

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>July 16, 2014</u>	Action Requested
UDC MEETING DATE: <u>July 23, 2014</u>	<input checked="" type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 2158 Atwood Avenue

ALDERMANIC DISTRICT: Marsha Rummel - District #6

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Joe Krupp - Prime Urban Properties

Knothe & Bruce Architects, LLC

2020 Eastwood Drive

7601 University Avenue, Suite 201

Madison, WI 53704

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

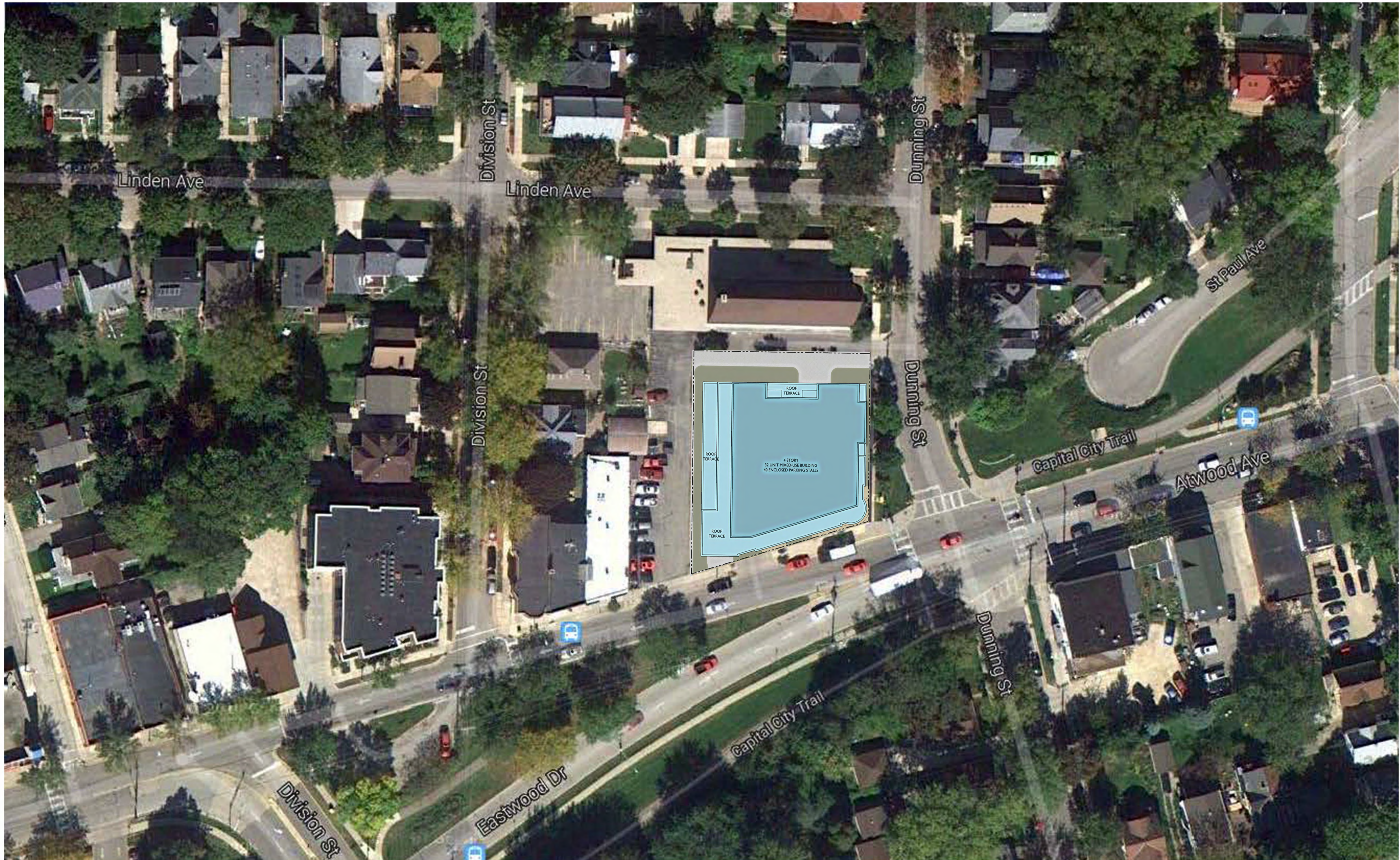
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)

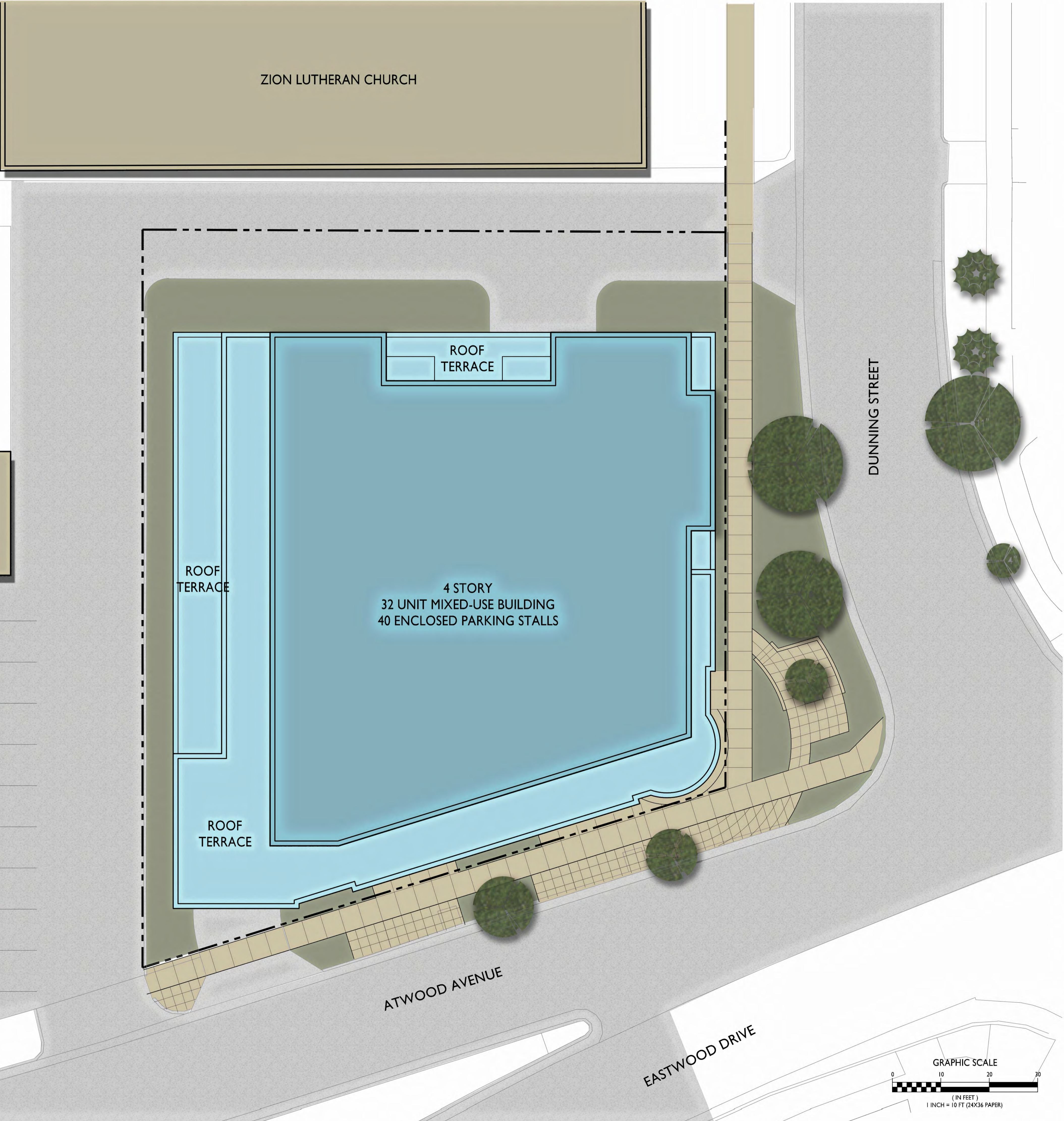
- Other Conditional Use

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



Atwood Development
Aerial Site Plan
July 15, 2014





ZION LUTHERAN CHURCH

ROOF
TERRACE

ROOF
TERRACE

4 STORY
32 UNIT MIXED-USE BUILDING
40 ENCLOSED PARKING STALLS

ROOF
TERRACE

WILSON'S
BAR

DUNNING STREET

ATWOOD AVENUE

EASTWOOD DRIVE



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Review - June 25, 2014

PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

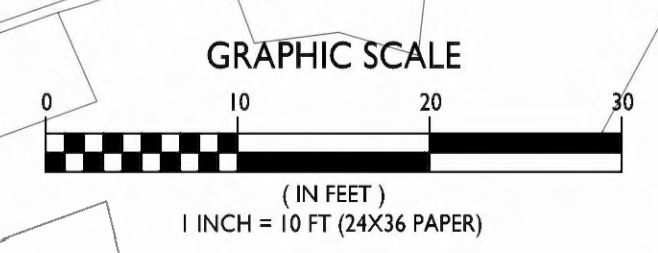
2158 Atwood Ave
SHEET TITLE
**Roof Plan &
Usable Open
Space**

SHEET NUMBER

C-1.2

PROJECT NO. **1359**

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1 SOUTH ELEVATION - ATWOOD AVE.
A-2.1 1/8"=1'-0"



2 EAST ELEVATION - DUNNING ST.
A-2.1 1/8"=1'-0"

Atwood Development
Elevations
July 15, 2014





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ARCHITECTS

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PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1

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ZION LUTHERAN CHURCH

SITE DEVELOPMENT STATISTICS	
LOT AREA	16,048 SF/ 0.37 ACRES
DWELLING UNITS	32 DU
LOT AREA/ D.U.	501.5 SF/DU
DENSITY	86.5 UNITS/ACRE
BUILDING HEIGHT	4 STORIES
OPEN SPACE	2,536 SF
OPEN SPACE/DU	79 SF/DU
LOT COVERAGE	14,050 SF - 825 SF on roof decks (82.5 % OF TOTAL LOT)
GROSS FLOOR AREA 45,097 SF	
UNIT MIX	
EFFICIENCY	10
ONE BEDROOM	8
ONE BEDROOM + DEN	8
TWO BEDROOM	6
TOTAL	32
VEHICLE PARKING	
SURFACE	0
UNDERGROUND	40
TOTAL	40
BIKE PARKING	
SURFACE - 2x6	6
GARAGE - Wall Hung	10
GARAGE - 2x6	24
TOTAL	40



DUNNING STREET

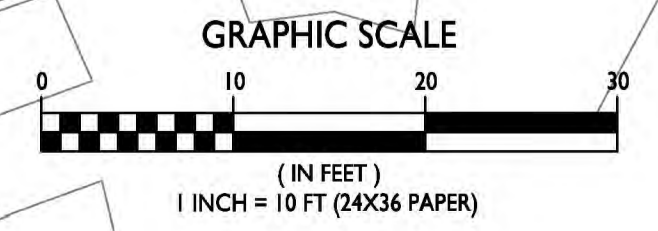
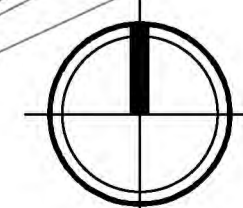
4 STORY
32 UNIT MIXED-USE BUILDING
40 ENCLOSED PARKING STALLS

WILSON'S
BAR

ATWOOD AVENUE

EASTWOOD DRIVE

SITE PLAN
C-1.1 1" = 10'-0"





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2158 Atwood Ave
SHEET TITLE
**Roof Plan &
Usable Open Space**

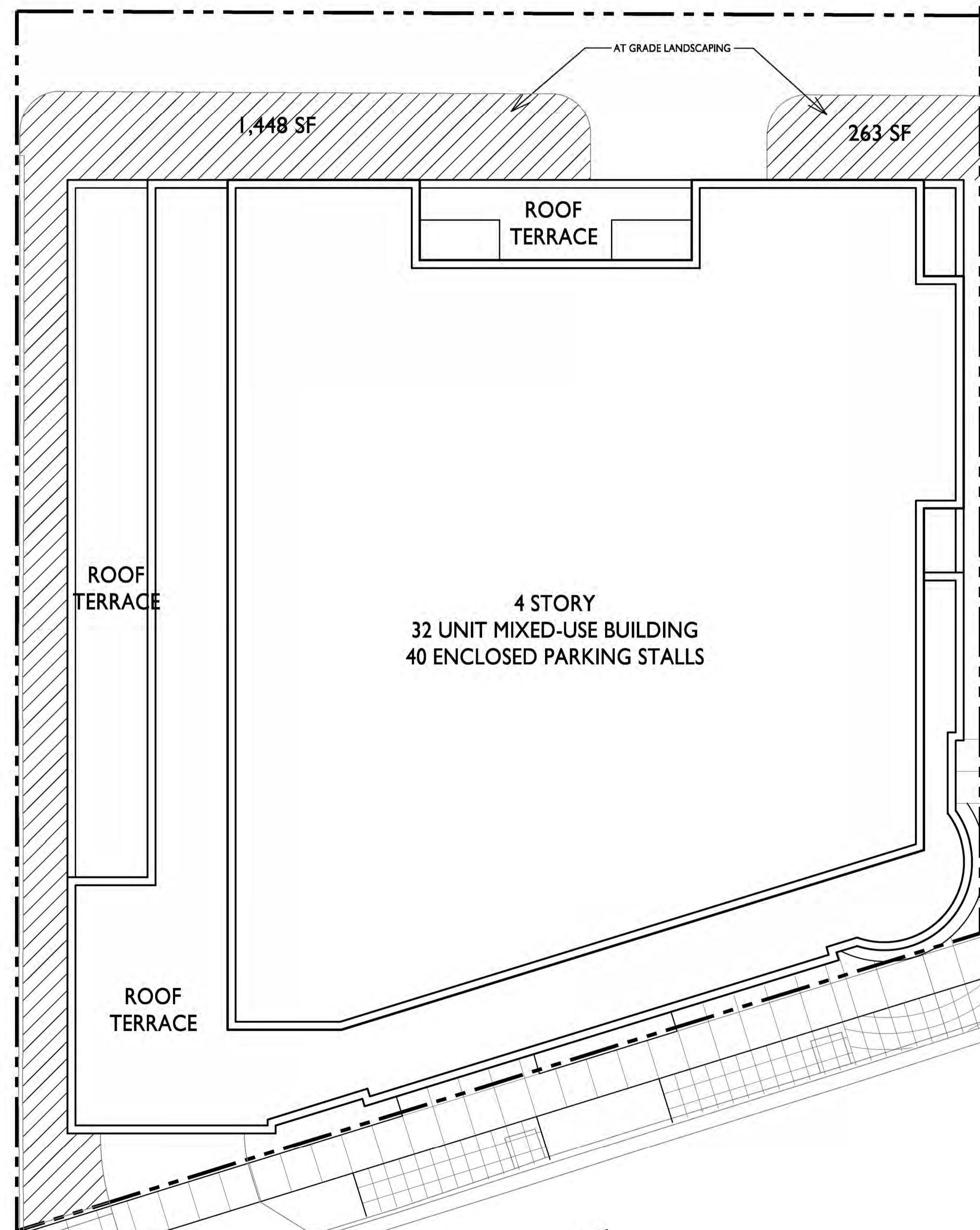
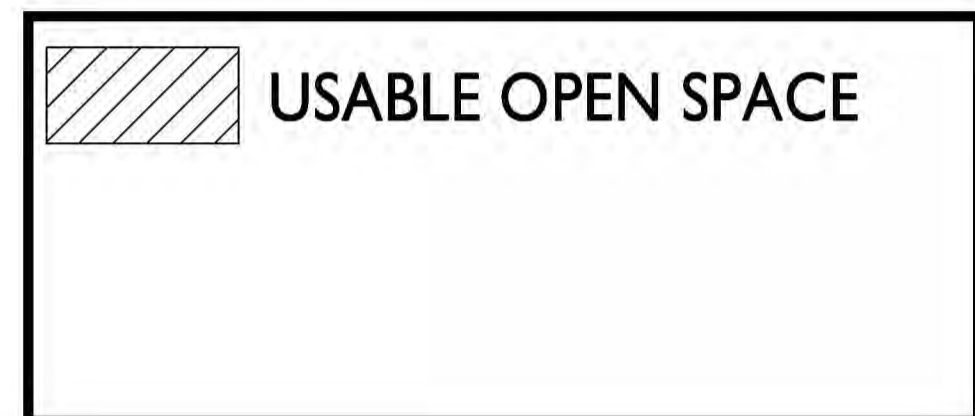
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ZION LUTHERAN CHURCH



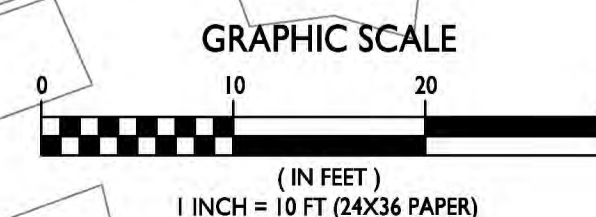
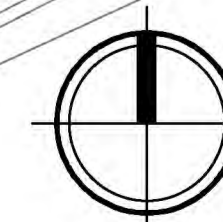
DUNNING STREET

WILSON'S
BAR

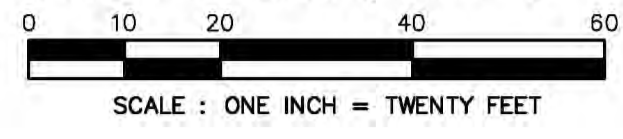
ATWOOD AVENUE

EASTWOOD DRIVE

1 ROOF PLAN & USABLE OPEN SPACE
C-1.2 1" = 10'-0"

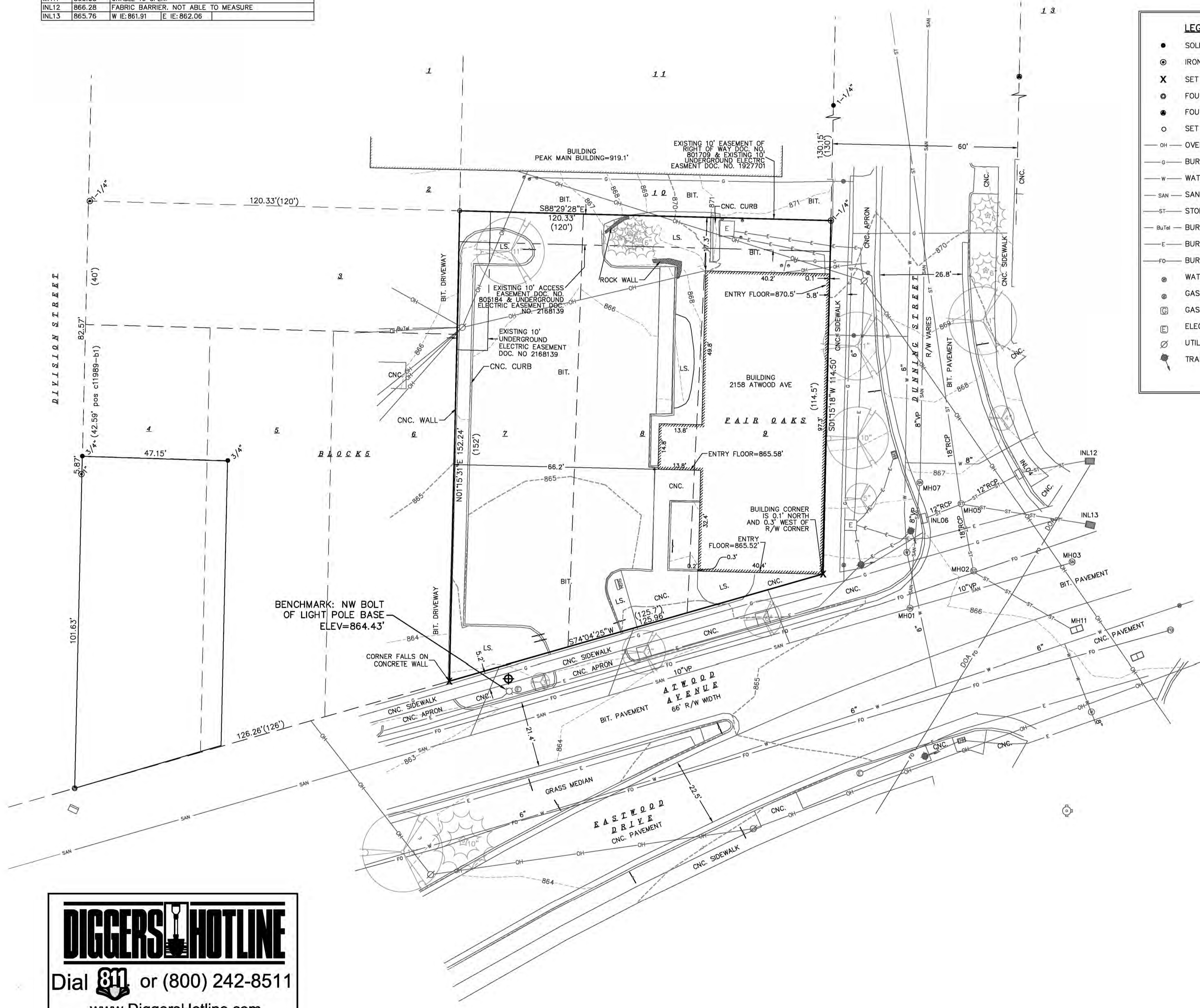


ALL OF LOTS 7, 8 AND 9, BLOCK 5, FAIR OAKS, AS RECORDED IN VOLUME 2 OF PLATS, ON PAGE 37, AS DOCUMENT NUMBER 243077, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 06, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



GRID NORTH
MEASUREMENTS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM (DANE 2008)

STORM SEWER AND SANITARY SEWER ELEVATION TABLE					
NUMBER	R/W / C	INVERT ELEV.	INVERT ELEV.	INVERT ELEV.	INVERT ELEV.
MH01	865.88	E IE: 851.60	N IE: 851.78	W IE: 851.50	
MH02	866.10	FLOOR: 859.60	FULL OF WATER, NO PIPES VISIBLE		
MH03	866.31	E IE: 851.45	S IE: 851.76	W IE: 851.41	
INL04	866.92	E IE: 863.42	W IE: 863.42		
MH05	866.69	E IE: 863.41	W IE: 863.28	N IE: 861.41	S IE: 861.38
INL06	866.76	E IE: 863.75			
MH07	866.84	NE IE: 860.49	N IE: 859.66	S IE: 859.34	
MH08	860.72	W IE: 850.21	N IE: 850.57	E IE: 850.31	S IE: 852.92
MH09	873.51	N IE: 865.09	S IE: 864.89		
MH10	872.78	FLOOR: 860.50	S IE: 862.04		
MH11	866.05	UNABLE TO OPEN			
INL12	866.28	FABRIC BARRIER, NOT ABLE TO MEASURE			
INL13	865.76	W IE: 861.91	E IE: 862.06		



LEGEND

- SOLID IRON ROD FOUND SIZE NOTED
- ⊙ IRON PIPE FOUND OUTSIDE DIAMETER NOTED
- X SET "X" IN CONCRETE
- FOUND DRILL HOLE
- FOUND RAILROAD SPIKE
- SET MAG NAIL
- OH — OVERHEAD UTILITY WIRE
- G — BURIED GAS LINE
- W — WATER MAIN
- SAN — SANITARY SEWER
- ST — STORM SEWER
- BULTEL — BURIED TELEPHONE
- E — BURIED ELECTRIC
- FO — BURIED FIBER OPTIC
- WATER VALVE
- GAS VALVE
- GAS METER
- ⊙ ELECTRIC PEDESTAL
- ⊙ UTILITY POLE
- ⊙ TRAFFIC SIGNAL
- LIGHT POLE
- TELEPHONE PEDESTAL
- ⊙ FIRE HYDRANT
- SIGN
- GUY WIRE
- BOLLARD
- STORM SEWER INLET
- ⊙ ELECTRIC MANHOLE
- ⊙ FIBER OPTIC MANHOLE
- 865 — EXISTING CONTOUR MAJOR
- 866 — EXISTING CONTOUR MINOR
- ⊙ STORM SEWER MANHOLE
- STORM SEWER STRUCTURE
- RECTANGLE CATCH BASIN
- ⊙ SANITARY SEWER MANHOLE
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- () INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

- NOTES:**
- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
 - No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
 - Date of field work: 05-16-2014
 - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
 - All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
 - All trees, hedges and ground cover on the site may not necessarily be shown hereon.
 - Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20141818264, 20141818288, 20141818316, 20141818341, 20141922669 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
 - Total parcel area = 16,049 square feet
 - Elevations are based upon NAVD88 datum. The brass cap monument at the Southwest corner of Section 06 has an elevation of 852.169' based upon benchmark on tiesheet by Carl M. Sandnes, dated 2-16-04.
 - Site Benchmark is the NW bolt of the light pole base west of driveway off Atwood. Elevation = 864.43

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

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www.burseurveying.com

APPROVALS	PROJECT DATE	MLB	PDF	MLB

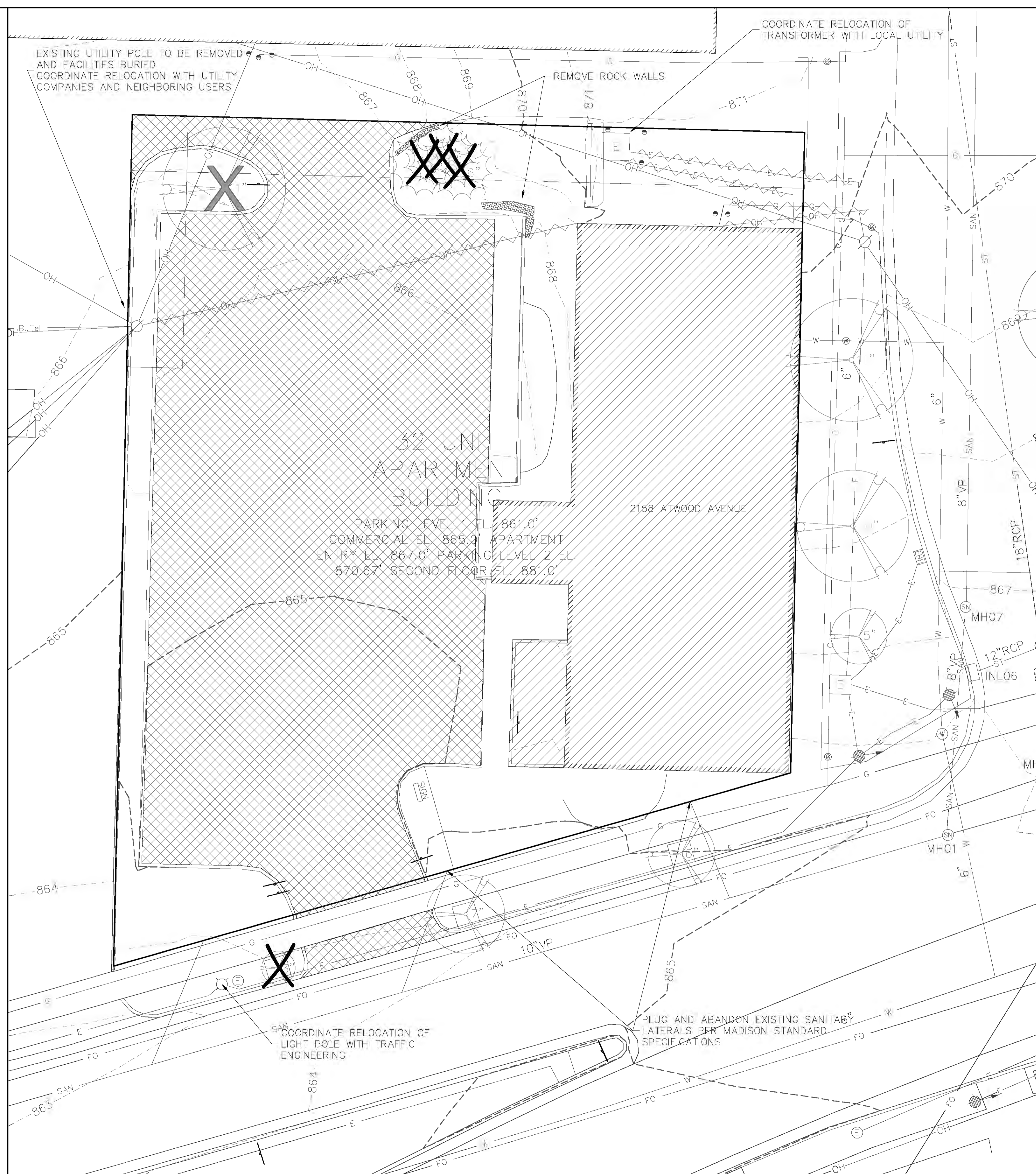
2158 Atwood Avenue
2158 Atwood Avenue
Madison, WI 53704
Joe Krupp
2020 Eastwood Drive
Madison, WI 53704

PROJECT #:	06/24/2014
REVISION DATES:	
ISSUE DATES:	06/24/2014

EXISTING CONDITIONS

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C-100



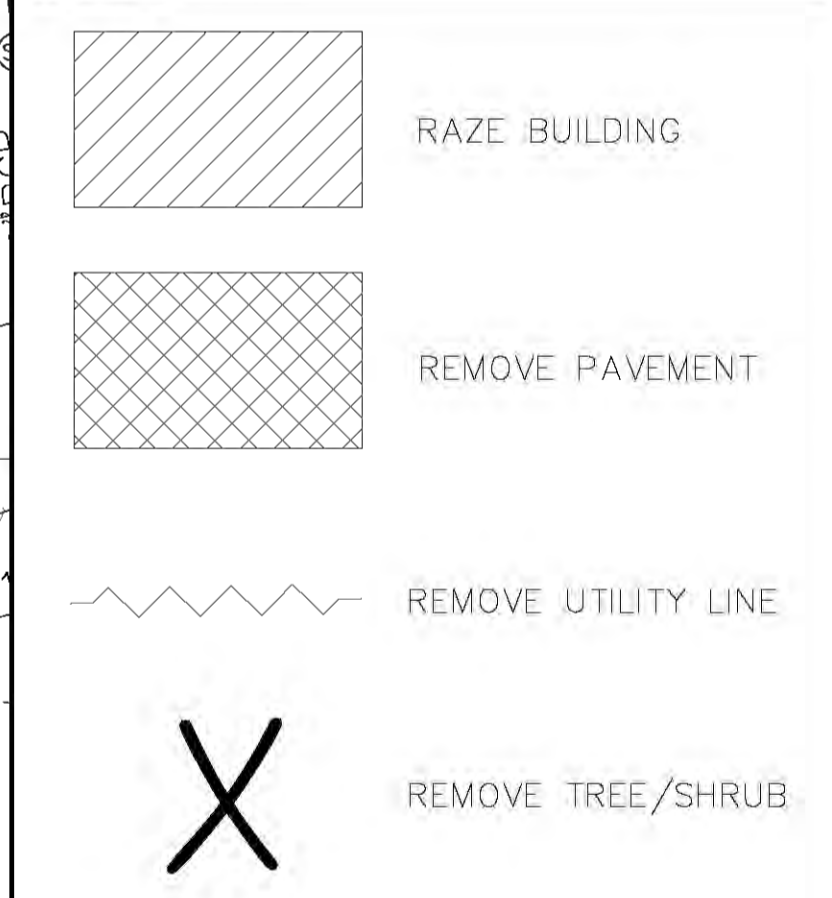
DEMOLITION NOTES:

- COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE.
- NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITH 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.
- TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
- TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

GENERAL NOTES:

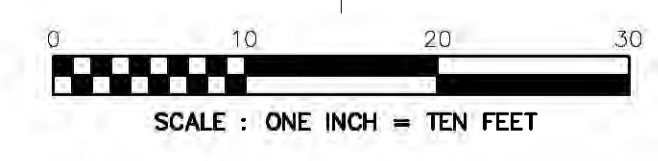
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS AS SHOWN ON THE PLANS.
- ANY PAVEMENT ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION.
- PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.

DEMO LEGEND



LEGEND			
OH	OVERHEAD UTILITY	⊠	FIRE HYDRANT
G	BURIED GAS MAIN	EH	ELECTRIC HAND HOLE
W	WATER MAIN	RC	RECTANGULAR CATCH BASIN
SAN	SANITARY SEWER	SI	STORM SEWER INLET
ST	STORM SEWER	EM	ELECTRIC MANHOLE
BT	BURIED TELEPHONE	TM	TELECOMM. MANHOLE
BE	BURIED ELECTRIC	SM	STORM SEWER MANHOLE
BC	BURIED CABLE TV	SSM	SANITARY SEWER MANHOLE
BO	BURIED FIBER OPTIC	DT	DECIDUOUS TREE
WV	WATER VALVE	CT	CONIFEROUS TREE
GV	GAS VALVE	BP	BITUMINOUS PAVEMENT
VP	CABLE TV PEDESTAL	CNC	CONCRETE PAVEMENT
EP	ELECTRIC PEDESTAL	LS	LANDSCAPING
TP	TELEPHONE PEDESTAL	B	BOLLARD
UP	UTILITY POLE	B	BENCHMARK
LP	LIGHT POLE	TS	TRAFFIC SIGNAL
GW	GUY WIRE		
S	SIGN		
IPF	IRON PIPE FOUND (OUTSIDE DIAMETER NOTED)		
SIRF	SOLID IRON ROD FOUND SIZE NOTED		
SIRF34	3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.		
SMN	SET MAG NAIL		
()	INDICATES RECORDED AS		

DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT. BUILDING DIMENSIONS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.



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www.bursesurveyeng.com

APPROVALS	PROJECT NO.	DATE	BY
MLB	2158 Atwood Avenue	06/24/2014	J. Krupp
PDF			
MLB			
MLB			

2158 Atwood Avenue
2158 Atwood Avenue
Madison, WI 53704

Joe Krupp
2020 Eastwood Drive
Madison, WI 53704

PROJECT #: BSE1732-14
PLOT DATE: 06/24/2014

REVISION DATES:

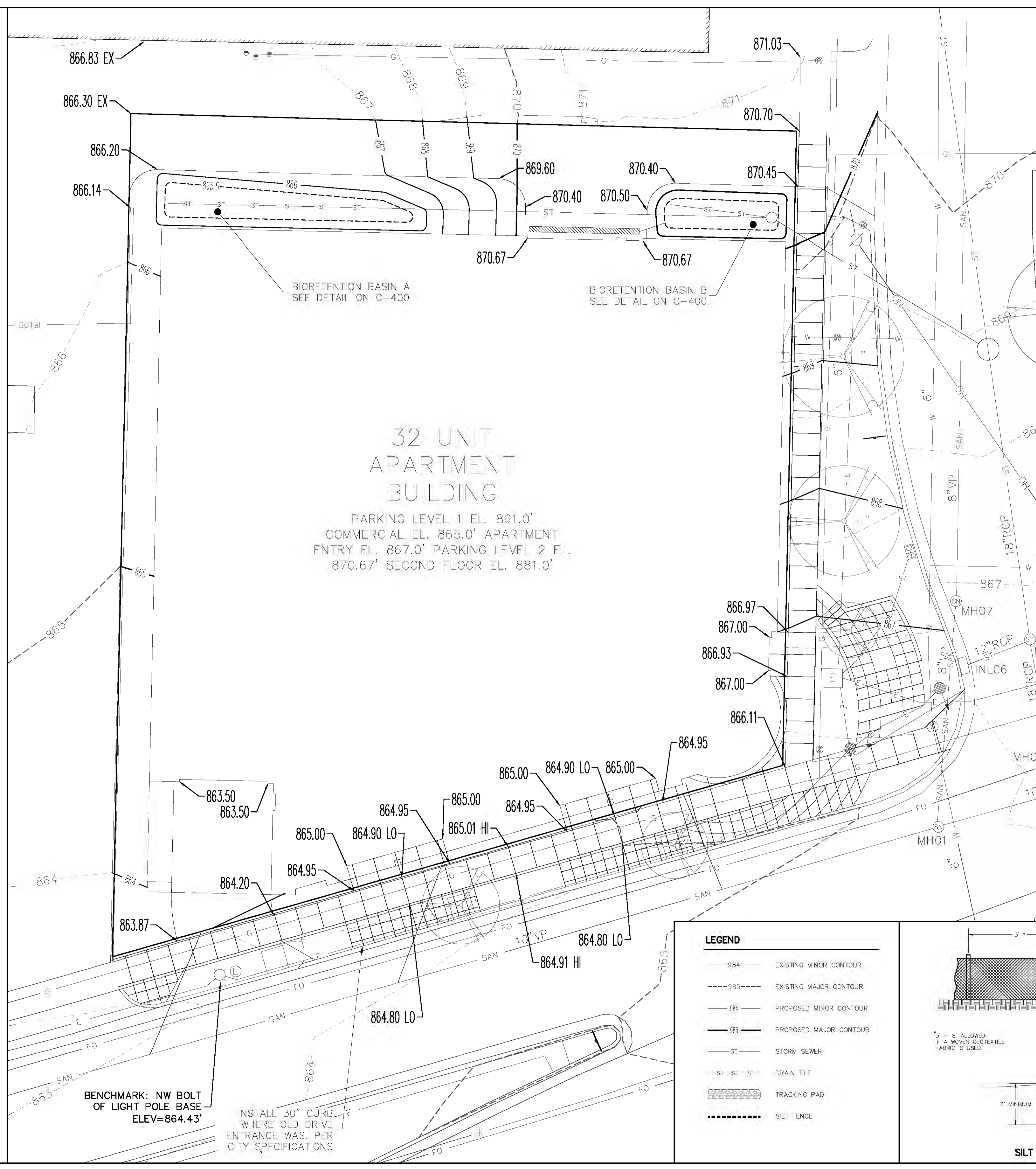
ISSUE DATES:
06/24/2014

DEMOLITION PLAN

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DRAWING NUMBER
C-200



Erosion Control Notes/Specifications:

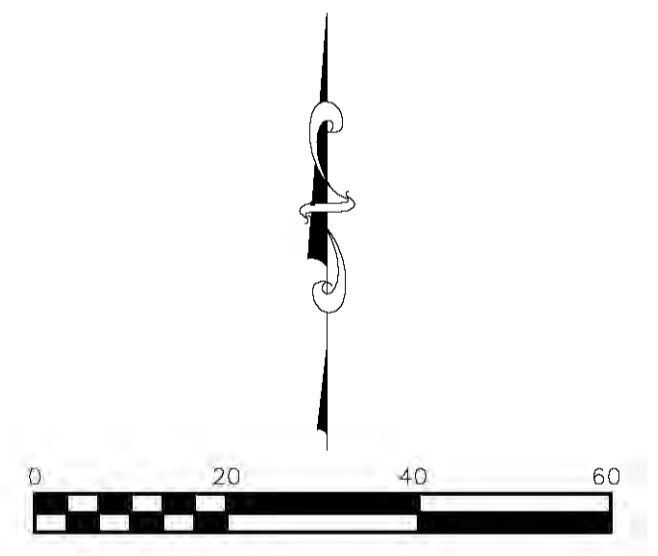
- Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- Construction Entrances - Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
- Dewatering - Water pumped from the site shall be treated by using a temporary sedimentation basin, portable dewatering basin, geotextile bag, or an equivalent device. Show on the plan the anticipated locations of dewatering activity, and provide an engineering detail of the dewatering system. Devices shall comply with WDNR Technical Standard 1061 found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.
- Storm Sewer Inlets - Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engrsvr/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until post-level stabilization is complete.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- Erosion control devices shall adhere to the technical standards found at: <http://dnr.wi.gov/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- All building and waste material shall be handled properly to prevent runoff of these materials off of the site.
- All disturbed areas shall be seeded immediately after grading activities have been completed.
- All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier. Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance to WDNR Technical Standard 1059 found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
- For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

Emergency Contact
 Joe Krupp
 Krupp Construction
 2020 Eastwood Drive
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 (608) 249-2020
joe@kruppconstruction.com

Schedule:

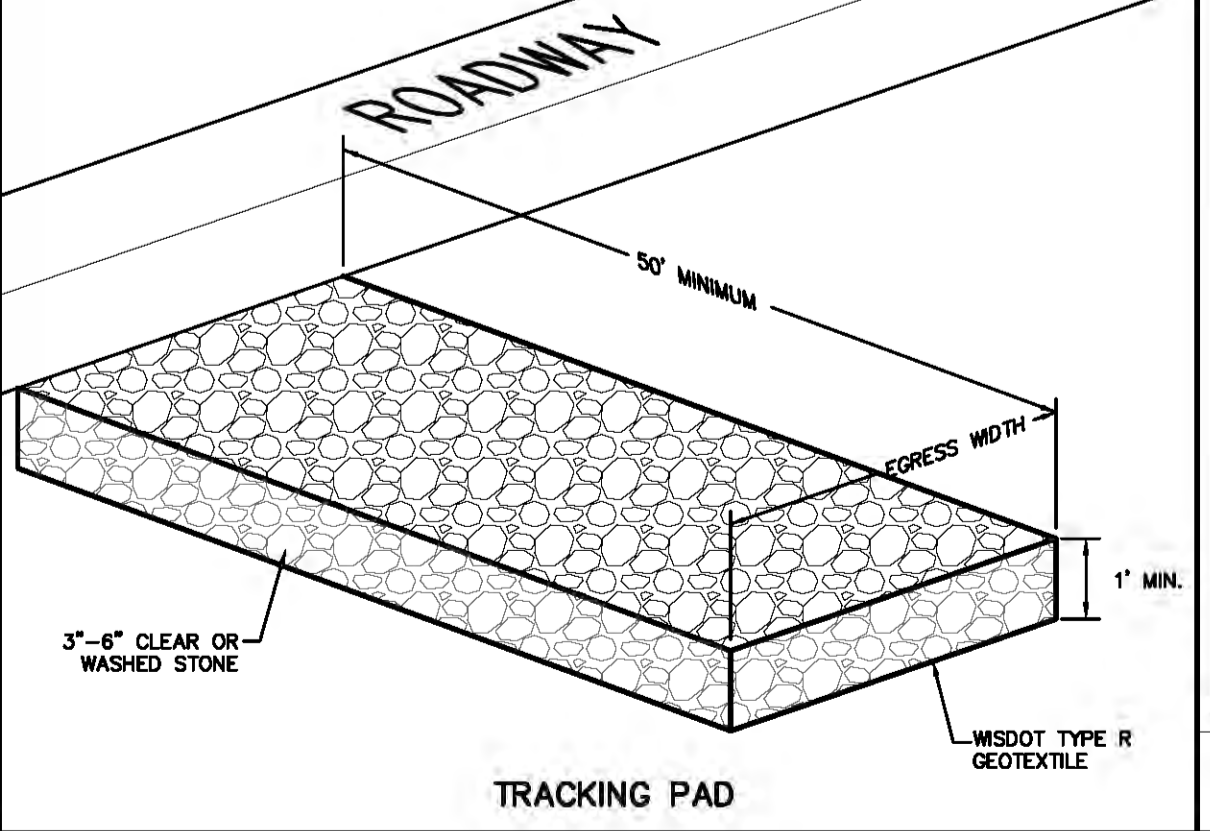
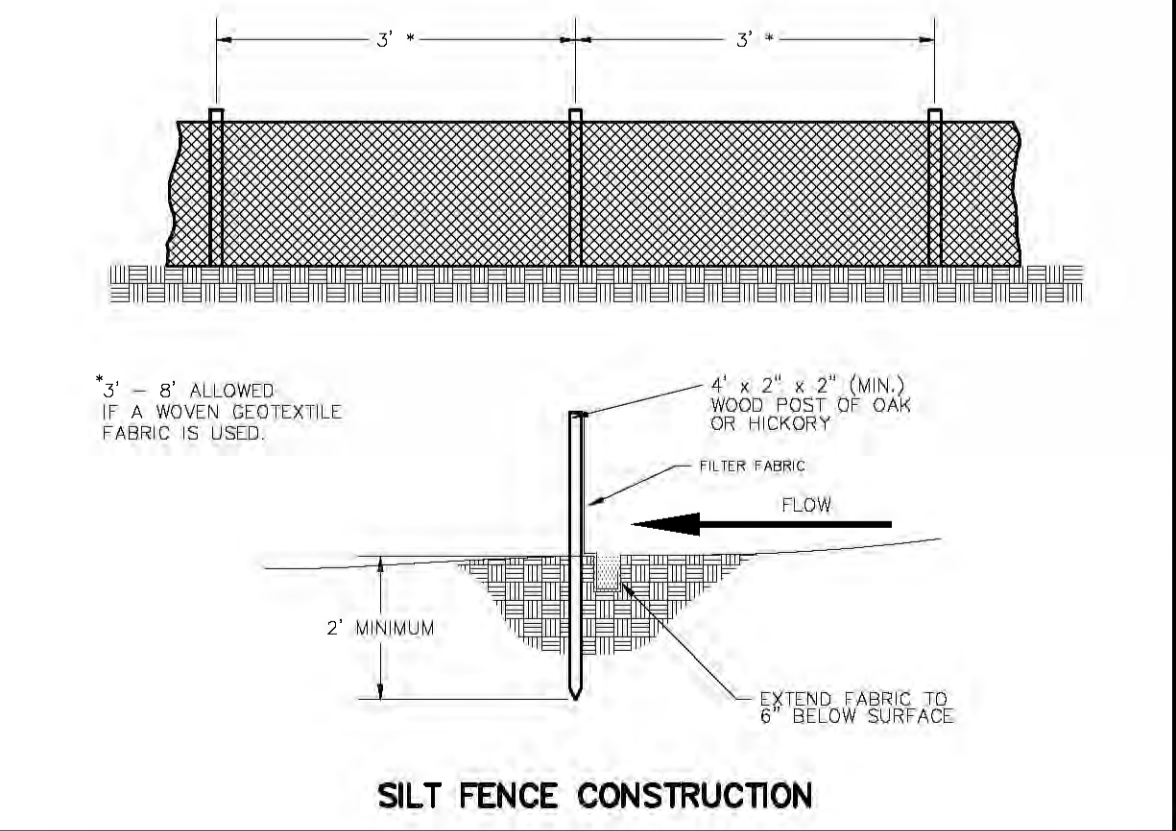
September 1, 2014	Install silt fence and construction entrance.
September 2, 2014	Begin disturbance of site ground cover.
September 1, 2015	Hardscape installed. Apply seed and mulch to all previous areas.
November 1, 2015	Vegetation established.

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
www.DiggersHotline.com



LEGEND

984	EXISTING MINOR CONTOUR
985	EXISTING MAJOR CONTOUR
984	PROPOSED MINOR CONTOUR
985	PROPOSED MAJOR CONTOUR
ST	STORM SEWER
ST-ST-ST	DRAIN TILE
[Pattern]	TRACKING PAD
[Dashed]	SILT FENCE



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 Fax: 608-250-9266
 e-mail: MBurse@bse-inc.net
www.bursesurveyeng.com

APPROVALS

PROJECT USE	MLB
DESIGNED BY	MLB
DRAWN BY	MLB
CHECKED BY	MLB
APPROVED	MLB

2158 Atwood Avenue
 2158 Atwood Avenue
 Madison, WI 53704

Joe Krupp
 2020 Eastwood Drive
 Madison, WI 53704

PROJECT #: BSE1732-14
PLOT DATE: 06/24/2014

REVISION DATES:

ISSUE DATES:
 06/24/2014

GRADING AND EROSION CONTROL PLAN

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C-300

APPROVALS	MLB	PDF	PDF	MLB	MLB
PROJECT	DATE	DATE	DATE	DATE	DATE

2158 Atwood Avenue
2158 Atwood Avenue
Madison, WI 53704

Joe Krupp
2020 Eastwood Drive
Madison, WI 53704

PROJECT #: BSE1732-14
PLOT DATE: 06/24/2014

REVISION DATES:

ISSUE DATES:
06/24/2014

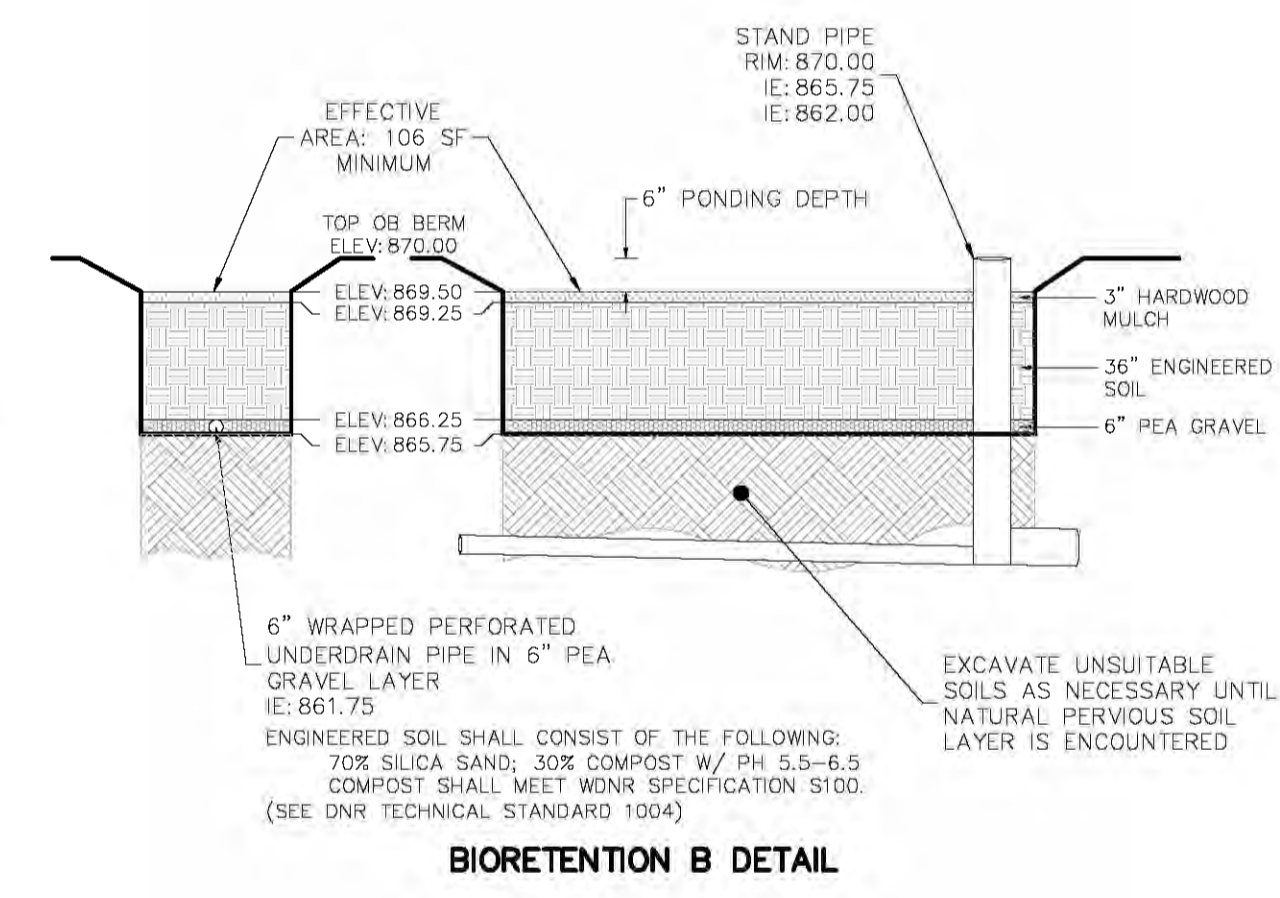
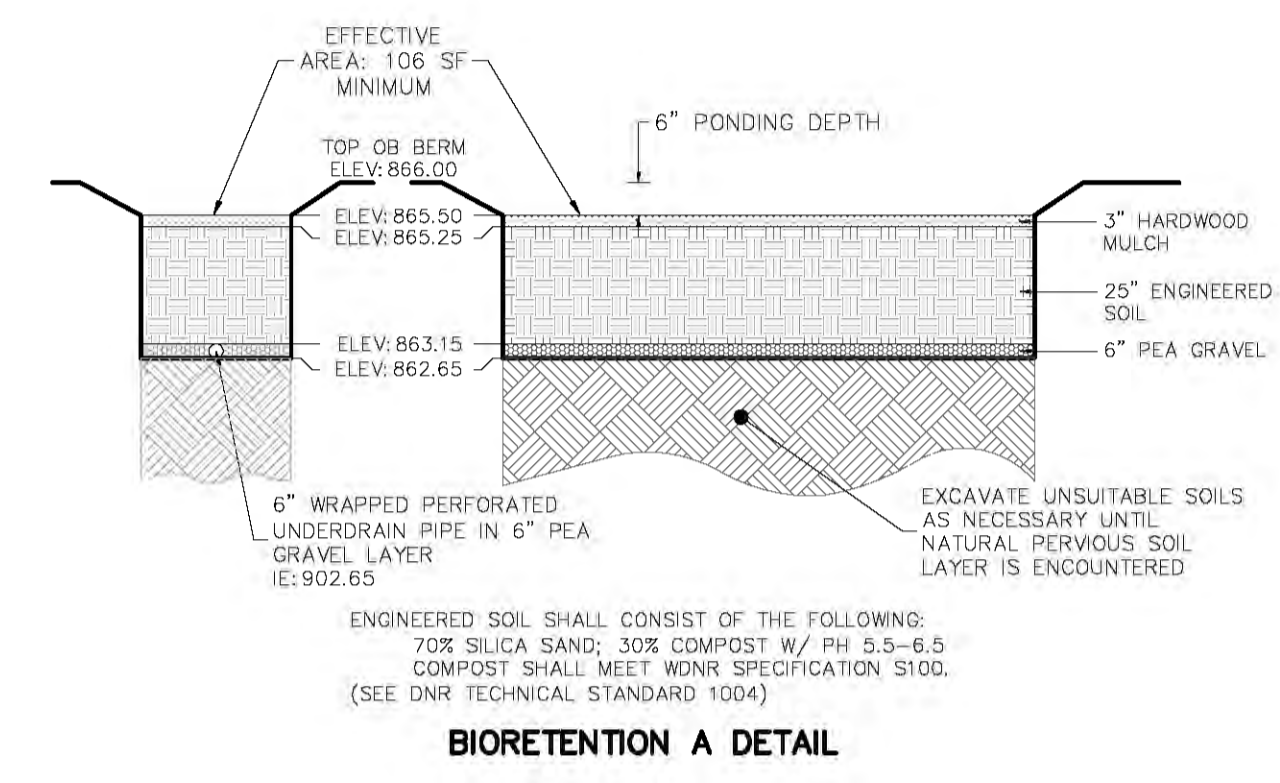
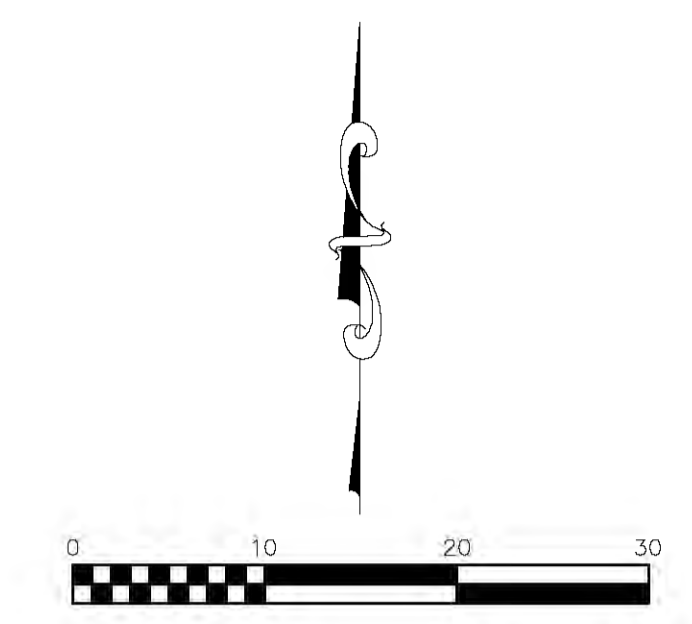
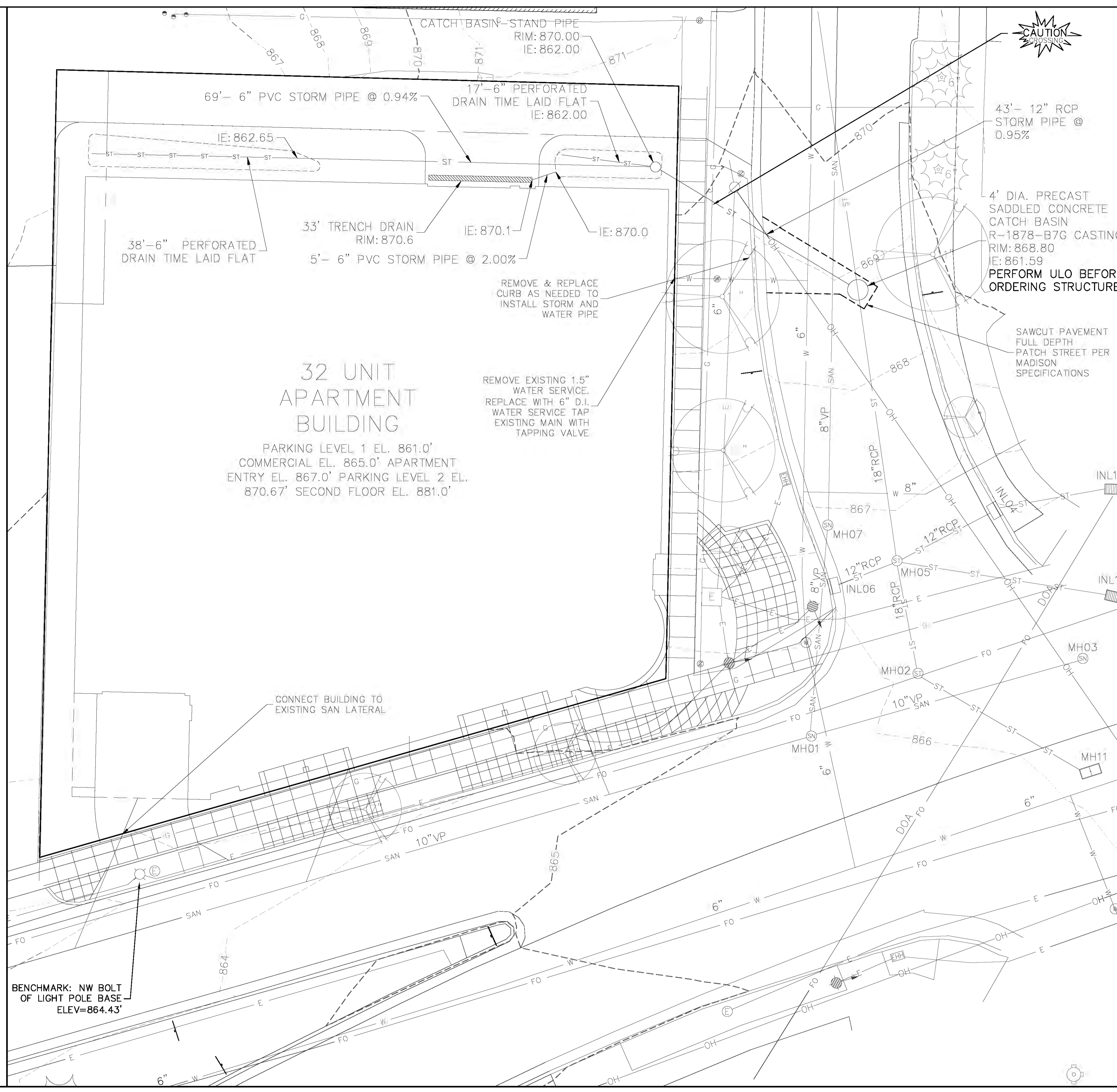
UTILITY PLAN

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DRAWING NUMBER

C-400

M:\BSE1732\Engineering\BSE1732Eng.dwg Printed: Jun 24, 2014 - 3:04pm Printed By: Peter



STORM SEWER AND SANITARY SEWER ELEVATION TABLE

NUMBER	RIM/TC	INVERT ELEV.	INVERT ELEV.	INVERT ELEV.	INVERT ELEV.
MH01	865.88	E IE: 851.60	N IE: 851.76	W IE: 851.50	
MH02	866.10	FLOOR: 859.60	FULL OF WATER, NO PIPES VISIBLE		
MH03	866.31	E IE: 851.45	S IE: 851.76	W IE: 851.41	
INL04	866.92	E IE: 863.42	W IE: 863.42		
MH05	866.66	E IE: 862.41	W IE: 863.28	N IE: 861.41	S IE: 861.38
INL06	866.76	E IE: 863.75			
MH07	866.84	NE IE: 860.49	N IE: 859.66	S IE: 859.34	
MH08	860.72	W IE: 850.21	N IE: 850.57	E IE: 850.31	S IE: 852.92
MH09	873.51	N IE: 865.09	S IE: 864.89		
MH10	872.78	FLOOR: 860.50	S IE: 862.04		
MH11	866.05	UNABLE TO OPEN.			
INL12	866.28	FABRIC BARRIER, NOT ABLE TO MEASURE			
INL13	865.76	W IE: 861.91	E IE: 862.06		

DIGGERS HOTLINE
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PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE	ROOT CONDITION	STEM
EVERGREEN SHRUBS						
TMT	<i>Taxus x media</i> 'Tauntonii'	Taunton Yew	4	15"	B&B	
DECIDUOUS SHRUBS						
CSA	<i>Cornus sericea</i> 'Allemani'	Allemani's Compact Dogwood	15	#5	Cont.	
CSI	<i>Cornus sericea</i> 'Isant'	Isant Dogwood	3	#5	Cont.	
POD	<i>Physocarpus opulifolius</i> 'Donna May'	Little Devil Ninebark	3	#3	Cont.	
PS	<i>Philadelphus</i> 'Snowbelle'	Snowbelle Mockorange	4	#3	Cont.	
ORNAMENTAL GRASSES						
AM	<i>Achillea millefolium</i> 'Moonshine'	Moonshine Yarrow	9	#1	Cont.	
EPP	<i>Echinacea purpurea</i> 'PowWow White'	PowWow White Coneflower	14	#1	Cont.	
PVS	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	44	#1	Cont.	
RFV	<i>Rutbeckia fuldiga</i> 'Vielte's Little Suzy'	Little Suzy Black-eyed Susan	11	#1	Cont.	

SM Decorative Stone over fabric weed barrier

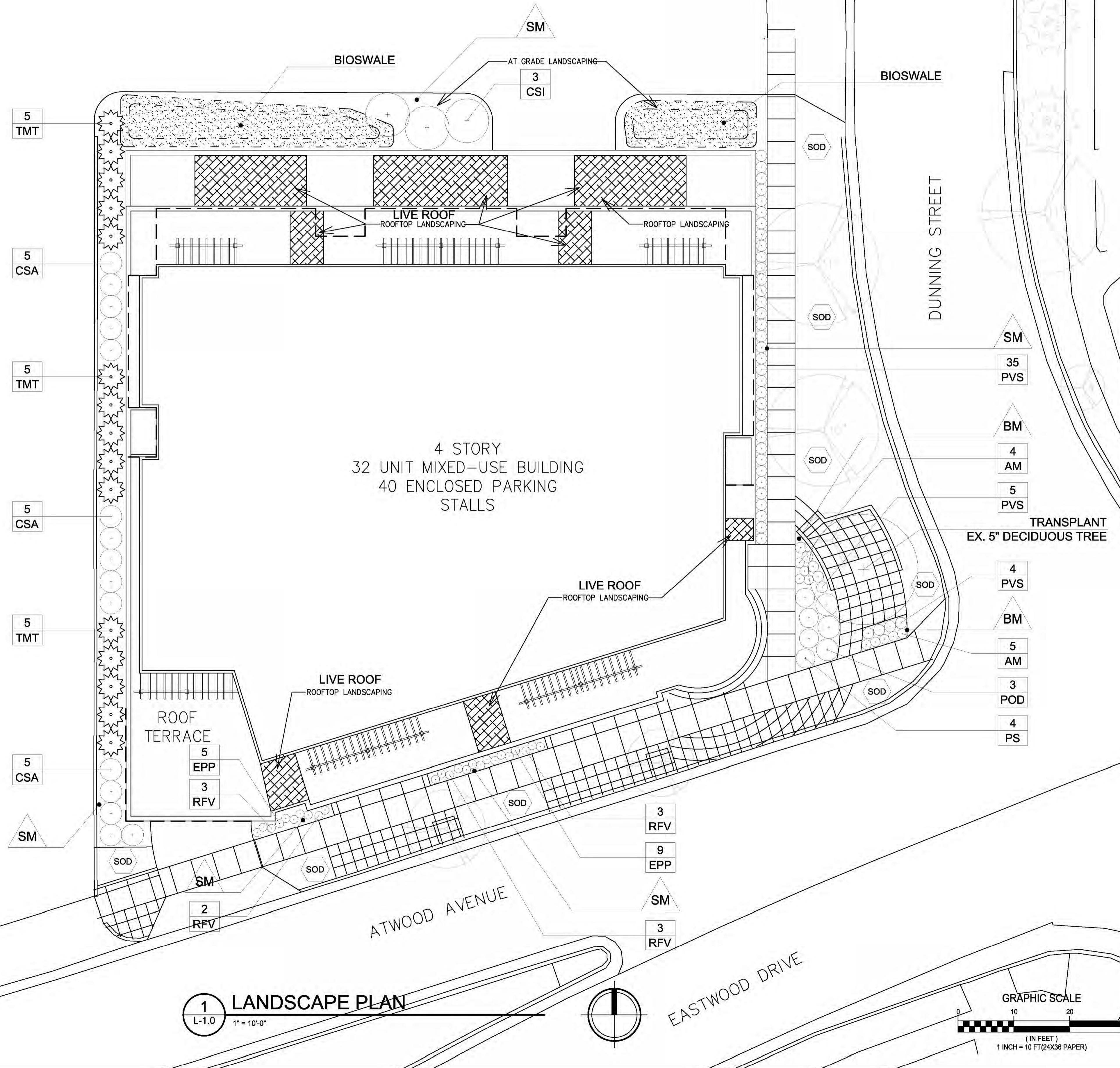
BM Brown Dyed Wood Mulch

SOD

BIOSWALES

Plant Name	QTY	Size	Planting Method	Planting Size
Butterfly Weed	50	2.5"	Plug	12" O.C.
Blue False Indigo	40	2.5"	Plug	12" O.C.
White False Indigo	40	2.5"	Plug	12" O.C.
Purple Coneflower	40	2.5"	Plug	12" O.C.
Blue Flag Iris	40	2.5"	Plug	12" O.C.
Cardinal Flower	40	2.5"	Plug	12" O.C.
Marsh Blazingstar	40	2.5"	Plug	12" O.C.
Brown Eyed Susan	40	2.5"	Plug	12" O.C.
Stiff Goldenrod	40	2.5"	Plug	12" O.C.
Botanish Sedge	50	2.5"	Plug	12" O.C.
Fox Sedge	50	2.5"	Plug	12" O.C.
Torney's Rush	50	2.5"	Plug	12" O.C.
Switch Grass	50	2.5"	Plug	12" O.C.

ZION LUTHERAN CHURCH



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Middleton, WI 53562
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WEB: www.olsontoon.com

ISSUED
Issued for Review - June 25, 2014

PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
Landscape Plan

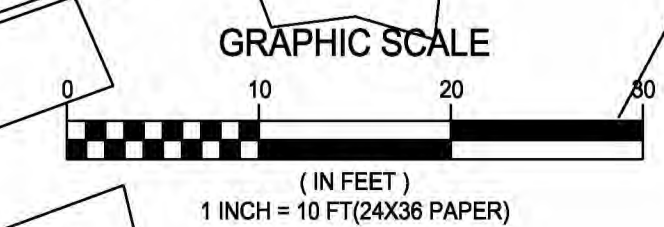
SHEET NUMBER

L-1.0

PROJECT NO. **1359**

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1 LANDSCAPE PLAN
L-1.0 1" = 10'-0"





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ISSUED
Issued for Review - June 17, 2014

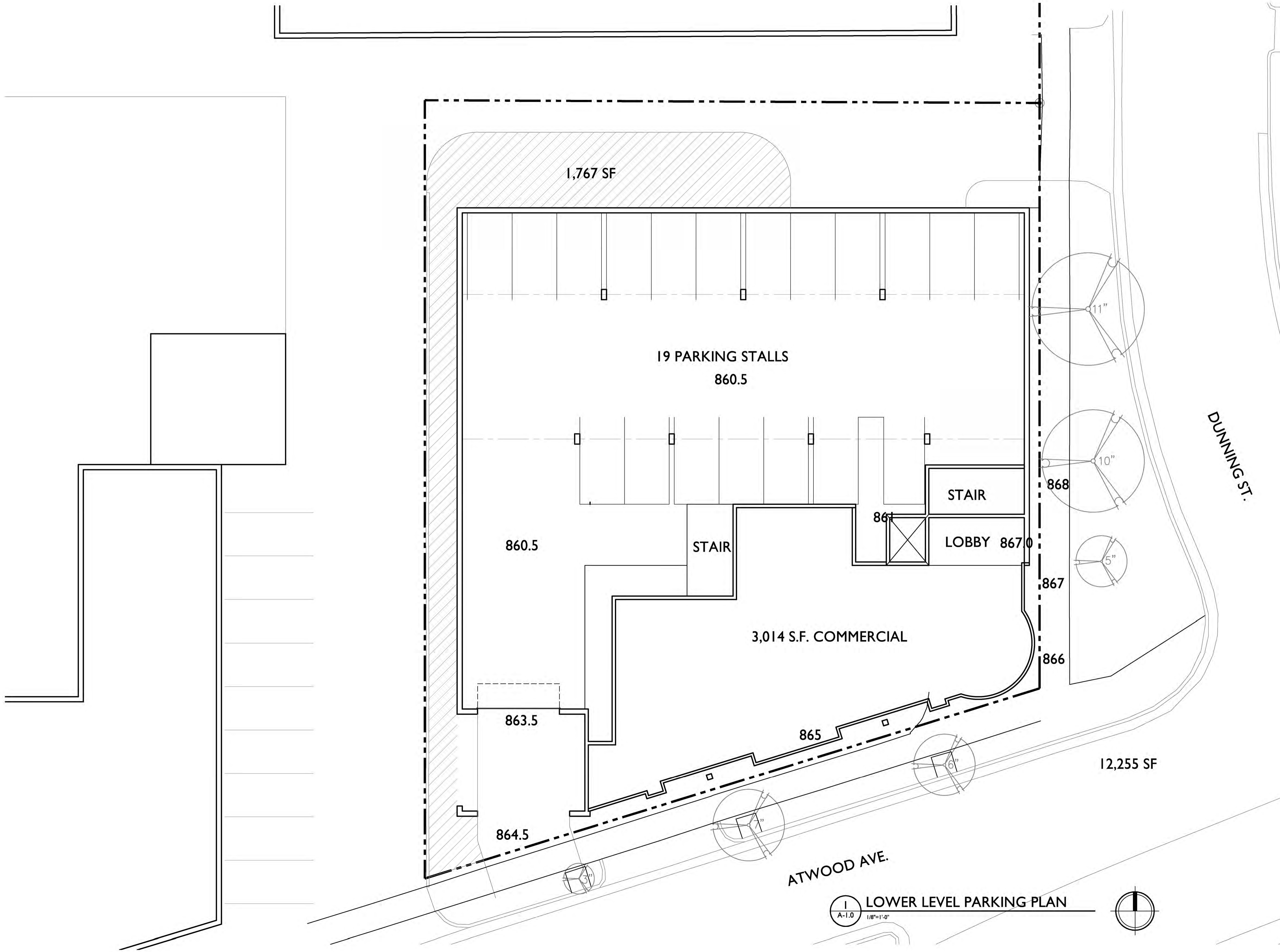
PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
**Lower Level
Parking Plan**

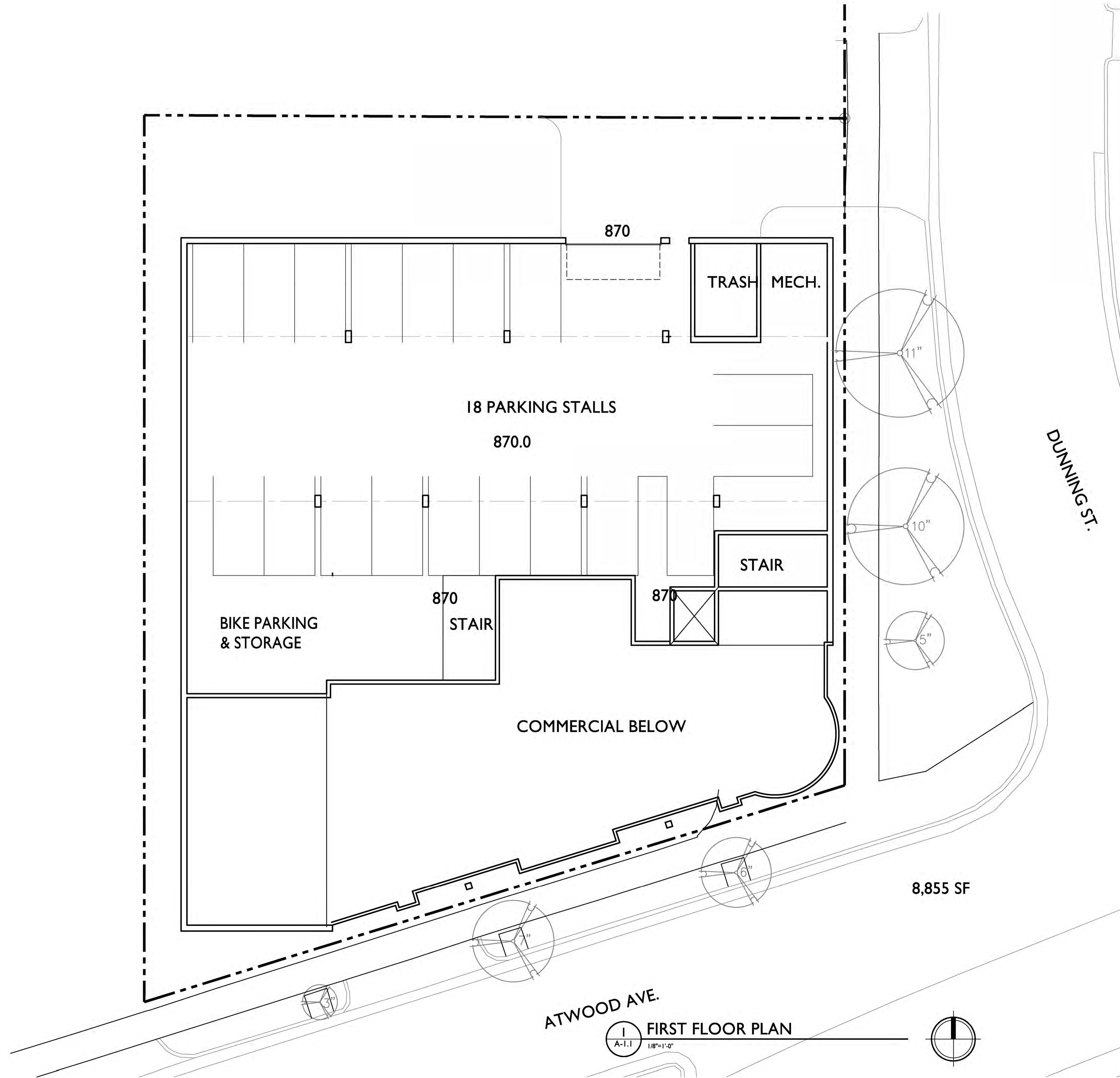
SHEET NUMBER

A-1.0

PROJECT NO. **1359**
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1 LOWER LEVEL PARKING PLAN
A-1.0 1/8"=1'-0"





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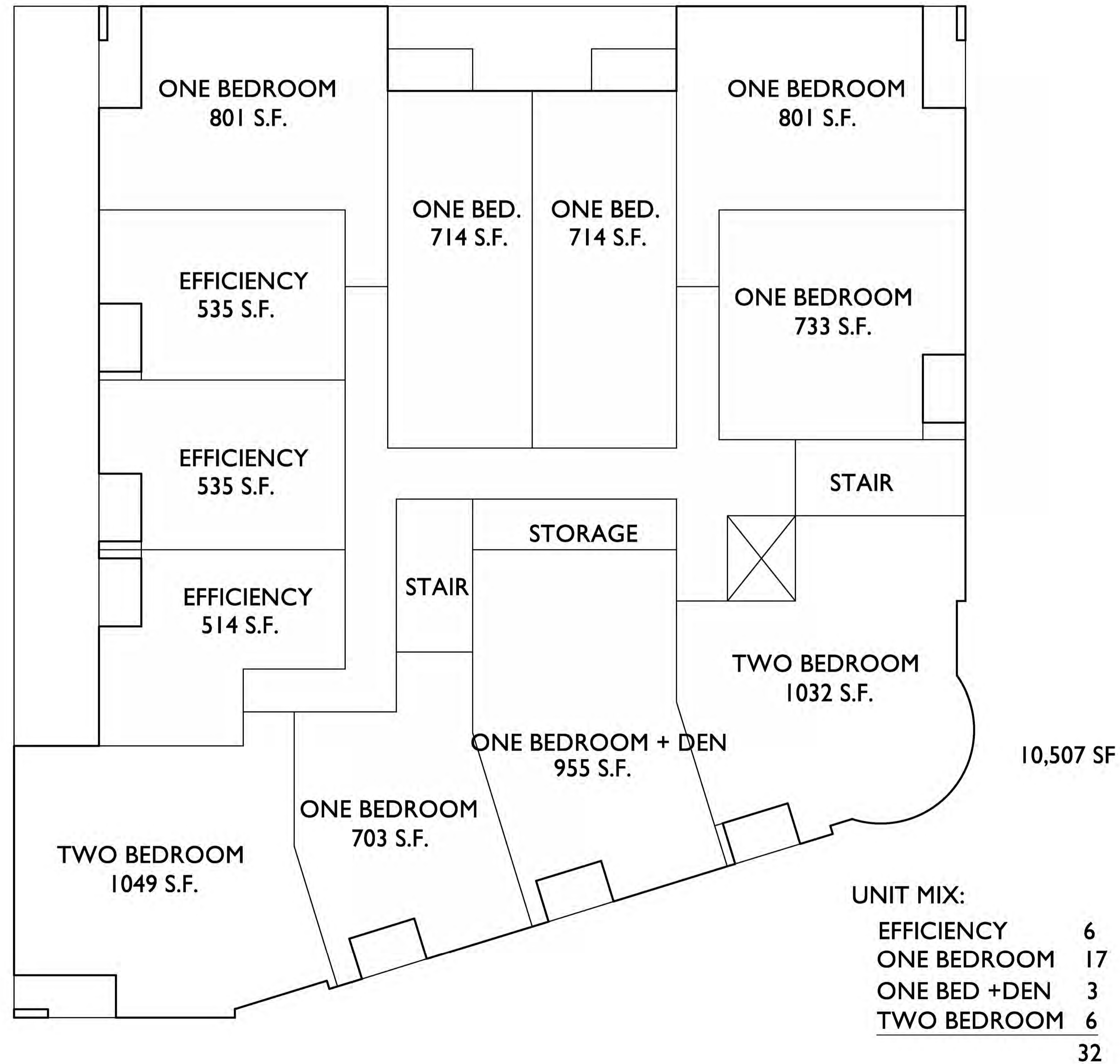
PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
Second Floor Plan

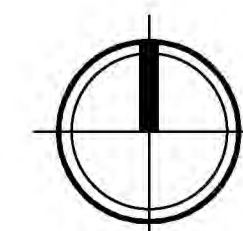
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A-1.2

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1 SECOND FLOOR PLAN
A-1.2 1/8"=1'-0"





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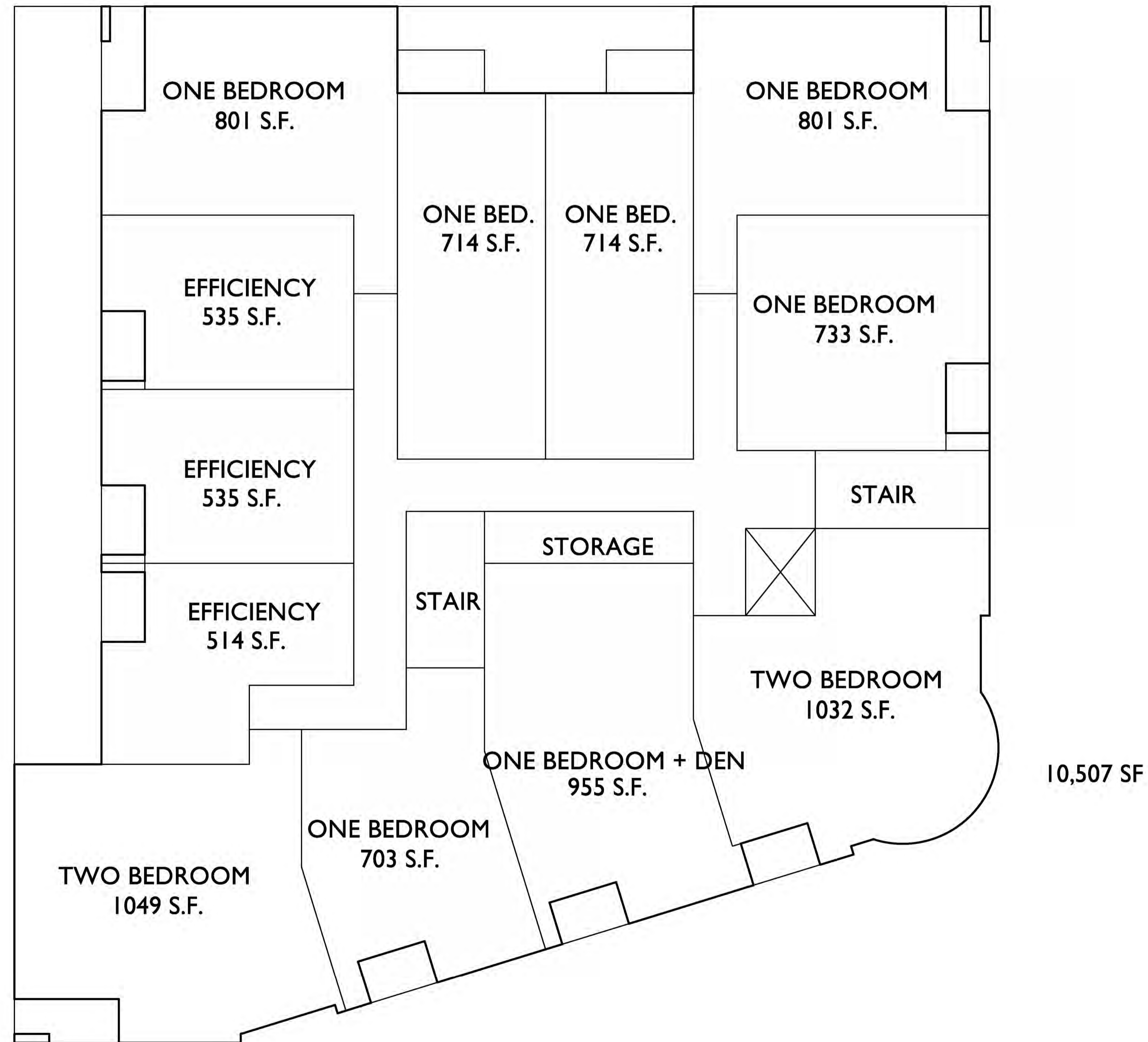
PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
Third Floor Plan

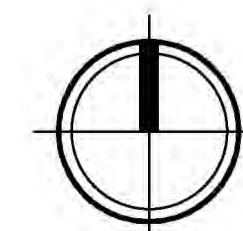
SHEET NUMBER

A-1.3

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1 THIRD FLOOR PLAN
A-1.3 1/8"=1'-0"





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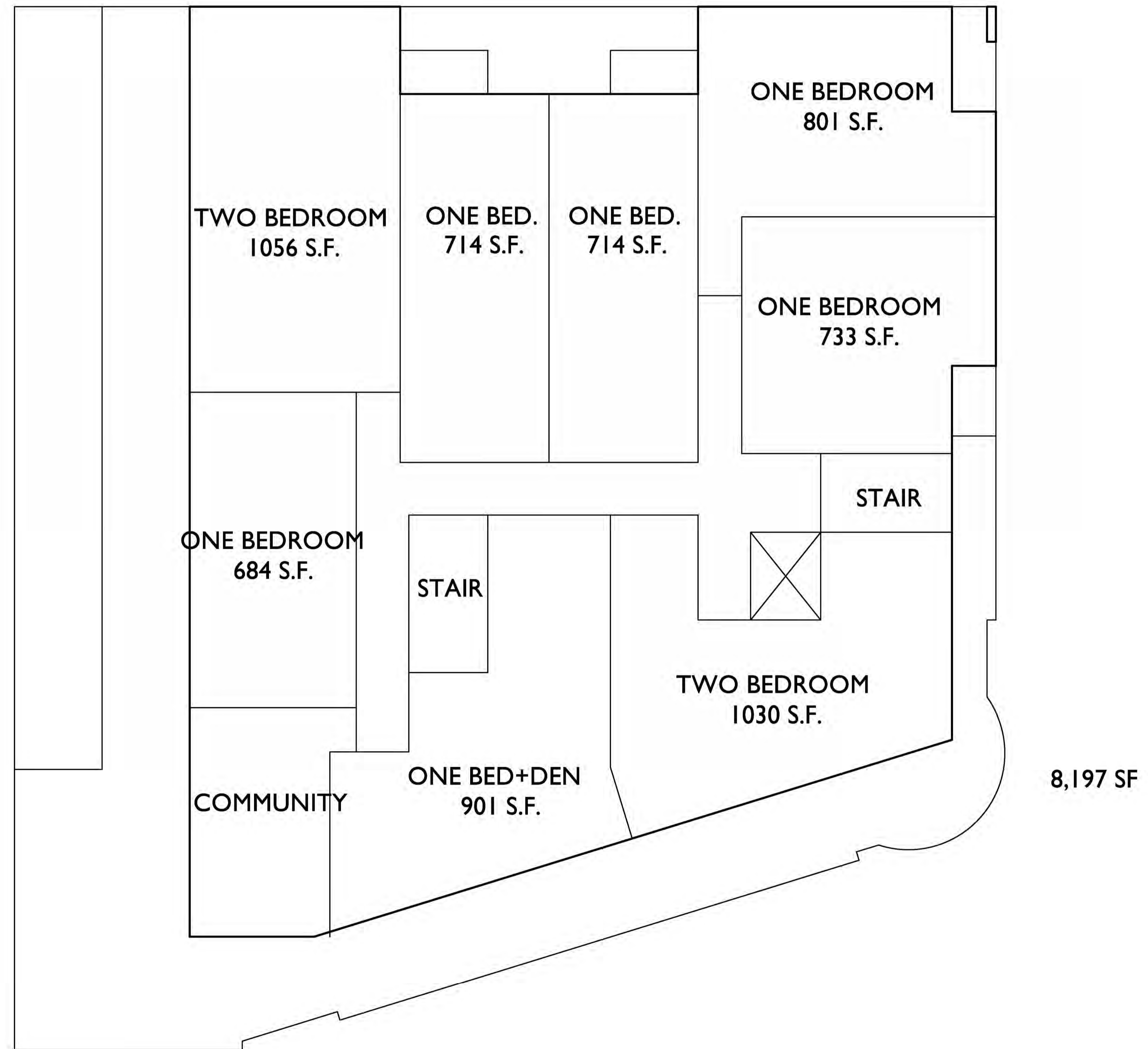
PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
Fourth Floor Plan

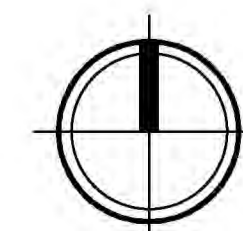
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A-1.4

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FOURTH FLOOR PLAN
1/8"=1'-0"





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1 SOUTH ELEVATION - ATWOOD AVE.
A-2.1 1/8"=1'-0"



2 EAST ELEVATION - DUNNING ST.
A-2.1 1/8"=1'-0"

PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
**Exterior
Elevations**

SHEET NUMBER

A-2.1

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1 NORTH ELEVATION
A-2.1 1/8"=1'-0"



2 WEST ELEVATION
A-2.1 1/8"=1'-0"

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Issued for Review - June 17, 2014

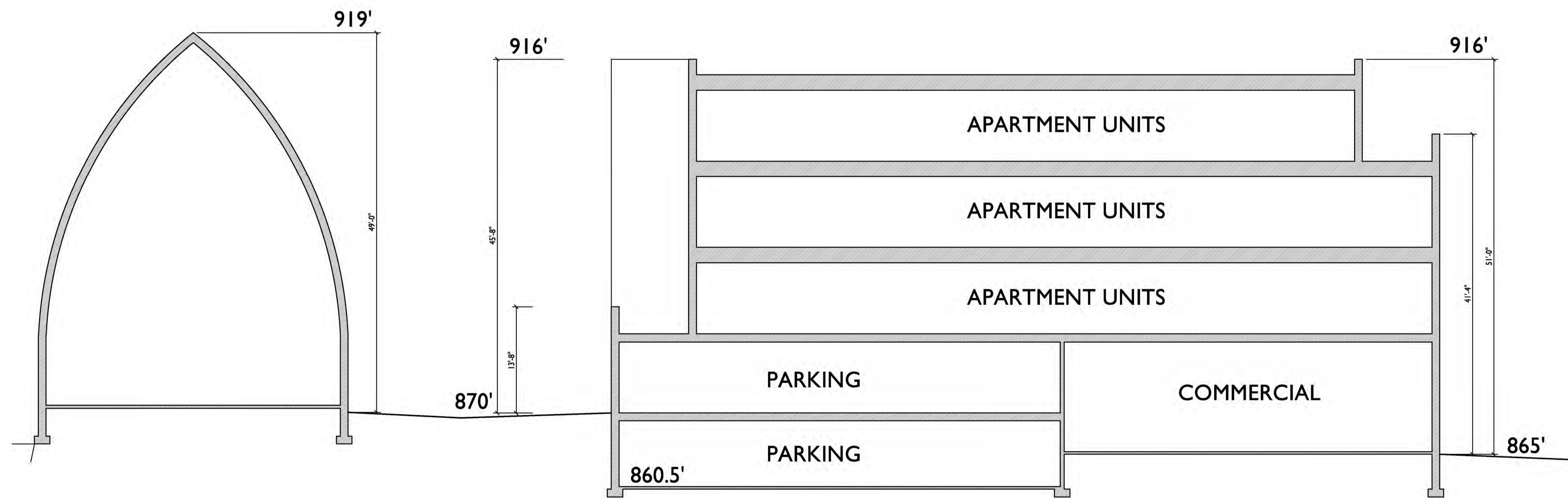
PROJECT TITLE
KRUPP
ATWOOD
DEVELOPMENT

2158 Atwood Ave
SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.2

PROJECT NO. 1359
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PROJECT TITLE
**KRUPP
ATWOOD
DEVELOPMENT**

2158 Atwood Ave
SHEET TITLE
Building Section

I SCHEMATIC SITE SECTION
A-3.1 1/8"=1'-0"

SHEET NUMBER

A-3.1