

December 27, 2006

Plan Commission  
C/o Department of Planning and Development  
City of Madison  
215 Martin Luther King Jr., Blvd.  
Madison, WI 53710

Re: 479 Commerce Drive  
Letter of Intent

Dear Members of the City of Madison Plan Commission:

We are pleased to submit the Planned Unit Development – Specific Implementation Plan application for the proposed project to be located at 479 Commerce Drive and as identified Lot 1, Certified Survey Map No. 11993.

The proposed project will consist of a four-story (five-level), 119 room Homewood Suites Hotel.

The lots comprising the project area totals 143,770 square feet or 3.3005 acres.

The total building area shall be 97,559 square feet:

Lower Floor: 11,015  
First Floor: 28,090  
Second Floor: 19,550  
Third Floor: 19,452  
Fourth Floor: 19,452

The allowable floor area ratio shall be 1.47.

The building will be a combination of precast and woodframe.

All maintenance, including trash and snow removal, will be provided by private contract.

The proposed construction schedule is for construction to commence May 1, 2007 and Construction Completion to be May 1, 2008.



The development team includes the following:

Developer: Raymond Management Co.  
7700 Mineral Point Road, Suite 100  
Madison, WI 53717  
Phone: 608-833-4100  
Fax: 608-833-1616  
Principal Contact: Barry Perkel

Architect: Gary Brink & Associates, Inc.  
8401 Excelsior Drive  
Madison, WI 53717  
Phone: 608-829-1750  
Fax: 608-829-3056  
Principal Contact: Gary Brink

Civil Engineer: Calkins Engineering  
5010 Voges Road  
Madison, WI 53718  
Phone: 608-838-0444  
Fax: 608-838-0445  
Principal Contact: Jason Sanger

Landscape Design: Ken Saiki Design  
303 South Paterson Street, Suite One  
Madison, WI 53703  
Phone: 608-251-3600  
Fax: 608-251-2330  
Principal Contact: Ken Saiki

Respectfully submitted,

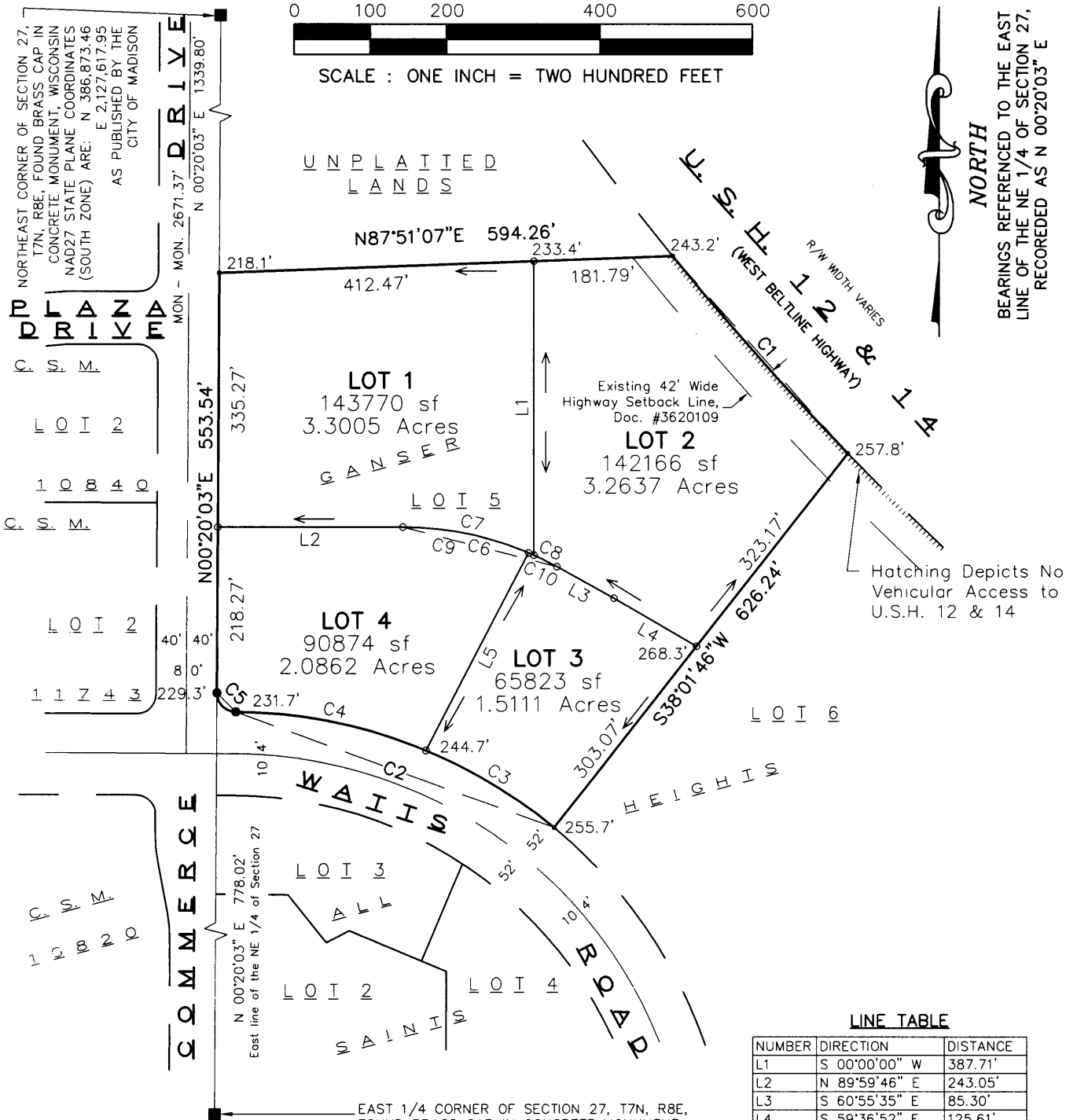


Gary P. Brink  
Principal



# CERTIFIED SURVEY MAP

LOT 5, GANSER HEIGHTS AS RECORDED IN VOLUME 58-009A OF PLATS, ON PAGES 43-46 AS DOCUMENT NUMBER 3620109, DANE COUNTY REGISTRY AND LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, T7N, R8E, CITY OF MADISON, DANE COUNTY, WISCONSIN.



**LEGEND**

- 3/4" SOLID IRON ROD FOUND
- 1-1/4" SOLID IRON ROD FOUND
- 3/4" x 18" SOLID IRON RE-ROD SET, 1.50 lbs./ft.
- ( ) INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.

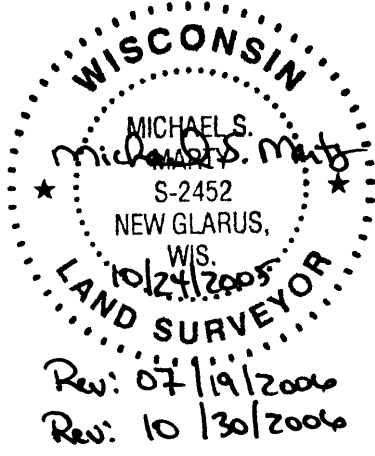
← DRAINAGE ARROW

EAST 1/4 CORNER OF SECTION 27, T7N, R8E, FOUND BRASS CAP IN CONCRETE MONUMENT NAD27 WISCONSIN STATE PLANE COORDINATES (SOUTH ZONE) ARE: N 384,200.87 E 2,127,602.36 AS PUBLISHED BY THE CITY OF MADISON

**LINE TABLE**

NUMBER	DIRECTION	DISTANCE
L1	S 00°00'00" W	387.71'
L2	N 89°59'46" E	243.05'
L3	S 60°55'35" E	85.30'
L4	S 59°36'52" E	125.61'
L5	S 27°15'15" W	292.74'

- NOTES:**
1. See sheet 2 for existing easements.
  2. See sheets 3 & 4 for new easements.
  3. See sheet 5 for additional notes.
  4. See sheet 6 for curve table, legal description, and surveyor's certificate.



MAP NO. 11993

DOCUMENT NO. 4257029

VOLUME 73 PAGE 352

Rev: October 30, 2006

Rev: July 19, 2006

Date: October 24, 2005

PLOT VIEW: PLOT

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**SURVEYED BY:**  
CALKINS ENGINEERING, LLC  
5010 VOGES ROAD  
MADISON, WI 53718  
(608) 838-0444

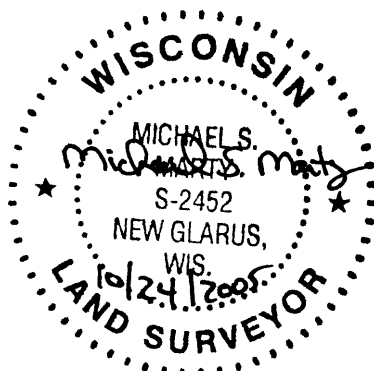
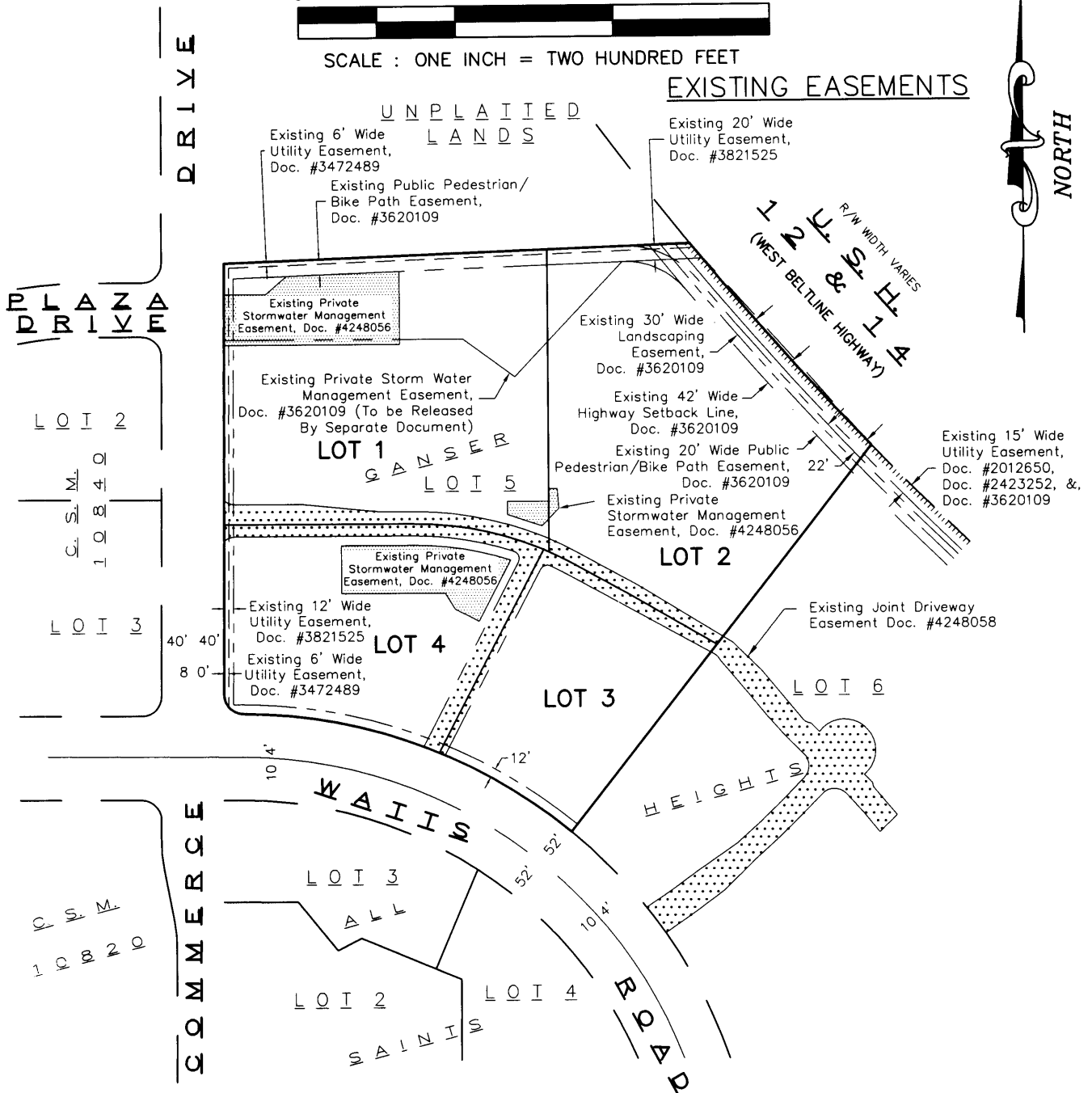
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SCALE : ONE INCH = TWO HUNDRED FEET

## EXISTING EASEMENTS



Rev: 07/19/2006  
Rev: 10/30/2006

MAP NO. 11993

DOCUMENT NO. 4257029

VOLUME 73 PAGE 353

Rev: October 30, 2006  
Rev: July 19, 2006  
Date: October 24, 2005  
PLOT VIEW: PLOT

**SURVEYED BY:**

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SCALE : ONE INCH = ONE HUNDRED TWENTY FEET

## UTILITY EASEMENT DETAIL

### EASEMENT CURVE TABLE

NUMBER	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD
C11	01°51'46"	655.00	21.29	S 66°22'27" E	21.29
C12	20°56'20"	429.50	156.96	N 79°31'58" W	156.09
C13	21°28'30"	439.50	164.73	S 79°15'53" E	163.77
C14	00°52'32"	655.00	10.01	N 65°00'19" W	10.01

UNPLATTED  
LANDS

U.S. H. 1, 2 & 14  
R/W WIDTH VARIES  
(WEST BELTLINE HIGHWAY)

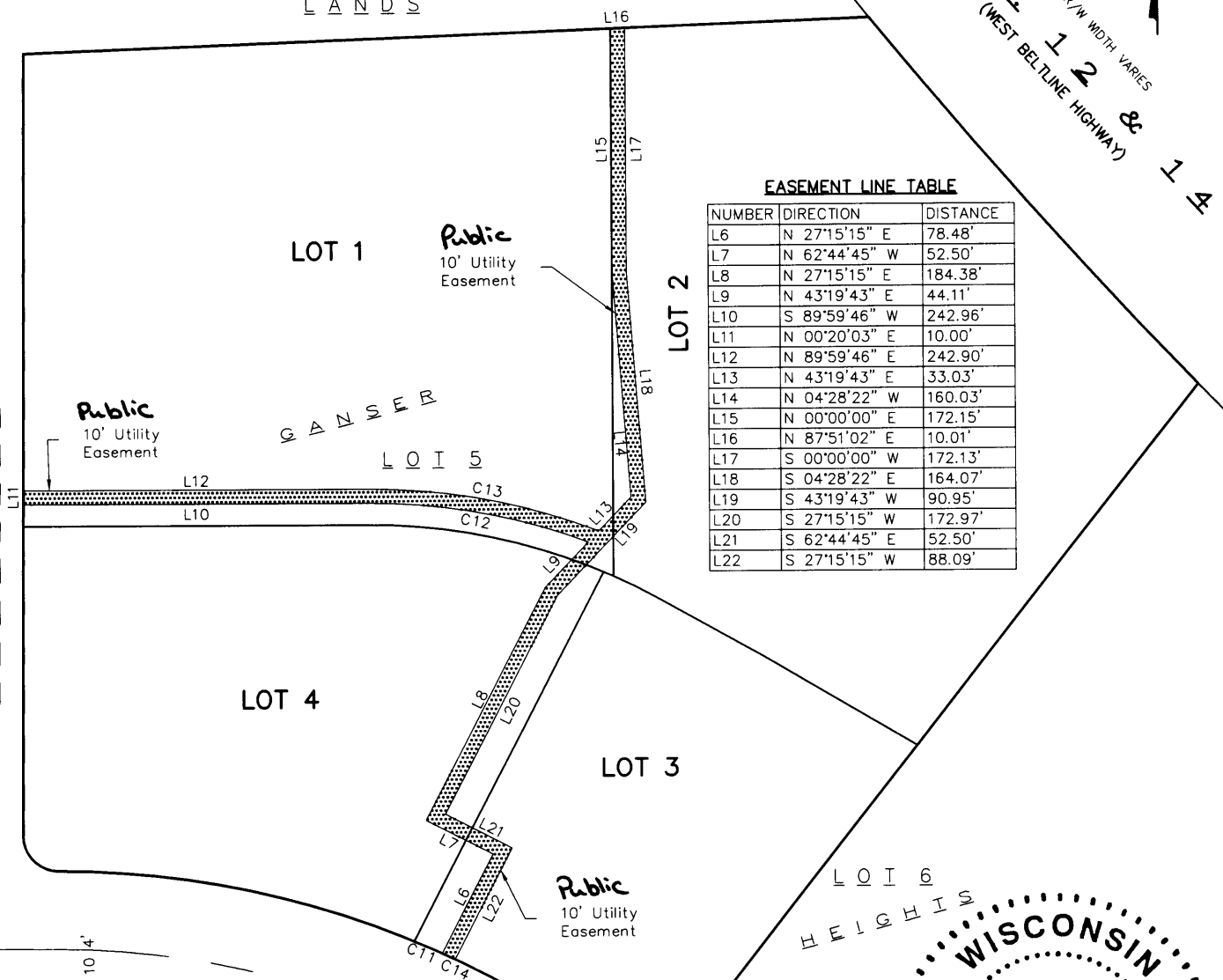


### EASEMENT LINE TABLE

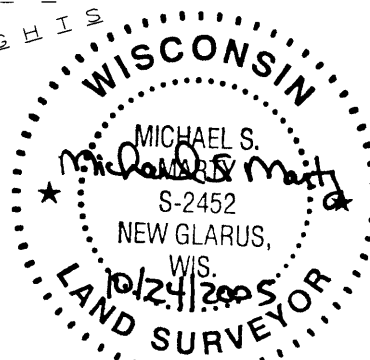
NUMBER	DIRECTION	DISTANCE
L6	N 27°15'15" E	78.48'
L7	N 62°44'45" W	52.50'
L8	N 27°15'15" E	184.38'
L9	N 43°19'43" E	44.11'
L10	S 89°59'46" W	242.96'
L11	N 00°20'03" E	10.00'
L12	N 89°59'46" E	242.90'
L13	N 43°19'43" E	33.03'
L14	N 04°28'22" W	160.03'
L15	N 00°00'00" E	172.15'
L16	N 87°51'02" E	10.01'
L17	S 00°00'00" W	172.13'
L18	S 04°28'22" E	164.07'
L19	S 43°19'43" W	90.95'
L20	S 27°15'15" W	172.97'
L21	S 62°44'45" E	52.50'
L22	S 27°15'15" W	88.09'

DRIVE  
COMMERCIAL

40'



LOI 6  
HEIGHTS



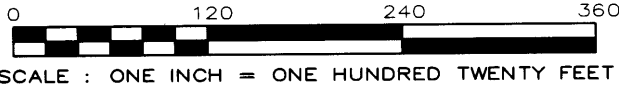
Rev: 07/19/2006  
Rev: 10/30/2006

MAP NO. 11993  
DOCUMENT NO. 4257029  
VOLUME 73 PAGE 354  
Rev: October 30, 2006  
Rev: July 19, 2006  
Date: October 24, 2005  
PLOT VIEW: PLOT

SURVEYED BY:  
CALKINS ENGINEERING, LLC  
5010 VOGES ROAD  
MADISON, WI 53718  
(608) 838-0444

# CERTIFIED SURVEY MAP

LOT 5, GANSER HEIGHTS AS RECORDED IN VOLUME 58-009A OF PLATS, ON PAGES 43-46 AS DOCUMENT NUMBER 3620109, DANE COUNTY REGISTRY AND LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, T7N, R8E, CITY OF MADISON, DANE COUNTY, WISCONSIN.



## SANITARY SEWER & WATER MAIN EASEMENT DETAIL

EASEMENT CURVE TABLE

NUMBER	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD
C15	00°28'58"	655.00	5.52	N 67°32'49" W	5.52
C16	02°40'41"	655.00	30.62	N 69°07'39" W	30.61

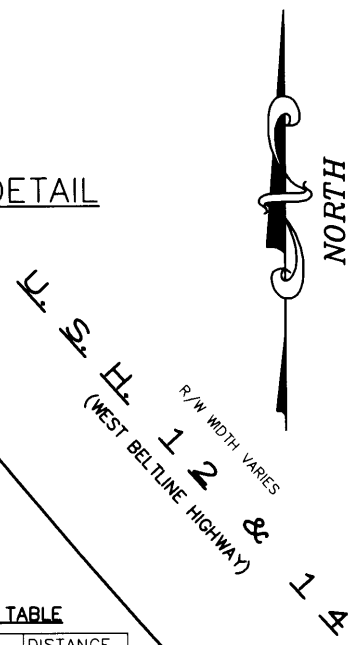
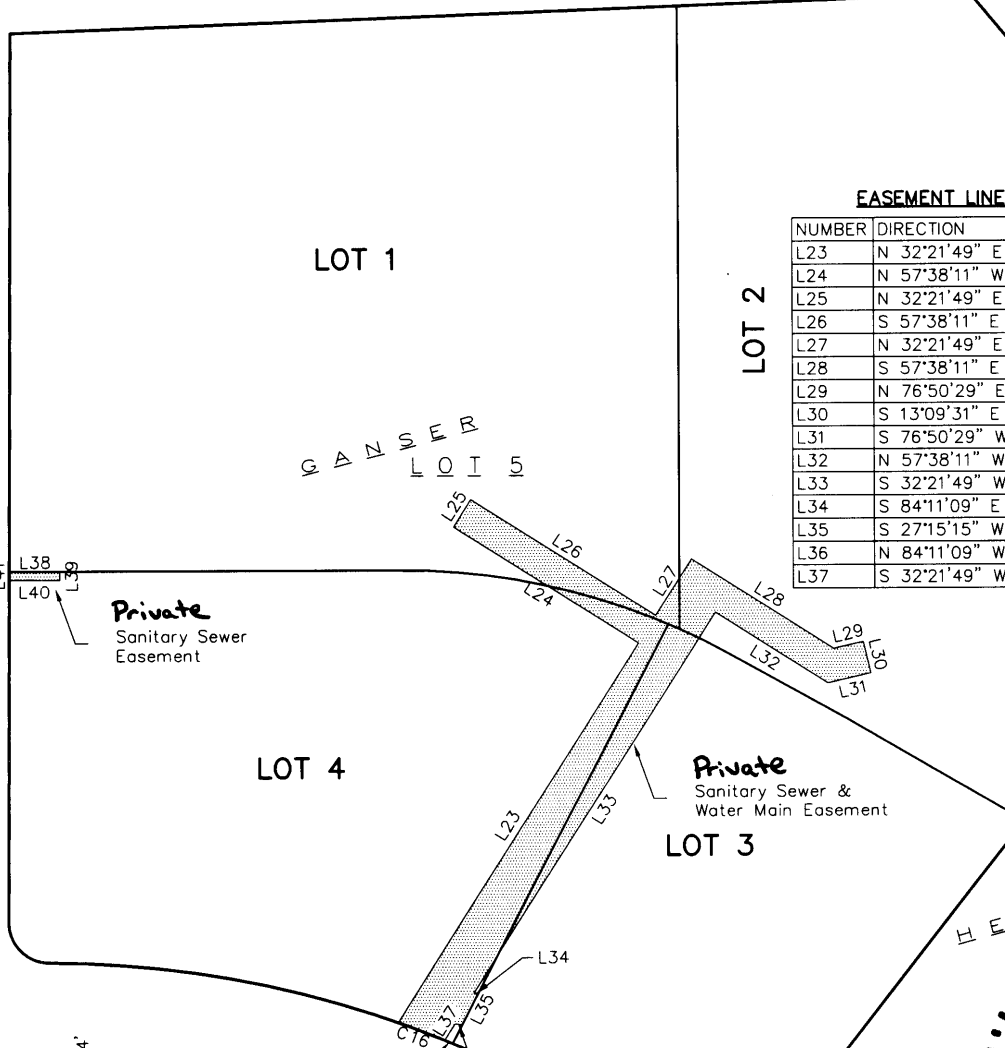
UNPLAIED  
LANDS

EASEMENT LINE TABLE

NUMBER	DIRECTION	DISTANCE
L23	N 32°21'49" E	279.08'
L24	N 57°38'11" W	134.72'
L25	N 32°21'49" E	20.00'
L26	S 57°38'11" E	134.72'
L27	N 32°21'49" E	41.16'
L28	S 57°38'11" E	103.85'
L29	N 76°50'29" E	18.98'
L30	S 13°09'31" E	20.00'
L31	S 76°50'29" W	27.37'
L32	N 57°38'11" W	82.24'
L33	S 32°21'49" W	279.94'
L34	S 84°11'09" E	2.64'
L35	S 27°15'15" W	21.49'
L36	N 84°11'09" W	4.78'
L37	S 32°21'49" W	11.85'

COMMERCE DRIVE

40'



Rev: 07/19/2006  
Rev: 10/30/2006

MAP NO. 11993  
DOCUMENT NO. 4257029  
VOLUME 73 PAGE 355  
Rev: October 30, 2006  
Rev: July 19, 2006  
Date: October 24, 2005  
PLOT VIEW: PLOT

SURVEYED BY:  
CALKINS ENGINEERING, LLC  
5010 VOGES ROAD  
MADISON, WI 53718  
(608) 838-0444



Stock No. 26273

001707

# CERTIFIED SURVEY MAP

LOT 5, GANSER HEIGHTS AS RECORDED IN VOLUME 58-009A OF PLATS, ON PAGES 43-46 AS DOCUMENT NUMBER 3620109, DANE COUNTY REGISTRY AND LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, T7N, R8E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

## NOTES:

1. The recorded plat of GANSER HEIGHTS references the following:

### -WIS-DOT NOTES:

-Access Restriction Note: Access to U.S.H. 12 is controlled by WIS-DOT project: CA 04-2(1).

-Highway Setback Restriction Note: No improvements or structures are allowed between the right-of-way and the highway setback line. Improvements and structures include, but are not limited to signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings, and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The phone number may be obtained by contacting the County Highway Department. Special Exception for a reduced Highway Setback of 42' approved by WIS-DOT on December 08, 2002, WISDOT Log No. 1112.

-Noise Note: The lots of this land division may experience noise at levels exceeding levels in s. Trans 405.04, Table 1. these levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the department to the highway's through-lane capacity.

-All lots within this plat are subject to a non-exclusive easement for drainage purposes and shall be a minimum of six (6) feet in width measured from the property line to the interior of each lot, except that the easement shall be twelve (12) feet in width on the perimeter of this plat. Easements shall not be required on property lines shared with greenways or public streets.

-The intra block drainage easements shall be graded with the construction of each principle structure in accordance with the approved storm water drainage plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with the Madison General Ordinances.

-A traffic impact analysis is required for each development on Lots 5, 6, 7, and 8. The vehicle trip generation projected for each new building constructed on Lots 5, 6, 7, and 8 shall be compared to the levels of vehicle trips projected in the report entitled "Watts Road Development Traffic Impact Analysis" prepared by Engineering Solutions, LLC dated March, 2001 on both an individual development basis and with respect to the total vehicle trip generation contemplated by the land use plan amendment dated September 25, 2001.

-The 30 foot wide landscaping easement is reserved for the planting of trees or shrubs by the owner; the construction of buildings here is prohibited and the strip shall not be counted as any required yard. Maintenance of this strip is the responsibility of the owner.

-All buildings and outdoor recreational areas shall comply with M.G.O. Sec. 16.23(3)(d) - Highway Noise Land Use Provisions Policies and Ordinance.

-There shall be no access along the southerly right-of-way line of the West Beltline Highway (U.S.H. 12 & 14).

-The owners of Lots 5, 6, 7, and 8 shall grant a perpetual reciprocal non-exclusive, and unimpeded vehicular and pedestrian easement for crossing and ingress/egress.

-Construction and use of structures upon Lots 5, 6, 7, 8, and Outlot 1 are subject to the terms and provisions of a set of declarations imposed, managed, and administered by the Roman Catholic Diocese of Madison, as recorded in the Dane County Register of Deeds on December 26, 2002, as Document Number 3618895.

-The owner reserves, for itself and its successors and assigns, the right to subject the plat to one or more agreements respecting reciprocal easements and restrictions to promote the common use, operation, and benefit of certain portions of the plat as planned-integrated development.

-As lots develop in this plat, each is responsible for compliance with M.G.O. Chapter 37.

2. All lots created by this certified survey map are required to comply with Chapter 37 of the Madison General Ordinances at the time they develop.

3. Drainage Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure maintained by the lot owner unless modified with approval of the City Engineer. Elevations given are for property corners at ground level and shall be maintained by the lot owner.

4. All lots within this survey are subject to a public easement for drainage purposes which shall be a minimum of 6-feet in width measured from the property line to the interior of each lot except that the easement shall be 12-feet in width on the perimeter of the certified survey map. Easements shall not be required on property lines shared with green ways or public streets. No structures may be constructed within said easement and no other obstructions to drainage, including landscaping are permitted without prior written approval of the City Engineer. In the event of the City of Madison Plan Commission and/or Common Council approved redivision of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.

5. Any proposed buildings on Lots 1 and 2 of this certified survey map shall be designed such that traffic-induced interior noise levels will not exceed 52 decibels.

6. One access on Watts Road & Commerce Drive may be granted as determined by the City Traffic Engineer.

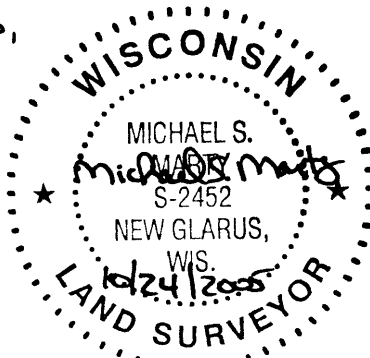
7. This Certified Survey Map subject to Declaration of Conditions, Covenants, and Restrictions for Maintenance of Stormwater Management Measures as recorded in Document Number 4248056. See document for restrictions and conditions.

8. This Certified Survey Map subject to Declaration of Private Storm and Sanitary Sewer Easement as recorded in Document Number 4248057. See document for conditions.

9. This Certified Survey Map is subject to Declaration of Drive Easement as recorded in Document Number 4248058. See document for restrictions and conditions.

10. This Certified Survey Map subject to Declaration of Conditions and Covenants as recorded in Document Number 4248059. See document for conditions.

11. Subject to conditions, covenants, restrictions, and reservations contained in Document Numbers 3646766, 3995831, 3869000, 3867620 and 3867621.

MAP NO. 11993DOCUMENT NO. 4257029VOLUME 73 PAGE 356

Rev: October 30, 2006

Rev: July 19, 2006

Date: October 24, 2005

PLOT VIEW: PLOT

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### SURVEYED BY:

CALKINS ENGINEERING, LLC  
5010 VOGES ROAD  
MADISON, WI 53718  
(608) 838-0444

PER01

SHEET 5 OF 7



Stock No. 26273

001708

# CERTIFIED SURVEY MAP

LOT 5, GANSER HEIGHTS AS RECORDED IN VOLUME 58-009A OF PLATS, ON PAGES 43-46 AS DOCUMENT NUMBER 3620109, DANE COUNTY REGISTRY AND LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, T7N, R8E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

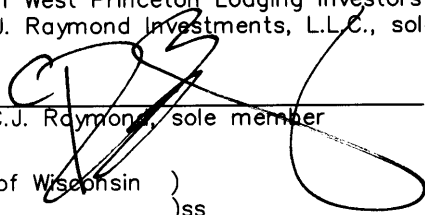
### CURVE DATA

CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD	TANGENT BEARING BACK	TANGENT BEARING AHEAD
C1	347.63	3939.72	05°03'20"	S 41°32'22" E	347.52	S 39°00'42" E	S 44°04'02" E
C2	452.81	655.00	39°36'33"	N 69°54'40.5" E	443.85	N 50°06'24" W	N 89°42'57" W
C3	196.61	655.00	17°11'56"	N 58°42'22" W	195.88	N 50°06'24" W	N 67°18'20" W
C4	256.19	655.00	22°24'37"	N 78°30'38.5" W	254.56	N 67°18'20" W	N 89°42'57" W
C5	39.29	25.00	90°03'00"	N 44°41'27" W	35.37	N 89°42'57" W	
C6	210.09	414.00	29°04'33"	S 75°27'51.5" E	207.85		
C7	176.37	414.00	24°24'30"	S 77°47'54" E	175.04		S 65°35'39"E
C8	33.73	414.00	04°40'04"	S 63°15'37" E	33.72	S 65°35'39"E	
C9	168.70	414.00	23°20'50"	S 78°19'43" E	167.53		S 66°39'18" E
C10	41.39	414.00	05°43'43"	S 63°47'26.5" E	41.38	S 66°39'18" E	

### OWNER'S CERTIFICATE

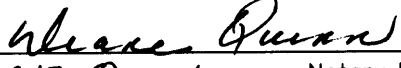
Madison West Princeton Lodging Investors I, LLC, as owner, hereby certifies that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented on the map hereon. We further certify that this Certified Survey Map is required by S.236.34 to be submitted to the City of Madison for approval. Witness the hand and seal of said owner this 30<sup>th</sup> day of OCTOBER, 2006.

Madison West Princeton Lodging Investors I, LLC  
By: C.J. Raymond Investments, L.L.C., sole member

By:   
C.J. Raymond, sole member

State of Wisconsin )  
                                  )ss  
County of Dane      )

Personally came before me this 30<sup>th</sup> day of OCTOBER, 2006, the above named C.J. Raymond to me known to be the person who executed the foregoing instrument and acknowledged the same.

  
DIANE QUINN, Notary Public  
State of Wisconsin  
My Commission expires: April 26, 2009

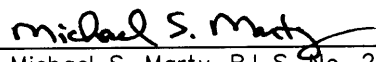
### SURVEYOR'S CERTIFICATE

I, Michael S. Marty, Registered Land Surveyor No. 2452, hereby certify that under the direction of Madison West Princeton Lodging Investors I, LLC, owner of said land, I have surveyed, divided, mapped, and dedicated part of the Southwest Quarter of the Northwest Quarter of Section 26, Township 7 North, Range 8 East, City of Madison, Dane County, Wisconsin, more fully described as follows:

Lot 5, GANSER HEIGHTS, as recorded in Volume 58-009A of Plats, on pages 43-46, as Document Number 3620109, Dane County Registry, City of Madison, Dane County, Wisconsin.

I further certify that the map on sheet one (1) is a correct representation of the exterior boundaries of the land surveyed and that I have fully complied with the provisions of Chapter 236.34 of the State Statutes and the Subdivision Ordinance of the City of Madison in surveying, dividing, mapping, and dedicating the same.

Dated this 24<sup>th</sup> day of October, 2005.  
Revised this 19<sup>th</sup> day of July, 2006.  
Revised this 30<sup>th</sup> day of October, 2006.

Signed:   
Michael S. Marty, R.L.S. No. 2452

MAP NO. 11993  
DOCUMENT NO. 4257029  
VOLUME 73 PAGE 357  
Rev: October 30, 2006  
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\projects\PER01\CSM\Revised\csm-PER01 revised01.dwg



**SURVEYED BY:**  
CALKINS ENGINEERING, LLC  
5010 VOGES ROAD  
MADISON, WI 53718  
(608) 838-0444



# CERTIFIED SURVEY MAP

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State Bank of Cross Plains CONSENT OF MORTGAGEE

~~Associated Bank~~, a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedicating of the land described on this Certified Survey Map, and does hereby consent to the Owner's Certificate.

State Bank of Cross Plains

IN WITNESS WHEREOF, the said ~~Associated Bank~~ has caused these presents to be signed by DAVID EARLL, its Vice President, and countersigned by \_\_\_\_\_, at MADISON, Wisconsin this 31st day of OCTOBER, 2006.

By: [Signature] State Bank of Cross Plains  
VICE PRESIDENT

State of Wisconsin )  
                                  )ss.  
County of Dane        )

Personally came before me this 31st day of October, 2006, DAVID EARLL and \_\_\_\_\_, of the above named banking association, to me known to be the persons who executed the foregoing instrument, and to me known to be such \_\_\_\_\_ and \_\_\_\_\_ of said banking association, and acknowledged that they executed the foregoing instrument as such officers as the deed of said banking association, by its authority.

[Signature] My Commission expires: April 26, 2009  
Notary Public, State of Wisconsin  
Diane Quinn

### CITY OF MADISON APPROVAL

Approved for recording per City of Madison Plan Commission Secretary.

Date: 1 NOVEMBER 2006

Signed: [Signature] FOR M. OLINGER

### COMMON COUNCIL RESOLUTION

Resolved, that this Certified Survey Map located in the City of Madison, was hereby approved by Enactment No. RES-06-00990, File I.D. No. 02533, adopted on this 21st day of November, 2006, and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the City of Madison for public use.

Date: November 27, 2006 Maribeth Witzel-Behl  
Maribeth L. Witzel-Behl, ~~Interim~~ City Clerk  
City of Madison, Dane County, Wisconsin



Rev: 07/19/2006  
Rev: 10/30/2006

### REGISTER OF DEEDS CERTIFICATE

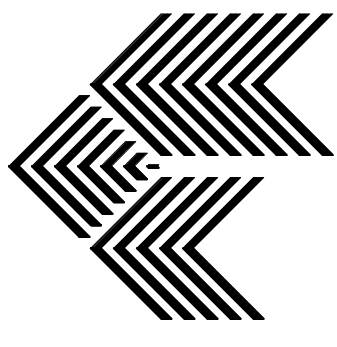
Received for recording on this 27th day of November, 2006, at 3:59 o'clock P.m. and recorded in Volume 73 of Certified Survey Maps on pages 352-358.

SURVEYED FOR:  
RAYMOND MANAGEMENT CO.  
7700 MINERAL POINT ROAD  
SUITE 100  
MADISON, WI 53717

SURVEYED BY:  
CALKINS ENGINEERING, LLC  
5010 VOGES ROAD  
MADISON, WI 53718  
(608) 838-0444

[Signature]  
Jane Licht, Dane County  
Register of Deeds

MAP NO. 11993  
DOCUMENT NO. 4257029  
VOLUME 73 PAGE 358  
Rev: October 30, 2006  
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CARY BRINK & ASSOCIATES  
ARCHITECTS

8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
608-829-3056 (FAX)



**A** EAST ELEVATION - COURTYARD  
6/04 SCALE 1/8" = 1'-0"



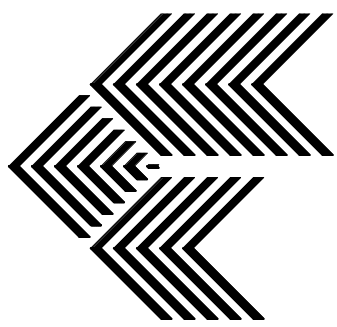
**B** NORTH ELEVATION - COURTYARD  
6/04 SCALE 1/8" = 1'-0"

PROJECT:  
**HOMEWOOD SUITES**  
479 COMMERCE DRIVE MADISON, WISCONSIN 53719

CLIENT:  
**RAYMOND MANAGEMENT COMPANY**  
7700 MINERAL POINT RD., SUITE 100, MADISON WISCONSIN 53717

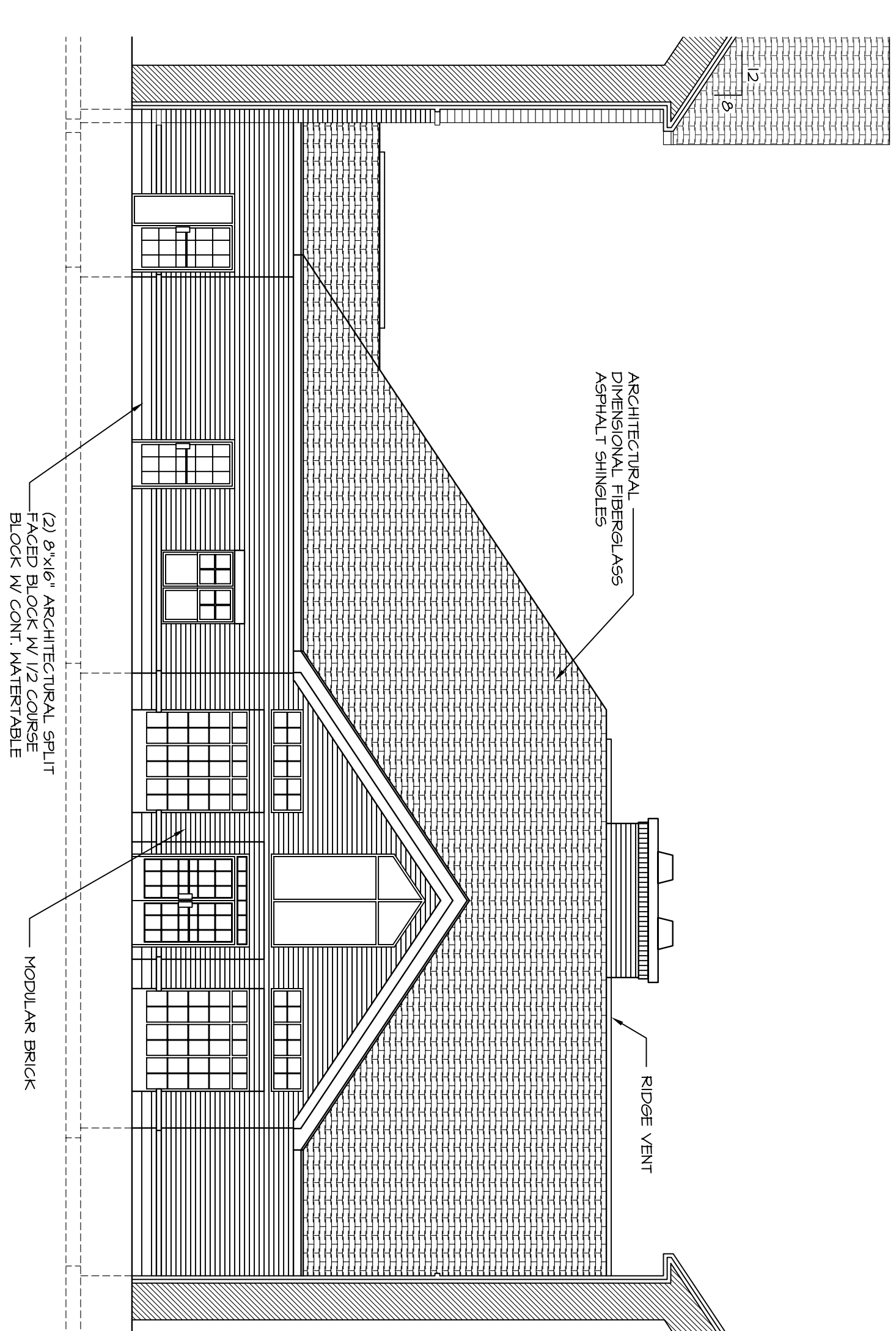
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608-829-3056 (FAX)



**A** WEST ELEVATION - COURTYARD  
603 SCALE 1/8" = 1'-0"



**B** SOUTH ELEVATION - COURTYARD  
603 SCALE 1/8" = 1'-0"

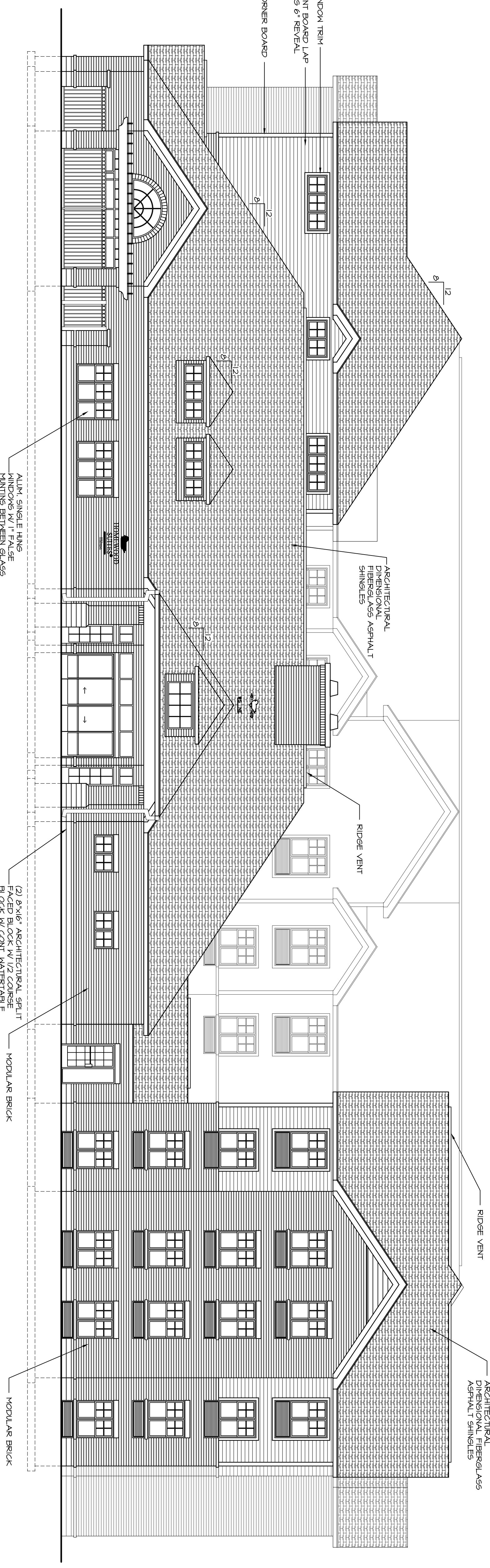
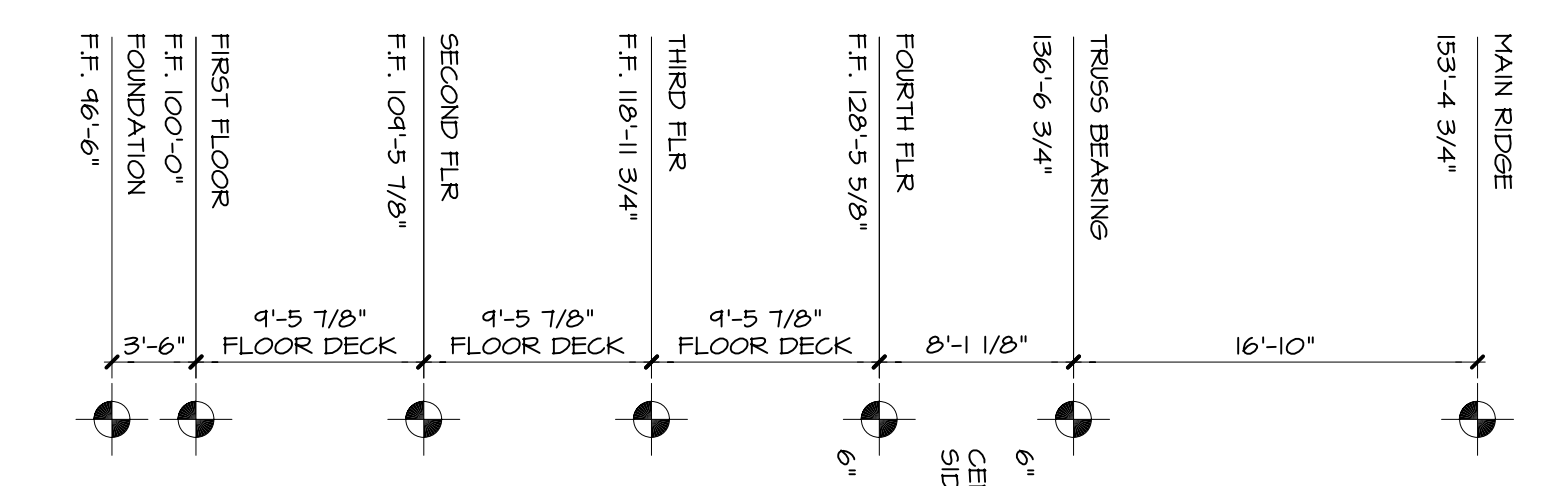
PROJECT:  
**HOMWOOD SUITES**  
479 COMMERCE DRIVE MADISON, WISCONSIN 53719

CLIENT:  
**RAYMOND MANAGEMENT COMPANY**  
7700 MINERAL POINT RD., SUITE 100, MADISON WISCONSIN 53717

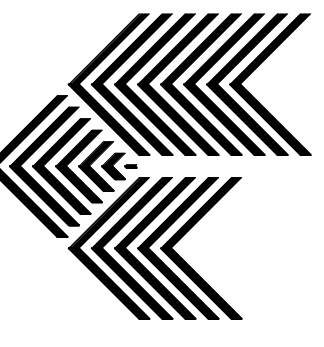
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**A SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**B EAST ELEVATION**  
SCALE 1/8" = 1'-0"



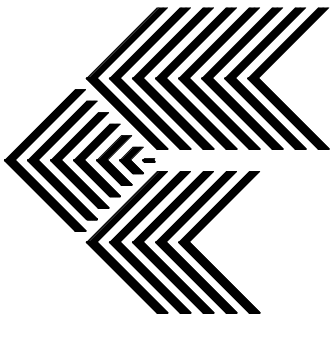
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MADISON, WI 53717  
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**PROJECT:**  
**HOMWOOD SUITES**  
479 COMMERCE DRIVE MADISON, WISCONSIN 53719

**CLIENT:**  
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**HOMWOOD SUITES**  
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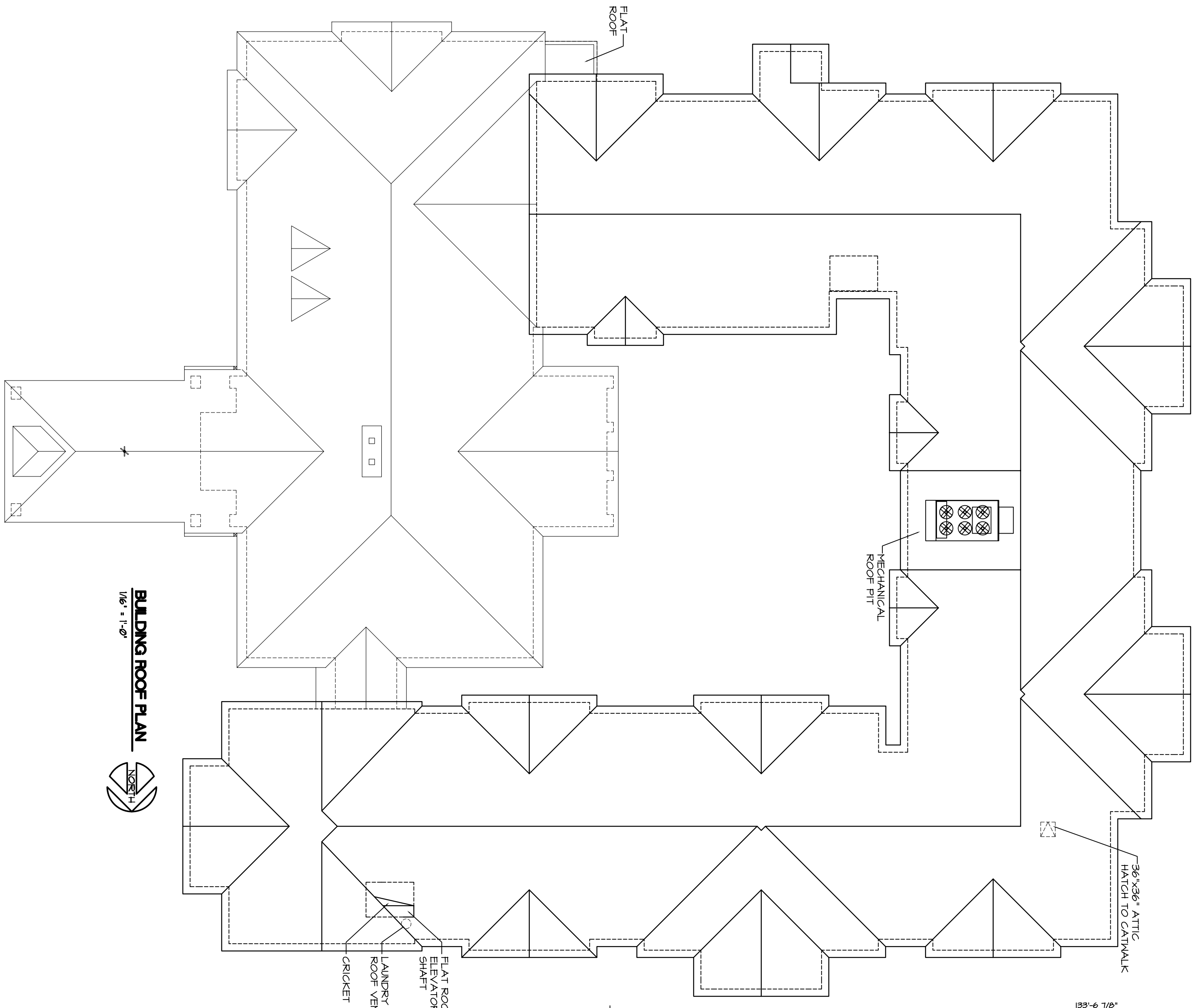
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DATE: 12/22/06



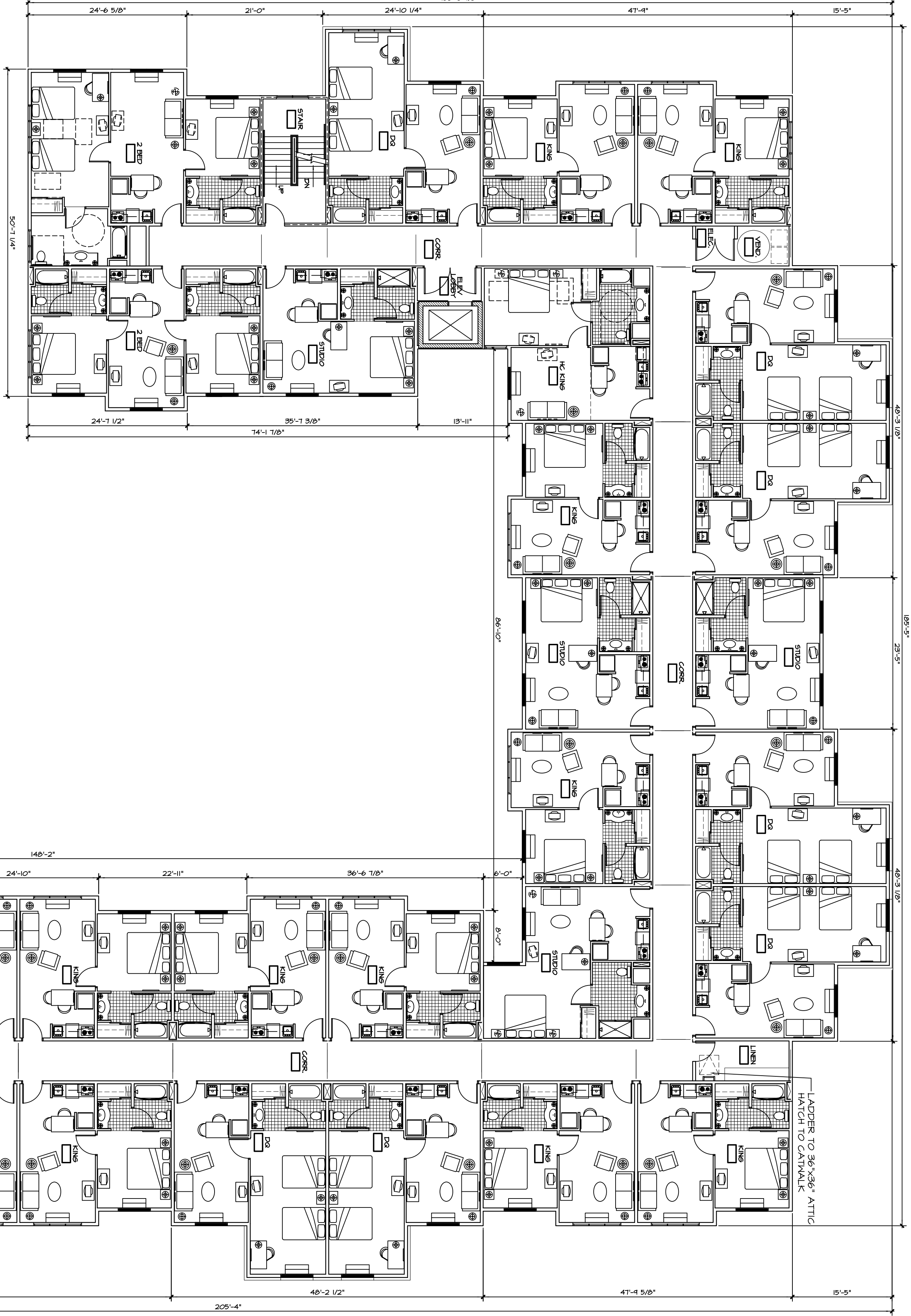
**A NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



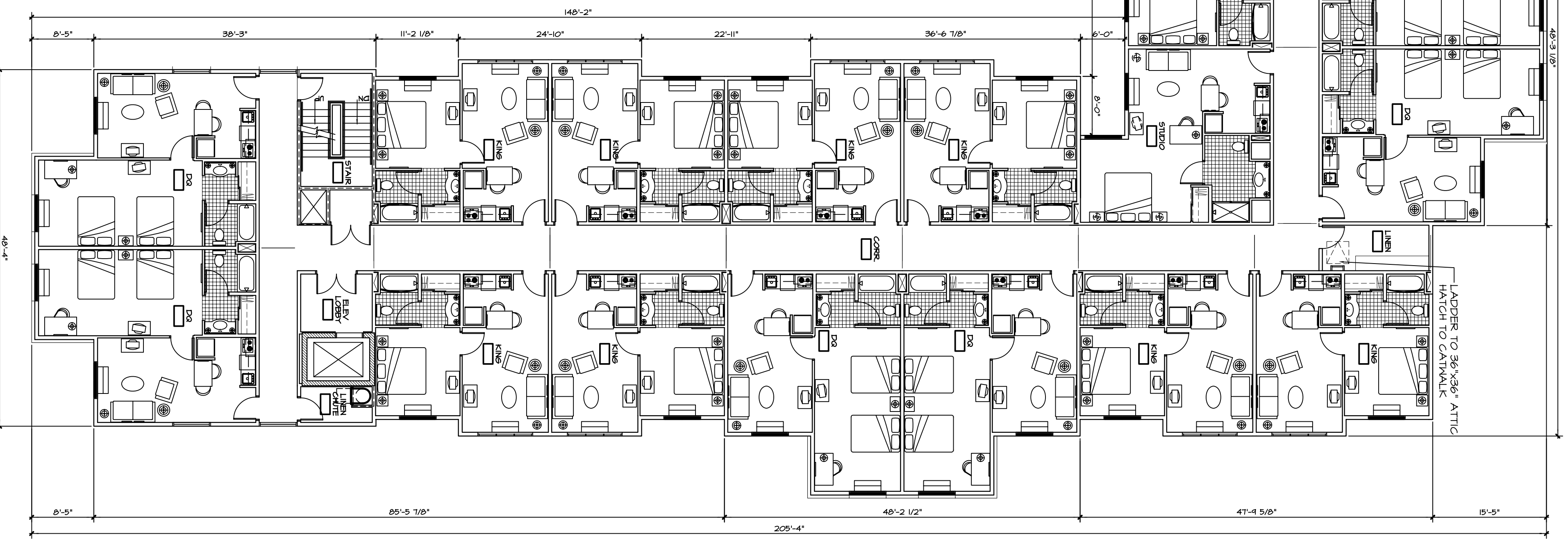
**8 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING ROOF PLAN**  
1/8" = 1'-0"



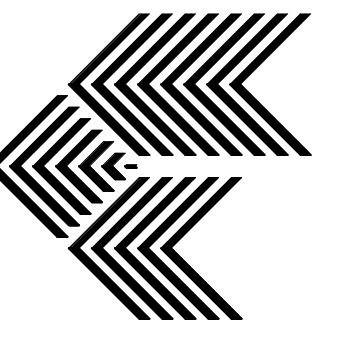
**FOURTH FLOOR PLAN**  
3/8" = 1'-0"



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PROJECT:  
**HOMWOOD SUITES**  
479 COMMERCE DRIVE MADISON, WISCONSIN 53719  
CLIENT:  
**RAYMOND MANAGEMENT COMPANY**  
7700 MINERAL POINT RD., SUITE 100, MADISON WISCONSIN 53717

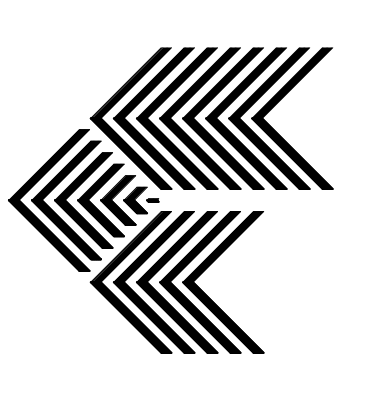
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8401 EXCELSIOR DRIVE  
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**THIRD FLOOR PLAN**  
3/32" = 1'-0"

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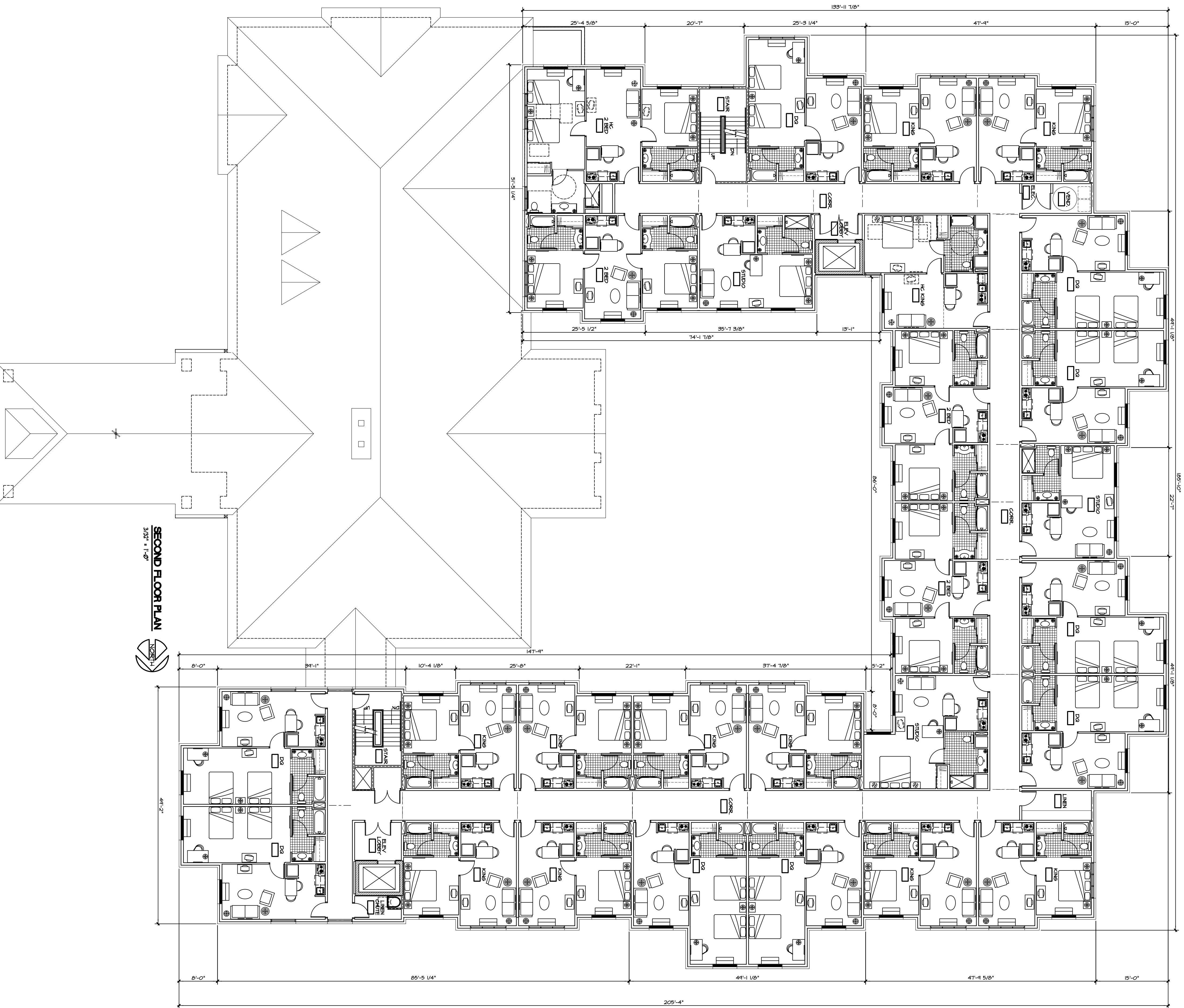


**PROJECT:**  
**HOMWOOD SUITES**  
479 COMMERCE DRIVE MADISON, WISCONSIN 53719

**CLIENT:**  
**RAYMOND MANAGEMENT COMPANY**  
7700 MINERAL POINT RD., SUITE 100, MADISON WISCONSIN 53717

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**DRAWN BY:** TB  
**DATE:** 12/22/06



**SECOND FLOOR PLAN**  
3/8\"/>

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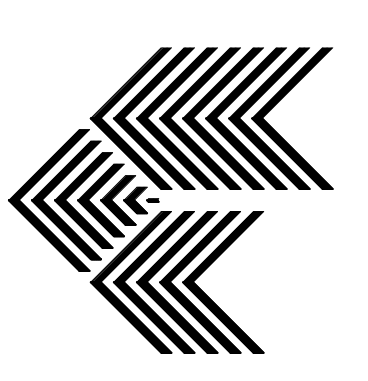
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DATE: 12/22/06

PROJECT:  
**HOMWOOD SUITES**  
479 COMMERCE DRIVE MADISON, WISCONSIN 53719

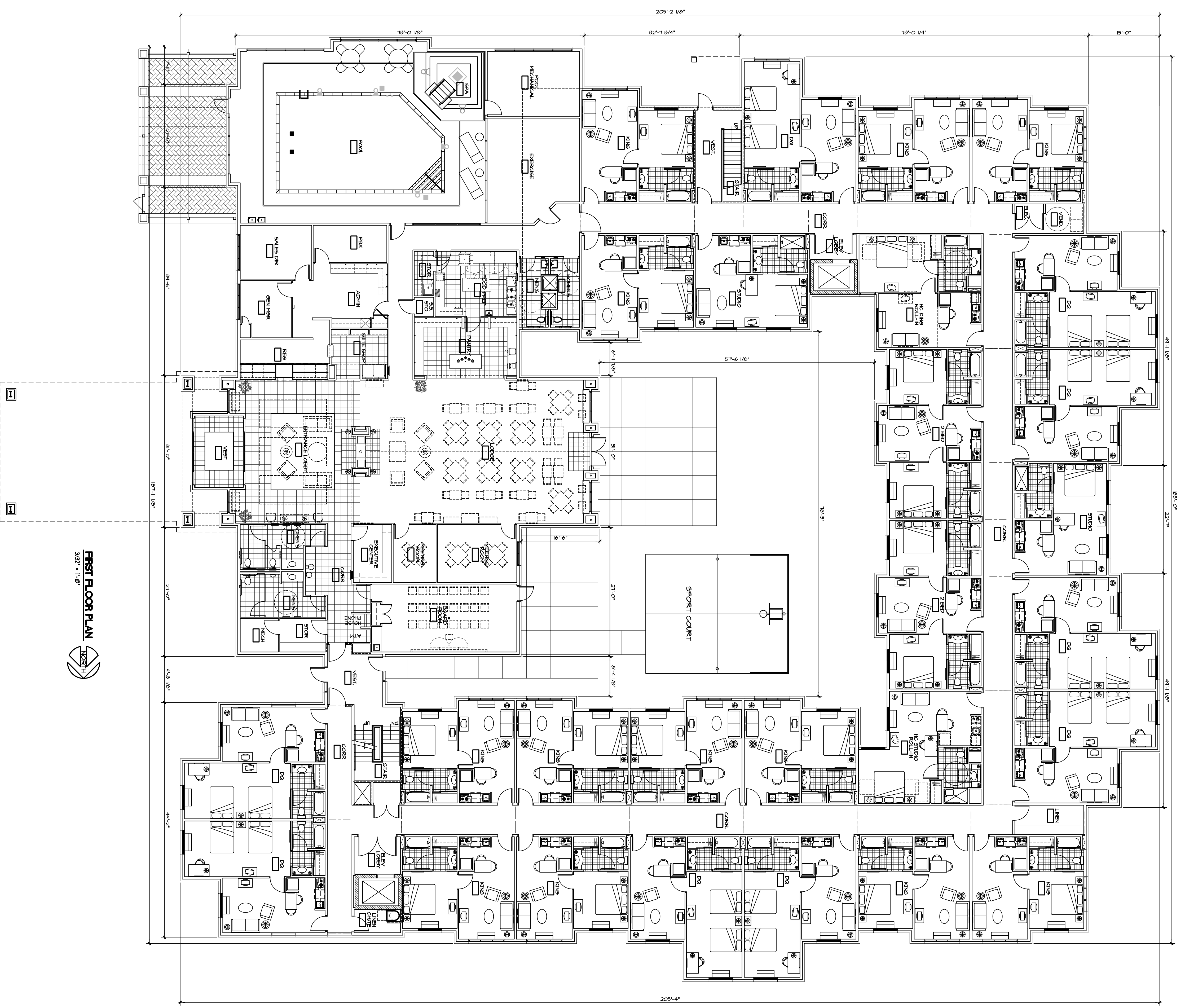
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**FIRST FLOOR PLAN**  
3/32" = 1'-0"

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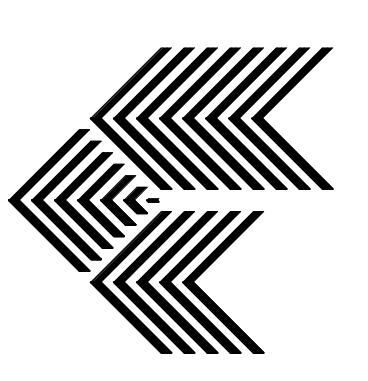
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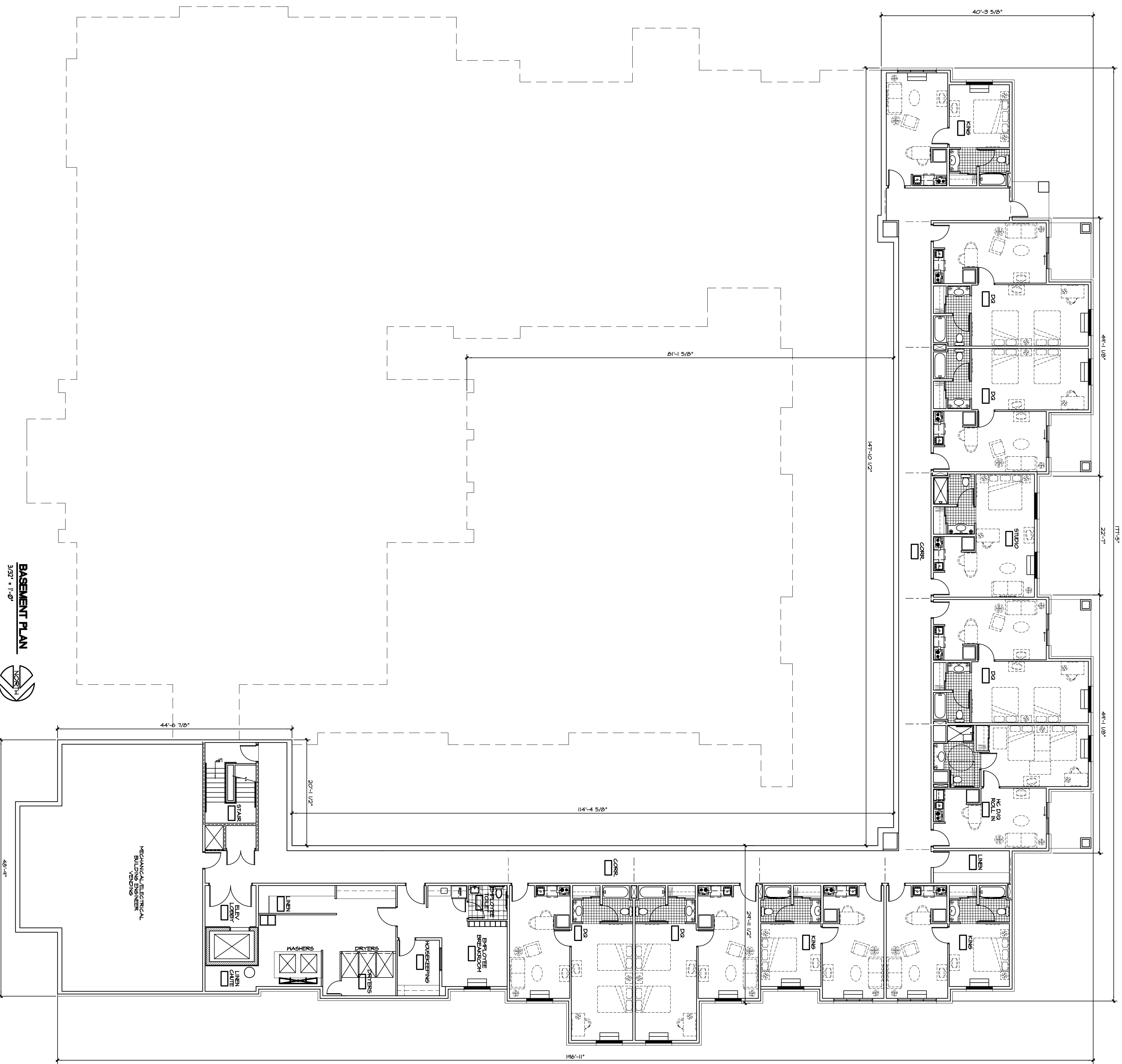
PROJECT:  
**HOMWOOD SUITES**  
479 COMMERCE DRIVE MADISON, WISCONSIN 53719

CLIENT:  
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7700 MINERAL POINT RD., SUITE 100, MADISON WISCONSIN 53717

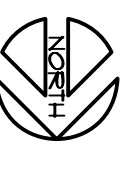
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MADISON, WI 53717  
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**BASEMENT PLAN**  
3/32" = 1'-0"



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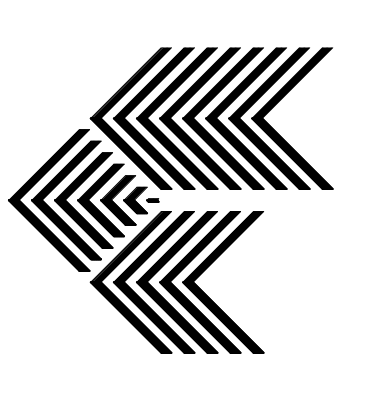
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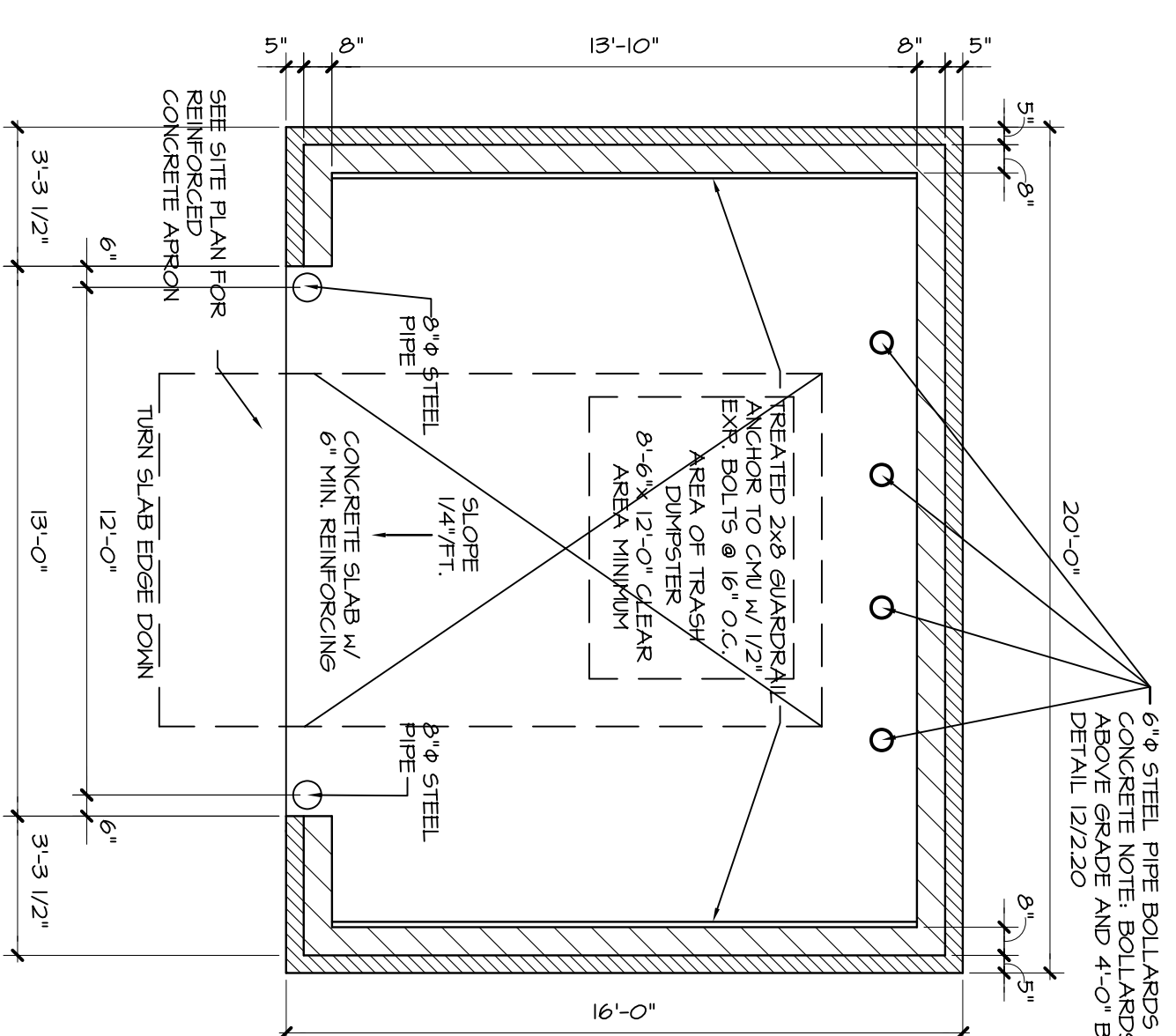
PROJECT:  
**HOMWOOD SUITES**  
 479 COMMERCE DRIVE MADISON, WISCONSIN 53719

CLIENT:  
**RAYMOND MANAGEMENT COMPANY**  
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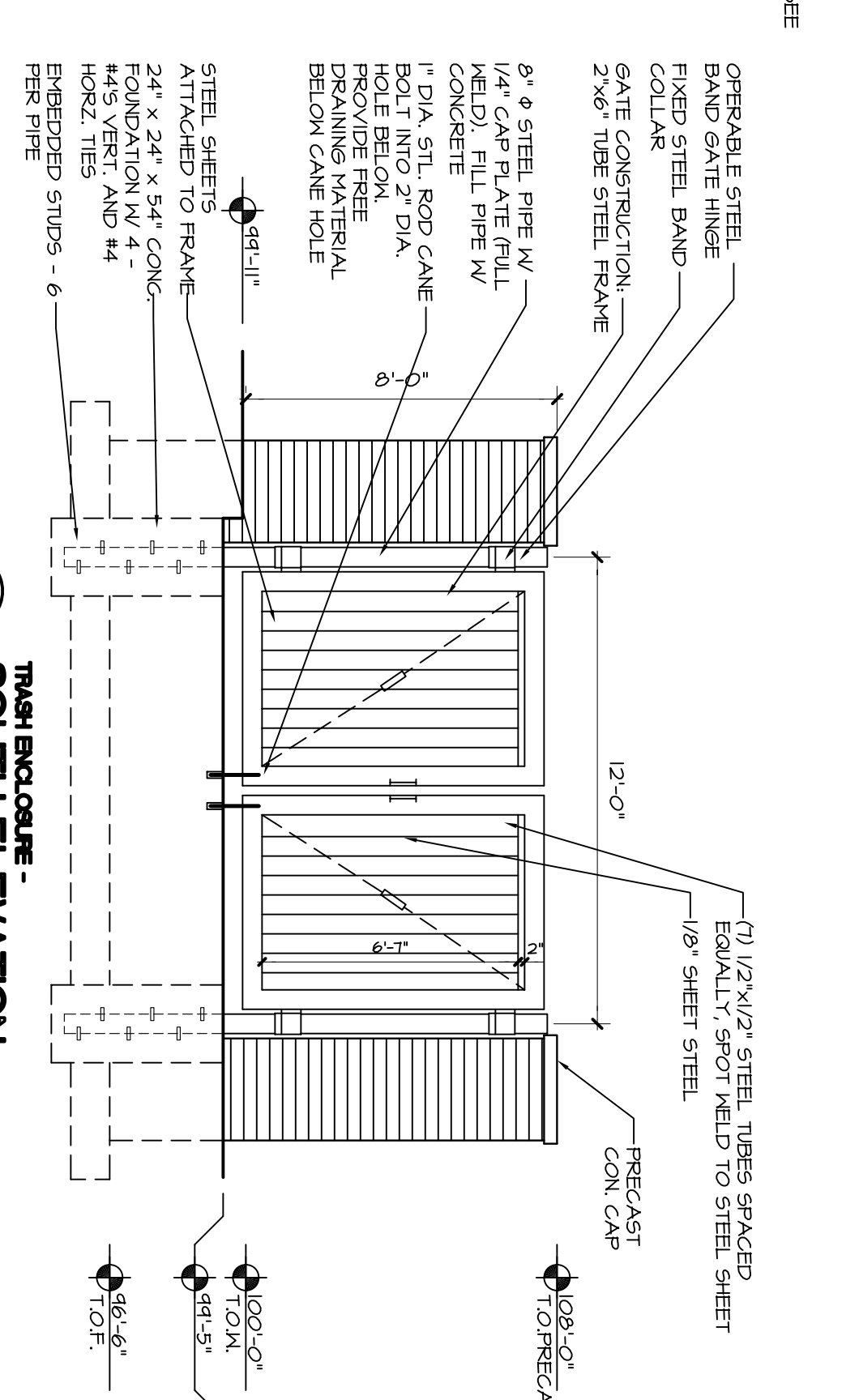
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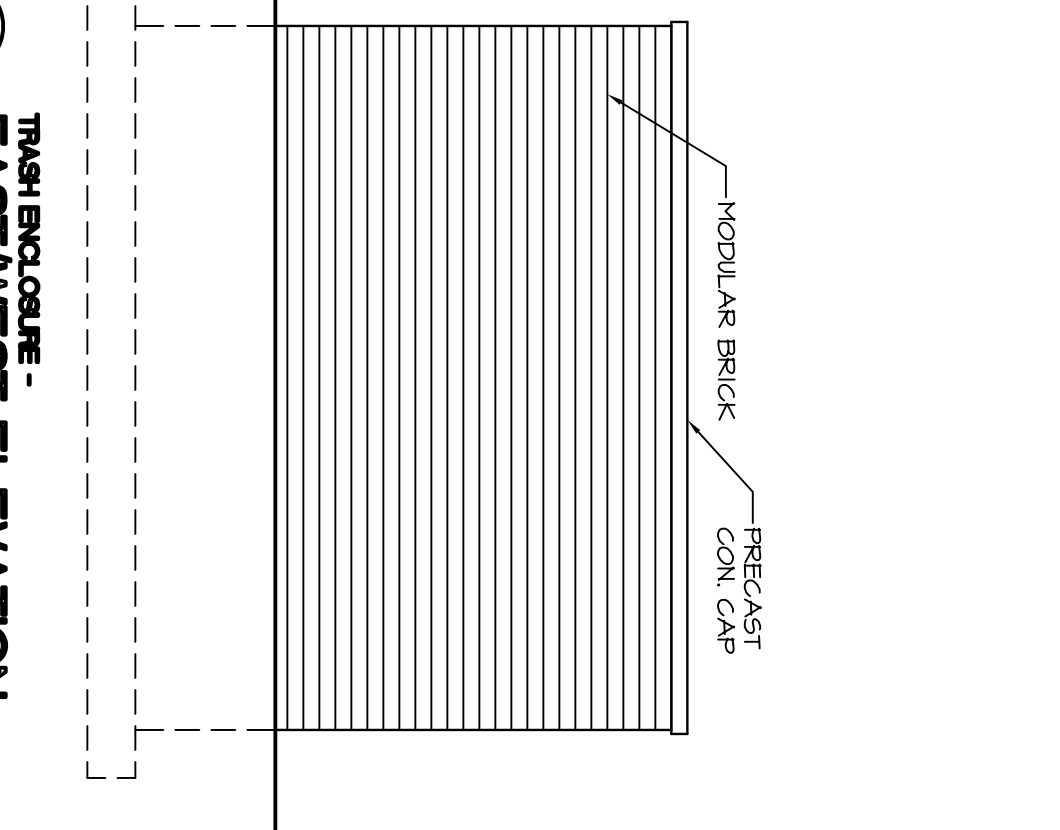




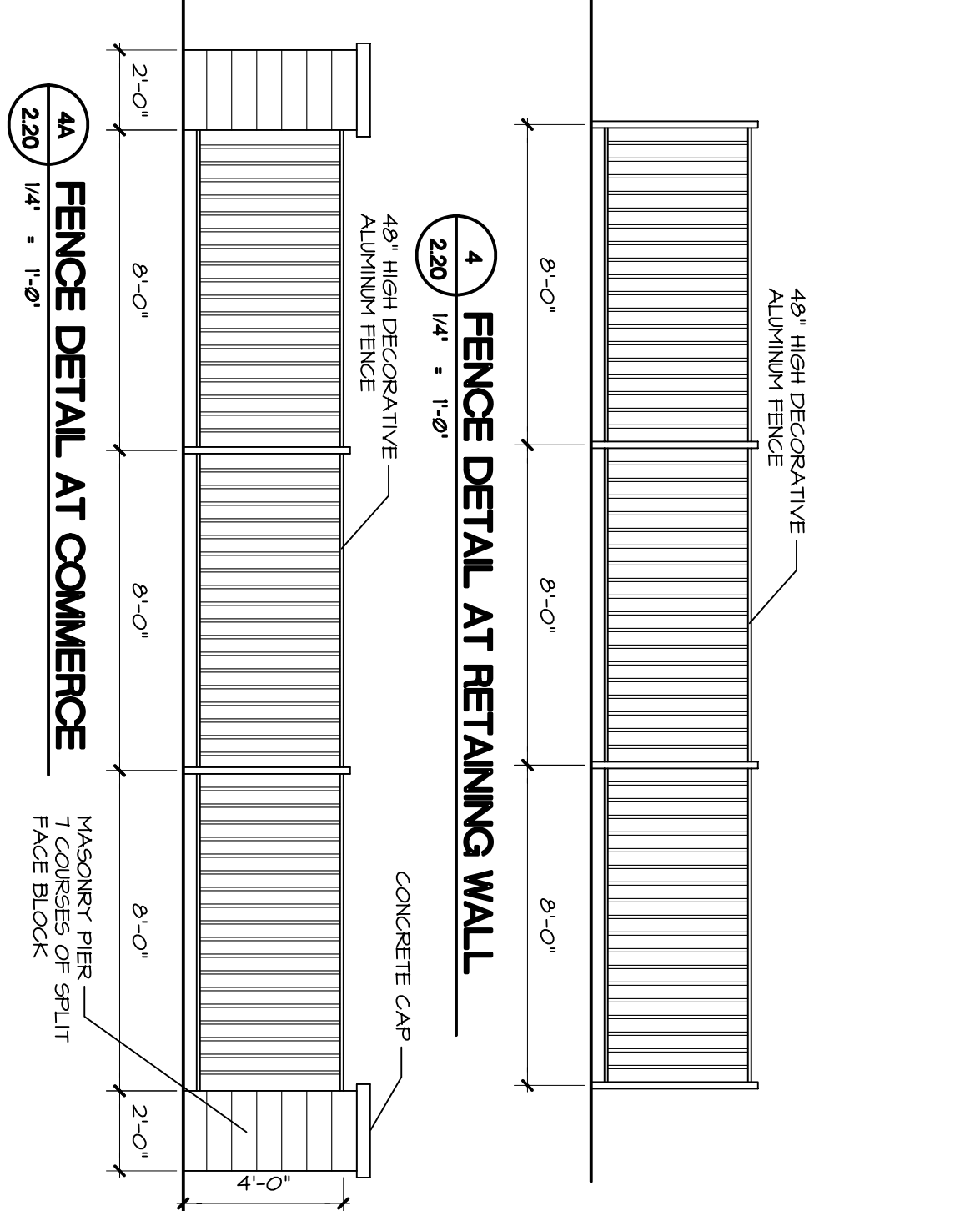
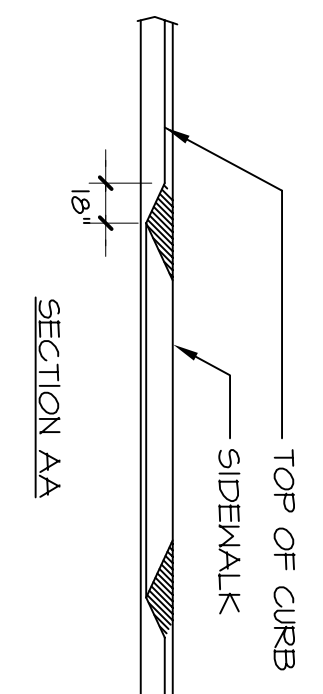
11 TRASH ENCLOSURE PLAN  
SCALE: 1/4"=1'-0"



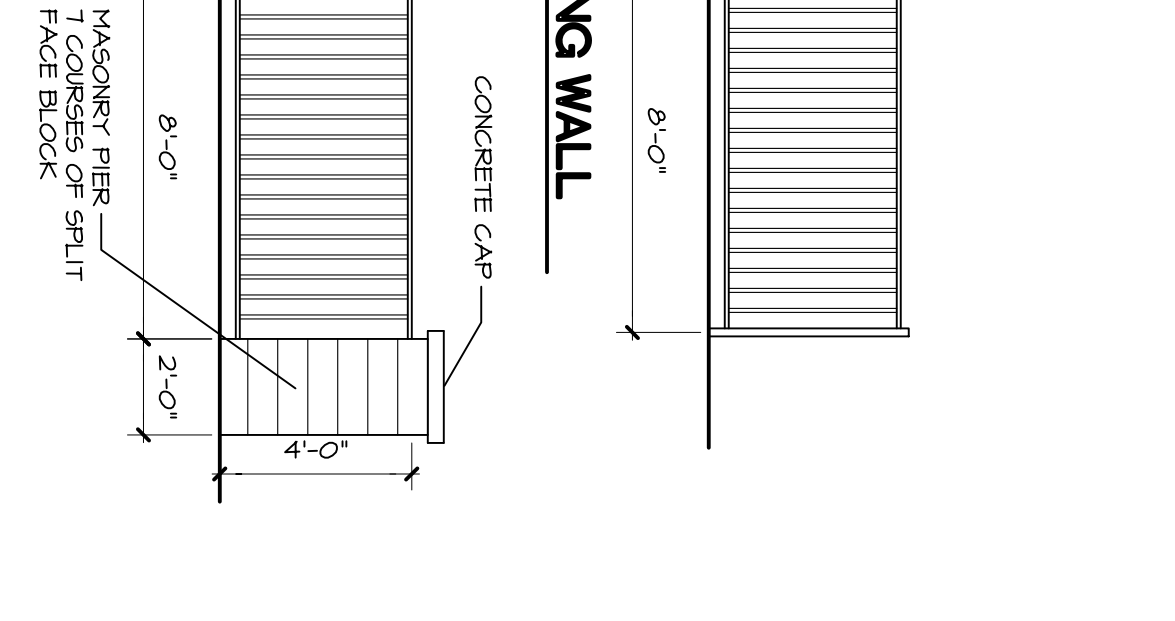
2 TRASH ENCLOSURE - SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



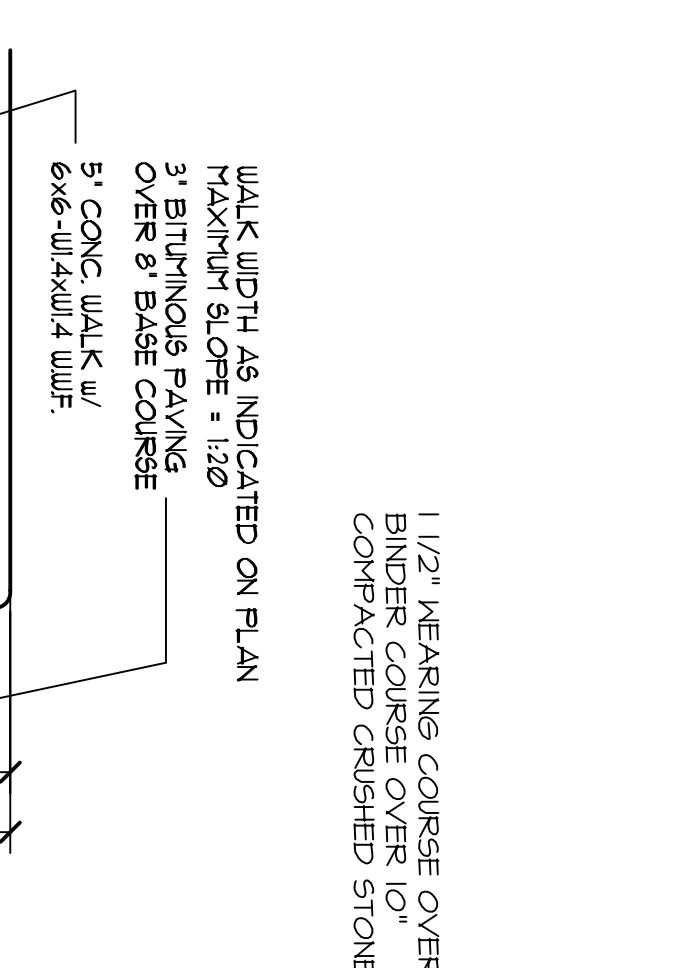
3 TRASH ENCLOSURE - EAST/WEST ELEVATION  
SCALE: 1/4"=1'-0"



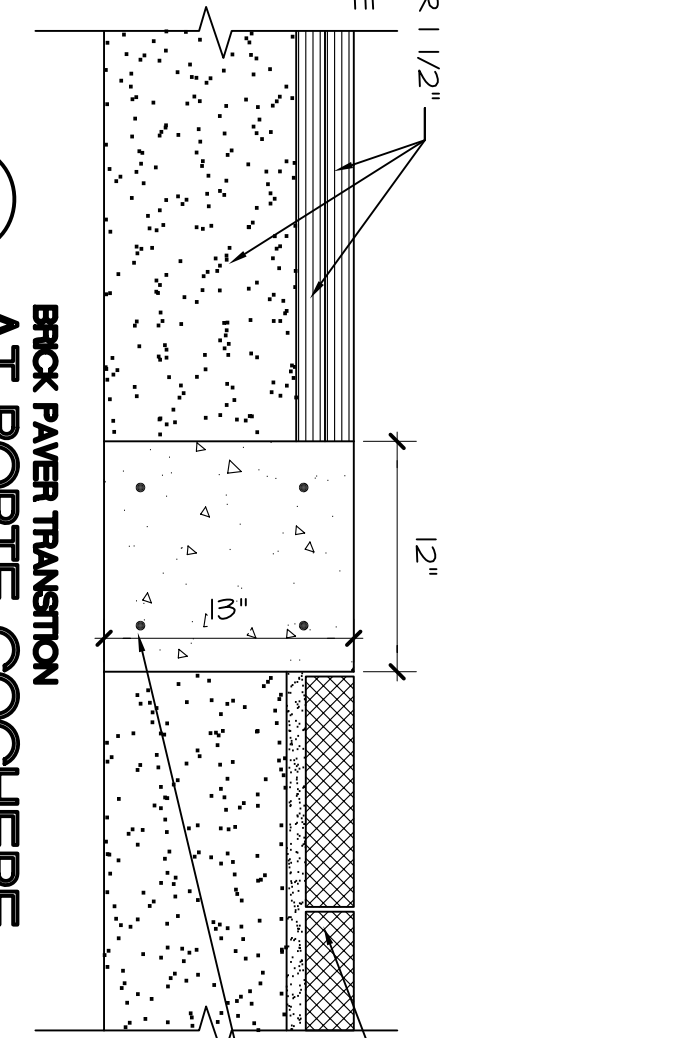
4 FENCE DETAIL AT RETAINING WALL  
SCALE: 1/4"=1'-0"



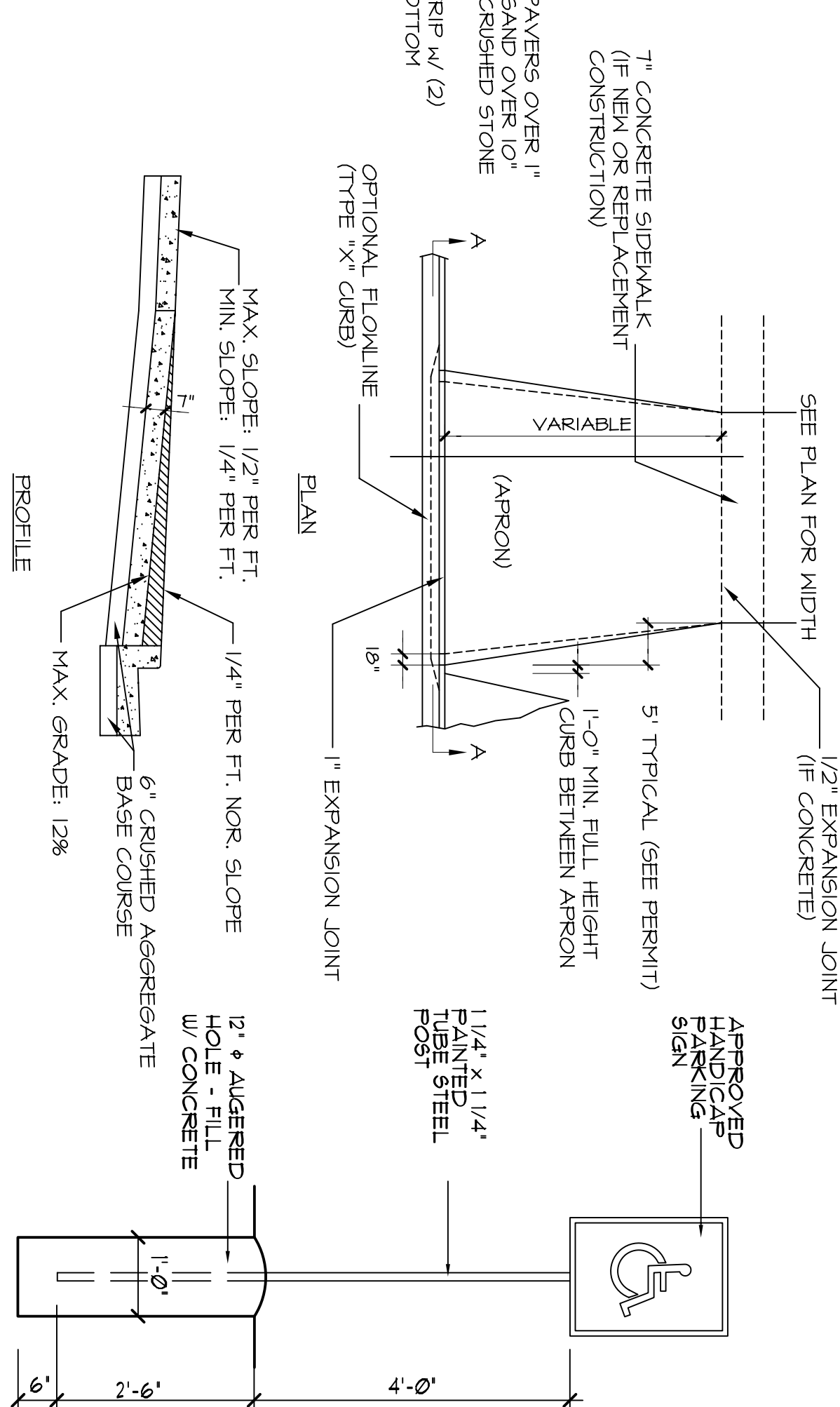
14 FENCE DETAIL AT COMMERCE  
SCALE: 1/4"=1'-0"



5 THICKENED EDGE - WALK  
NO SCALE

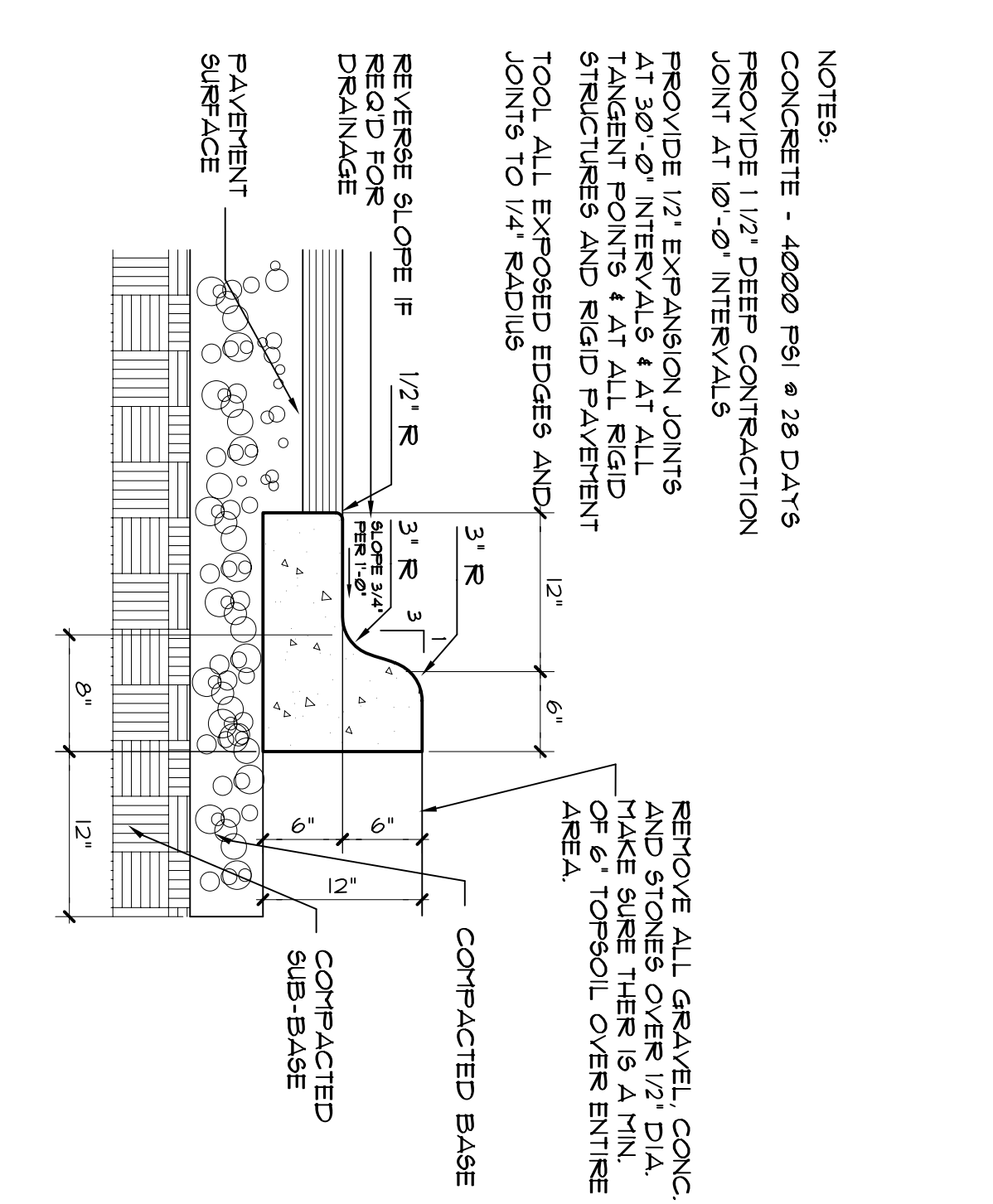


5A BRICK PAVER TRANSITION AT PORTE COCHERE  
SCALE: 1'-1'-0"

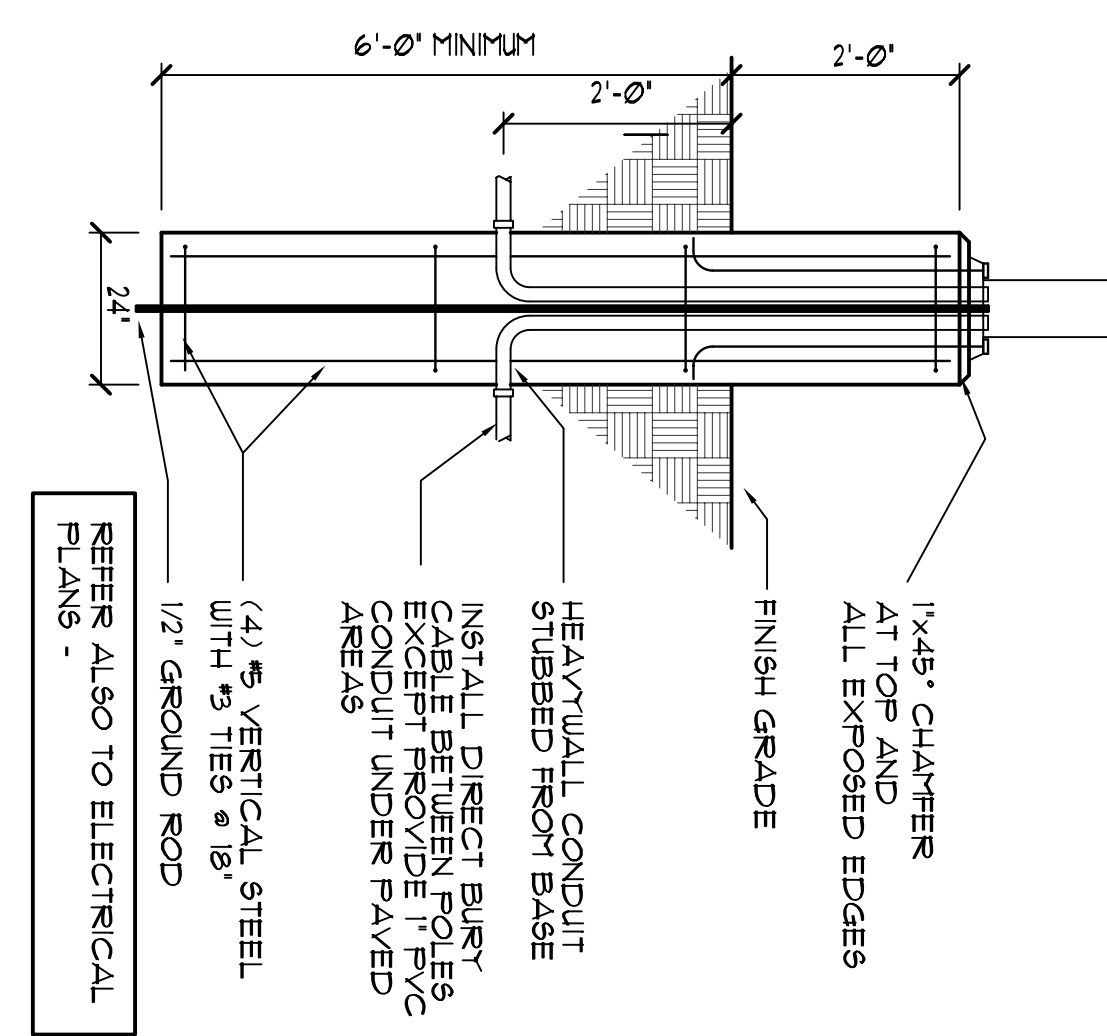


6 COMMERCIAL DRIVEWAY DETAILS  
NO SCALE

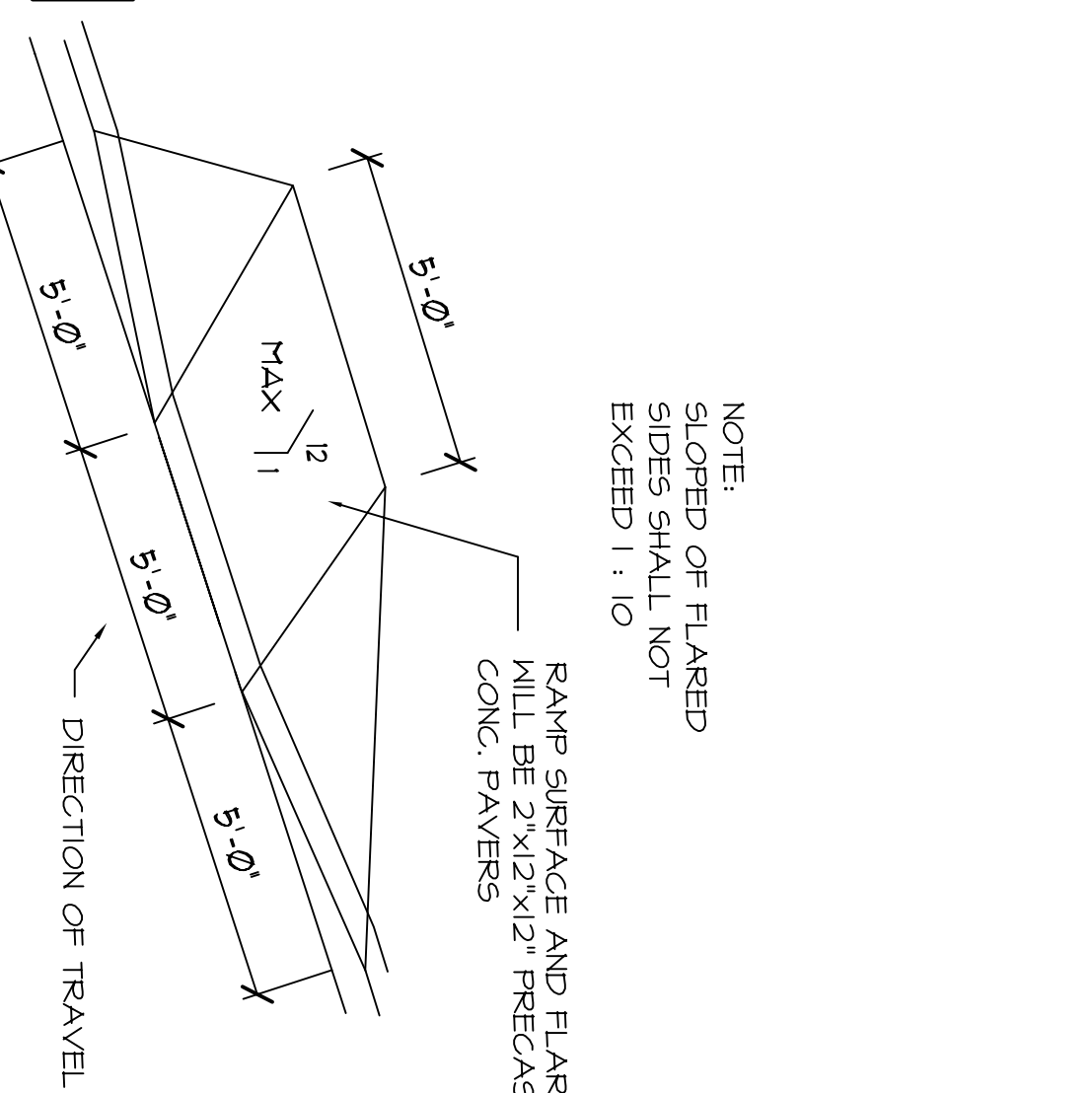
7 TYP. HANDICAP SIGN  
NO SCALE



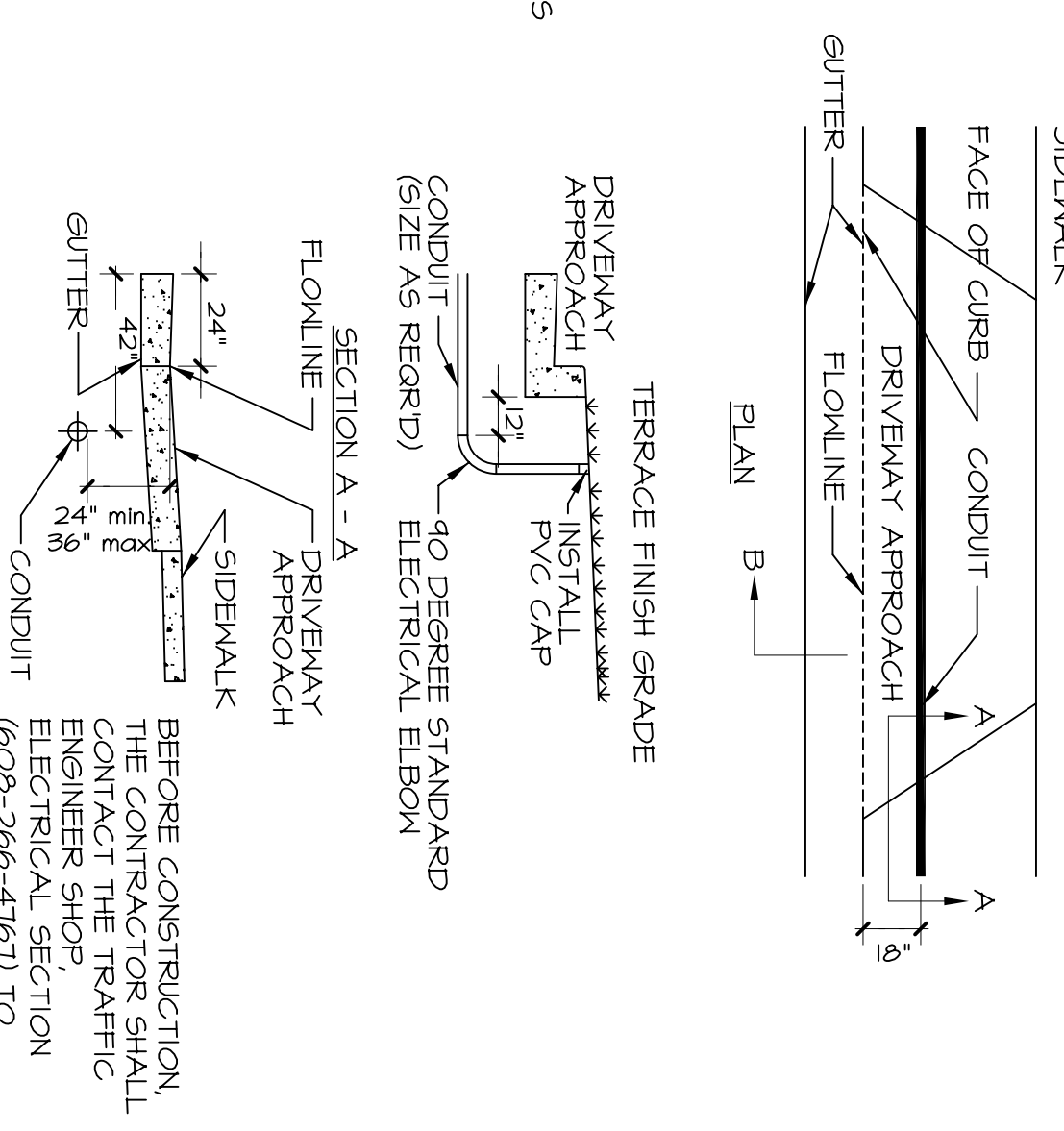
8 TYPICAL CURB DETAIL  
NO SCALE



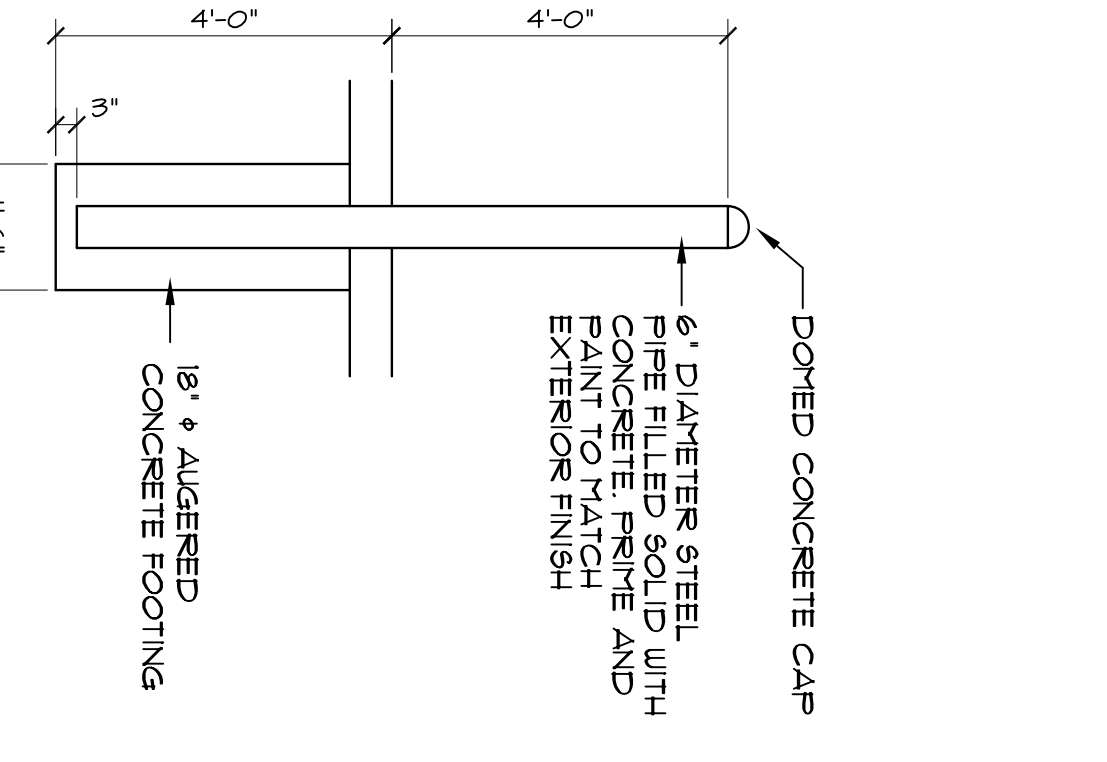
9 LIGHT POLE BASE DETAIL  
NO SCALE



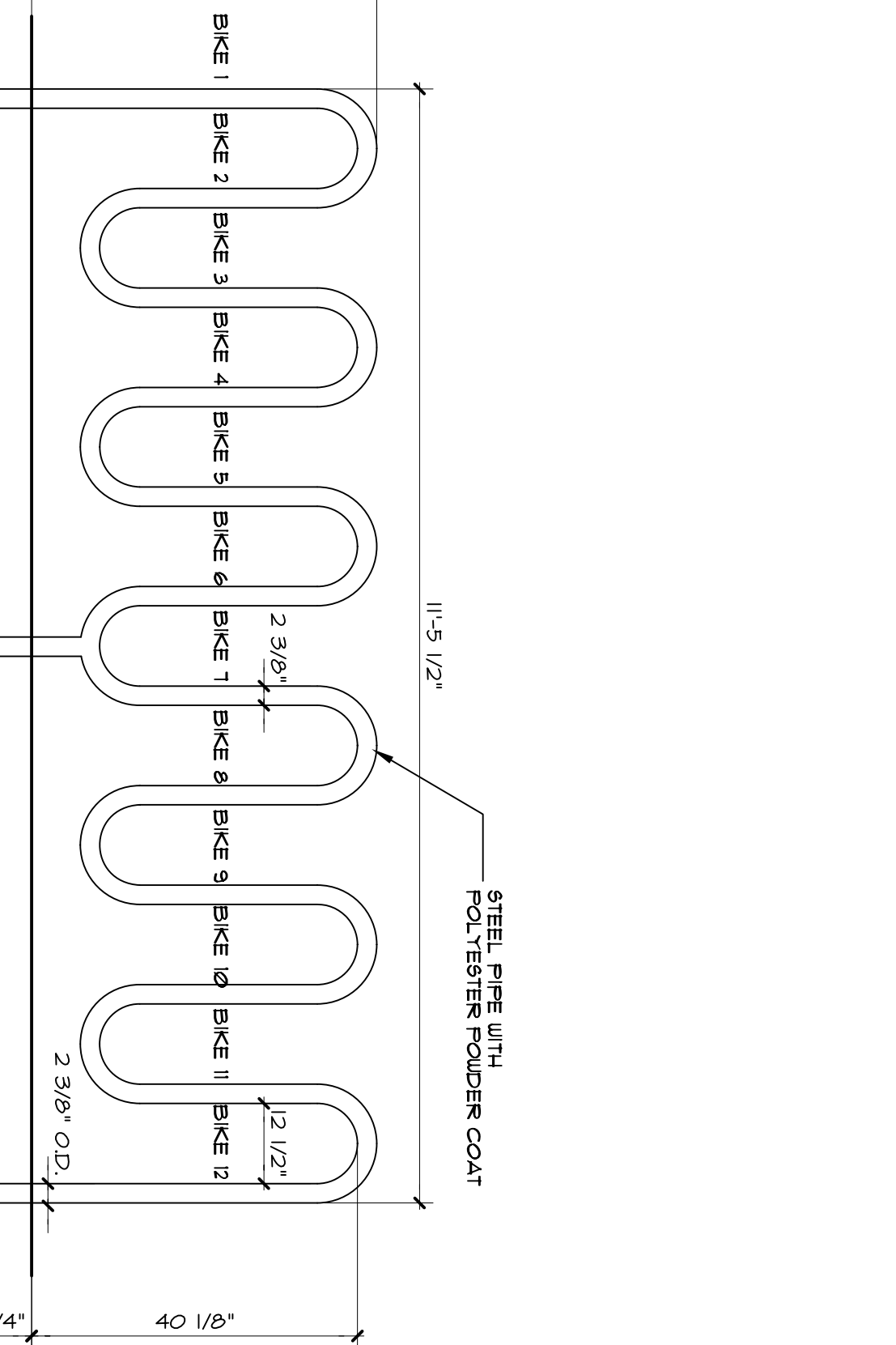
10 H/C RAMP DETAIL  
NO SCALE



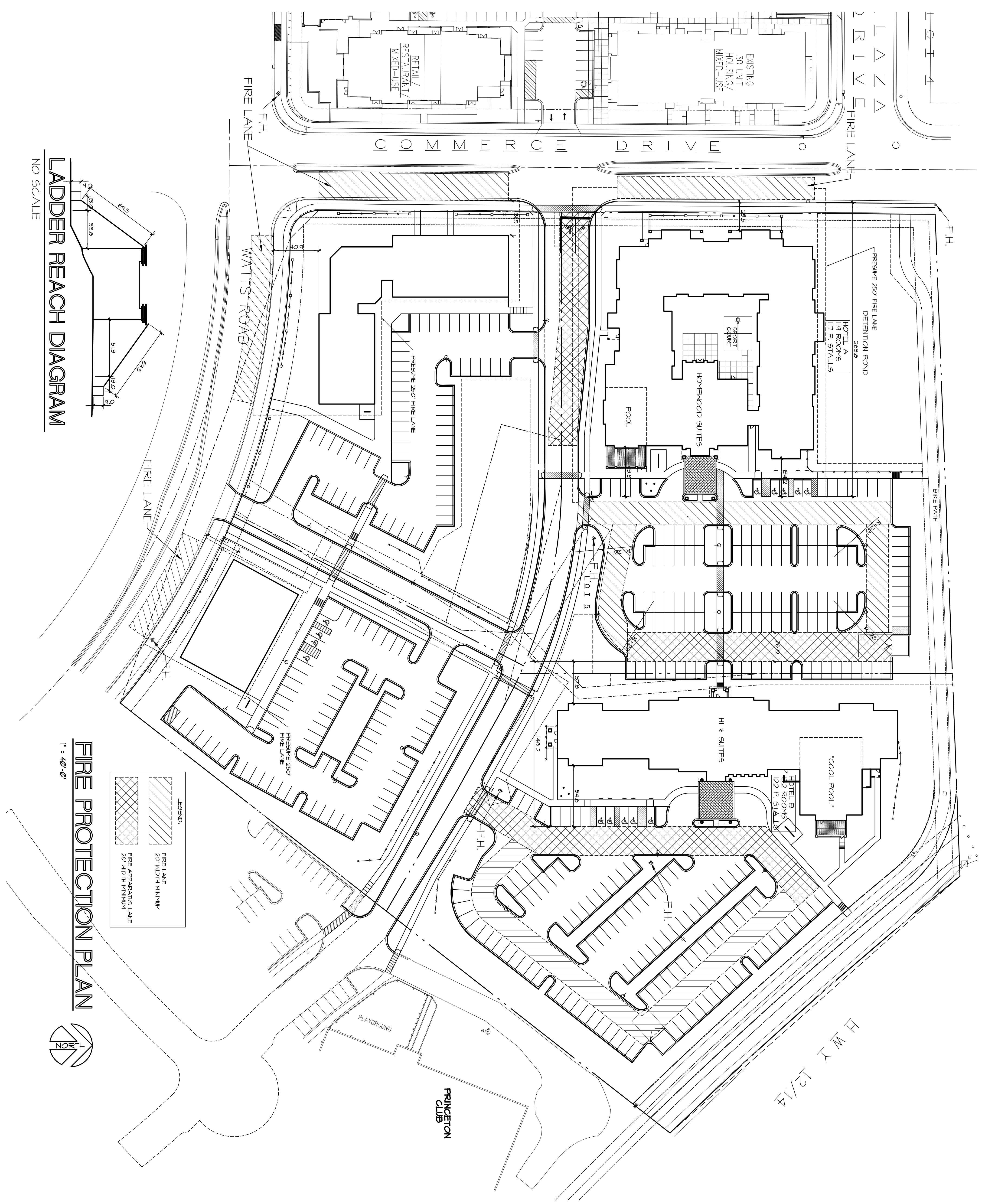
11 CONDUIT PLACEMENT DETAILS  
NO SCALE



12 TYPICAL BOLLARD  
NO SCALE



13 BICYCLE PARKING LOOP DETAIL  
NO SCALE



LEGEND:

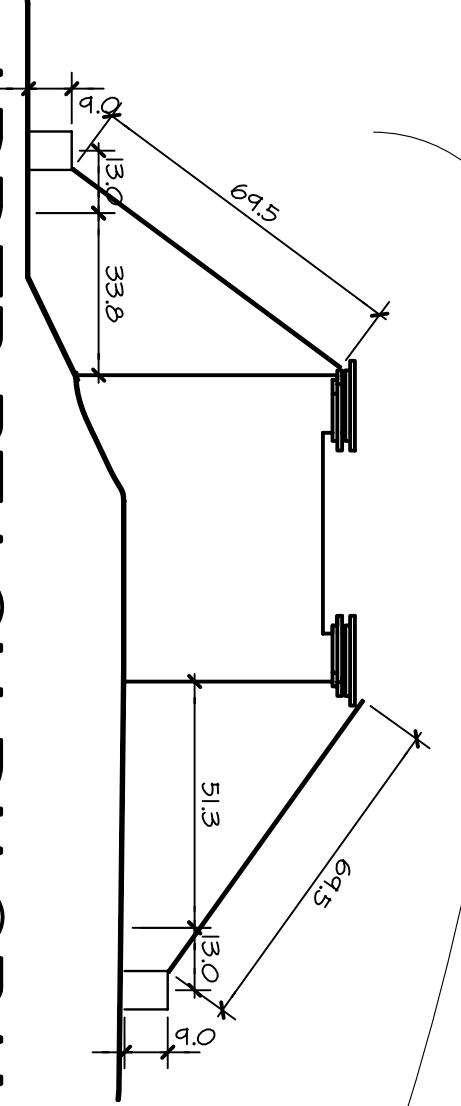
	FIRE LANE 20' WIDTH MINIMUM
	FIRE APPARATUS LANE 26' WIDTH MINIMUM

**FIRE PROTECTION PLAN**

1" = 40'-0"

**LADDER REACH DIAGRAM**

NO SCALE



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**PROJECT:**  
**GANSER HEIGHTS GENERAL DEVELOPMENT PLAN**  
8102 WATTS ROAD MADISON, WISCONSIN

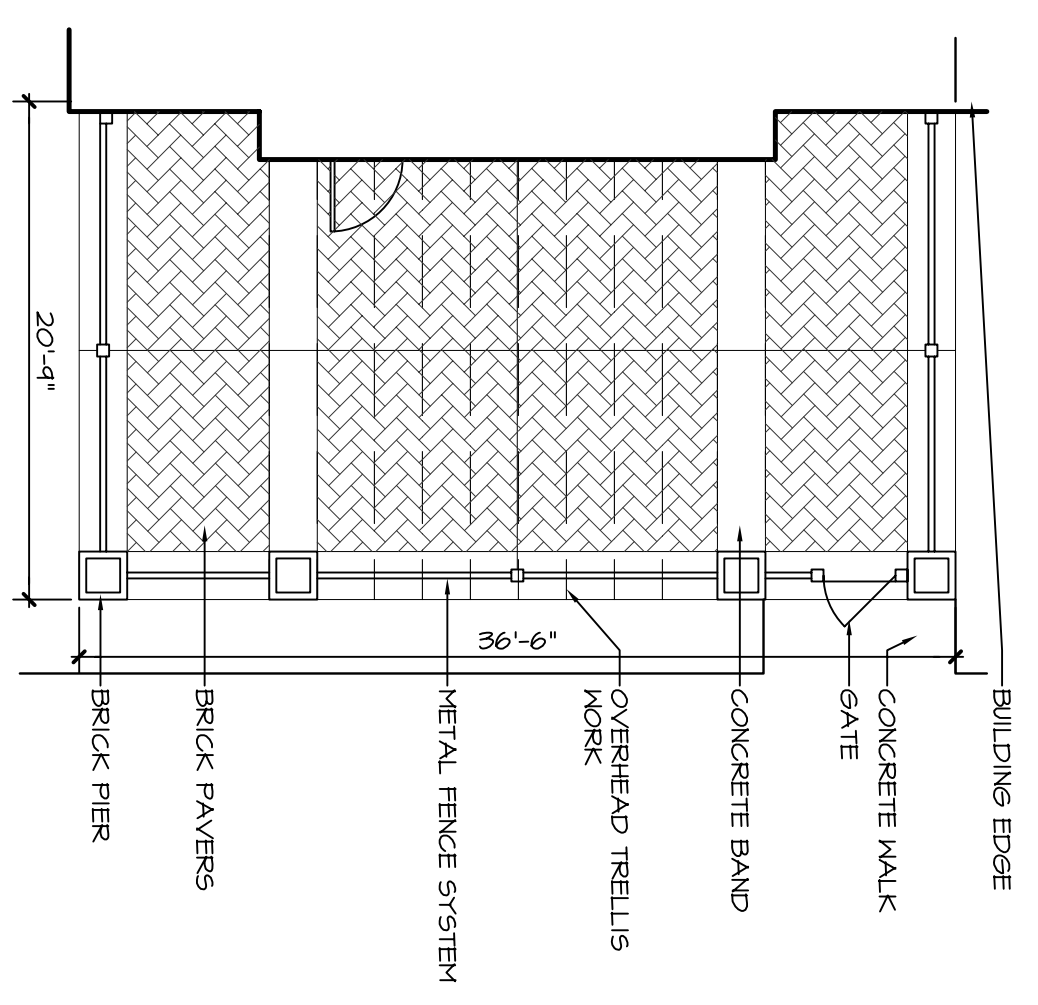
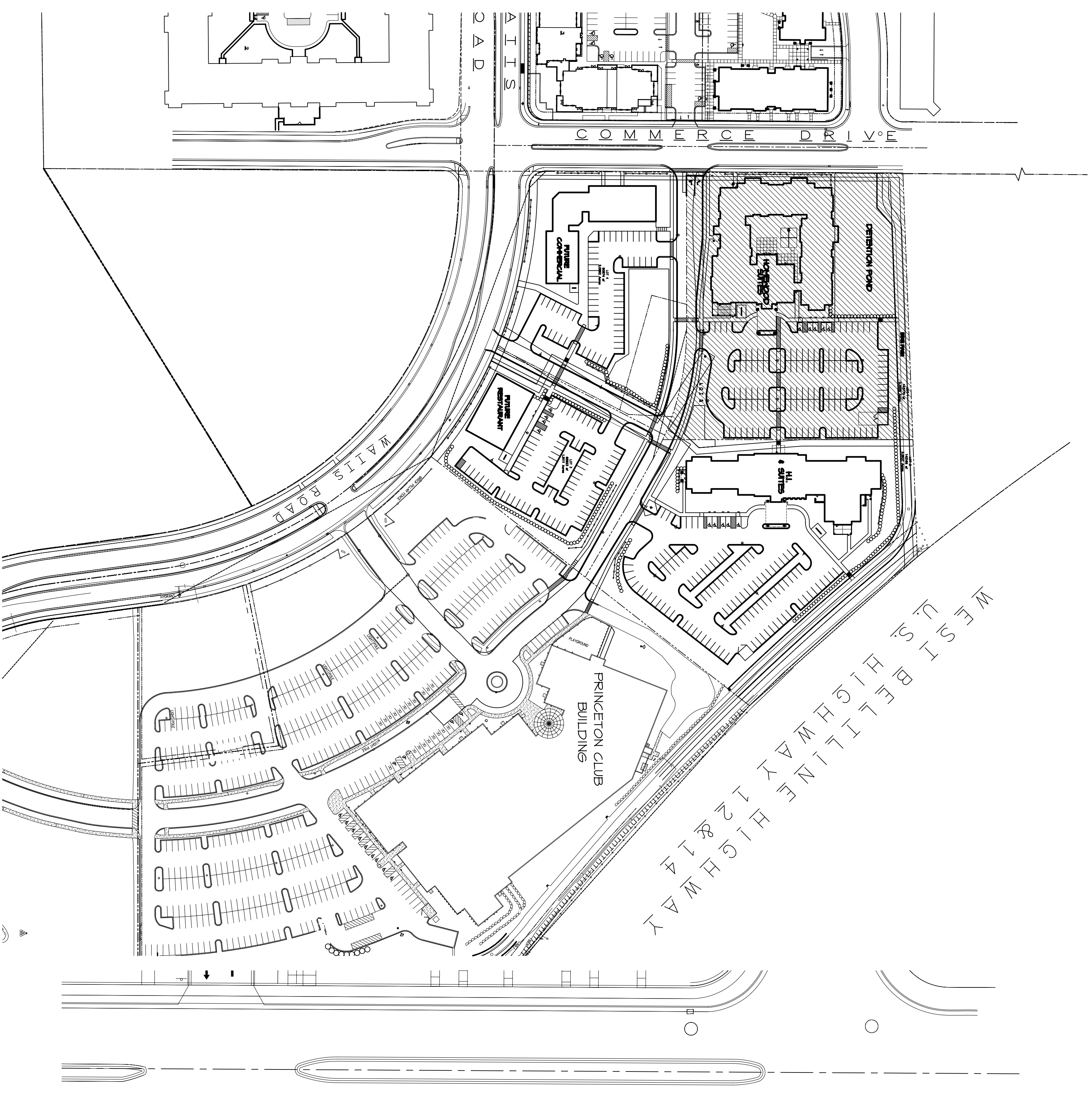
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7700 MINERAL POINT ROAD, SUITE 100 MADISON, WISCONSIN 53717

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**CAD FILE:** 202-200509  
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**DATE:** 12/22/06

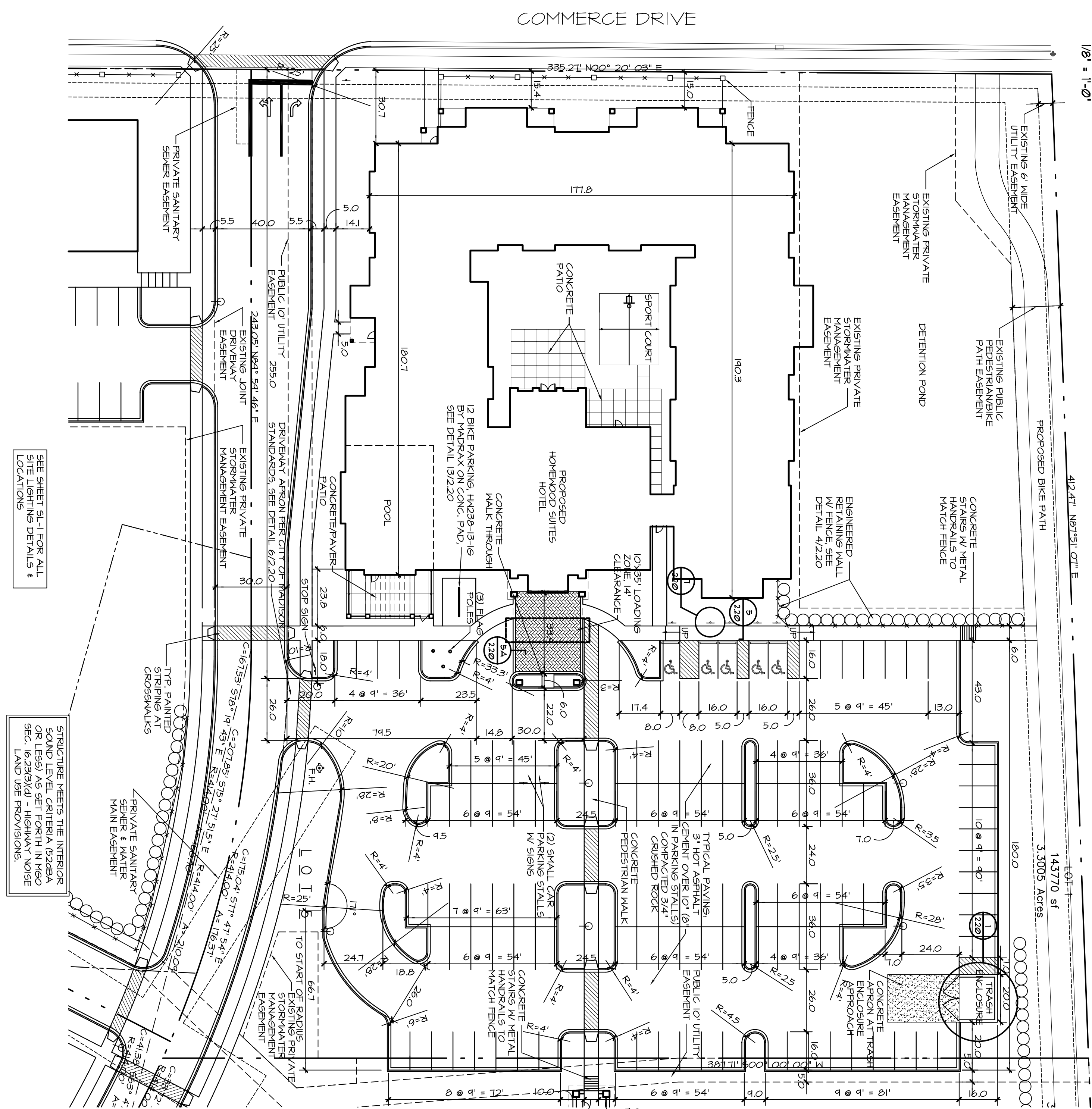
# LOCATION PLAN

1" = 100'-0"



# OUTDOOR POOL PATIO

1/8" = 1'-0"



# SITE PLAN

1" = 30'-0"

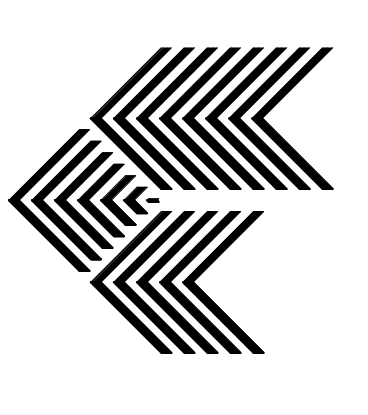
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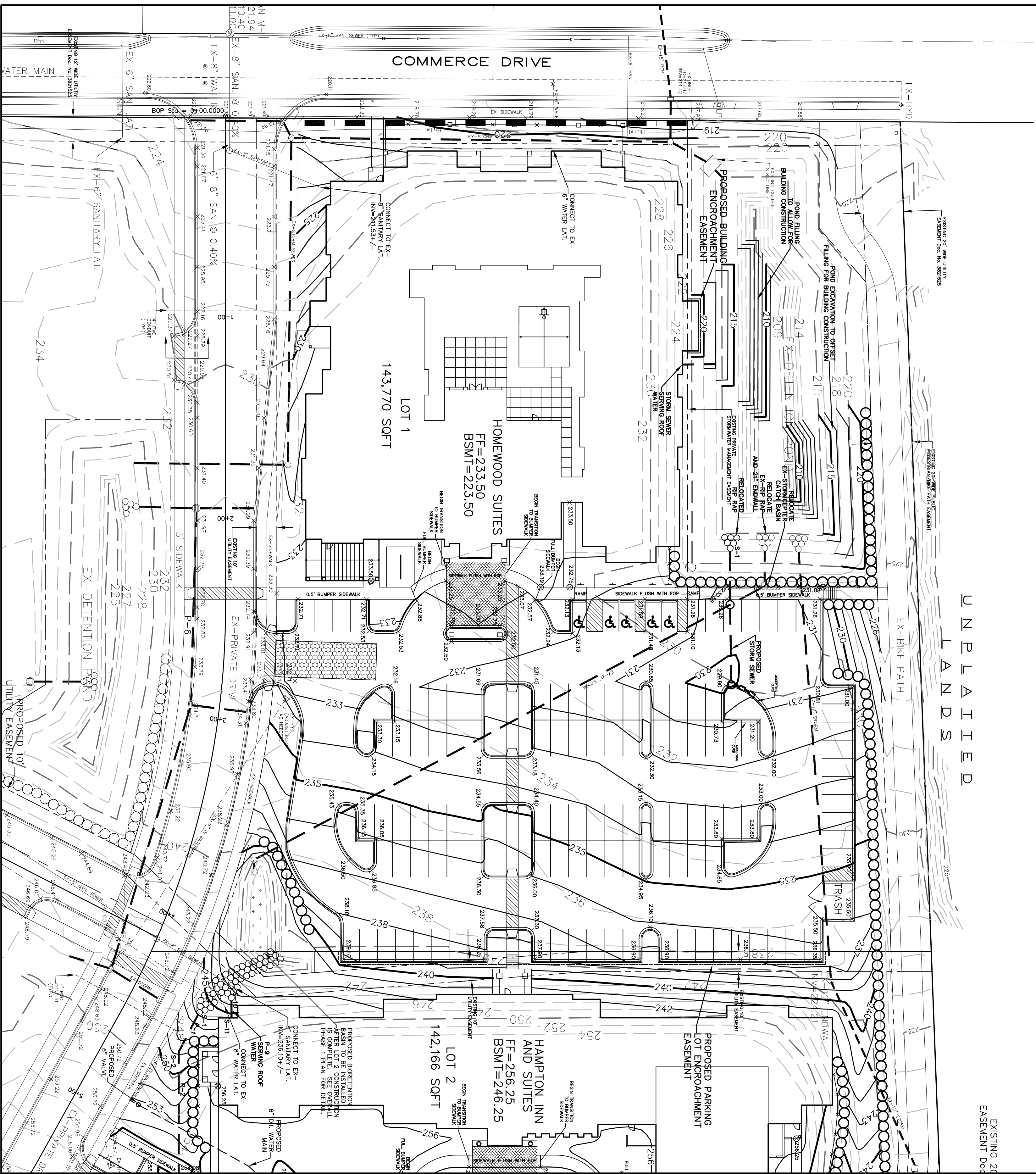
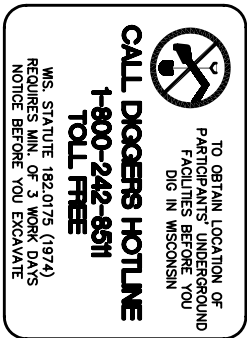
**PROJECT:**  
**HOMWOOD SUITES**  
 479 COMMERCE DRIVE MADISON, WISCONSIN 53719

**CLIENT:**  
**RAYMOND MANAGEMENT COMPANY**  
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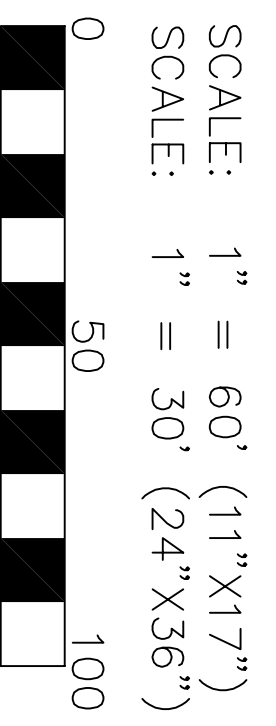
8401 EXCELSIOR DRIVE  
 MADISON, WI 53717  
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UNPLANNED LANDS

EXISTING 20' EASEMENT DOG



- LEGEND:**
- = STORM SEWER
  - = SILT FENCE
  - = STONE CONSTRUCTION ENTRANCE
  - = PROPOSED SIDEWALK/GROUND GRADE
  - = PROPOSED PAVEMENT GRADE
  - = EXISTING SPOT GRADE

**GENERAL NOTES:**

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS. SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE CITY.

CONTRACTOR SHALL INSPECT AND REPAIR EROSION CONTROL MEASURES WEEKLY AND AFTER EVERY RAINFALL EVENT EXCEEDING 0.5" DURING CONSTRUCTION.

INLET SEDIMENTATION FILTERS SHALL BE INSTALLED AT ALL INLET LOCATIONS, AND ADJACENT DOWNSTREAM INLETS.

ALL WORK WITHIN CITY RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT AS NECESSARY PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUMBING PERMITS PRIOR TO CONSTRUCTION.

ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

CONTRACTOR SHALL VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

PRIVATE STORM SEWER SHALL BE ADS N-12.

PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151-CLASS 52).

PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-59/53).

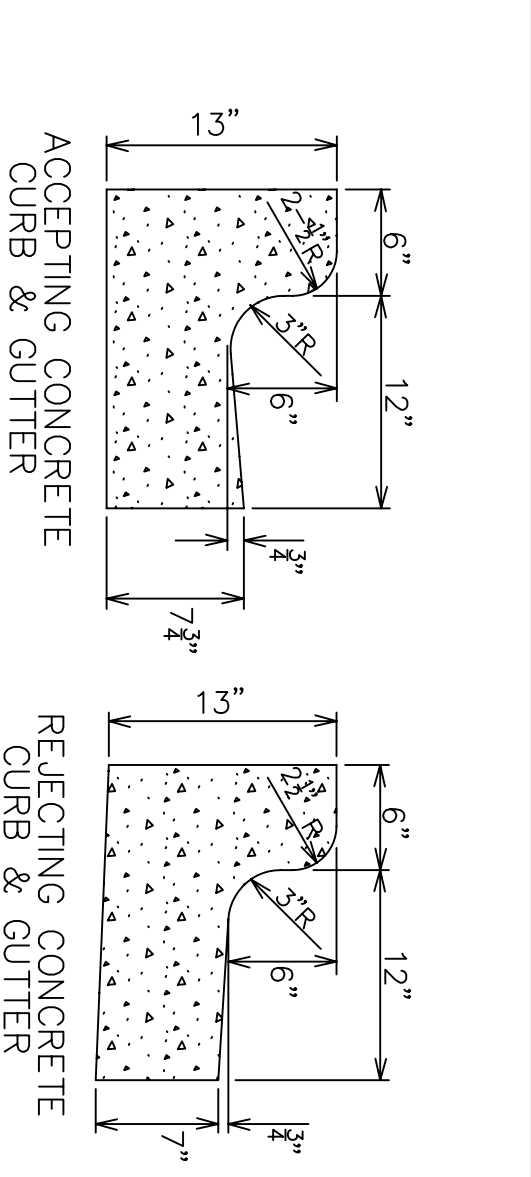
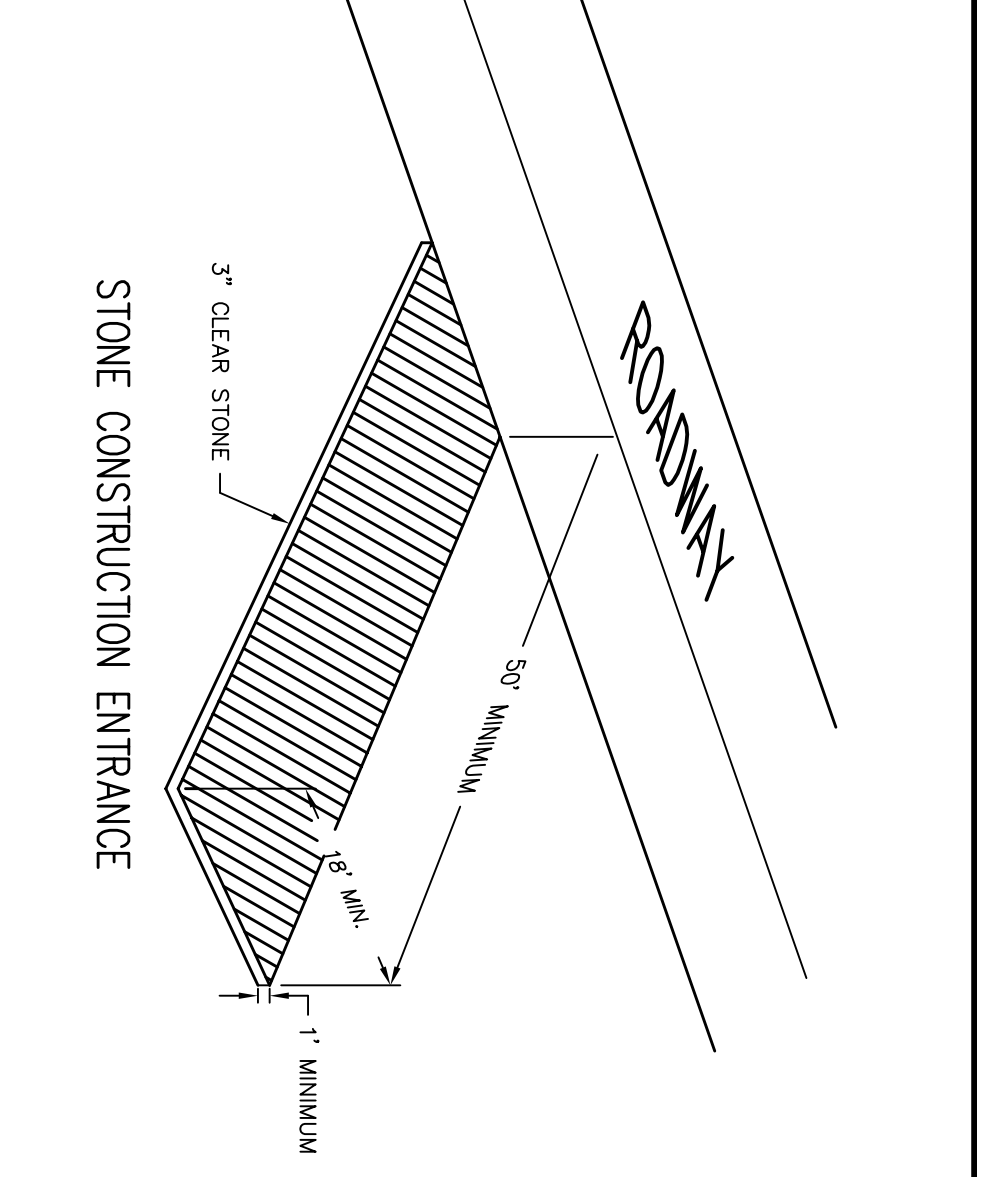
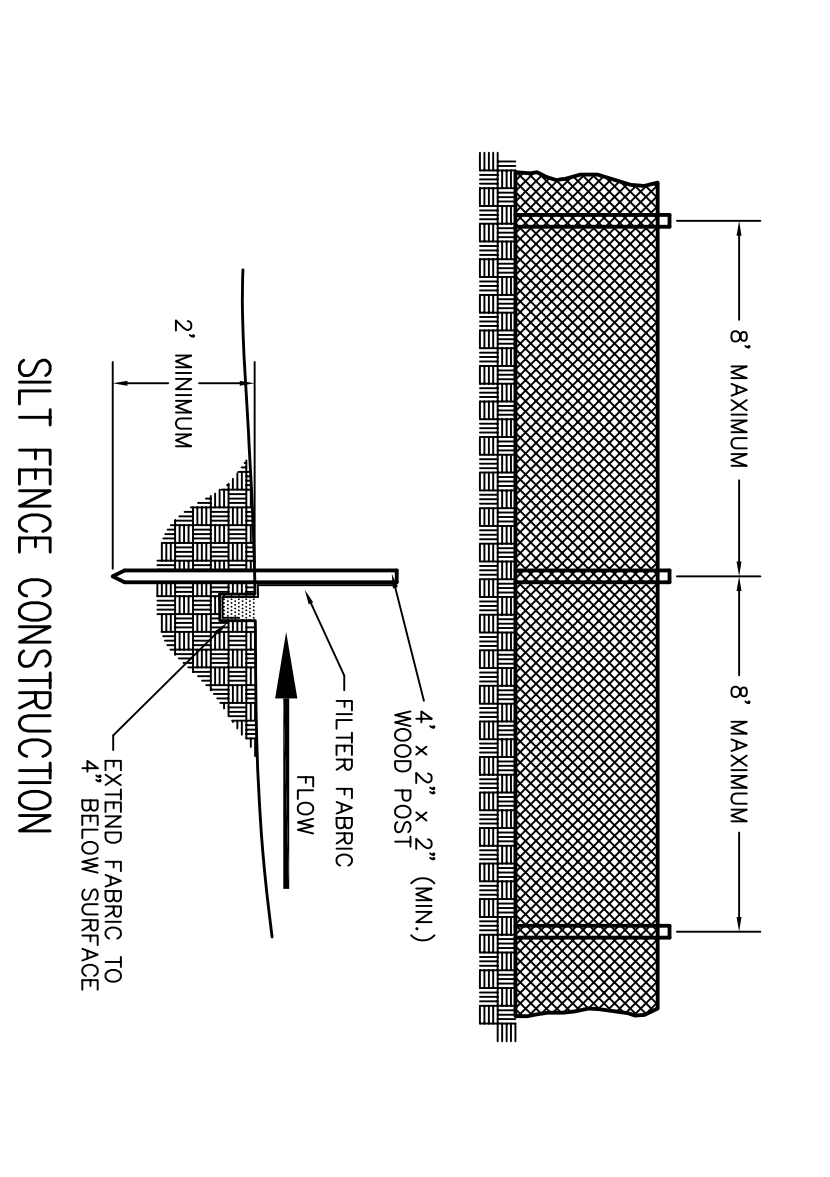
PUBLIC SIDEWALK AT DRIVEWAY LOCATIONS SHALL BE 7" THICK. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SOUP PUMP SHALL BE PLACED ON A SCHEDULED END OF THE PIPE TO CONTROL SEDIMENT LOSS. DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEMAND NECESSARY BY THE CITY ENGINEER.

EXISTING CONTOURS, SPOT GRADES, AND UTILITIES INDICATED ARE PER PHASE 1 CONSTRUCTION PLANS AND HAVE NOT BEEN FIELD VERIFIED.

GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH WITHIN 7 DAYS OF COMPLETION OF GRADING. SEED SHALL BE MATRIE 40 IN ACCORDANCE WITH SECTION 630 OF DOT SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF 3 POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE RECOMMENDATIONS WITHIN THE PRODUCT LABEL. LESS THAN 10% OF FERTILIZER SHALL BE APPLIED AT A RATE OF 7 POUNDS PER 1,000 SQUARE FEET. MULCHING SHALL CONSIST OF STRAW AT A RATE OF 1.5 TONS PER ACRE.

ALL CURB AND GUTTER SHALL BE REJECTING UNLESS OTHERWISE NOTED.



**GENERAL NOTES:**

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT RADIUS POINTS ON RECTILINEAR PORTIONS OF CURVES HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

**CURB AND GUTTER**

EA	X	Y	Z	DEPTH
15	30	60	60	2.54
16	36	60	60	2.28
17	42	60	60	2.02
18	48	60	60	1.76
19	54	60	60	1.50
20	60	60	60	1.24
21	66	60	60	0.98
22	72	60	60	0.72
23	78	60	60	0.46
24	84	60	60	0.20
25	90	60	60	0.00
26	96	60	60	0.00
27	102	60	60	0.00
28	108	60	60	0.00
29	114	60	60	0.00
30	120	60	60	0.00
31	126	60	60	0.00
32	132	60	60	0.00
33	138	60	60	0.00
34	144	60	60	0.00
35	150	60	60	0.00
36	156	60	60	0.00
37	162	60	60	0.00
38	168	60	60	0.00
39	174	60	60	0.00
40	180	60	60	0.00
41	186	60	60	0.00
42	192	60	60	0.00
43	198	60	60	0.00
44	204	60	60	0.00
45	210	60	60	0.00
46	216	60	60	0.00
47	222	60	60	0.00
48	228	60	60	0.00
49	234	60	60	0.00
50	240	60	60	0.00
51	246	60	60	0.00
52	252	60	60	0.00
53	258	60	60	0.00
54	264	60	60	0.00
55	270	60	60	0.00
56	276	60	60	0.00
57	282	60	60	0.00
58	288	60	60	0.00
59	294	60	60	0.00
60	300	60	60	0.00
61	306	60	60	0.00
62	312	60	60	0.00
63	318	60	60	0.00
64	324	60	60	0.00
65	330	60	60	0.00
66	336	60	60	0.00
67	342	60	60	0.00
68	348	60	60	0.00
69	354	60	60	0.00
70	360	60	60	0.00
71	366	60	60	0.00
72	372	60	60	0.00
73	378	60	60	0.00
74	384	60	60	0.00
75	390	60	60	0.00
76	396	60	60	0.00
77	402	60	60	0.00
78	408	60	60	0.00
79	414	60	60	0.00
80	420	60	60	0.00
81	426	60	60	0.00
82	432	60	60	0.00
83	438	60	60	0.00
84	444	60	60	0.00
85	450	60	60	0.00
86	456	60	60	0.00
87	462	60	60	0.00
88	468	60	60	0.00
89	474	60	60	0.00
90	480	60	60	0.00
91	486	60	60	0.00
92	492	60	60	0.00
93	498	60	60	0.00
94	504	60	60	0.00
95	510	60	60	0.00
96	516	60	60	0.00
97	522	60	60	0.00
98	528	60	60	0.00
99	534	60	60	0.00
100	540	60	60	0.00

NOTES:  
 1) PILES 30' AND GREATER SHALL HAVE 200' MIN. TYPE 1000 PER FOOT  
 2) PILES 20' OR GREATER SHALL HAVE 50' X 4' OF THE  
 3) PILES 10' OR GREATER SHALL HAVE 25' X 4' OF THE  
 4) ALL PILES SHALL BE PLACED ON A 4" MINIMUM SPREAD. TOLERANCE SHALL BE  
 5) PILES SHALL BE PLACED WITHIN THE SPECIFIED DIMENSIONS OF THE SPREAD.  
 6) THE SPREAD DIMENSIONS OF ALL PILES SHALL BE  
 7) THE SPREAD DIMENSIONS OF ALL PILES SHALL BE

PROJECT:

# HOMewood SUITES

479 COMMERCE DRIVE  
MADISON, WISCONSIN 53719

OWNER/DEVELOPER:

## RAYMOND MANAGEMENT COMPANY

c/o

770 MINERAL POINT ROAD, SUITE 100  
MADISON, WISCONSIN 53717

PHONE: 608-833-4100  
FAX: 608-833-1616  
PRINCIPLE CONTACT: BARRY PERKEL

ARCHITECT:

**GARY BRINK & ASSOCIATES, INC.**  
8401 EXCELSIOR DRIVE  
MADISON, WISCONSIN 53717  
PHONE: 608-829-1750  
FAX: 608-829-3056  
PRINCIPLE CONTACT: GARY BRINK

LANDSCAPE DESIGNER:

**KEN SAIKI DESIGN, INC.**  
303 SOUTH PATERSON, SUITE 1  
MADISON, WISCONSIN 53703  
PHONE: 608-251-3600  
FAX: 608-251-2330  
PRINCIPLE CONTACT: KEN SAIKI

CIVIL ENGINEER:

**CALKINS ENGINEERING**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
PHONE: 608-838-0444  
FAX: 608-838-0445  
PRINCIPLE CONTACT: JASON SANGER

**LEGAL DESCRIPTION:**  
LOT 1, CERTIFIED SURVEY MAP NO. 11993, AS RECORDED IN VOLUME 79 OF CERTIFIED SURVEY MAPS, DN PAGES 352-358, AS DOCUMENT NUMBER 4257029, DANE COUNTY REGISTRY, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**PARKING DATA:**

**SURFACE PARKING:**  
REG. SURFACE PARKING STALLS 112  
HANDICAP PARKING STALLS PROVIDED: 117  
TOTAL 229

REGULAR PARKING STALLS REQUIRED: 114  
HANDICAP PARKING STALLS REQUIRED: 119  
TOTAL 233

BIKE STALLS PROVIDED: 12  
BIKE STALLS REQUIRED: 12

**DEVELOPMENT DATA:**

**LAND AREA:** 143,770 S.F.  
3.3005 ACRES

**BUILDING AREA:**  
LOWER FLOOR: 11,015 SF. (GROSS)  
FIRST FLOOR: 28,090 SF. (GROSS)  
SECOND FLOOR: 19,550 SF. (GROSS)  
THIRD FLOOR: 19,452 SF. (GROSS)  
FOURTH FLOOR: 19,452 SF. (GROSS)  
TOTAL BUILDING AREA: 97,559 SF. (GROSS)

**NUMBER OF GUESTROOMS:** 112  
Z (H.C.) 119

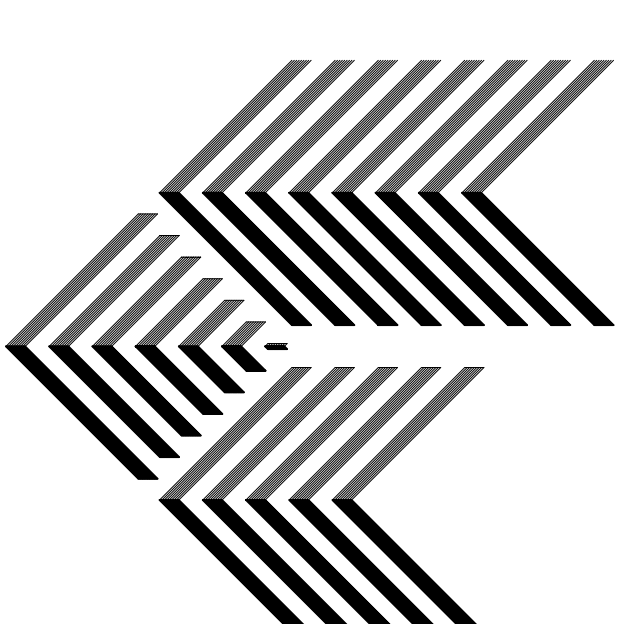
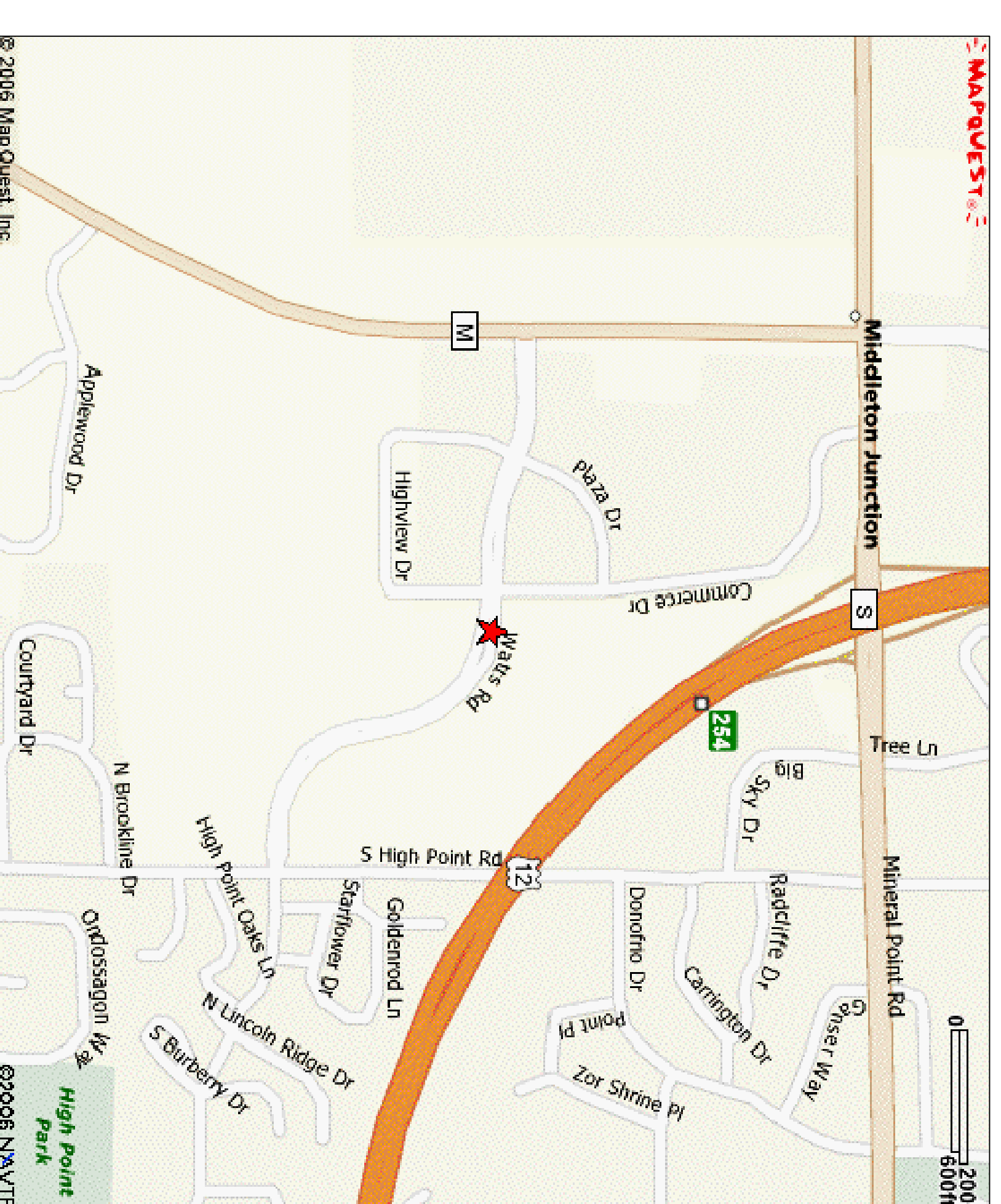
**BUILDING HEIGHT - 4 STORIES/5 STORIES BACK**  
FIN. 1ST FLOOR TO MAIN PARAPET 53' -5"

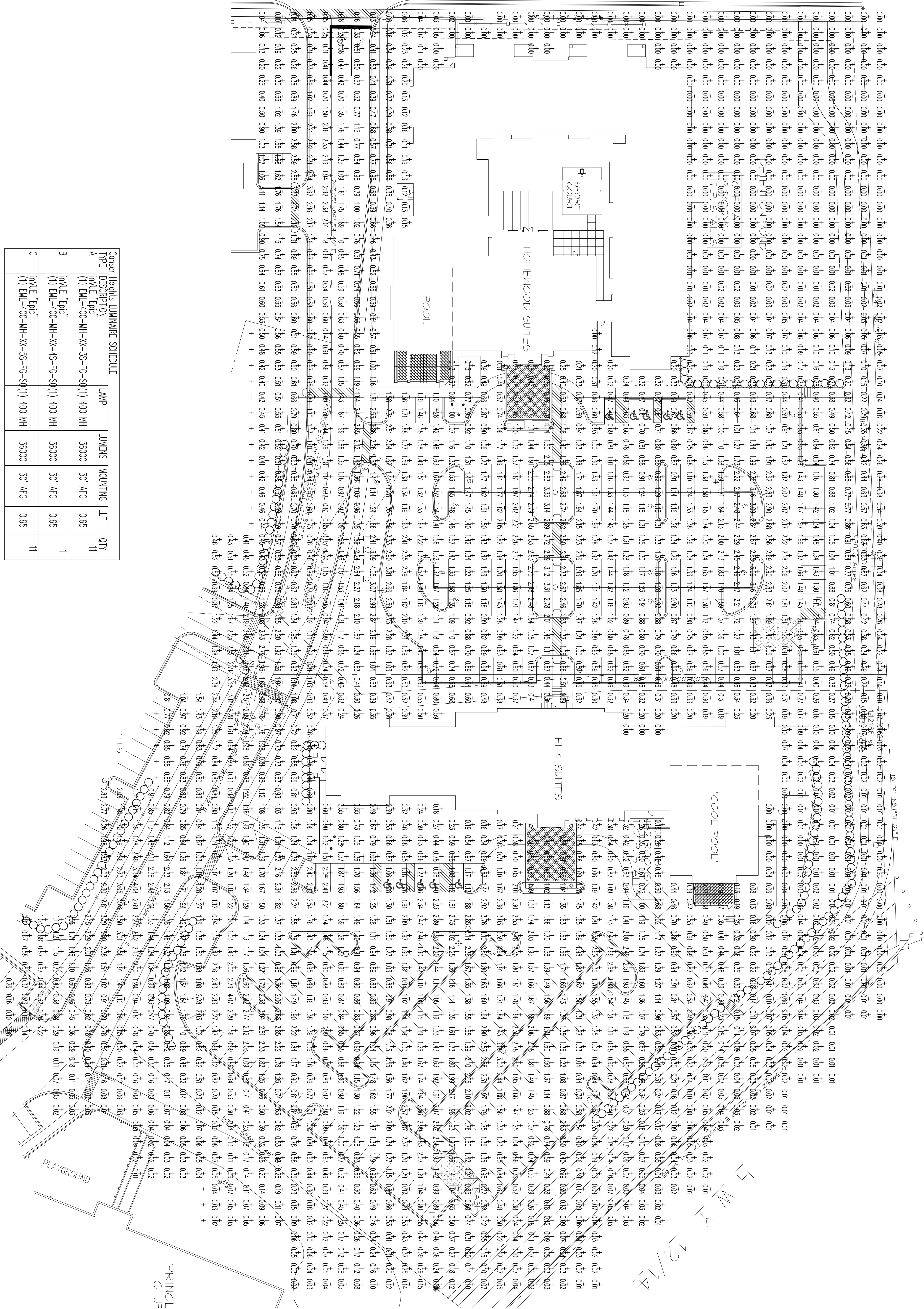
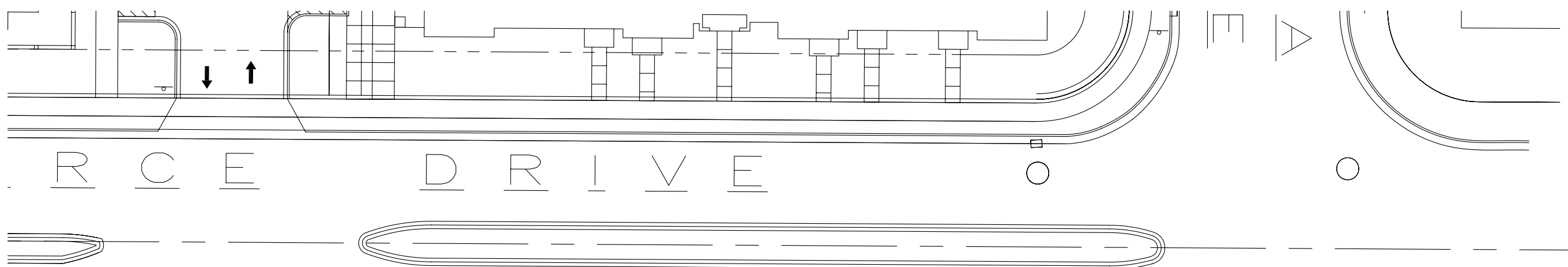
**ZONING DISTRICT:** GDP/S1P  
**FLOOR AREA RATIO:** 1.47

## SHEET INDEX:

TITLE SHEET	
(2 PGS) CERTIFIED SURVEY MAPS	
C-10 GRADING/EROSION CONTROL & UTILITY PLAN	
L-1 LANDSCAPE PLAN	
L-2 LANDSCAPE PLANTING SCHEDULE	
SL-1 PHOTO METRIC SITE LIGHTING PLAN	
201 SITE PLAN	
202 FIRE PROTECTION PLAN	
220 SITE DETAILS	
400 LOWER LEVEL FLOOR PLAN	
401 FIRST FLOOR PLAN	
402 SECOND FLOOR PLAN	
403 THIRD FLOOR PLAN	
404 FOURTH FLOOR PLAN & ROOF PLAN	
601 EXTERIOR BUILDING ELEVATIONS	
602 EXTERIOR BUILDING ELEVATIONS	
603 EXTERIOR BUILDING ELEVATIONS	
604 EXTERIOR BUILDING ELEVATIONS	

## SITE LOCATION MAP:





Ganser Heights LUMINAIRE SCHEDULE				
TYPE	DESCRIPTION	LAMP	LUMENS	MOUNTING LIFE
A	nVUE <sup>™</sup> Epic (1) EML-400-MH-XX-3S-FG-S0(1) 400 MH	36000	30' AFG	0.65
B	nVUE <sup>™</sup> Epic (1) EML-400-MH-XX-4S-FG-S0(1) 400 MH	36000	30' AFG	0.65
C	nVUE <sup>™</sup> Epic (1) EML-400-MH-XX-5S-FG-S0(1) 400 MH	36000	30' AFG	0.65

**SITE LIGHTING PLAN**

1" = 30'-0"

SL-1

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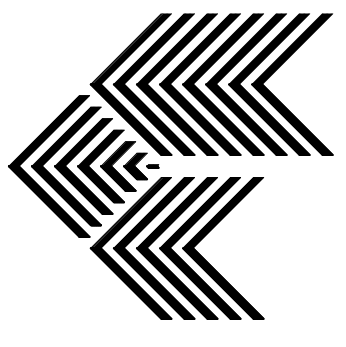
PROJECT: 200509  
CAD FILE: SL1-200509  
DRAWN BY:  
DATE: 12/22/06

**PROJECT:**  
**GANSER HEIGHTS GENERAL DEVELOPMENT PLAN**  
8102 WATTS ROAD MADISON, WISCONSIN

**CLIENT:**  
**RAYMOND MANAGEMENT COMPANY**  
7700 MINERAL POINT ROAD, SUITE 100 MADISON, WISCONSIN 53717

**GARY BRINK & ASSOCIATES**  
ARCHITECTS

8401 EXCELSIOR DRIVE  
MADISON, WI 53717  
608-829-1750  
608-829-3056 (FAX)





# LOT 1, CERTIFIED SURVEY MAP NO. 11993

## SIP ZONING TEXT

### PLANNED UNIT DEVELOPMENT DISTRICT

Address: 479 Commerce Drive

December 27, 2006

**Legal description:** Lot 1 Certified Survey Map No. 11993 as recorded in Volume 73 of Certified Survey Maps, on Pages 352-358, as document number 4257029, Dane County Registry, City of Madison, Dane County Wisconsin.

#### I. **Statement of Purpose**

This Planned Unit Development District is established to permit development of a Homewood Suites Hotel.

#### II. **Permitted Uses**

A. Hotel and related support services (i.e.: food service and meeting assembly spaces).

1. Accessory Uses:

- i. Common elements including stormwater management structures/features and such retaining walls as are needed to facilitate grading of the site.
- ii. Off-street parking as represented in the approved plans.
- iii. One 10' x 35' loading area with 14' vertical clearance shall be as shown on the approved plans. The loading area shall be exclusive of drive aisle and maneuvering space.

#### III. **Lot Area**

A. 143,770 square feet (3.3005 acres)

IV. **Floor Area Ratio:** Allowable floor area shall be 1.47

#### V. **Yard and Height Requirements**

A. Yard areas shall be as shown on the approved plans

B. Height restrictions shall be as shown on the approved plans.

VI. **Lighting**

A. Site lighting shall be provided consistent with the approved plans.

VII. **Signage**

A. Signage will be permitted per Chapter 31 of the Madison General Ordinances as it applies to the C3 District as approved by the Urban Design Commission or its Secretary. Off-site signage within the development shall be permitted on adjoining Lot 4.

VIII. **Landscaping**

A. Landscaping shall be consistent with the approved plans.

IX. **Alterations and Revisions**

A. No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.