



Location
222 Langdon Street

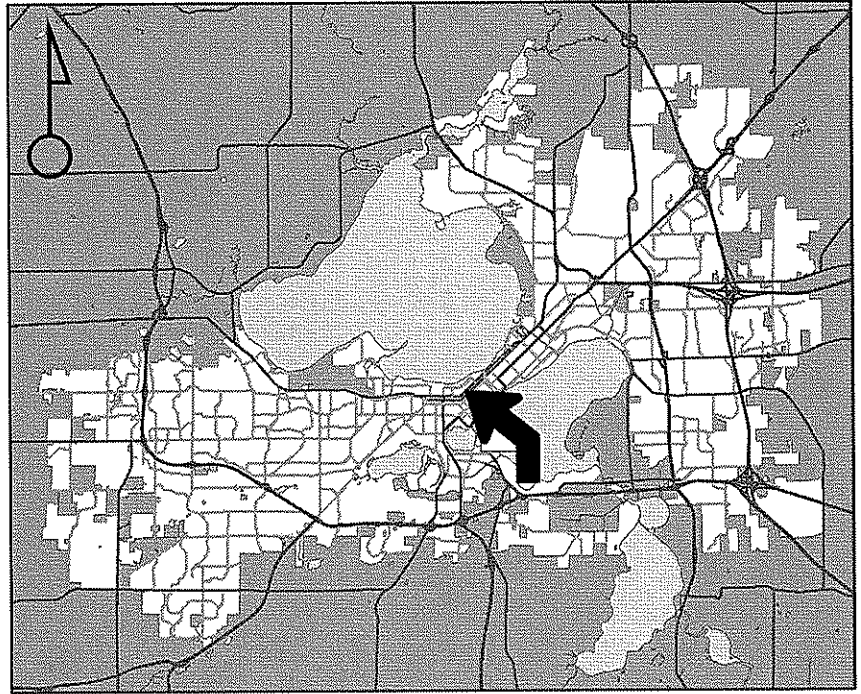
Project Name
ACACIA

Applicant
Jim McFarland – ACACIA Foundation of Wisconsin/Thomas Miller – The Alexander Group

Existing Use
Fraternity House

Proposed Use
Convert Former Lodging House into Apartment Building with Lodging Rooms

Public Hearing Date
Plan Commission
15 September 2008



For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 02 September 2008



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid \$550.00 Receipt No. 93566
 Date Received 8/6/08
 Received By JLK
 Parcel No. 0709 144 1934 0
 Aldermanic District 2 Brenda Konkol
 GQ Nat'l Reg Hist Places, DD24
 Zoning District R6 DD24
For Complete Submittal
 Application Letter of Intent
 IDUP _____ Legal Descript. on survey
 Plan Sets Zoning Text NA
 Alder Notification _____ Waiver _____
 Ngrbrd. Assn Not. _____ Waiver _____
 Date Sign issued 8/10/08

1. **Project Address:** 222 Langdon Street, 229 W. Lakelawn Place **Project Area in Acres:** .32 ac

Project Title (if any): ACACIA

2. **This is an application for:** (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: 222 Langdon, LLC Company: c/o The Alexander Company, Inc.

Street Address: 145 East Badger Road City/State: Madison, WI Zip: 53703

Telephone: (608) 258-5580 Fax: (608) 258-5599 Email: tcm@alexandercompany.com

Project Contact Person: Thomas Miller Company: The Alexander Company, Inc.

Street Address: 145 East Badger Road City/State: Madison Zip: 53703

Telephone: (608) 258-5580 Fax: (608) 258-5599 Email: tcm@alexandercompany.com

Property Owner (if not applicant): ACACIA Foundation of Wisconsin c/o Jim McFarland

Street Address: 720 Wisconsin Avenue - NW Mutual City/State: Milwaukee, WI Zip: 53202-4797

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: Rehabilitation of the ACACIA fraternity into apartments and lodging rooms.

Development Schedule: Commencement Cond. Use App. 8/6/2008 Completion Occupancy 8/1/2009

CONTINUE →

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - Seven (7) copies of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - Seven (7) copies of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - One (1) copy of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 500 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of _____ Plan, which recommends:

The project is not within the limits of an adopted City Neighborhood Plan _____ for this property.

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30 days** prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Brenda Konkel, Capitol Neighborhoods, Inc. (State/Langdon District), Notice Date 7/2/2008

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.


Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff, note staff persons and date.

Planner Heather Stouder, AICP Date 6/25/08 | Zoning Staff Matt Tucker Date 6/25/08

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Thomas Miller Date 8/5/2008

Signature  Relation to Property Owner Agent

Authorizing Signature of Property Owner  Date 8/5/08



August 6, 2008

Matthew Tucker
Zoning Administrator
Madison Municipal Building, LL100
215 Martin Luther King, Jr. Blvd.
PO Box 2984
Madison, WI 53701-2984

Dear Matt,

This is our Letter of Intent for the property located at 222 Langdon Street in Madison. The existing building is a 20 bedroom fraternity. We wish to remodel the building into apartment and lodging-room usage with 9 lodging rooms and 7 apartments with a total of 27 sleeping rooms. The rehabilitation work will meet the National Parks Service Standards for Rehabilitation.

The gross square footage of the building would be 12,202, including the basement and floors one through four. The lot size is 13,940 square feet (.32 acres). There are 11 parking stalls, bike parking and a trash enclosure provided onsite.

The development schedule, assuming this application is heard and approved at the Plan Commission's September 15th meeting, is to finish construction drawings and begin construction on or near November 23, 2008. The remodeling should take 6 to 8 months and the building should be available for use in August of 2009.

At this time, we are acting as our own general contractor. This may change, and if we hire a contractor we will contact you in a timely manner. The contact person at our office is Thomas Miller, Planning & Development Project Manager. The owner of the property is 222 Langdon, LLC.

Please call me at 608-258-5580 if you require further information.

Sincerely,

THE ALEXANDER COMPANY, INC.

A handwritten signature in black ink, appearing to read "Tom Miller", with a long horizontal line extending to the right.

Thomas Miller
Planning & Development Project Manager

CC: Brenda Konkel, Alder
Bob Holloway, CNI
Adam Winkler, The Alexander Company, Inc.
File

(Handwritten mark)

Alexander Company

145 E. Badger Road
Madison, WI 53713
Telephone: 608-258-5590
Fax: 608-258-5595

ACACIA

2222 LANGDON ST. MADISON WI

ALEXANDER COMPANY

145 EAST BADGER ROAD
SUITE 200
MADISON, WI. 53713

DRAWING INDEX

NO.	TITLE
01	TITLE SHEET
02	GENERAL NOTES
03	FOUNDATION
04	FIRST FLOOR
05	SECOND FLOOR
06	ROOF
07	MECHANICAL
08	ELECTRICAL
09	PLUMBING
10	PAINT
11	LANDSCAPE

DRAWING INDEX

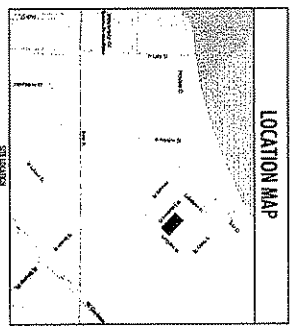
NO.	TITLE
12	MECHANICAL
13	ELECTRICAL
14	PLUMBING
15	PAINT
16	LANDSCAPE
17	SECTION
18	DETAILS
19	SCHEDULES
20	FINISHES

PROJECT DATA/CODE REVIEW

GENERAL NOTES	
FOUNDATION	CONCRETE
FIRST FLOOR	CONCRETE
SECOND FLOOR	CONCRETE
ROOF	ASPH/FLT
MECHANICAL	MECHANICAL
ELECTRICAL	ELECTRICAL
PLUMBING	PLUMBING
PAINT	PAINT
LANDSCAPE	LANDSCAPE
SECTION	SECTION
DETAILS	DETAILS
SCHEDULES	SCHEDULES
FINISHES	FINISHES

PROJECT DATA/CODE REVIEW

FOUNDATION	CONCRETE
FIRST FLOOR	CONCRETE
SECOND FLOOR	CONCRETE
ROOF	ASPH/FLT
MECHANICAL	MECHANICAL
ELECTRICAL	ELECTRICAL
PLUMBING	PLUMBING
PAINT	PAINT
LANDSCAPE	LANDSCAPE
SECTION	SECTION
DETAILS	DETAILS
SCHEDULES	SCHEDULES
FINISHES	FINISHES



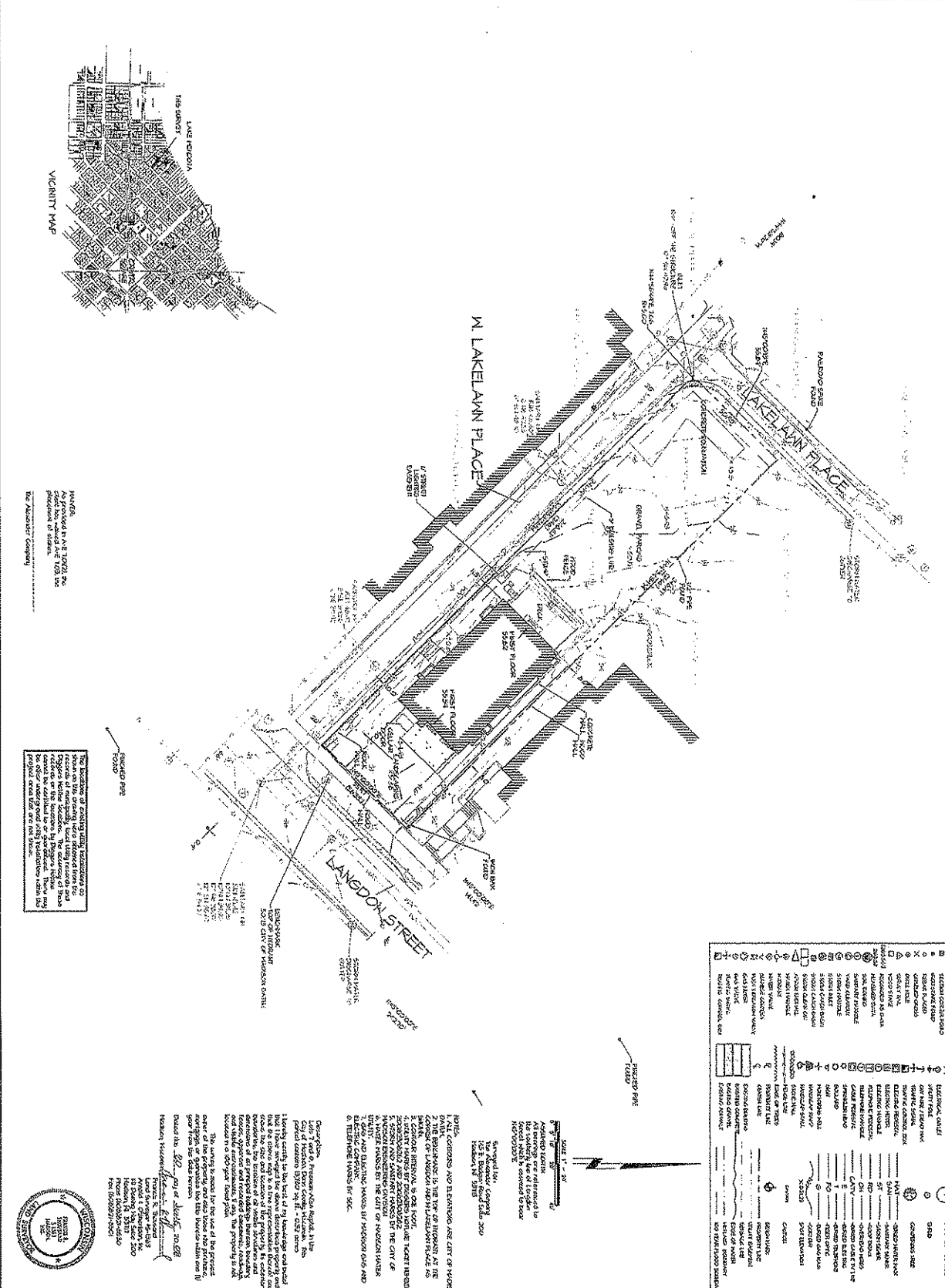
APPROVALS	NAME	DATE
DESIGNER		
CHECKER		
DATE		

PRELIMINARY
FOR INFORMATION PURPOSES ONLY
NOT FOR CONSTRUCTION

NO.	REVISION	DATE	BY

ACACIA
2222 LANGDON ST
MADISON WI
PROJECT # 08-667
TITLE SHEET & DRAWING INDEX

11

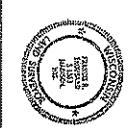


Map data provided by Esri, DeLorme, Garmin, IGN, Intermap, iPC, NRC, Swire, GEBCO, USGS, AeroGRID, IGN, Esri, and the US Government agency for the Department of Defense. All rights reserved. © 2006 Autodesk, Inc. All rights reserved. Autodesk reserves the right to alter product offerings and specifications at any time without notice, and is not responsible for typographical or graphical errors that appear hereon.

FOR INFORMATION, ANY EXISTING EASEMENTS OR RIGHTS OF WAY shown on this drawing were obtained from the public records of the County of Dane, Wisconsin and the City of Madison, Wisconsin. It is the responsibility of the owner to verify the location and extent of all easements and rights of way by other means and to provide the necessary easements for the proposed work to be shown.

LEGEND

Symbol	Description
(Circle with dot)	Lot 1 and 2
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ACACIA HOUSE
222 LANGDON STREET
MADISON, WISCONSIN

THE ALEXANDER COMPANY

ACACIA HOUSE
222 LANGDON STREET
MADISON, WISCONSIN

ARNOLD AND OSHERMAN INC.
ENGINEERS AND ARCHITECTS
1110 WEST CENTER STREET
MADISON, WI 53706
PHONE: 735-4444
FAX: 735-4444
WEBSITE: www.aosinc.com

SV-1

8

Alexander Company

145 E. Sawyer Road
 Suite 200
 Madison, WI 53713
 Telephone 608-255-5500
 Fax 608-255-5525

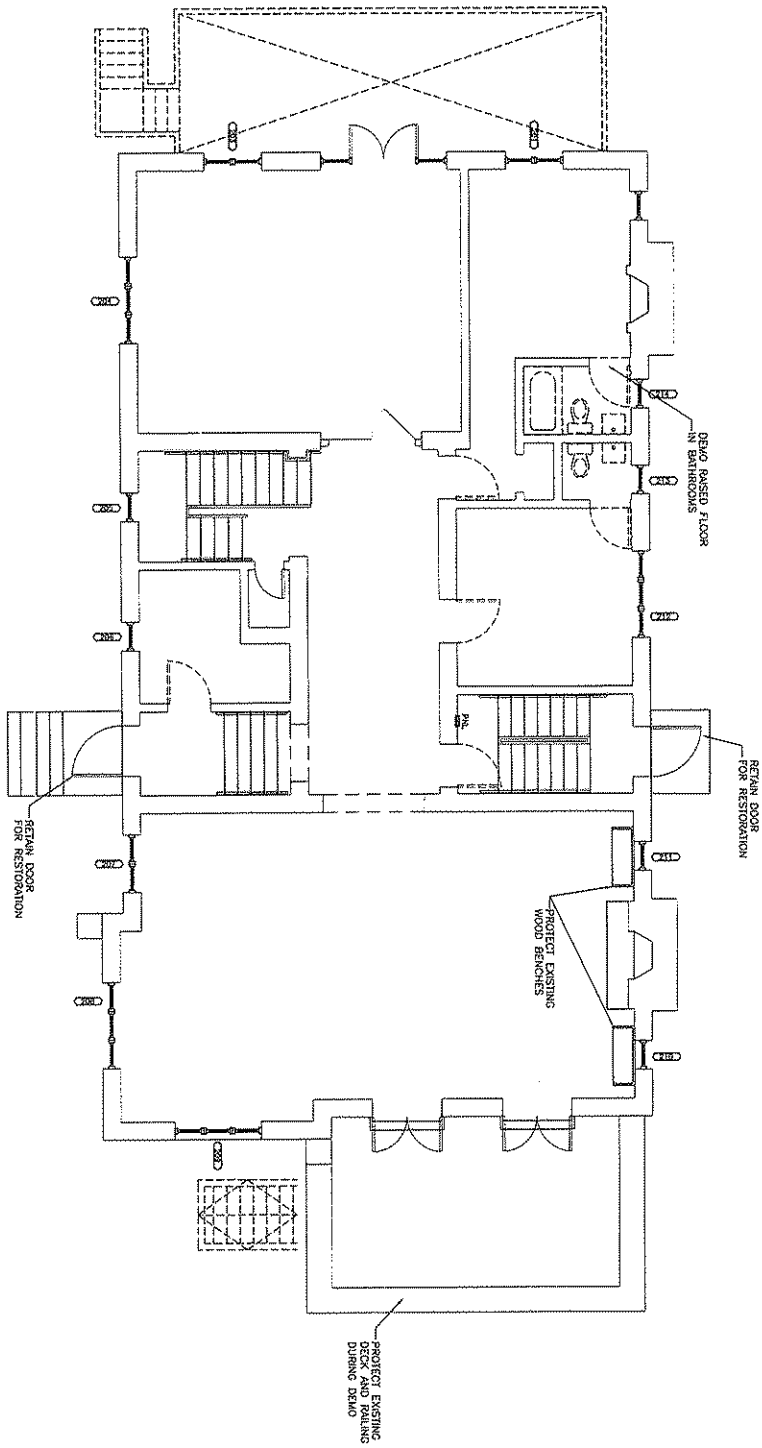
PRELIMINARY
 FOR INFORMATION PURPOSES ONLY
 NOT FOR CONSTRUCTION

REVISIONS:
 1. DATE: 03/14/2013
 2. DESCRIPTION: 2ND FLOOR DEMO
 3. DRAWN BY: JAS

NO.	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
1	03/14/2013	2ND FLOOR DEMO	JAS	

ACOLA
 777 LANSBORN ST
 MADISON WI

PROJECT # 08-667
 SECOND FLOOR DEMOLITION PLAN
D1.1



SECOND FLOOR DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

Alexander
Company

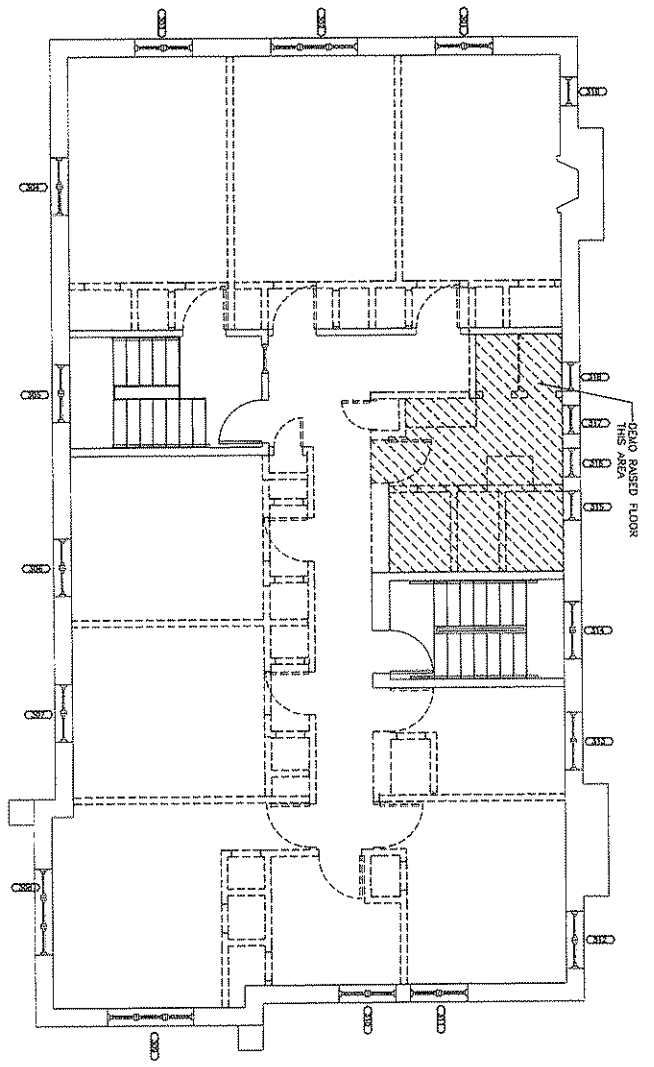
48 E. Spangler Road
Stephens City, VA 22682
Madison, WI 53715
Telephone 800-239-6580
Fax 608-255-6589

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NOT FOR CONSTRUCTION

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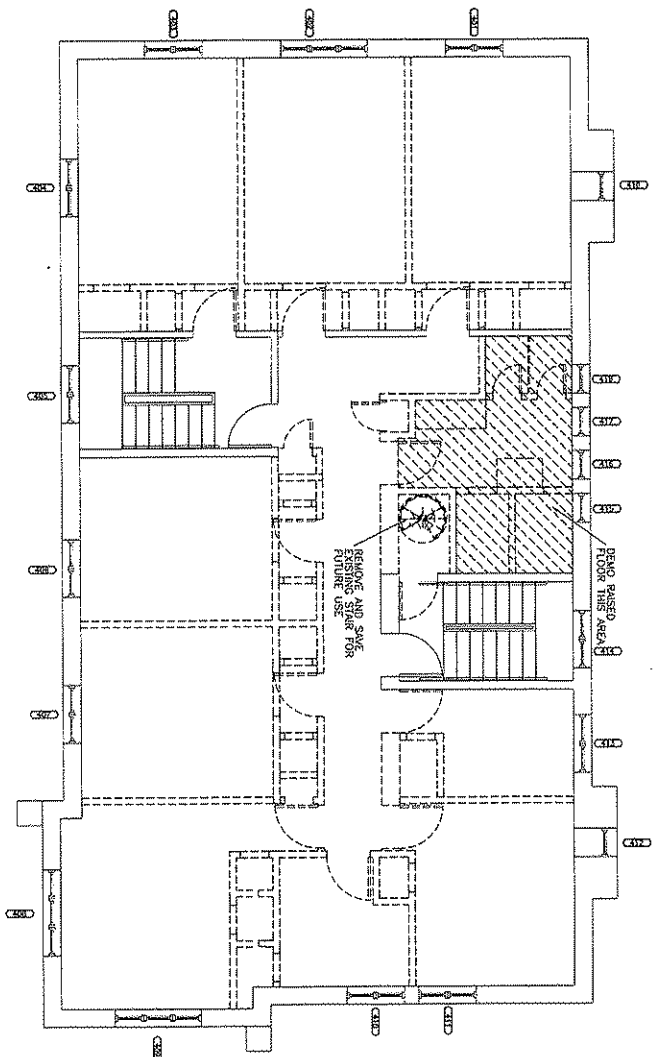
AKQA
ZZ LAMBSON ST
MADISON WI

PROJECT # 08-567
THIRD FLOOR
DEMOLITION
PLAN
D1.2



THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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NOT FOR CONSTRUCTION



FOURTH FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

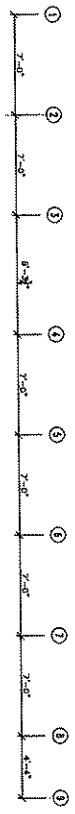


PROJECT # 08-667
FOURTH FLOOR
DEMOLITION
PLAN
D1.3

KACIA
227 LANGDON ST
MADISON, WI

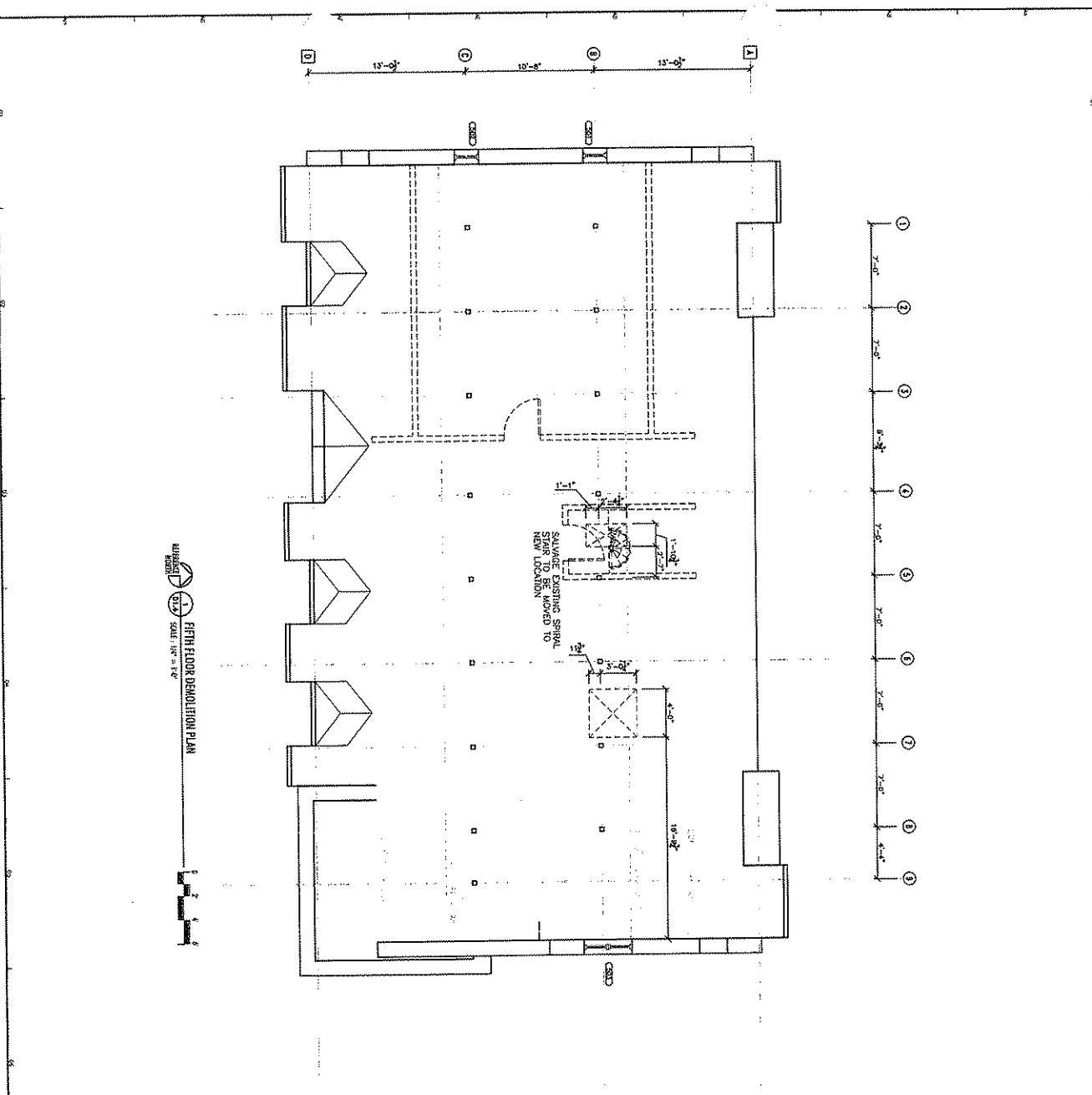
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20	ISSUED FOR CONSTRUCTION	

GENERAL DEMOLITION NOTES
1. FOR GENERAL DEMOLITION NOTES, REFER TO SHEET D1.2



ALUMINUM
DIA.
SCALE: 1/8" = 1'-0"
FIFTH FLOOR DEMOLITION PLAN

REMOVE EXISTING STAIR
SALVAGE EXISTING STAIR
NEW LOCATION



Alexander
Company
145 E. Bagley Road
Suite 200
Muskegon, MI 49765
Phone: 231-526-5500
Fax: 231-526-5599

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DATE PREPARED: 08/11/2011
DATE REVISED: 08/11/2011
DRAWN BY: ABR

ACABA
272 LANSBORN ST
BANDON MI

PROJECT # 08-667

FIFTH FLOOR
DEMOLITION
PLAN
D1.4

8

8

GENERAL DEMOLITION NOTES:
 1. FOR GENERAL DEMOLITION NOTES, REFERENCE SHEET D1.0

Alexander
Company

405 E. Becker Road
 Greenfield
 Madison, WI 53719
 Telephone: 608-235-5650
 Fax: 608-258-6559

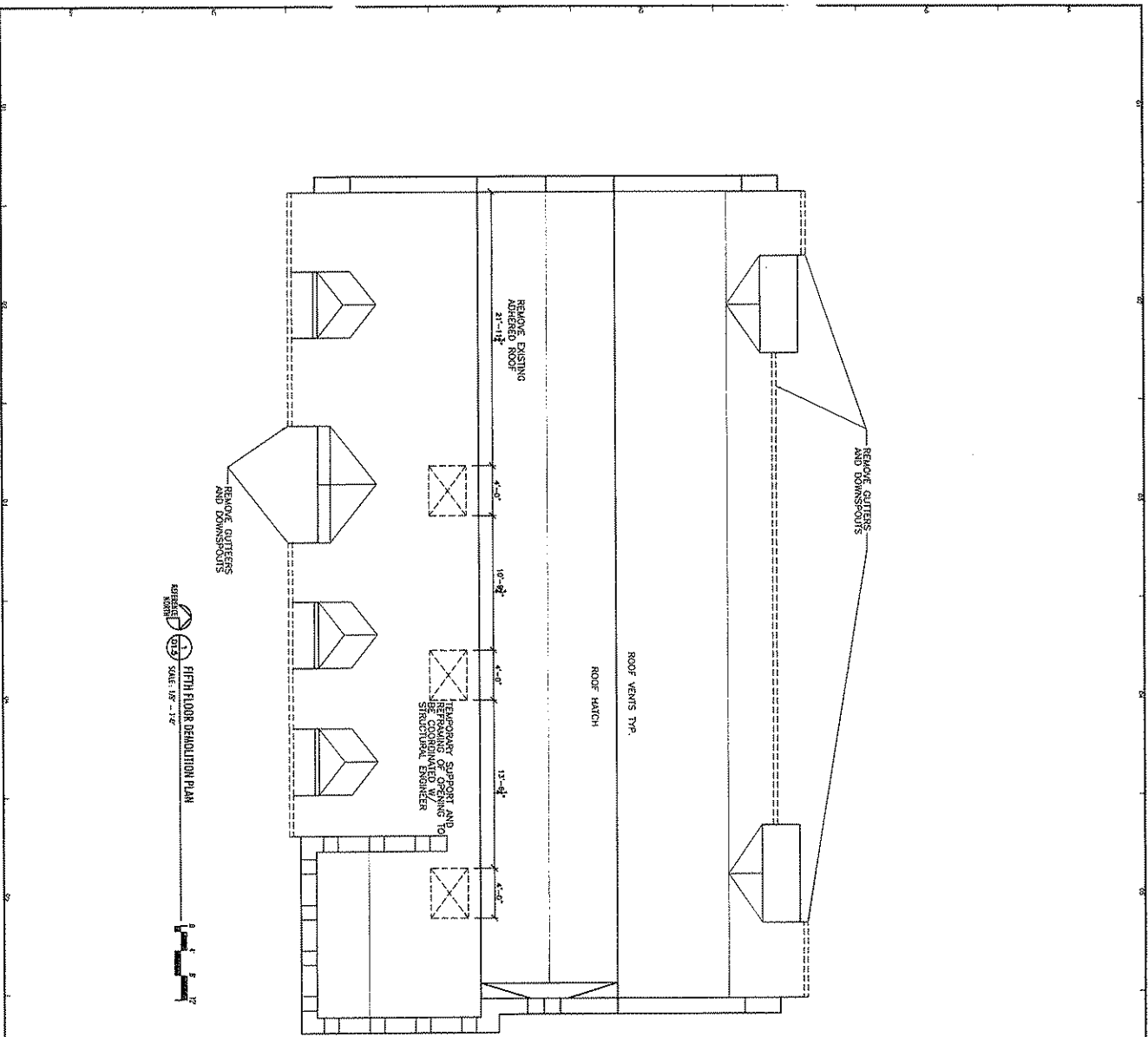
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AKACIA
 777 LANDON ST
 MADISON, WI

PROJECT # 08-667

ROOF
 DEMOLITION
 PLAN

D1.5



TEMPORARY SUPPORT AND BRACING TO BE CONSULTED BY A STRUCTURAL ENGINEER

REMOVE EXISTING ROOFING

ROOF MATCH

REMOVE GUTTERS AND DOWNSPOUTS

REMOVE GUTTERS AND DOWNSPOUTS

ACACIA
 777 LANDON ST
 MADISON, WI
 PROJECT # 08-667

ROOF
 DEMOLITION
 PLAN

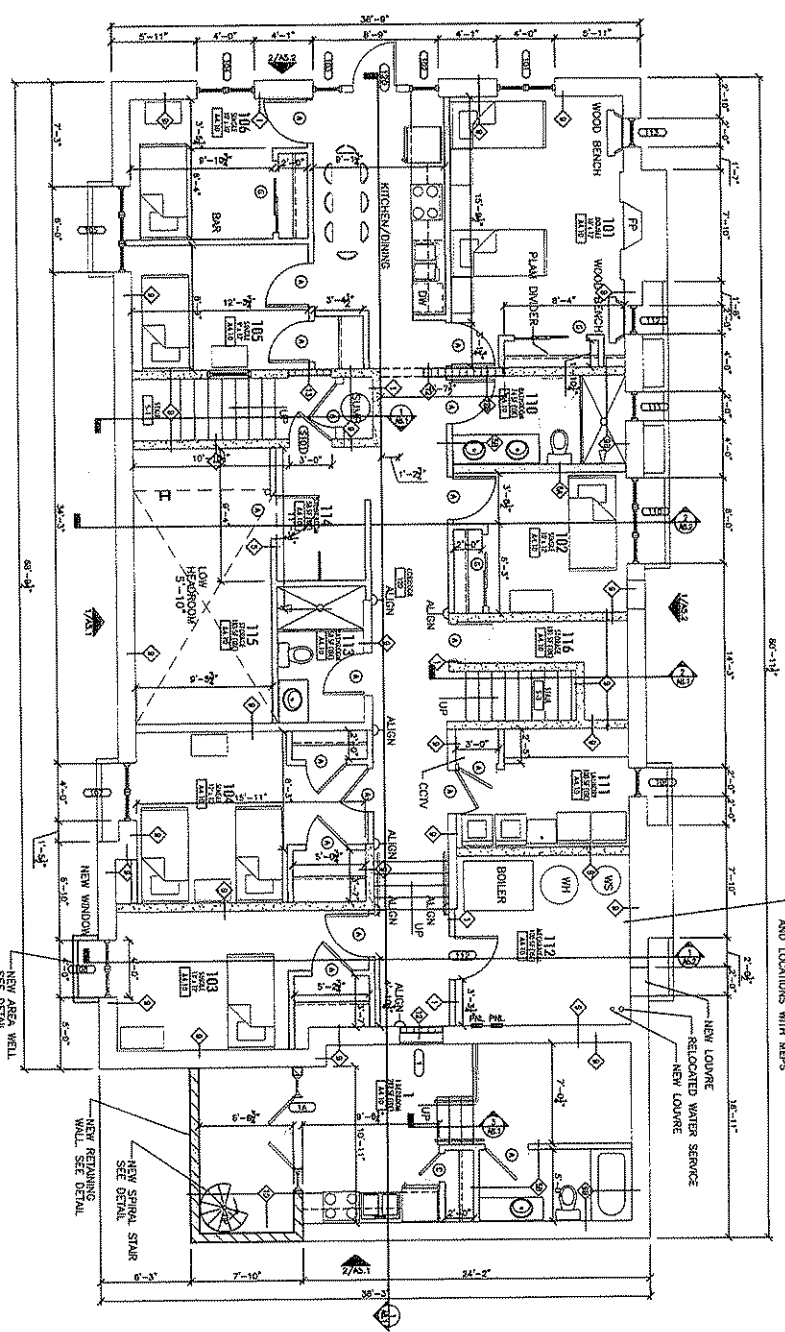
D1.5

58

Alexander
Company

145 E. Sanger Road
Suite 200
Madison, WI 53718
Telephone: 608-228-5589
Fax: 608-228-5589

- GENERAL WALLS: SEE
- GENERAL BOARD WALL (ONLY ON EXTERIOR)
- NON-FIRE RATED WALL
- NEW INTERIOR WALL
- NEW MASONRY WALL
- EXISTING MASONRY WALL
- EXISTING NON-FIRE-RATED WALL
- EXISTING FIRE-RATED WALL
- WALL TO BE MAINTAINED FOR WALL TYPE CONSTRUCTION
- WALLS TO BE MAINTAINED FOR WALL TYPE 5



COORDINATE ALL NEW EQUIPMENT AND LOCATIONS WITH MEPS

NEW LOUVER
RELOCATED WATER SERVICE
NEW LOUVER

NEW RETAINING WALL SEE DETAIL
NEW SPIRAL STAIR
SEE DETAIL

NEW AREA WELL
SEE DETAIL

MEPS ROOM
FIRST FLOOR DIMENSION PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
FOR INFORMATION PURPOSES ONLY
NOT FOR CONSTRUCTION

NO.	REVISION	DATE

NO.	DATE	BY	CHKD.

AKOIA
222 LANGBORN ST
MADISON, WI

PROJECT # 08-657

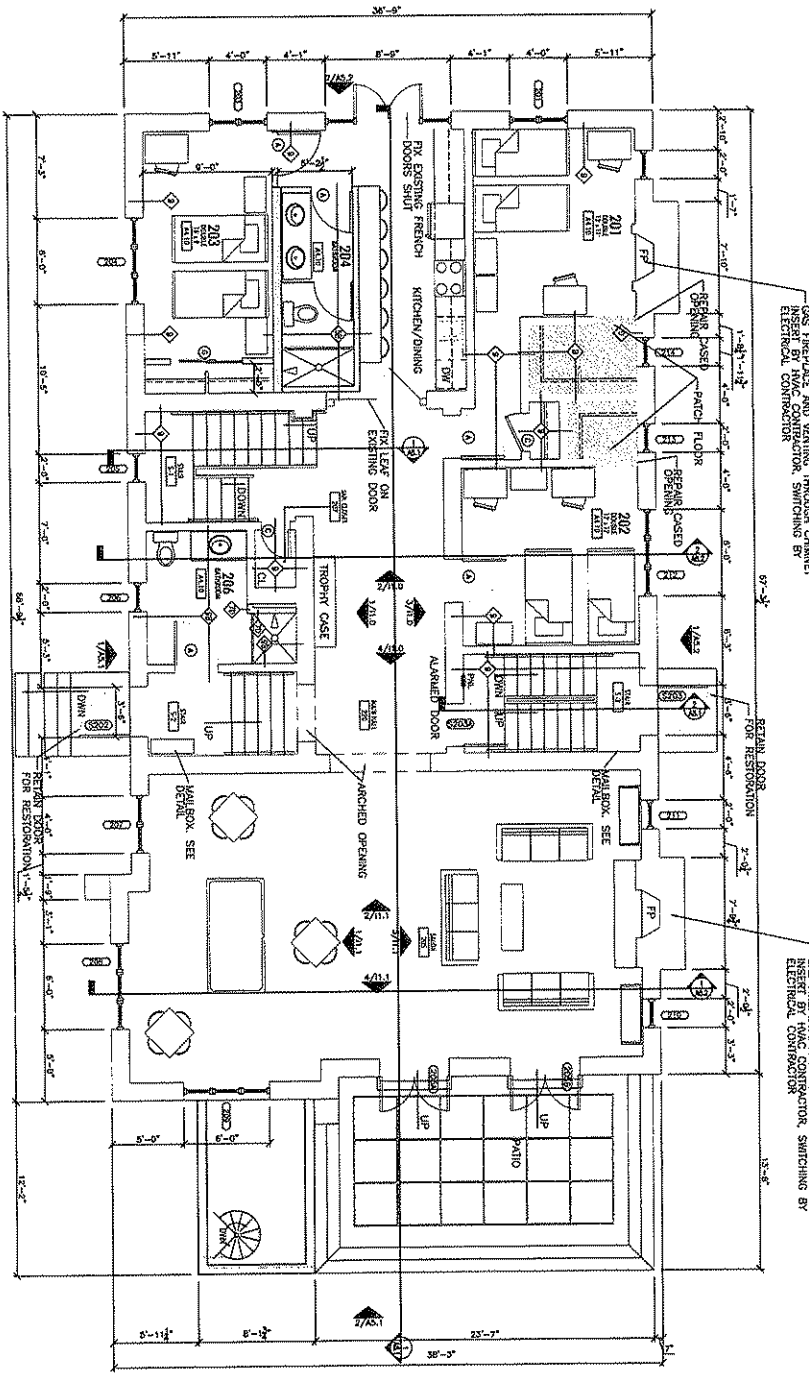
FIRST FLOOR
DIMENSION
PLAN
A2.0

GENERAL WALL USES

- EXISTING Gypsum WALL (NEW OR DEMO)
- NEW FIRE RATED WALL
- NEW INTERIOR WALL
- NEW EXTERIOR, REDDOT INTERIOR WALL
- NEW MASONRY WALL
- EXISTING NON-BERSEY WALL
- EXISTING MASONRY WALL
- WALL, NO INSULANT WALL FOR WALL TYPE
- WALL, INSULANT WALL FOR WALL TYPE
- WALLS VOID OPENINGS, NEW INTERIOR WALLS SHALL BE WALL TYPE 5

PERMISSION NOTES

1. WALL THICKNESS IS 3 1/4" TYPICAL UNLESS OTHERWISE SPECIFIED
2. ALL NEW WALLS ARE DEMONSTRATED TO FACE OF FINISH
3. ALL EXISTING WALLS ARE DEMONSTRATED TO FACE OF FINISH
4. MASONRY FINISHES AT ± DIMENSION UNLESS OTHERWISE SPECIFIED



SECOND FLOOR DIMENSION PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
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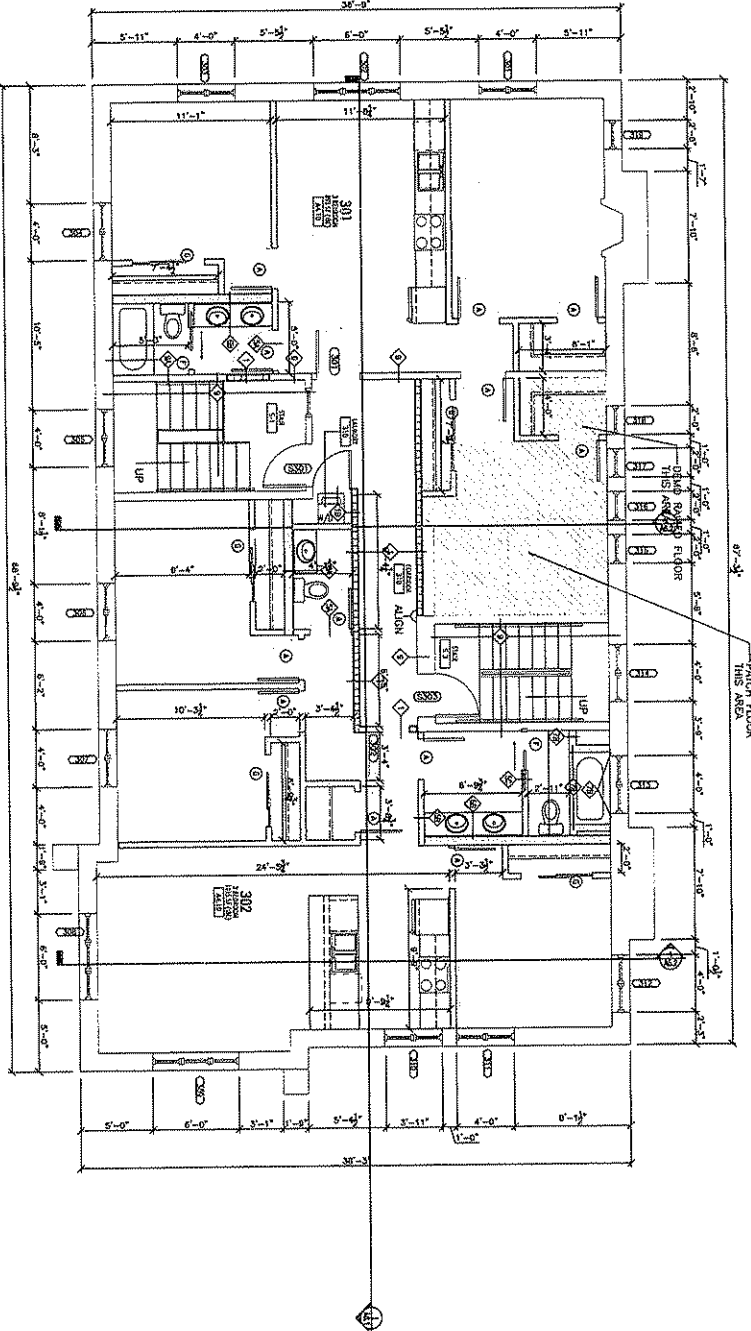
PROJECT # 08-667
SECOND FLOOR
DIMENSION
PLAN
A2.1

A

Alexander Company

145 E. Barclay Road
 Suite 200
 Madison, WI 53718
 Telephone: 608-255-6680
 Fax: 608-255-0588

- GENERAL WALL KEY**
- █ EXISTING WALL (NOT ON EXISTING)
 - █ NEW PERM. SCHED. WALL
 - █ NEW SCHEDULE WALL
 - █ NEW FACED, ROOF, INTERIOR WALL
 - █ NEW MASONRY WALL
 - █ EXISTING NON-DESIGN WALL
 - █ EXISTING MASONRY WALL
 - █ WALL, NOT INDICATED WITH PERM. WALL TYPE CONSTRUCTION
- UNLESS NOTED OTHERWISE, NEW INTERIOR WALLS SHALL BE WALL TYPE 5



THIRD FLOOR DIMENSION PLAN
 SCALE: 1/8" = 1'-0"

PROJECT # 08-657
 THIRD FLOOR DIMENSION PLAN
A2.2

ACADA
 222 LANGBOR ST
 MADISON, WI

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	08/11/08
2	ISSUED FOR CONSTRUCTION	08/11/08
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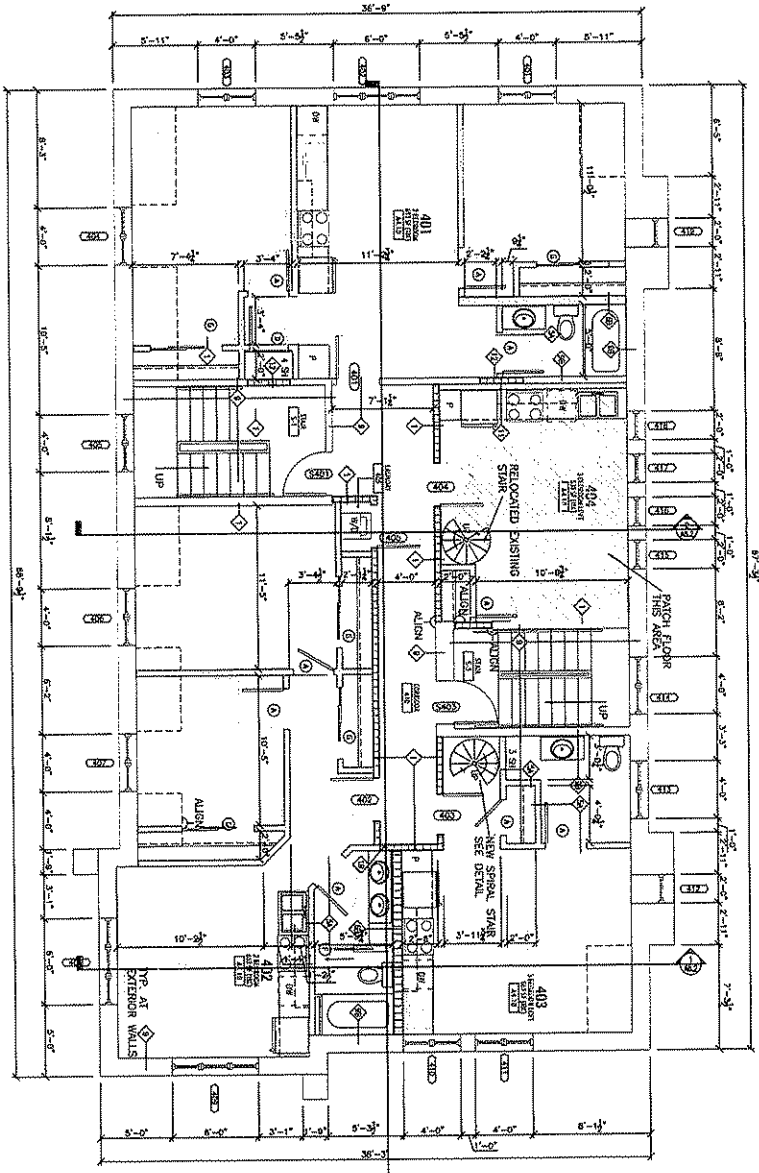
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2

Alexander
Company

445 E. Sanger Road
Suite 500
Nashboro, VA 22773
Telephone: (800) 229-8500
Fax: (800) 229-0500

- GENERAL WALL KEY**
- Existing Wall (Not on Existing)
 - ===== New Fire Rated Wall
 - ===== New Exterior Wall
 - ===== New Partial Height Interior Wall
 - ===== New Masonry Wall
 - ===== Existing Non-Structural Wall
 - ===== Existing Structural Wall
 - ===== Wall No. Indicates Wall Type
 - ===== Reinforced Steel Deck Wall Type
 - ===== Existing Wall Type
 - ===== New Masonry Wall
 - ===== New Exterior Wall



FOURTH FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"

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NO.	REVISION	DATE
1	ISSUE FOR PERMIT REVIEW	08/20/2013
2	ISSUE FOR PERMIT REVIEW	08/20/2013
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99	ISSUE FOR PERMIT REVIEW	08/20/2013
100	ISSUE FOR PERMIT REVIEW	08/20/2013

PROJECT # 09-667
FOURTH FLOOR
DIMENSION
PLAN
A2.3

ACELA
222 LANSBORN ST
HARRISON VA

REVISIONS

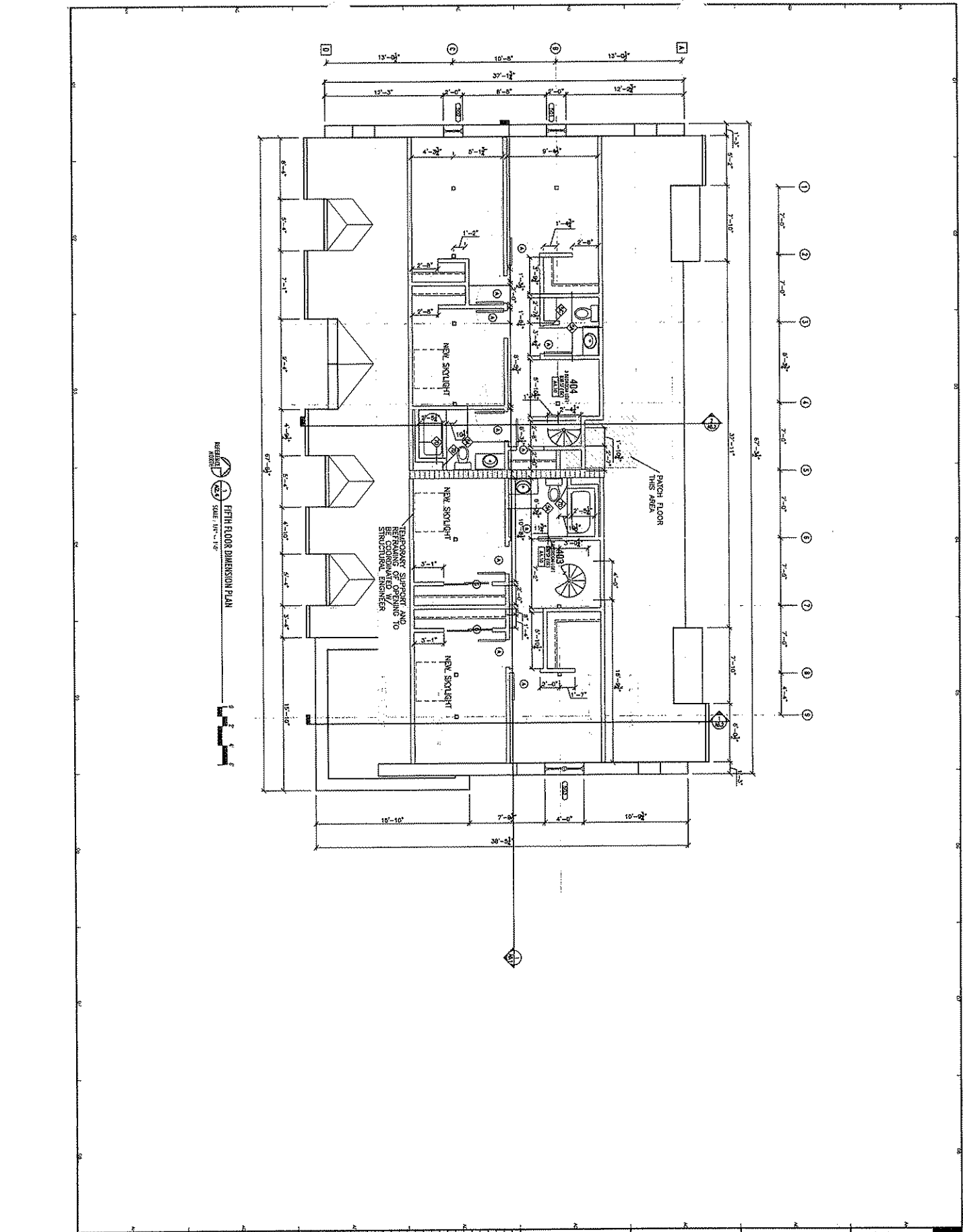
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2	FOR INFORMATION PURPOSES ONLY	10/15/12
3	FOR INFORMATION PURPOSES ONLY	10/15/12

DATE: 08-14-12

AGC/A
722 LANSDOWN ST
MADISON, WI

PROJECT # 08-667

FIFTH FLOOR
DIMENSION
PLAN
A2.4



**Alexander
Company**
 145 E. Bader Road
 Suite 500
 Madison, WI 53776
 Telephone: 608-259-6580
 Fax: 608-259-5559

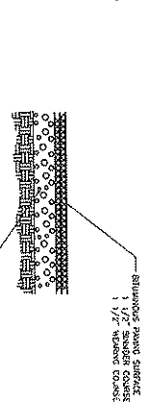
PRELIMINARY
 FOR INFORMATION PURPOSE ONLY
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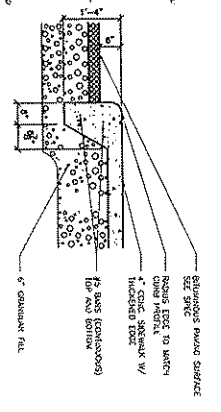
DATE: 11/11/93
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ACACIA
 222 LANGDON ST
 MADISON WI
 PROJECT # 08-667

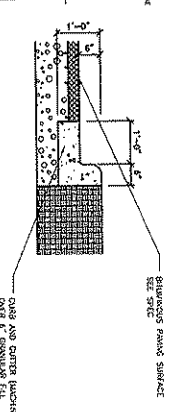
SITE DETAILS
5.1



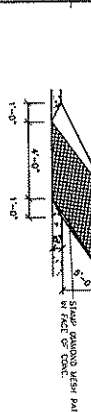
25.4 RETAINING WALL FINISH
 SCALE: 3/4" = 1'-0"



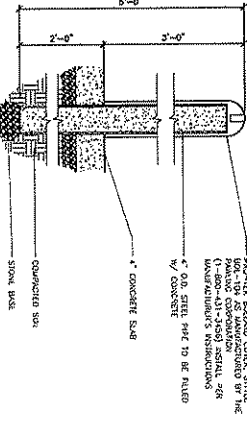
25.3 SIDEWALK FACE CURB DETAIL
 SCALE: 3/4" = 1'-0"



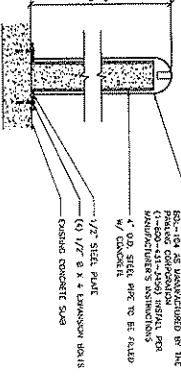
25.2 1/2" CURB & CUTTER DETAIL
 SCALE: 3/4" = 1'-0"



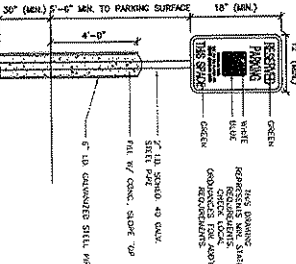
25.1 TYPICAL DEPRESSED CURB DETAIL
 SCALE: 1/2" = 1'-0"



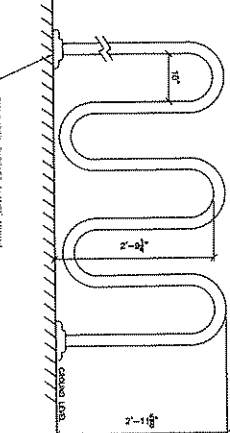
25.7 CONCRETE BOLLARD DETAIL
 SCALE: 1/2" = 1'-0"



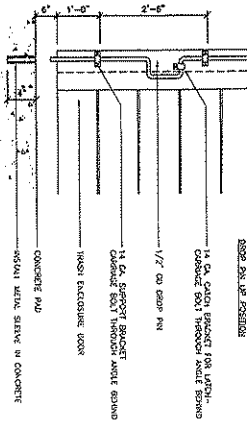
25.6 SURFACE MOUNTED BOLLARD DETAIL
 SCALE: 1/2" = 1'-0"



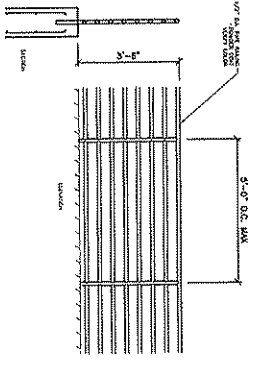
25.5 HANDCAP SIGN DETAIL
 SCALE: 3/4" = 1'-0"



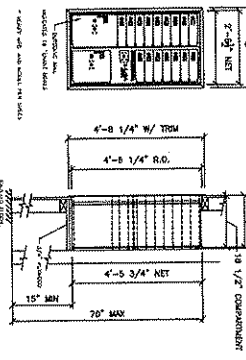
25.4 BICYCLE RACK DETAIL
 SCALE: 1" = 1'-0"



25.9 DROP PLATE DETAIL
 SCALE: 3/4" = 1'-0"



25.8 RETAINING WALL RAILING
 SCALE: 1/2" = 1'-0"



25.7 MAIL BOX DETAIL
 SCALE: 1/2" = 1'-0"

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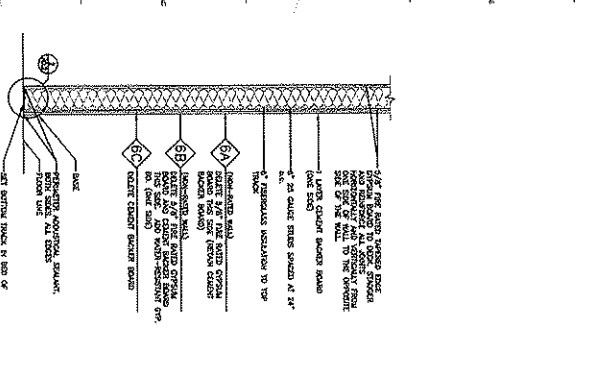
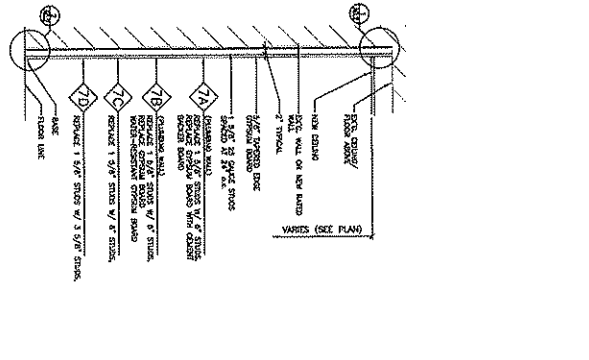
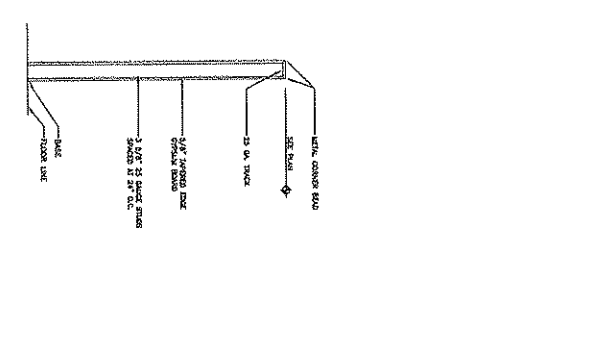
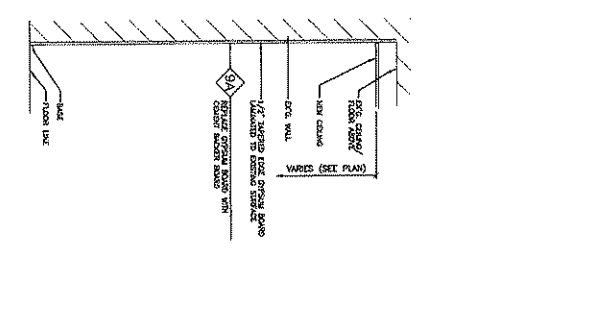
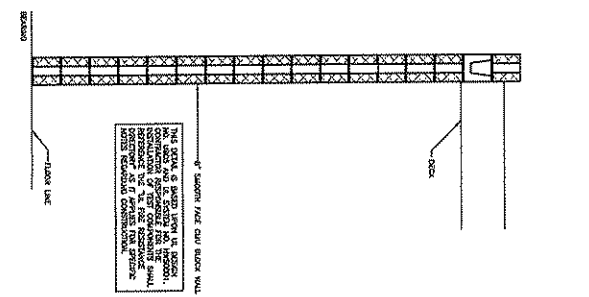
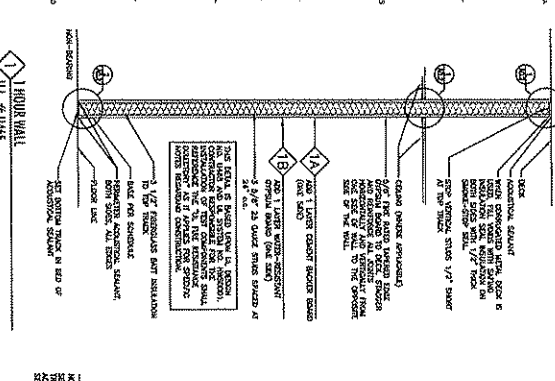
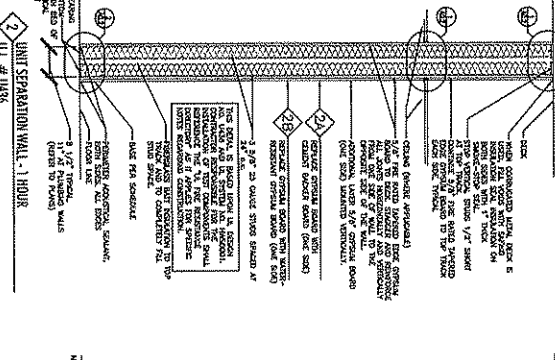
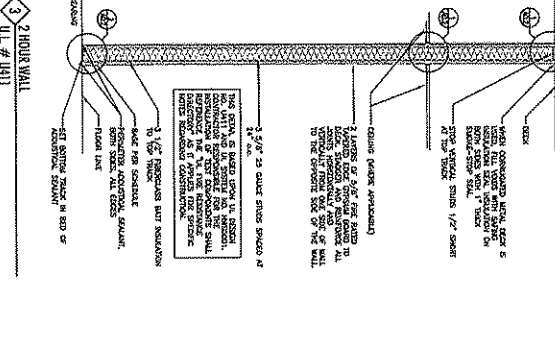
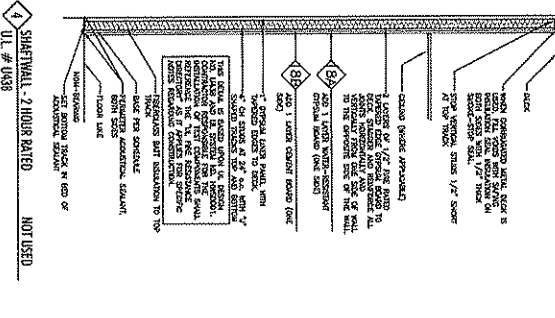
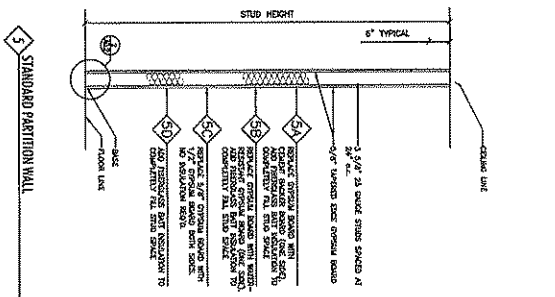
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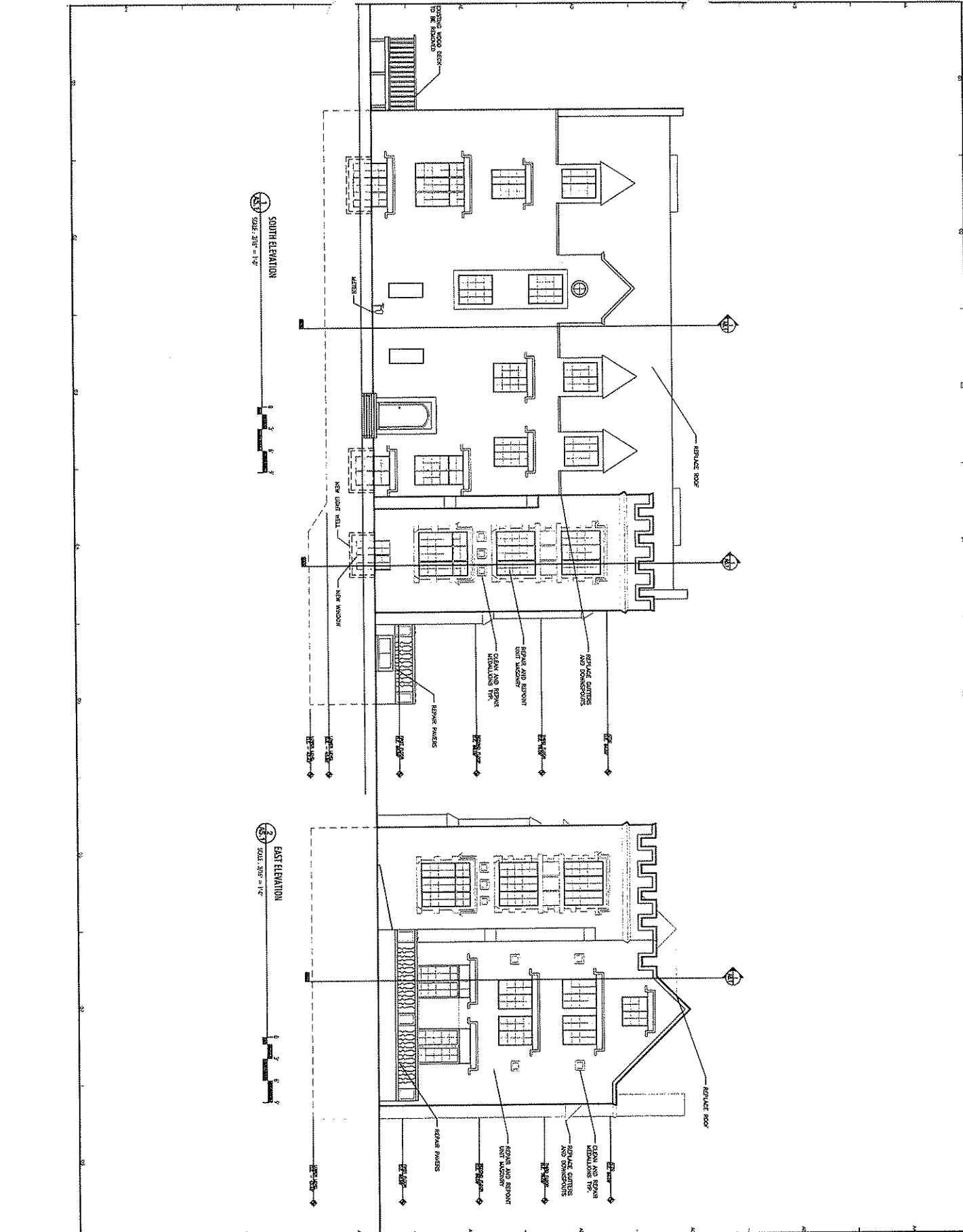
ACADA
227 LANSDON ST
MADISON WI

PROJECT # 08-667

WALL TYPES

A0.1





(1) SOUTH ELEVATION
 SCALE 3/8" = 1'-0"

(2) EAST ELEVATION
 SCALE 3/8" = 1'-0"

Alexander
Company

145 E. Badger Road
 Suite 200
 Madison, WI 53778
 Telephone: 608-255-6580
 Fax: 608-255-0555

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DESIGN/REVISIONS/DATE
 1. 03/28/08 [unclear]
 2. 03/28/08 [unclear]

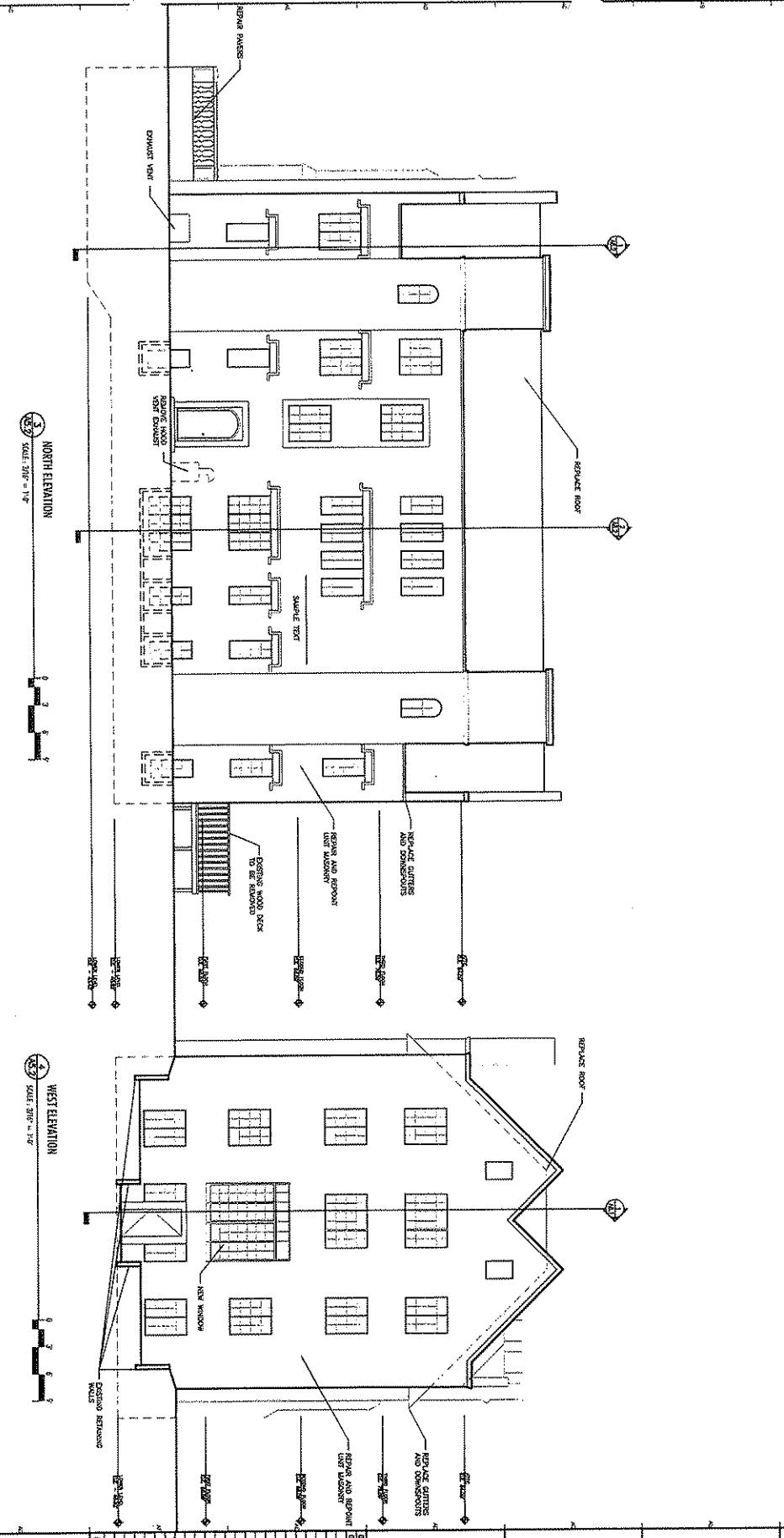
ACADIA
 272 LANGDON ST
 MADISON WI

PROJECT # 08-647
 EXTERIOR
 BUILDING
 ELEVATIONS
A5.1

Alexander
Company

145 E. SANDY ROAD
MADISON, WI 53715
TEL: 608-261-5500
FAX: 608-261-5599

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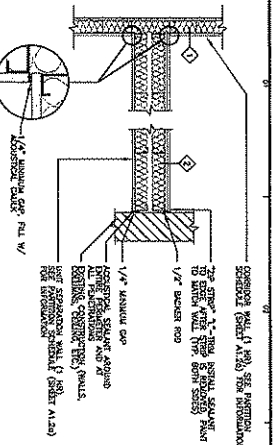


ACACIA
277 LANGDON ST
MADISON, WI

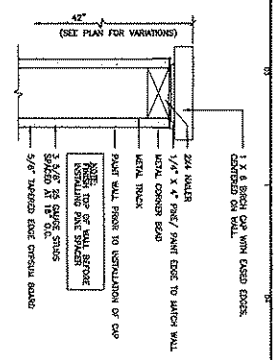
PROJECT # 08-667
EXTERIOR
BUILDING
ELEVATIONS

A5.2

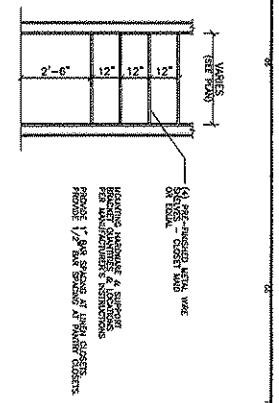
415 E. Bayberry Road
Oxon Hill, VA 22124
Telephone: 604-225-5590
Fax: 604-225-5589



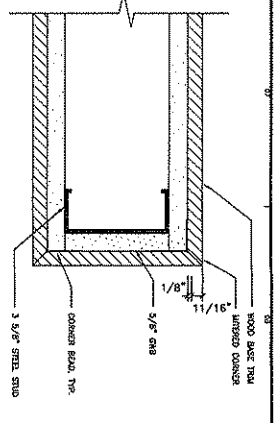
1 DEMISING WALL TRANSITION DETAIL
SCALE: 3/4" = 1'-0"



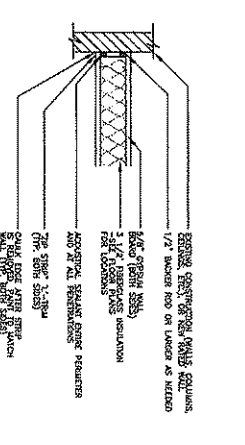
2 HALF WALL CAP DETAIL (WITH REVEAL)
SCALE: 3/4" = 1'-0"



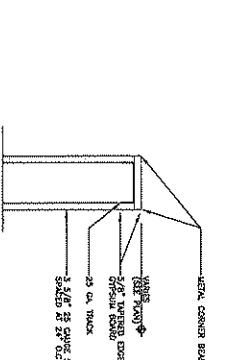
3 TYPICAL PAINT/PANEL CLOSET DETAIL
SCALE: 1/2" = 1'-0"



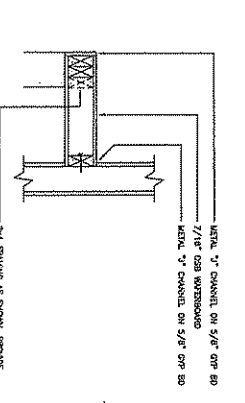
4 TYPICAL WOOD BASE DETAIL AT OUTSIDE CORNER
SCALE: 5/8" = 1'-0"



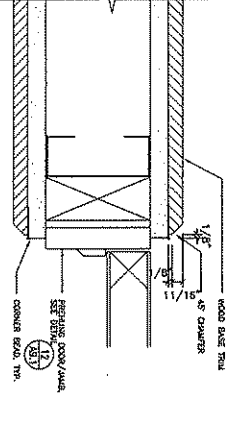
5 NEW WALL DETAIL AT EXISTING CONSTRUCTION
SCALE: 1/2" = 1'-0"



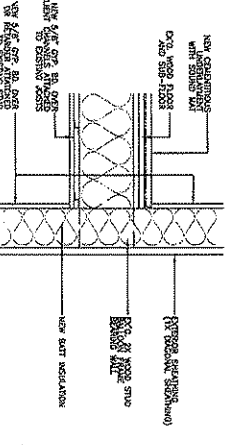
6 PARTIAL HEIGHT WALL DETAIL
SCALE: 3/4" = 1'-0"



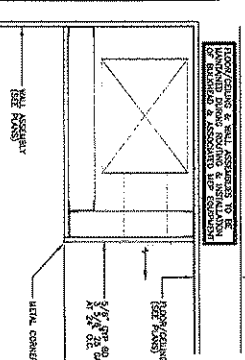
7 CLOSET CAP DETAIL
SCALE: 1/2" = 1'-0"



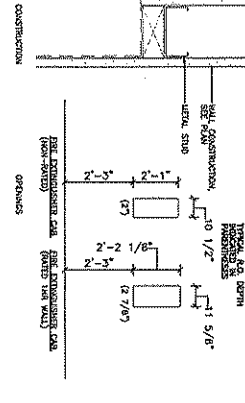
8 TYPICAL WOOD BASE DETAIL AT DOOR LAMB
SCALE: 5/8" = 1'-0"



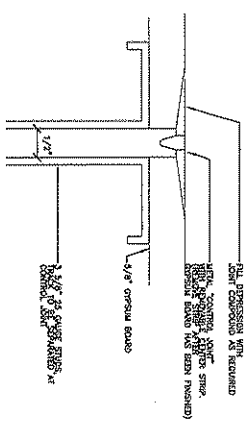
9 FIRE BLOCKING OF CONCEALED SPACE
SCALE: 1/2" = 1'-0"



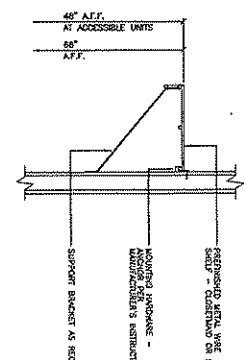
10 DROPPED SHELF DETAIL
SCALE: 1/2" = 1'-0"



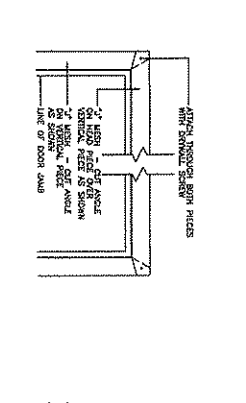
11 FIRE EXTINGUISHER CABINET INSTALLATION
SCALE: 3/4" = 1'-0"



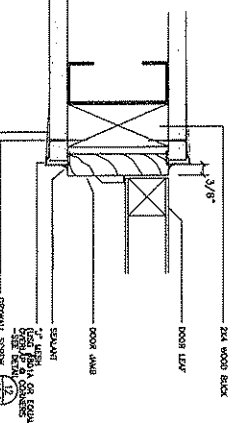
12 GYPSUM BOARD CONTROL JOINT
SCALE: 1/2" = 1'-0"



13 CLOSET SHELF & POLE DETAIL
SCALE: 1/2" = 1'-0"



14 HINGE DETAIL AT PREHUNG DOOR
SCALE: 3/4" = 1'-0"



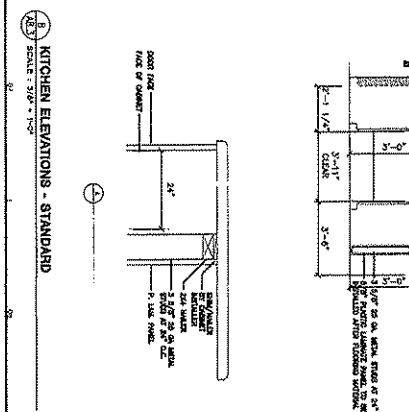
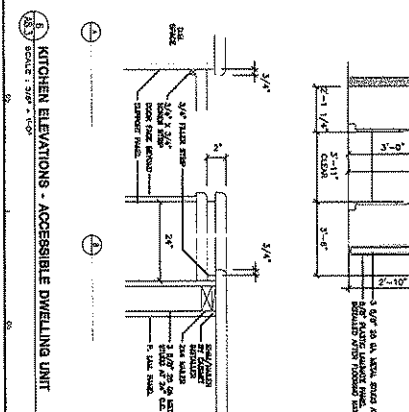
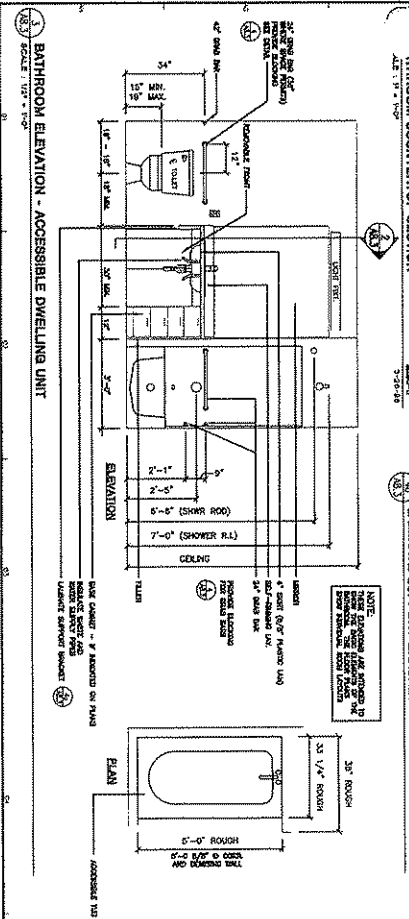
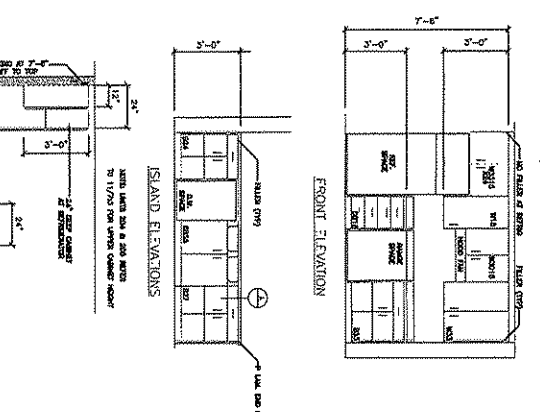
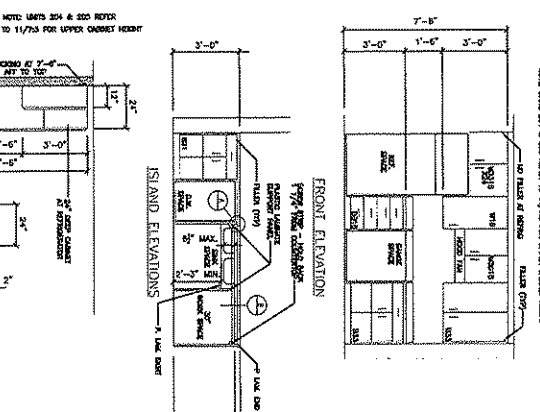
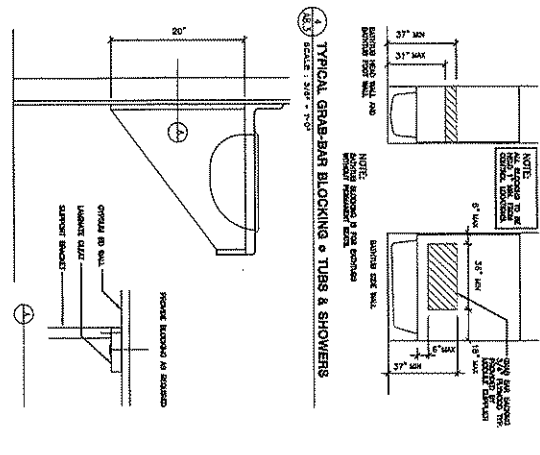
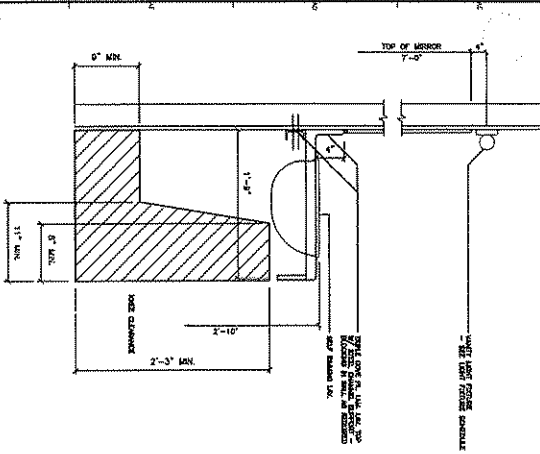
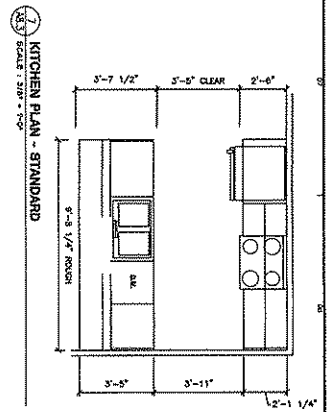
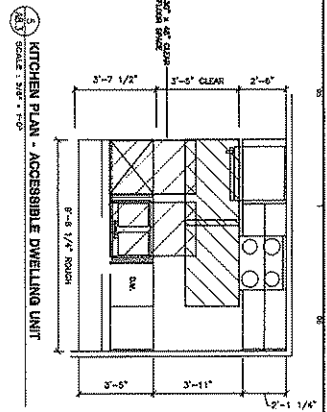
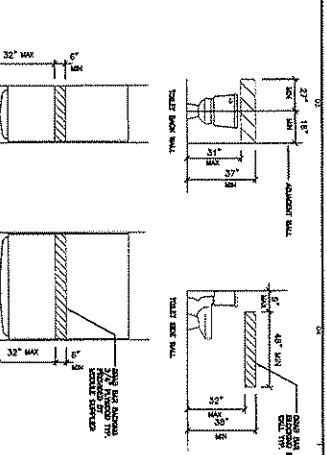
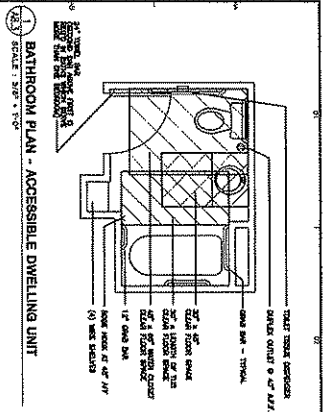
15 TYPICAL PREHUNG DOOR LAMB / HEAD
SCALE: 5/8" = 1'-0"

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PROJECT # 08-667
ARCHITECTURAL
DETAILS
A9.1

ACCA
277 LANGDON ST
HANDSON, WI

DATE: 12/14/99
APP: III



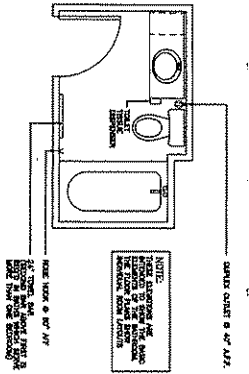
Alexander Company
145 E. Barclay Road
Masonville, MD 21773
Telephone: 800-258-6580
Fax: 609-258-6599

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NOT FOR CONSTRUCTION

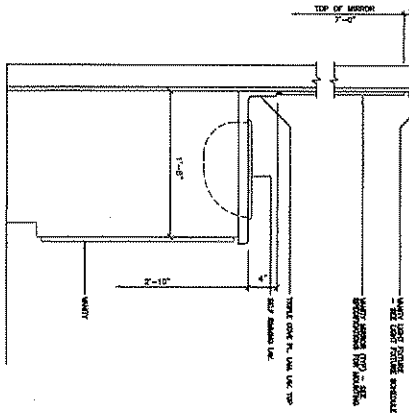
PROJECT # 08-667
ARCHITECTURAL
DETAILS

A9.2

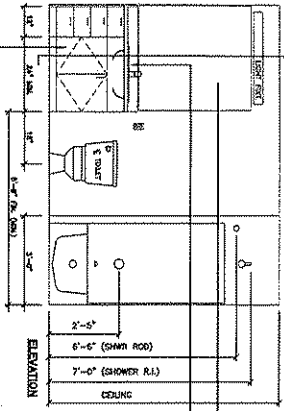
ACORN
222 LANGRAN ST
MASONVILLE
DRAWN BY: A9.2, SSJ



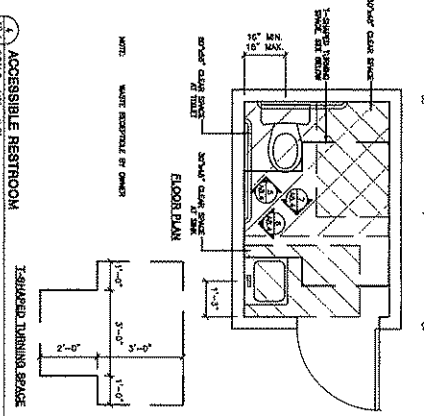
1 BATHROOM PLAN - STANDARD
SCALE: 1/8" = 1'-0"



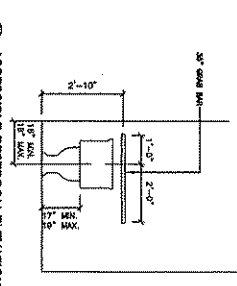
2 BATHROOM VANITY AND LIGHT/MIRROR DETAIL
SCALE: 3/8" = 1'-0"



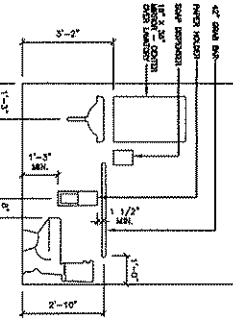
3 BATH ELEVATION - STANDARD
SCALE: 1/4" = 1'-0"



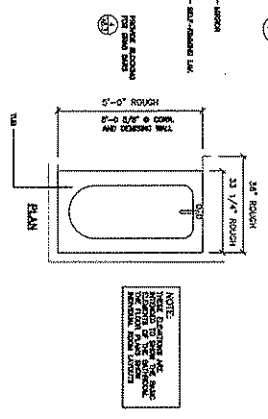
4 ACCESSIBLE RESTROOM FLOOR PLAN
SCALE: 1/8" = 1'-0"



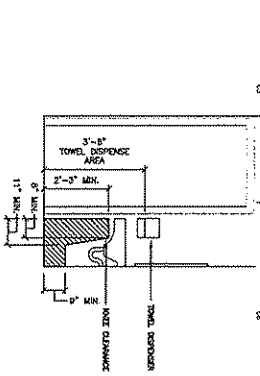
5 ACCESSIBLE RESTROOM ELEVATION
SCALE: 3/8" = 1'-0"



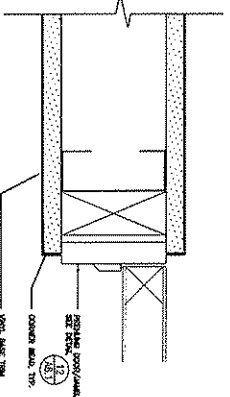
6 ACCESSIBLE RESTROOM ELEVATION
SCALE: 3/8" = 1'-0"



7 ACCESSIBLE RESTROOM ELEVATION
SCALE: 3/8" = 1'-0"



8 ACCESSIBLE RESTROOM ELEVATION
SCALE: 3/8" = 1'-0"



9 TYPICAL VINYL BASE DETAIL & DOOR JAMB
SCALE: 3/8" = 1'-0"

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145 E. Backus Road
Sarasota, MI 49775
Telephone: 688-6565-6590
Fax: 688-6591-6589

ABBRVIATIONS

AL ALUMINUM
AW ANODIZED ALUMINUM
HM HOLLOW METAL
ISG INSULATED STEEL
PL PLASTIC LAMINATE

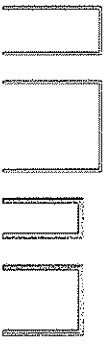
PT PAINTED
S STEEL
SH SHEATHING
WC WOOD CLAD
PS PAINT EXTERIOR/STAIN INTERIOR

GENERAL NOTES:
A. INSTALL HARDWARE CIRCUITS
B. REMOVE MISCELLANEOUS HARDWARE

NUMBER	SIZE	LOCATION	ELEVATION		RE-USE EXISTING	FINISH	DOOR TYPE		SMOKE AND DRAFT CONTROL GASKETING	FRAMES		DETAILS		ABBREVIATIONS
			TO	FROM			ELEVATION	RE-USE EXISTING		MATERIAL	FINISH	GLASS TYPE	RATING	
TYPICAL INTERIOR CORRIDOR DOORS														
A	2106	BERKHOFF / BATH												PRE-HUNG
B	2106	CONCRETE												PRE-HUNG
D	488	COINTEL												PRE-HUNG
E	505	POURTE DOORS												PRE-HUNG, HARDWARE ON BOTH DOORS
2	505	STUDS												PRE-HUNG, HARDWARE ON BOTH DOORS
TYPICAL INTERIOR EXTERIOR DOORS														
1A		UNIT 1												PRE-HUNG
1B		INTERIOR												PRE-HUNG
1C		INTERIOR												PRE-HUNG
1D		STUD ROOM												PRE-HUNG
201	3070	STAIR S-1												PRE-HUNG
202	3070	STAIR S-2												PRE-HUNG
203	3070	STAIR S-3												PRE-HUNG
204	3070	STAIR S-4												PRE-HUNG
205	3070	STAIR S-5												PRE-HUNG
206	3070	STAIR S-6												PRE-HUNG
207	3070	STAIR S-7												PRE-HUNG
208	3070	STAIR S-8												PRE-HUNG
209	3070	STAIR S-9												PRE-HUNG
210	3070	STAIR S-10												PRE-HUNG
211	3070	STAIR S-11												PRE-HUNG
212	3070	STAIR S-12												PRE-HUNG
213	3070	STAIR S-13												PRE-HUNG
214	3070	STAIR S-14												PRE-HUNG
215	3070	STAIR S-15												PRE-HUNG
216	3070	STAIR S-16												PRE-HUNG
217	3070	STAIR S-17												PRE-HUNG
218	3070	STAIR S-18												PRE-HUNG
219	3070	STAIR S-19												PRE-HUNG
220	3070	STAIR S-20												PRE-HUNG
221	3070	STAIR S-21												PRE-HUNG
222	3070	STAIR S-22												PRE-HUNG
223	3070	STAIR S-23												PRE-HUNG
224	3070	STAIR S-24												PRE-HUNG
225	3070	STAIR S-25												PRE-HUNG
226	3070	STAIR S-26												PRE-HUNG
227	3070	STAIR S-27												PRE-HUNG
228	3070	STAIR S-28												PRE-HUNG
229	3070	STAIR S-29												PRE-HUNG
230	3070	STAIR S-30												PRE-HUNG
231	3070	STAIR S-31												PRE-HUNG
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233	3070	STAIR S-33												PRE-HUNG
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236	3070	STAIR S-36												PRE-HUNG
237	3070	STAIR S-37												PRE-HUNG
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239	3070	STAIR S-39												PRE-HUNG
240	3070	STAIR S-40												PRE-HUNG
241	3070	STAIR S-41												PRE-HUNG
242	3070	STAIR S-42												PRE-HUNG
243	3070	STAIR S-43												PRE-HUNG
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246	3070	STAIR S-46												PRE-HUNG
247	3070	STAIR S-47												PRE-HUNG
248	3070	STAIR S-48												PRE-HUNG
249	3070	STAIR S-49												PRE-HUNG
250	3070	STAIR S-50												PRE-HUNG



DOOR ELEVATIONS SCHEDULE



FRAME ELEVATIONS SCHEDULE

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ACKIN
227 LANGDON ST
MADISON WI

PROJECT # 08-667

DOOR SCHEDULE

A11.2