



Change of Premises

Fee: \$25.00

City of Madison Clerk

210 MLK Jr Blvd, Room 103

Madison, WI 53703

Class A: ☐ Beer, ☐ Liquor, ☐ Cider

Class B: ☒ Beer, ☒ Liquor,

☒ Class C Wine

licensing@cityofmadison.com

608-266-4601

(Agenda Item Number)

(Legistar file number)

(License number)

(Alder District #)

(Police Sector)

Office Use Only

Licensed Premises Information

This application modifies existing alcohol license number: LICLIB-2021-00523

Business dba Name: HOOK & FADE

Licensed Address: 113 S HAMILTON ST MADISON, WI 53703-3209

Liquor/Beer Agent Name: HOSUNG SHIN

25 % Alcohol, 5 % Food, 70 % Other

Alder, District #: VERVEER, 4 Police Sector: CENTRAL

Corporate Information

Business Legal Name (as on WI State Sellers Permit): FARWELL VENTURES INC.

Business Mailing Address: 1050 E WASHINGTON AVE STE 725 MADISON, WI 53703-3620

Business Contact Name, Position: HOSUNG SHIN, PRESIDENT

Business Phone: 608-957-7002

Business Email: SHIN@HOOKANDFADE.COM

Current Capacity (indoor): 80

Current Capacity (outdoor): 14

Proposed Capacity (indoor): 125

Proposed Capacity (outdoor): 14

If your capacity is increasing, contact Building Inspection: (608) 266-4551, inspection@cityofmadison.com

Description of Proposed Changes: INCREASING THE CAPACITY TO ACCOMODATE EVENT

PLANNING NEEDS OF OUR PATRONS AND MEMBERS. PREVIOUS CAPACITY WAS SUBMITTED AS 80

WITHOUT CONSIDERING OUR SPACE'S LARGE SIZE (4,458 SQ. FT.). SIMILAR-SIZED HOSPITALITY

BUSINESSES HAVE UPTO 250 CAPACITY.

☒ Detailed Floor Plans included (required)

[Signature]

Authorized Signature

02/21/2022

Date

☐ Orange sign and business card issued

☐ "License Renewals & Changes" brochure with next steps issued

Office Use Only

HOOK AND FADE

113 SOUTH HAMILTON ST
MADISON, WI

PROJECT DATA

LOCATION:
113 SOUTH HAMILTON ST
MADISON, WI

REGULATING MUNICIPALITIES:
CITY OF MADISON
DANE COUNTY
STATE OF WISCONSIN

BUILDING CODE:
CITY OF MADISON ZONING ORDINANCES
DANE COUNTY ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2015 INTERNATIONAL BUILDING CODE
ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION:
TENANT IMPROVEMENT] CONSISTING OF:
A-3 OCCUPANCY

OCCUPANCY TYPE:
PRIMARY: A-3

CONSTRUCTION TYPE:
TYPE IA

AREA AND LEVEL OF ALTERATION:
TOTAL AREA OF FLOOR WORK IS TO OCCUR = 4,375 SF
LEVEL OF ALTERATION = LEVEL 2

NUMBER OF OCCUPANTS (TABLE 1004.1.2):
SEE SHEET G002 = 80 OCC TOTAL

PLUMBING:
WATER CLOSETS
MEN @ 1 / 125 = 1
WOMEN @ 1 / 65 = 1
TOTAL REQUIRED = 2
TOTAL PROVIDED = 2

LAVATORIES
MEN @ 1 / 200 = 1
WOMEN @ 1 / 200 = 1
TOTAL REQUIRED = 2
TOTAL PROVIDED = 2

SERVICE SINK
1 REQUIRED = 1 PROVIDED

DRINKING FOUNTAIN
TENANT WILL PROVIDE DRINKING WATER VIA WATER BOTTLES
OR SIMILAR AT BAR

ALL FIXTURES TO COMPLY WITH ICC A117.1

FIRE CONTROL:
FULLY SPRINKLERED BUILDING: NFPA 13
PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906.3.1)
HAZARD TYPE = MOD
MAXIMUM AREA = 1,500 SF PER "A"
MAXIMUM DISTANCE (TYPE A) = 75 FEET
EXTINGUISHER RATING = 3A
NUMBER REQUIRED AT ABOVE RATING = 1

EXITS:
EXIT(S) REQUIRED TO MEET EXITING DISTANCES = 2
EXIT(S) PROVIDED TO MEET DISTANCES = 3
MIN 60% OF PUBLIC EXTERIOR DOORS TO BE ON ACCESSIBLE ROUTE

ACCESSIBILITY:
FOLLOW IBC 2015 AND ANSI 117.1 (2009)

PROJECT GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- JOB SITE SHALL BE BROOM SWEEP AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH.
- ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY IEC.
- PROVIDE FIRE BLOCKING THROUGHOUT BUILDING PER IBC 717.2.
- SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- IN SOME CASES THE SELECTION OF SPECIFIC ACCESSORIES, HARDWARE, MATERIALS OR FINISHES MAY NOT BE AVAILABLE AT ISSUANCE OF THESE DRAWINGS. THESE INSTANCES ARE INDICATED WITH "TBD", OR "TO BE DETERMINED". IN THESE SITUATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING APPROPRIATE ALLOWANCES TO COVER THE MATERIAL AND INSTALLATION FOR THAT ELEMENT, BASED ON THE BEST INFORMATION PROVIDED. IF NO INFORMATION IS PROVIDED, ASSUME A MID-RANGE PRODUCT COST TO SATISFY THE INTENT OF THE PROJECT. THE CONTRACTOR SHALL CLEARLY STATE IN THEIR BID PROPOSAL WHAT THE ALLOWANCE VALUE AND UNIT PRICE IS, LISTED SEPARATELY FOR EACH ITEM.
- IF THE CONTRACTOR ELECTS TO NOT PROVIDE A PRICE FOR ANY ELEMENT CONTAINED IN THESE DOCUMENTS, FOR WHATEVER REASON, THE CONTRACTOR SHALL CLEARLY INDICATE THIS EXCLUSION IN THEIR BID PROPOSAL. IF NO EXCLUSION IS MADE, IT IS THE CONTRACTUAL OBLIGATION OF THE CONTRACTOR TO PROVIDE THE ELEMENT IN ACCORDANCE WITH THE GENERAL INTENT OF THE DRAWINGS.

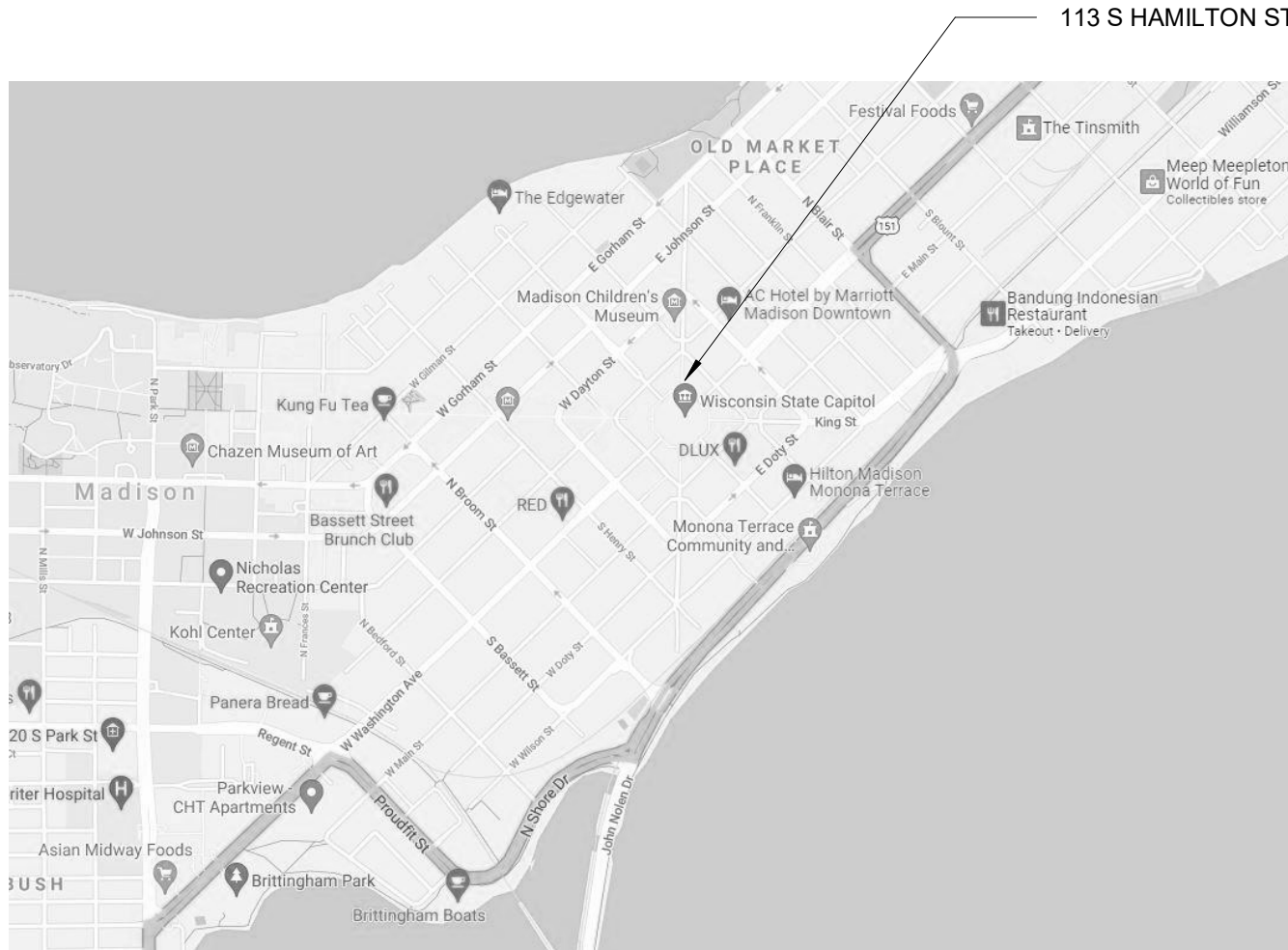
SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISIONS	
		MARK	DATE
GENERAL			
G001	COVER SHEET	CB 03	2021.08.25
G002	FIRE SEPARATION & EGRESS PATH	CB 01	2021.07.23
ARCHITECTURAL GENERAL			
A001	SYMBOLS & ABBREVIATIONS	CB 01	2021.07.23
ARCHITECTURAL			
A101	FLOOR PLAN	CB 03	2021.08.25
A102	REFLECTED CEILING PLAN	CB 03	2021.08.25
A401	ENLARGED FLOOR PLANS	CB 04	2021.09.29
A601	DOOR AND WINDOW SCHEDULES	CB 04	2021.09.29
ARCHITECTURAL INTERIORS			
AI101	FINISH FLOOR PLAN	CB 04	2021.09.29
AI102	EQUIPMENT AND FURNITURE PLAN	CB 03	2021.08.25
AI201	INTERIOR ELEVATIONS	CB 04	2021.09.29
AI202	INTERIOR ELEVATIONS	CB 04	2021.09.29
AI203	INTERIOR ELEVATIONS	CB 04	2021.09.29
AI204	INTERIOR ELEVATIONS	CB 04	2021.09.29
AI205	INTERIOR ELEVATIONS	CB 04	2021.09.29
AI206	INTERIOR ELEVATIONS	CB 04	2021.09.29
AI207	INTERIOR ELEVATIONS	CB 04	2021.09.29
AI209	INTERIOR DETAILS	CB 02	2021.07.30
AI210	INTERIOR DETAILS	CB 03	2021.08.25
AI601	INTERIOR SCHEDULES	CB 04	2021.09.29

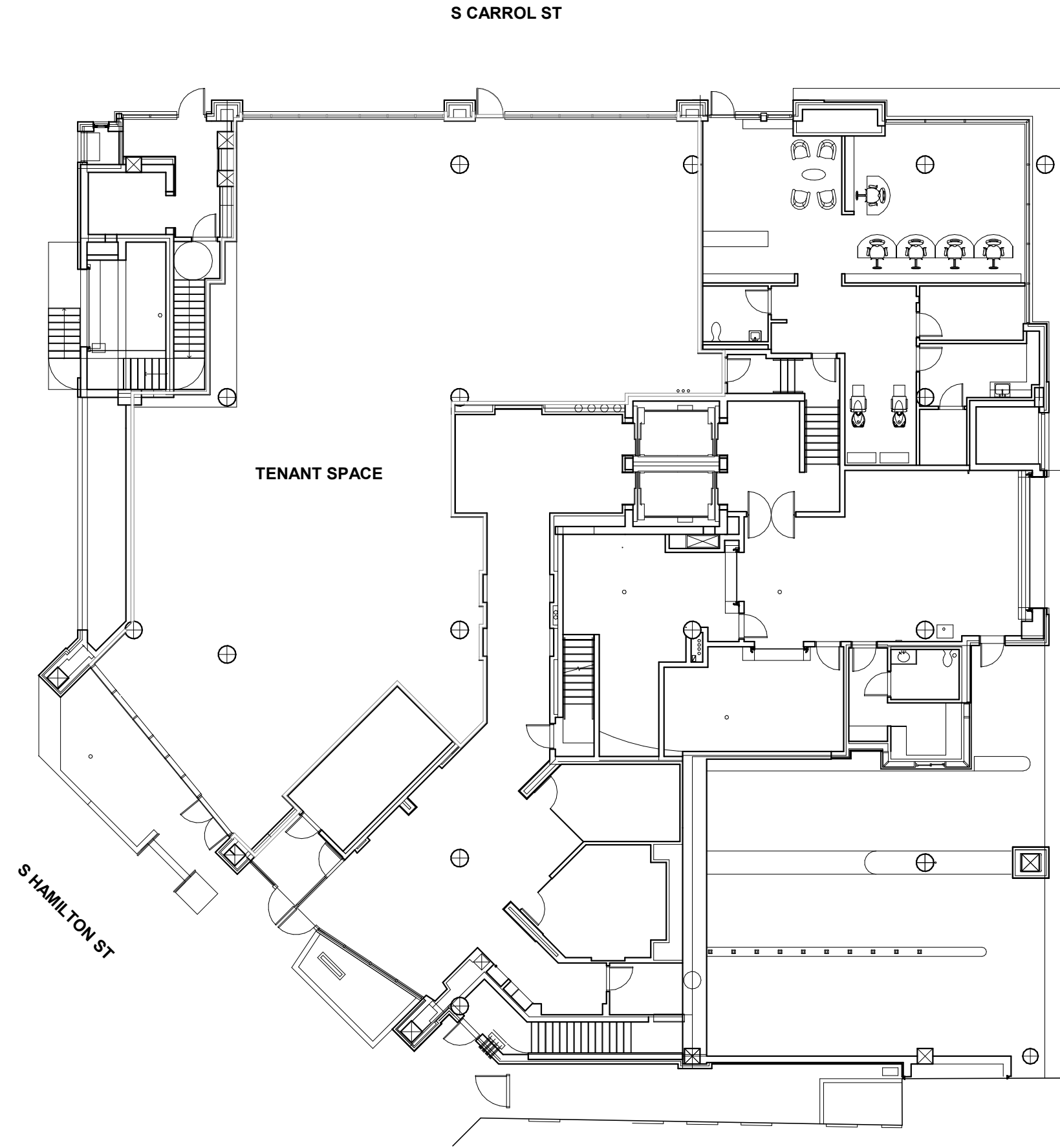
ALTERNATE BIDS

#	SHEET NUMBER	DESCRIPTION
1	A101	DEDUCT FOR ONLY LOCKERS IN CORRIDOR 138 TO RECEIVE ELECTRONIC LOCKS
2	A101	DEDUCT FOR LOCKERS TO BE PLASTIC LAMINATE (COLOR TBD)
3	A102	DEDUCT TO REMOVE LED STRIP LIGHTS IN COVES (ALL SIMULATOR CEILING)
4	AI101	DEDUCT FOR CT-2 TILE UP TO 7'-6" AT WET WALL ONLY (BOTH RESTROOMS)

PROJECT LOCATION



BUILDING LOCATION



1 EXISTING FLOOR PLAN
1/16" = 1'-0"

PROJECT CONTACTS:

OWNER:
117 S HAMILTON LLC & URBAN LAND INTERESTS
10 EAST DOTY ST, SUITE 300
MADISON, WI 53703

CONTACT:
MICHELLE HAMMERLING
608-235-7485

TENANT:
FARWELL VENTURES INC. DBA HOOK & FADE
1050 E WASHINGTON AVE STE 725
MADISON, WI 53703

CONTACT:
HOSHUNG SHIN, CXO
608-957-7002

ARCHITECT:
SKETCHWORKS ARCHITECTURE, LLC
7780 ELMWOOD AVE., STE 208
MIDDLETON, WI 53562

CONTACT:
STEVE SHULFER (ARCHITECT)
NICK BADURA (PM / CONTACT)
608-836-7570

Project Status

2021.06.16	FOR CONSTRUCTION
1 2021.07.23	CB 01
2 2021.07.30	CB 02
3 2021.08.25	CB 03

PROJ. #: 21111-01

© SKETCHWORKS
ARCHITECTURE 2021

COVER SHEET

G001

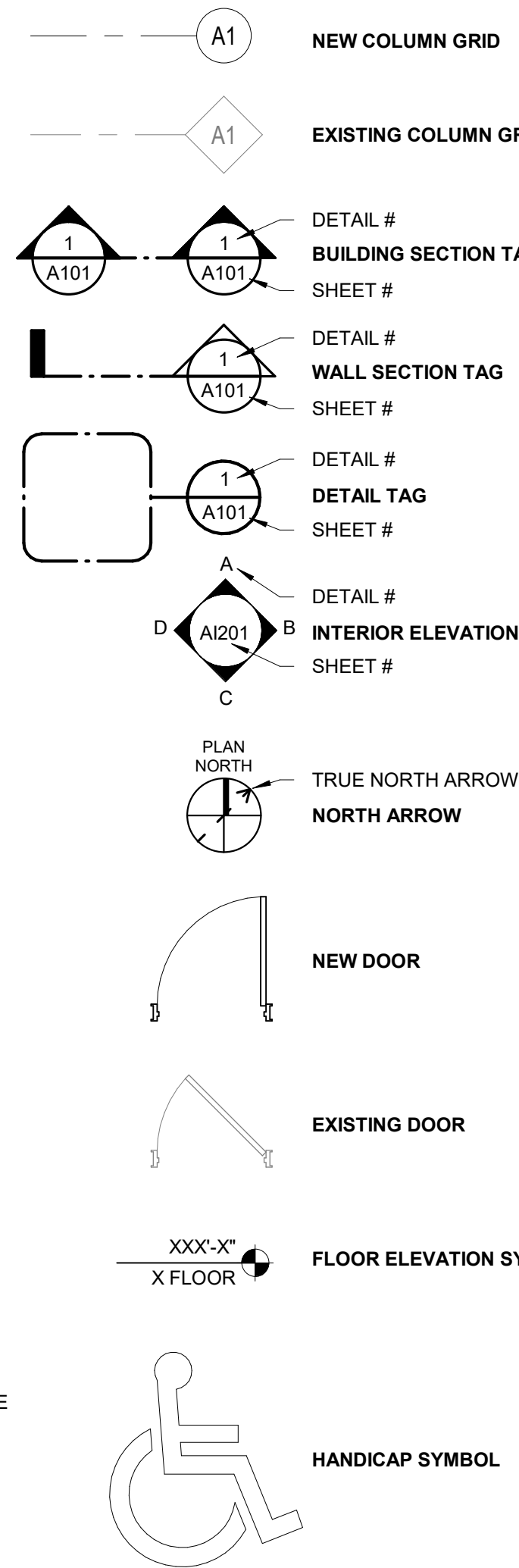
FOR CONSTRUCTION

COMMON ABBREVIATIONS:

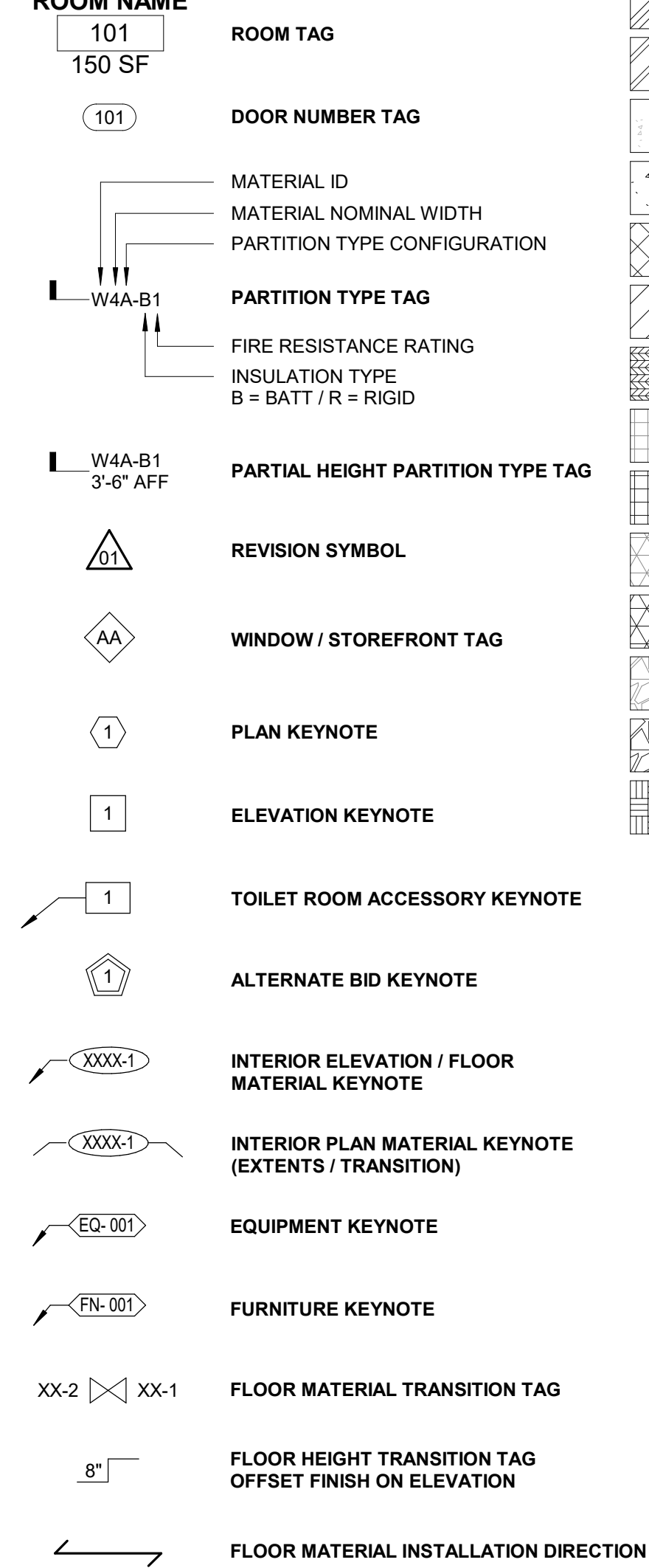
NOTE: ANY ABBREVIATIONS APPEARING IN THESE DOCUMENTS WHICH ARE NOT LISTED BELOW SHALL BE VERIFIED AND CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION

AB	ANCHOR BOLT	L	LENGTH
ACT	ACOUSTICAL CEILING TILE	∠	STEEL ANGLE
ADA	AMERICANS WITH DISABILITIES ACT	LG	LENGTH/LONG
AF	AIR-FINISH FLOOR	LMGF	LIGHT GAUGE METAL FRAMING
AGGR	AGGREGATE	LUH	LONG LEG HORIZONTAL
ALUM	ALUMINUM	LLV	LONG LEG VERTICAL
ALT	ALTERNATE	LP	LOW POINT
ANOD	ANODIZED	LVL	LAMINATED VENEER LUMBER
ARCH	ARCHITECT / ARCHITECTURAL		
		MANF	MANUFACTURER
B/B	BACK-TO-BACK	MAX	MAXIMUM
BLDG	BUILDING	MBW	MASONRY BEARING WALL
BLK	BLOCK	MC	MECHANICAL CONTRACTOR
BM	BEAM	MEPF	MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION
BOT	BOTTOM		
BO	BOTTOM OF _____	MIN	MINIMUM
BRG	BEARING	MTL	METAL
BS	BOTH SIDES		
		NIC	NOT IN CONTRACT
C	CHANNEL DESIGNATION	NOM	NOMINAL
CIP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	N-S	NORTH-SOUTH DIRECTION
CL	CENTER LINE		
CLG	CEILING	OC	ON CENTER
CLR	CLEAR DISTANCE	OCEW	ON CENTER EACH WAY
CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER
CF	CONTRACTOR FURNISHED	OH	OVERHEAD
CI	CONTRACTOR INSTALLED	OPP	OPPOSITE
COL	COLUMN	OF	OWNER FURNISHED
CONN	CONNECTION	OI	OWNER INSTALLED
CONT	CONTINUOUS		
CONTR	CONTRACTOR	PC	PLUMBING CONTRACTOR
		PCC	PRECAST CONCRETE
D	DEPTH	PEMB	PRE-ENGINEERED METAL BUILDING
D-B	DESIGN-BUILD	PERIM	PERIMETER
DEMO	DEMOLISH / DEMOLITION	PL	STEEL PLATE
DIA	DIAMETER	PS CONC	PRE-STRESSED CONCRETE
DIM	DIMENSION	PTD	PAINTED, PRINTED
DN	DOWN	PT CONC	POST-TENSIONED CONCRETE
DTL	DETAIL	PRT	PRESSURE TREATED
DWG	DRAWING		
DWL	DOWEL	RB	RUBBER BASE
		REINF	REINFORCING
EA	EACH	REOD	REQUIRED
EC	ELECTRICAL CONTRACTOR	REQ	REQUIREMENT
EJ	EXPANSION JOINT	RTU	ROOF TOP UNIT
EL	ELEVATION		
ELEV	ELEVATOR	SCHD	SCHEDULE
ENGR	ENGINEER	SF	SQUARE FOOT
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	SH	SHEET
		SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EW	EACH WAY	SPA	SPACE/SPACES
E-W	EAST-WEST DIRECTION	SPEC	SPECIFICATION
ETC	ETCETERA	SQ	SQUARE
ETR	EXISTING TO REMAIN	STD	STANDARD
EXST	EXISTING	STL	STEEL
EXP	EXPANSION	STR	STRUCTURAL
EXT	EXTERIOR		
		T	TALL
FDN	FOUNDATION	TBD	TO BE DETERMINED
FE	FIRE EXTINGUISHER	TBRS	TO BOTTOM OF REFLECTIVE SURFACE
FEC	FIRE EXTINGUISHER CABINET	THK	THICK / THICKNESS
FF	FINISH FLOOR	TL	TREATED LUMBER
F-F	FACE-TO-FACE	TO	TOP OF
FIN	FINISH (OR) FINNED	TOC	TOP OF CONCRETE
FLG	FLANGE	TOF	TOP OF FLOOR
FP	FIRE PROTECTION	TOL	TOP OF LEDGE ELEVATION
FRT	FIRE RESISTANT TREATED	TOW	TOP OF WALL
FTW	FIRE RETARDANT TREATED WOOD	TP	TOP OF PIER ELEVATION
FT	FOOT OR FEET	TYP	TYPICAL
FTG	FOOTING		
FUT	FUTURE	UNO	UNLESS NOTED OTHERWISE
FV	FIELD VERIFY		
		VB	VAPOR BARRIER
GA	GAUGE	VCT	VINYL COMPOSITE TILE
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACTOR	VIF	VERIFY IN FIELD
GFI	GROUND FAULT INTERRUPTER	VR	VAPOR RETARDER
GL	GLASS OR GRID LINE		
GWB	GYPSUM WALL BOARD	W	WIDTH
GYP	GYPSUM	W/	WITH
		W/O	WITHOUT
H	HEIGHT	WD	WOOD
HM	HOLLOW METAL	WF	WIDE FLANGE
HORIZ	HORIZONTAL	WP	WORKING POINT
HP	HIGH POINT	WSBW	WOOD STUD BEARING WALL
HR	HOUR	WWF	WELDED WIRE FABRIC
HT	HEIGHT		
HVAC	HEATING, VENTILATING & AIR CONDITIONING		
HW	HARDWOOD		
IBC	INTERNATIONAL BUILDING CODE		
ID	INSIDE DIAMETER		
IFC	ISSUED FOR CONSTRUCTION		
INSUL	INSULATION		
INT	INTERIOR		
JT	JOINT		
KO	KNOCKOUT		

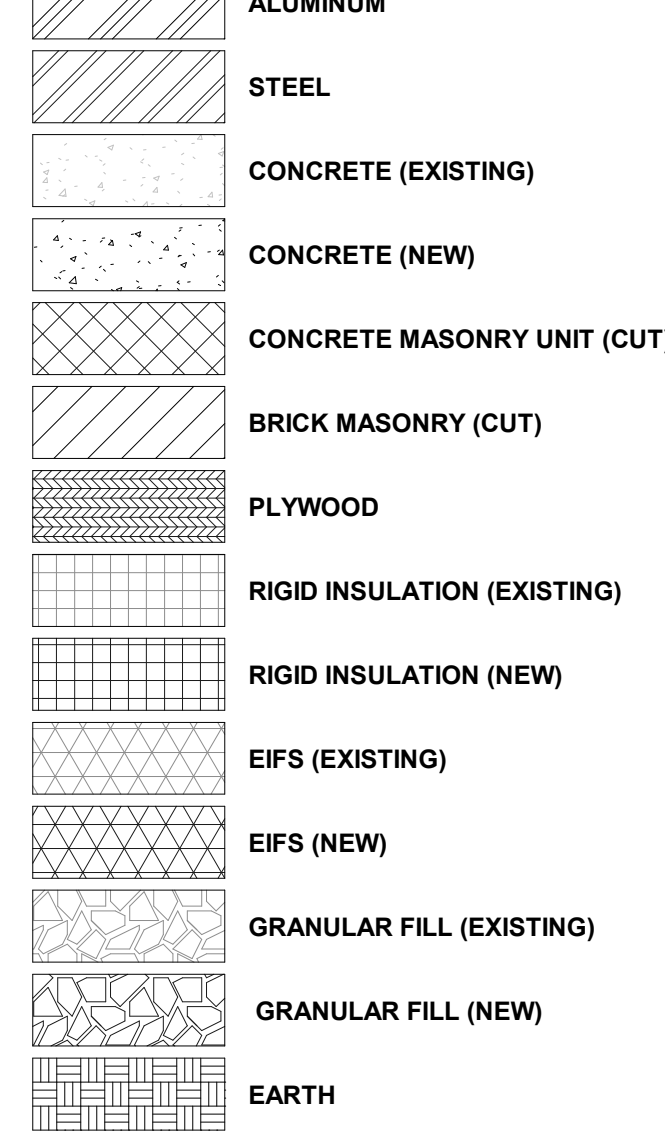
ARCHITECTURAL SYMBOLS:



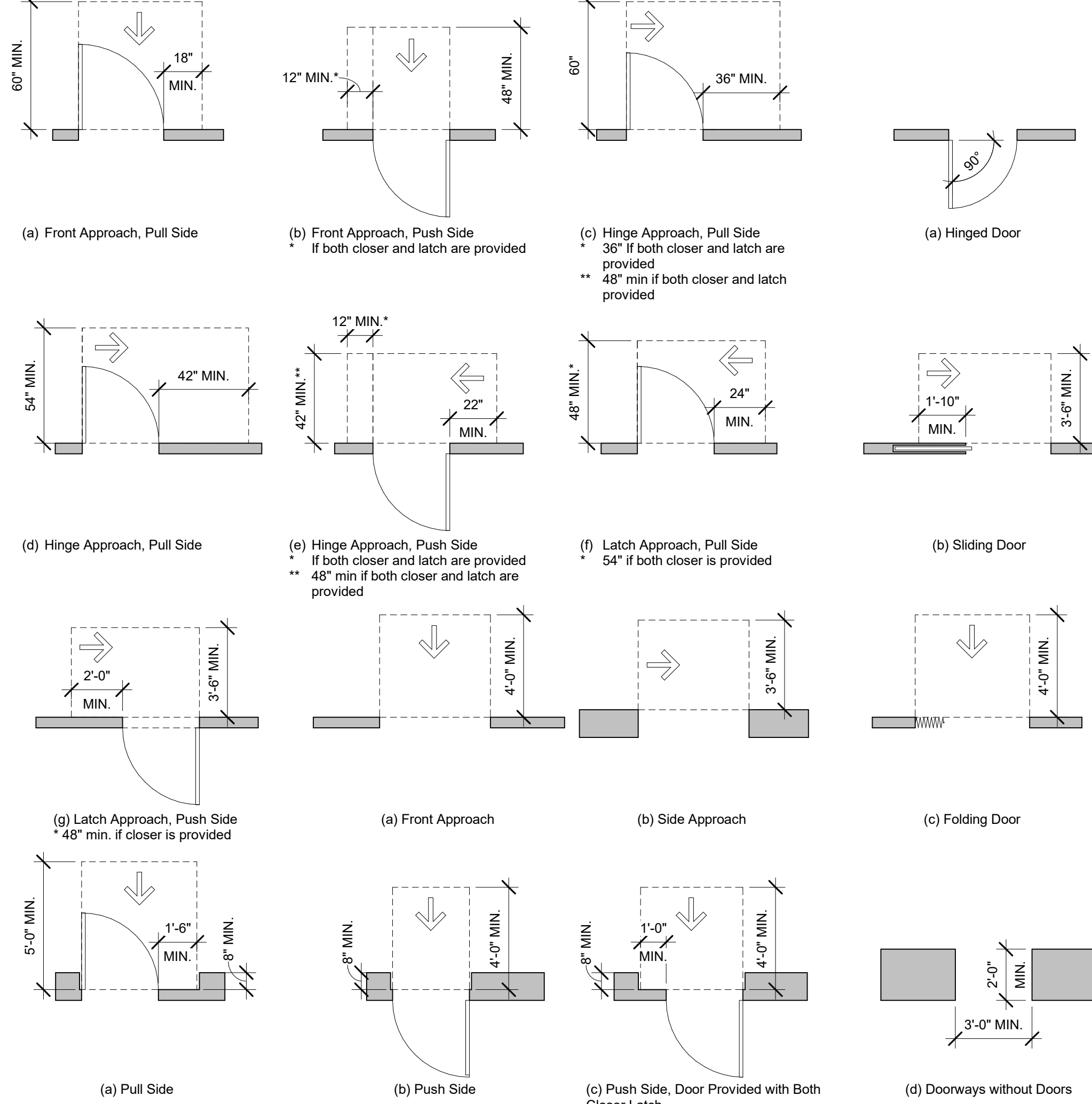
ARCHITECTURAL TAGS & KEYNOTES:



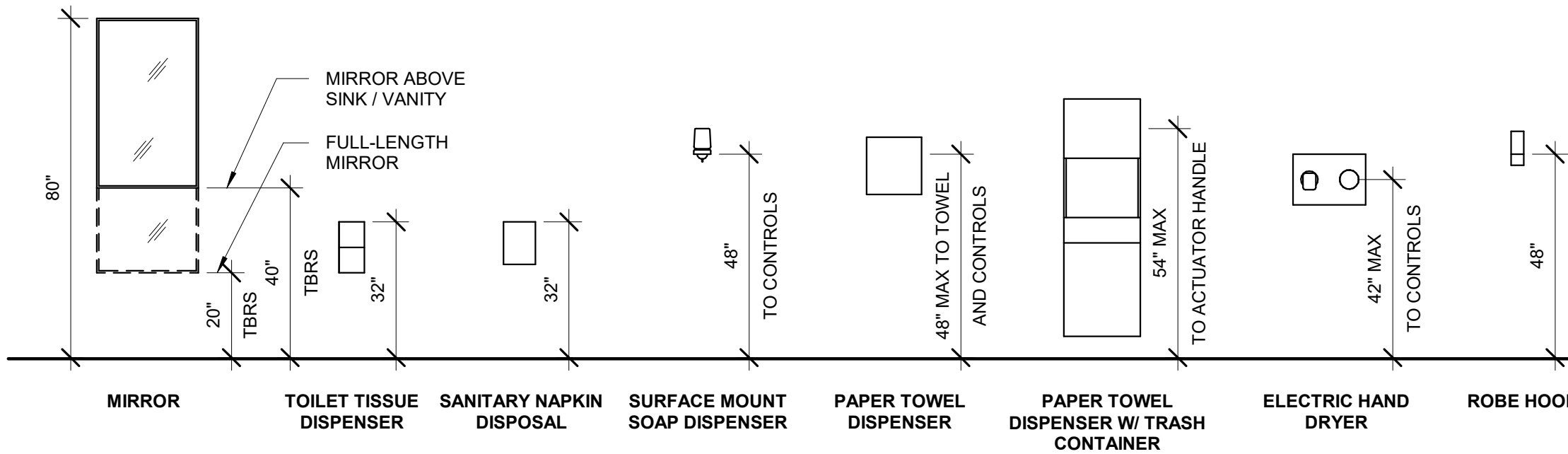
ARCHITECTURAL HATCH PATTERNS:



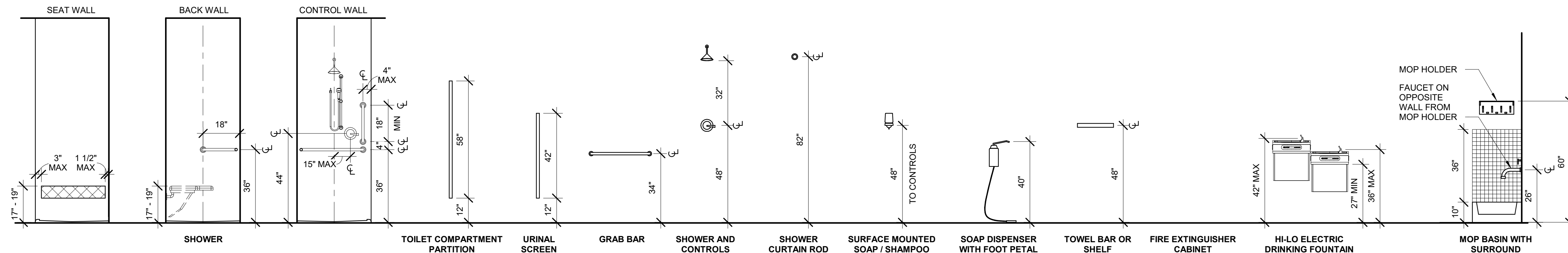
CLEARANCES AT MANUAL DOOR SWINGS:



NOTE: THE INFORMATION ON THIS SHEET IS FOR ILLUSTRATIVE PURPOSES AND TO PROVIDE EASE OF ACCESS TO INFORMATION FOR THE GC AND SUB-CONTRACTORS. IT IS THE RESPONSIBILITY OF THE GC AND SUB-CONTRACTORS TO BE KNOWLEDGEABLE OF THE FAIR HOUSING ACT GUIDELINES (FFHAG), THE AMERICANS WITH DISABILITIES ACT GUIDELINES (ADAAG), AND THE AMERICAN NATIONAL STANDARDS INSTITUTE GUIDELINES (ANSI A117.1) TO EXECUTE THEIR WORK IN COMPLIANCE WITH THESE GUIDELINES.



COMMERCIAL TOILET ROOM ACCESSORY MOUNTING HEIGHTS

$$3/8'' = 1'-0''$$



COMMERCIAL PLUMBING FIXTURE AND ACCESSORY MOUNTING HEIGHTS

$$3/8'' = 1'-0''$$

Sketch works
architecture llc

Project Status

[illegible]

PROJ. #:	21111-01
 SKETCHWORKS ARCHITECTURE 2021	

SYMBOLS & ABBREVIATIONS

GENERAL PLAN NOTES:

- A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- B. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS, UNLESS NOTED OTHERWISE.
- C. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- D. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A001.
- E. PROVIDE 2x BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009
- F. PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- G. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- I. ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- J. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- K. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- L. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- M. GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- N. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNER REQUIREMENTS. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- O. SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL.

HATCH PATTERN KEY:

NEW CONSTRUCTION

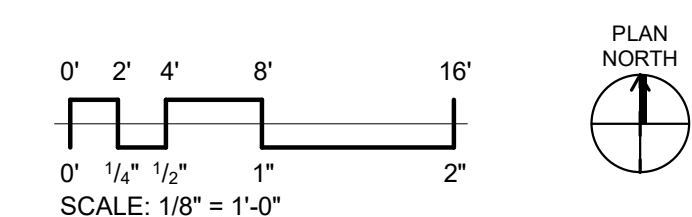
EXISTING CONSTRUCTION

PLAN KEYNOTES:

- 1 GOLF SIMULATOR UNIT- TO BE BUILT OF STEEL STUD AND JOISTS FOR WALLS AND CAP. FIRE TREATED WOOD FOR BALL RETURN RAMP AT FLOOR. SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL INFORMATION
- 2 6" DEEP WINDOWN STOOL FOR DRINK LEDGE. MATCH BAR TOP FINISH
- 3 DIGITAL MONITOR OR TV - PROVIDE DATA , ELECTRICAL, AND BLOCKING AS REQ.
- 4 REMOVE EXISTING TEMPORARY INFILL WALL AND BUILD NEW ALUMINUM STOREFRONT. SEE STOREFRONT ELEVATIONS
- 5 FRAME AROUND EXISTING VERTICAL PIPING
- 6 PROVIDE AIR CURTAIN AT MAIN ENTRY DOOR. HVAC CONTRACTOR TO SPEC UNIT TO MEET IECC AND ASHRAE CODES FOR USE IN LIEU OF VESTIBULE
- 7 SURFACE MOUNTED FIRE EXTINGUISHER CABINET
- 8 GOLF LOCKERS MEASURE APPROX. 21" D X 18" W X 54" H. BASE BID-ALL LOCKERS TO RECEIVE ELECTRONIC LOCK
- 9 PROVIDE DRAIN AND ELECTRICAL FOR POSSIBLE FUTURE DRINK DISPENSER
- 10 EXISTING ELECTRICAL CHASE
- 11 FUTURE LOCKER LOCATIONS- DASHED IN

ALTERNATE BIDS:

- 1 DEDUCT FOR ONLY LOCKERS IN CORRIDOR 138 TO RECEIVE ELECTRONIC LOCKS
- 2 DEDUCT FOR LOCKERS TO BE PLASTIC LAMINATE (COLOR TBD)



HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST
MADISON, WI

Project Status

[illegible]

PROJ. #:	21111-01
----------	----------

© SKETCHWORKS
ARCHITECTURE 2021

FLOOR PLAN

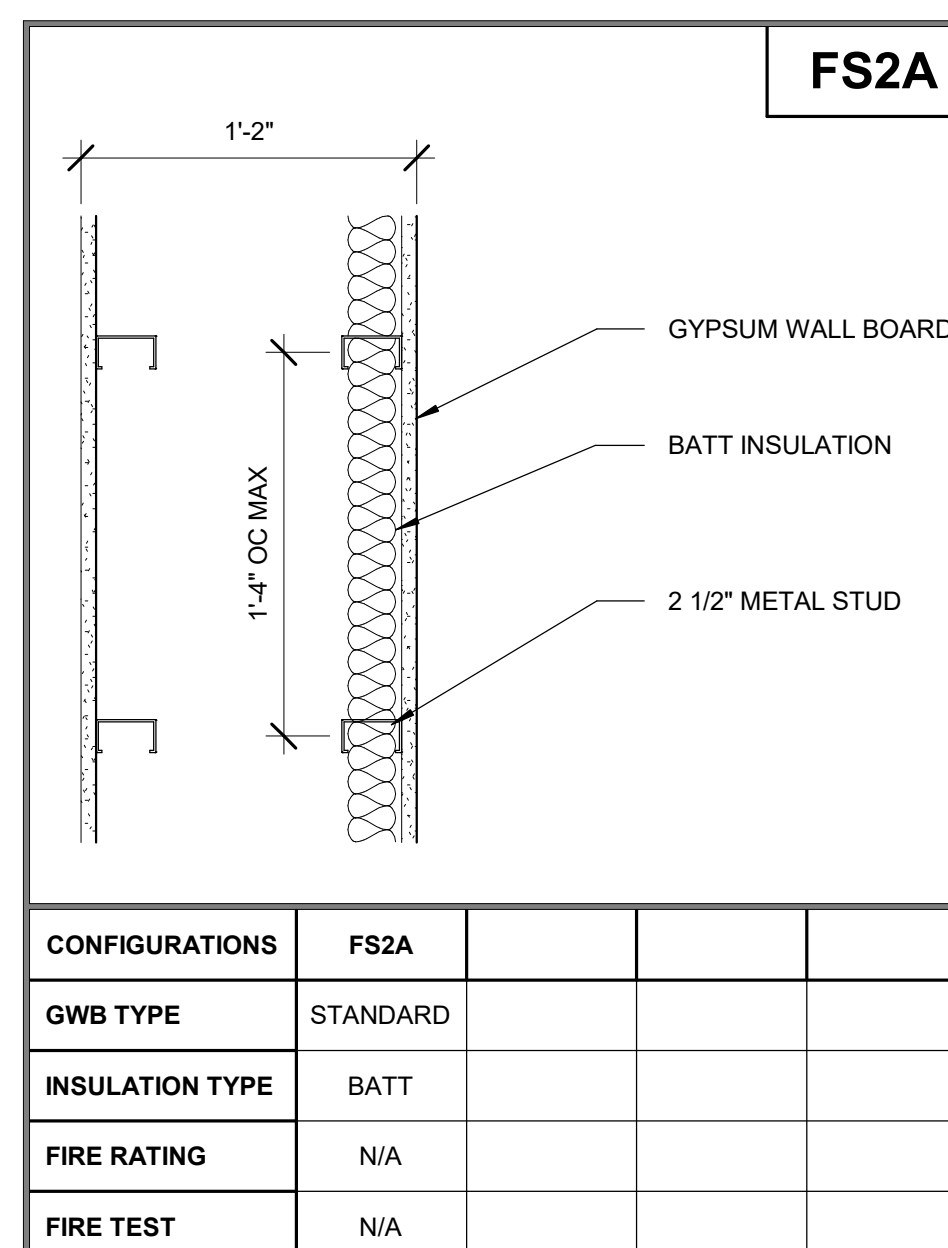
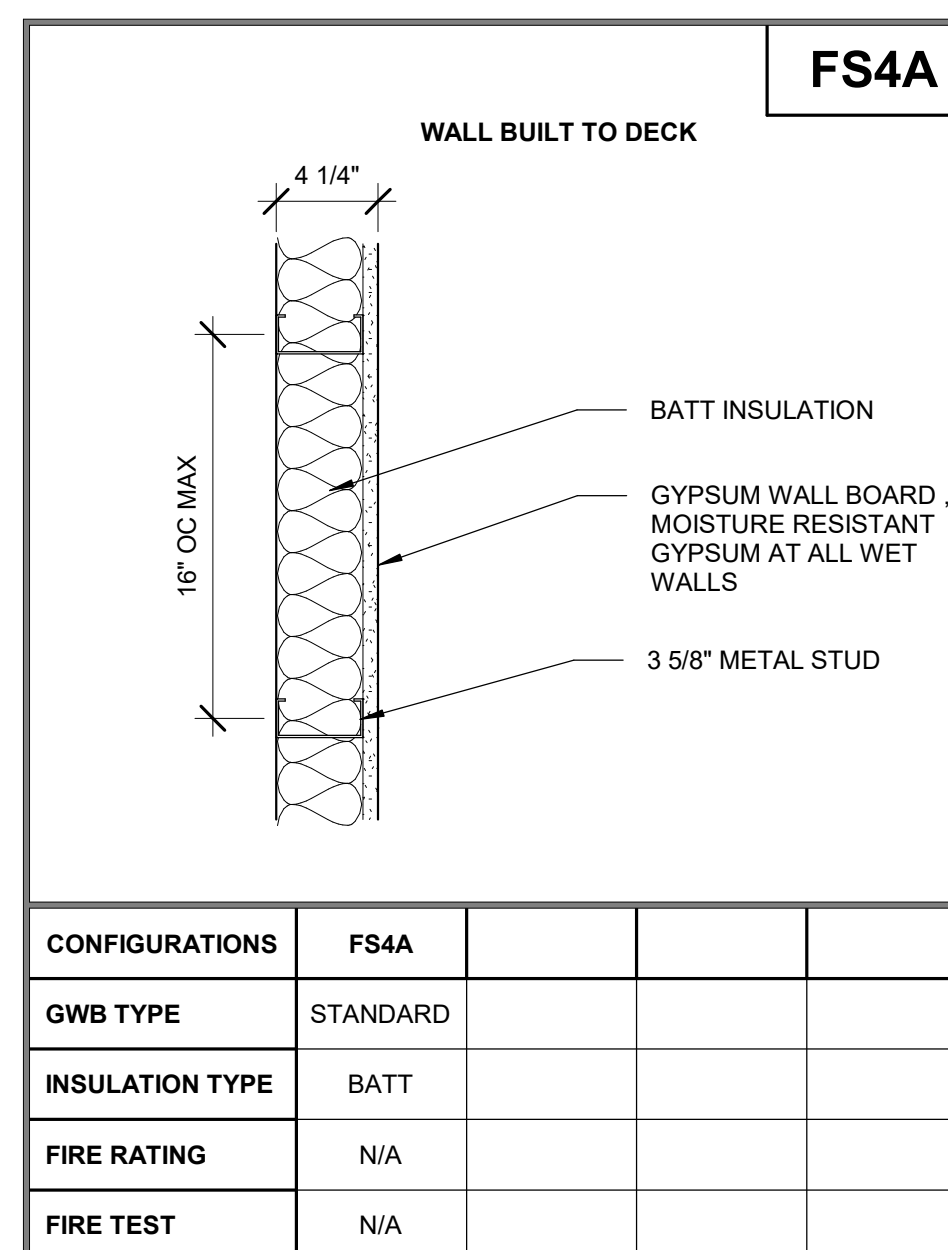
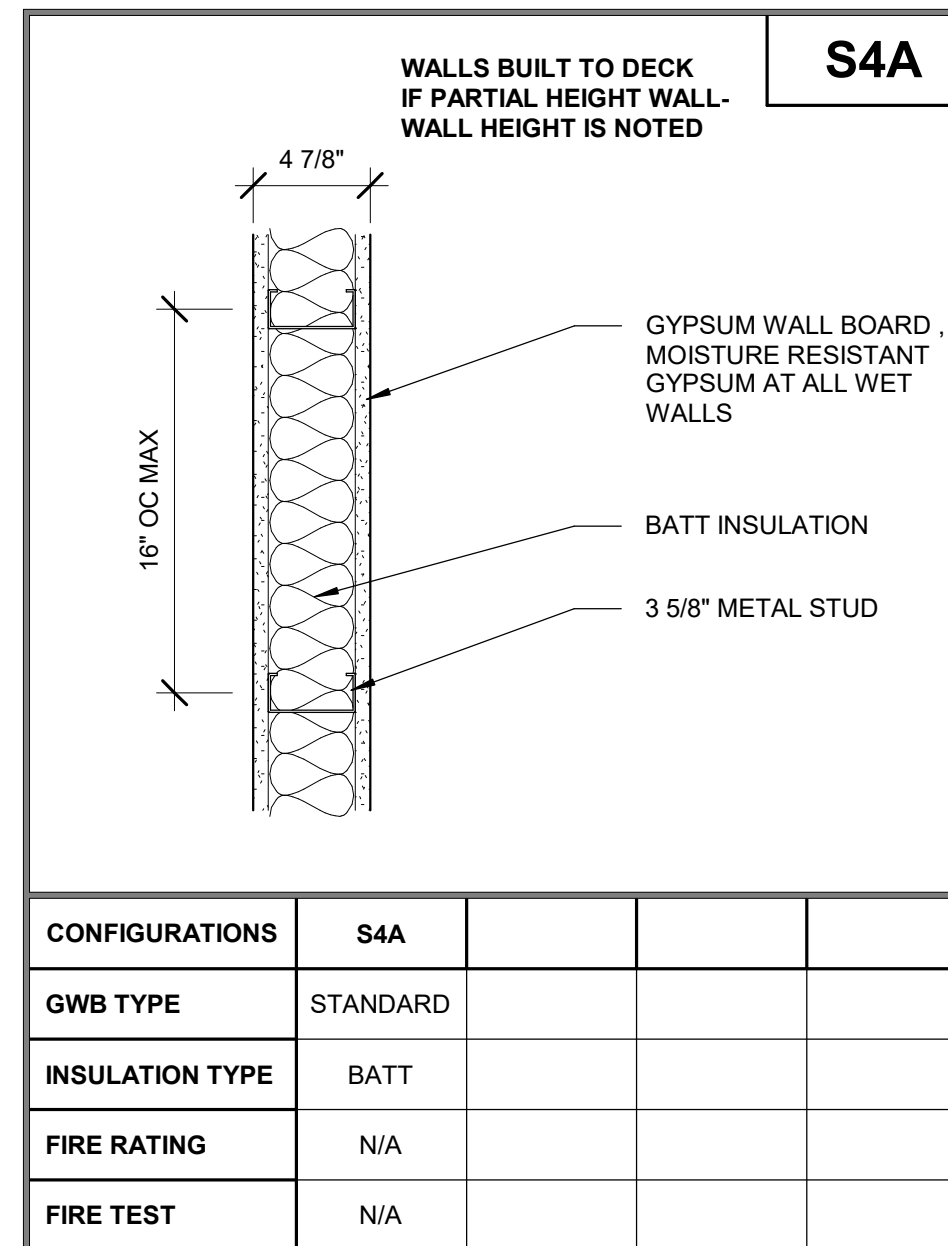
A101



A1 FLOOR PLAN
1/8" = 1'-0"

$$1/8'' = 1'-0''$$

A3 PARTITION - TYPES
1 1/2" = 1'-0"

$$1 \frac{1}{2}'' = 1'-0''$$


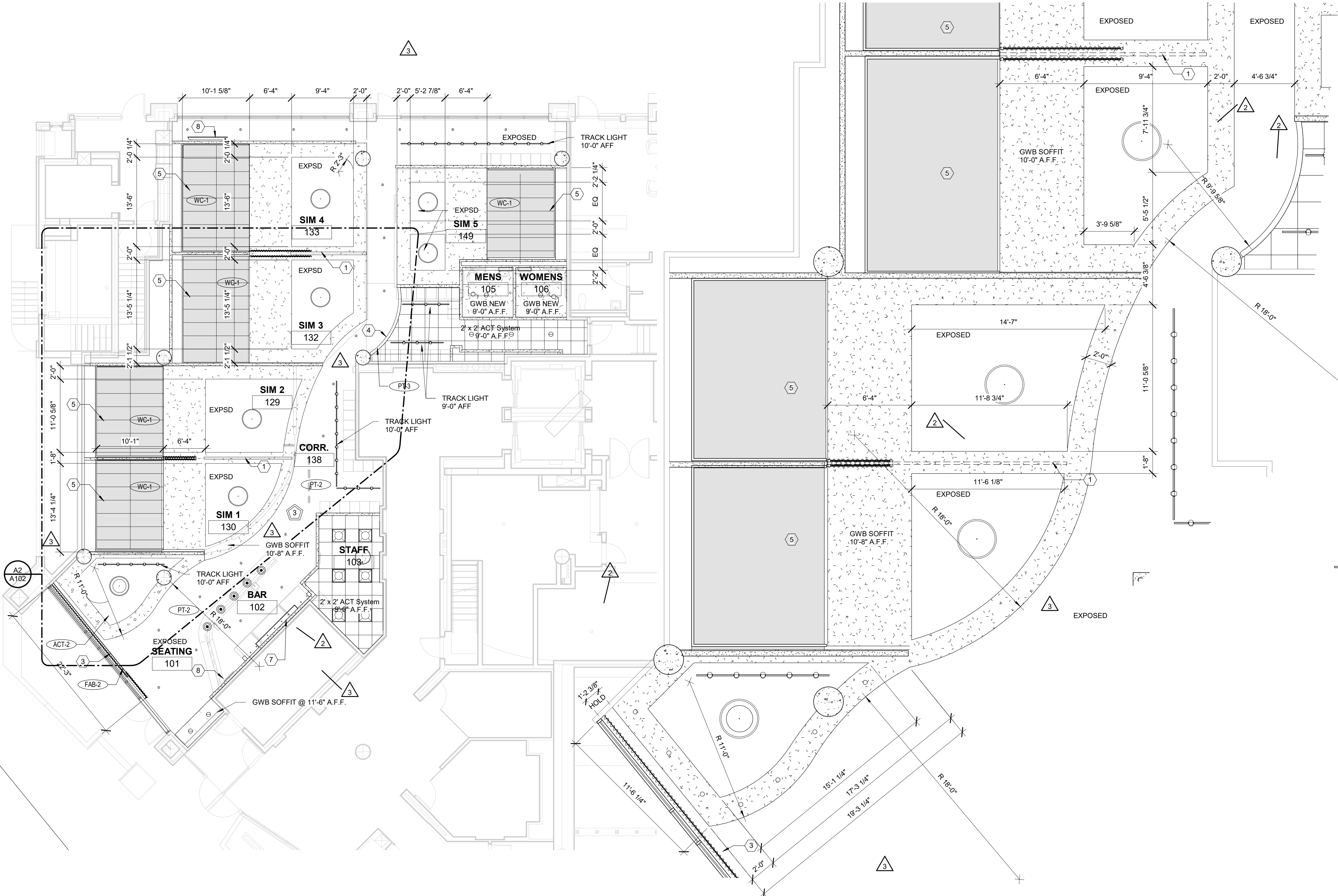
FOR CONSTRUCTION

D

C

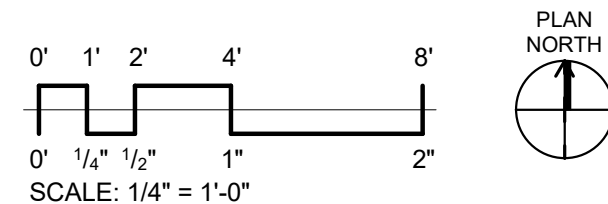
B

A



A1 REFLECTED CEILING PLAN
1/8" = 1'-0"

A2 EXPANDED CEILING PLAN
1/4" = 1'-0"



ALTERNATE BIDS:

- 3 DEDUCT TO REMOVE LED STRIP LIGHTS IN COVES (ALL SIMULATOR CEILINGS)

**REFLECTED CEILING PLAN
GENERAL NOTES:**

- A. CENTER CEILING GRID IN ROOM, LEAVING A MINIMUM TILE DIMENSION OF NOT LESS THAN 1'-0", UNLESS NOTED OTHERWISE
- B. COORDINATE HVAC WITH ARCHITECT PRIOR TO INSTALLATION (SUPPLY DIFFUSERS, RETURN LOUVERS, TRANSFER GRILLS, EXHAUST GRILLS, AND ANY OTHER FIXTURE).
- C. LIGHTING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. COORDINATE LIGHTING LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- D. FOLLOW THE STATE AND NATIONAL CODE REQUIREMENTS AND MINIMUM FOOT CANDLE REQUIREMENTS.
- E. CENTER ALL CEILING MOUNTED LIGHT FIXTURES, LIFE SAFETY DEVICES, SPEAKERS, SPRINKLERS, AND OTHER ELEMENTS IN THE ACOUSTIC CEILING TILE IN BOTH DIRECTIONS, UNLESS NOTED OTHERWISE.
- F. MEP & FP CONTRACTORS SHALL COORDINATE WITH ARCHITECT PRIOR TO CONSTRUCTION START TO MINIMIZE CEILING MOUNTED FIXTURES AND EQUIPMENT. CONDUIT SHALL BE RUN AT 90 DEGREE ANGLES TO THE SPACE, UNLESS NOTED OTHERWISE, AND SHALL BE CONCEALED WHERE POSSIBLE.

CEILING PLAN FIXTURES:

- LIVEX - SIGNATURE PENDANT
LIV-40631-92
• DIMMABLE
• CF/CI
- 2X4' TROFFER LIGHT
• LED BULB
• CF/CI
- 2'-4" APERTURE PENDANT
• GENERAL LIGHTING
• DIMMER SWITCH, INDEPENDENT
• LED BULB
• CF/CI
- 4" CAN LIGHT
• LED BULB
• CF/CI
- EXHAUST FAN W/ LIGHT
• LED BULB
• CF/CI
- 39" FUZE CHANDELIERE BY TROY
LIGHTING
• F6865 (SINGLE TIER)
• DIMMABLE
• LED BULB
• CF/CI
- 39" W DECORATIVE PENDANT LIGHT
• FUZE CHANDELIER BY TROY
LIGHTING F6864
• (TWO TIER)
• DIMMABLE
• LED BULB
• CF/CI
- VANITY LIGHT ABOVE MIRROR
• DAINOLITE ARL-3624LEDW-MB
• LED BULB
• CF/CI
- TRACK LIGHT (BLACK)
• TRAC-LITES 10W LED R600L G2
• ON INDEPENDENT DIMMER SWITCH
• LED BULB
• CF/CI
- EMERGENCY EXIT LIGHT
• GREEN ON CLEAR ACRYLIC
• LED BULB
• CF/CI
- EMERGENCY BACKUP LIGHT
• LED BULB
• CF/CI

RCP KEYNOTES:

- 1 OPERABLE RIPPLEFOLD DRAPERY ON RECESSED TRACK; TWO DRAPERIES (ONE PER EACH SIDE); BACKED IN MATCHING FABRIC FOR SEAMLESS LOOK; 18' LENGTH.
- 3 DRAPERY SHEER ON ROD; MOUNT ABOVE STOREFRONT GLAZING; SHEERS TO BE WITHIN 1" A.F.F.
- 4 BULKHEAD TO 9'-0" AFF
- 5 2'-0" X 5'-0" PANELIZED FABRIC ON MEMORY FOAM; INSTALLED BY OTHER; - SEE MATERIAL FINISH SCHEDULE
- 7 RECESSED PUCK LIGHTS IN BACK BAR TO LIGHT LIQUOR SHELVES
- 8 DIGITAL MONITOR OR TV - PROVIDE DATA, ELECTRICAL, AND BLOCKING AS REQ.

Project Status

	2021.06.16	FOR CONSTRUCTION
2	2021.07.30	CB 02
3	2021.08.25	CB 03

PROJ. #: 21111-01

© SKETCHWORKS
ARCHITECTURE 2021

**REFLECTED
CEILING PLAN**

D

C

B

A

- GENERAL PLAN NOTES:**
- A. ALL DIMENSIONS SHOWN ARE NOMINAL. REFER TO DETAILS FOR EXACT PARTITION TYPE SIZES. ALL DIMENSIONS ARE FACE OF FRAME TO FACE OF FRAME.
 - B. THE THICKNESS OF TILE, WOOD BASE, WAINSCOTING, TRIM AND SIMILAR APPLIED FINISHES ARE NOT INCLUDED IN ROOM DIMENSIONS; THOSE ELEMENTS WILL BE DIMENSIONED IN THE DETAIL.
 - C. FIELD VERIFY OPENING AND ROOM SIZES FOR FINISH MATERIALS AND CABINETRY PRIOR TO ORDERING AND INSTALLATION.
 - D. PROVIDE SOLID WOOD BLOCKING FOR CABINETRY, SHELVING, TOILET ACCESSORIES, AND TELEVISION MOUNTS.
 - E. PROVIDE SOLID WOOD BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009
 - F. ALL CABINET LAYOUTS SHOWN ARE BASED ON GENERAL INFORMATION. AVAILABILITY OF SPECIFIC CABINET SIZES AND CONFIGURATIONS MAY VARY BY MANUFACTURER.
 - G. CABINET SUPPLIER TO VERIFY QUANTITY AND PLACEMENT OF FINISHED END PANELS AND FILLER STRIPS REQUIRED FOR FINAL LAYOUTS. ALL EXPOSED SURFACES SHALL BE FINISHED.
 - H. CABINET SUPPLIER TO COORDINATE ACTUAL APPLIANCE AND FIXTURE SELECTIONS WITH CABINET LAYOUTS.
 - I. SCRIBE ALL CABINET FILLERS TO WALL AND TEMPLATE COUNTERTOPS TO FIT AS-BUILT CONDITIONS. CAULK AT PERIMETER OF COUNTERTOP BACK AND SIDE SPLASHES.
 - J. INSTALL BASE AND FLOOR FINISH BEHIND ALL APPLIANCES.
 - K. ALL FINISHES, APPLIANCES, EQUIPMENT, CABINET LAYOUTS AND ACCESSORIES TO BE APPROVED BY ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
 - L. SEE A001 FOR TYPICAL FIXTURE MOUNTING HEIGHTS. ALL EXPOSED PLUMBING BELOW SINKS TO BE WRAPPED IN THERMAL BARRIERS.

HOOK AND FADE
TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

Project Status

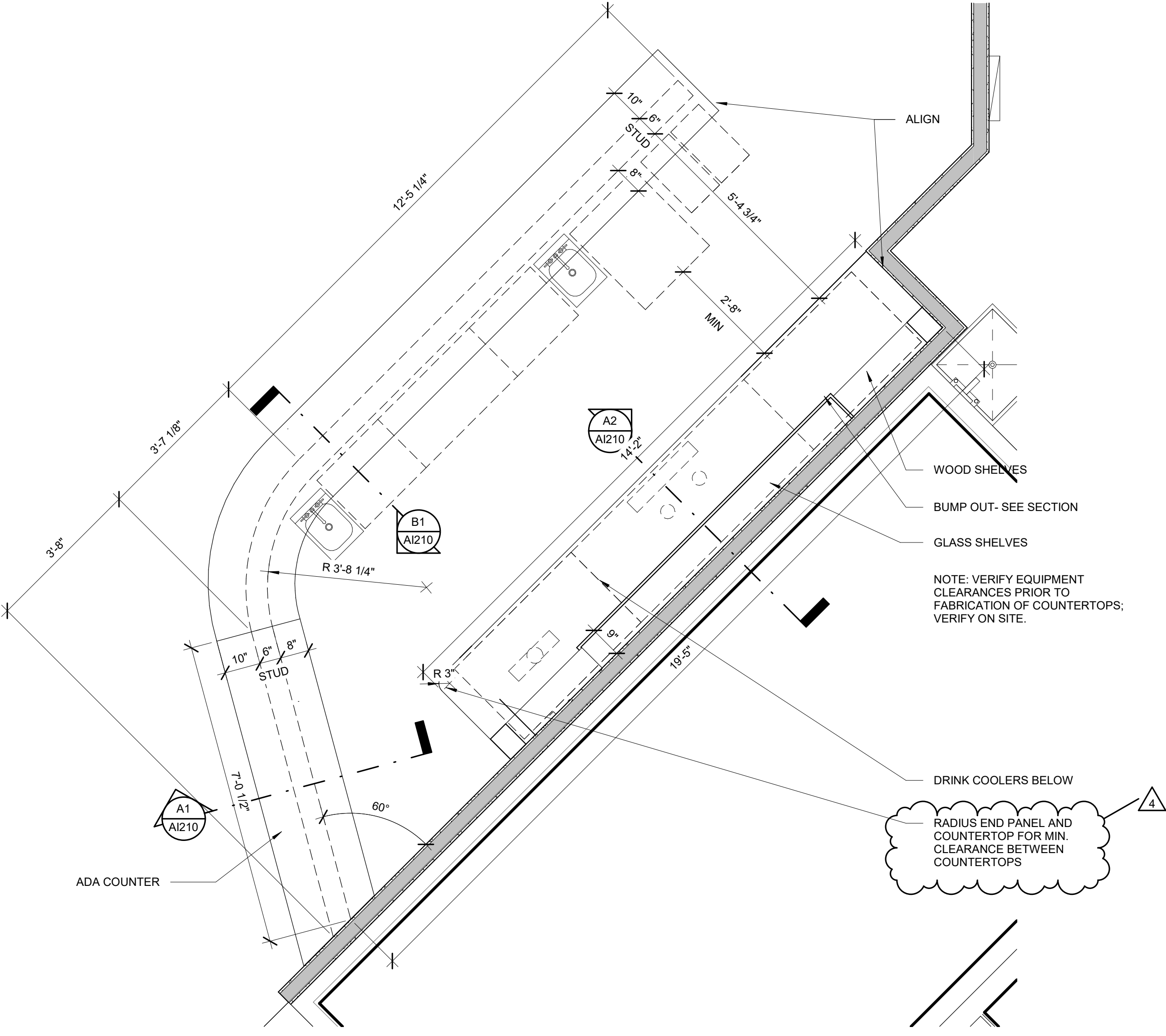
	2021.06.16	FOR CONSTRUCTION
1	2021.07.23	CB 01
2	2021.07.30	CB 02
3	2021.08.25	CB 03
4	2021.09.29	CB 04

PROJ. #: 21111-01

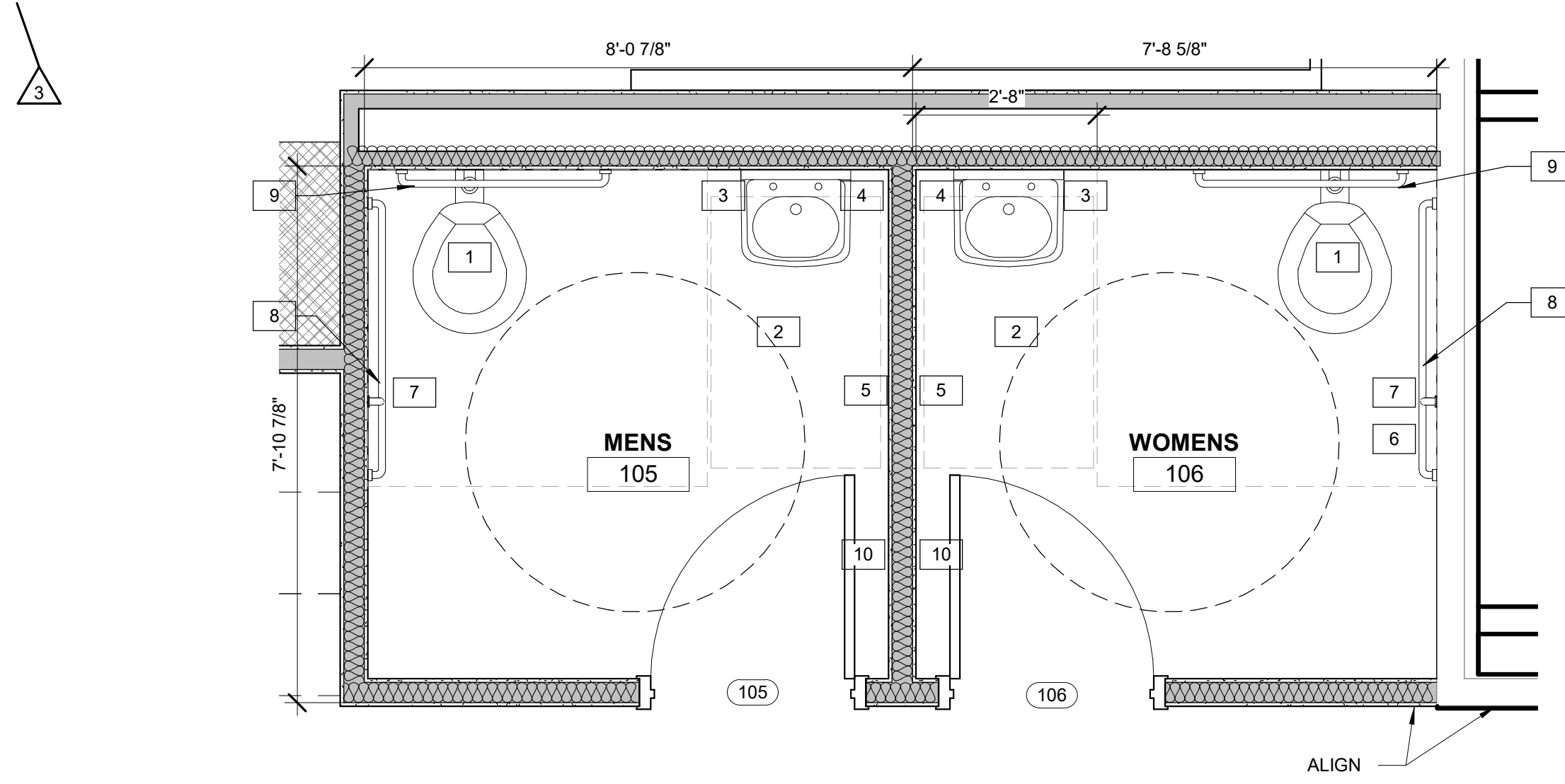
© SKETCHWORKS
ARCHITECTURE 2021

ENLARGED
FLOOR PLANS

A401



B2 ENLARGED BAR/RECEPTION PLAN
1/2" = 1'-0"



A2 ENLARGED RESTROOM PLANS
1/2" = 1'-0"

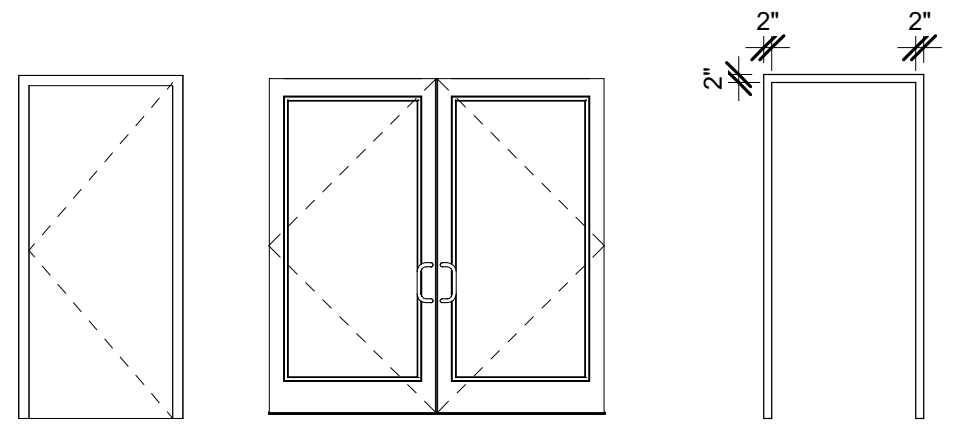
**TOILET ROOM
ACCESSORIES SCHEDULE:**

- 1 WALL MOUNTED TOILET
- 2 WALL MOUNT SINK SUCH AS BRADLEY CORP VERGE LVSD1
- 3 WALL MOUNTED MIRROR
- 4 WALL MOUNTED LIQUID SOAP DISPENSER
- 5 RECESSED PAPER TOWEL AND WASTE RECEPTACLE
- 6 SANITARY NAPKIN WASTE RECEPTACLE
- 7 TOILET PAPER DISPENSER
- 8 42" LONG HORIZONTAL GRAB BAR & 18" LONG VERTICAL GRAB BAR
- 9 36" LONG HORIZONTAL GRAB BAR
- 10 COAT HOOK

FOR CONSTRUCTION

DOOR SCHEDULE

MARK	NOMINAL DOOR SIZE (W x H x THK)	DOOR PANEL				GLAZING	TYPE	FRAME			DOOR HARDWARE	WALL FIRE RATING	EXISTING / NEW	REMARKS
		TYPE	MATERIAL	FINISH				MATERIAL	FINISH					
101	6'-5" x 8'-0" x 2"	2	ALUMINUM	FACTORY	1" DOUBLE PANE, LOW-E, SAFETY TEMPERED, MATCH EXISTING	SEE ELEV		ALUM	FACTORY	L-6,L-7,L-8, H-20,C-30		New Construction	1	
103	3'-0" x 7'-0" x 1 3/4"	1	SOLID CORE WOOD	PT-4		NO	A		HOLLOW MTL	PT-4	L-2,H-20,C-31		New Construction	
105	3'-0" x 7'-0" x 1 3/4"	1	SOLID CORE WOOD	PT-2		NO	A		HOLLOW MTL	PT-2	L-1,H-20		New Construction	
106	3'-0" x 7'-0" x 1 3/4"	1	SOLID CORE WOOD	PT-2		NO	A		HOLLOW MTL	PT-2	L-1,H-20		New Construction	
FIRST FLOOR: 4														

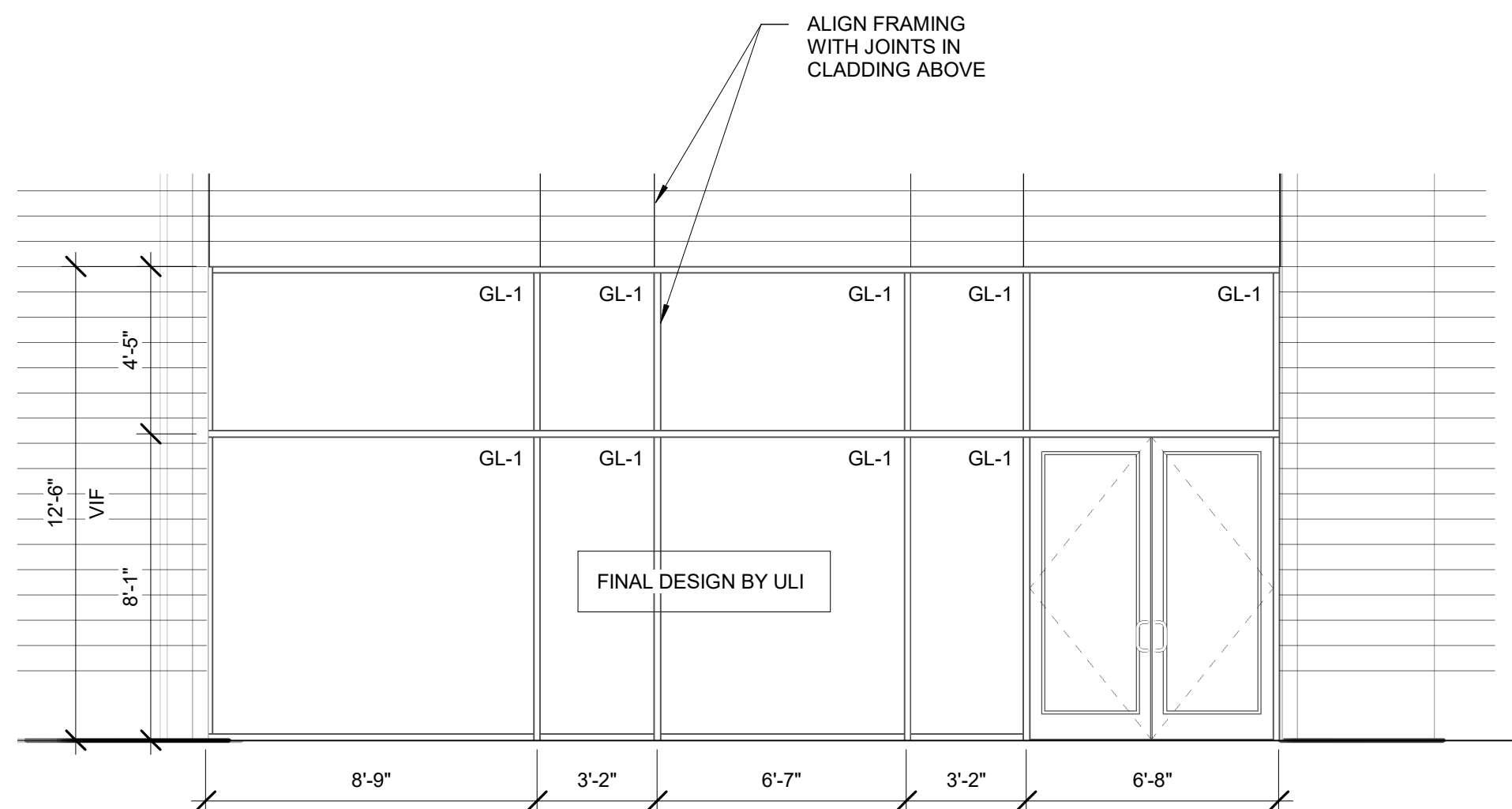


DOOR TYPE 1
SINGLE LEAF SWING
FLUSH DOOR

DOOR TYPE 2
DOUBLE LEAF SWING
FLUSH DOOR

DOOR FRAME TYPE A
SINGLE

DOOR ELEVATIONS

$$\frac{1}{4}'' = 1'-0''$$


STOREFRONT AA

$$\frac{1}{4}'' = 1'-0''$$

NOTE: STOREFRONT ELEVATION HAS BEEN PREVIOUSLY APPROVED BY MINOR ALTERATION FOR 117 S. HAMILTON ST

GLAZING TYPE SCHEDULE

MARK	DESCRIPTION
GL-1	1" DOUBLE PANE, LOW-E, SAFETY TEMPERED, MATCH EXISTING

DOOR SCHEDULE REMARKS

NO.	REMARK
1	VERIFY ENTRANCE DOOR AND HARDWARE REQUIREMENTS WITH BUILDING OWNER/TENANT
2	
3	

DOOR SCHEDULE LEGEND

ABBREVIATION	TERM
ALUM	ALUMINUM
ETR	EXISTING TO REMAIN
HC WD	HOLLOW CORE WOOD
HM	HOLLOW METAL
INS MTL	INSULATED METAL
MANF	MANUFACTURER
PT	PAINT
SC WD	SOLID CORE WOOD
SST	STAINLESS STEEL
ST	STAIN

DOOR HARDWARE SCHEDULE

NO.	QTY	HARDWARE	MANUFACTURER	MODEL	FINISH
LOCKSETS					
L-1	1	RESTROOM PRIVACY LOCK SET			
L-2	1	STORAGE LOCK SET			
L-3	1	OFFICE LOCK SET			
L-4	1	CLASSROOM LOCK SET			
L-5	1	FLUSH BOLT AT HEAD ON INACTIVE SIDE			
L-6	1	THUMB TURN			
L-7	1	PUSH			
L-8	1	PULL			
L-9					
L-10					
HINGES					
H-20	3	1 1/2" PAIR HINGES, STANDARD WEIGHT			
H-21	3	1 1/2" PAIR HINGES, HEAVY DUTY			
H-22	6	1 1/2" PAIR HINGES, STANDARD WEIGHT			
H-23					
H-24					
CLOSERS					
C-30	1	CLOSER WITH HOLD OPEN			
C-31	1	CLOSER WITH ARM STOP			
C-32	1	SURFACE CLOSER			
C-33					
C-34					
STOPS					
S-40	1	FLOOR STOP			
S-41	1	WALL STOP			
S-42	1	OVERHEAD STOP			
S-43					
S-44					
OPERATORS					
O-50	1	POWER OPERATOR			
O-51					
O-52					
MISCELLANEOUS					
M-60	1	PEEP HOLE			
M-61	1	KICK PLATE			
M-62					
M-63					

DOOR GENERAL NOTES:

- A. VERIFY DOOR SIZES FROM DOOR SCHEDULE.
VERIFY ALL ROUGH OPENINGS WITH RESPECTIVE MANUFACTURERS.
- B. PROVIDE SAFETY GLAZING PER CODE IN ALL DOORS AND FRAMES.
- C. PROVIDE ACCESSIBLE HARDWARE INCLUDING BUT NOT LIMITED TO DOOR HANDLES, PULLS, LATCHES, AND GLAZING DEVICES AND THRESHOLDS AT ALL NEW DOORS. REFER TO SECTION 1010.13.1 IN 2015 IBC FOR CODE REQUIREMENTS.
- D. REINFORCE ALL DOORS FOR HARDWARE WITH OWNER AND TENANT LOCATION AND REQUIREMENTS OF SPECIAL SECURITY DEVICES.
- E. REFER TO SHEET A001 FOR DOOR CLEARANCE REQUIREMENTS.
- F. HARDWARE SCHEDULE IS FOR BASIS OF DESIGN ONLY. SUBJECT TO CHANGE. ANY CHANGES TO THE HARDWARE SCHEDULE OR HARDWARE SELECTION MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- G. DOOR HARDWARE SCHEDULE QUANTITIES ARE PER DOOR AND DO NOT REPRESENT THE QUANTITY REQUIRED FOR ENTIRE PROJECT.

Sketch works
architecture llc

HOOK AND FADE

TENANT IMPROVEMENT

**113 SOUTH HAMILTON ST
MADISON, WI**

Project Status

[illegible]

PROJ. #:	21111-01
----------	----------

© SKETCHWORKS
ARCHITECTURE 2021

DOOR AND WINDOW SCHEDULES

A601

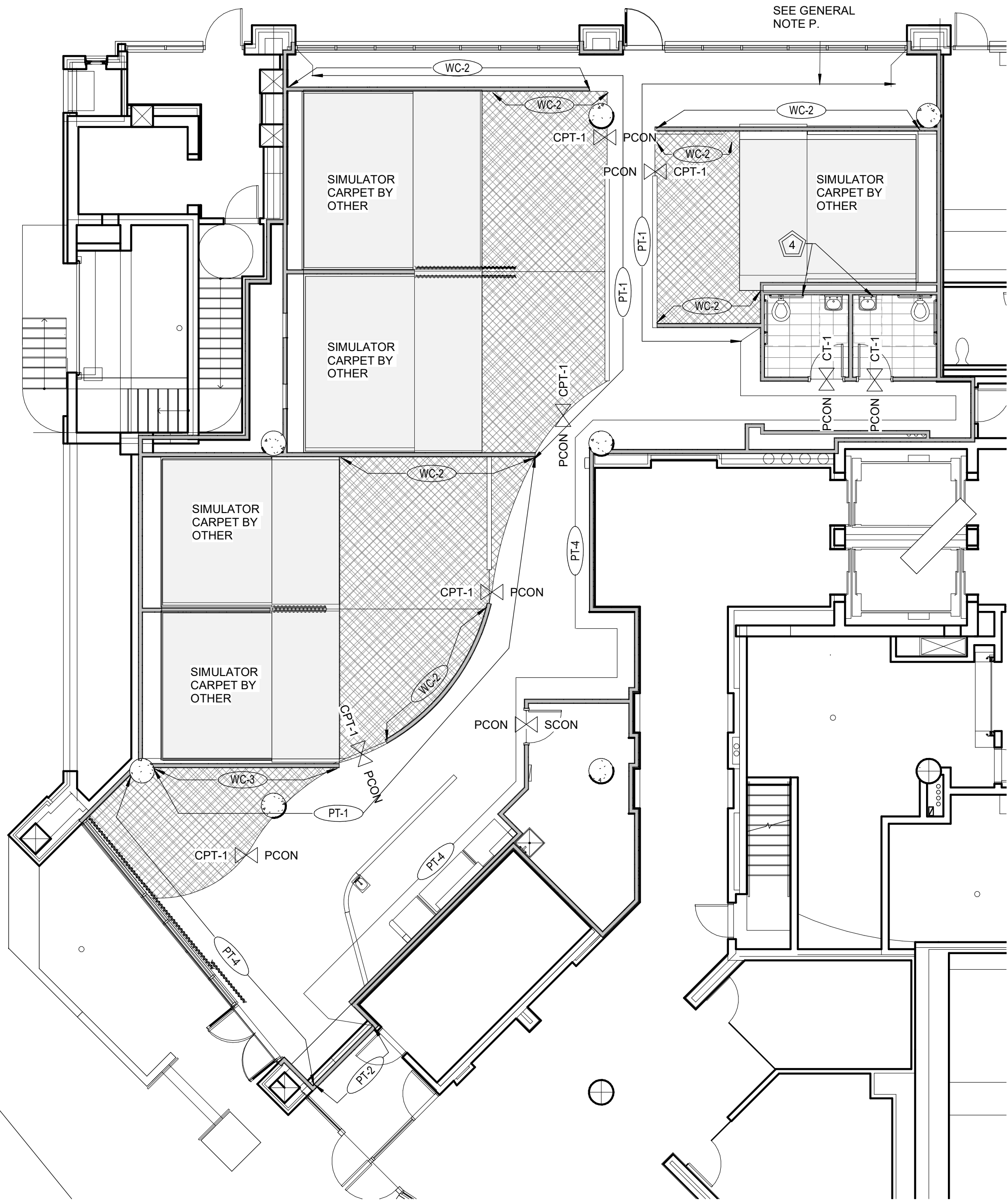
FOR CONSTRUCTION

D

C

B

A



NOTE: CB-03 INCLUDES PAINT CLARIFICATIONS
FLOORING HAS NOT CHANGED.

A1 INTERIOR FINISH PLAN

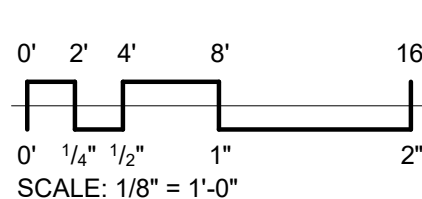
1/8" = 1'-0"

GENERAL FINISH NOTES:

- A. ENSURE ALL MANUFACTURERS RECOMMENDATIONS ARE MET FOR PREPARATION OF SUBSTRATE, INCLUDING MOISTURE CONTENT, CLEANLINESS AND APPLICATION OF PRIMERS IF NEEDED.
- B. ENSURE ADA COMPLIANCE ON ALL FINISH FLOORING HEIGHTS AND TRANSITIONS.
- C. VERIFY ALL COLOR AND MATERIAL SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION THROUGH PHYSICAL SUBMITTALS.
- D. INSTALL FLOORING UNDER ALL EQUIPMENT AND MILLWORK.
- E. PROVIDE TRANSITION STRIPS TO ALL DISSIMILAR FLOOR MATERIALS. TRANSITIONS OCCURRING AT DOORWAYS, CENTER THE TRANSITION ON OPENING UNLESS NOTED OTHERWISE.
- F. FIELD VERIFY ALL CABINET LAYOUTS AND COORDINATE DIMENSIONS WITH SELECTED APPLIANCES AND FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINET ENDS.
- G. ALL, BUT NOT LIMITED TO, ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS (EXC PET GLASS AND EXTINGUISHER), GRILLES, WALL / CEILING DIFFUSERS, WALL MOUNTED BOXES, AND ACCESS PANELS TO BE PAINTED THE SAME COLOR AS THE WALL / GWS CEILING WHICH THEY ARE MOUNTED. EACH CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL CODE RELATED EFFECTS OF THESE ELEMENTS BY PAINTING THEM. CONTRACTOR TO INFORM ARCHITECT IMMEDIATELY IF THEY FIND THESE ACTIONS IN VIOLATION OF CODE.
- H. ALIGN GROUT LINES IN WALL TILE WITH THE GROUT LINES OF THE FLOOR TILE.
- I. LEAVE CONCRETE COLUMNS UNFINISHED; CLEAN DEBRIS OFF OF SURFACE.
- J. ALL EXPOSED CEILING TO BE PAINTED PT-2 STARTING AT 12 A.F.F. AND COVERING ALL PIPES, HVAC, AND CONDUITS IN EXPOSED CEILING AREA.
- K. ALL UPHOLSTERED WALLS TO BE INSTALLED BY OTHER.
- L. PREPARE ALL WALL SURFACES IN GWS LEVEL 4 FINISH FOR AREAS WHERE "WC" WALLCOVERING WILL BE APPLIED.
- M. VERIFY BLOCKING LOCATIONS WITH OWNER FOR ALL HEAVY ARTWORK, NEON LIGHTING, SIGNAGE, AND DIGITAL DISPLAYS WHERE APPLICABLE.
- N. ALL SIDES OF GWS SOFFITS, BULKHEADS, ETC. TO BE PAINTED THE SAME COLOR.
- O. ALL CASEWORK TO RECEIVE SOFT CLOSE DOORS, FULL EXTENSION GLIDE DRAWERS.; 3/4 OVERLAY FLAT PANEL SHAKER DOORS AND DRAWER FRONTS; BLUM HARDWARE OR EQUAL.
- P. WALL COVERING TO BE FUTURE AND BY TENANT. ALL WALL COVERING LOCATIONS TO BE PAINTED PT-1, WITH DRYWALL FINISH FOR FUTURE WALL COVERING INSTALLATION.

ALTERNATE BIDS:

- 4 DEDUCT FOR CT-2 TILE UP TO 7'-6" AT WET WALL ONLY (BOTH RESTROOMS)



Project Status

1	2021.07.23	CB 01
4	2021.09.29	CB 04

PROJ. #: 21111-01

© SKETCHWORKS
ARCHITECTURE 2021

**FINISH FLOOR
PLAN**

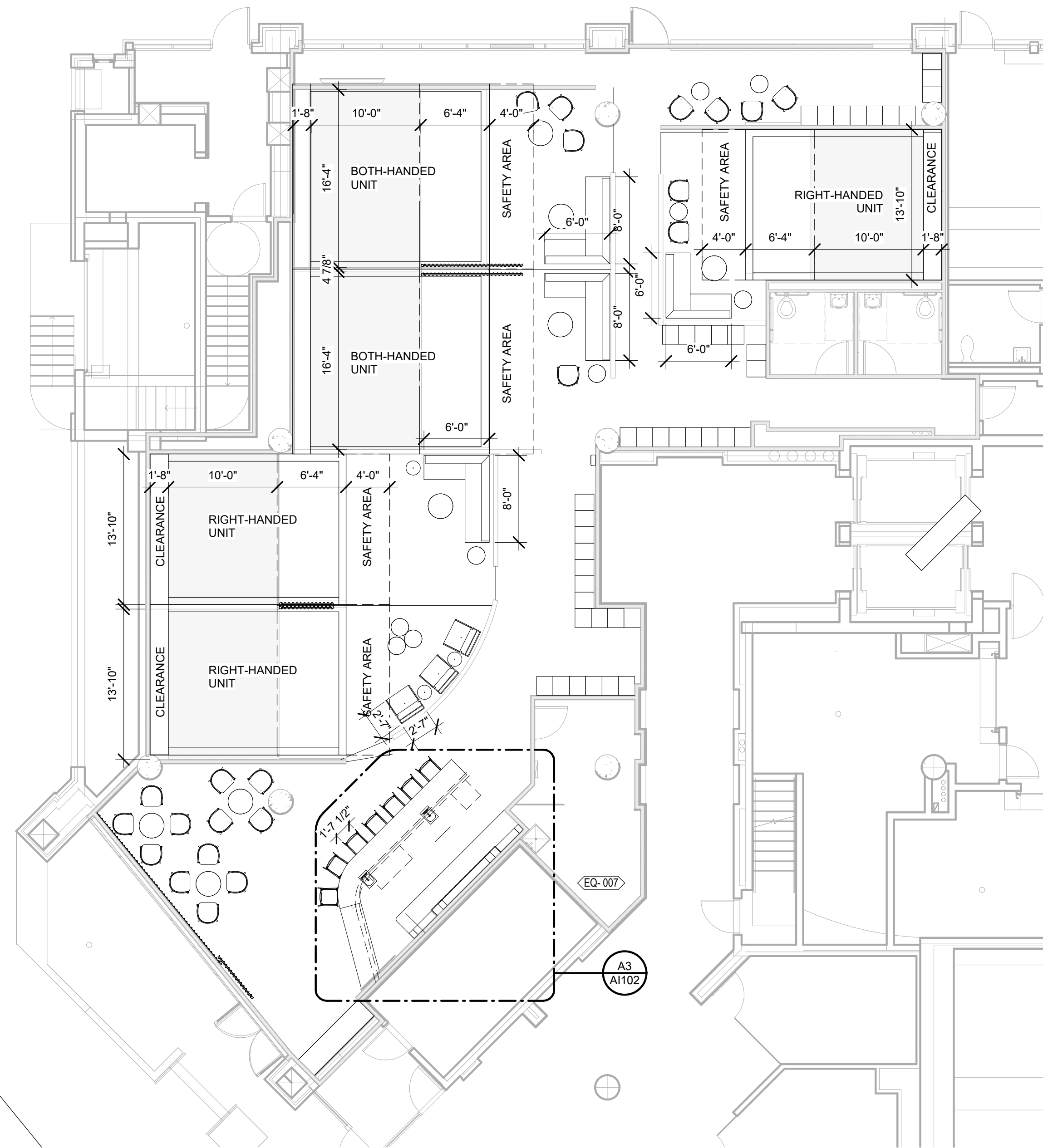
EQUIPMENT AND FURNITURE PLAN GENERAL NOTES:

A. ALL EQUIPMENT SHOWN AND / OR IDENTIFIED IS FOR CONCEPT ONLY. FINAL EQUIPMENT SELECTION TO BE PERFORMED BY TENANT, ARCHITECT AND GENERAL CONTRACTOR.

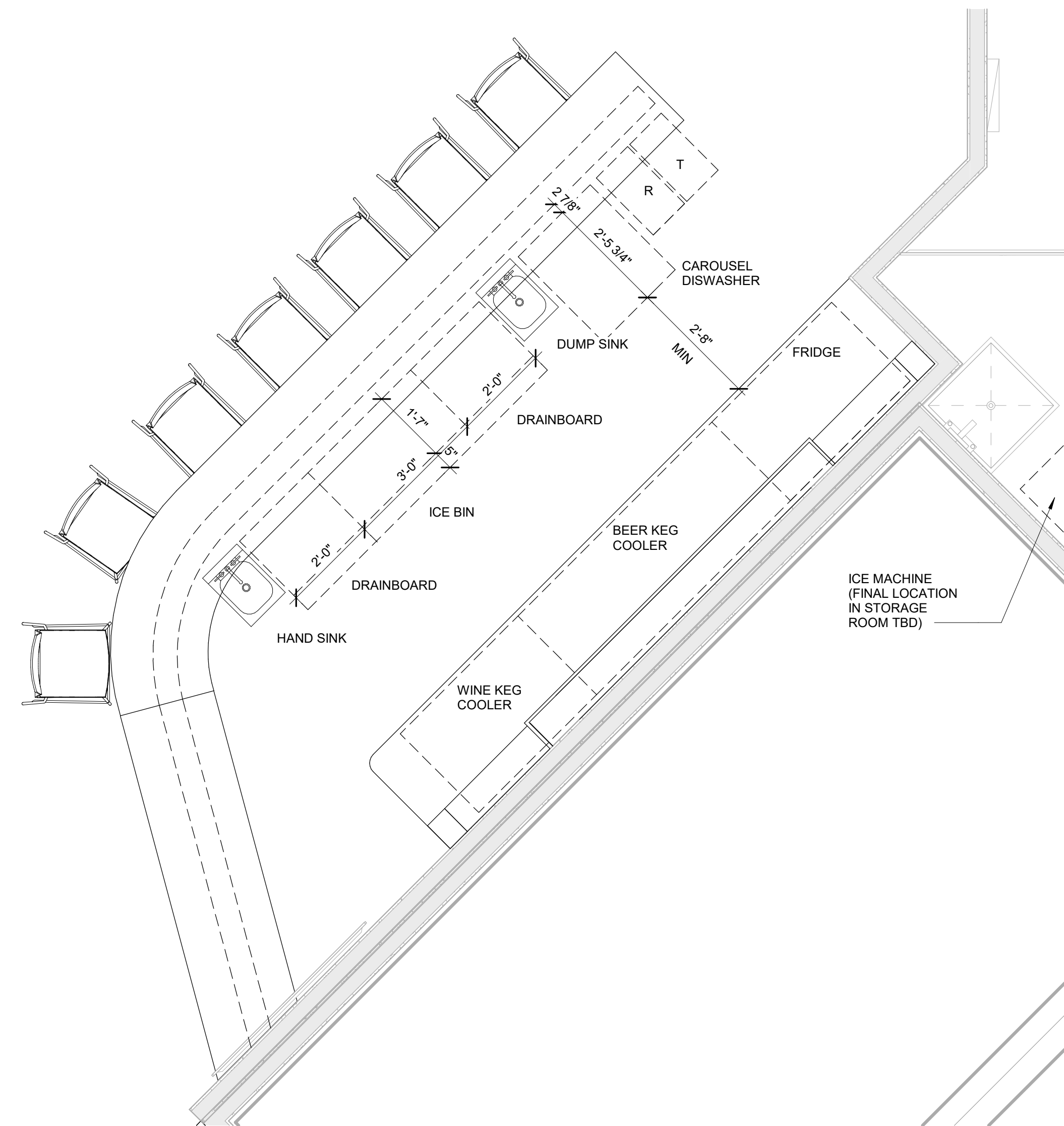
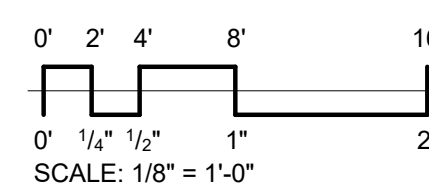
B. EQUIPMENT SHOWN IS FOR BASIC PROJECT UNDERSTANDING AND IN NO WAY A COMPLETE LIST OF EQUIPMENT AND / OR THEIR SPECIFIC UTILITY REQUIREMENTS. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING FINAL UTILITY SUPPLY TO EACH RESPECTIVE PIECE OF EQUIPMENT.

HATCH PATTERN KEY:

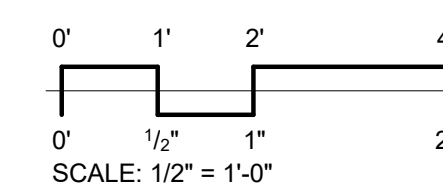
NEW CONSTRUCTION
EXISTING CONSTRUCTION



A1 FURNITURE PLAN
1/8" = 1'-0"

$$1/8'' = 1'-0''$$


A3 BAR - EXPANDED PLAN
1/2" = 1'-0"

$$1/2'' = 1'-0''$$


PLAN
NORTH

A circular symbol with a vertical line through the center, topped with an arrowhead, indicating North. The text "PLAN NORTH" is written above the circle.

HOOK AND FADE
TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

Project Status

	2021.07.23	CB 01
3	2021.08.25	CB 03

[illegible]

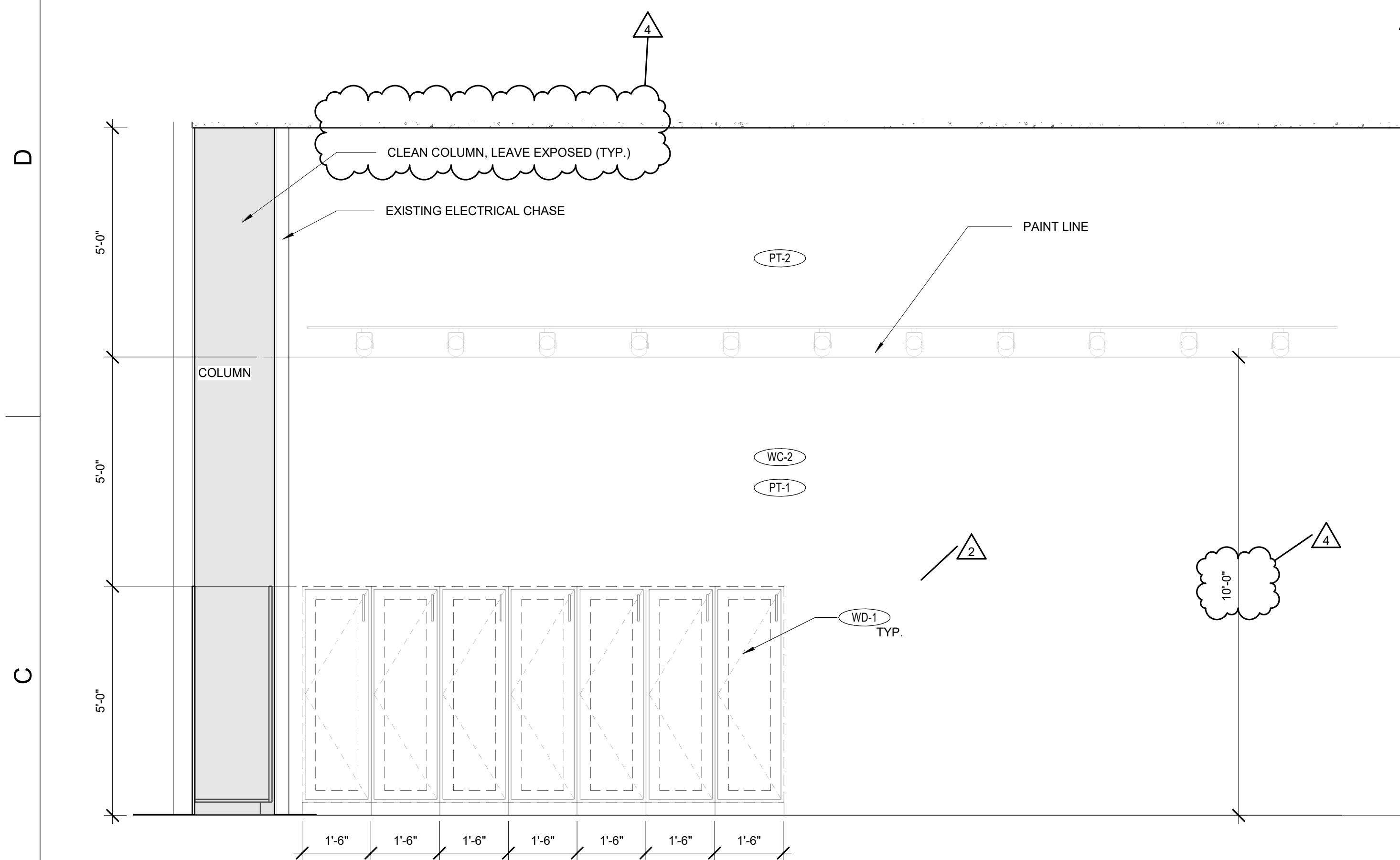
PROJ. #:	21111-01
----------	----------

© SKETCHWORKS
ARCHITECTURE 2021

EQUIPMENT AND FURNITURE PLAN

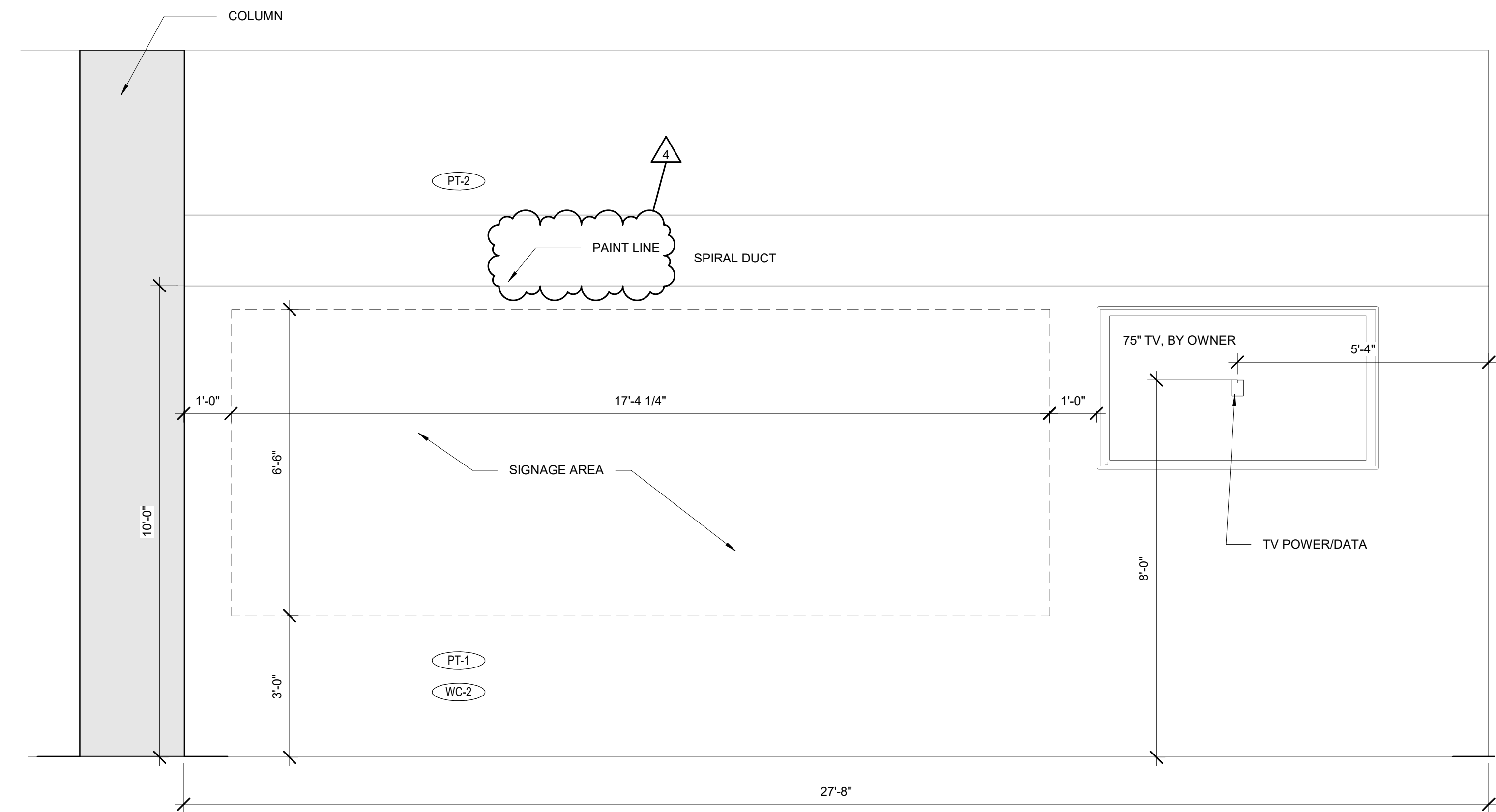
AI102

FOR CONSTRUCTION

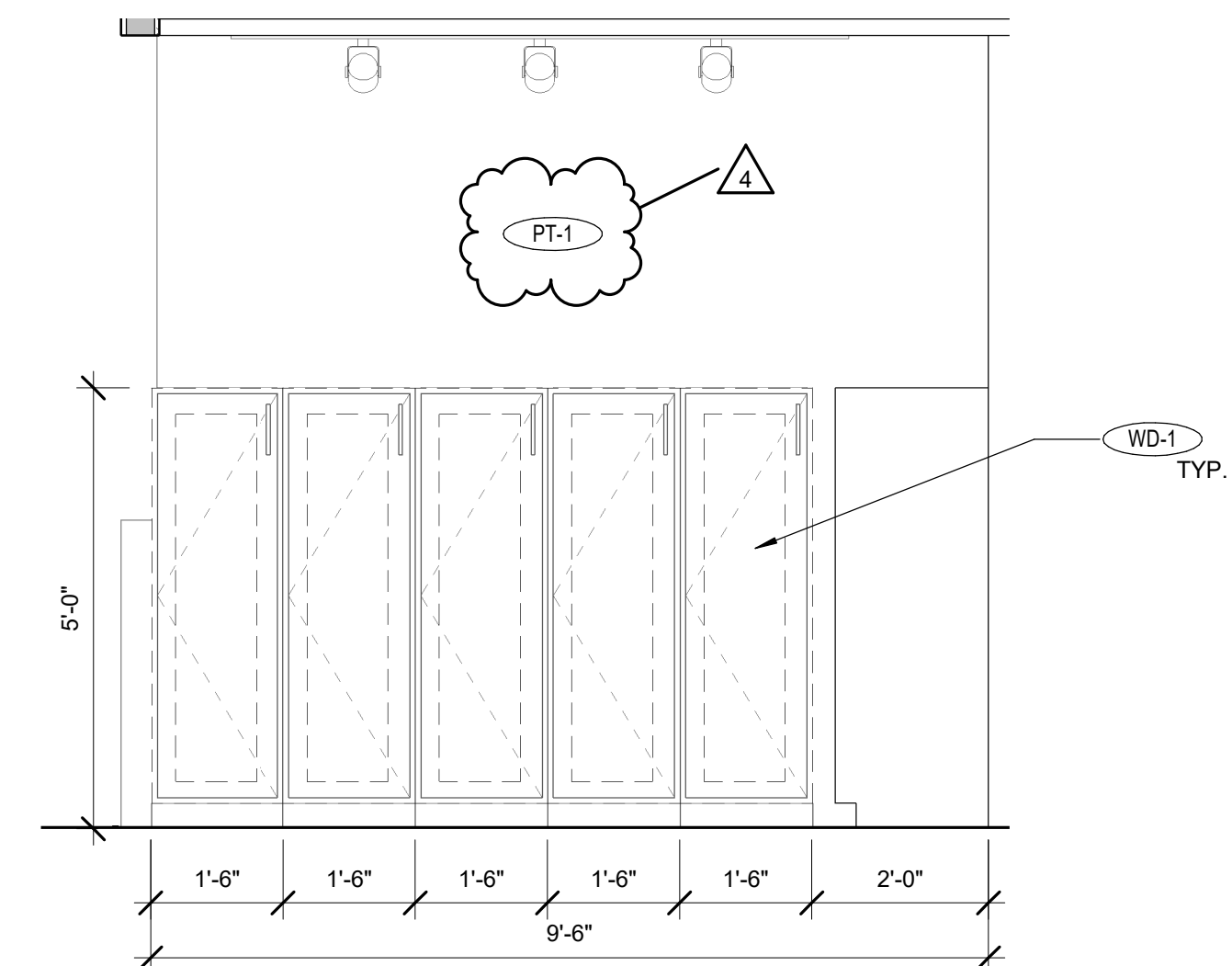


B1 151 BACK CORRIDOR - EAST END
1/2" = 1'-0"

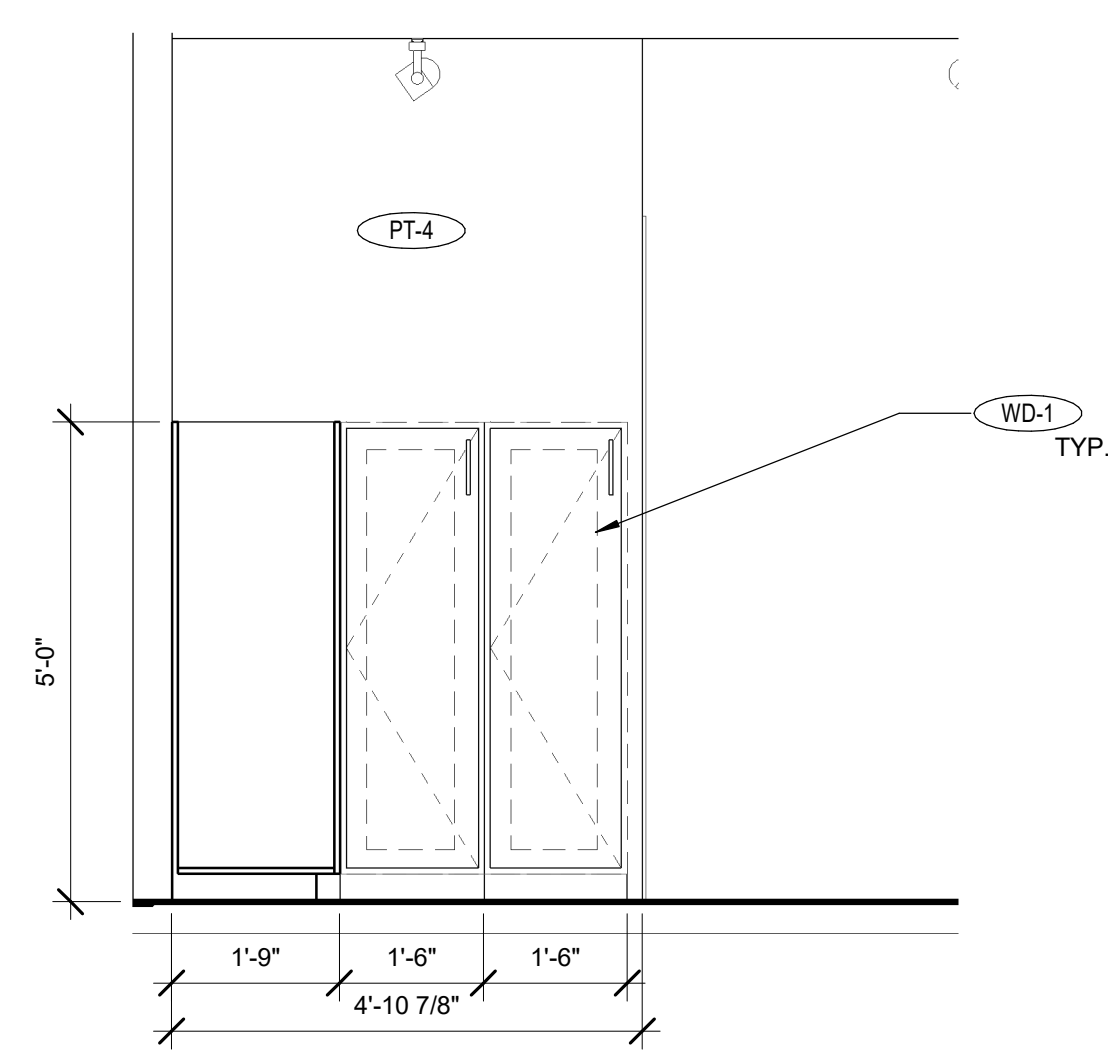
NOTE: PROVIDE ONE COAT HOOK AND ELECTRONIC LOCKS ON ALL LOCKERS.



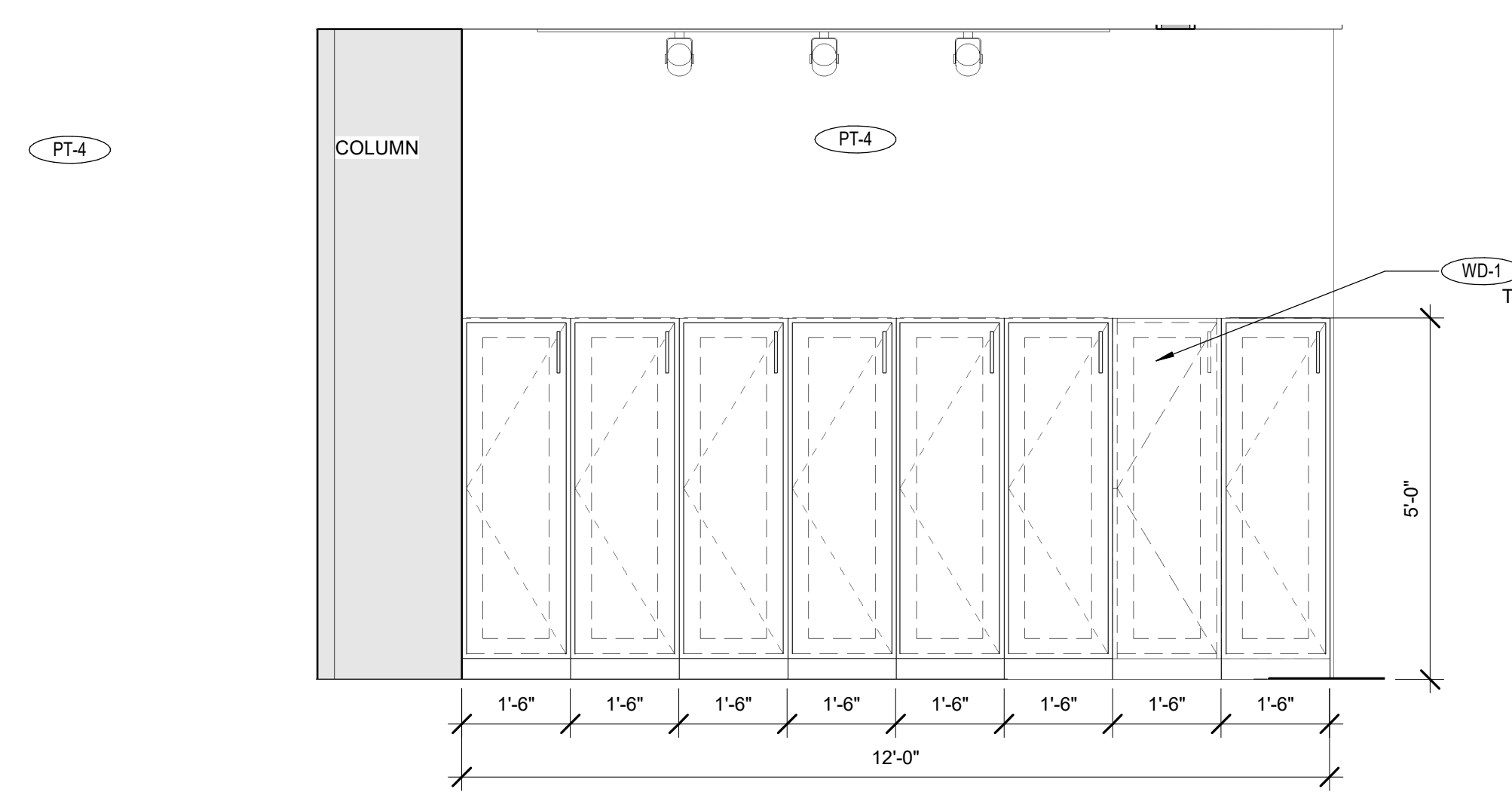
B2 151 BACK CORRIDOR - WEST END
1/2" = 1'-0"



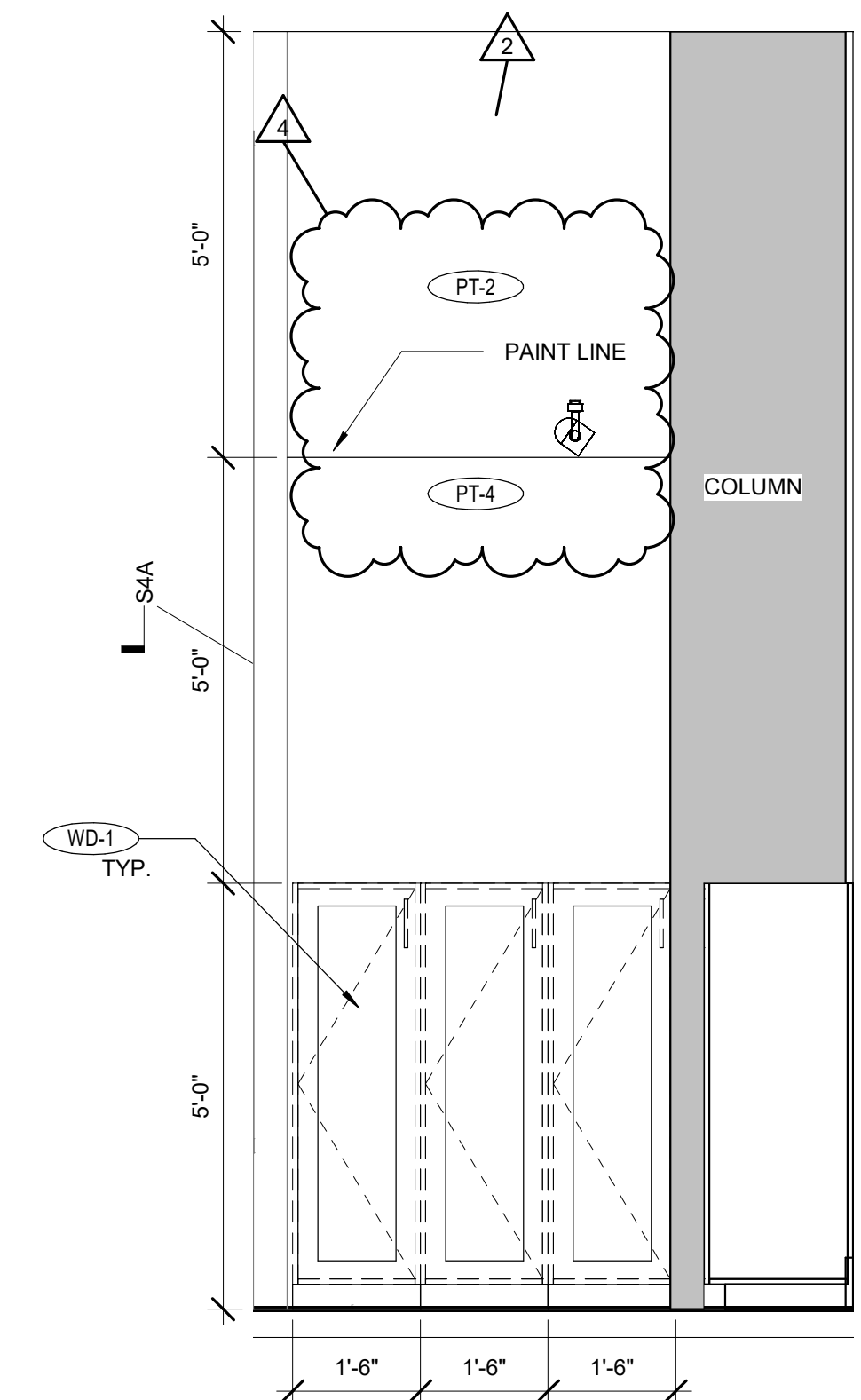
A1 150 LOCKERS - NORTH
1/2" = 1'-0"



A2 150 LOCKERS - EAST
1/2" = 1'-0"



A3 150 LOCKERS - SOUTH
1/2" = 1'-0"



A4 151 LOCKERS - EAST
1/2" = 1'-0"

HOOK AND FADE
TENANT IMPROVEMENT
113 SOUTH HAMILTON ST
MADISON, WI

Project Status

	2021.06.16	FOR CONSTRUCTION
1	2021.07.23	CB 01
2	2021.07.30	CB 02
3	2021.08.25	CB 03
4	2021.09.29	CB 04

PROJ. #: 21111-01

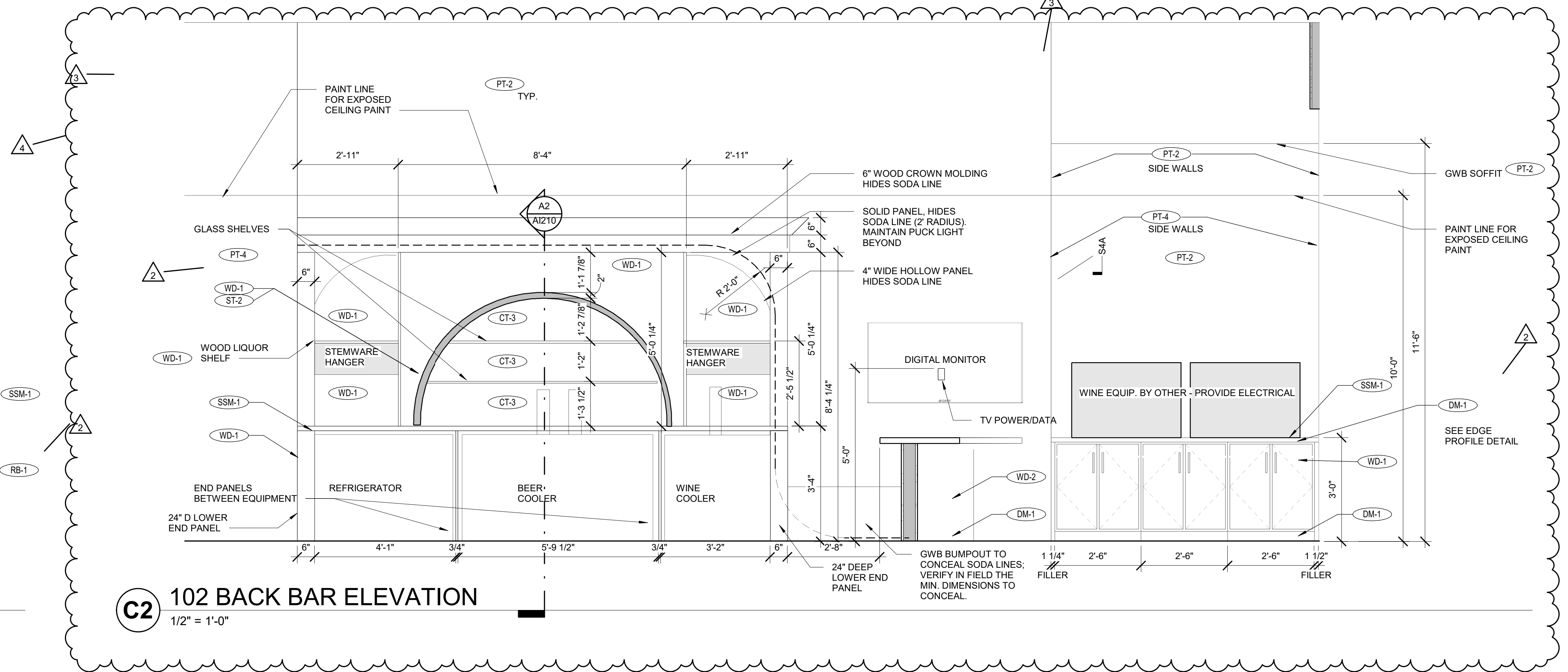
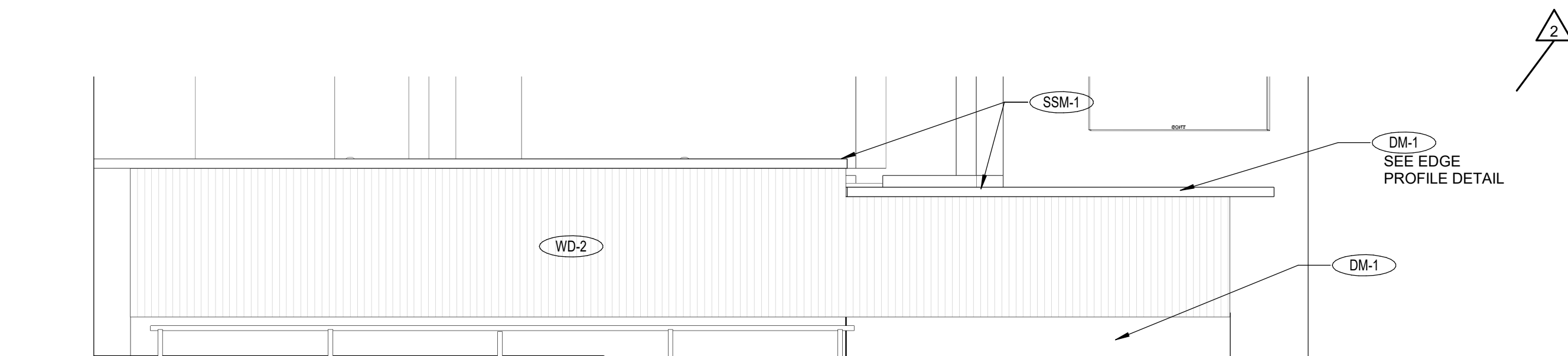
© SKETCHWORKS
ARCHITECTURE 2021

**INTERIOR
ELEVATIONS**

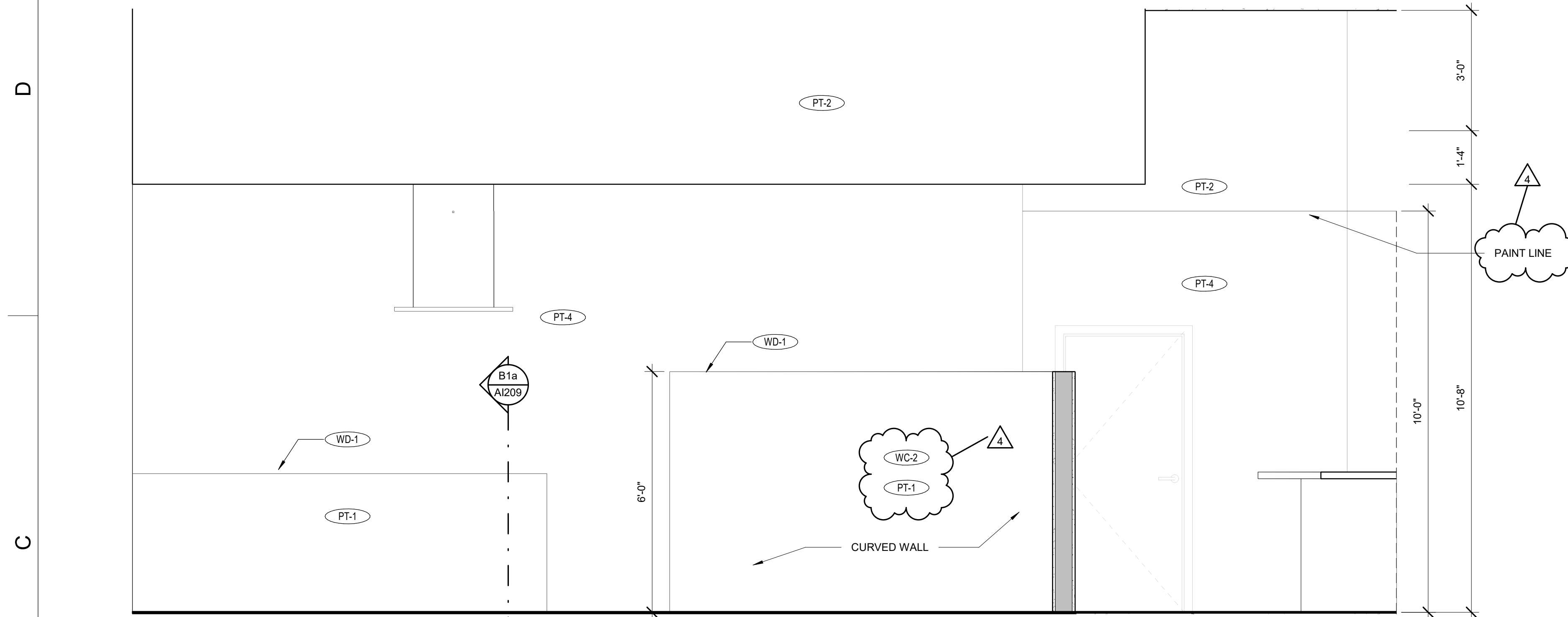
A1201

FOR CONSTRUCTION

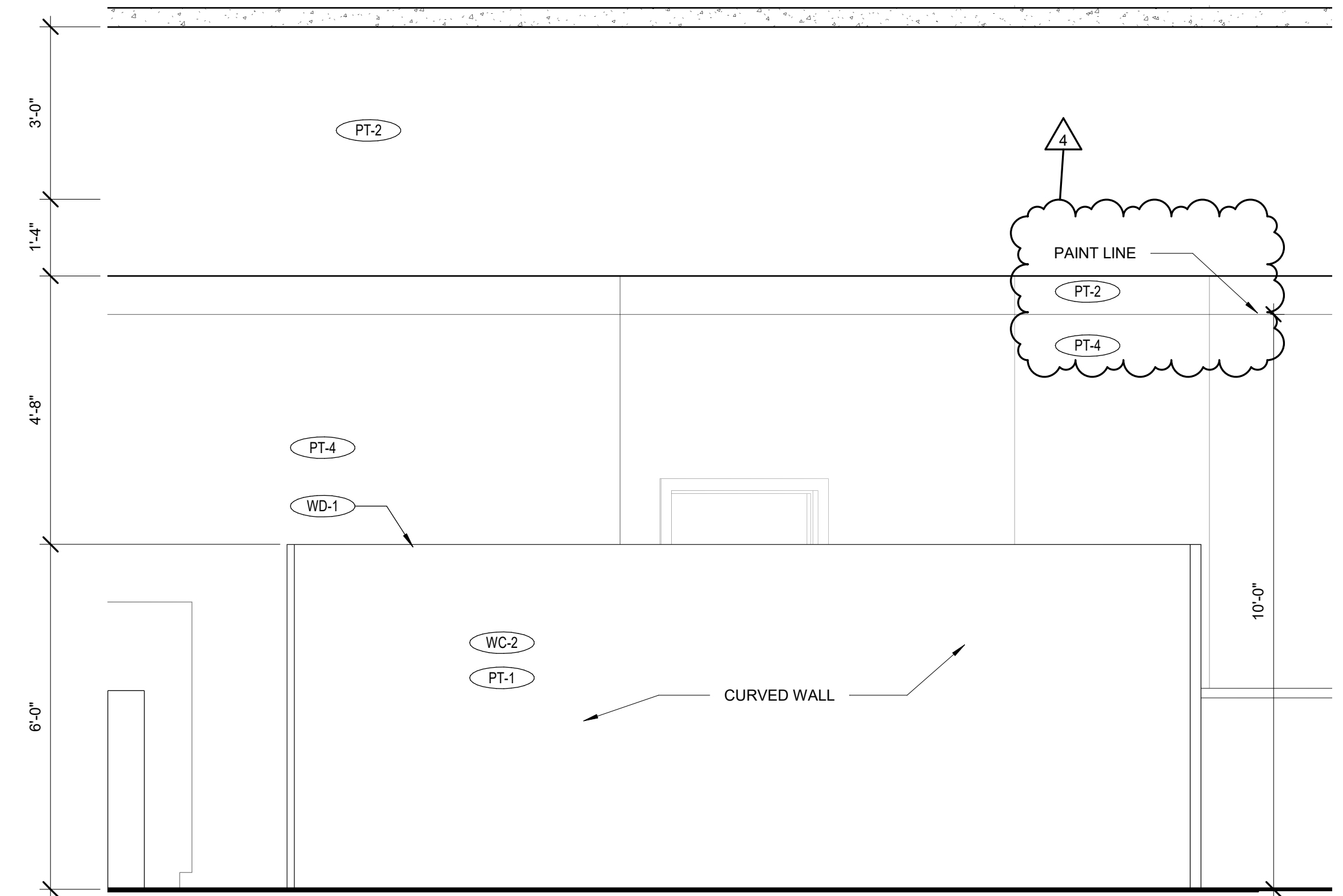
AI202



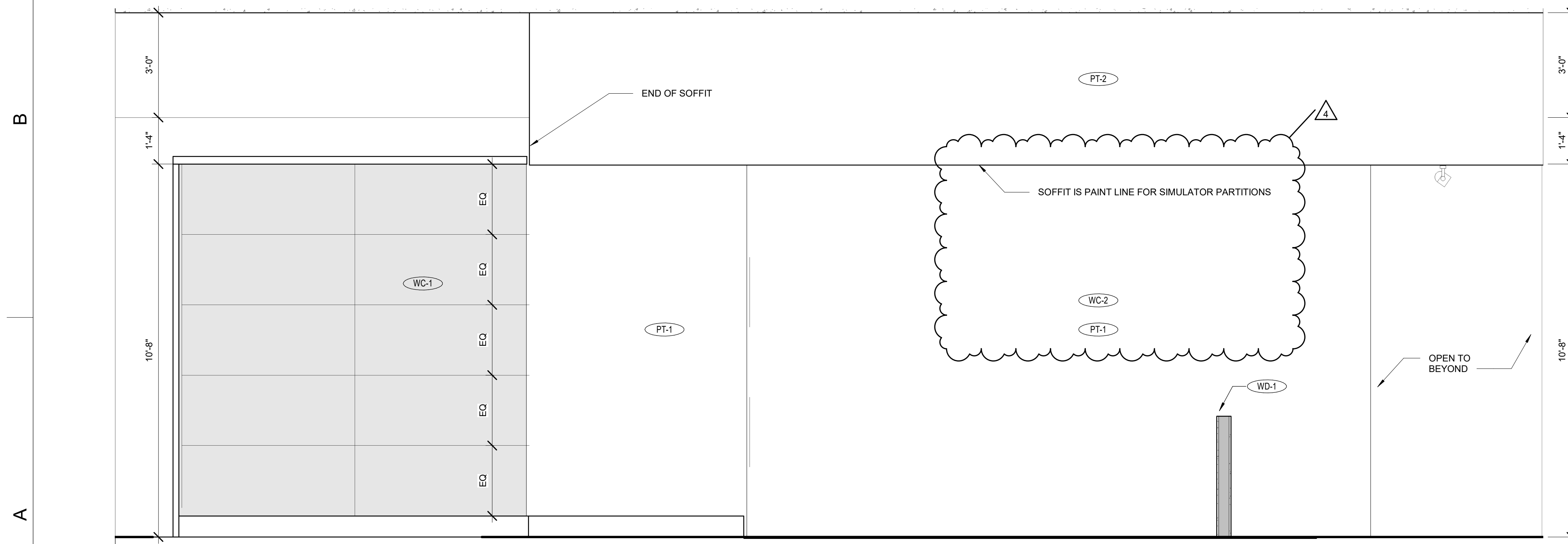
FOR CONSTRUCTION



C1 129 SIM 2 - EAST
1/2" = 1'-0"



C3 130 SIM 1 - SOUTHEAST
1/2" = 1'-0"



A1 129 SIM 2 - NORTH
1/2" = 1'-0"

HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST
MADISON, WI

Project Status

2021.07.23	CB 01
2021.09.29	CB 04

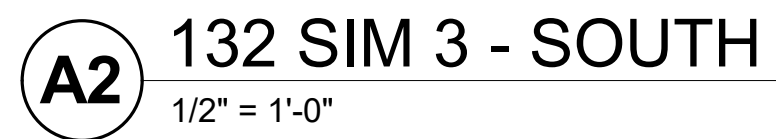
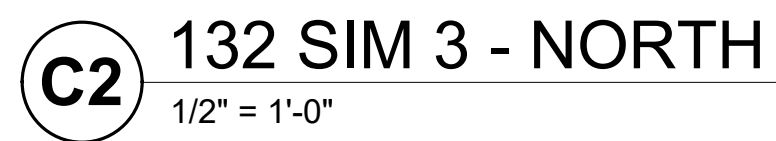
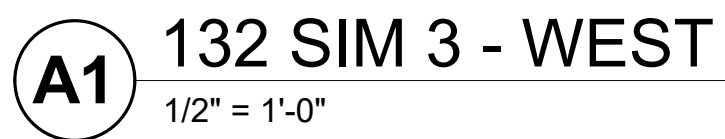
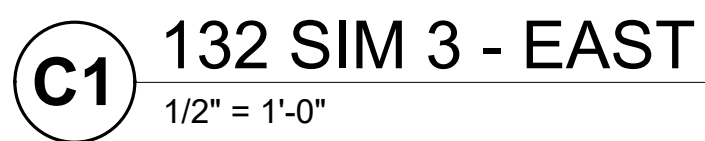
PROJ. #:	21111-01
----------	----------

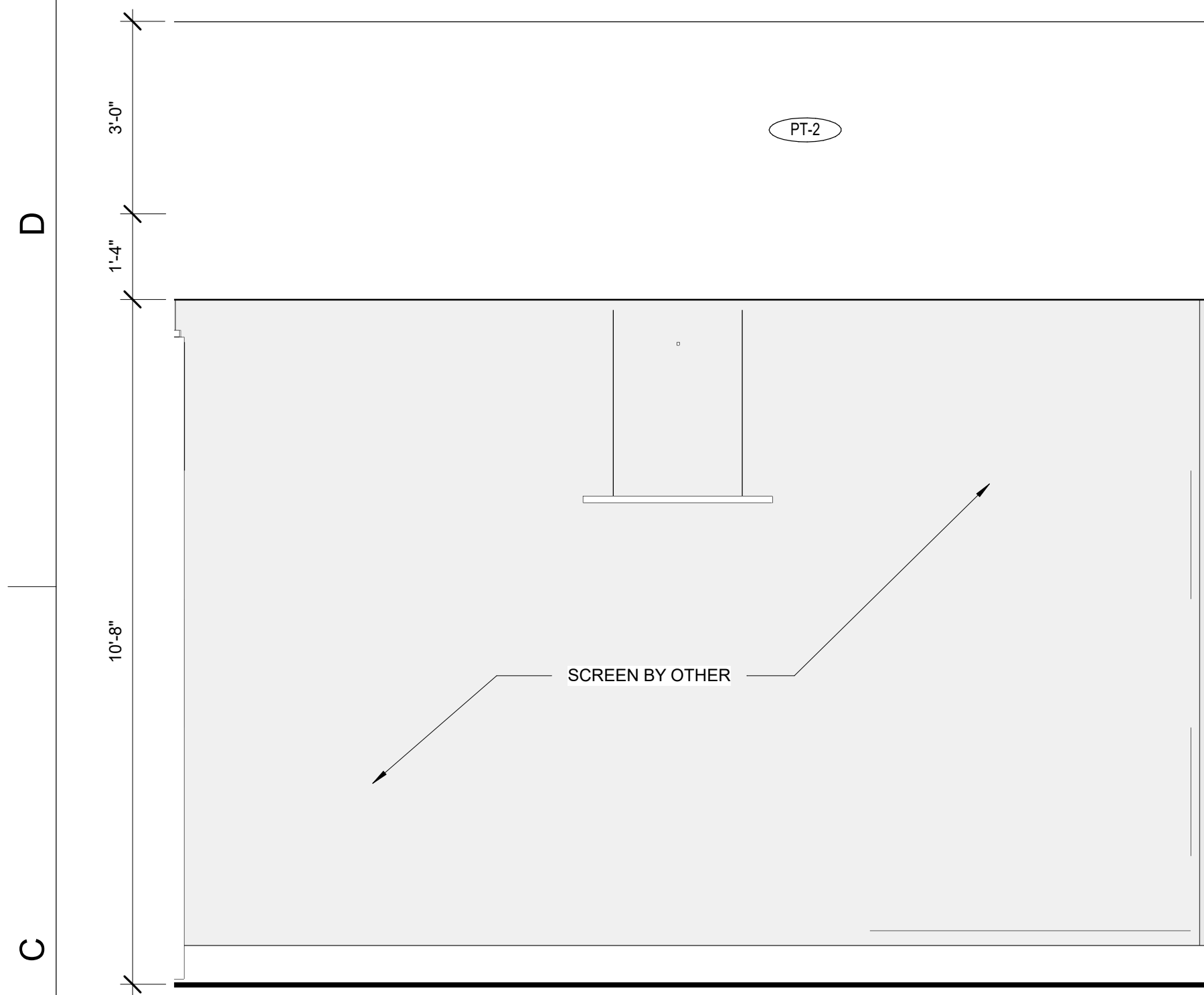
© SKETCHWORKS
ARCHITECTURE 2021

INTERIOR ELEVATIONS

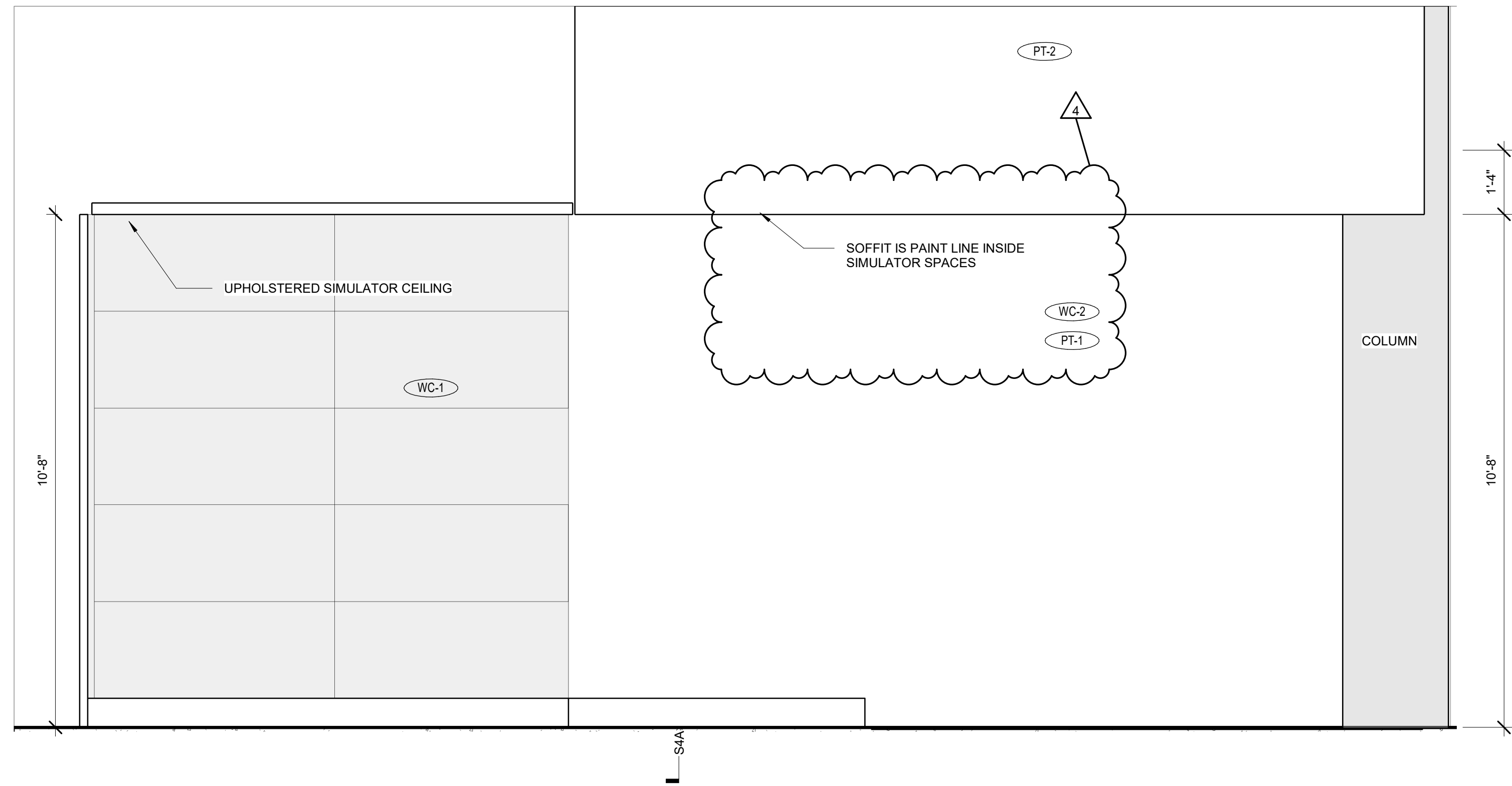
Al2O3

FOR CONSTRUCTION

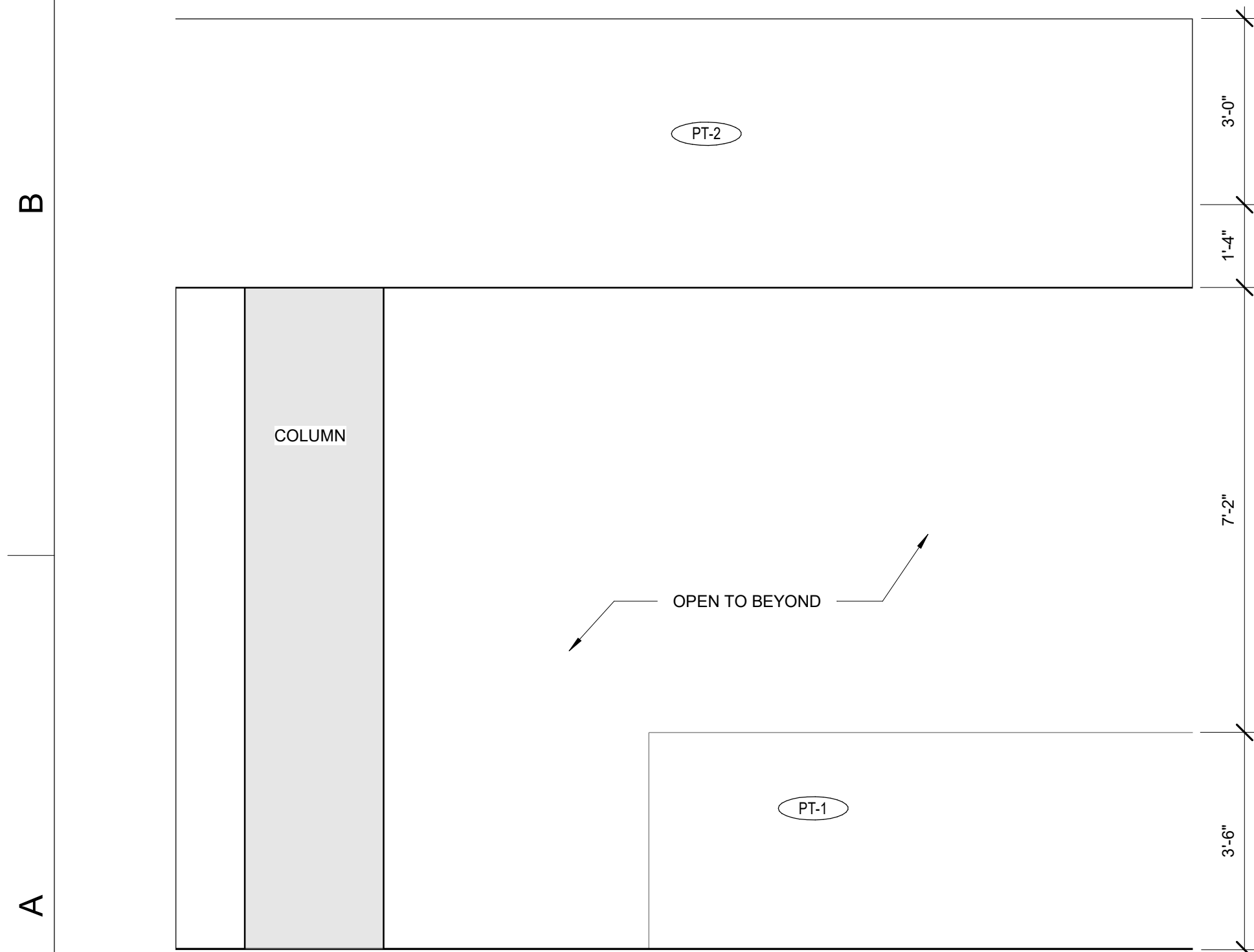




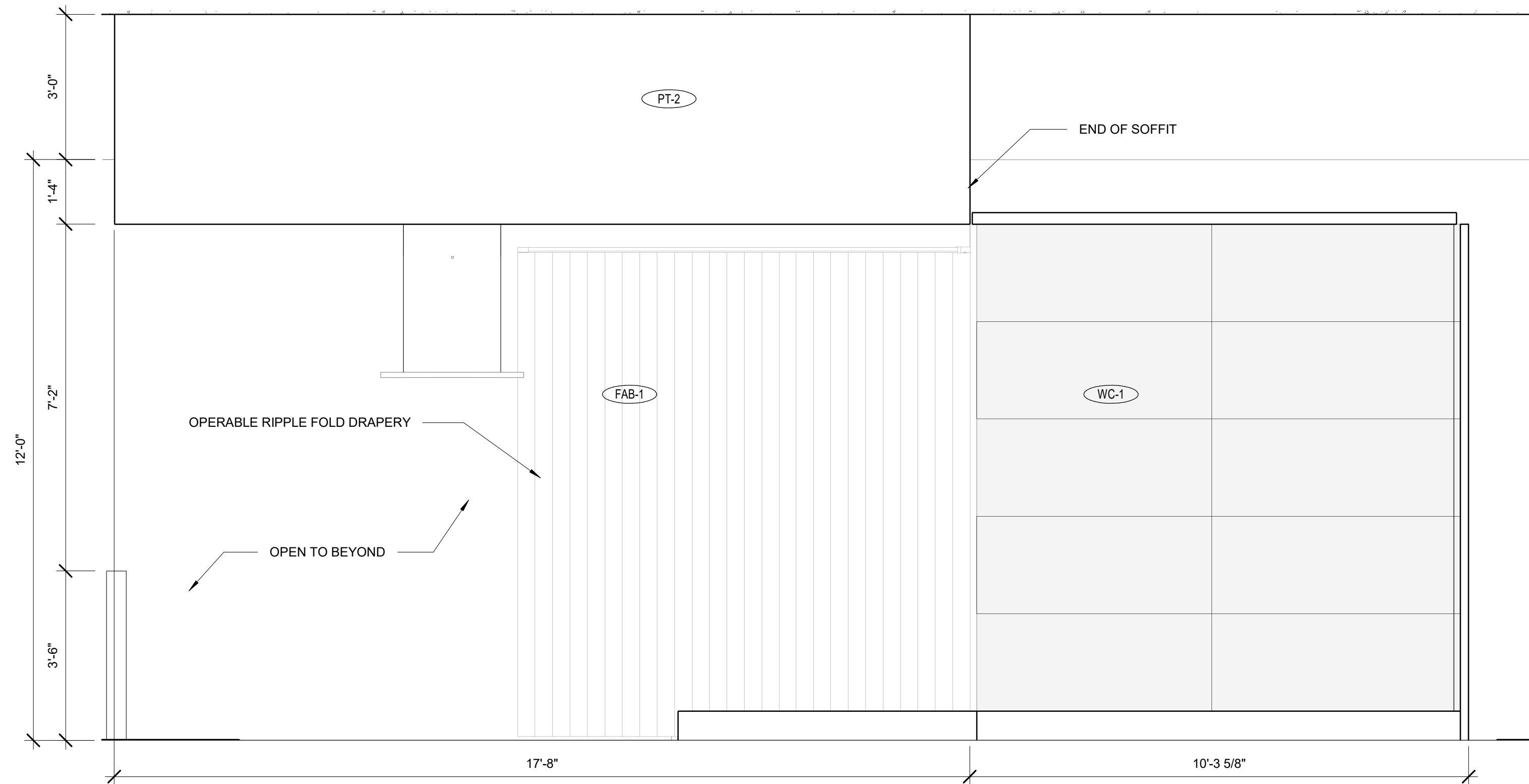
C1 133 SIM 4 - WEST
1/2" = 1'-0"



C2 133 SIM 4 - NORTH
1/2" = 1'-0"

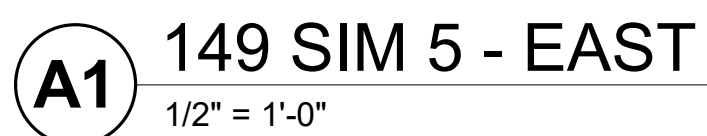
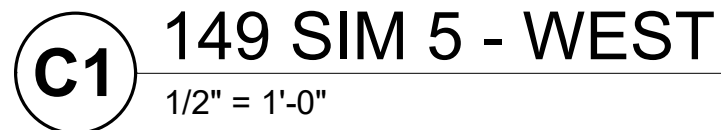


A1 133 SIM 4 - EAST
1/2" = 1'-0"



A2 133 SIM 4 - SOUTH
1/2" = 1'-0"

FOR CONSTRUCTION

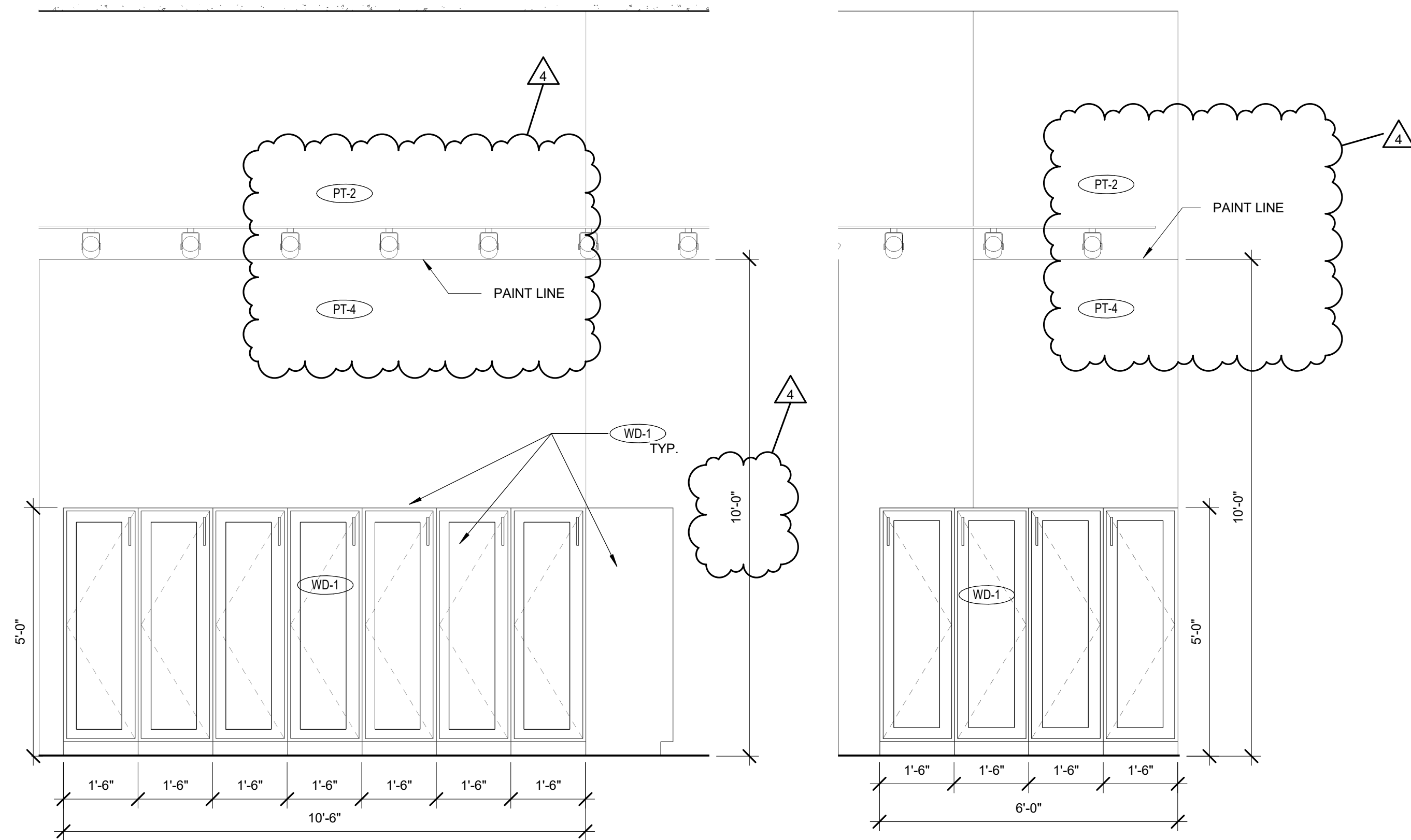




U



A

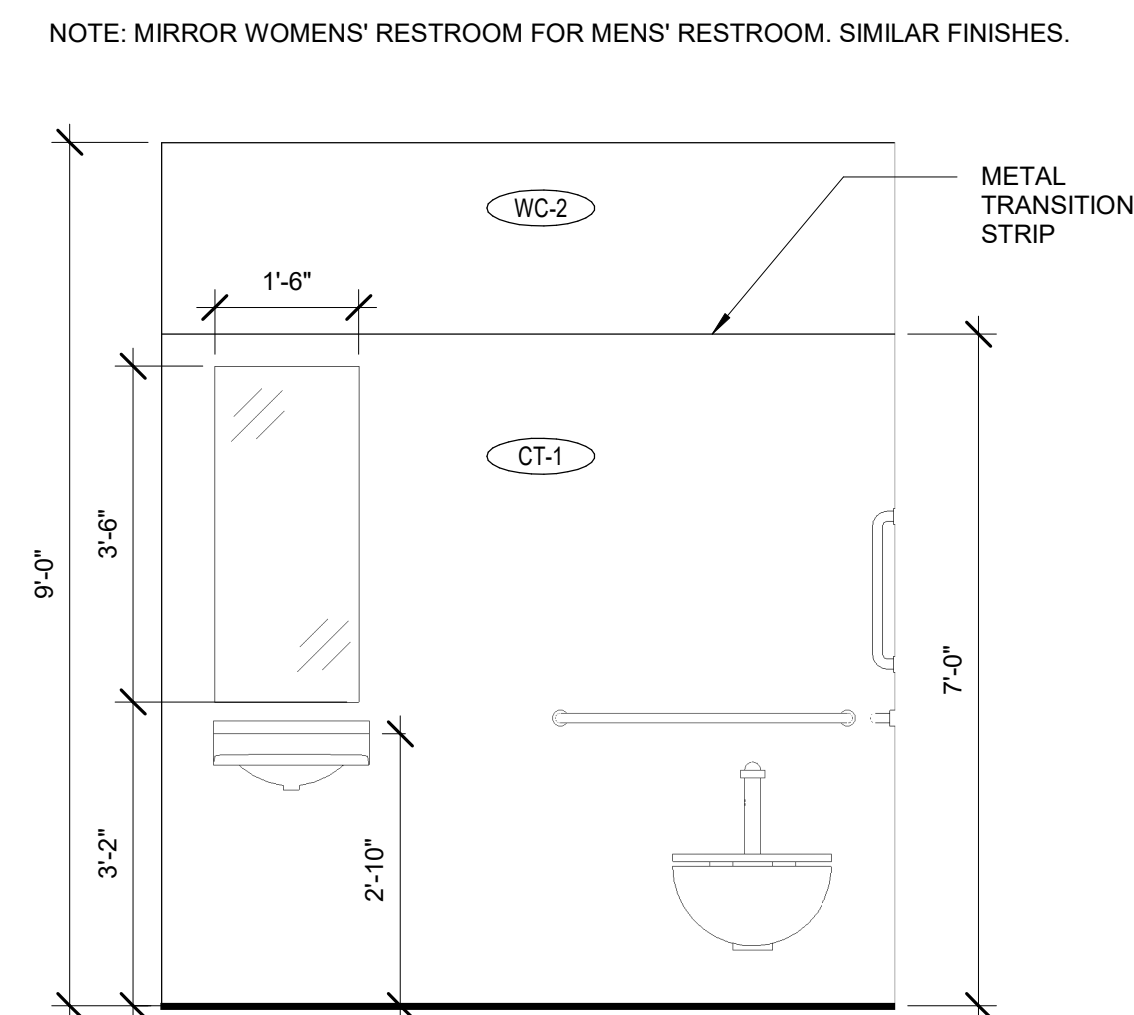


C1 138 LOCKERS - EAST
1/2" = 1'-0"

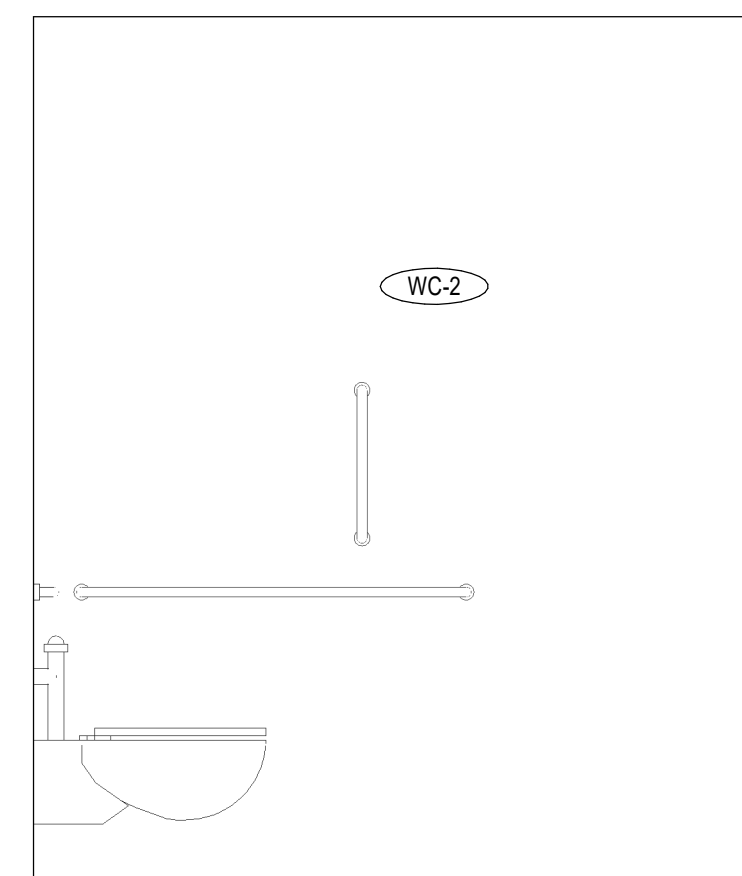
C2 138 LOWER LOCKERS - NORTH
1/2" = 1'-0"

C3 138 LOWER LOCKERS - SOUTH
1/2" = 1'-0"

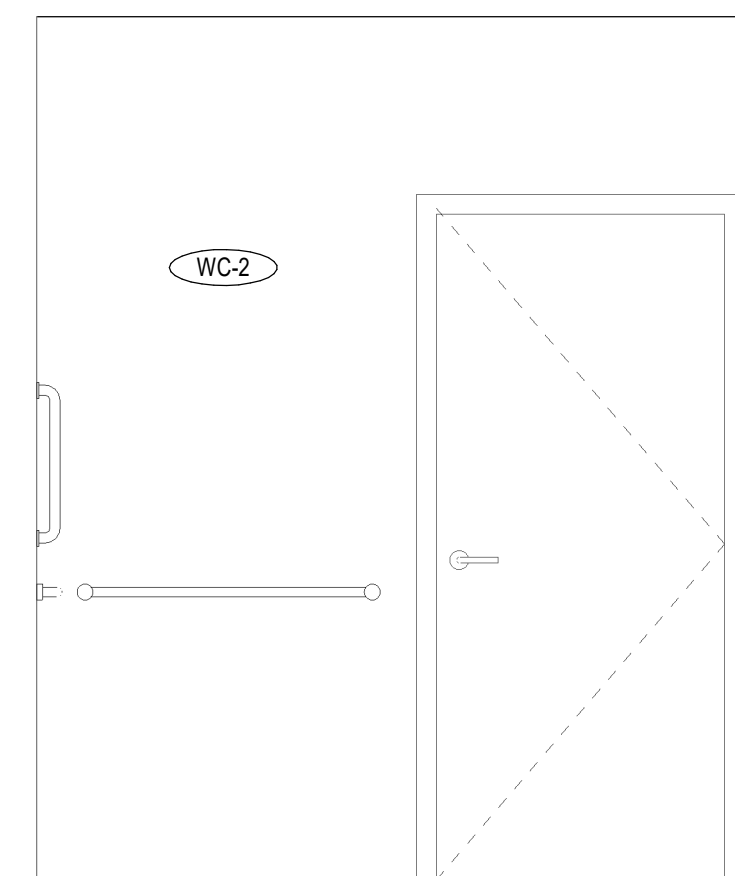
NOTE: PROVIDE ONE COAT HOOK AND DIGITAL LOCKS ON ALL 138 CORRIDOR LOCKERS



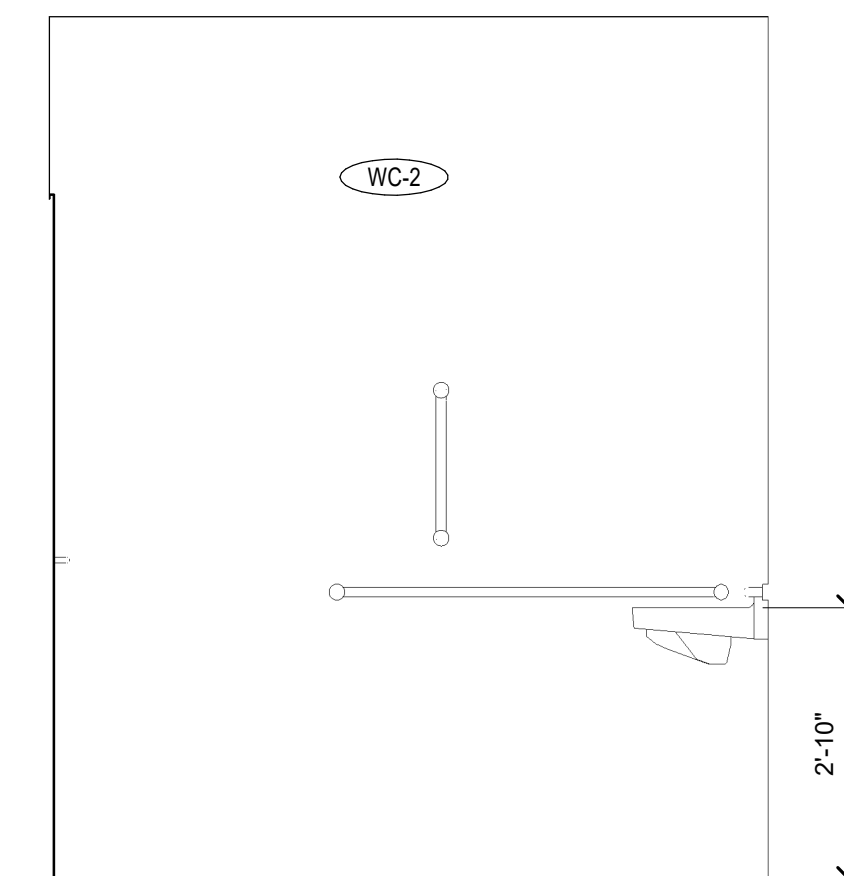
A1 106 WOMENS - NORTH
1/2" = 1'-0"



A2 106 WOMENS - EAST
1/2" = 1'-0"



A3 106 WOMENS - SOUTH
1/2" = 1'-0"



A4 106 WOMENS - WEST
1/2" = 1'-0"

HOOK AND FADE

TENANT IMPROVEMENT

113 SOUTH HAMILTON ST
MADISON, WI

Project Status

[illegible]

PROJ. #:	21111-01
----------	----------

© SKETCHWORKS
ARCHITECTURE 2021

INTERIOR ELEVATIONS

AI207

FOR CONSTRUCTION

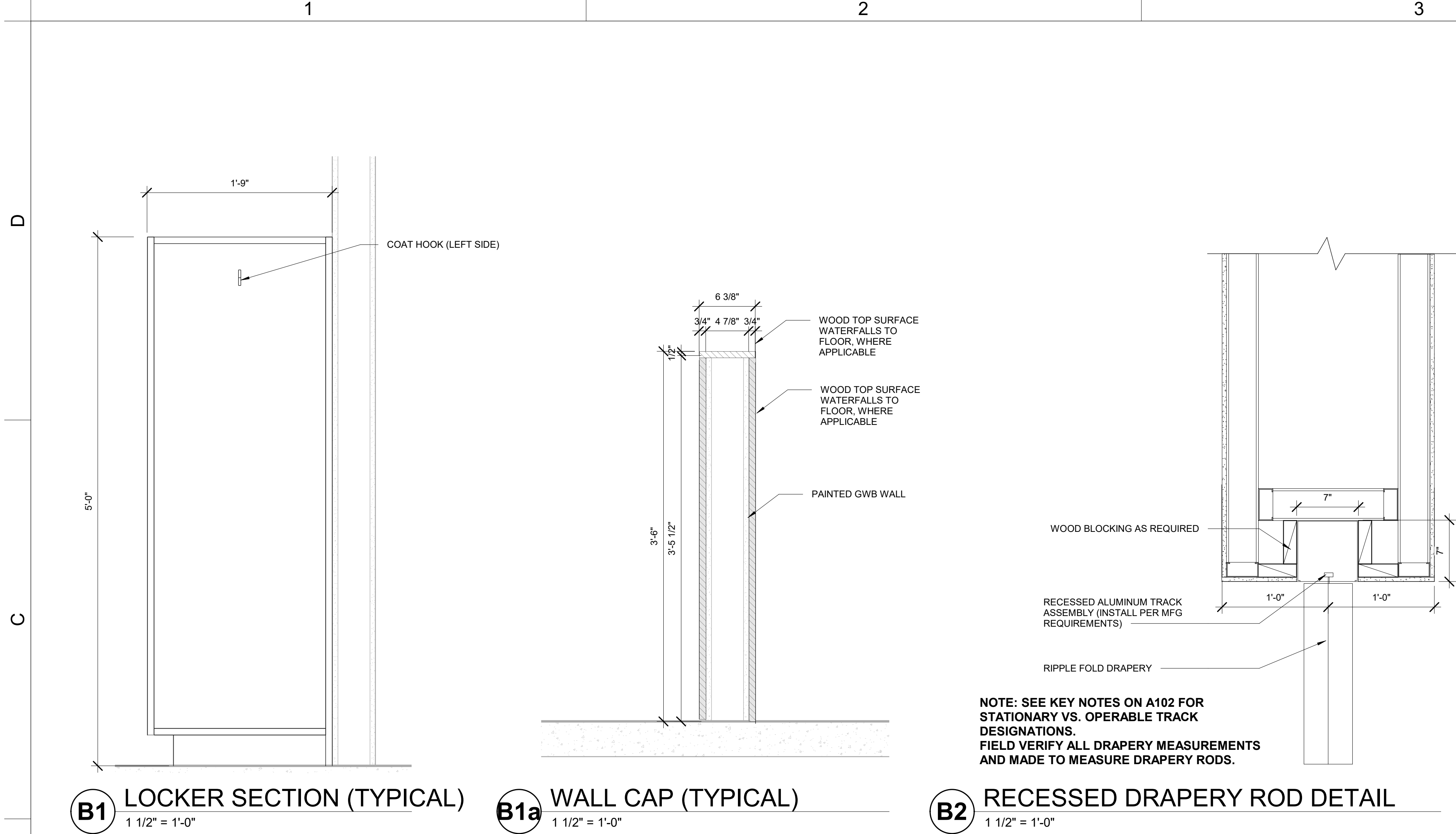
[illegible]

PROJ. #:	21111-01
----------	----------

SKETCHWORKS
ARCHITECTURE 2021

INTERIOR DETAILS

AI209



FOR CONSTRUCTION

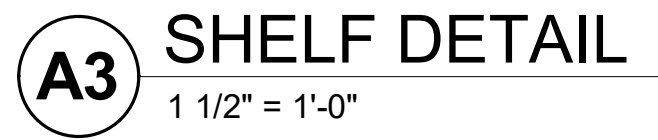
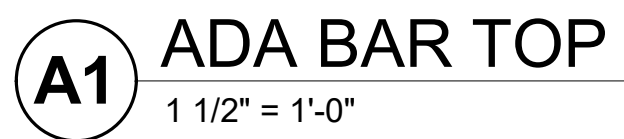
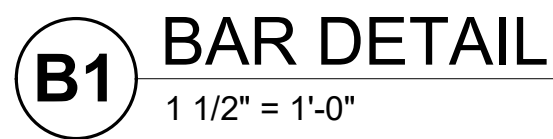
[illegible]

PROJ. #:	21111-01
----------	----------

© SKETCHWORKS
ARCHITECTURE 2021

INTERIOR DETAILS

AI210



FOR CONSTRUCTION

