



Change of Premises

Fee: \$25.00

(Agenda Item Number)

(Legistar file number)

(License number)

(Alder District #) (Police Sector)
Office Use Only

Class A: Beer, Liquor, Cider
Class B: Beer, Liquor,
 Class C Wine

City of Madison Clerk
210 MLK Jr Blvd, Room 103
Madison, WI 53703
licensing@cityofmadison.com
608-266-4601

Licensed Premises Information

This application modifies existing alcohol license number: LICLIB-2021-00523

Business dba Name: HOOK & FADE

Licensed Address: 113 S HAMILTON ST MADISON, WI 53703-3209

Liquor/Beer Agent Name: HOSUNG SHIN

25 % Alcohol, 5 % Food, 70 % Other Alder, District #: VERVEER, 4 Police Sector: CENTRAL

Corporate Information

Business Legal Name (as on WI State Sellers Permit): FARWELL VENTURES INC.

Business Mailing Address: 1050 E WASHINGTON AVE STE 725 MADISON, WI 53703-3620

Business Contact Name, Position: HOSUNG SHIN, PRESIDENT

Business Phone: 608-957-7002 Business Email: SHIN@HOOKANDFADE.COM

Current Capacity (indoor): 80 Current Capacity (outdoor): 14

Proposed Capacity (indoor): 125 Proposed Capacity (outdoor): 14

If your capacity is increasing, contact Building Inspection: (608) 266-4551, binspection@cityofmadison.com

Description of Proposed Changes: INCREASING THE CAPACITY TO ACCOMODATE EVENT

PLANNING NEEDS OF OUR PATRONS AND MEMBERS. PREVIOUS CAPACITY WAS SUBMITTED AS 80

WITHOUT CONSIDERING OUR SPACE'S LARGE SIZE (4,458 SQ. FT.). SIMILAR-SIZED HOSPITALITY

BUSINESSES HAVE UPTO 250 CAPACITY.

Detailed Floor Plans included (required)

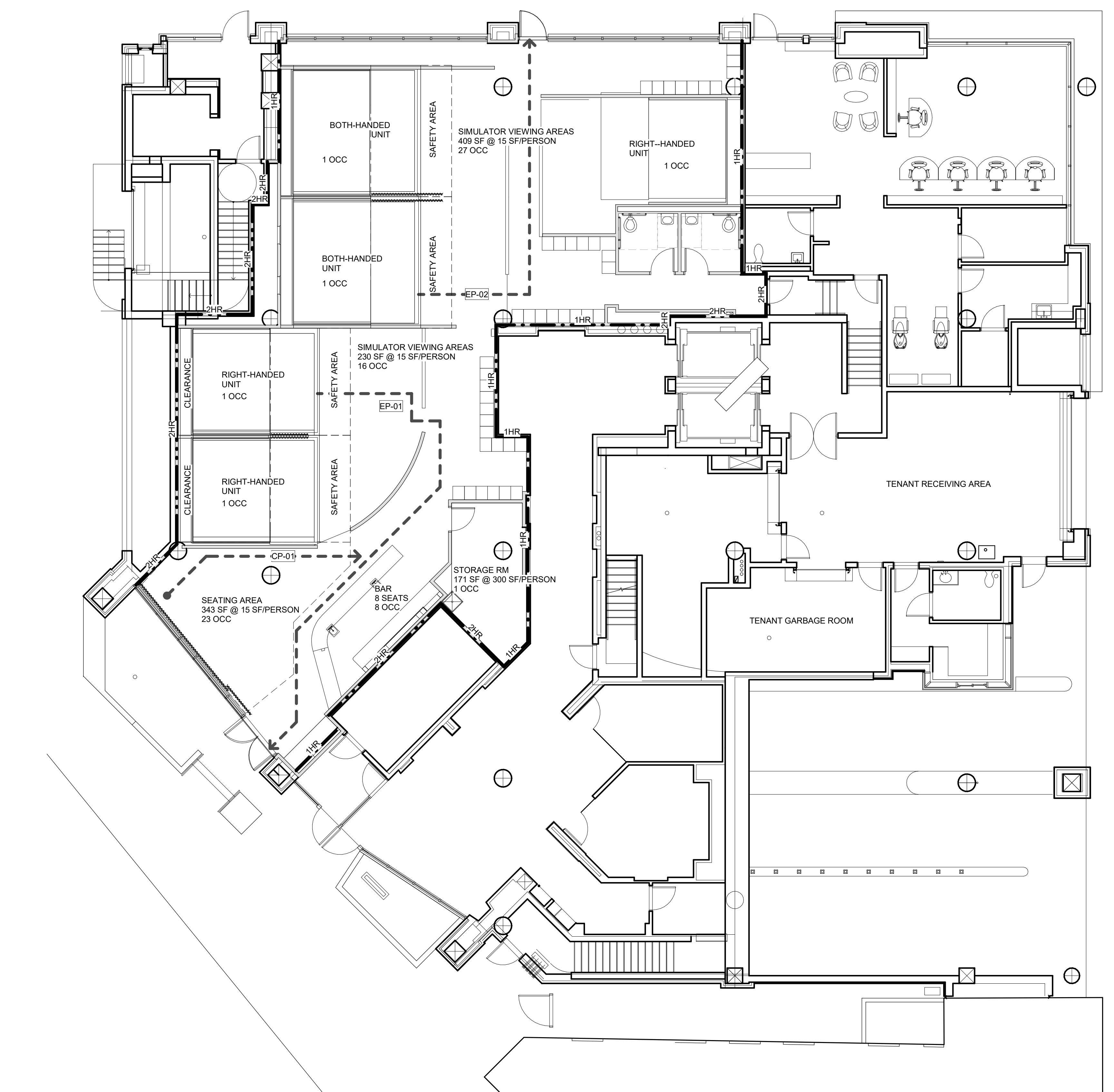
Authorized Signature

02/21/2022

Date

- Orange sign and business card issued
- "License Renewals & Changes" brochure with next steps issued

Office Use Only


FOR CONSTRUCTION
G002

COMMON ABBREVIATIONS:

NOTE: ANY ABBREVIATIONS APPEARING IN THESE DOCUMENTS WHICH ARE NOT LISTED BELOW SHALL BE VERIFIED AND CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION

AB	ANCHOR BOLT
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
ALUM	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED
ARCH	ARCHITECT / ARCHITECTURAL

B/B	BACK-TO-BACK
BLDG	BUILDING
BLK	BLOCK
BM	BEAM
BOT	BOTTOM
BO	BOTTOM OF
BRG	BEARING
BS	BOTH SIDES

C	CHANNEL DESIGNATION
CIP	CAST IN PLACE
CJ	CONSTRUCTION JOINT
CL	CENTER LINE
CLR	CLEAR DISTANCE
CMU	CONCRETE MASONRY UNIT
CF	CONTRACTOR FURNISHED
CI	CONTRACTOR INSTALLED
COL	COLUMN
CONN	CONNECTION
CONT	CONTINUOUS
CONTR	CONTRACTOR

D	DEPTH
D-B	DESIGN-BUILD
DEMO	DEMOLISH / DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DTL	DETAIL
DWG	DRAWING
DWL	DOWEL

EA	EACH
EC	ELECTRICAL CONTRACTOR
EJ	EXPANSION JOINT
EL	ELEVATION
ELEV	ELEVATOR
ENGR	ENGR
EPDM	ETHYLENE PROPYLENE
EQ	DIENE MONOMER
EW	EQUAL
E-W	EACH WAY
EW	EAST-WEST DIRECTION
ETC	EXTERA
ETR	EXISTING TO REMAIN
EXST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR

FDN	FOUNDATION
FE	FE FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
F-F	FACE-TO-FACE
FIN	FINISH (OR) FINNED
FLG	FLANGE
FP	FIRE PROTECTION
FRT	FIRE RESISTANT TREATED
FRTW	FIRE RETARDANT TREATED WOOD
FT	FOOT OR FEET
FTG	FOOTING
FUT	FUTURE
FV	FIELD VERIFY

GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTER
GL	GLASS or GRID LINE
GWB	GYPSUM WALL BOARD
GYP	GYPSUM

H	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING & AIR CONDITIONING
HW	HARDWOOD

IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER
IFC	ISSUED FOR CONSTRUCTION
INSUL	INSULATION
INT	INTERIOR

JT	JOINT
KO	KNOCKOUT

ARCHITECTURAL SYMBOLS:

L	LENGTH
LG	STEEL ANGLE
LGMF	LENGTH LONG
LLH	LIGHT GAUZE METAL FRAMING
LLV	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LOW POINT
LVL	LAMINATED VENEER LUMBER

MANF	MANUFACTURER
MAX	MAXIMUM
MBW	MASONRY BEARING WALL
MC	MECHANICAL CONTRACTOR
MEPF	MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION
MIN	MINIMUM
MTL	METAL

OC	ON CENTER
OCEW	ON CENTER EACH WAY
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OPP	OPPOSITE
OI	OWNER FURNISHED
OI	OWNER INSTALLED

PC	PLUMBING CONTRACTOR
PCC	PRECAST CONCRETE
PEMB	PRE-ENGINEERED METAL BUILDING
PERIM	PERIMETER
PL	PERIMETER PLATE
PS CONC	PRE-STRESSED CONCRETE
PTD	PAINTED, PRINTED
PT CONC	POST-TENSIONED CONCRETE
PRT	PRESSURE TREATED

RB	RUBBER BASE
REINF	REINFORCING
REQD	REQUIRED
REQT	REQUIREMENT
RTU	ROOF TOP UNIT

SCHD	SCHEDULE
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SIG	SIGN ON GRADE
SPA	SPACES
SPEC	SPECIFICATION
SQ	SQUARE
STD	STANDARD
STL	STEEL
STR	STRUCTURAL

T	TALL
TBD	TO BE DETERMINED
TBRS	TO BOTTOM OF REFLECTIVE SURFACE
THK	THICKNESS
THLT	THREADED LUMBER
TO	TOP
TOC	TOP OF CONCRETE
TOF	TOP OF FLOOR
TOL	TOP OF LEDGE ELEVATION
TOW	TOP OF WALL
TP	TOP OF PIER ELEVATION
TYP	TYPICAL

UNO	UNLESS NOTED OTHERWISE
-----	------------------------

V	VAPOR BARRIER
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VIF	VERIF IN FIELD
VR	VAPOR RETARDER

W	WIDTH
W/W	WITH
WD	WITHOUT
WF	WOOD
WP	WIDE FLANGE
WP	WORKING POINT

GENERAL PLAN NOTES:

- A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS, UNLESS NOTED OTHERWISE.
- C. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- D. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A001.
- E. PROVIDE 2x BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009.
- F. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- G. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- I. ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6' FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- J. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- K. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- L. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- M. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- N. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNERS NEEDS. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- O. SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL.

HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST

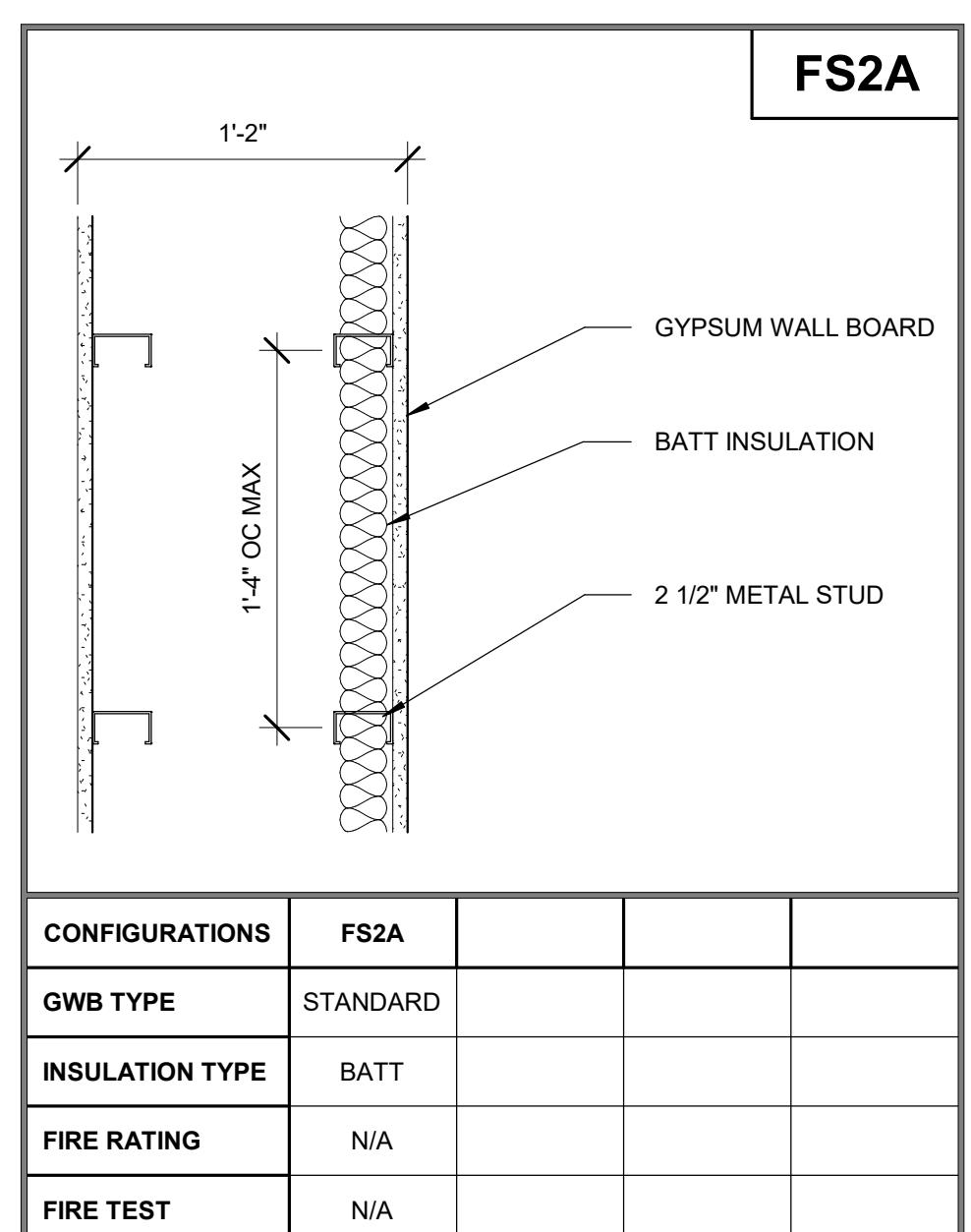
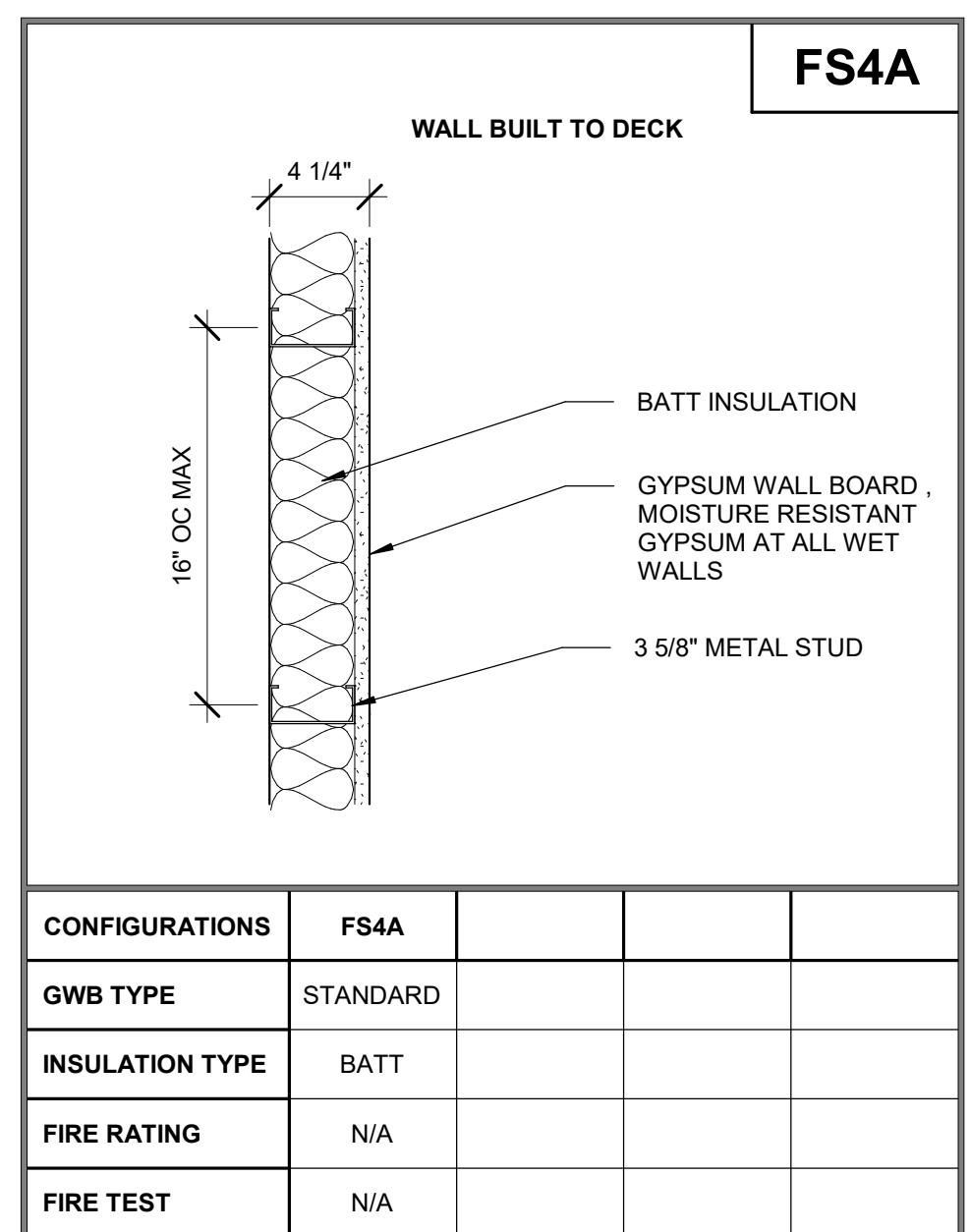
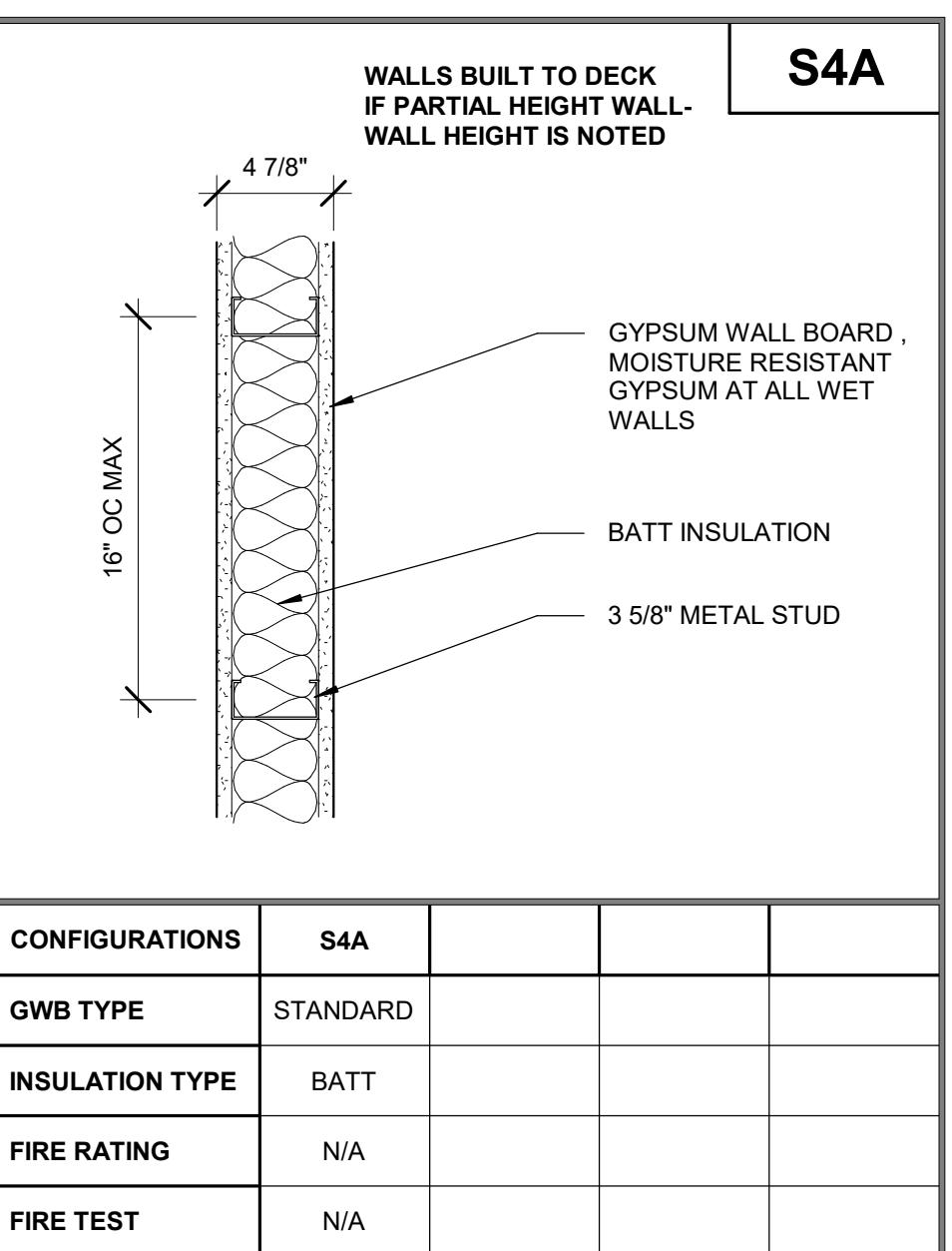
MADISON, WI

A1 FLOOR PLAN

1/8" = 1'-0"

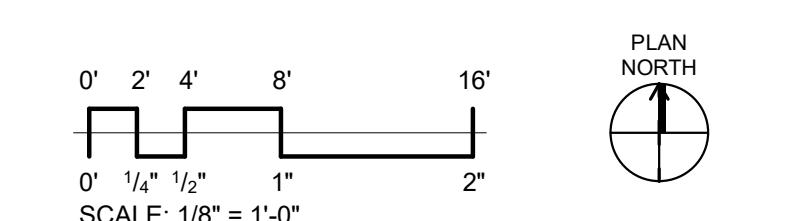
**A3 PARTITION -TYPES**

1 1/2" = 1'-0"



ALTERNATE BIDS:

- 1 DEDUCT FOR ONLY LOCKERS IN CORRIDOR 138 TO RECEIVE ELECTRONIC LOCKS
- 2 DEDUCT FOR LOCKERS TO BE PLASTIC LAMINATE (COLOR TBD)

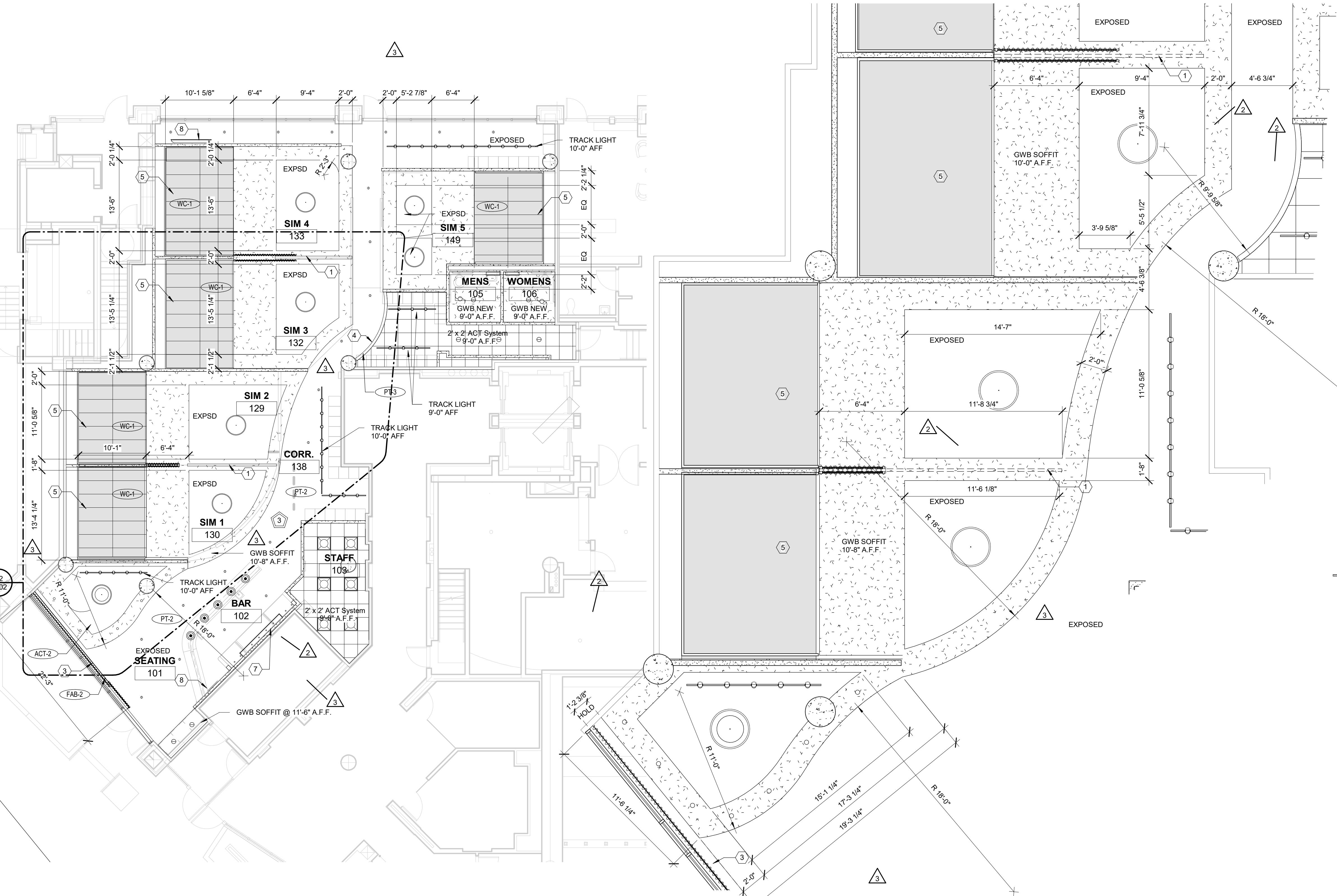
**FOR CONSTRUCTION****A101****Project Status**

2021.06.16	FOR CONSTRUCTION
1	2021.07.23 CB 01
3	2021.08.25 CB 03

PROJ. #: 21111-01

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FLOOR PLAN**A101**Sketchworks
architecture inc



ALTERNATE BIDS:

3 DEDUCT TO REMOVE LED STRIP LIGHTS IN COVES (ALL SIMULATOR CEILINGS)

REFLECTED CEILING PLAN

GENERAL NOTES:

- A. CENTER CEILING GRID IN ROOM, LEAVING A MINIMUM TILE DIMENSION OF NOT LESS THAN 1'-0", UNLESS NOTED OTHERWISE.
- B. COORDINATE HVAC WITH ARCHITECT PRIOR TO INSTALLATION (SUPPLY DIFFUSERS, RETURN LOUVERS, TRANSFER GRILLS, EXHAUST GRILLS, AND ANY OTHER FIXTURE).
- C. LIGHTING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. COORDINATE LIGHTING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- D. FOLLOW THE STATE AND NATIONAL CODE REQUIREMENTS AND MINIMUM FOOT CANDLE REQUIREMENTS.
- E. CENTER ALL CEILING MOUNTED LIGHT FIXTURES, LIFE SAFETY DEVICES, SPEAKERS, SPRINKLERS, AND OTHER ELEMENTS IN THE ACOUSTIC CEILING TILE IN BOTH DIRECTIONS, UNLESS NOTED OTHERWISE.
- F. MEP & FP CONTRACTORS SHALL COORDINATE WITH ARCHITECT PRIOR TO CONSTRUCTION TO START TO MINIMIZE CEILING MOUNTED FIXTURES AND EQUIPMENT. CONDUIT SHALL BE RUN AT 90 DEGREE ANGLES TO THE SPACE, UNLESS NOTED OTHERWISE, AND SHALL BE CONCEALED WHERE POSSIBLE.

CEILING PLAN FIXTURES:

- LIVEX - SIGNATURE PENDANT LIV-4063-92 • DIMMABLE • CF/CI
- 2X4' TROFFER LIGHT • LED BULB • CF/CI
- 2'x4' APERTURE PENDANT • GENERAL LIGHTING • DIMMER SWITCH, INDEPENDENT • LED BULB • CF/CI
- 4" CAN LIGHT • LED BULB • CF/CI
- EXHAUST FAN W/ LIGHT • LED BULB • CF/CI
- 39" FUZE CHANDELIER BY TROY F6865 (SINGLE TIER) • DIMMABLE • LED BULB • CF/CI
- 39" W DECORATIVE PENDANT LIGHT FUZE CHANDELIER BY TROY LIGHTING F6864 (TWO TIER) • DIMMABLE • LED BULB • CF/CI
- VANITY LIGHT ABOVE MIRROR DAINOLITE ARL-3624LEDW-MB • LED BULB • CF/CI
- TRACK LIGHT (BLACK) TRAC-LITES 10W LED R600L G2 ON INDEPENDENT DIMMER SWITCH • LED BULB • CF/CI
- EMERGENCY EXIT LIGHT GREEN ON CLEAR ACRYLIC • LED BULB • CF/CI
- EMERGENCY BACKUP LIGHT • LED BULB • CF/CI

Project Status

2021.06.16	FOR CONSTRUCTION
2	2021.07.30 CB 02
3	2021.08.25 CB 03

PROJ. # 21111-01

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ARCHITECTURE 2021

REFLECTED CEILING PLAN

A102

FOR CONSTRUCTION

HOOK AND FADE

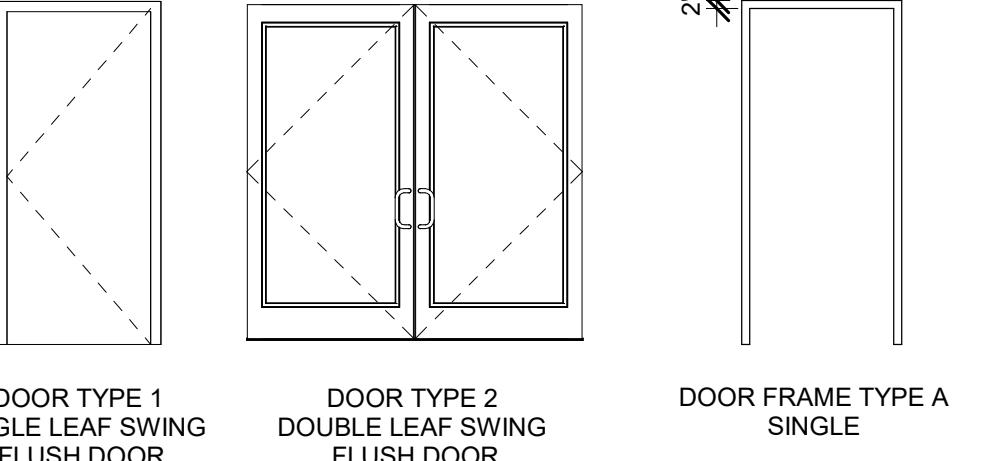
TENANT IMPROVEMENT

113 SOUTH HAMILTON ST
MADISON, WI

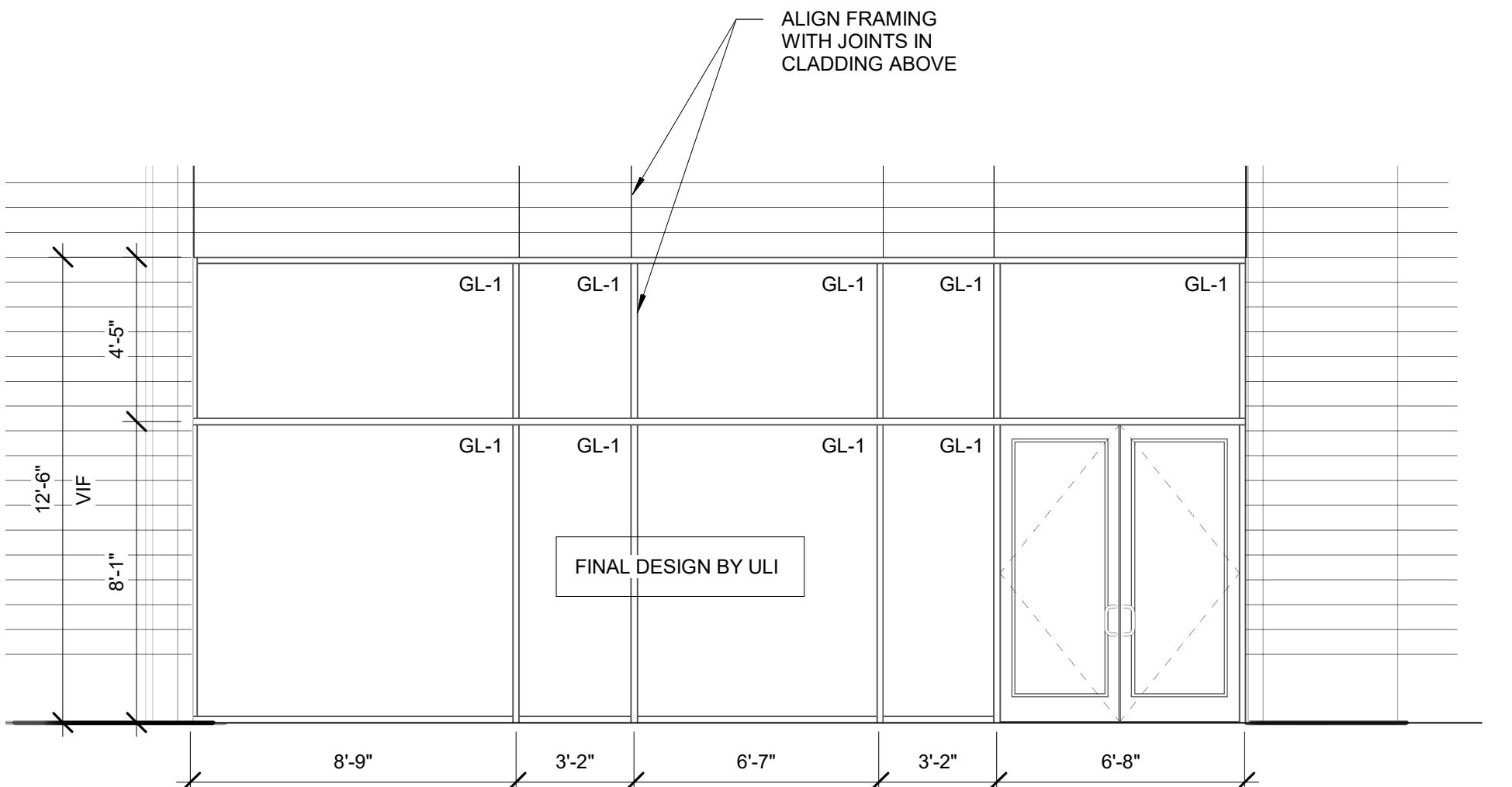
DOOR SCHEDULE

MARK	NOMINAL DOOR SIZE (W x H x THK)	DOOR PANEL			GLAZING	TYPE	MATERIAL	FINISH	FRAME	HARDWARE	WALL FIRE RATING	EXISTING / NEW	REMARKS
		TYPE	MATERIAL	FINISH									
101	6'-5" x 8'-0" x 2"	2	ALUMINUM	FACTORY	1" DOUBLE PANE, LOW-E, SAFETY TEMPERED, MATCH EXISTING	SEE ELEV	ALUM	FACTORY	L-6-L-7-L-8, H-20,C-30			New Construction	1
103	3'-0" x 7'-0" x 1 3/4"	1	SOLID CORE WOOD	PT-4	NO	A	HOLLOW MTL	PT-4	L-2-H-20-C-31			New Construction	
105	3'-0" x 7'-0" x 1 3/4"	1	SOLID CORE WOOD	PT-2	NO	A	HOLLOW MTL	PT-2	L-1,H-20			New Construction	
106	3'-0" x 7'-0" x 1 3/4"	1	SOLID CORE WOOD	PT-2	NO	A	HOLLOW MTL	PT-2	L-1,H-20			New Construction	

FIRST FLOOR: 4

DOOR FRAME TYPE A
SINGLE**DOOR ELEVATIONS**

1/4" = 1'-0"

**STOREFRONT AA**

1/4" = 1'-0"

NOTE: STOREFRONT ELEVATION HAS BEEN PREVIOUSLY
APPROVED BY MINOR ALTERATION FOR 117 S. HAMILTON ST**GLAZING TYPE SCHEDULE**

MARK	DESCRIPTION
GL-1	1" DOUBLE PANE, LOW-E, SAFETY TEMPERED, MATCH EXISTING

DOOR SCHEDULE REMARKS

NO.	REMARK
1	VERIFY ENTRANCE DOOR AND HARDWARE REQUIREMENTS WITH BUILDING OWNER/TENANT
2	
3	

DOOR SCHEDULE LEGEND

ABBREVIATION	TERM
ALUM	ALUMINUM
ETR	EXISTING TO REMAIN
HC WD	HOLLOW CORE WOOD
HM	HOLLOW METAL
INS MTL	INSULATED METAL
MANF	MANUFACTURER
PT	PAINT
SC WD	SOLID CORE WOOD
SST	STAINLESS STEEL
ST	STAIN

DOOR HARDWARE SCHEDULE

NO.	QTY	HARDWARE	MANUFACTURER	MODEL	FINISH
LOCKSETS					
L-1	1	RESTROOM PRIVACY LOCK SET			
L-2	1	STORAGE LOCK SET			
L-3	1	OFFICE LOCK SET			
L-4	1	CLOASROOM LOCK SET			
L-5	1	FLUSH BOLT AT HEAD ON INACTIVE SIDE			
L-6	1	THUMB TURN			
L-7	1	PUSH			
L-8	1	PULL			
L-9					
L-10					
HINGES					
H-20	3	1 1/2" PAIR HINGES, STANDARD WEIGHT			
H-21	3	1 1/2" PAIR HINGES, HEAVY DUTY			
H-22	6	1 1/2" PAIR HINGES, STANDARD WEIGHT			
H-23					
H-24					
CLOSERS					
C-30	1	CLOSER WITH HOLD OPEN			
C-31	1	CLOSER WITH ARM STOP			
C-32	1	SURFACE CLOSER			
C-33					
C-34					
STOPS					
S-40	1	FLOOR STOP			
S-41	1	WALL STOP			
S-42	1	OVERHEAD STOP			
S-43					
S-44					
OPERATORS					
O-50	1	POWER OPERATOR			
O-51					
O-52					
MISCELLANEOUS					
M-60	1	PEEP HOLE			
M-61	1	KICK PLATE			
M-62					
M-63					

DOOR GENERAL NOTES:

- A. VERIFY DOOR SIZES FROM DOOR SCHEDULE. VERIFY ALL ROUGH OPENINGS WITH RESPECTIVE MANUFACTURERS.
- B. PROVIDE SAFETY GLAZING PER CODE IN ALL DOORS AND FRAMES.
- C. PROVIDE ACCESSIBLE HARDWARE INCLUDING BUT NOT LIMITED TO DOOR HANDLES, PULLS, LATCHES, LOCKS, OPERATING DEVICES AND THRESHOLDS AT ALL NEW DOORS. REFER TO SECTION 1010.1.9.1 IN 2015 IBC FOR CODE REQUIREMENTS.
- D. REINFORCE ALL DOORS FOR HARDWARE WITH OWNER AND TENANT LOCATION AND REQUIREMENTS OF SPECIAL SECURITY DEVICES.
- E. REFER TO SHEET A001 FOR DOOR CLEARANCE REQUIREMENTS.
- F. HARDWARE SCHEDULE IS FOR BASIS OF DESIGN ONLY. SUBJECT TO CHANGE. ANY CHANGES TO THE HARDWARE SCHEDULE OR HARDWARE SELECTION MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- G. DOOR HARDWARE SCHEDULE QUANTITIES ARE PER DOOR AND DO NOT REPRESENT THE QUANTITY REQUIRED FOR ENTIRE PROJECT.

Project Status

2021.06.16	FOR CONSTRUCTION
1	2021.07.23 CB 01
3	2021.08.25 CB 03
4	2021.09.29 CB 04

PROJ. #: 21111-01

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ARCHITECTURE 2021**DOOR AND WINDOW SCHEDULES****A601****FOR CONSTRUCTION**

**EQUIPMENT AND
FURNITURE PLAN GENERAL
NOTES:**

A. ALL EQUIPMENT SHOWN AND / OR IDENTIFIED IS FOR CONCEPT ONLY. FINAL EQUIPMENT SELECTION TO BE PERFORMED BY TENANT, ARCHITECT AND GENERAL CONTRACTOR.

B. EQUIPMENT SHOWN IS FOR BASIC PROJECT UNDERSTANDING AND IN NO WAY A COMPLETE LIST OF EQUIPMENT AND / OR THEIR SPECIFIC UTILITY REQUIREMENTS. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING FINAL UTILITY SUPPLY TO EACH RESPECTIVE PIECE OF EQUIPMENT.

HATCH PATTERN KEY:

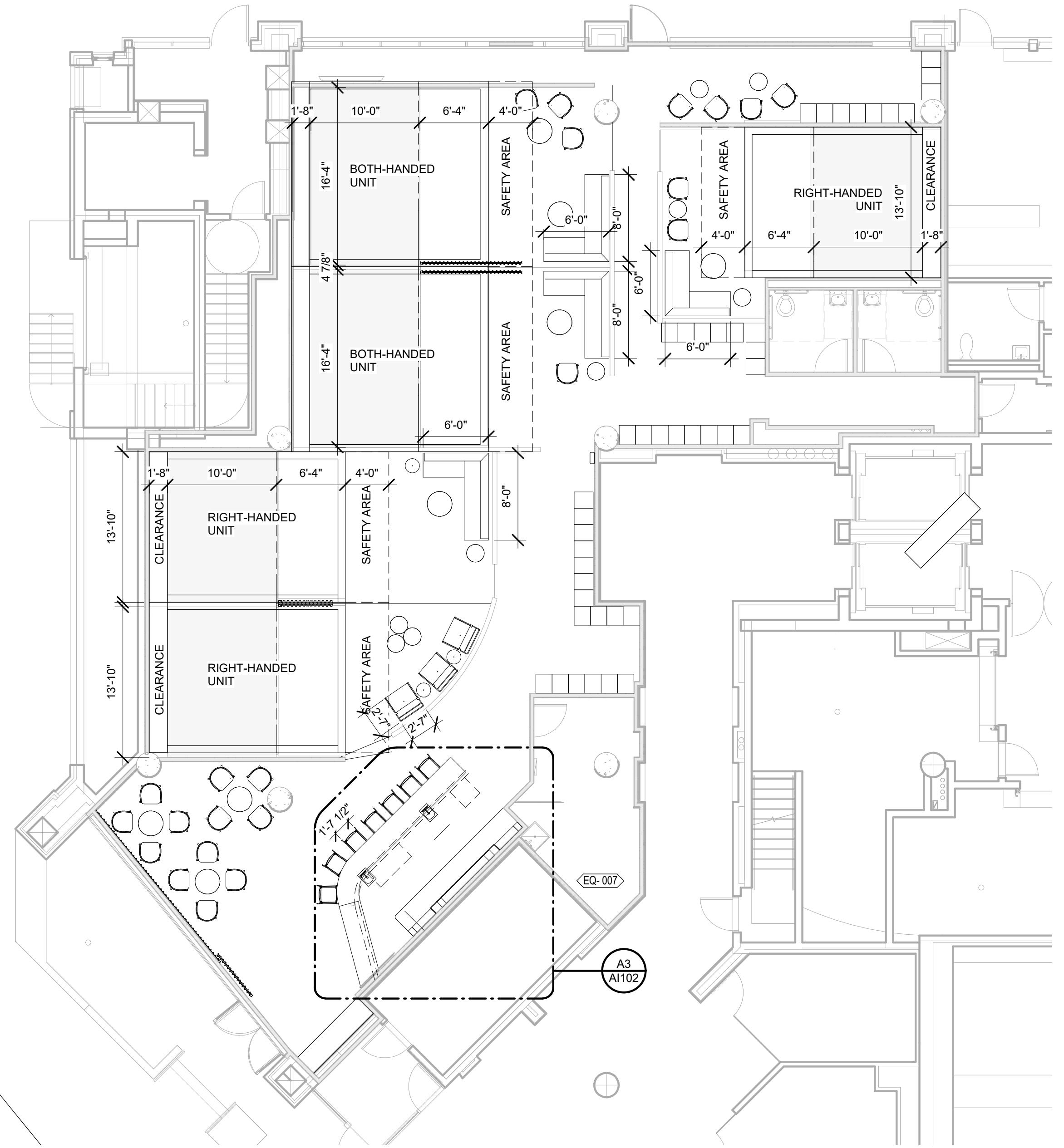
 NEW CONSTRUCTION
 EXISTING CONSTRUCTION

D

C

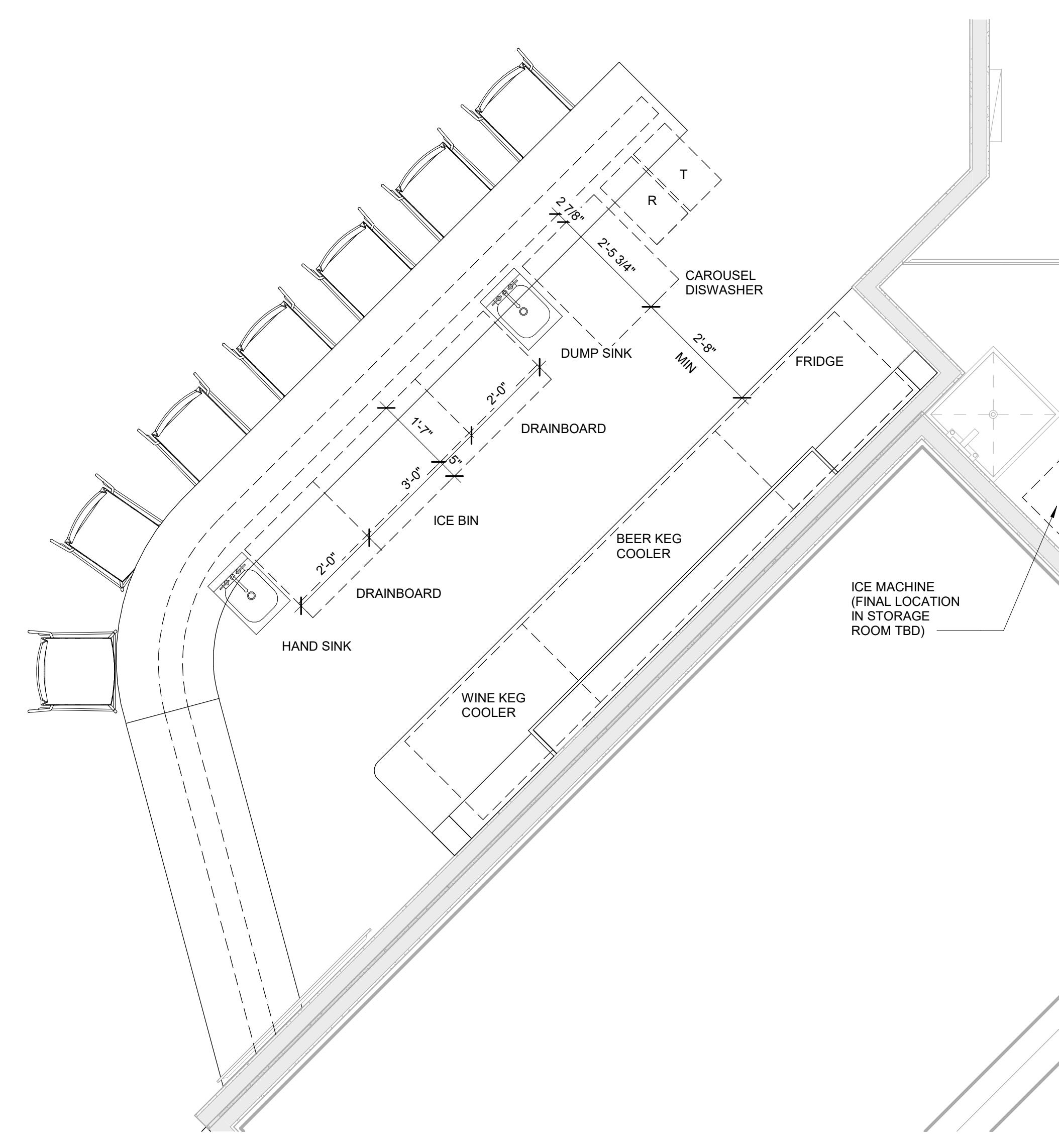
B

A



A1 FURNITURE PLAN
1/8" = 1'-0"

0' 2' 4' 8' 16'
0' 1/4" 1/2" 1" 2"
SCALE: 1/8" = 1'-0"



A3 BAR - EXPANDED PLAN
1/2" = 1'-0"

0' 1' 2' 4'
0' 1/2" 1" 2"
SCALE: 1/2" = 1'-0"

PLAN
NORTH

HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST

MADISON, WI

Project Status

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PROJ. #: 21111-01

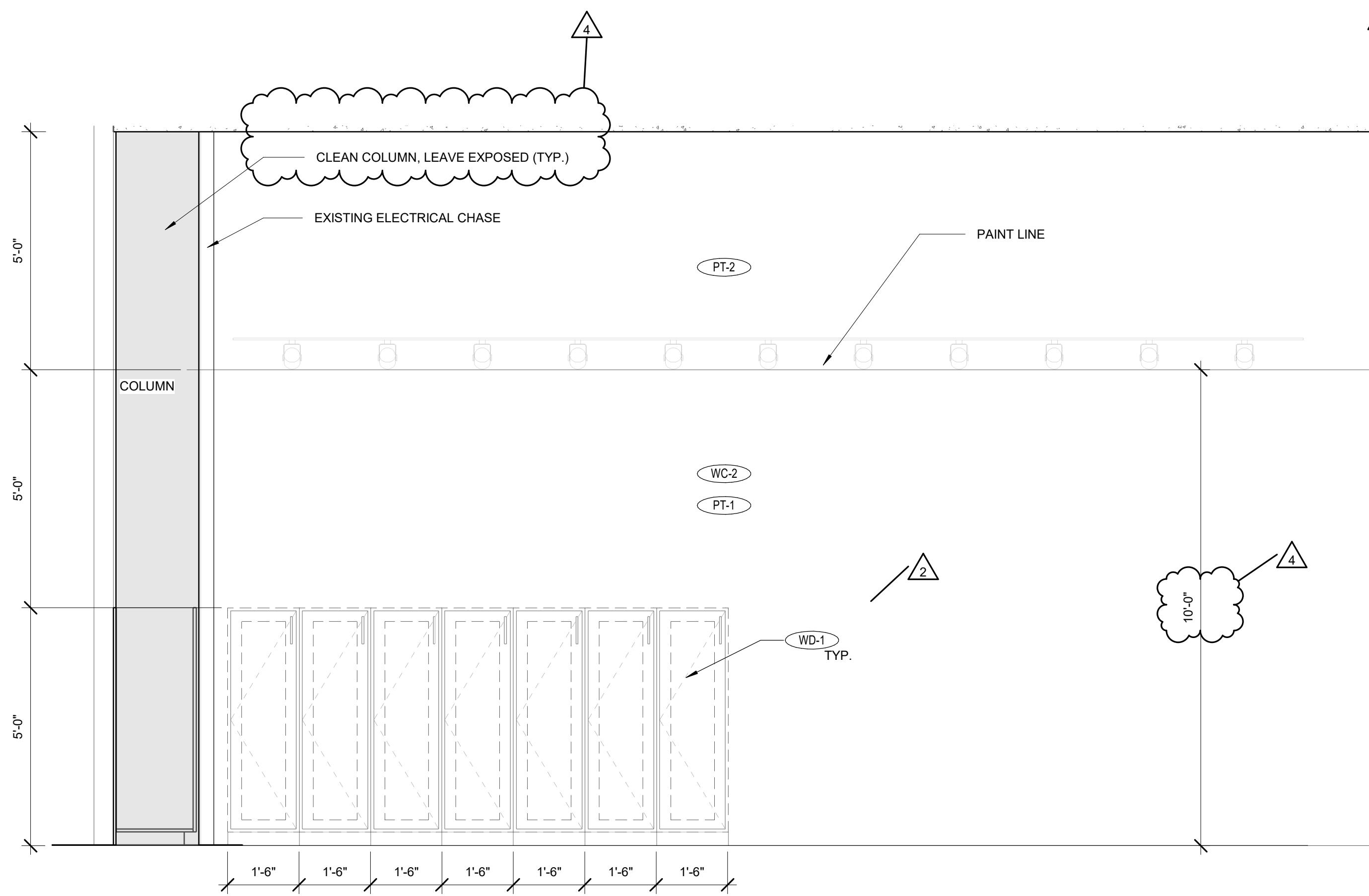
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**EQUIPMENT
AND
FURNITURE
PLAN**

AI102

FOR CONSTRUCTION

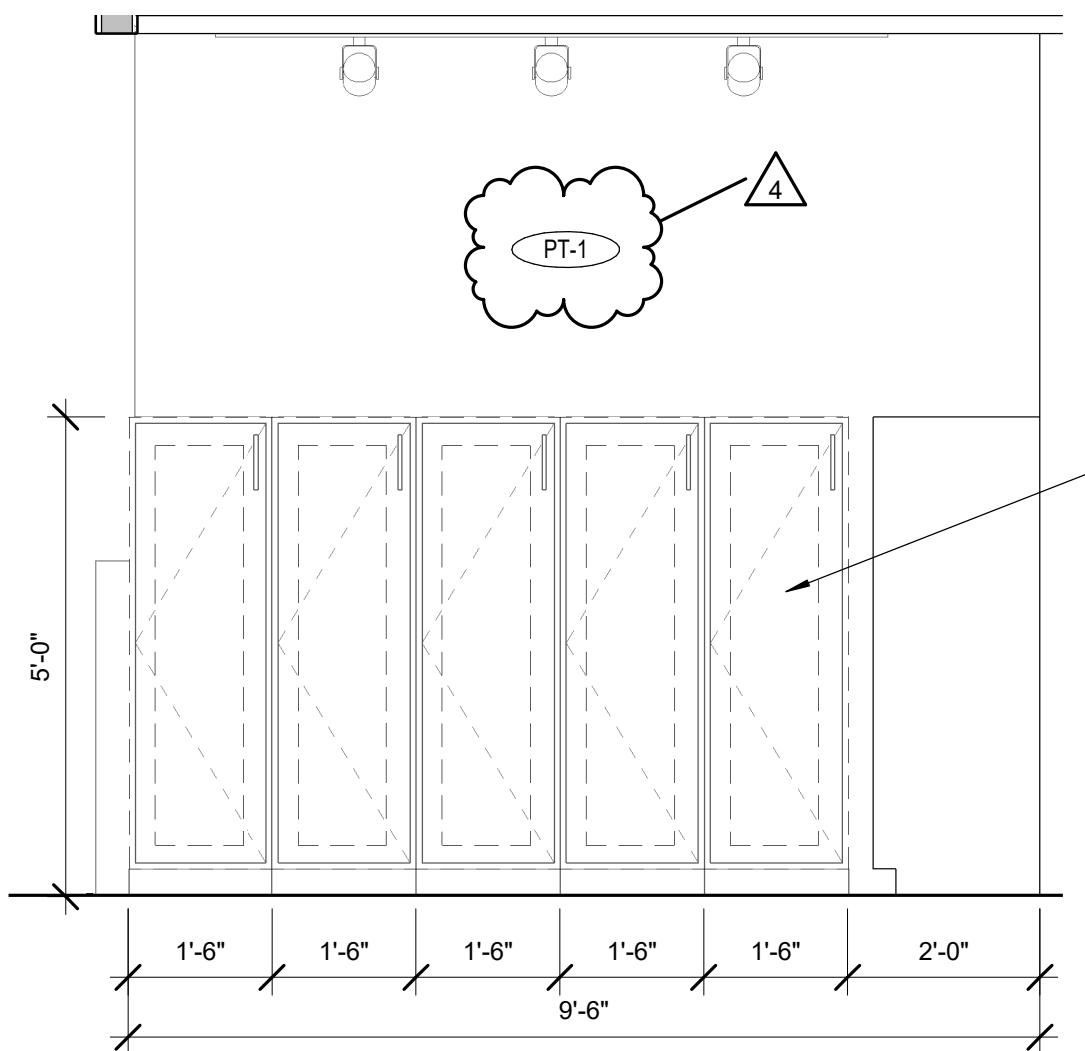
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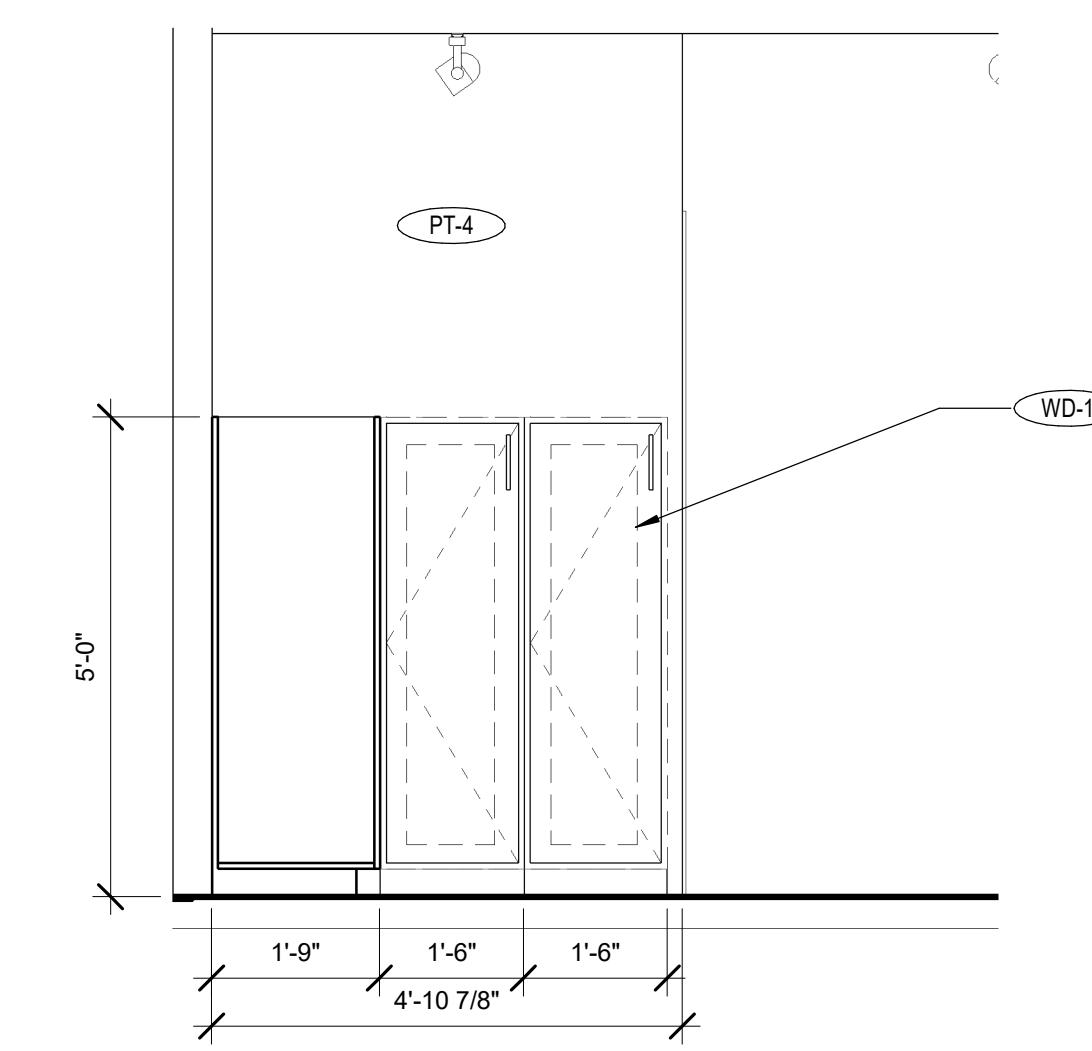
B1 151 BACK CORRIDOR - EAST END
1/2" = 1'-0"

NOTE: PROVIDE ONE COAT HOOK AND ELECTRONIC LOCKS ON ALL LOCKERS.

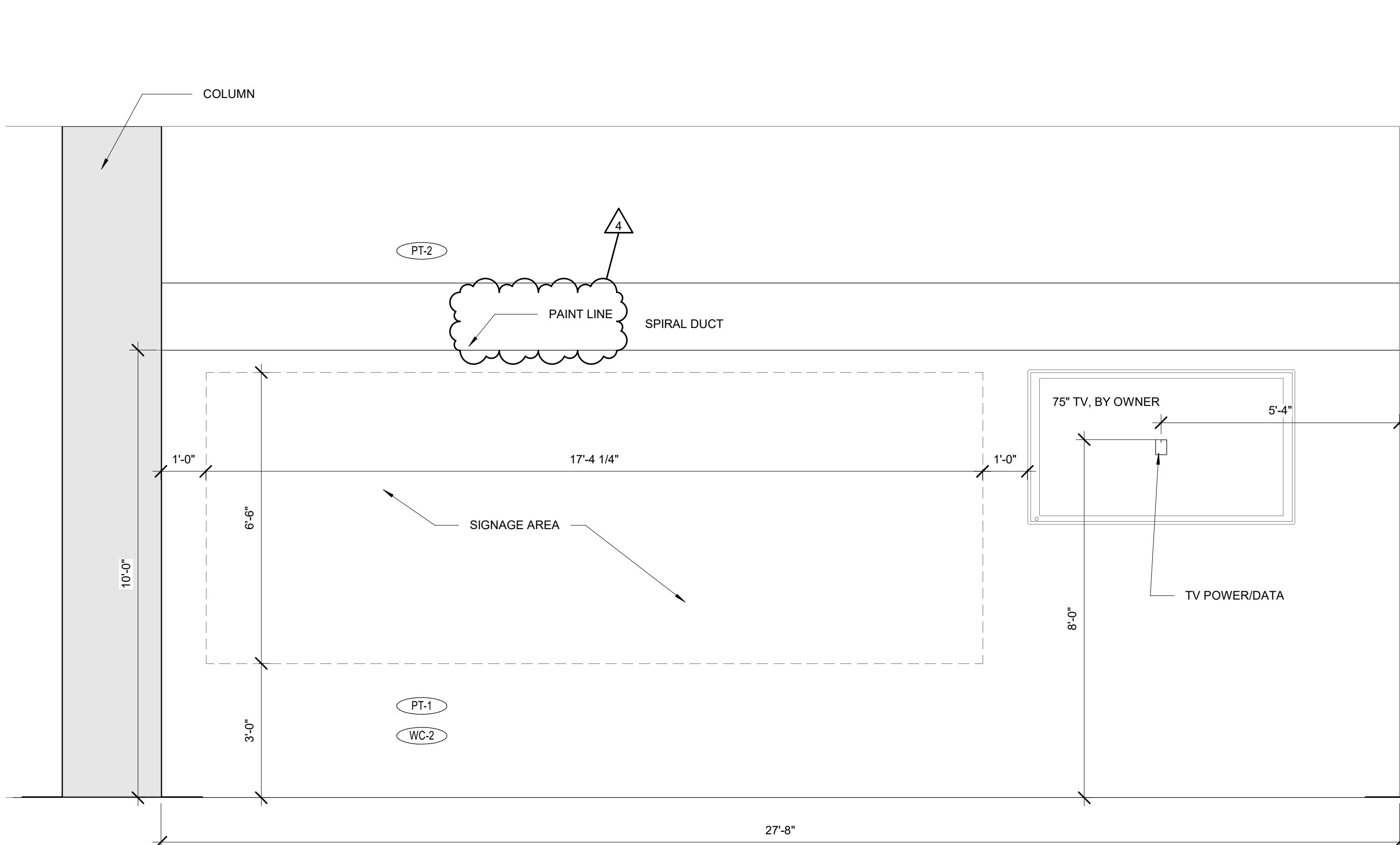
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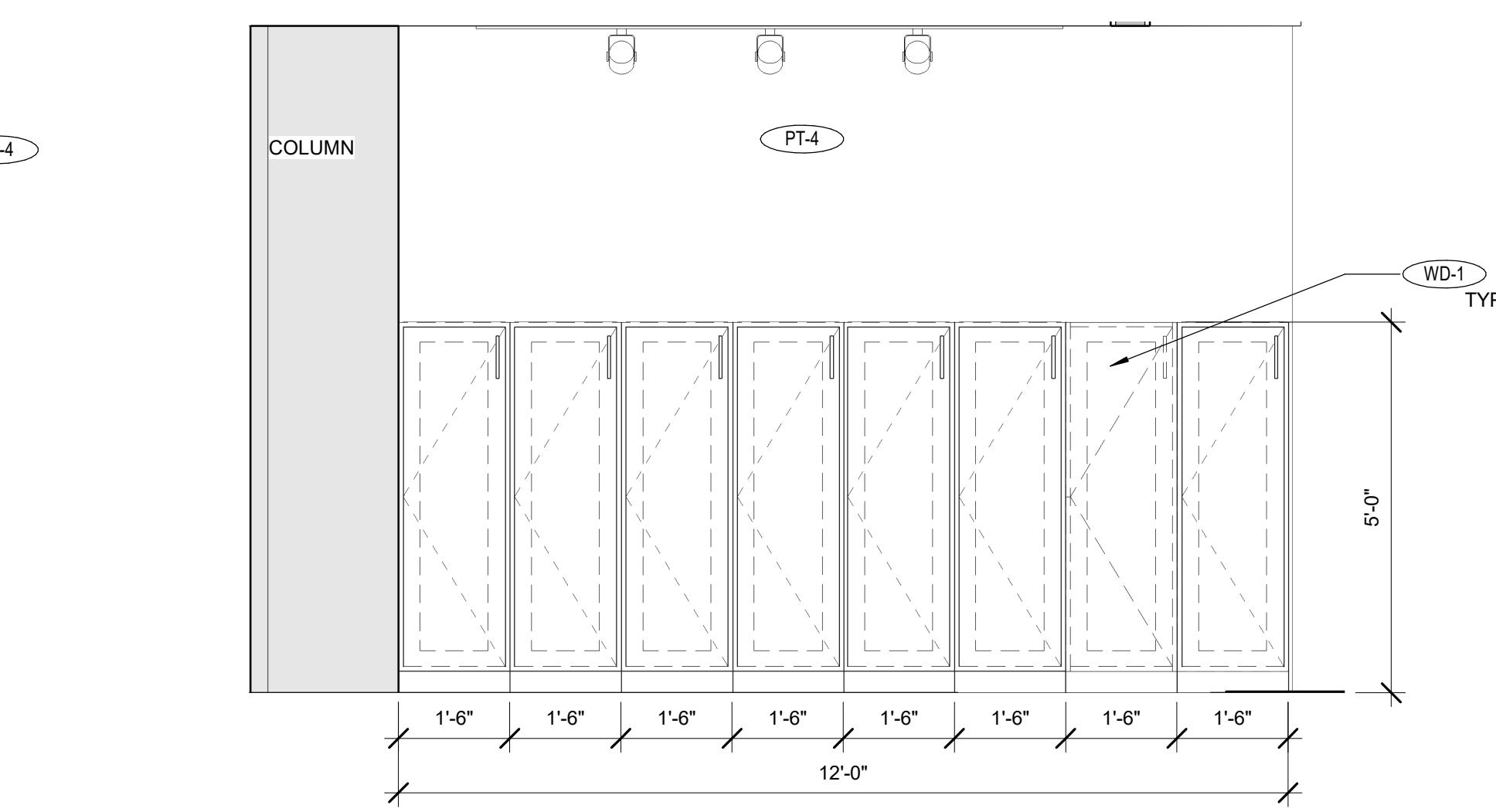
A1 150 LOCKERS - NORTH
1/2" = 1'-0"



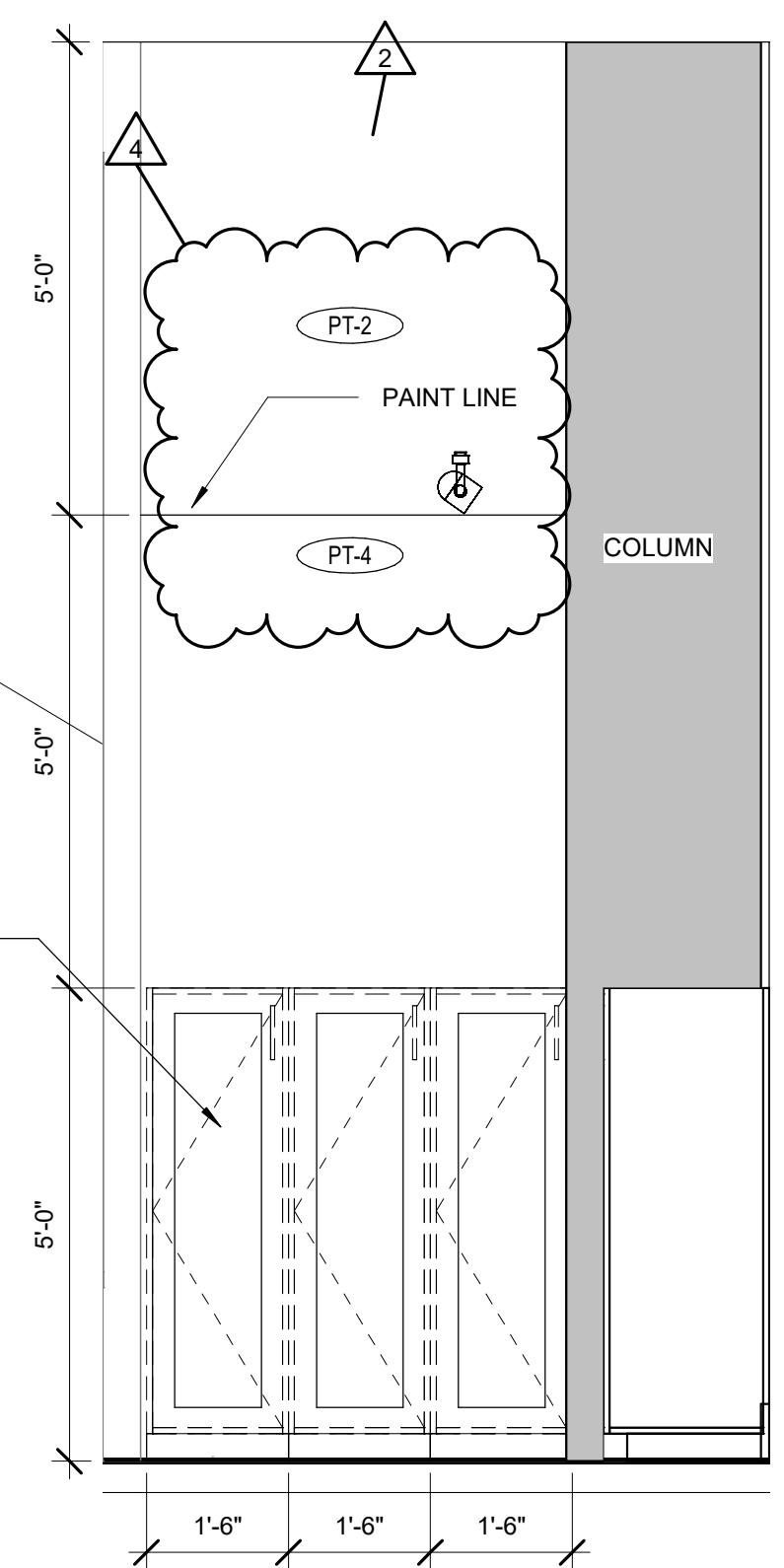
A2 150 LOCKERS - EAST
1/2" = 1'-0"



B2 151 BACK CORRIDOR - WEST END
1/2" = 1'-0"



A3 150 LOCKERS - SOUTH
1/2" = 1'-0"



A4 151 LOCKERS - EAST
1/2" = 1'-0"

HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST

MADISON, WI

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PROJ. #:

21111-01

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ARCHITECTURE 2021

INTERIOR ELEVATIONS

AI201

FOR CONSTRUCTION

HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST

MADISON, WI

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3	2021.08.25	CB 03
4	2021.09.29	CB 04

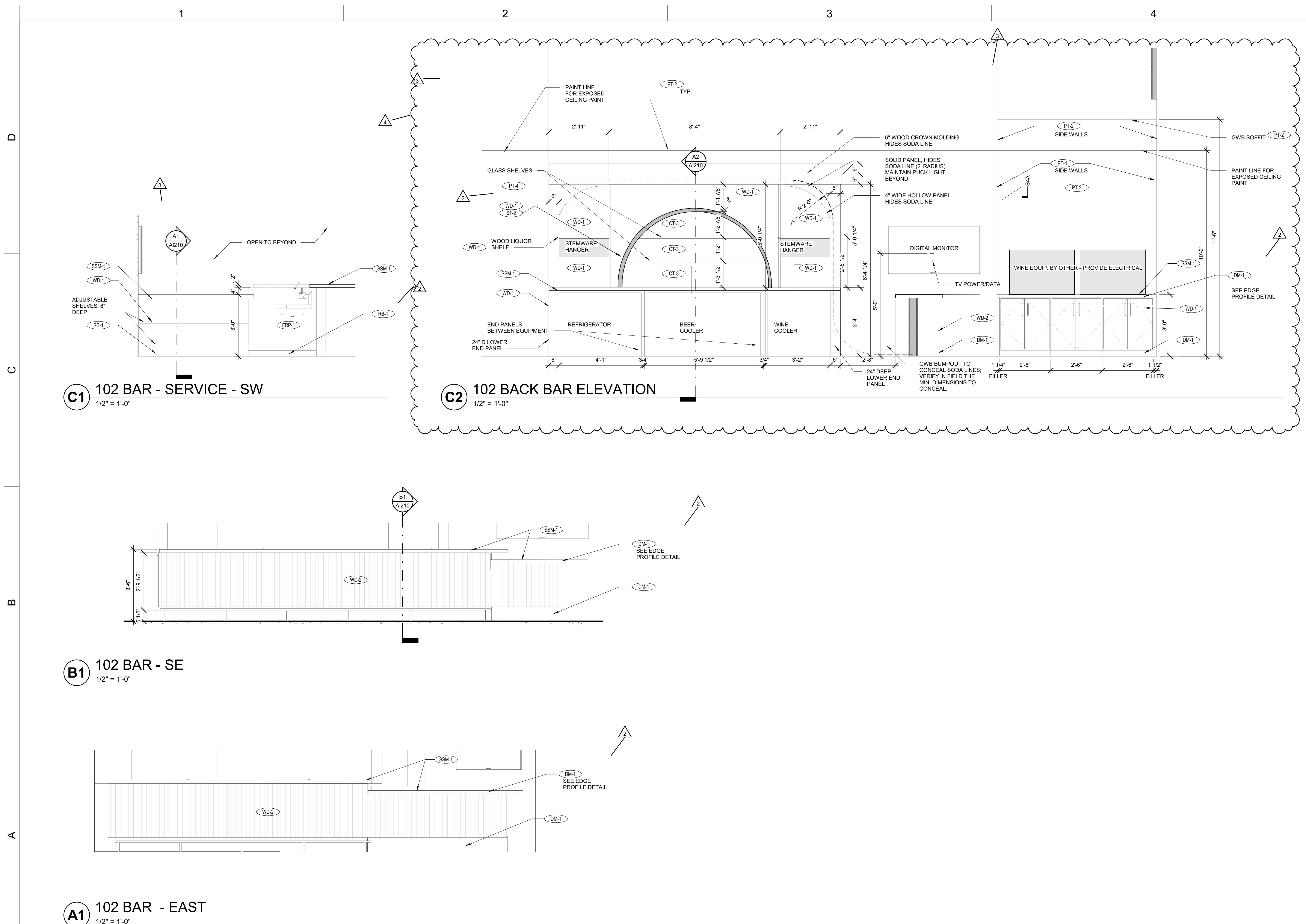
PROJ. #: 21111-01

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ARCHITECTURE 2021

**INTERIOR
ELEVATIONS**

AI202

FOR CONSTRUCTION



1

2

3

4

D

C

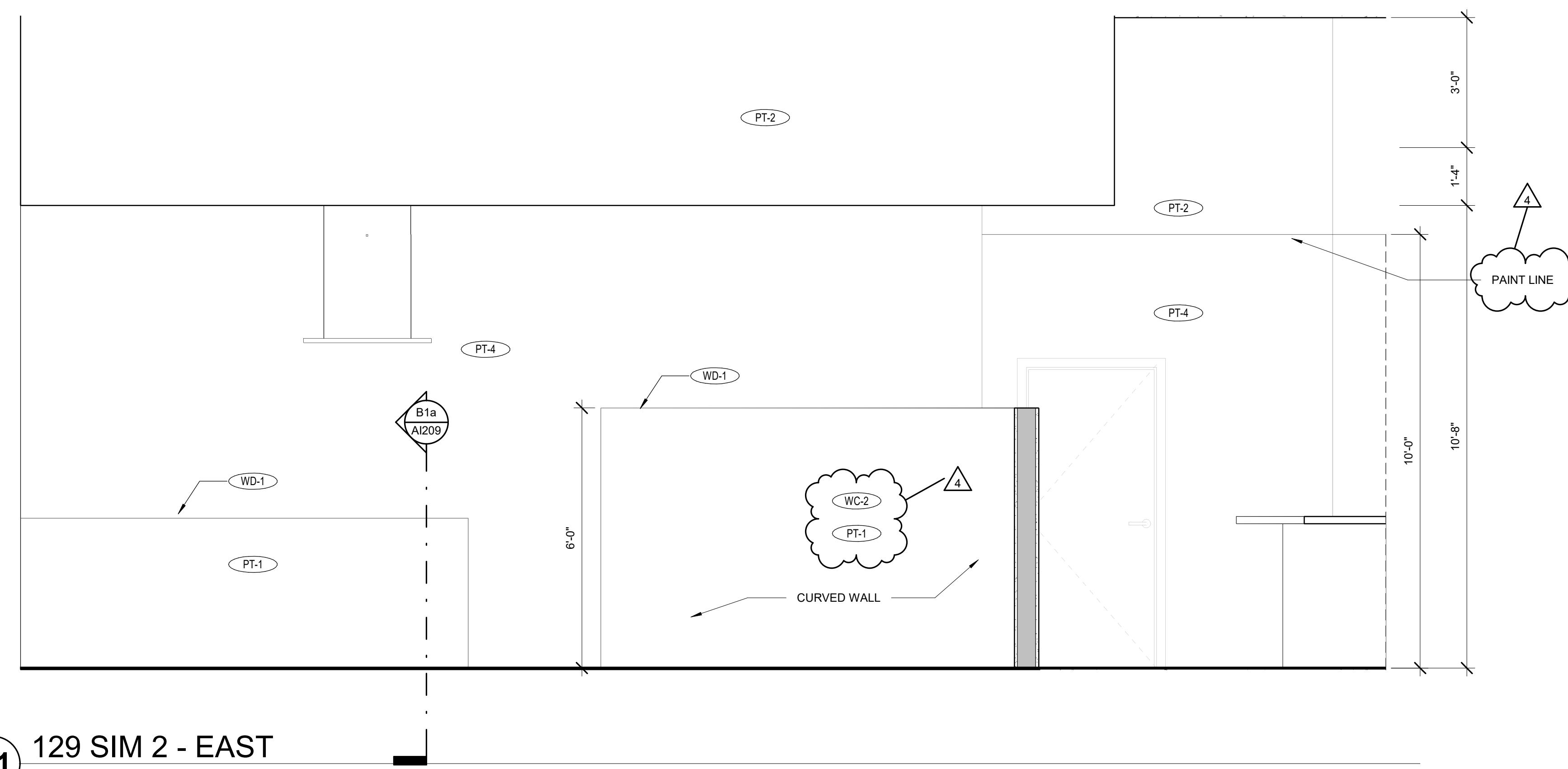
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A

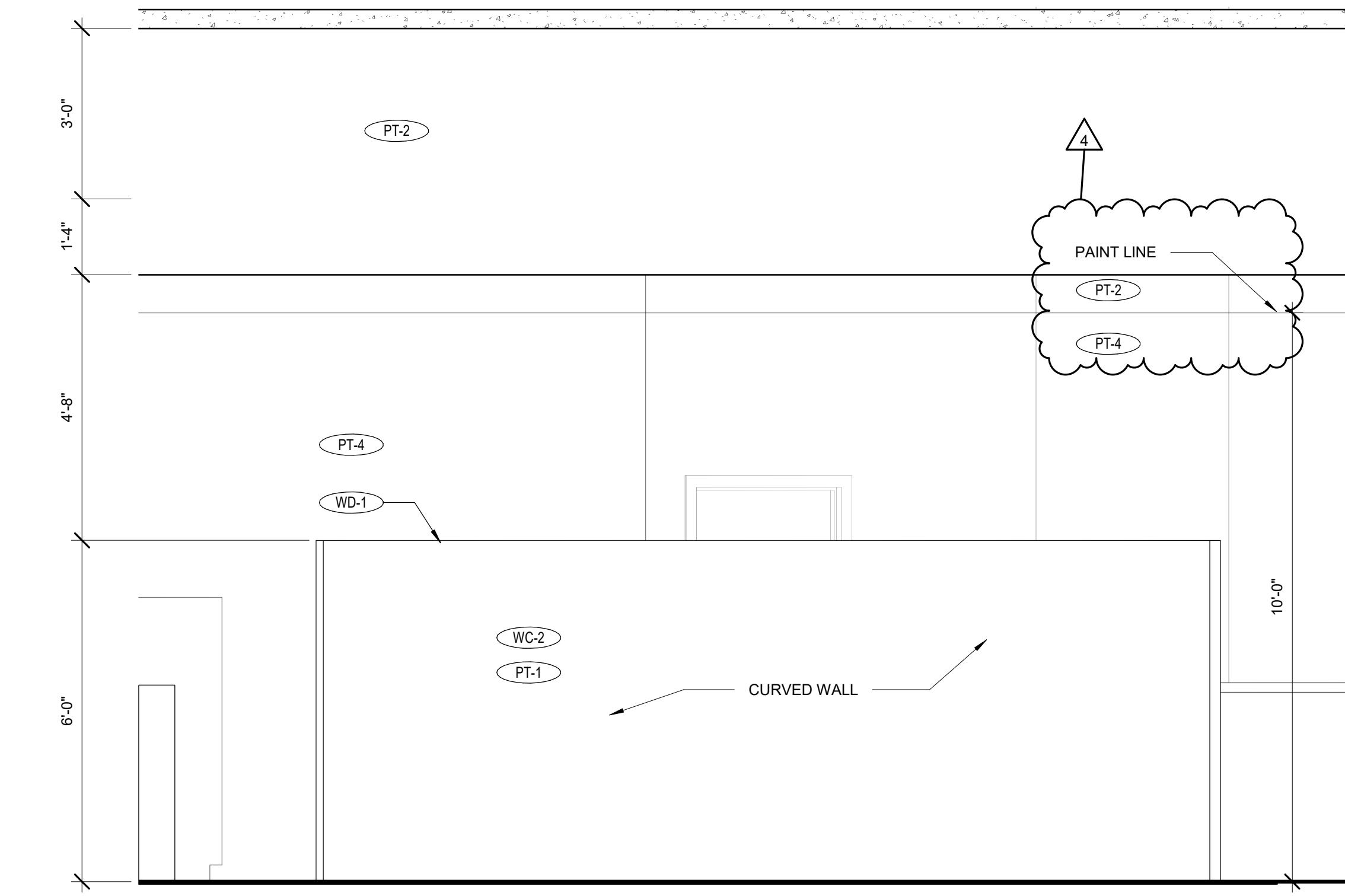
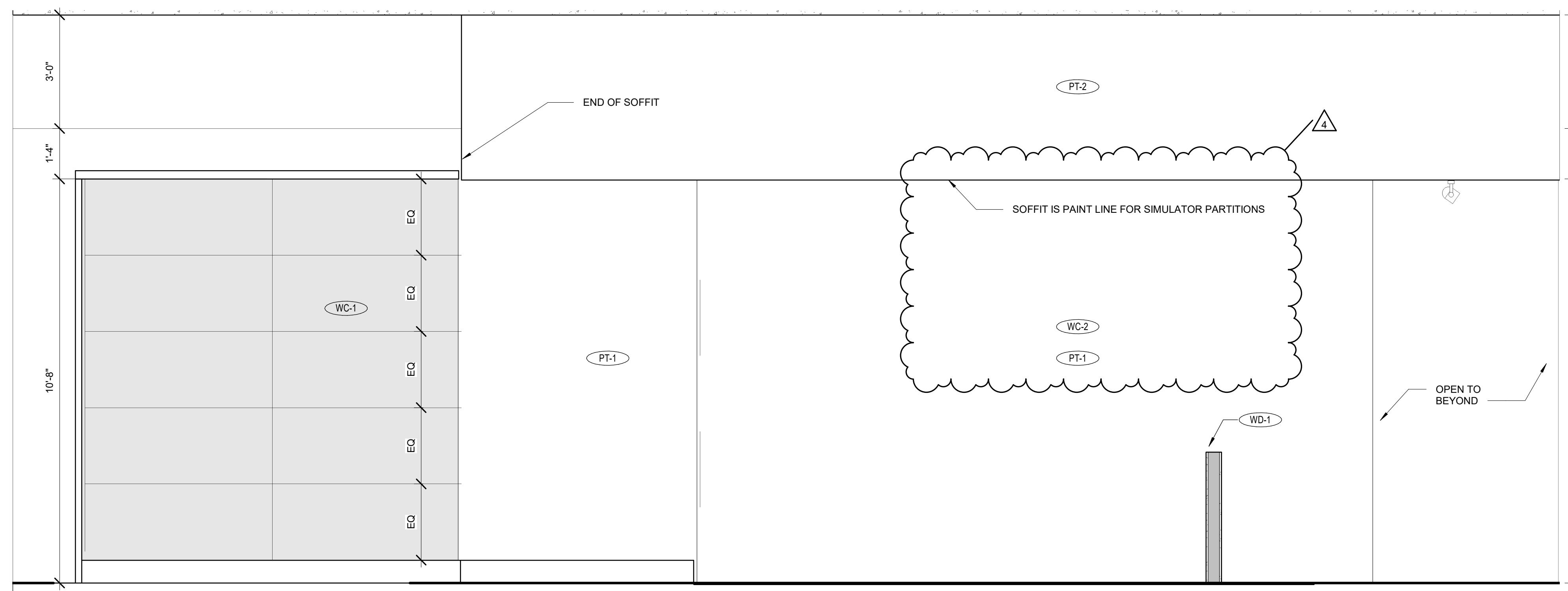
C1 129 SIM 2 - EAST

A1 129 SIM 2 - NORTH

1/2" = 1'-0"



C3 130 SIM 1 - SOUTHEAST



INTERIOR
ELEVATIONS

AI203

FOR CONSTRUCTION

HOOK AND FADE
TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

Project Status

1	2021.07.23	CB 01
4	2021.09.29	CB 04

PROJ. #: 21111-01

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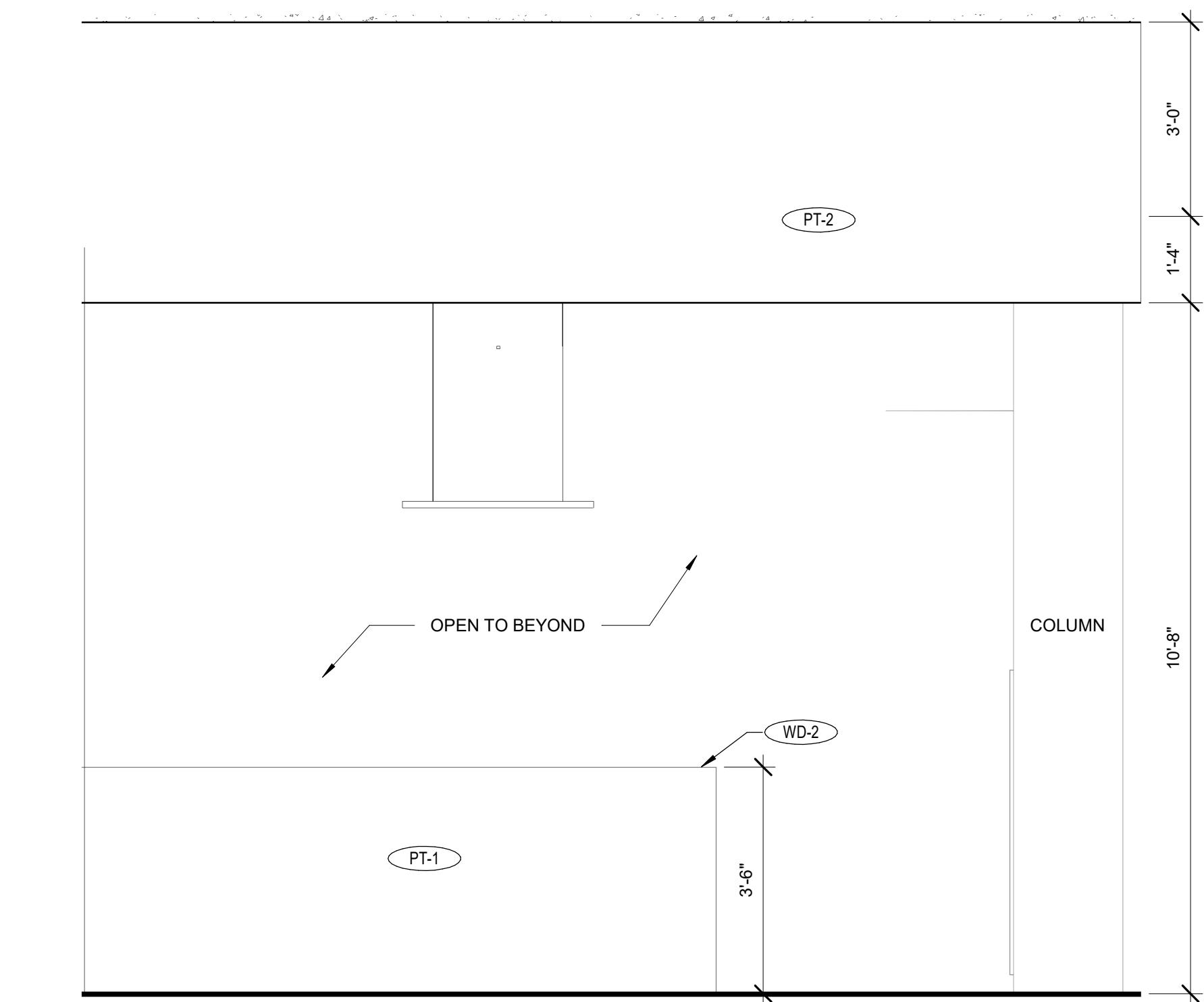
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D

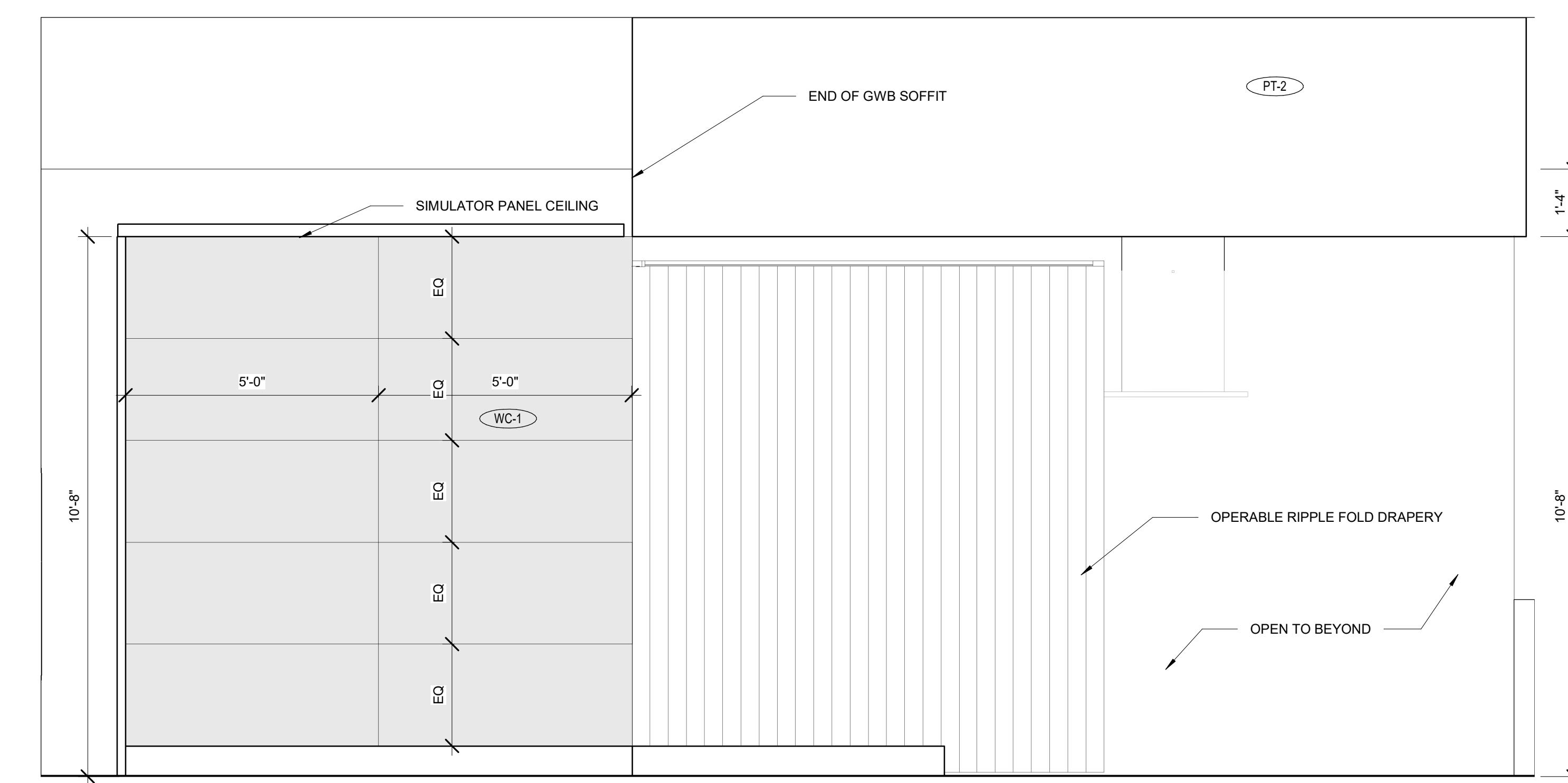
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B

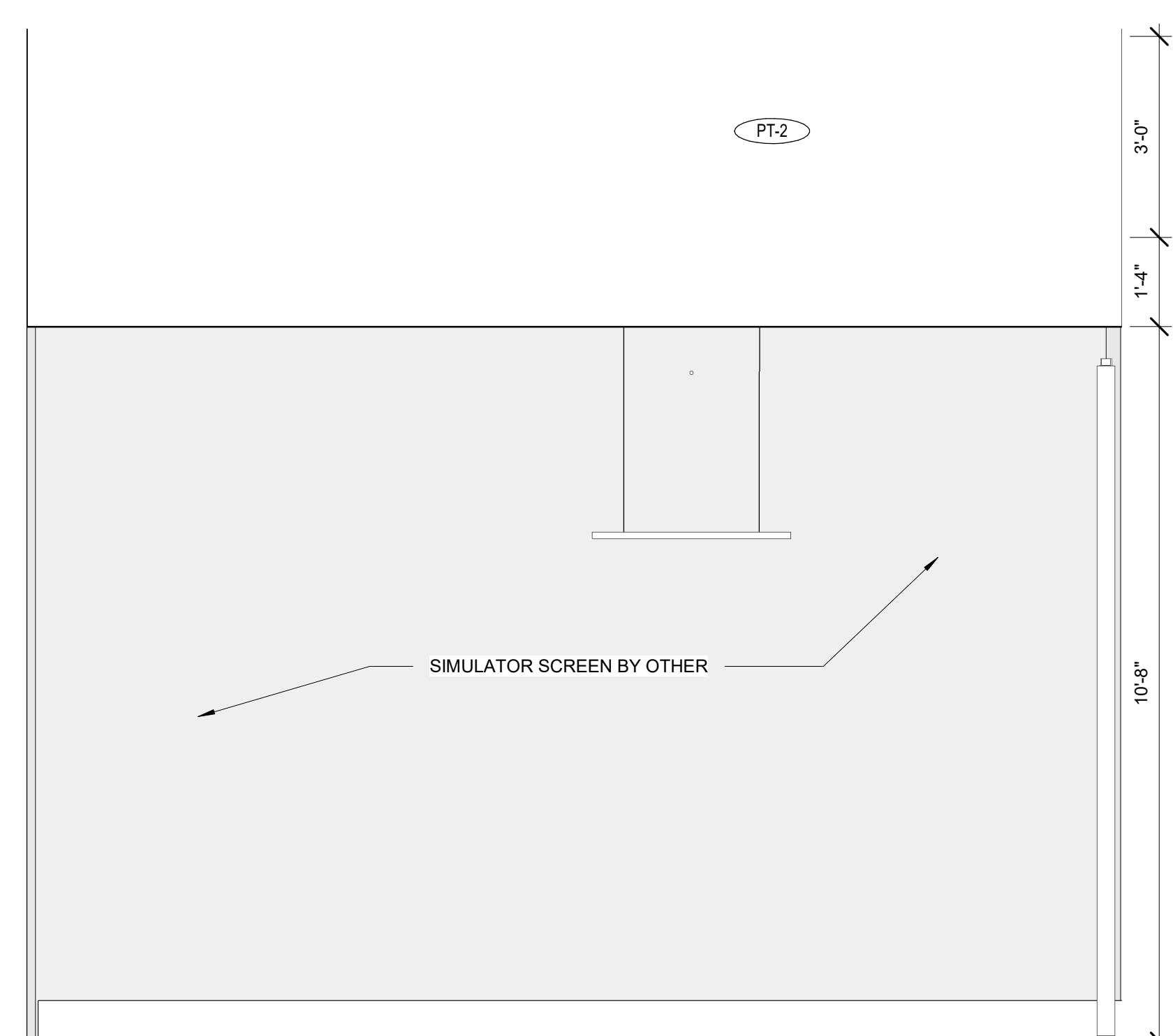
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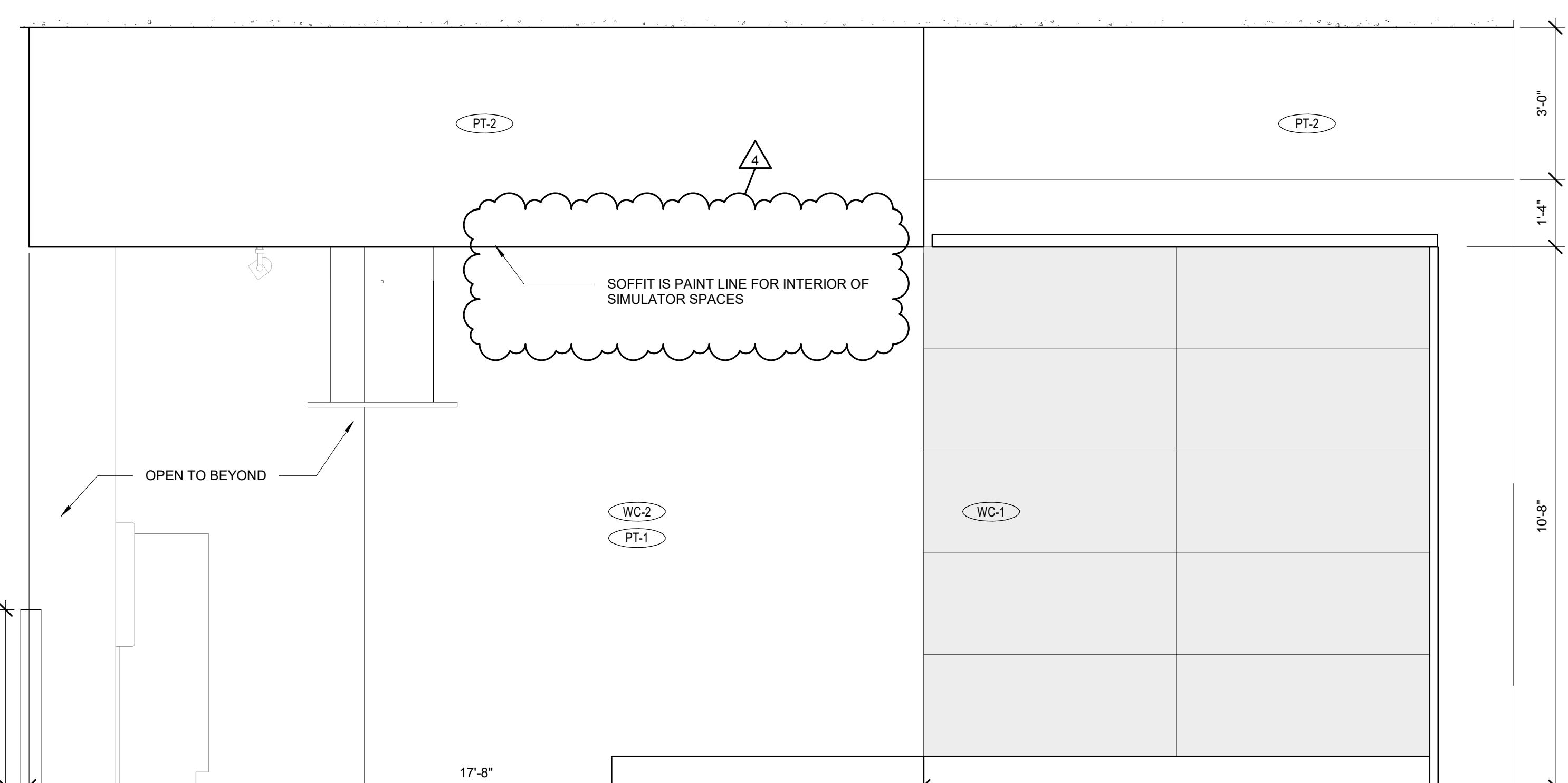
C1 132 SIM 3 - EAST
1/2" = 1'-0"



C2 132 SIM 3 - NORTH
1/2" = 1'-0"



A1 132 SIM 3 - WEST
1/2" = 1'-0"



A2 132 SIM 3 - SOUTH
1/2" = 1'-0"

HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST

MADISON, WI

Project Status

1	2021.07.23	CB 01
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PROJ. #:

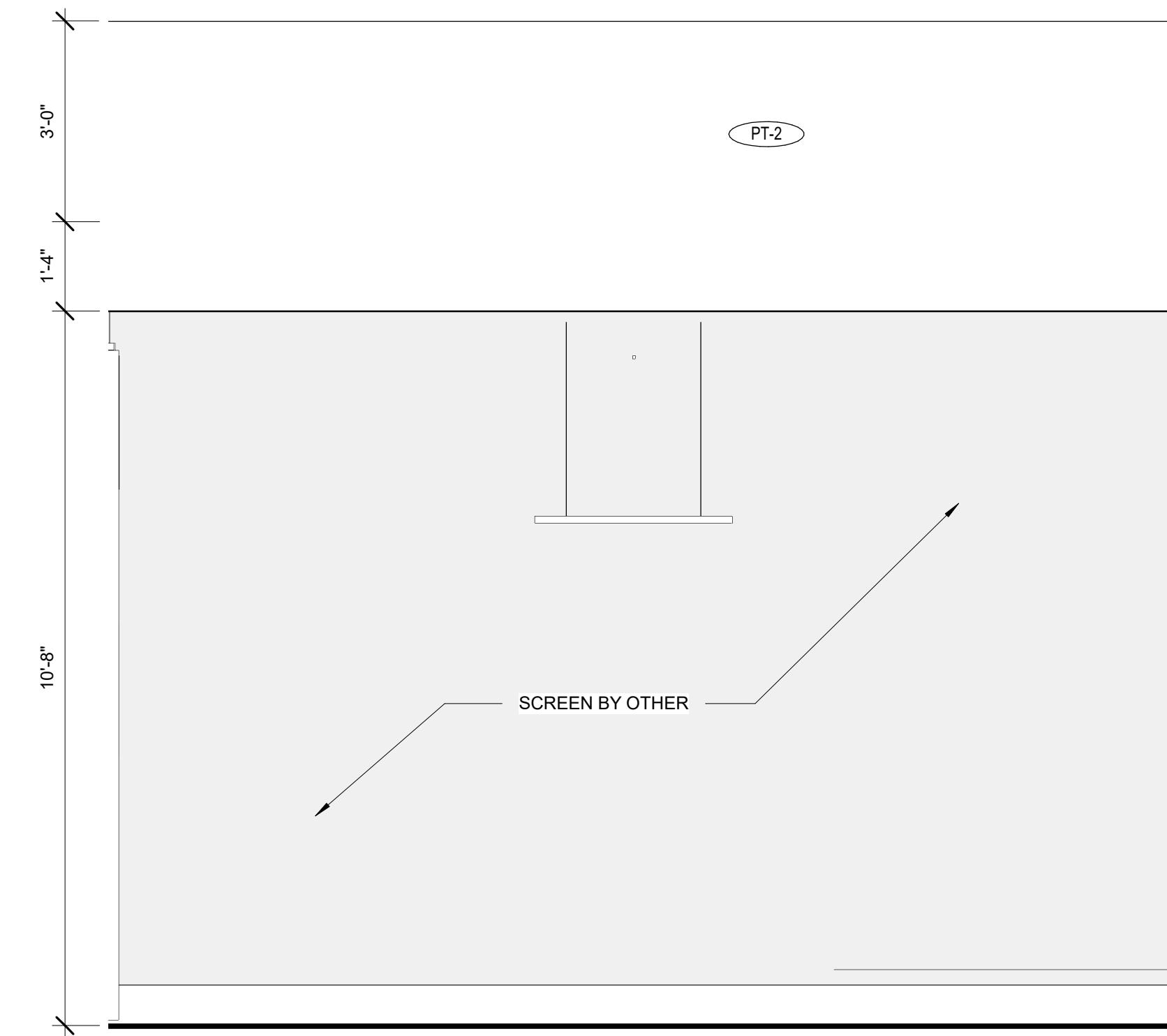
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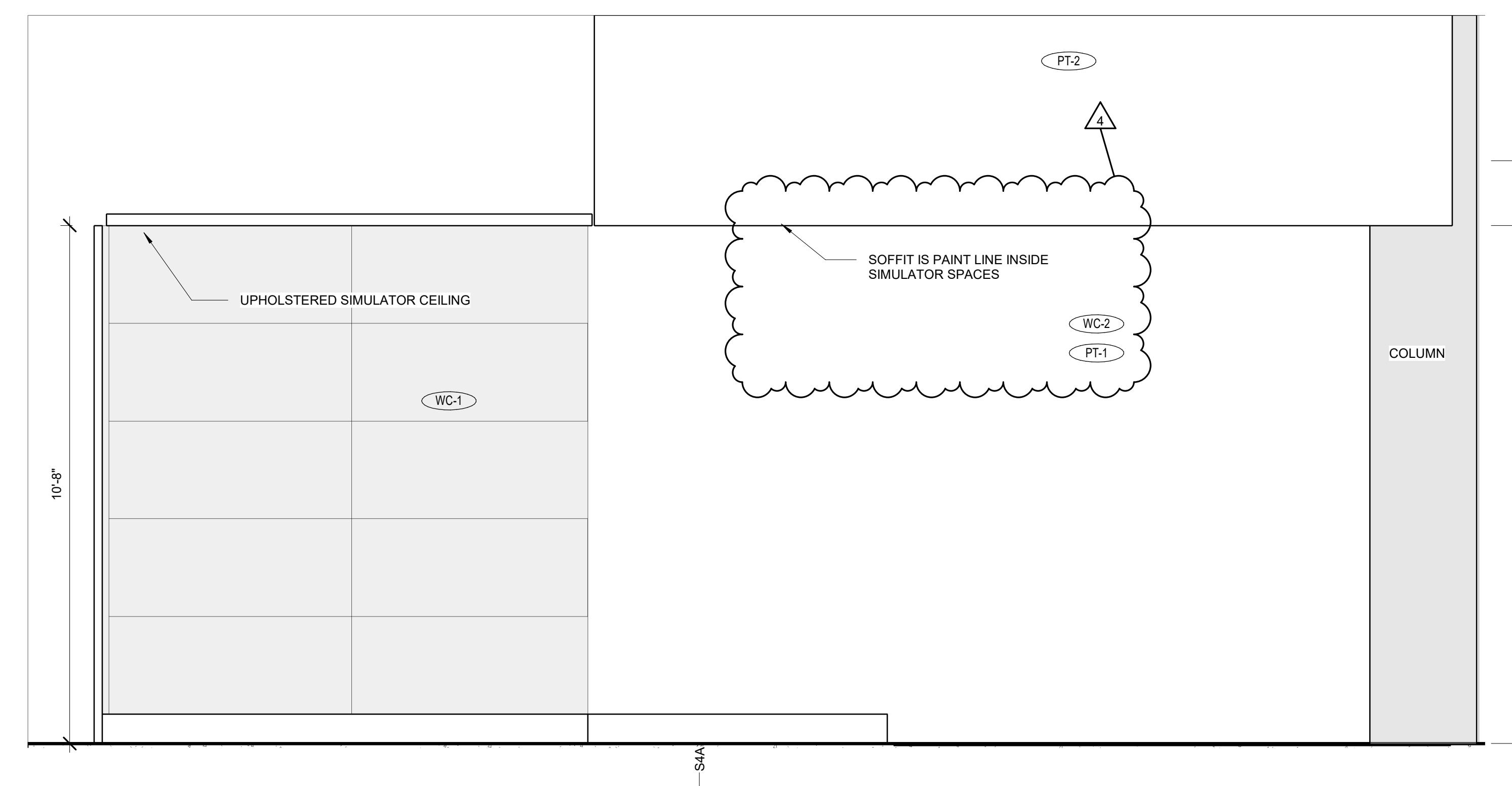
**INTERIOR
ELEVATIONS**

AI204

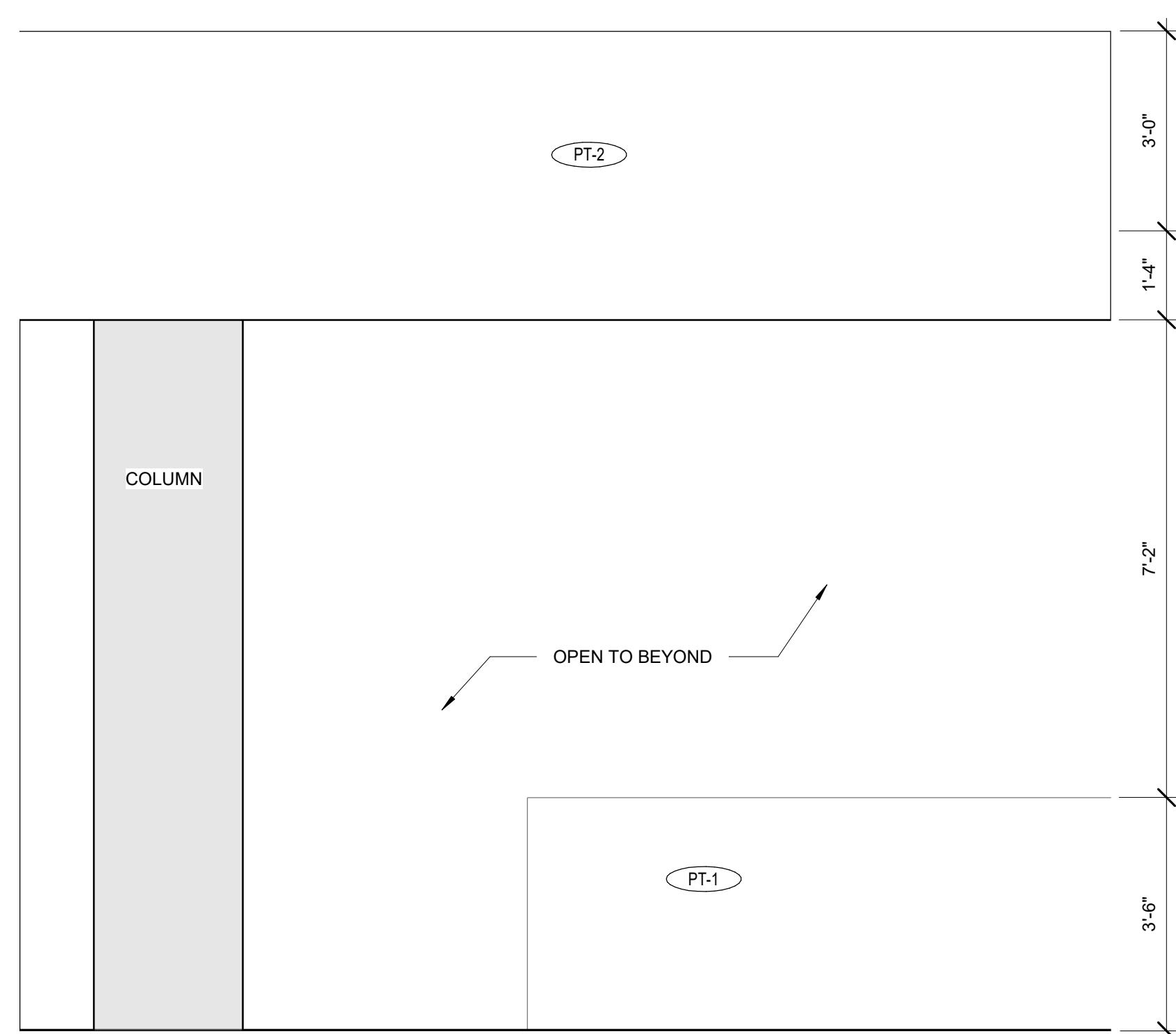
FOR CONSTRUCTION



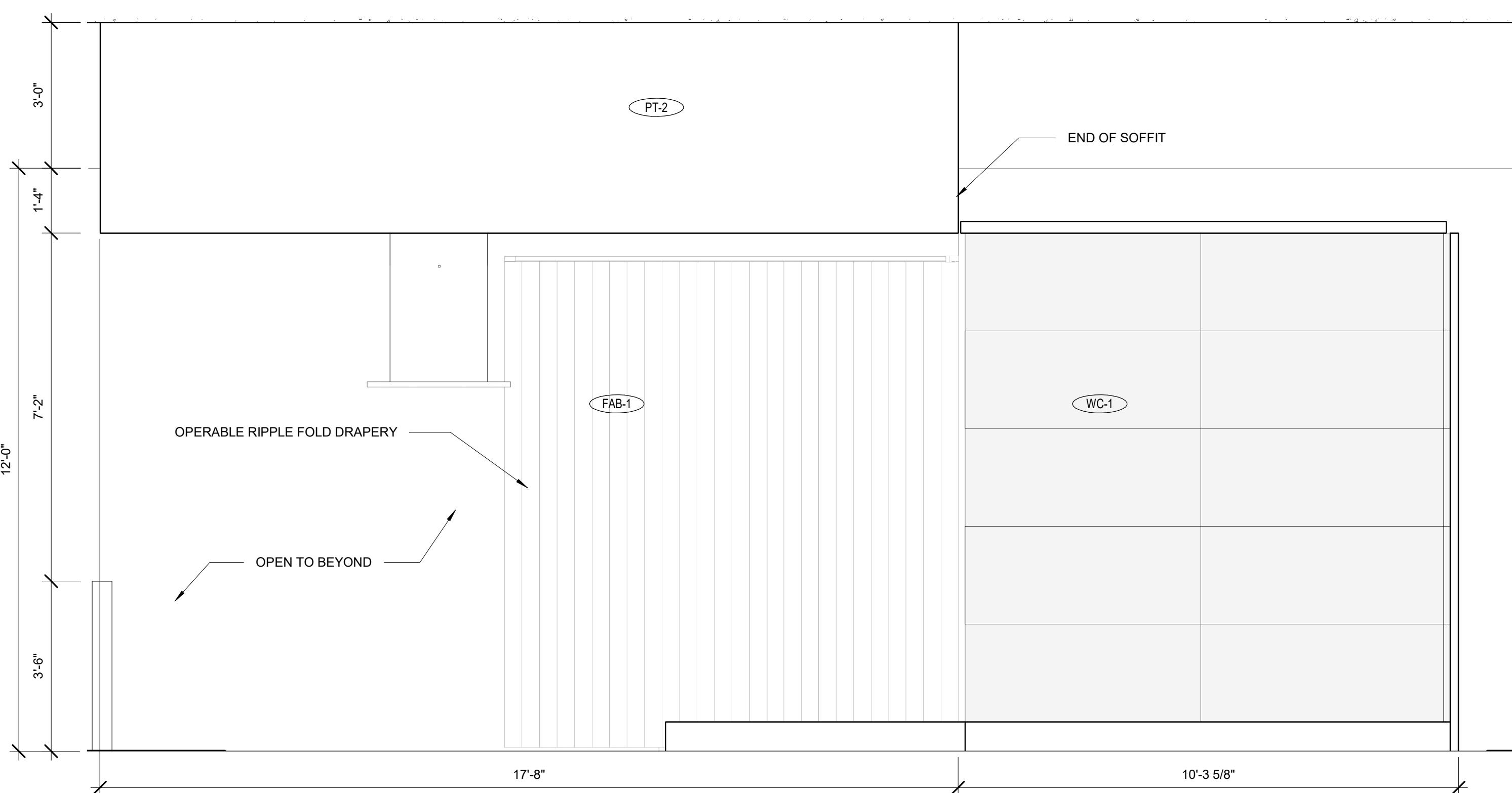
C1 133 SIM 4 - WEST
1/2" = 1'-0"



C2 133 SIM 4 - NORTH
1/2" = 1'-0"



A1 133 SIM 4 - EAST
1/2" = 1'-0"



A2 133 SIM 4 - SOUTH
1/2" = 1'-0"

HOOK AND FADE

TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

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INTERIOR ELEVATIONS

AI205

FOR CONSTRUCTION

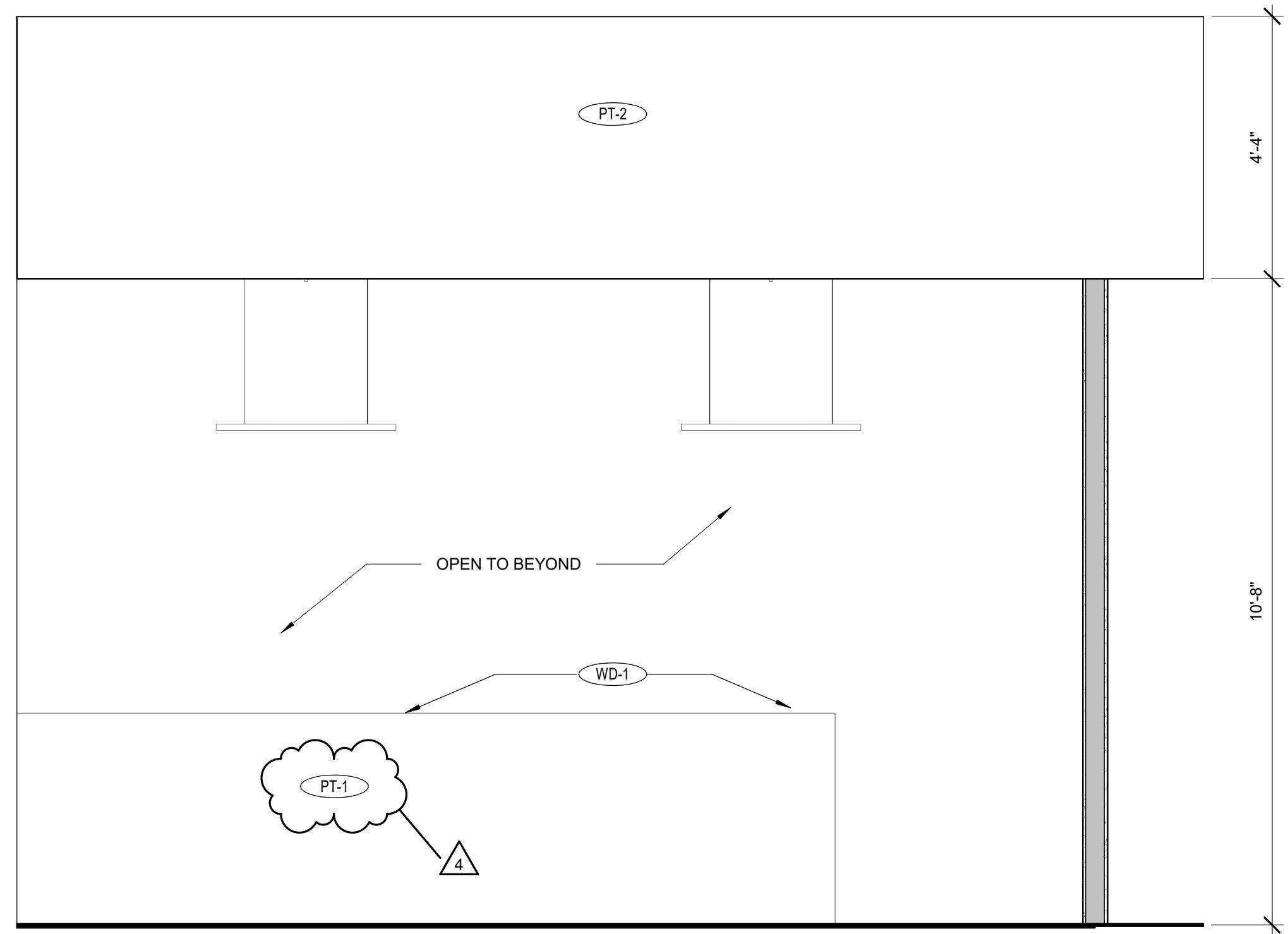
1

2

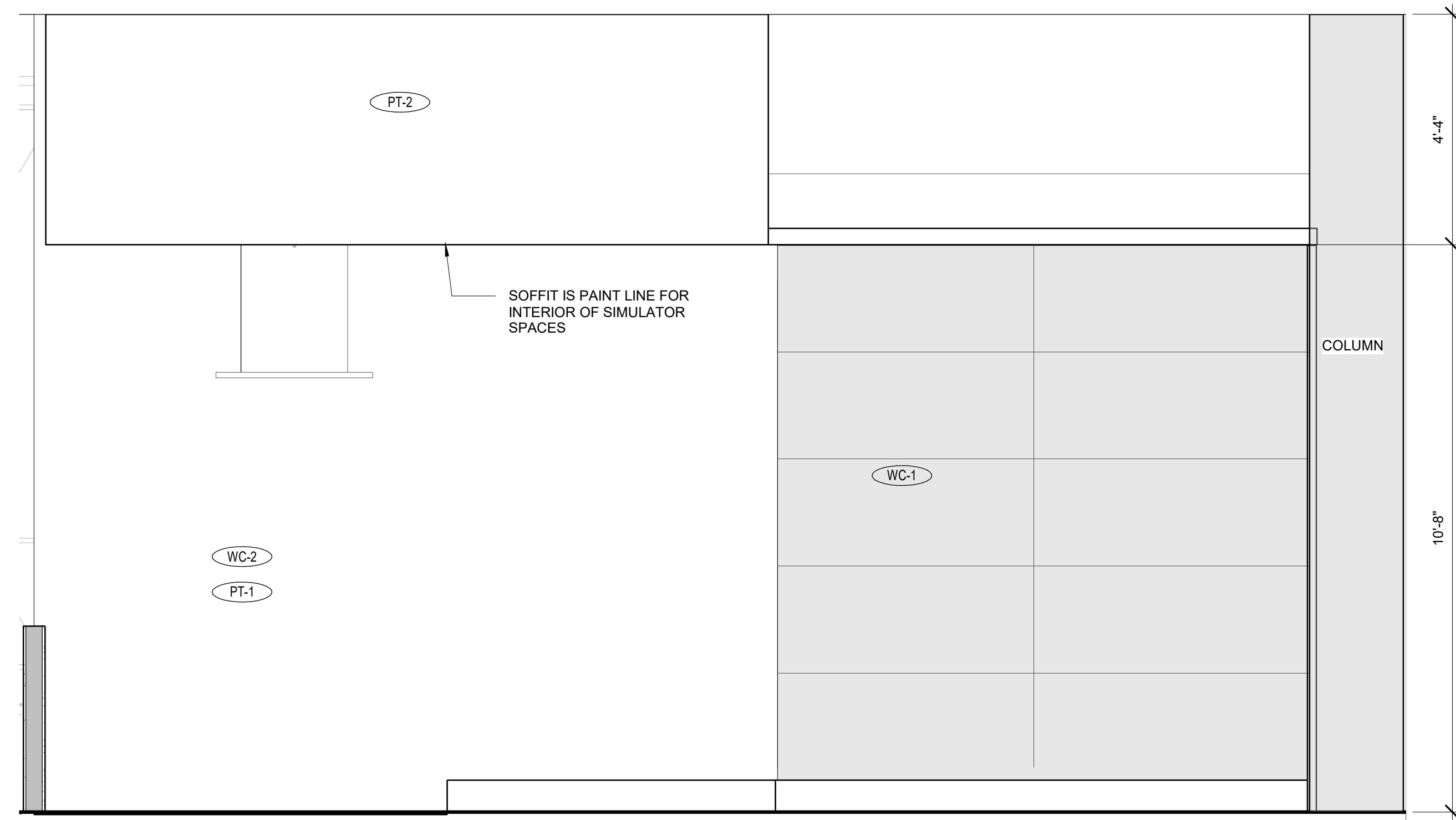
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4

D

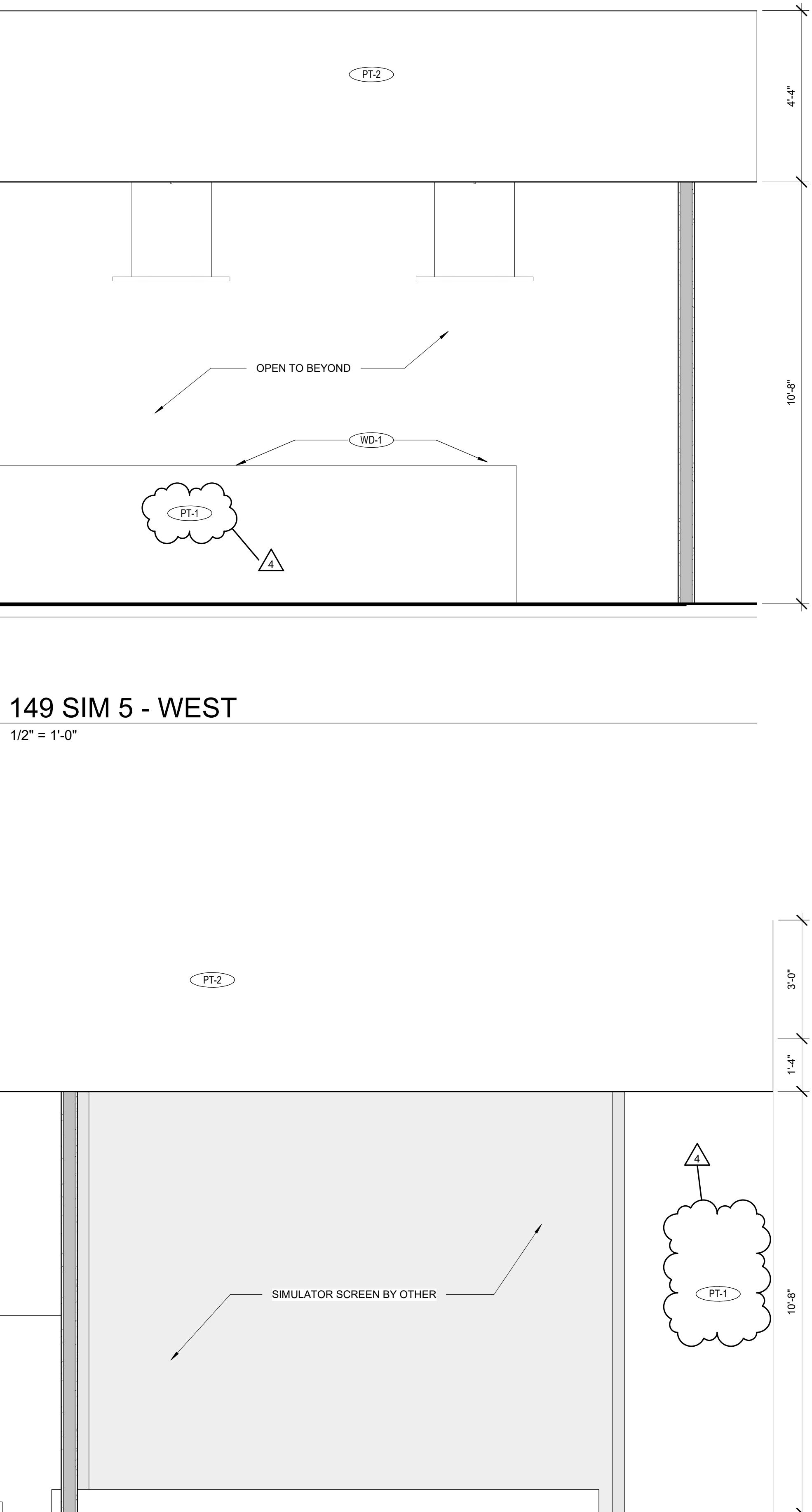


C1 149 SIM 5 - WEST
1/2" = 1'-0"

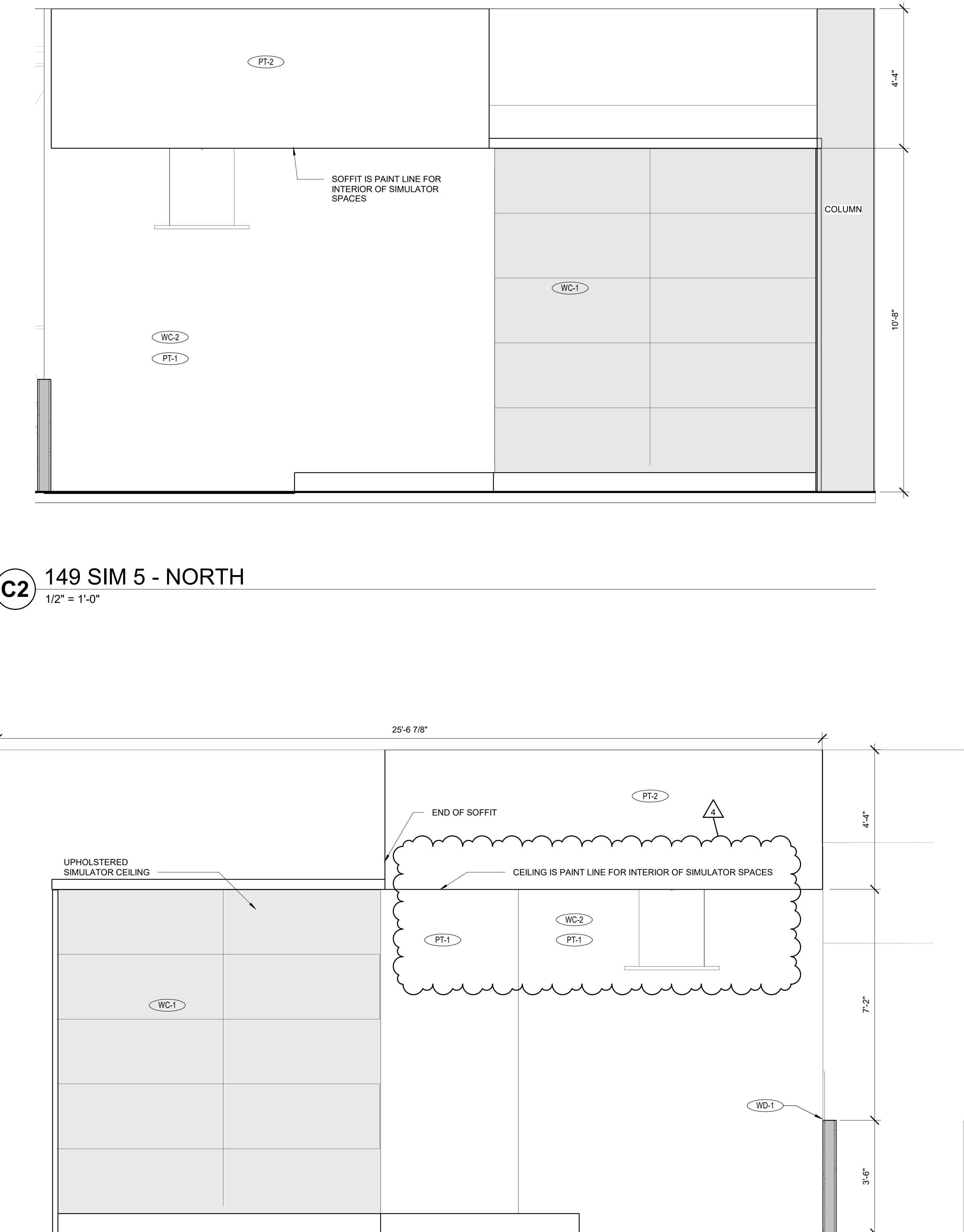


C2 149 SIM 5 - NORTH
1/2" = 1'-0"

B



A1 149 SIM 5 - EAST
1/2" = 1'-0"



A2 149 SIM 5 - SOUTH
1/2" = 1'-0"

HOOK AND FADE

TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

Project Status

1	2021.07.23	CB 01
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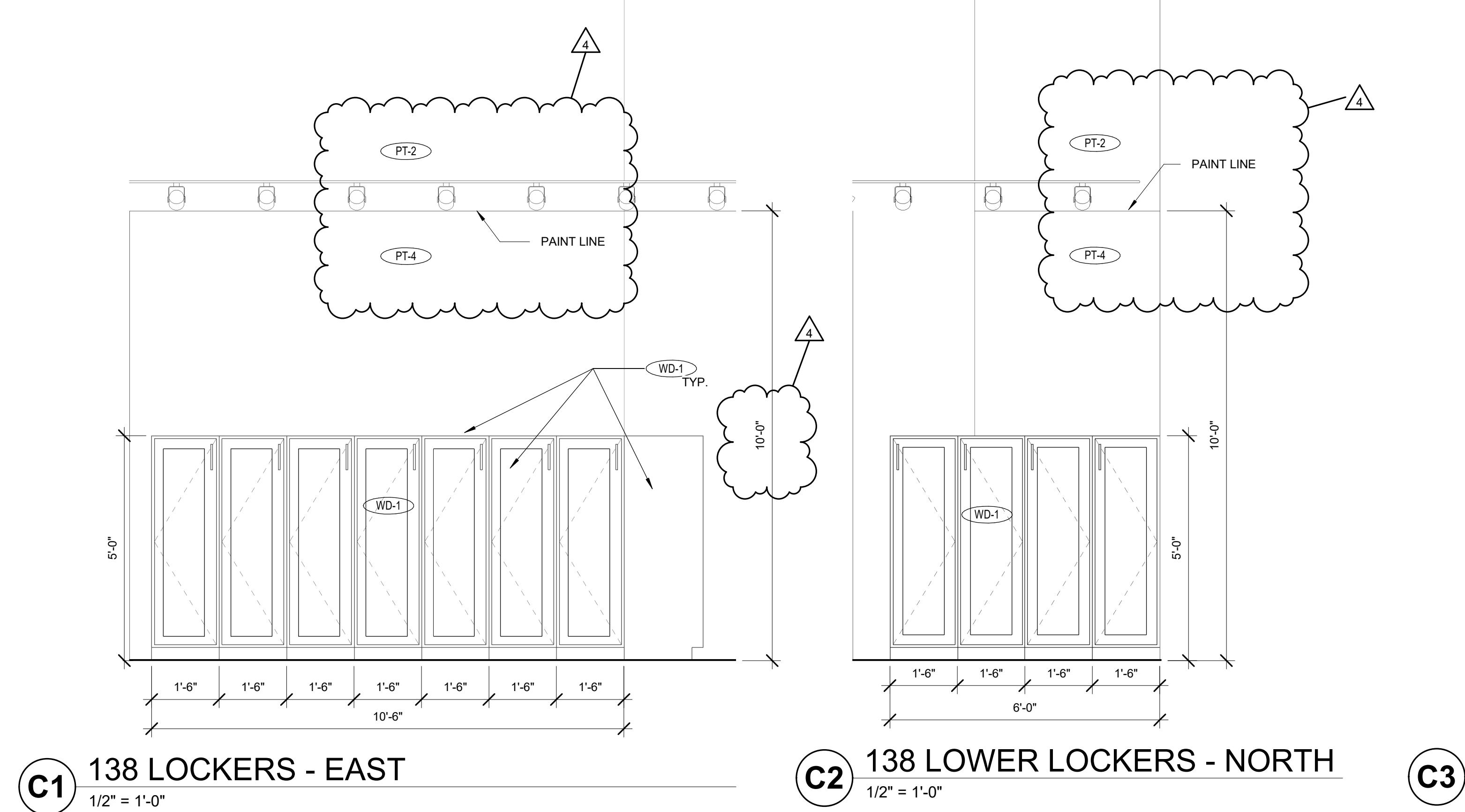
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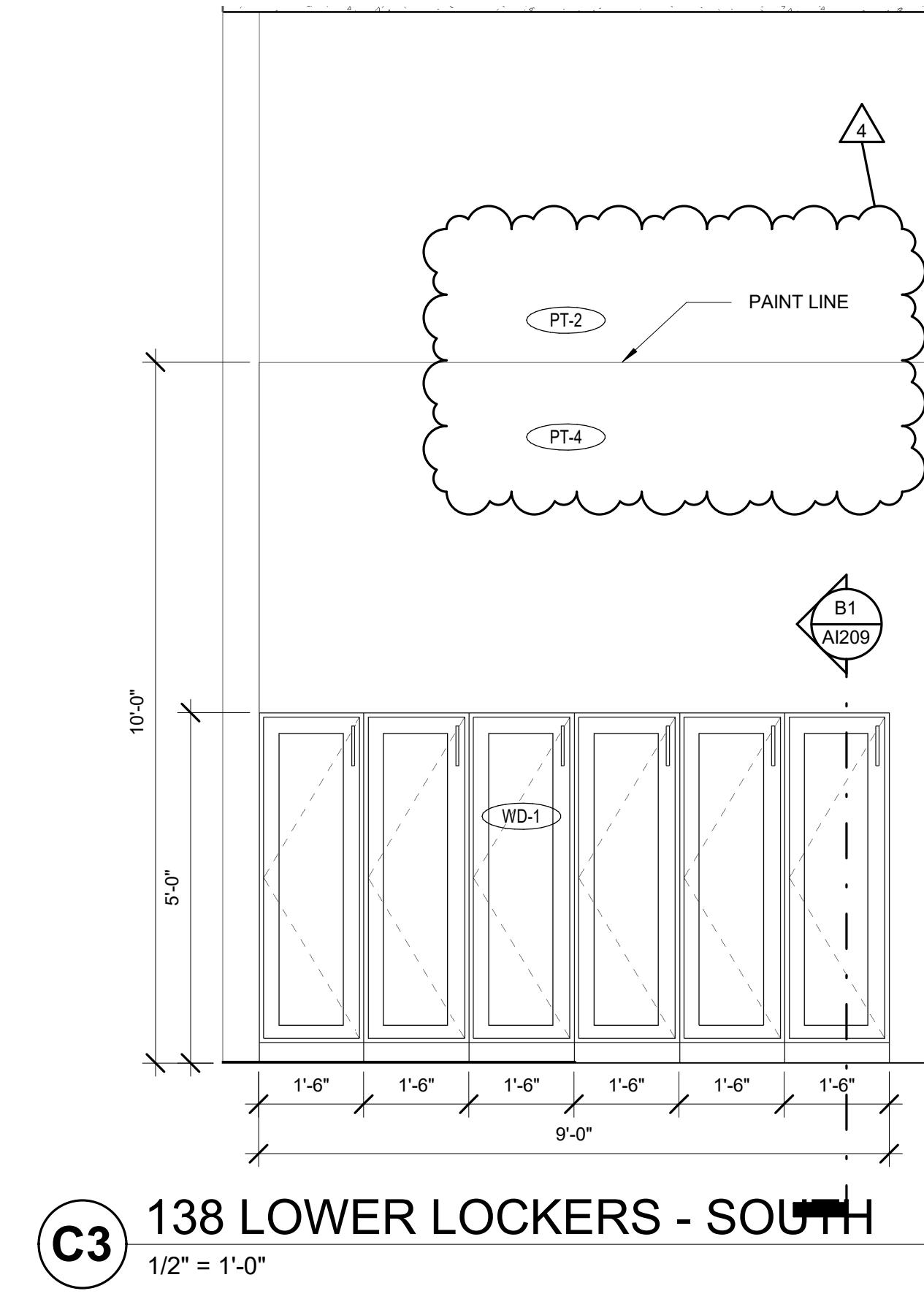
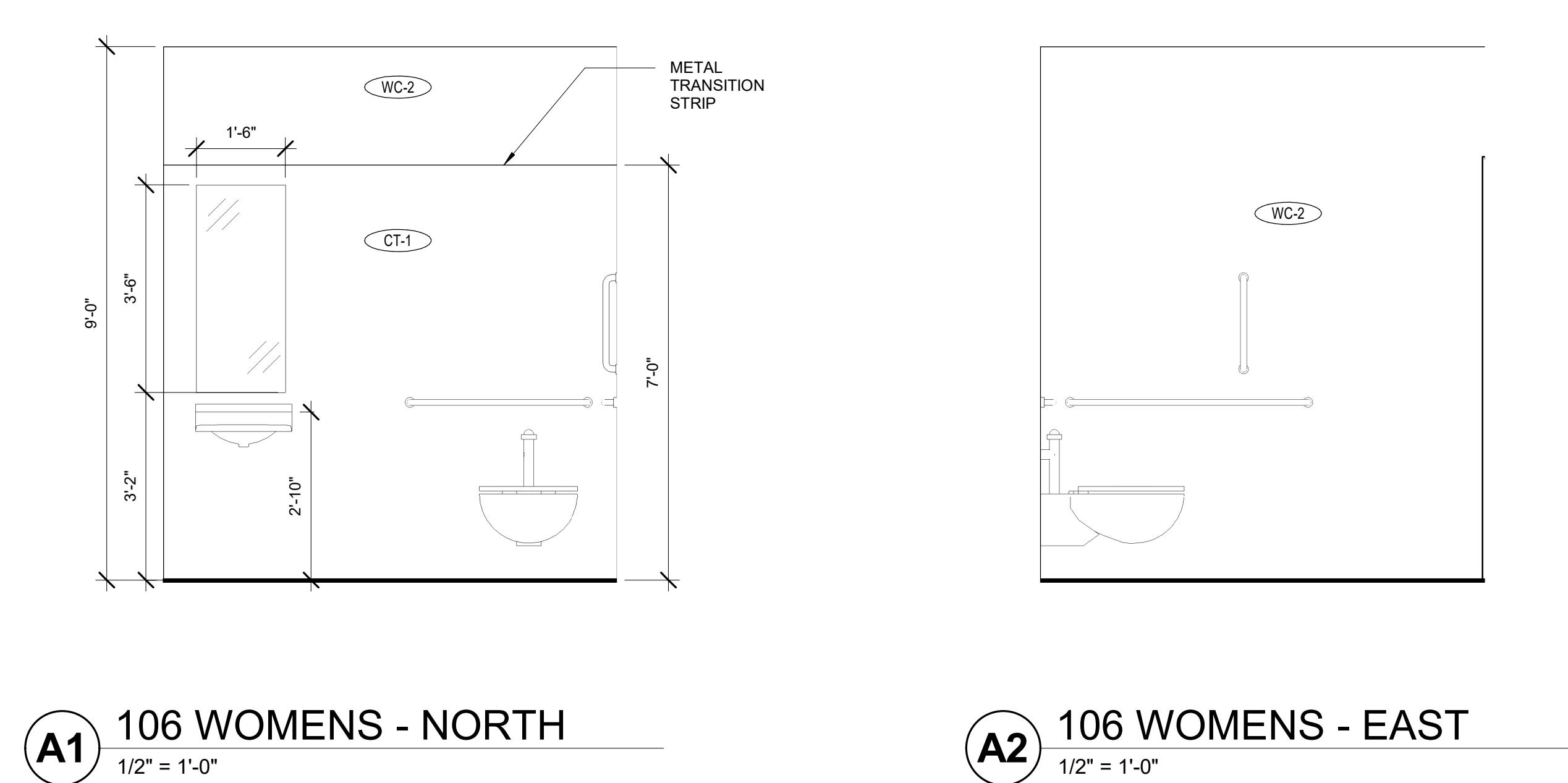
INTERIOR
ELEVATIONS

AI206

FOR CONSTRUCTION



NOTE: MIRROR WOMENS' RESTROOM FOR MENS' RESTROOM. SIMILAR FINISHES.



HOOK AND FADE
TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

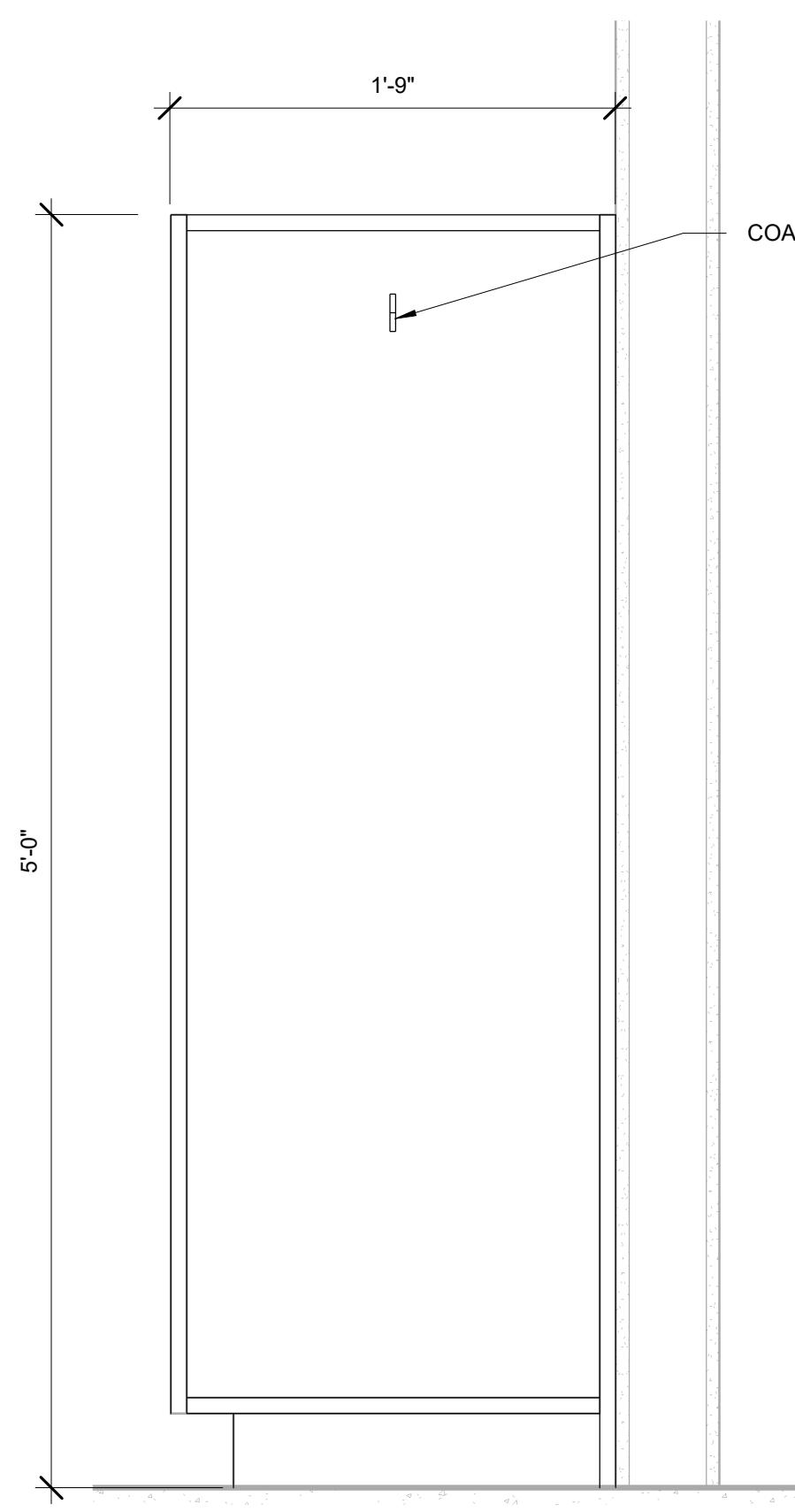
Project Status		
1	2021.07.23	CB 01
4	2021.09.29	CB 04
PROJ. #:		21111-01
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**INTERIOR
ELEVATIONS**

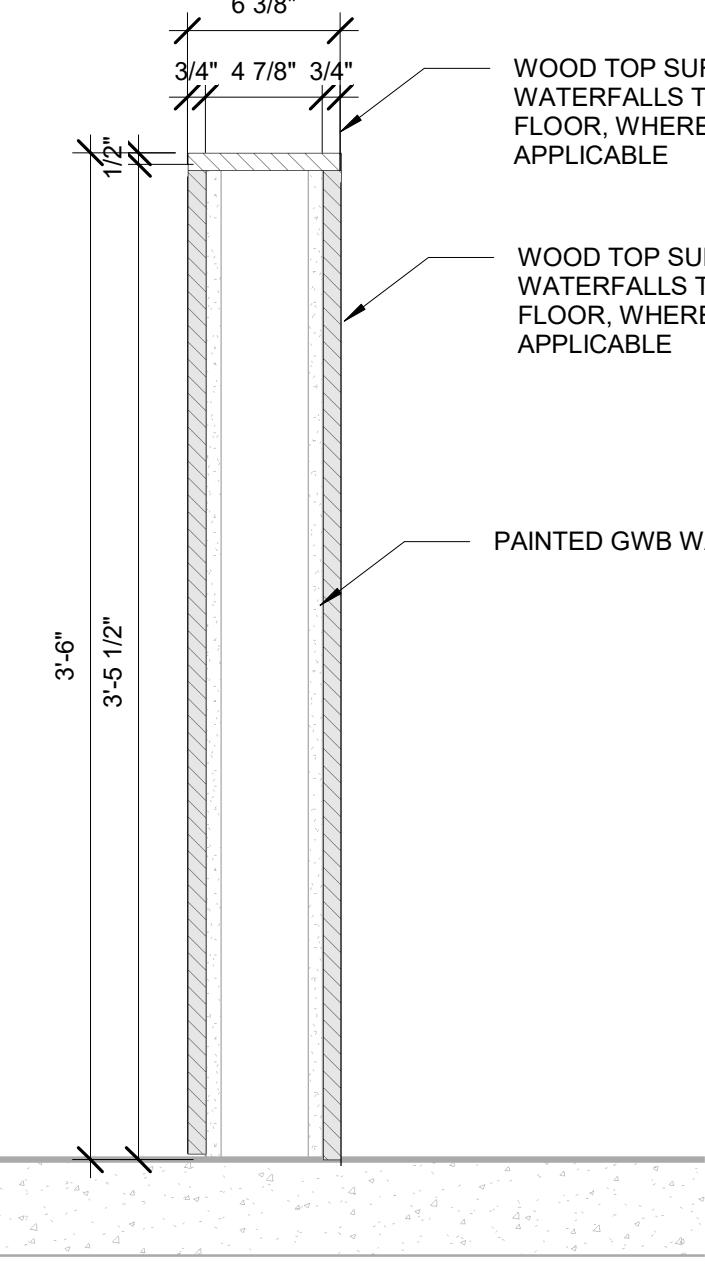
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FOR CONSTRUCTION

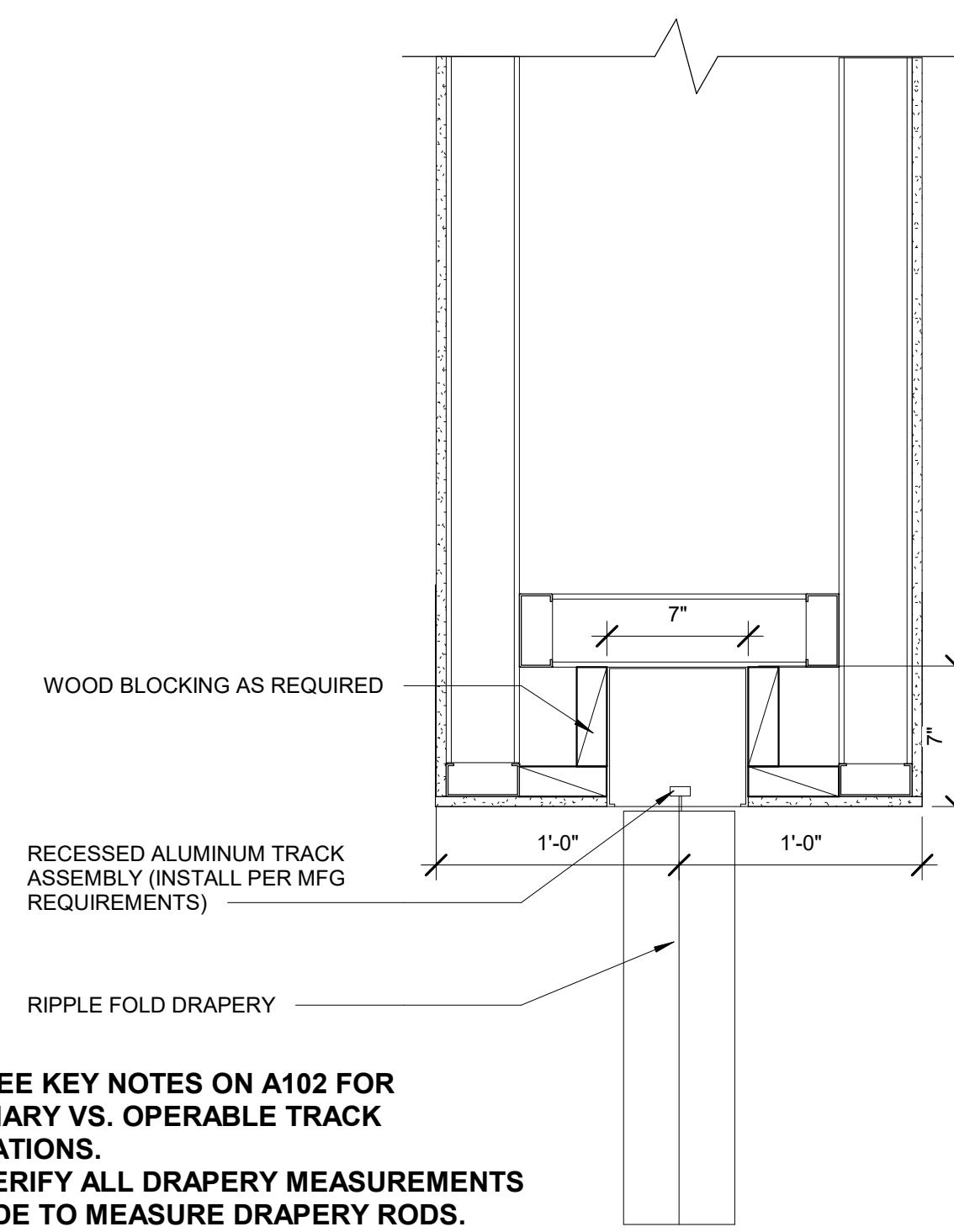
D



B1 LOCKER SECTION (TYPICAL)
 $1 \frac{1}{2}'' = 1'-0''$



B1a WALL CAP (TYPICAL)
 $1 \frac{1}{2}'' = 1'-0''$



B2 RECESSED DRAPERY ROD DETAIL
 $1 \frac{1}{2}'' = 1'-0''$

NOTE: SEE KEY NOTES ON A102 FOR
 STATIONARY VS. OPERABLE TRACK
 DESIGNATIONS.
 FIELD VERIFY ALL DRAPERY MEASUREMENTS
 AND MADE TO MEASURE DRAPERY RODS.

B

A

HOOK AND FADE

TENANT IMPROVEMENT
 113 SOUTH HAMILTON ST
 MADISON, WI

Project Status

1	2021.07.23	CB 01
2	2021.07.30	CB 02

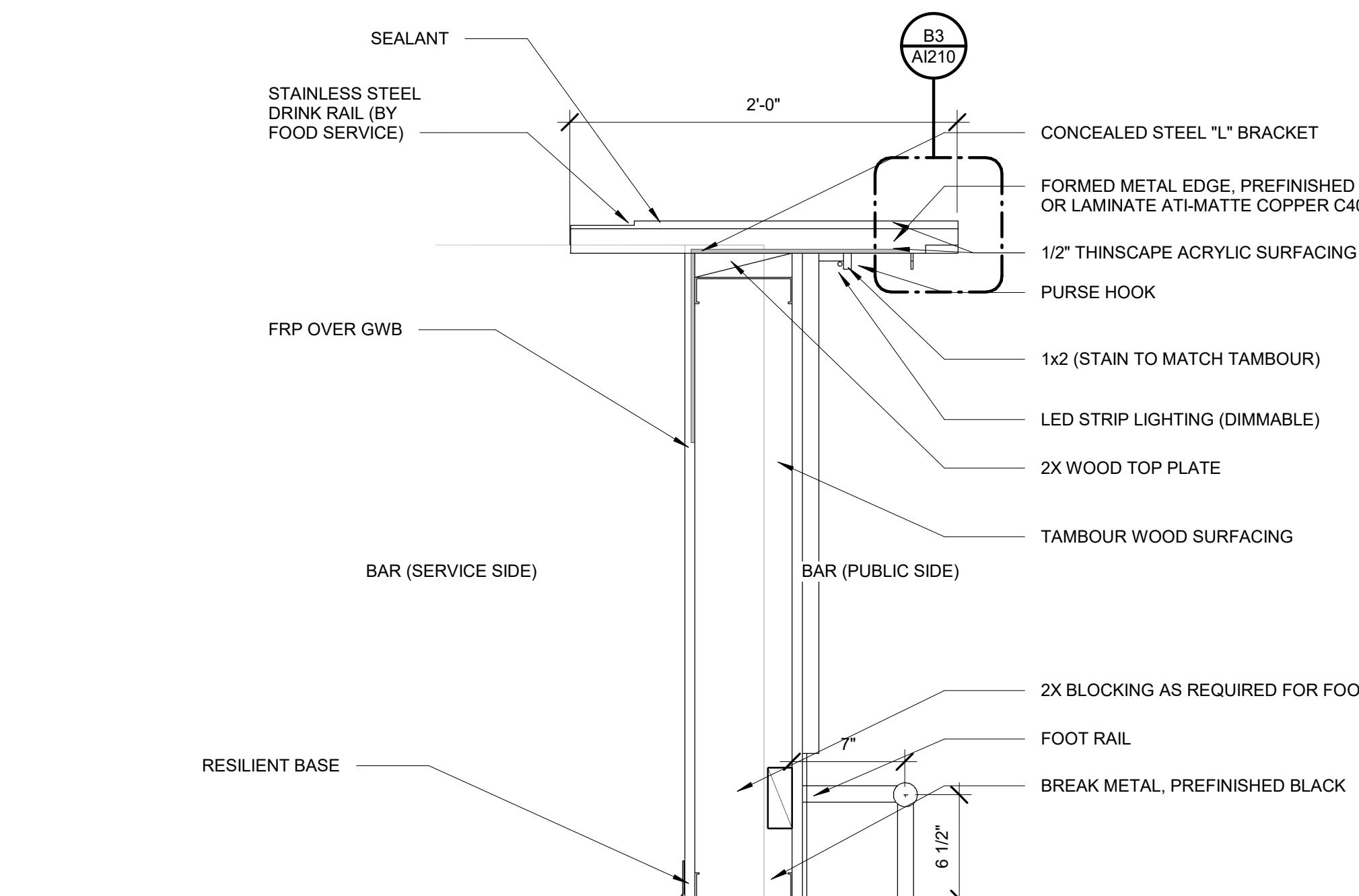
PROJ. #: 21111-01

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INTERIOR
 DETAILS

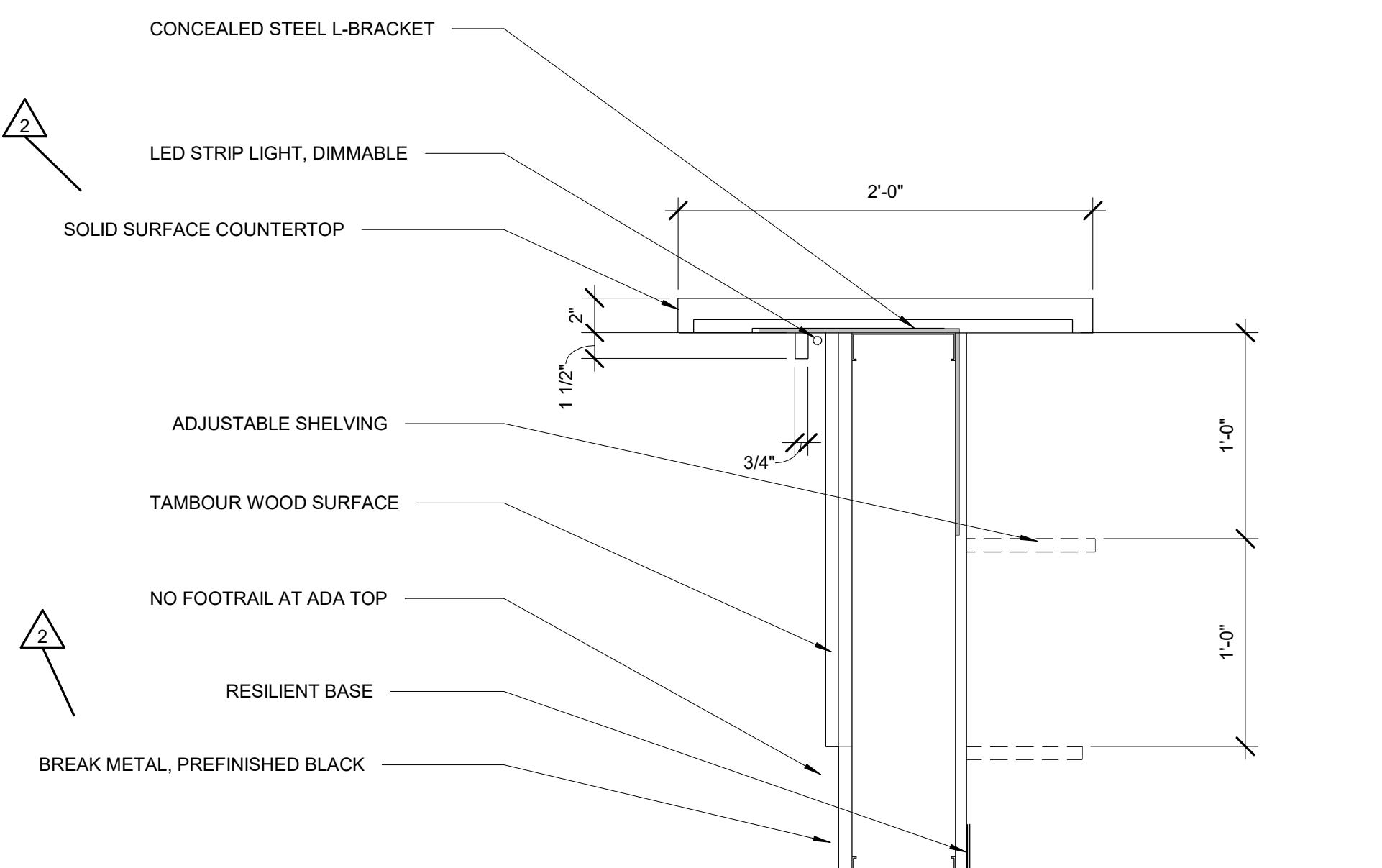
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 AI209
 FOR CONSTRUCTION

D



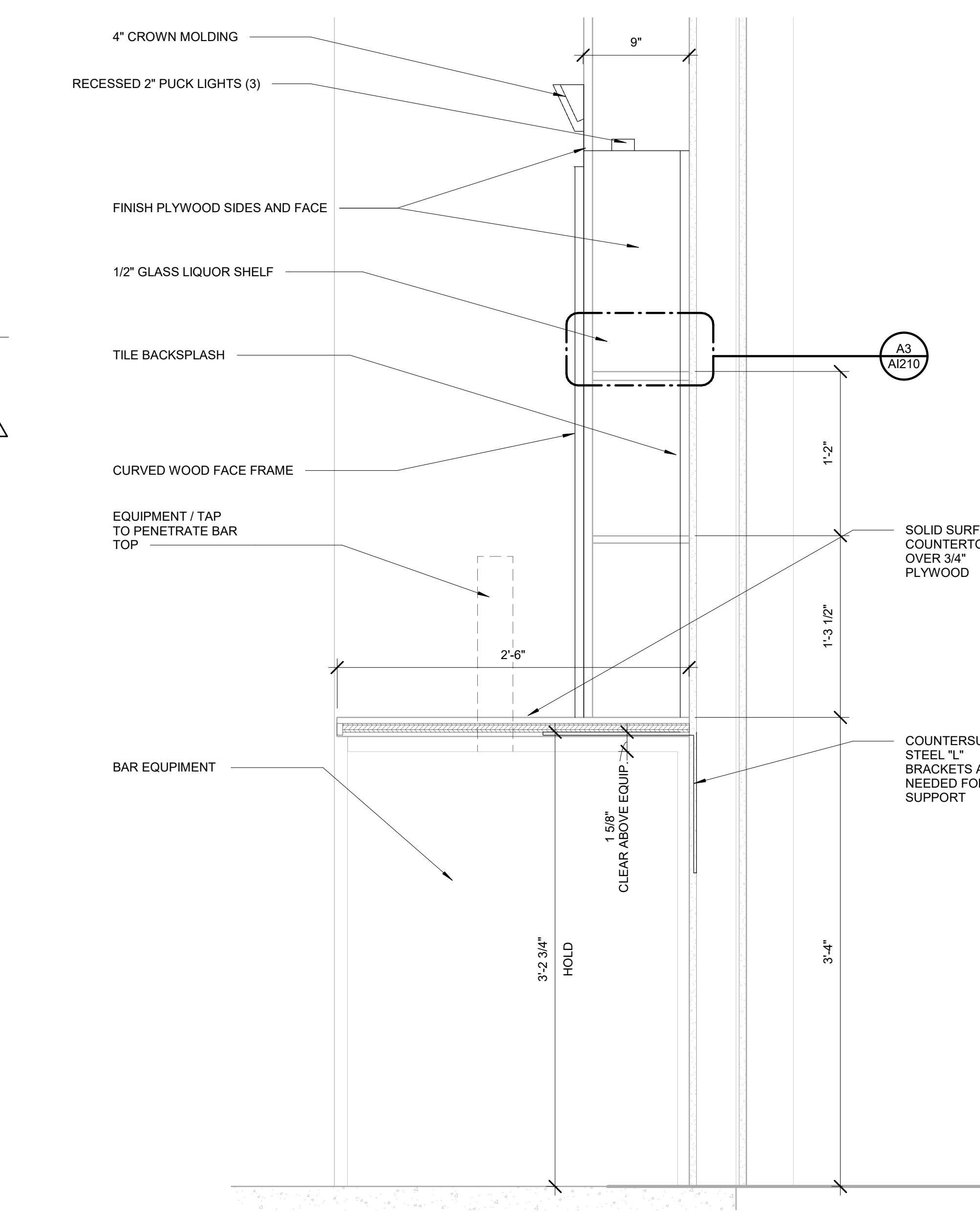
B1 BAR DETAIL
1 1/2" = 1'-0"

B

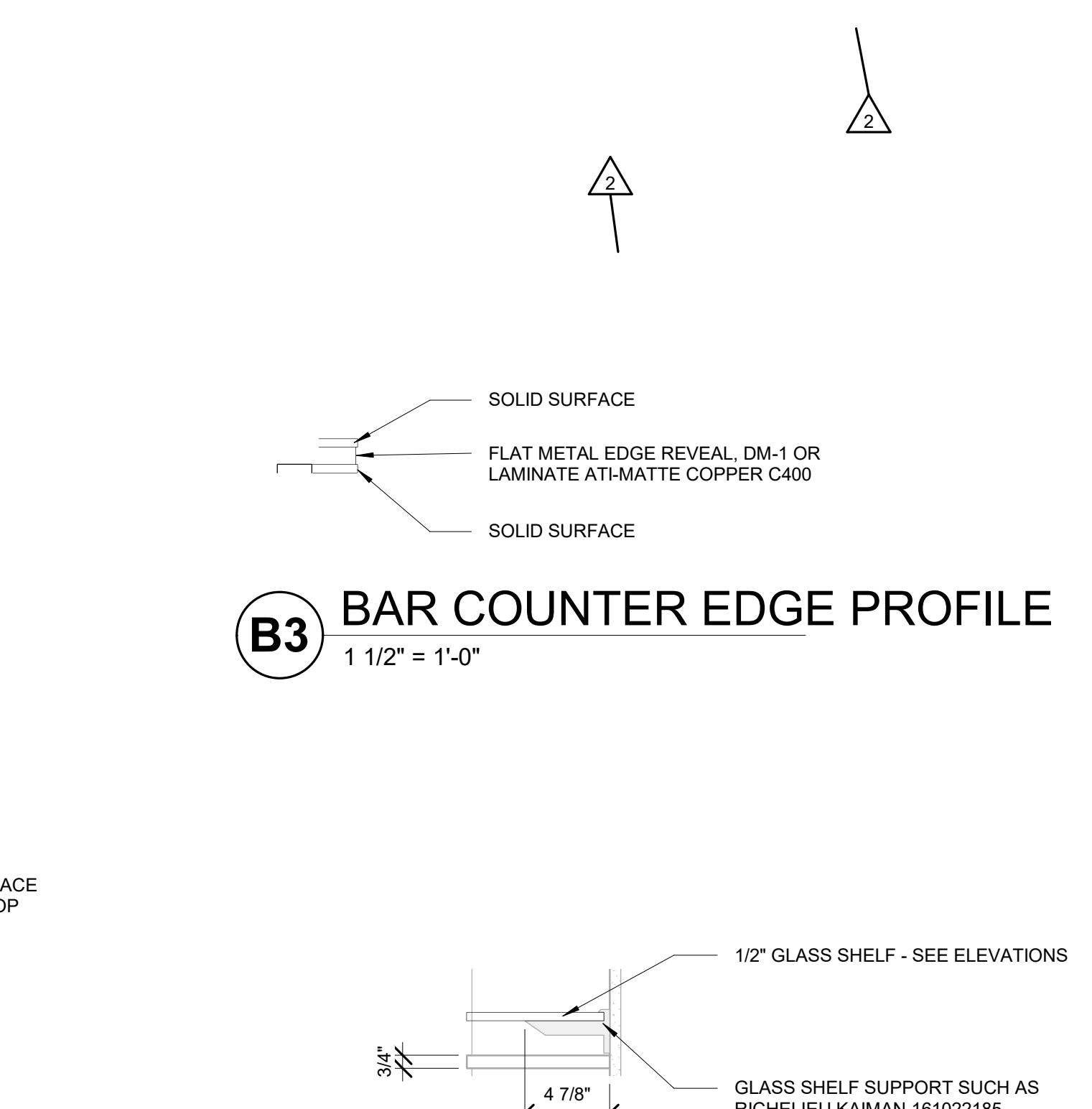


A1 ADA BAR TOP
1 1/2" = 1'-0"

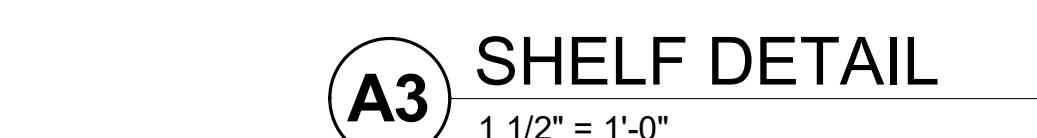
△



A2 BACK BAR SECTION
1 1/2" = 1'-0"



B3 BAR COUNTER EDGE PROFILE
1 1/2" = 1'-0"



A3 SHELF DETAIL
1 1/2" = 1'-0"

△

HOOK AND FADE

TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

Project Status

1	2021.07.23	CB 01
2	2021.07.30	CB 02
3	2021.08.25	CB 03

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INTERIOR DETAILS

AI210

FOR CONSTRUCTION

MARK	DESCRIPTION	MANUFACTURER	PATTERN	PATTERN NO.	COLOR	NUMBER	SIZE	REMARKS
DM-1	METAL BASE	BREAK METAL	CUSTOM	-	BRUSHED ROSE GOLD	-	6"	17
06 20 23 - INTERIOR FINISH CARPENTRY								
SSM-1	SOLID SURFACE MATERIAL	WILSONART	THINSCAPE	-	BLACK AMANI	TS404	5x12' SLABS	1
ST-1	STAIN COLOR FOR OAK	CUSTOM	WILSONART PLASTIC LAMINATE		WALNUT HEIGHTS	7965K	-	15
ST-2	STAIN FOR ROUNDED TRIM PIECE	CUSTOM		-	EBONY / BLACK STAIN	-	-	
WB-1	WOOD BASE		QUARTERSAWN WHITE OAK	-	CUSTOM STAIN ST-1			
WD-1	WOOD CABINERY	CUSTOM	QUARTERSAWN WHITE OAK	-	CUSTOM STAIN ST-1		2	
WD-2	TAMBOUR WOOD BAR FACE	TAMBOUR	OAK		CUSTOM STAIN ST-1		2.3	
09 30 00 - TILING								
CPT-1	PORCELAIN TILE	ATLAS CONCORDE	ANATOLIA	INDUSTRIA	CHROMIUM	ANAINCH1224R	12" X 24"	4
CT-1	NOT USED	NOT USED		-	-	-	-	
CT-2	GLASS TILE	CROSSVILLE	SIDEVIEW GLASS	-	COPPER	CRVSV04MOS33P	3" X 3"	4
09 51 00 - ACOUSTICAL CEILINGS								
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	CALLA	-	PT-3	-	2' X 2'	5
ACT-2	NOT USED	-	-	-	-	-	-	
ACT-3	ACOUSTICAL CEILING TILE	ARMSTRONG	CALLA		WHITE	-	2' X 2'	
09 65 00 - RESILIENT FLOORING								
RB-1	RESILIENT BASE	TARKETT	-	-	TBD		4"	
09 68 00 - CARPETING								
CPT-1	CARPET TILE	INTERFACE FLOR	NIZHONI PATCHWORK	-	PUMICE	21-1424	19.7" X 19.7"	6
WC-1	FABRIC WRAPPED PANELS	MOMENTUM TEXTILES	PACT	-	MIDNIGHT	-	66"	7
WC-2	GOLF MAGAZINE ART	OWNER PROVIDED	-	-	-	-	-	8
WC-3	TURF WALLCOVERING	OWNER PROVIDED	UNKNOWN	-	-	-	-	9
09 77 33 - FIBERGLASS REINFORCED PLASTIC PANELS								
FRP-1	FIBERGLASS REINFORCED PLASTIC	CRANE PLASTICS	PEBBLE	-	BLACK			10
09 94 23 - INTERIOR PAINTING								
PT-1	FIELD PAINT	BENJAMIN MOORE	-	-	MUSKOKE TRAIL	974	-	
PT-2	EXPOSED CEILING PAINT	SHERWIN WILLIAMS	-	-	ROOKWOOD DARK RED	SW 2801	-	11
PT-3	NOT USED	NOT USED	-	-	NOT USED	NOT USED	-	
PT-4	WALL PAINT	SHERWIN WILLIAMS	-	-	INTELLECTUAL GRAY	SW 7045	-	
09 97 23 - CONCRETE AND MASONRY COATINGS								
PCON	POLISHED CONCRETE	-	-	-				
SCON	SEALED CONCRETE	-	-	-				
12 24 00 - WINDOW SHADES								
FAB-1	FABRIC RIPPLE FOLD DRAPERY	UNITED FABRICS	LUSH	-	MALBEC	-	54" ROLL	12
FAB-2	NOT USED	OWNER PROVIDED	-	-	-	-	-	
CG-1	CORNER GUARD	INPRO	CORNER GUARDS		CLEAR	-	1.5" X 12' LENGTH	16

INTERIOR FINISHES SCHEDULE REMARKS	
NO.	REMARK
1	ALL WINDOW STOOLS; BAR COUNTERTOPS; BATHROOM COUNTERTOP
2	CUSTOM STAIN TO BE ST-1 (MISSION OAK BROWN); COMMERCIAL GRADE FINISH
3	TAMBOUR PROFILE - 331 (OR SIMILAR)
4	STRAIGHT SET TILE INSTALL
5	PAINT GRID AND CEILING TILE PT-3 TO MATCH BULKHEAD AND OTHER SOFFITS
6	MONOLITHIC INSTALL; SCHLUTER TRANSITION STRIP IN BRUSHED BLACK
7	ASTM E84 FLAME RATING CLASS A - INSTALLED ON ALL SIMULATOR WALLS AND CEILING;
8	GRAPHICS PROVIDED BY BRANDING COMPANY; INCLUDE OUTLET COVERS WHERE APPLICABLE;
9	*CHECK LEAD TIMES; INSTALL FOR MINIMAL SEAM APPEARANCE
10	INSTALL ON SERVICE SIDE OF BAR; AND TO 4'-0" AFF AT MOP SINK
11	EXPOSED CEILING PIPE, UTILITIES, AND WALL UP TO 12'-0" AFF
12	SIMULATOR DRAPERY; 200% FULLNESS; SEE RCP FOR LOCATIONS AND LENGTHS; INPRO RIPPLEFOLD DRAPERY RECESSED TRACK;
13	DINING ROOM SHEERS - FULL HEIGHT; 200% FULLNESS; INPRO MADE TO MEASURE ROD/RIPPLEFOLD DRAPERY;
14	ASTM E84 FLAME RATING CLASS A
15	CUSTOM STAIN TO MATCH PLAM; PROVIDE SUBMITTALS; COMMERCIAL GRADE FINISHES ONLY;
16	ALL OUTSIDE CORNERS OF EXPOSED DRYWALL TO RECEIVE CG-1 U.N.O.
17	PROVIDE SUBMITTALS OF PAINTED BREAK METAL FOR APPROVAL

ROOM FINISH SCHEDULE										
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL FINISH				CEILING	CEILING HEIGHT	REMARKS
				NORTH	EAST	SOUTH	WEST			
101	SEATING	CPT-1 / PCON-1	WB-1	PT-1	-	PT-4	PT-4	PT-2	9'-11" / 233/256"	
102	BAR	PCON-1	WB-1 / METAL-1	PT-4	PT-4 / CT-3	PT-2	PT-4	PT-2	10'-0"	
103	STAFF	SCON-1	RB-1	PT-1	PT-1	PT-1	ACT-3	9'-0" / 7256"		
105	MENS	CT-1	CT-1 / WC-2	WC-2	WC-2	GWB / PT-2	9'-0"	1		
106	WOMENS	CT-1	CT-1 / WC-2	WC-2	WC-2	GWB / PT-2	9'-0"	1		
129	SIM 2	CPT-1 / PCON-1	RB-1	WC/PT-1	-	-	PT-2	10'-0"		
130	SIM 1	CPT-1 / PCON-1	RB-1	WC-2/PT-1	WC-2/PT-1	-	PT-2	10'-0"		
132	SIM 3	CPT-1 / PCON-1	RB-1	WC-2/PT-1	PT-1	WC-2/PT-1	-	PT-2	10'-0"	
133	SIM 4	CPT-1 / PCON-1	RB-1	WC-2/PT-1	PT-1	-	PT-2	9'-11" / 3132"		
138	CORR.	PCON-1	RB-1	PT-1,4	PT-2,4	PT-2,4	PT-1	PT-2	10'-0"	
149	SIM 5	CPT-1 / PCON-1	RB-1	WC/PT-1	PT-1	WC/PT-1	PT-1	PT-2	10'-0"	
150	LOCKERS	PCON-1	RB-1	PT-1	PT-4	PT-4	-	ACT-1	9'-2" / 43/256"	
151	BACK CORR.	PCON-1	RB-1	PT-1	PT-1	WC / PT-1	PT-1	PT-2		

ROOM FINISH SCHEDULE REMARKS	
NO.	REMARK
1	CT-1 TO 7'-0" AFF ON WET WALL ONLY
2	
3	

ROOM FINISH SCHEDULE LEGEND	
ABBREVIATION	TERM
ACT	ACOUSTICAL CEILING TILE
CG	CORNER GUARD
CPT	CARPET
CT	CERAMIC TILE
DM	DECORATIVE METAL
FAB	FABRIC
FRP	FIBERGLASS REINFORCED PLASTIC
PCON	POLISHED CONCRETE
PLAM	PLASTIC LAMINATE
PT	PAINT
RB	RESILIENT BASE
SCON	SEALED CONCRETE
SSM	SOLID SURFACE MATERIAL
ST	STAIN
WB	WOOD BASE
WC	WALL COVERING
WD	WOOD

GENERAL FINISH NOTES:

- A. ENSURE ALL MANUFACTURERS RECOMMENDATIONS ARE MET FOR PREPARATION OF SUBSTRATE, INCLUDING MOISTURE CONTENT, CLEANLINESS AND APPLICATION OF PRIMERS IF NEEDED.
- B. ENSURE ADA COMPLIANCE ON ALL FINISH FLOORING HEIGHTS AND TRANSITIONS.
- C. VERIFY ALL COLOR AND MATERIAL SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION THROUGH PHYSICAL SUBMITTALS.
- D. INSTALL FLOORING UNDER ALL EQUIPMENT AND MILLWORK.
- E. PROVIDE TRANSITION STRIPS TO ALL DISSIMILAR FLOOR MATERIALS; TRANSITIONS OCCURRING AT DOORWAYS, CENTER THE TRANSITION ON OPENING UNLESS NOTED OTHERWISE.
- F. FIELD VERIFY ALL CABINET LAYOUTS AND COORDINATE DIMENSIONS WITH SELECTED APPLIANCES AND FIXTURES; PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINET ENDS.

G. ALL, BUT NOT LIMITED TO, ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS (EXCEPT GLASS AND EXTINGUISHER), GRILLES, WALL / CEILING DIFFUSERS, WALL MOUNTED BOXES, AND ACCESS PANELS TO BE PAINTED THE SAME COLOR AS THE WALL / GWB CEILING WHICH THEY ARE MOUNTED. EACH CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL CODE RELATED EFFECTS OF THESE ELEMENTS BY PAINTING THEM. CONTRACTOR TO INFORM ARCHITECT IMMEDIATELY IF THEY FIND THESE ACTIONS IN VIOLATION OF CODE.

H. ALIGN GROUT LINES IN WALL TILE WITH THE GROUT LINES OF THE FLOOR TILE.

I. LEAVE CONCRETE COLUMNS UNFINISHED; CLEAN DEBRIS OFF OF SURFACE.

J. ALL EXPOSED CEILING TO BE PAINTED PT-2 STARTING AT 12' A.F.F. AND COVERING ALL PIPES, HVAC, AND CONDUITS IN EXPOSED CEILING AREA.

K. ALL UPHOLSTERED WALLS TO BE INSTALLED BY OTHER.

L. PREPARE ALL WALL SURFACES IN GWB LEVEL 4 FINISH FOR AREAS WHERE "WC" WALLCOVERING WILL BE APPLIED.

M. VERIFY BLOCKING LOCATIONS WITH OWNER FOR ALL HEAVY ARTWORK, NEON LIGHTING, SIGNAGE, AND DIGITAL DISPLAYS WHERE APPLICABLE.

N. ALL SIDES OF GWB SOFFITS, BULKHEADS, ETC. TO BE PAINTED THE SAME COLOR.

O. ALL CASE