

Site Plan

DESCRIPTION:
 LOT 2, BLOCK 6, MENDOTA BEACH SUBDIVISION
 IN THE CITY OF MADISON, DANE COUNTY,
 WISCONSIN

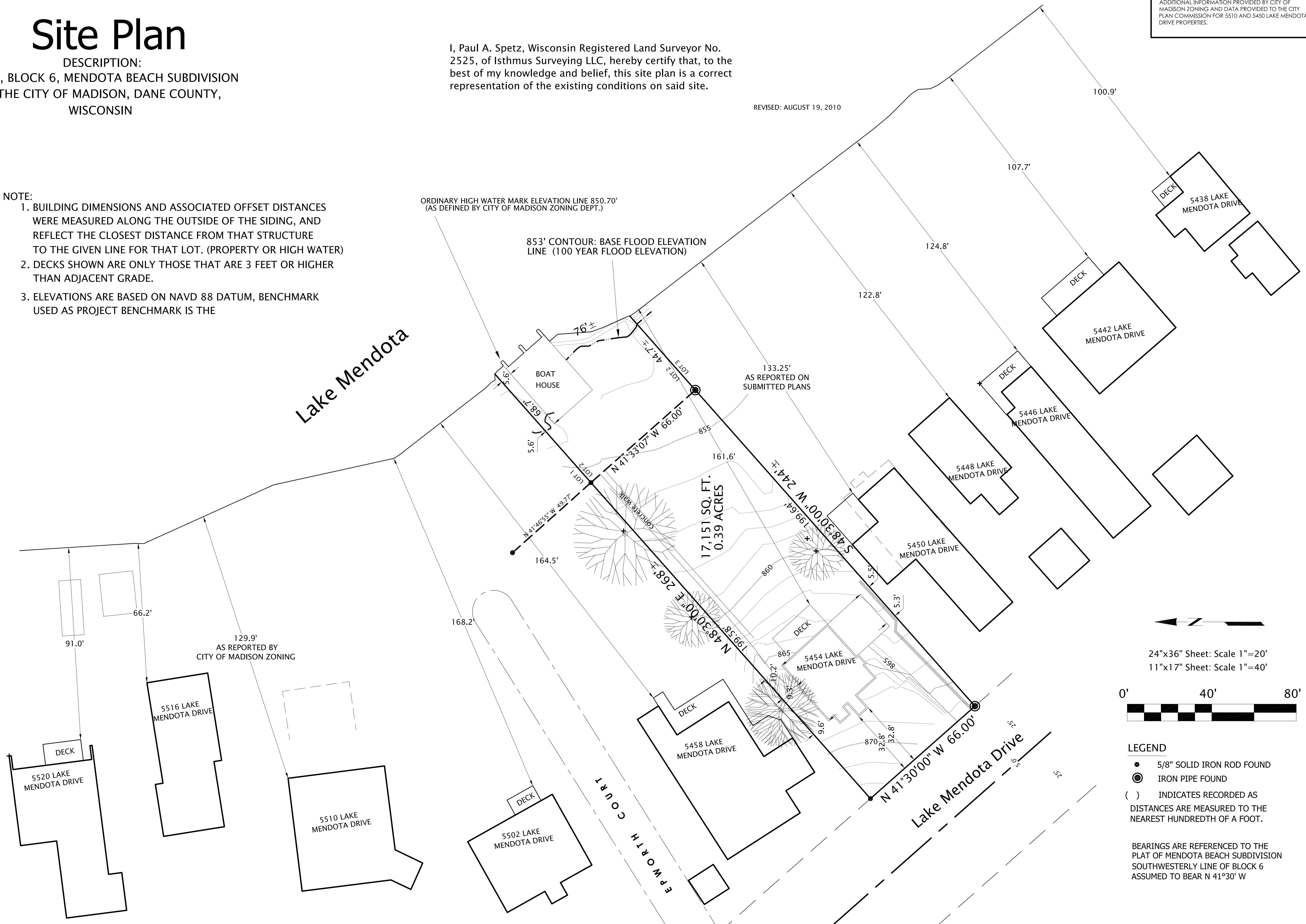
I, Paul A. Spetz, Wisconsin Registered Land Surveyor No. 2525, of Isthmus Surveying LLC, hereby certify that, to the best of my knowledge and belief, this site plan is a correct representation of the existing conditions on said site.

THIS SITE PLAN WAS GENERATED BASED ON THE ORIGINAL SURVEY PROVIDED BY THE OWNER AND CREATED BY: ISTHMUS SURVEYING LLC
 DATE: 08.19.2010
 ADDITIONAL INFORMATION PROVIDED BY CITY OF MADISON ZONING AND DATA PROVIDED TO THE CITY PLAN COMMISSION FOR 5510 AND 5450 LAKE MENDOTA DRIVE PROPERTIES.

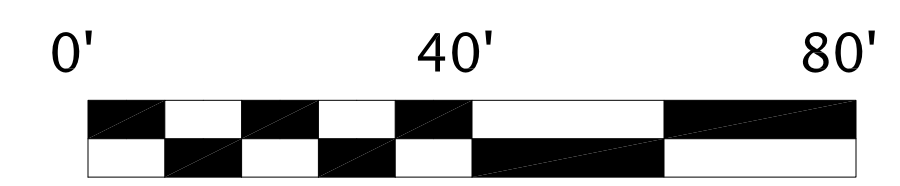
NOTE:

1. BUILDING DIMENSIONS AND ASSOCIATED OFFSET DISTANCES WERE MEASURED ALONG THE OUTSIDE OF THE SIDING, AND REFLECT THE CLOSEST DISTANCE FROM THAT STRUCTURE TO THE GIVEN LINE FOR THAT LOT. (PROPERTY OR HIGH WATER)
2. DECKS SHOWN ARE ONLY THOSE THAT ARE 3 FEET OR HIGHER THAN ADJACENT GRADE.
3. ELEVATIONS ARE BASED ON NAVD 88 DATUM, BENCHMARK USED AS PROJECT BENCHMARK IS THE

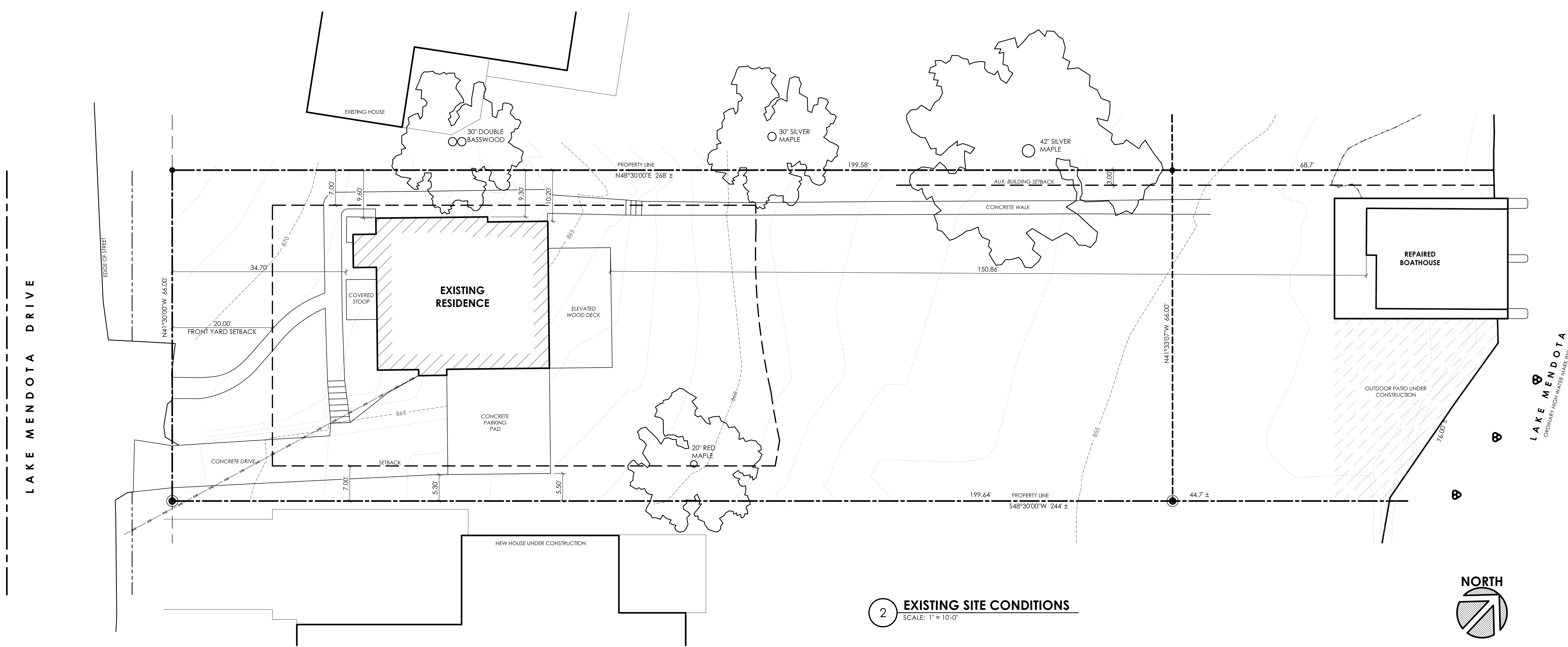
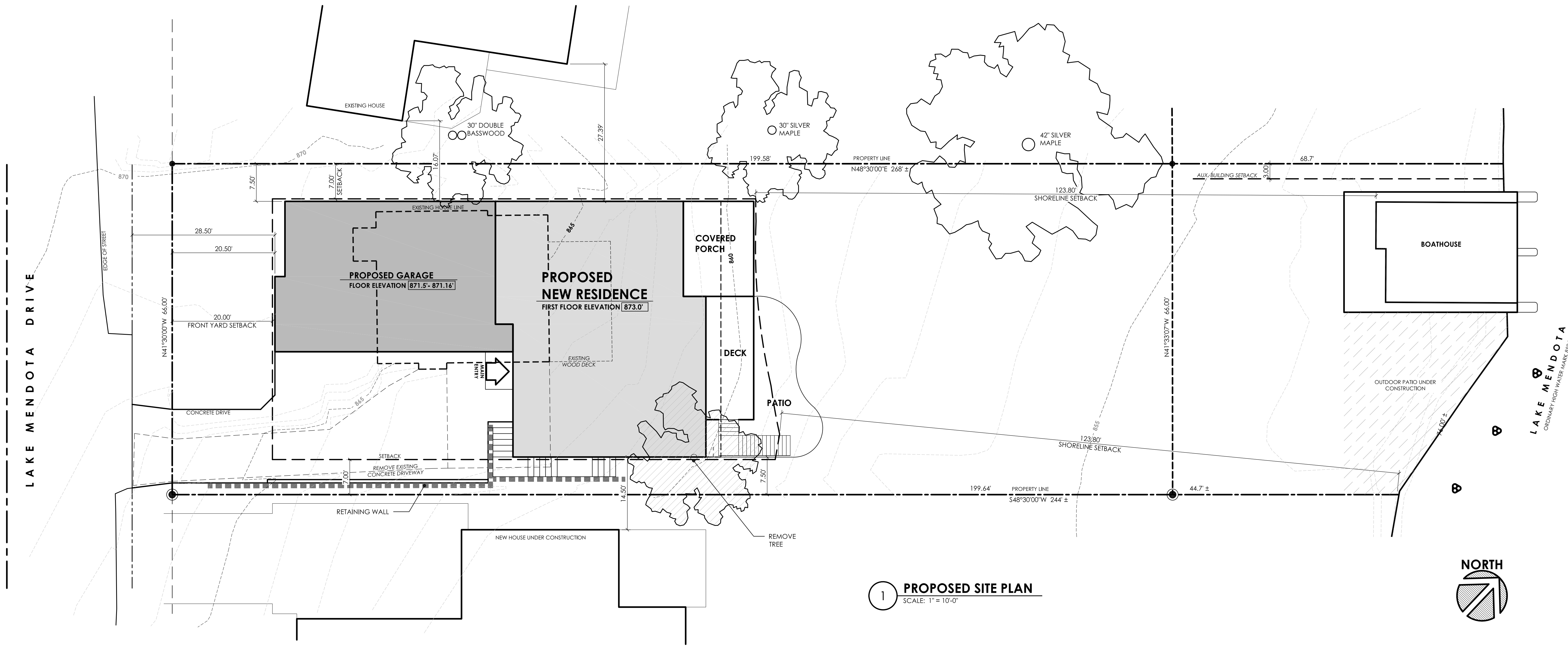
REVISED: AUGUST 19, 2010



24"x36" Sheet: Scale 1"=20'
 11"x17" Sheet: Scale 1"=40'



- LEGEND**
- 5/8" SOLID IRON ROD FOUND
 - ⊙ IRON PIPE FOUND
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
- BEARINGS ARE REFERENCED TO THE PLAT OF MENDOTA BEACH SUBDIVISION SOUTHWESTERLY LINE OF BLOCK 6 ASSUMED TO BEAR N 41°30' W



GENERAL NOTES:
ALL CONSTRUCTION TO BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING: PLANS AND SPECIFICATIONS, STATE OF WISCONSIN UNIFORM DWELLINGS CODE, ALL OTHER APPLICABLE CODES.
CONTRACTOR TO CONTACT DIGGER'S HOTLINE AT LEAST THREE DAYS PRIOR TO THE START OF CONSTRUCTION.
CONSTRUCTION LIMITS WITHIN THE SITE PLAN: ALL CONTRACT WORK, MATERIALS, STORAGE AND CONTRACTOR'S EQUIPMENT SHALL BE CONFINED TO THESE CONSTRUCTION LIMITS. CONTRACTOR SHALL NOT USE NEIGHBORING PROPERTY FOR ANY PURPOSE. DAMAGE TO THE OWNER'S PROPERTY OR ADJACENT PROPERTIES SHALL BE REPAIRED OR RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
THESE DRAWINGS ARE FOR BIDDING AND CONSTRUCTION PURPOSES ONLY.
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ACCURACY AND DIMENSION VERIFICATION FOR ALL CONDITIONS.
THESE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF UDVARI-SOLNER DESIGN CO. AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART, NOR MAY THEY BE UTILIZED IN ANY MANNER WITHOUT EXPRESS WRITTEN AUTHORIZATION FROM UDVARI-SOLNER DESIGN COMPANY. UNAUTHORIZED USE OF THESE DOCUMENTS SUBJECTS THE USER TO LIABILITY FOR DAMAGES. ANY DESIGN CHANGE OR STRUCTURAL MODIFICATION MUST BE APPROVED BY THE OWNER IN WRITING.

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1.0	SITE PLAN & EXISTING SITE CONDITIONS
C100	GRADING & EROSION CONTROL PLAN
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4.1	GROUND FLOOR PLAN
4.2	FIRST FLOOR PLAN
4.3	SECOND FLOOR PLAN
6.0	ELEVATIONS
6.1	ELEVATIONS

SQUARE FOOTAGE

LOT AREA	17,127 S.F.
LOT WIDTH	66'-0"
FRONT YARD SETBACK (20' REQ'D)	20'-6"
REAR YARD SETBACK (123.8' REQ'D)	124'-2"
SIDE YARD SETBACK (7'-0' REQ'D)	7'-6"
2 STORY HEIGHT (35'-0" MAX.)	34'-4 3/4"
STRUCTURE FOOTPRINT	3,273 S.F.
DECK	501 S.F.
DRIVEWAY/STOOP/PATIO	1,877 S.F.
BOATHOUSE	830 S.F.
TOTAL COVERAGE	6,481 S.F.
LOT COVERAGE (50% MAX.)	37.8%
USABLE OPEN SPACE (11,000 S.F. MIN.)	8,775 S.F.

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PROJECT NO: 13-17
CAD TECH: ERC
PLAN REVIEWER: MUS
DOCUMENT RELEASE DATES:

PROPOSED NEW RESIDENCE FOR KATHY COX
5454 LAKE MENDOTA DRIVE
CITY OF MADISON
DANE COUNTY, WISCONSIN

udvari-solner design company

PLAN APPROVAL SIGNATURES:

CLIENT NAME _____ DATE _____

CLIENT NAME _____ DATE _____

IMPORTANT NOTES:
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KATHY COX RESIDENCE
CITY OF MADISON, DANE COUNTY, WI
5454 LAKE MENDOTA DRIVE

SITE PLAN

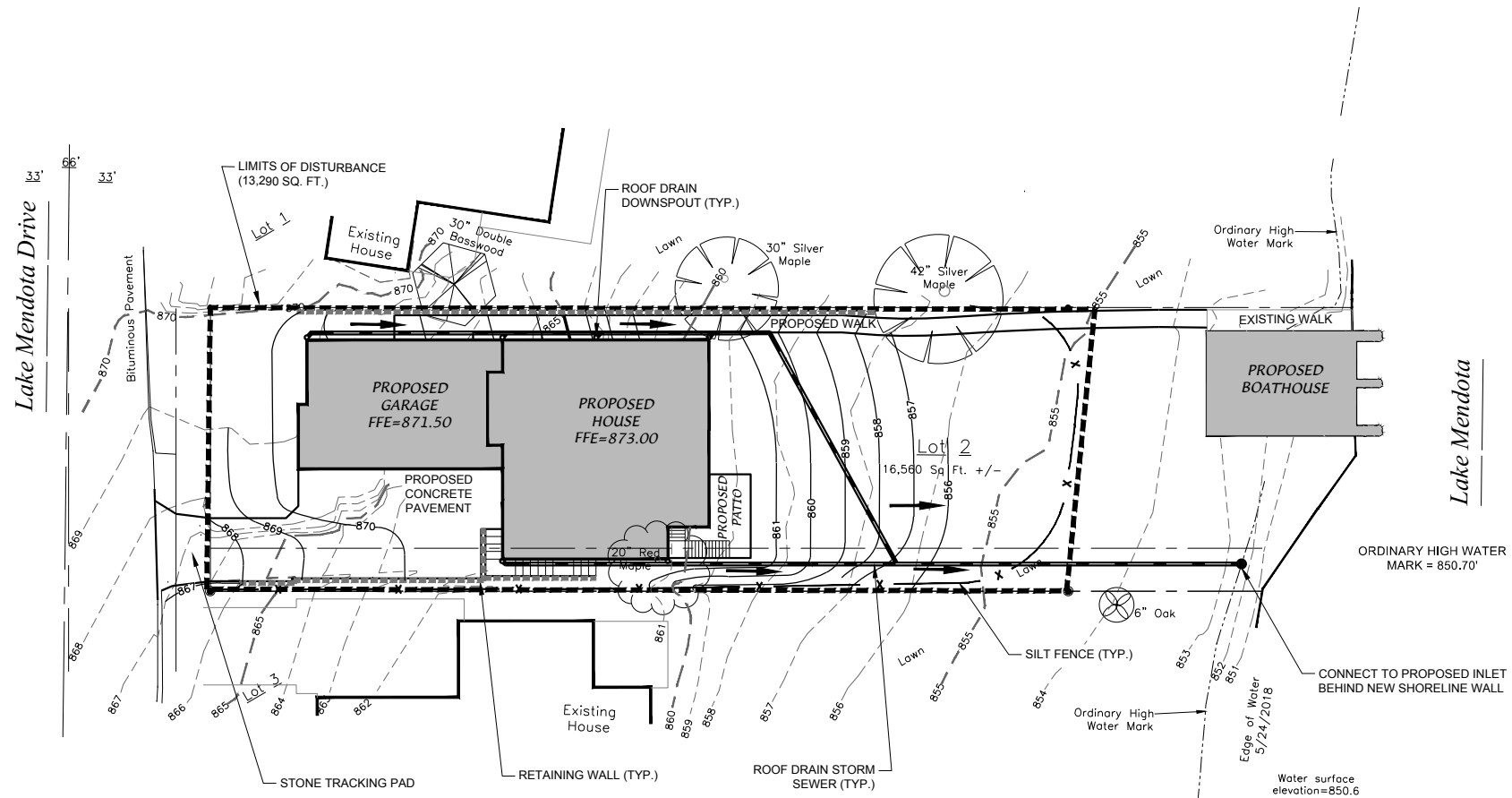
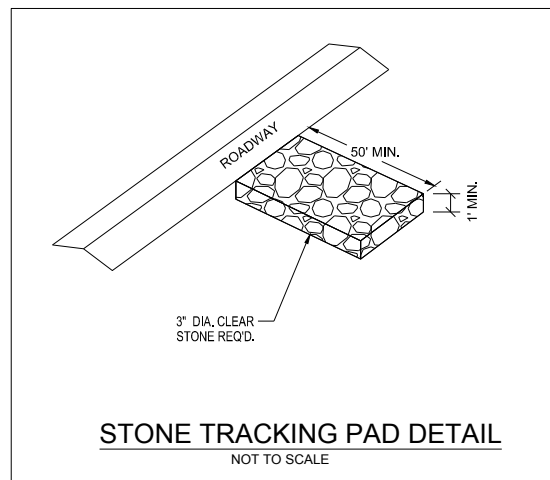
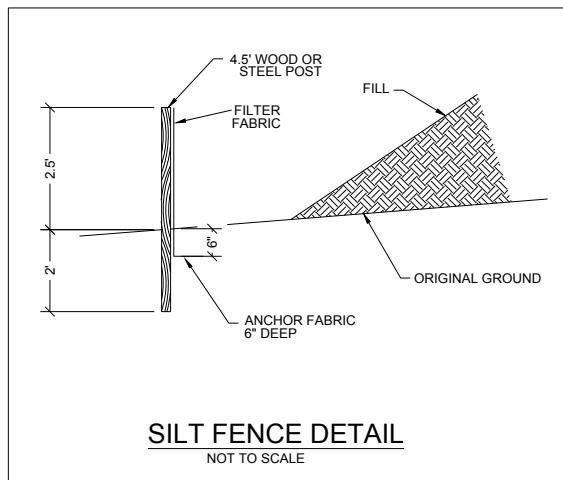
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01.08.2019 PRELIMINARY
03.08.2019 PRELIMINARY REVISED
08.27.2019 PRELIMINARY REVISED

1.0

GRADING AND EROSION CONTROL NOTES:

1. CONSTRUCTION SCHEDULE:
 - INSTALL EROSION CONTROL = 04/01/2019
 - GRADE AND CONSTRUCT DRIVEWAY = 04/01/2019 - 06/21/19
 - CONSTRUCT BUILDING = 04/01/19 - 04/01/20
 - PERMANENT RESTORATION (GRASS SEED) OF ALL DISTURBED AREAS = 04/01/20
2. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED PER CITY SPECIFICATIONS.
3. ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN ARE TO BE MAINTAINED UNLESS NOTED.
4. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL, FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1,000 SQ. FT. ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1,000 SQ. FT. SHALL BE ADDED TO THE MIXTURE.
5. ANY SOIL STOCKPILE ON SITE FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH MULCH, VEGETATIVE COVER, TARP, OR OTHER MEANS APPROVED BY THE CITY INSPECTOR.
6. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THE PROJECT. EROSION CONTROL MEASURES SHOWN ON THE APPROVED PLAN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION CONTROL PROBLEMS THAT OCCUR AS A RESULT OF CONSTRUCTION ACTIVITIES.
7. INSPECTION & MAINTENANCE SCHEDULE:
 - ALL EROSION CONTROL MEASURES MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED.
 - ALL MAINTENANCE WILL FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
8. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE CITY INSPECTOR, SHALL BE INSTALLED WITHIN 24 HOURS.



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7500 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRADING AND EROSION CONTROL PLAN

COX RESIDENCE

5454 LAKE MENDOTA DRIVE
 MADISON, WI 53703



SCALE: 1" = 20'
 (PAGE SIZE: 22x34)

DATE: 08-26-19
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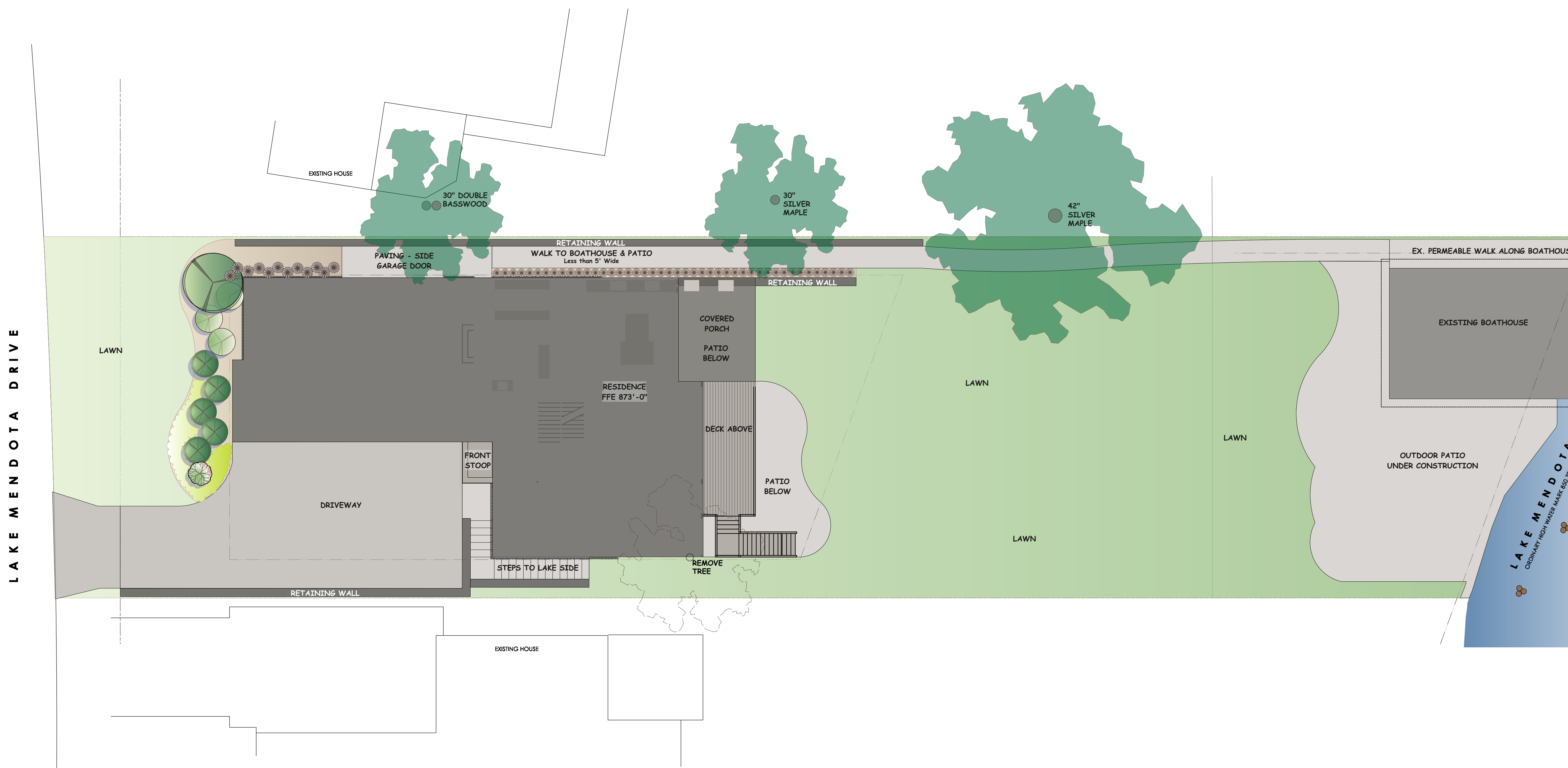
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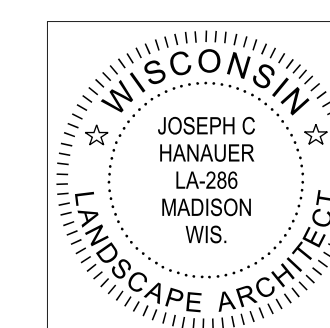
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C100

LANDSCAPE PLAN

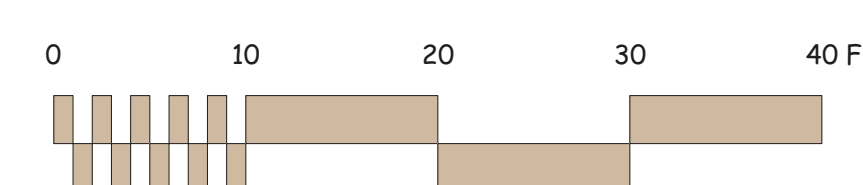
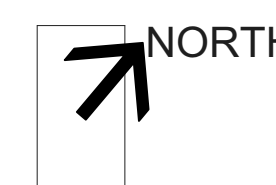
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MADISON, WISCONSIN



L A K E M E N D O T A D R I V E



**Preliminary
not for construction**

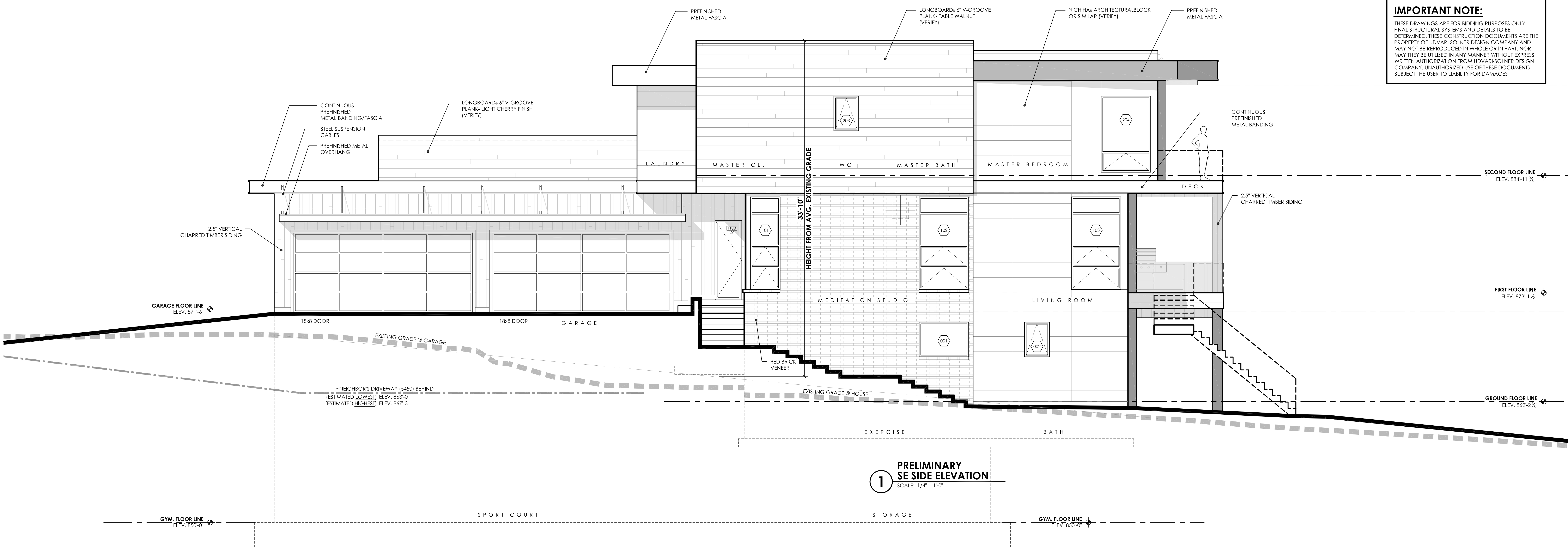


Important Note:
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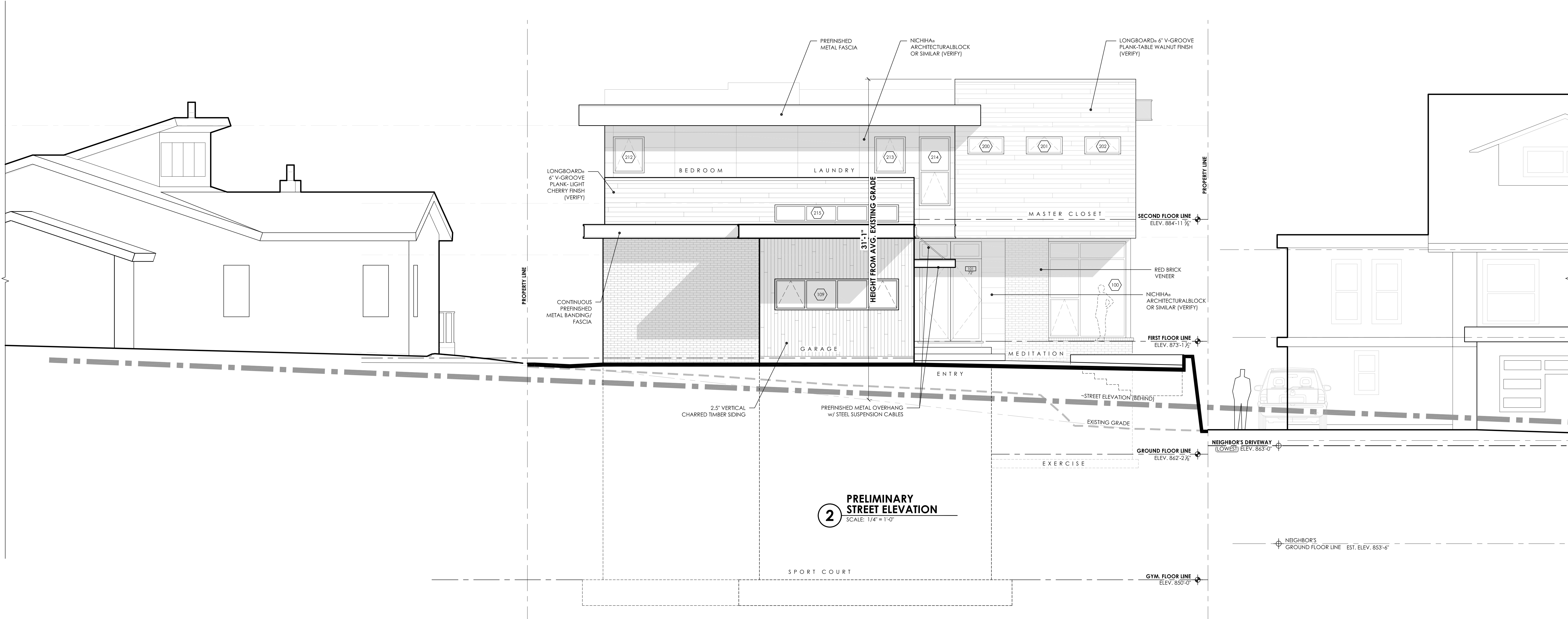
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DATE	JANUARY 3, 2018
DESIGN	jch
REVISION	August 22, 2019
	August 26, 2019

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1 PRELIMINARY SE SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



2 PRELIMINARY STREET ELEVATION
 SCALE: 1/4" = 1'-0"

COX RESIDENCE
 MADISON, WISCONSIN
 548 LAKE MENDOTA DRIVE

ELEVATIONS
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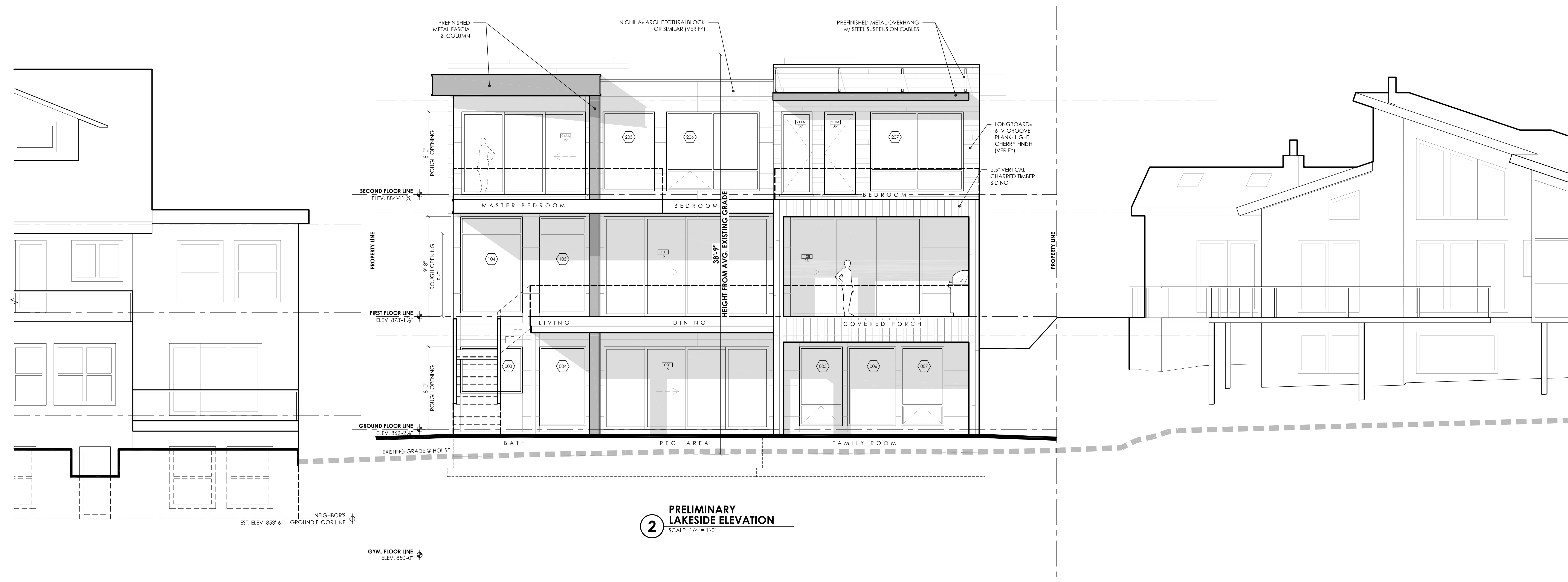
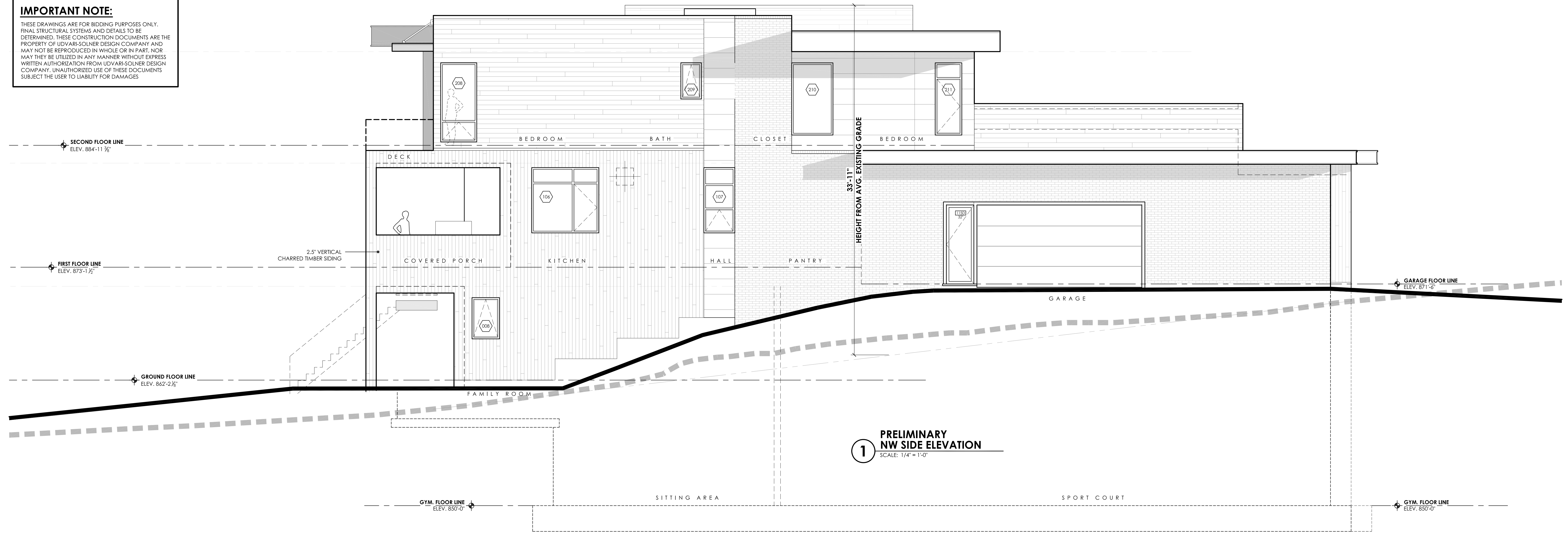
PROJECT NO:
13-17
 CAD TECH:
AAC
 PLAN REVIEWER:
MUS
 DOCUMENT RELEASE DATES:

01.08.2019	PRELIMINARY
03.08.2019	PRELIMINARY REVISED
08.27.2019	PRELIMINARY REVISED

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IMPORTANT NOTE:

WIND BRACING REQUIREMENTS PER WISCONSIN UNIFORM DWELLING CODE COMM 21.25(8) ARE THE RESPONSIBILITY OF THE BUILDER OR GENERAL CONTRACTOR. UDVARI-SOLNER DESIGN COMPANY TO REVIEW AND APPROVE FINAL WIND BRACING DESIGN.

ROOF JOIST SPECIFICATIONS

WEB STIFFENER REQUIREMENTS
WEB STIFFENERS ARE REQUIRED AT ALL HANGER AND BIRDSMOUTH CUT LOCATIONS. WEB STIFFENERS ARE ALSO REQUIRED AT ALL INTERMEDIATE BEARING LOCATIONS WHERE THE JOIST BEARING LENGTH IS LESS THAN 5 1/2'. TJI/15DF JOISTS DO NOT REQUIRE WEB STIFFENERS AT INTERMEDIATE BEARING LOCATIONS.

MINIMUM NAILING REQUIREMENTS

- 1. NAIL TJI JOISTS AT BEARINGS WITH 2-10D NAILS, 1 1/2" MIN. FROM END TO MINIMIZE SPLITTING.
- 2. NAIL TJI JOIST BLOCKING PANELS OR RIM JOIST TO BEARING PLATE WITH 10D BOX NAILS AT 4' O.C. TOE-NAIL SHEAR BLOCKING OR RIM BOARD TO BEARING PLATE WITH 10D BOX NAILS AT 6' O.C.

LATERAL SUPPORT TO PREVENT JOIST ROLLOVER

ALL ROOF JOISTS MUST BE LATERALLY SUPPORTED AT CANTILEVER AND END BEARINGS TO PREVENT JOIST ROLLOVER. USE TJI JOIST BLOCKING PANELS, SHEAR BLOCKING, RIM BOARD OR HANGERS.

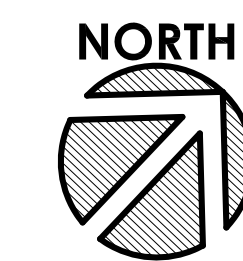
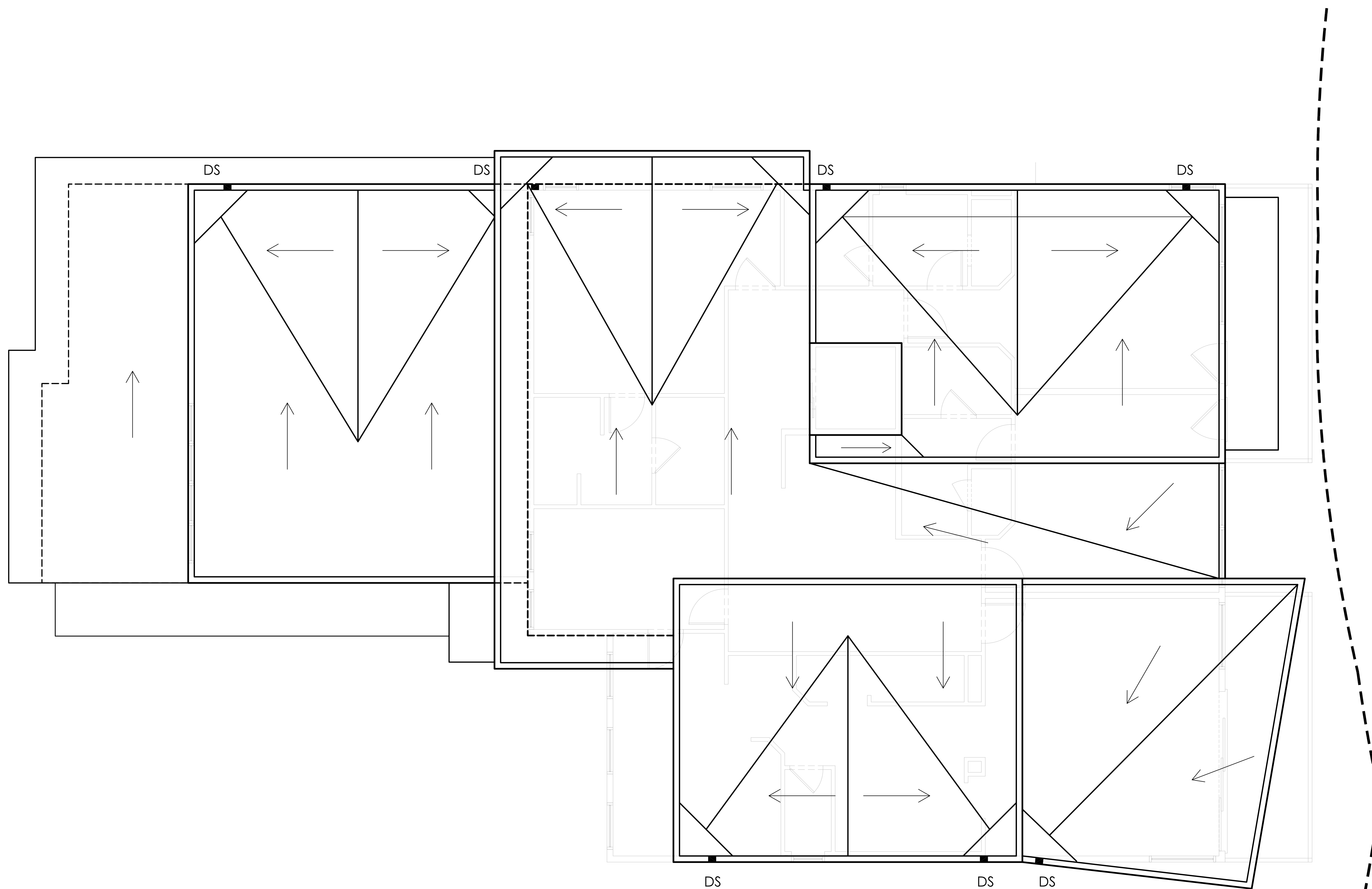
ROOF TRUSS DESIGN CRITERIA

LIVE LOAD
ROOF LOAD: 30.0 P.S.F.
SNOW LOAD: 30.0 P.S.F.

DEAD LOAD
ROOF LOAD: 15.0 P.S.F.
TOTAL: 45.0 P.S.F.

GENERAL NOTES

- CROSS BRACING - 2x4s
- ANCHOR TRUSS TO TOP PLATE WITH METAL PLATE CONNECTORS
- GABLE EXTENSIONS - 2x6 @ 16" O.C.
- ROOF TRUSS SPACING - 24" O.C.
- USE STRAP TYPE TRUSS HANGER @ GIRDER TO SUPPORT COMMON TRUSSES
- HOUSE ROOF PITCHES - SEE ROOF PLAN
- VERIFY TRUSS DIMENSIONS WITH 1/2" PLANS
- FIELD VERIFY ALL DIMENSIONS
- PROVIDE ROOF CANT WHERE REQUIRED TO PROVIDE PROPER DRAINAGE

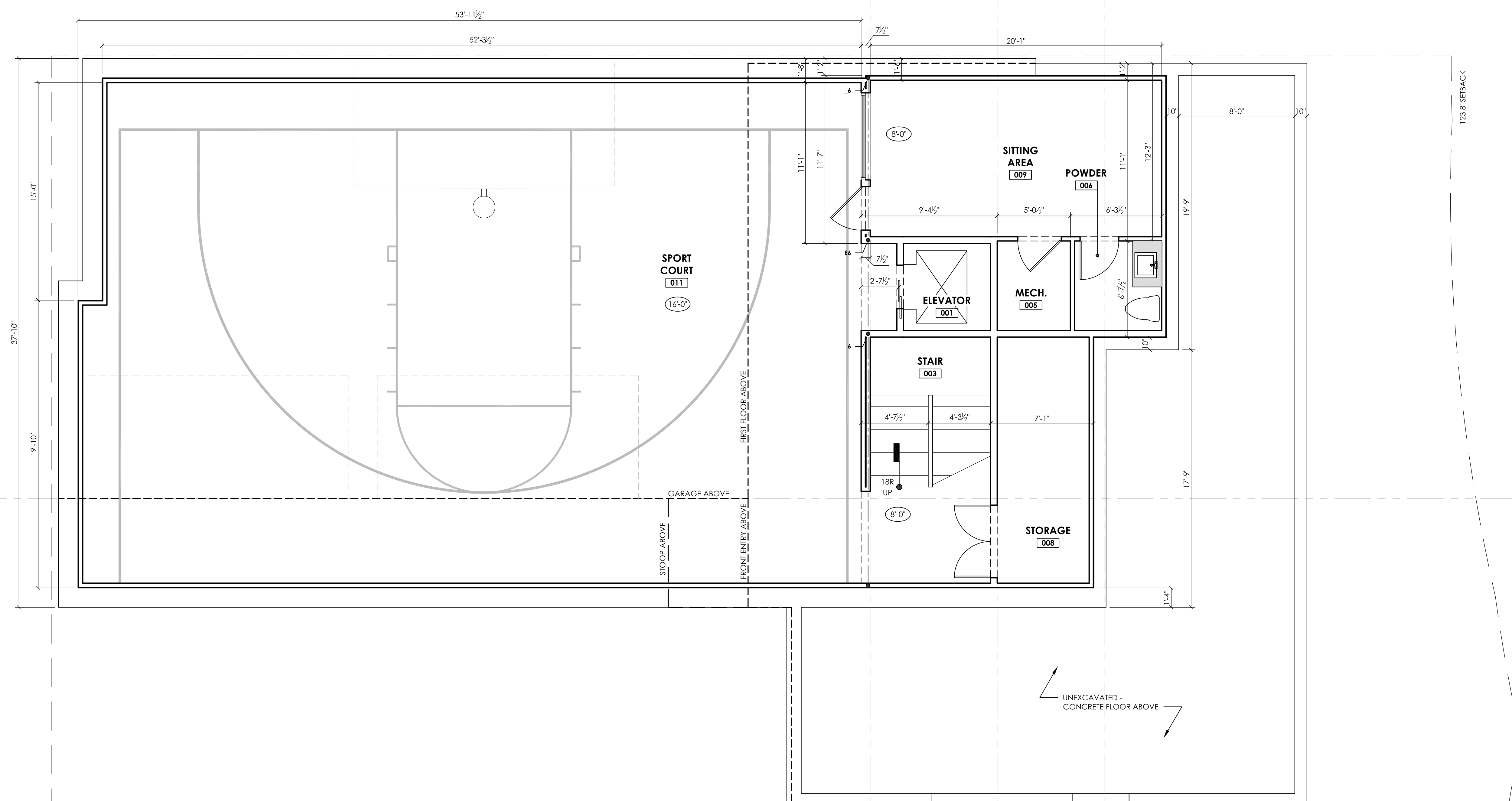


1 PRELIMINARY ROOF PLAN
SCALE: 1/4" = 1'-0"

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03.08.2019	PRELIMINARY REVISED
08.27.2019	PRELIMINARY REVISED

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- PLAN SYMBOLS**
- C.O. CASED OPENING
 - S SINK
 - DW DISH WASHER
 - U.C. UNDER COUNTER
 - REF REFRIGERATOR
 - W WASHING MACHINE
 - D DRYER
 - WC WATER CLOSET
 - FD FLOOR DRAIN
 - 100/32 DOOR NUMBER AND WIDTH
 - 100 WINDOW NUMBER
 - 8'-0" CEILING HEIGHT
 - ROOM**
 - 100 ROOM NAME AND NUMBER
 - 2/4 DETAIL NUMBER SHEET NUMBER

- KEY NOTES**
- 1 CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
 - 2 SOLID SHELVES AND POLES.
 - 3 SOLID SHELVES.
 - 4 FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
 - 5 CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 GYM LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 ALL GYM LEVEL SQUARE FEET
 2,520



GYM LEVEL FLOOR PLANS

PROJECT NO: 13-17
 CAD TECH: AAC
 PLAN REVIEWER: MUS
 DOCUMENT RELEASE DATES:

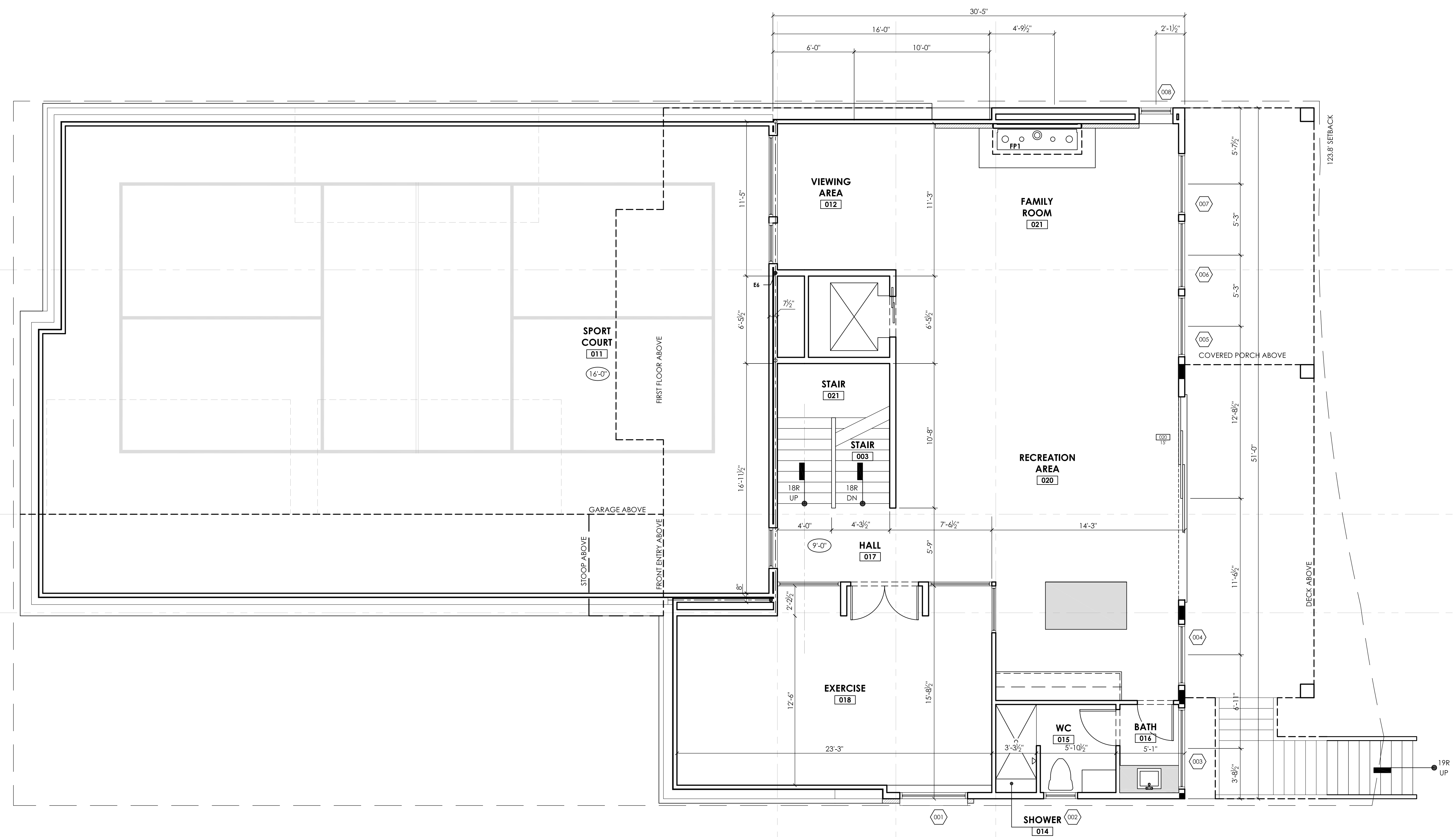
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4.0

COX RESIDENCE
 548 LAKE MENDOTA DRIVE
 MADISON, WISCONSIN

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- KEY NOTES**
- ◇ CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
 - ◇ 2 SOLID SHELVES AND POLES.
 - ◇ 5 SOLID SHELVES.
 - ◇ FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
 - ◇ CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISHED GROUND FLOOR LIVING SPACE SQUARE FEET
 1,628

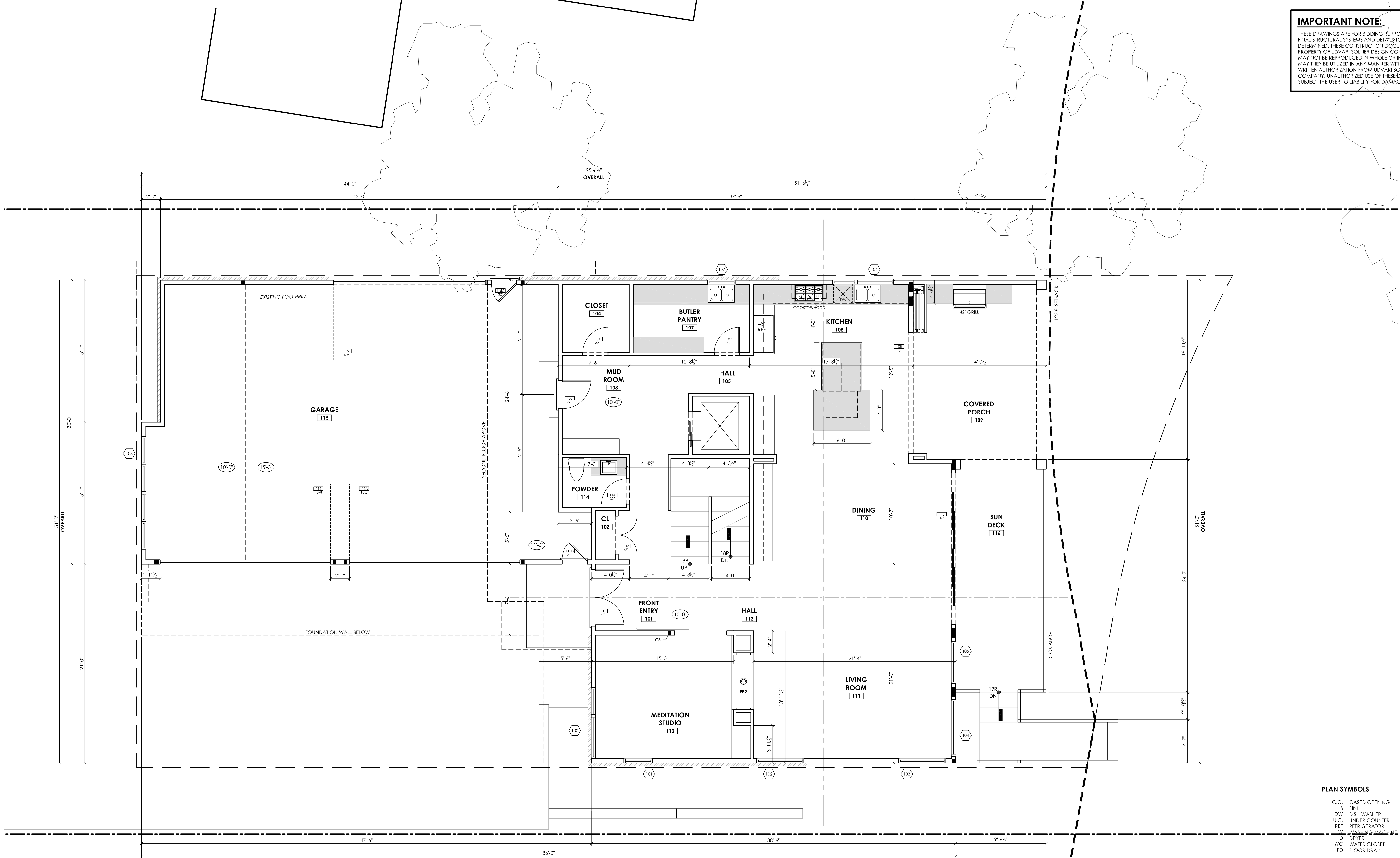


GROUND FLOOR PLAN
 PROJECT NO: 13-17
 CAD TECH: AAC
 PLAN REVIEWER: MUS
 DOCUMENT RELEASE DATES:
 01.08.2019 PRELIMINARY
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4.1

THIS SHEET PLOTTED ON 8/26/2019 6:03:01 PM BY Design

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- 100 WINDOW NUMBER
- 8'-0" CEILING HEIGHT
- ROOM**
- 100 ROOM NAME AND NUMBER
- 2 4 DETAIL NUMBER SHEET NUMBER

KEY NOTES

- 1 CABINETS AND COUNTERTOPS BY OTHERS. SEE CABINET SUPPLIER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
- 2 2 SOLID SHELVES AND POLES.
- 3 5 SOLID SHELVES.
- 4 FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
- 5 CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FINISHED FIRST FLOOR LIVING SPACE SQUARE FEET
1,938

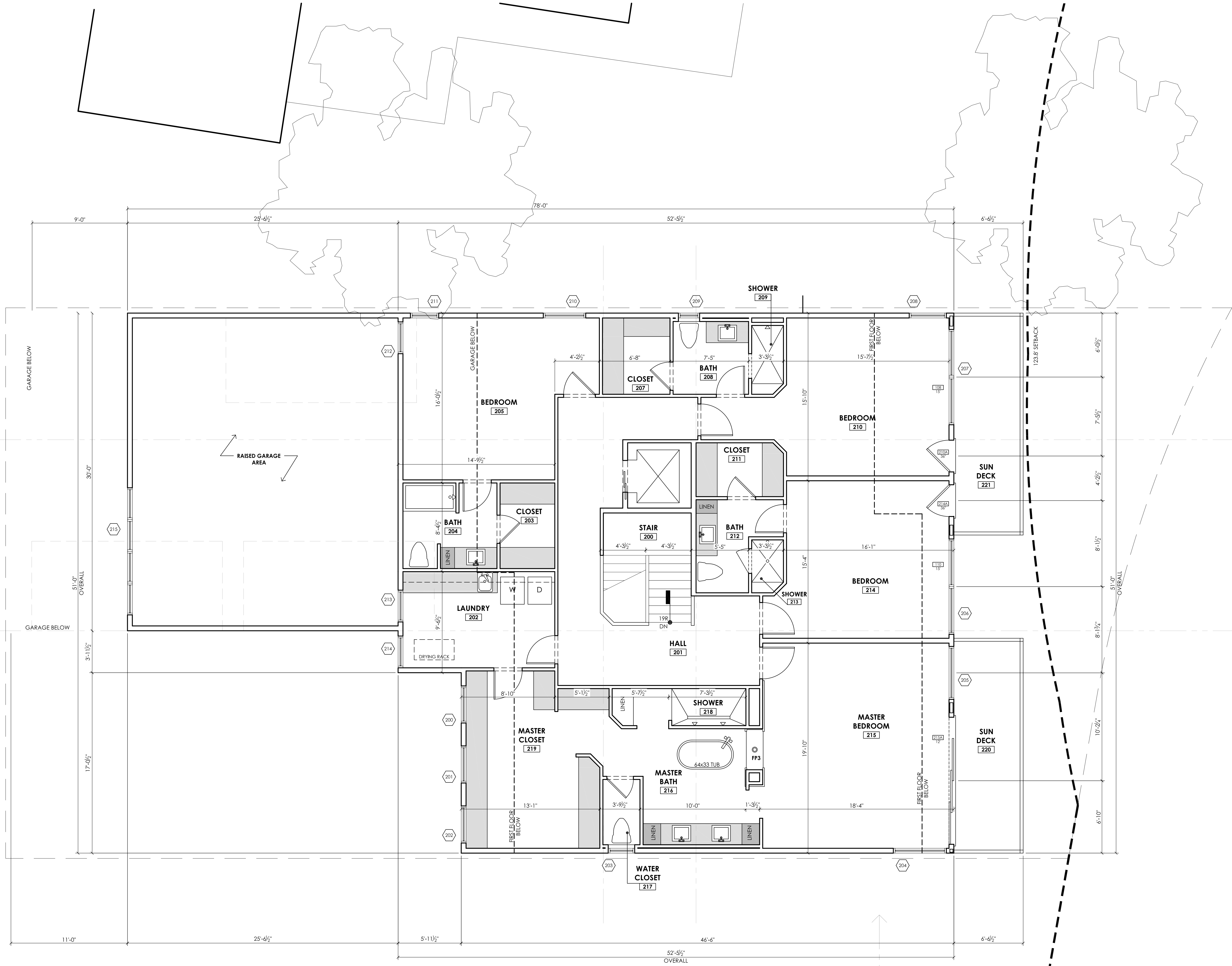
GARAGE SQUARE FEET
1,335



COX RESIDENCE
 MADISON, WISCONSIN
 548 LAKE MENDOTA DRIVE
FIRST FLOOR PLAN
 PROJECT NO: 13-17
 CAD TECH: AAC
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4.2

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 - 4 FIREPLACE SURROUND REQUIRED. SEE SPECIFICATIONS.
 - 5 CABINETS AND COUNTERTOPS BY GENERAL CONTRACTOR.

1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 FINISHED SECOND FLOOR LIVING SPACE SQUARE FEET
 2,574 INCLUDES ELEVATOR & STAIR



COX RESIDENCE
 MADISON, WISCONSIN
 548 LAKE MENDOTA DRIVE

SECOND FLOOR PLAN
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PROJECT NO:
13-17
 CAD TECH:
AAC
 PLAN REVIEWER:
MUS
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