	Full 60° Cut-Off Designation Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Beam Control. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.5" H x 11.5" W x 11.5" D	Full Flood Beam with 100° Beam Spread and Full Cut-Off Beam Control	White Thermal Black Powder Coat Finish with 3" and 1/2" Radius	8054 Catalog Number: 10001 84 84	10001 Luminaire Luminaire: 12.5" H x 11.5" W x 11.5" D (10001) Beam Spread: 100°	8.7 Weight/100 Watts	10001 (10001) Integrated Electronic Control Gear with 0-10V Dimming and 0-10V Dimming	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.
LD6	LED	Full 60° Cut-Off Designation Adjustable Flood Headlight with 100° Beam Spread and Housing Luminaire with Full Cut-Off Beam Control. Housing and Housing Mounting Capable from Head Mount. Adjustable Luminaire Dimensions: 12.5" H x 11.5" W x 11.5" D	Full Flood Beam with 100° Beam Spread and Full Cut-Off Beam Control	White Thermal Black Powder Coat Finish with 3" and 1/2" Radius	8054 Catalog Number: 10001 84 84	10001 Luminaire Luminaire: 12.5" H x 11.5" W x 11.5" D (10001) Beam Spread: 100°	8.7 Weight/100 Watts	10001 (10001) Integrated Electronic Control Gear with 0-10V Dimming and 0-10V Dimming	Mount on West Facade of Building and 1 on East Facade of Building. 10' Above Finished Grade.

**Photometric Calculation Summary**

Space	Average (fc)	Min	Max	Uniformity (Avg/Min)
Off from the Property Line	0.00	0.0	0	0.0
Drive Way - West of Building	1.90	1	0.6	0.4
Drive Way - East Garage Entry	1.00	0.5	0.0	1.0
Pedestrian Walkway - West of Building	3.00	1.7	0.0	0.6
Pedestrian Walkway - South of Building	0.00	0.0	0.0	0.0
Pedestrian Walkway - Facing East Washington Avenue	0.00	0.0	0	0.0
Steps and Ramps on the East Washington Av. Side of the Building	0	0.0	0.0	0.0



Archipelago  
929 E Washington Ave  
Madison, Wisconsin

Project #: 2016.36.02

Date: 01/23/19

Revisions/Revisions:

Revisions/Revisions	Symbol
URBAN DESIGN SUBMITTAL	

LED wall luminaire - adjustable gantry system

BEGA

**Application**

LED wall luminaire with asymmetrical light distribution and adjustable gantry outrigger arm.

**Materials**

Luminaire housing, faceplate and outrigger arm constructed of die-cast and extruded marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy

Clear safety glass

Reflector made of pure anodized aluminum

Silicone applied robotically to casting, plasma treated for increased adhesion

High temperature silicone gasket

Mechanically captive stainless steel fasteners

**NRTL** listed to North American Standards, suitable for wet locations

Protection class IP 65

Weight: 44.1 lbs

**Electrical**

Operating voltage 120-277V AC

Minimum start temperature -30° C

LED module wattage 55.3W

System wattage 61.0W

Controllability 0-10V dimmable

Color rendering index Ra > 80

Luminaire lumens 6,674 lumens (4000K)

Lifetime at Ta = 15° C 232,000 h (L70)

Lifetime at Ta = 35° C 73,000 h (L70)

**LED color temperature**

4000K - Product number + **K4**

3500K - Product number + **K35**

3000K - Product number + **K3**

2700K - Product number + **K27**

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

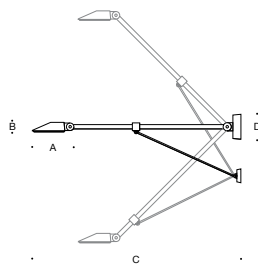
- Available colors  Black (BLK)  White (WHT)  RAL:  
 Bronze (BRZ)  Silver (SLV)  CUS:

Type:

BEGA Product:

Project:

Modified:



LED wall luminaire - adjustable gantry system

	LED	A	B	C	D
<b>24 509</b>	55.3W	16 3/4	4 1/8	90 1/2	8 1/4

**BEGA** 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

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## LED wall luminaire - surface washer

BEGA

**Application**

LED wall luminaire with asymmetrical light distribution designed for illuminating horizontal surfaces from vertical mounting surfaces.

**Materials**

Luminaire housing and faceplate constructed of die-cast marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy  
 Clear safety glass  
 Reflector made of pure anodized aluminum  
 Silicone applied robotically to casting, plasma treated for increased adhesion  
 High temperature silicone gasket  
 Mechanically captive stainless steel fasteners

**NRTL** listed to North American Standards, suitable for wet locations

Protection class IP 65

Weight: 11.5lbs

**Electrical**

Operating voltage	120-277V AC
Minimum start temperature	-30°C
LED module wattage	55.3W
System wattage	61.0W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	6,674 lumens (4000K)
Lifetime at Ta = 15°C	232,000 h (L70)
Lifetime at Ta = 35°C	73,000 h (L70)

**LED color temperature**

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

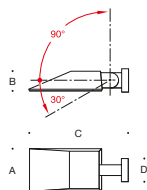
Available colors  Black (BLK)     White (WHT)     RAL:  
 Bronze (BRZ)     Silver (SLV)     CUS:

Type:

BEGA Product:

Project:

Modified:



LED wall luminaire - surface washer

	LED	A	B	C
<b>24816</b>	55.3W	8 7/8"	4"	19 1/4"



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# LUMENLINEAR™ SYMMETRIC

PROJECT NAME: \_\_\_\_\_

REP AGENCY: \_\_\_\_\_

APPROX. LINEAR FT. \_\_\_\_\_



SCAN QR CODE for technical information, downloads, instructions, and system configuration guides



LUMENLINEAR™  
ANOTHER  
LUMENRAIL®  
COMPONENT  
FOR LIFE SAFETY  
AND LIGHT.

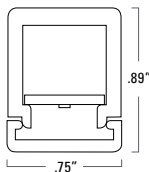
## PART NUMBER BUILDER

LULS30K40120TS18	LULS						LENGTH	
EXAMPLE	FIXTURE TYPE	COLOR TEMP		FIXTURE WATTAGE	BEAM ANGLE	LENS OPTION	NOMINAL	ASSEMBLED
	LULS Lumenrail Linear	27K - 2700° K 30K - 3000° K 35K - 3500° K 40K - 4000° K 50K - 5000° K	BLU - Blue GRN - Green RED - Red AMB - Wildlife Amber	20 - 1.85 W/FT 40 - 3.57 W/FT 60 - 5.45 W/FT	70 - 70° Spread 120 - 120° Spread	TS - Transparent Symmetric MS - Matte Symmetric	6 - 7.64" 12 - 13.51" 18 - 19.39" 24 - 25.33" 30 - 31.23" 36 - 37.14" 42 - 43.07"	48 - 48.95" 54 - 54.89" 60 - 60.83" 66 - 67.20" 72 - 73.20" 78 - 79.20" 84 - 85.20"

## ELECTRICAL SPECIFICATIONS

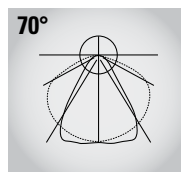
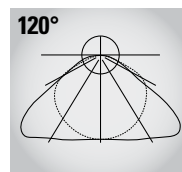
<p>All electrical connections to be made by a qualified electrician in accordance with all national, state and local electrical codes.</p>	24VDC	ETL LISTED WET, UL 1598/CSA 22.2	0-10V INPUT (PWM)	-40°F TO +120°F
	INPUT VOLTAGE	CERTIFICATIONS	DIMMING	OPERATING TEMP
	CLASS 2 REQUIRED	5 YEARS	UP TO 77 LM/W LED	UP TO 88 (95+ AVAIL. UPON REQUEST)
	DRIVER	WARRANTY	EFFICIENCY	CRI

## CONSTRUCTION



An extruded aluminum housing and fully gasketed assembly insure heat dissipation and ingress protection to IP67. Stainless steel hardware and mechanical attachment promote easy installation and longevity

## PHOTOMETRICS



The symmetric output can be specified in narrow (70°) or industry leading wide (120°) beam spreads. Installed in Wagner Lumenrail®, Lumenlinear achieves full IES cutoff. Reports to view or download are available by scanning the QR code or visiting our website.

## LUMENGEAR™ - LED DRIVER & NEMA ENCLOSURE OPTIONS

Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types will be configured based on your specifications and design. Additional specification options are available by request. Not all options apply to all products, please verify compatibility with the factory.

### CLASS II DRIVERS:

- \*STD 100W Non Dim
- 0-10V (PWM)
- Multiple Wattages
- 24VDC

### NEMA ENCLOSURES:

4X, 6

### LUMENPOST™:

Integrated 100W, 0-10V DIM

Specifications may change without prior notice, verify data at time of order, all rights reserved



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10600 West Brown Deer Road // Milwaukee, WI 53224, USA

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LULS SUBM R4

# LUMENLINEAR™ ASYMMETRIC

PROJECT NAME: \_\_\_\_\_

REP AGENCY: \_\_\_\_\_

APPROX. LINEAR FT. \_\_\_\_\_



SCAN QR CODE for technical information, downloads, instructions, and system configuration guides



LUMENLINEAR™  
ANOTHER  
LUMENRAIL®  
COMPONENT  
FOR LIFE SAFETY  
AND LIGHT.

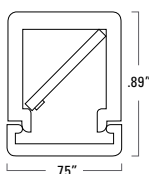
## PART NUMBER BUILDER

LULS40K6070TA24	LULS							
EXAMPLE	FIXTURE TYPE	COLOR TEMP		FIXTURE WATTAGE	BEAM ANGLE	LENS OPTION	LENGTH NOMINAL - ASSEMBLED	
	LULS Lumenrail Linear	27K - 2700° K 30K - 3000° K 35K - 3500° K 40K - 4000° K 50K - 5000° K	BLU Blue GRN Green RED Red AMB Wildlife Amber	20 - 1.85 W/FT 40 - 3.57 W/FT 60 - 5.45 W/FT	70 - 70° Spread Main Beam @ 45° above nadir	TA - Transparent Asymmetric MA - Matte Asymmetric	6 - 7.64" 12 - 13.51" 18 - 19.39" 24 - 25.33" 30 - 31.23" 36 - 37.14" 42 - 43.07"	48 - 48.95" 54 - 54.89" 60 - 60.83" 66 - 67.20" 72 - 73.20" 78 - 79.20" 84 - 85.20"

## ELECTRICAL SPECIFICATIONS

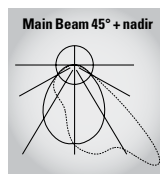
<p>All electrical connections to be made by a qualified electrician in accordance with all national, state and local electrical codes.</p>	24VDC	ETL LISTED WET, UL 1598/CSA 22.2	0-10V INPUT (PWM)	-40°F TO +120°F
	INPUT VOLTAGE	CERTIFICATIONS	DIMMING	OPERATING TEMP
CLASS 2 REQUIRED	5 YEARS	UP TO 77 LM/W LED	UP TO 88 (95+ AVAIL. UPON REQUEST)	
DRIVER	WARRANTY	EFFICIENCY	CRI	

## CONSTRUCTION



An extruded aluminum housing and fully gasketed assembly insure heat dissipation and ingress protection to IP67. Stainless steel hardware and mechanical attachment promote easy installation and longevity.

## PHOTOMETRICS



The asymmetric output has industry leading performance with a (70°) beam spread, focused on 45° above nadir. Installed in Wagner Lumenrail®, Lumenlinear performs with full IES cutoff. Reports to view or download are available by scanning the QR code or visiting our website.

## LUMENGEAR™ - LED DRIVER & NEMA ENCLOSURE OPTIONS

Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types will be configured based on your specifications and design. Additional specification options are available by request. Not all options apply to all products, please verify compatibility with the factory.

### CLASS II DRIVERS:

- \*STD 100W Non Dim
- 0-10V (PWM)
- Multiple Wattages
- 24VDC

### NEMA ENCLOSURES:

4X, 6

### LUMENPOST™:

Integrated 100W, 0-10V DIM

Specifications may change without prior notice, verify data at time of order, all rights reserved



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LULA SUBM R4

LED wall luminaire - light output on one side

BEGA

**Application**

The LED wall mounted luminaire has light output on one side. Arranged individually or in groups, this is a great design element for a host of lighting applications. For downlight applications only.

**Materials**

Luminaire housing constructed of die-cast and extruded marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy  
 Matte safety glass  
 High temperature silicone gasket  
 Mechanically captive stainless steel fasteners

**NRTL** listed to North American Standards, suitable for wet locations  
 Protection class IP 65  
 Weight: 10.8 lbs

**Electrical**

Operating voltage	120-277VAC
Minimum start temperature	-30°C
LED module wattage	9.6W
System wattage	13W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	587 lumens (3000K)
Lifetime at Ta = 15°C	>500,000 h (L70)
Lifetime at Ta = 50°C	212,000 h (L70)

**LED color temperature**

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**

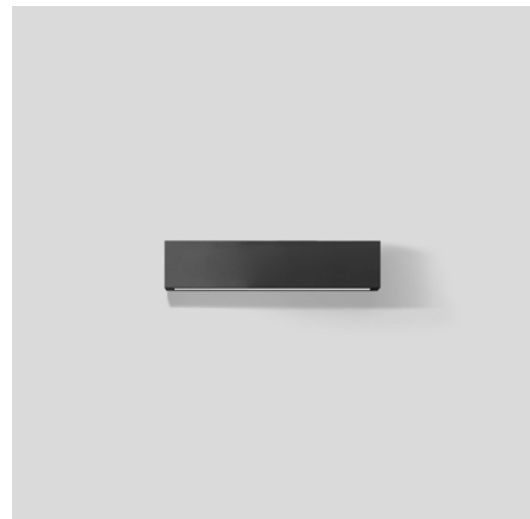
**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

- |                  |                                       |                                       |                               |
|------------------|---------------------------------------|---------------------------------------|-------------------------------|
| Available colors | <input type="checkbox"/> Black (BLK)  | <input type="checkbox"/> White (WHT)  | <input type="checkbox"/> RAL: |
|                  | <input type="checkbox"/> Bronze (BRZ) | <input type="checkbox"/> Silver (SLV) | <input type="checkbox"/> CUS: |

Type:  
 BEGA Product:  
 Project:  
 Modified:



LED wall luminaire - light output on one side					
	LED	A	B	C	Required wiring box
<b>44417</b>	9.6W	24 3/8"	4 1/8"	5"	<b>19 537</b>

**BEGA** 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

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## LED recessed ceiling downlight - narrow beam

**Application**

Designed for down lighting atriums, canopies, passages, and other interior and exterior locations featuring a symmetrical narrow beam light distribution.

**Materials**

Luminaire housing constructed of die-cast marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy  
Faceplate constructed of 316 grade machined stainless steel  
Clear safety glass  
Reflector made of pure anodized aluminum  
High temperature silicone gasket  
Stainless steel screw clamps  
Galvanized steel rough in ceiling pan with through wiring box

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 0.9 lbs

**Electrical**

Operating voltage	120-277VAC
Minimum start temperature	-20° C
LED module wattage	8.7 W
System wattage	11 W
Controllability	0-10V dimming down to 0.1%
Color rendering index	Ra > 85
Luminaire lumens	921 lumens (3000K)
Lifetime at Ta = 15° C	250,000 h (L70)
Lifetime at Ta = 40° C	140,000 h (L70)

**LED color temperature**

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

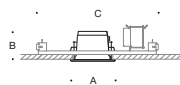
#4 brushed stainless steel.  
Custom colors are not available.  
Stainless steel requires regular cleaning and maintenance, much like household appliances to maintain its luster and prevent tarnishing or the appearance of rust like stains.

Type:

BEGA Product:

Project:

Modified:



LED recessed ceiling downlight · narrow beam

	LED	$\beta$	A	B	C
<b>55823</b>	8.7 W	19°	4 <sup>3</sup> / <sub>8</sub>	3 <sup>1</sup> / <sub>4</sub>	18

$\beta$  = Beam angle

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