

APPLICATION FOR DEMOLITION OF PRINCIPAL BUILDINGS

Complete all sections of this application, including signature on page 2.

To request an interpreter, translation, or accommodations, call (608)266-4910.

Para solicitar un intérprete, traducción o acomodaciones llame al (608)266-4910.

Koj muaj txoj cai tau txais kev txhais lus, kev pes lus los sis kev pab cuam txhawm rau

kev tsis taus uas tsis muaj nqi rau koj: Xav paub ntxiv tiv tauj rau (608)266-4910

如需口譯、翻譯或其他便利服務，請致電 (608)266-4910.

City of Madison

Building Inspection Division

215 Martin Luther King Jr Blvd, Ste 017

PO Box 2985

Madison, WI 53701-2985 (608) 266-4551



Submit the following via email to:

- Building Inspection at sprapplications@cityofmadison.com
- Landmarks Commission at LandmarksCommission@cityofmadison.com (see [submittal schedule](#))

Part 1: General Application Information

Street Address:	1800 University Avenue		
Alder District:	District #5 Vidaver	Zoning District:	TR-U1
Project Contact Person Name	Cindy Torstveit	Role	Owner's Representative
Company Name			
Phone		Email	
☒	Completed Application (this form)		
☒	Property Owner Permission (signature on this form or an email providing authorization to apply)		
☒	Copy of Notification sent to Demolition "Listserv"		Date Sent <u>5/28/26</u>
☒	Copy of Email Pre-Application Notification of Intent to Demolish a Principal Structure sent to District Alder , City-registered neighborhood association(s) , City-listed business association(s) .		Date Sent <u>5/27/26</u>
☐	\$600 Demolition Application Fee (additional fees may apply depending on full scope of project) NA		
Are you also seeking a Zoning Map Amendment (Rezoning) or Conditional Use? ☐ Yes ☒ No			

Part 2: Information for Landmarks Historic Value Review

☒	Letter of Intent describing the proposed structure to be demolished, description of proposed method and timeline of demolition
☒	Construction Information (Dates of construction and alterations, architect name, builder name, history of property, historic photos)
☒	Existing Condition Photos (Interior and exterior digital photos of each principal building to be demolished sufficient to indicate its character and condition)
	Will existing structure be relocated? ☐ Yes ☒ No If "yes" include preliminary assessment that relocation is likely to be structurally and legally feasible
☐	Optional: Proposed mitigation plans for properties with possible historic value

APPLICATION FOR DEMOLITION OF PRINCIPAL BUILDINGS

Part 3: Application for Plan Commission Review (if applicable)

- When Landmarks Commission finds a building has Historic Value, Plan Commission determines if a demolition can be approved at a public hearing.
- Staff adds the demolition to a Plan Commission meeting per [published schedule](#).
- Applicant must pick up "Public Hearing" sign from Zoning Counter and post on property at least 21 days before Plan Commission hearing.

Demolition requests will be scheduled concurrently with other related requests before the Plan Commission, where applicable. If an applicant wishes to schedule the Plan Commission meeting for a later date, please contact staff at pcapplications@cityofmadison.com.

Part 4: Signature

Property Owner Authorizing Signature (or authorized via attached email)		Note LOI signature by authorized property owner	
Property Owner Name		Cindy Torstveit	
Company Name		University of Wisconsin-Madison	
Street Address			
Phone		Email	

For Office Use Only	
Date:	
Accela ID No.:	



**Facilities Planning
& Management**
UNIVERSITY OF WISCONSIN-MADISON

June 11, 2026

City Building Inspection and Landmarks Commission
215 Martin Luther King Jr. Blvd #017
Madison, WI 53703

RE: DEMOLITION LAND USE APPLICATION: 1800 UNIVERSITY AVENUE (#24L1U)
Zoning: Traditional Residential - Urban 1 (TR-U1)
University of Wisconsin-Madison

The University of Wisconsin-Madison intends to demolish the building located at 1800 University Avenue (MSN Building #0113), historically known as the Sea Grant Building or Old Poultry Building, originally constructed in 1910.

This demolition approval application to the City of Madison by the University of Wisconsin – Madison regarding a structure located at 1800 University Avenue in Madison, Wisconsin. The structure has served various academic and administrative functions throughout its lifetime but has remained vacant for the last decade exceeding its useful life. This application is arriving 15 days after Alder (AD#8) and Neighborhood Association (Regent) notification and includes a variance approval by the Alder for this reduced period of time. There is no request to amend the Campus Master Plan or rezone the parcel at this time. All lands are owned by the Board of Regents of the University of Wisconsin System.

The following information is per Section 28.185 of the Madison General Ordinance for Demolition Permits approvals.

- **Condition and History of the House:** The property at 1800 University Avenue, constructed in 1910, is a 2-story, 5,101 GSF wood frame structure located between the UW Foundation building (1848 University Ave) and the Enzyme Institute (1710 University Ave). The clipped gable-end bungalow-style house is listed on the Wisconsin Historical Society's (WHS) Architecture and History Inventory (AHI #109655) but not on the National Register of Historic Places. The building is not eligible for listing due to its lack of individual architectural or historical distinction (Miller, 2023). Designed by University Architect Arthur Peabody in 1909 and built in 1910 as the home for the new poultry husbandry program, the building provided a "utility house" for the new faculty chair and staff. The actual poultry flock was housed in "long buildings" to the west. After Poultry left for their new building on Observatory Drive in 1959, the house became the home to various university departments, offices, and a day care after most notably being the federal and state funded Sea Grant Institute from 1975 to 1999 when they moved to Goodnight Hall and the UW Survey Center.
- **Potential for Relocation:** A 44.40 form was submitted to WHS and concurrence received that no eligible properties would be affected. The property's current condition and structural issues would pose significant challenges to any relocation efforts.
- **Campus Master Plan Alignment:** The property was not identified for removal in the 2015 Campus Master Plan. The demolition request is driven by the building's prolonged vacancy, outdated systems, non-compliance with current codes and ADA requirements, and the high cost of rehabilitation. The removal of this structure will facilitate future implementation goals within this part of campus.
- **Interim Condition Following Removal:** After the demolition of the house, the site will be stabilized and prepared for future development. We plan to remove any contaminated soil, if applicable, grade the site and apply seed to establish cover. Erosion control measures will be installed accordingly. This interim condition will ensure safety and allow for setup with the planned future development as to be determined by the forthcoming Campus Framework Plan.

Application Materials

- Demolition Land Use Application
- Letter of Intent
- Photographs of existing structure – zoning and master plan exhibits
- University of Wisconsin Building Demolition Request Form
- Alder/Neighborhood Association Notification
- Alder Variance

Project Participants**Owner:****State of Wisconsin****Agency: Universities of Wisconsin**

Board of Regents

Room 1860 Van Hise Hall

1220 Linden Drive

Madison, Wisconsin 53706

Owner's Contact:**University of Wisconsin – Madison**

Facilities Planning and Management

21 N. Park Street Suite 6101

Madison, Wisconsin 53715-1211

Phone: 608-263-3000

Attn: Scott Utter, Director of Campus Planning & Landscape Architecture

E-Mail: scott.utter@wisc.edu**Project Schedule:**

Demo List Serve Application

May 28, 2026

Landmarks Meeting:

TBD

Contractor Retained:

June 2026

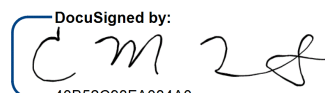
Mobilize Demolition:

July 2026

Substantial completion:

August 2026

Thank you,

DocuSigned by:

40B52C98FA084A0...

Cindy Torstveit

Associate Vice Chancellor

Facilities Planning & Management, University of Wisconsin-Madison

cc: Peter Schlecht, UW-Madison Assistant Vice Chancellor Campus Planning & Design
Ben Schmidt, UW-Madison Director Real Estate Development & Administration
Scott Utter, UW-Madison Director Campus Planning & Landscape Architecture
Jake Cox, UW-Madison FP&M Project Manager
Aaron Williams, UW-Madison Campus Planning & Landscape Architecture

Facilities Planning and Management

University of Wisconsin-Madison 21 N. Park Street, Ste 6001 Madison, Wisconsin 53715-1211
608/263-3000 www.fpm.wisc.edu

0113

Part A, Item 3

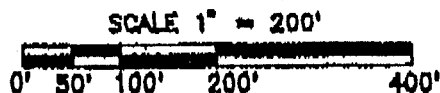
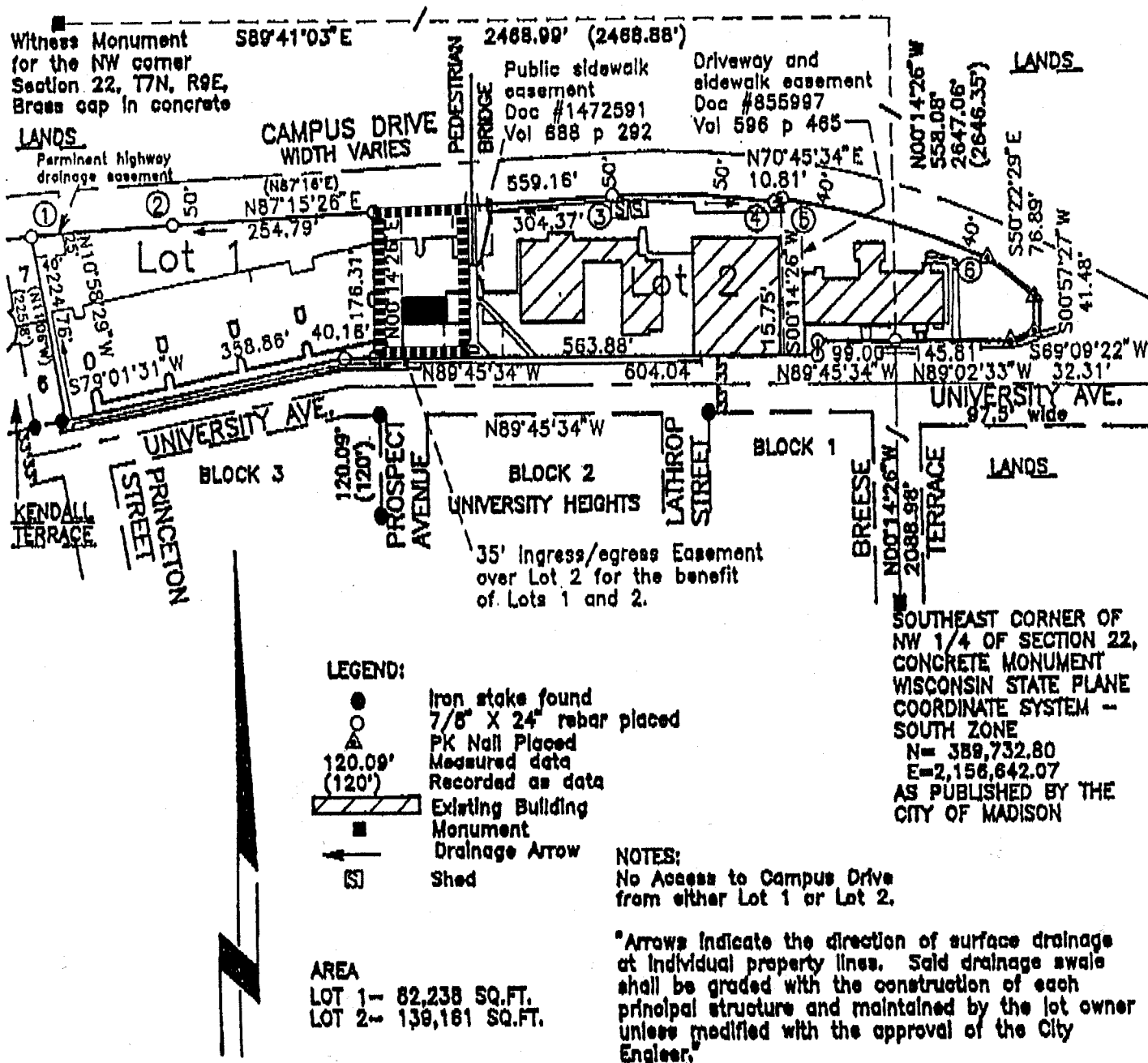
Child Care Facility
University of Wisconsin - Madison

Legal Description of Site

The west 125.0 feet of Lot 2, Certified Survey Map 7064, Document No. 2452358, recorded 4/6/93, Volume 35 of Certified Surveys, pages 274-275, part of the NE 1/4 of the NW 1/4, and the NW 1/4 of the NE 1/4 of Section 22, T7N, R9E, City of Madison, Dane County, Wisconsin.

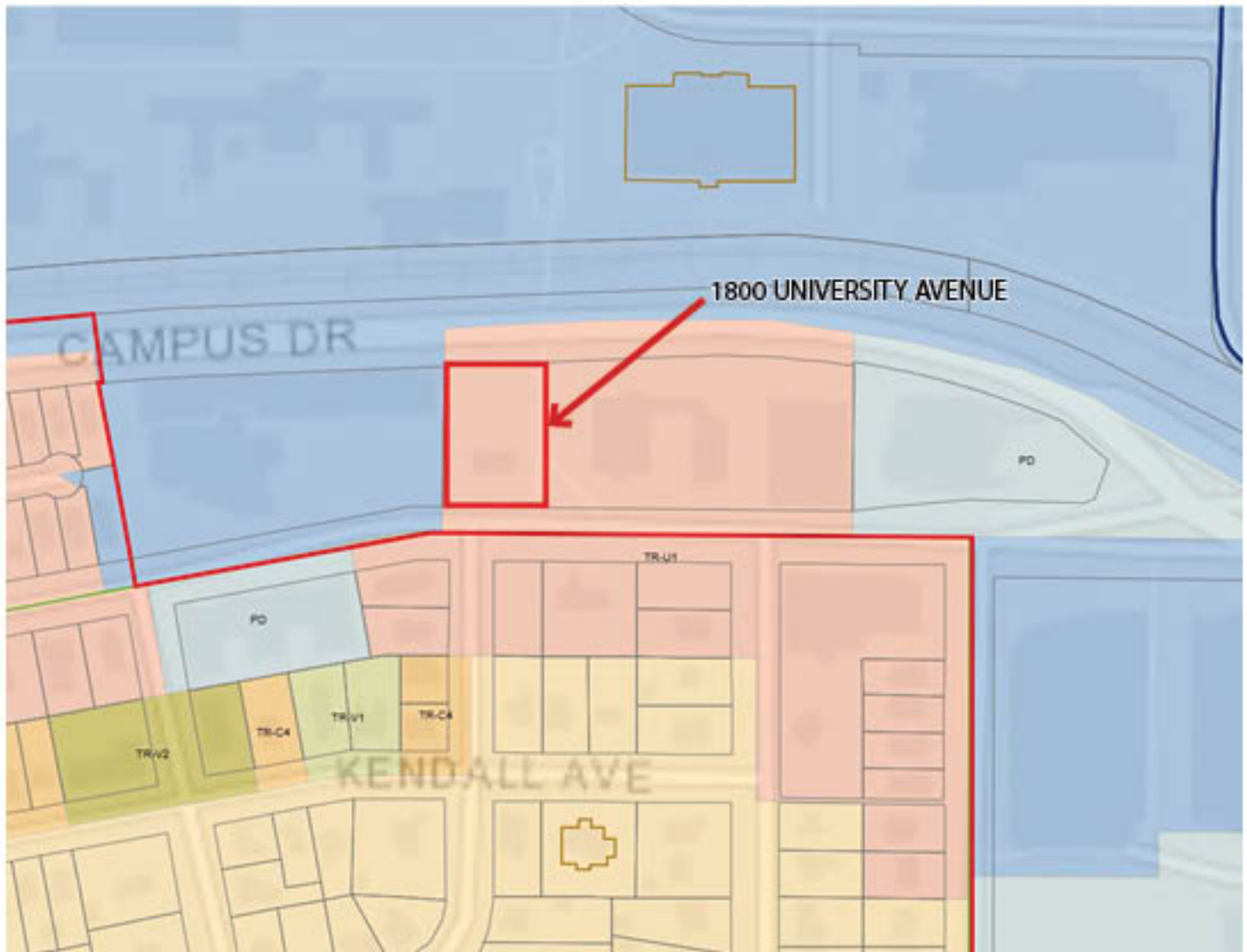
CERTIFIED SURVEY MAP

PART OF THE NE 1/4 OF THE NW 1/4, AND THE NW 1/4 OF THE NE 1/4 OF SECTION 22, T7N, R9E, CITY OF MADISON, DANE COUNTY, WISCONSIN





EXISTING ZONING



Blue areas are currently zoned Campus-Institutional (C-I) District.
Orange areas are currently zoned Traditional Residential Urban 1 District (TR-U1)

1800 UNIVERSITY AVENUE - DEMOLITION
University of Wisconsin-Madison Facilities Planning & Management
PLANNING PROJECTS - ACTION 1800 University Avenue Demolition 2/6/15/16a_Demolition Coordination



2015 CAMPUS MASTER PLAN



The 2015 Campus Master Plan indicated this structure as remaining with no anticipated development on this parcel.

1800 UNIVERSITY AVENUE - DEMOLITION
University of Wisconsin-Madison Facilities Planning & Management
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EXTERIOR SITE PHOTOS



Site oblique view (2024)

INTERIOR SITE PHOTOS

Refer to the attached plan documents that indicate location view and photos of the interior of the structure.



EXTERIOR SITE PHOTOS



University Avenue frontage



University Avenue frontage - c. 1969

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EXTERIOR SITE PHOTOS



Parking Lot frontage - View Southwest



University Avenue frontage - View Northwest

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EXTERIOR SITE PHOTOS



University Avenue frontage - View Northeast



Parking Lot frontage - View Southeast

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1800 UNIVERSITY AVENUE DEMOLITION

UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

PREPARED FOR:
THE STATE OF WISCONSIN
DEPARTMENT OF ADMINISTRATION
DIVISION OF FACILITIES DEVELOPMENT
STATE OF WISCONSIN ADMINISTRATION BUILDING - 7TH FLOOR
101 EAST WILSON STREET
P.O. BOX 7866
MADISON, WISCONSIN 53707

DFD PROJECT No. 24L1U
KAPUR PROJECT No. 26.0021

CONTACT INFORMATION

DIVISION OF FACILITIES DEVELOPMENT:
JEN BECKER
101 E. WILSON STREET, 7TH FLOOR
MADISON, WI 53707
(608) 565-2950 - MOBILE
JENNIFER.BECKER1@WISCONSIN.GOV

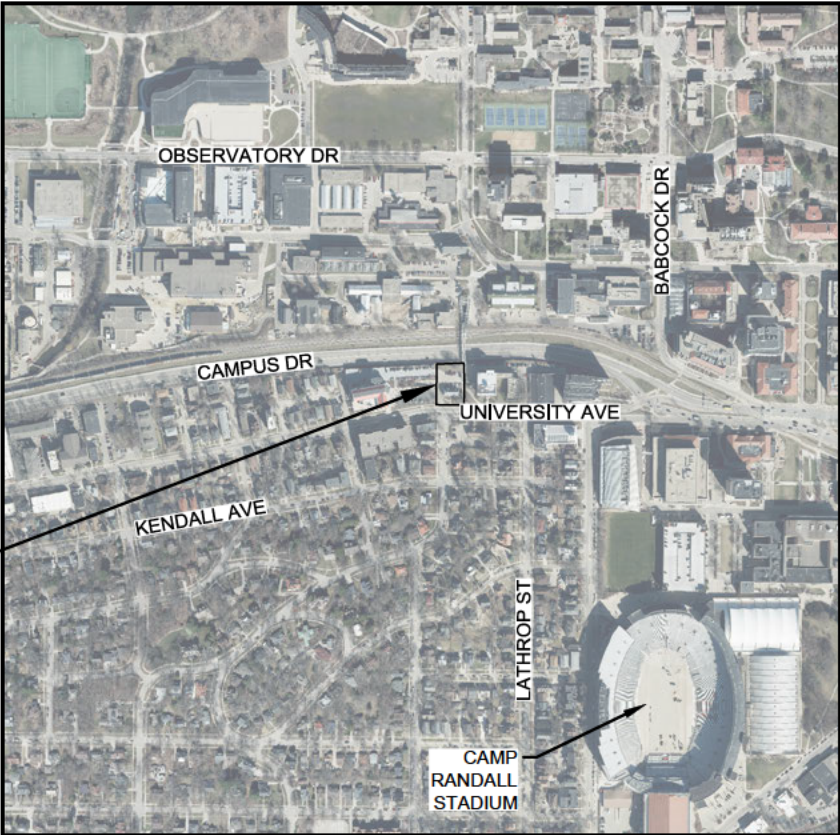
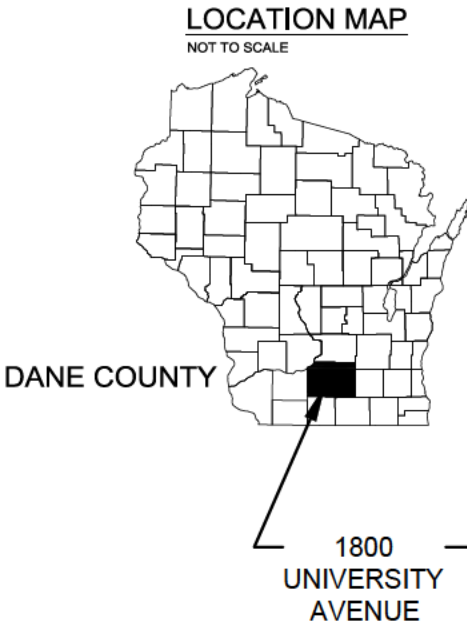
UNIVERSITY OF WISCONSIN - MADISON:
JAKE COX - PROJECT MANAGER
21 N. PARK STREET, SIXTH FLOOR
MADISON, WISCONSIN 53715
(608) 852-0393 - OFFICE
JAKE.COX@WISC.EDU

ARCHITECT/ENGINEER:
ZACH FREEMAN, P.E.
KAPUR AND ASSOCIATES, INC.
4654 S. BILTMORE LN.
MADISON, WI 53718
(608) 673-4402 - OFFICE
ZFREEMAN@KAPURINC.COM



SURVEY INFORMATION:
HORIZONTAL SYSTEM: WISCONSIN COORDINATE SYSTEM (WISCRS), DANE COUNTY, NAD83 (2011)
VERTICAL SYSTEM: NAVD 88(2012)

INDEX OF DRAWINGS	
SHEET NUMBER	TITLE
T100	TITLE SHEET
C100	EXISTING CONDITIONS PLAN
C110	BUILDING DEMOLITION PLAN – BASEMENT
C111	BUILDING DEMOLITION PLAN – BASEMENT
C120	BUILDING DEMOLITION PLAN – FIRST FLOOR
C121	BUILDING DEMOLITION PLAN – FIRST FLOOR
C130	BUILDING DEMOLITION PLAN – SECOND FLOOR
C131	BUILDING DEMOLITION PLAN – SECOND FLOOR
C200	SITE DEMOLITION PLAN
C300	SITE LAYOUT PLAN
C400	SITE GRADING PLAN
C500	SITE EROSION CONTROL DETAILS
C501	SITE DETAILS
C502	SITE DETAILS



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State of Wisconsin
Department of Administration
Division of Facilities Development



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1800 UNIVERSITY AVENUE DEMOLITION
UNIVERSITY OF WISCONSIN-MADISON
MADISON, WISCONSIN

Sheet Title:
TITLE SHEET

Revisions:

No.	Date:	Description:

Graphic Scale	N.T.S.
DFD Number	24L1U
Set Type	BD
Date Issued	04/03/2026
Sheet Number	T100

CAMPUS DRIVE
RIGHT-OF-WAY VARIES

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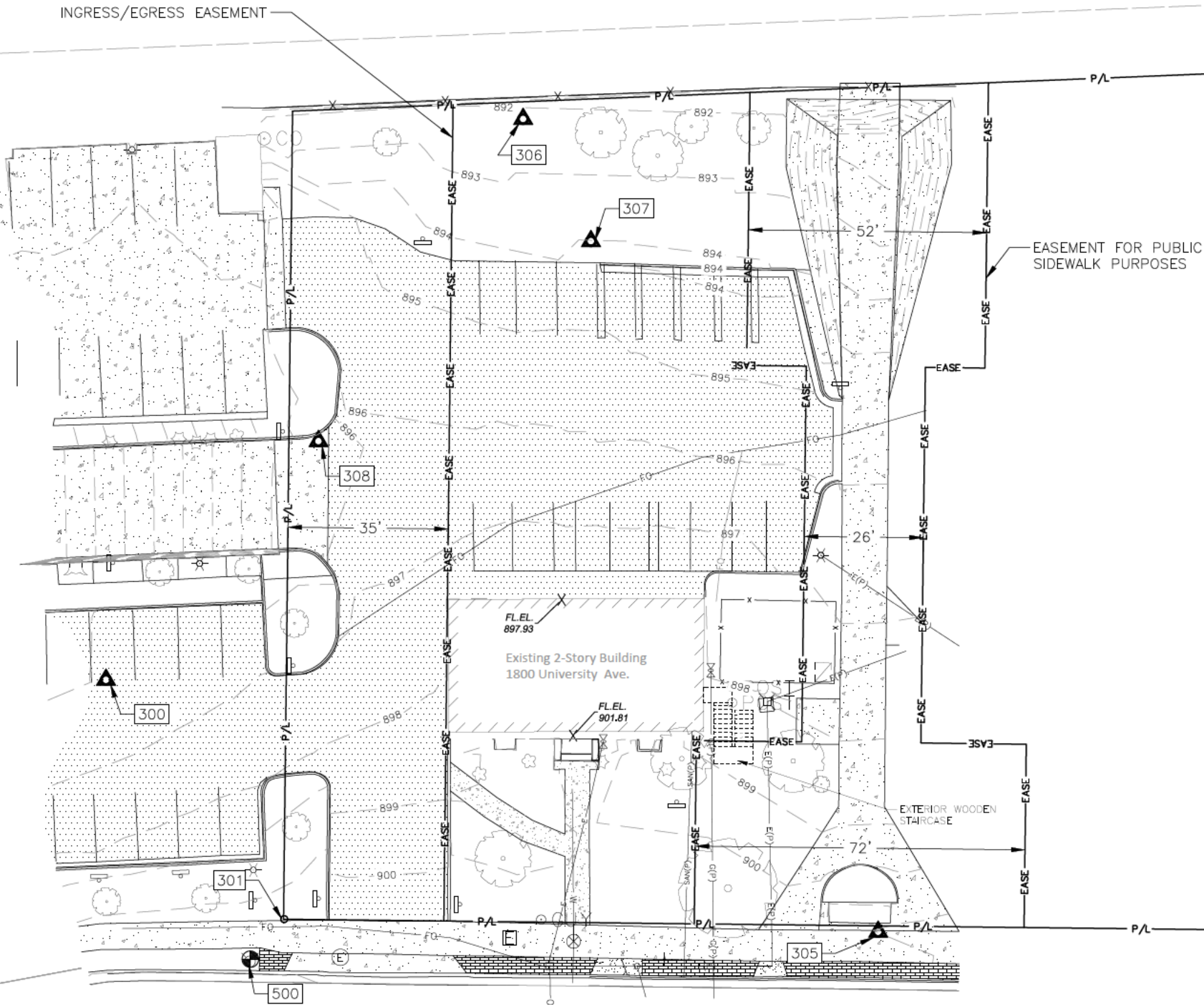


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MADISON, WISCONSIN

Sheet Title:
EXISTING CONDITIONS PLAN

INGRESS/EGRESS EASEMENT



UNIVERSITY AVENUE
RIGHT-OF-WAY VARIES



LEGEND

	BENCH MARK
	CONTROL POINT
	MONUMENT FOUND AS NOTED
	SECTION CORNER MONUMENT
	WATER VALVE
	FIRE HYDRANT
	BUSH
	TREE (DECIDUOUS)
	CLEANOUT
	ELECTRIC MANHOLE
	JUNCTION BOX
	UTILITY METER
	UTILITY CABINET
	GUY WIRE
	LIGHT POLE
	POWER POLE
	POST
	SIGN
	MINOR CONTOUR
	MAJOR CONTOUR
	FENCE LINE
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	SANITARY SEWER
	WATER MAIN
	OVERHEAD UTILITY LINES
	UNDERGROUND FIBER OPTIC
	UTILITY PER PLAN- NOT MARKED IN FIELD
	BUILDING OUTLINE
	CONCRETE SURFACE
	ASPHALT SURFACE
	CONCRETE CURB & GUTTER
	PROPERTY LINE
	EASEMENT LINE

CONTROL AND BENCHMARK TABLE

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
300	482457.49	812514.36	896.04	MAG NAIL
301	482405.26	812553.28	900.37	3/4" REBAR
305	482402.50	812682.92	900.99	CUT "X"
306	482579.91	812605.42	891.97	3/4" REBAR
307	482553.23	812620.23	893.59	3/4" REBAR
308	482509.59	812560.75	895.90	MAG NAIL
500	482396.53	812545.89	902.24	HYDRANT BURY BOLT

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Sheet Number	C100

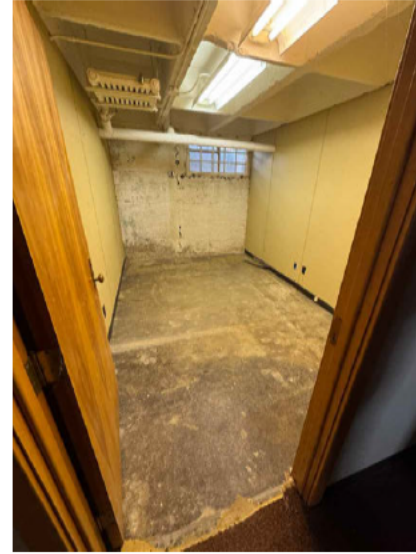
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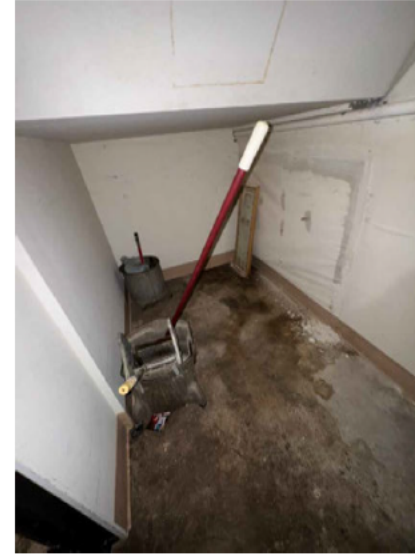
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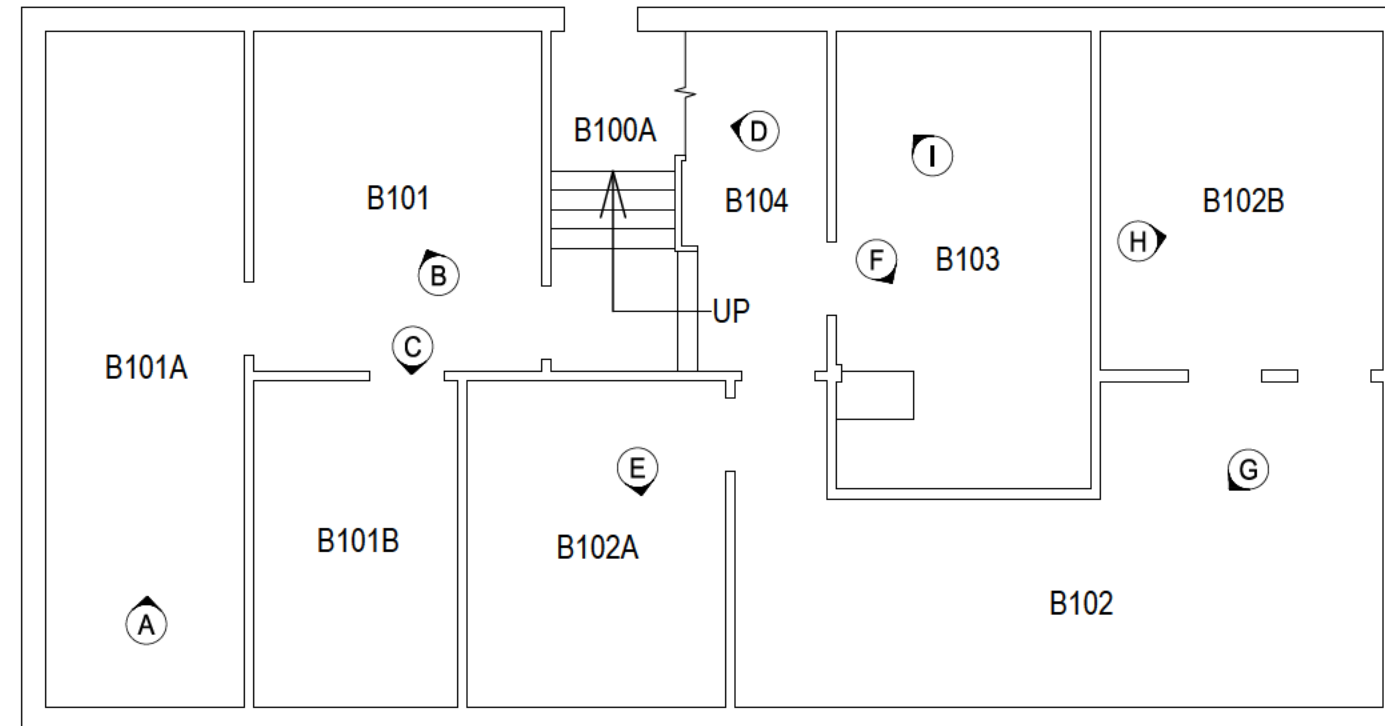


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GENERAL NOTES:

1. EXISTING BUILDING PLANS ARE SHOWN ACCORDING TO BUILDING FLOOR PLANS PROVIDED BY UW-MADISON. BUILDING & ROOM SIZES MAY NOT BE EXACT.
2. PHOTOGRAPHS ARE PROVIDED FOR REFERENCE TO PROVIDE GENERAL LAYOUT AND CONFIGURATION OR OVERALL ROOM, MATERIALS, EQUIPMENT, FURNISHINGS AND OTHER OTHER ELEMENTS.
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BASEMENT FLOOR PLAN
N.T.S.



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MADISON, WISCONSIN

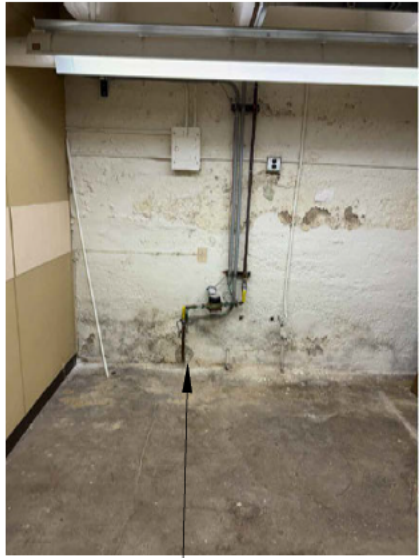
Sheet Title:
BUILDING DEMOLITION PLAN - BASEMENT

Revisions:

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Sheet Number	C110

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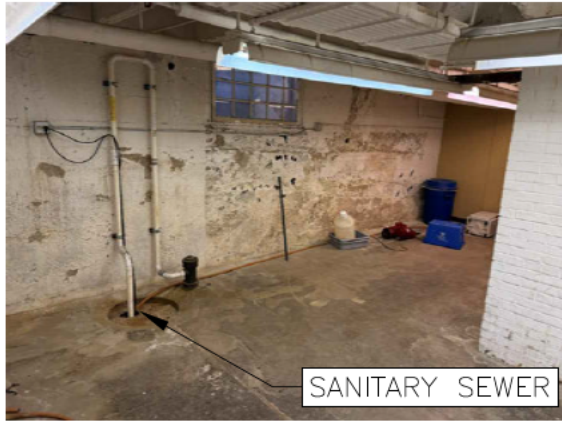


DOMESTIC WATER SERVICE

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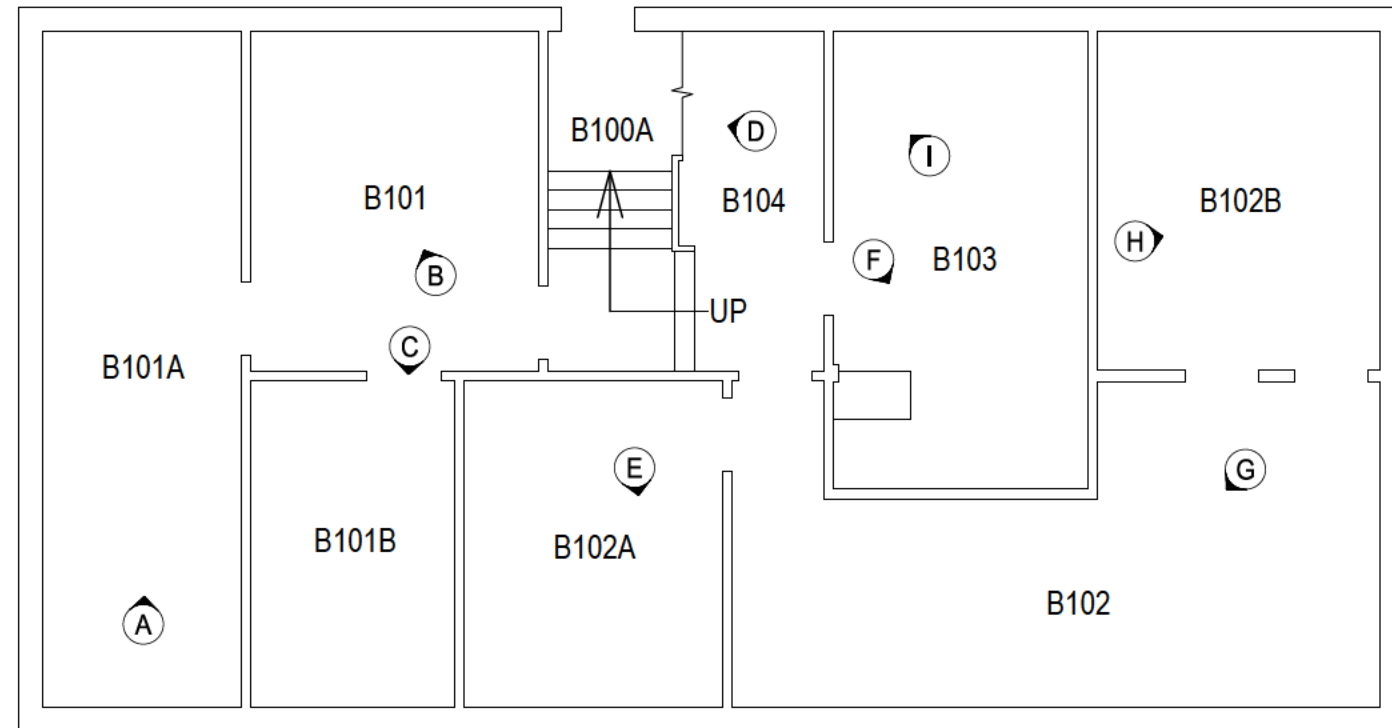
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NETWORK BOX AND CABLING TO BE REMOVED BY OTHERS. CONTACT BILL FOSTER OF DoIT NETWORK SERVICES FOR REMOVAL IF STILL IN PLACE. CONTACT BILL AT EITHER WILLIAM.FOSTER@WISC.EDU OR 608-263-6307

GENERAL NOTES:

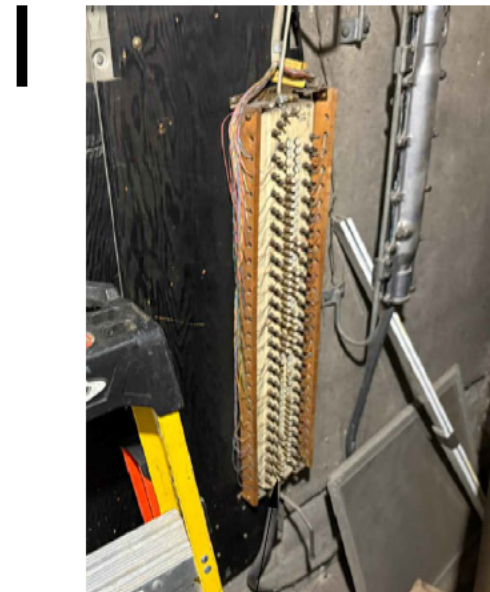
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BASEMENT FLOOR PLAN
N.T.S.



AT&T CONNECTION TO BE DISCONNECTED BY AT&T PRIOR TO BUILDING DEMOLITION



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MADISON, WISCONSIN

Sheet Title:
BUILDING DEMOLITION PLAN - BASEMENT

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Graphic Scale	N.T.S.
DFD Number	24L1U
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Date Issued	04/03/2026
Sheet Number	C111

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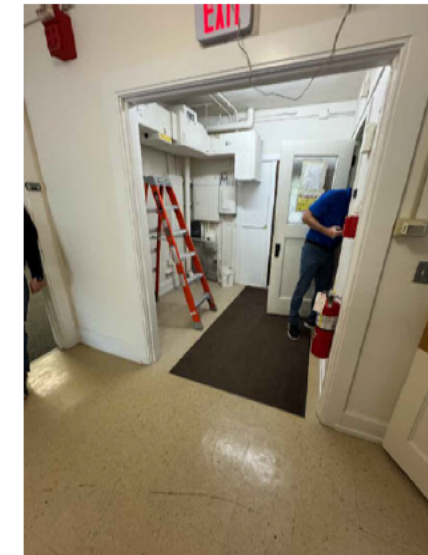
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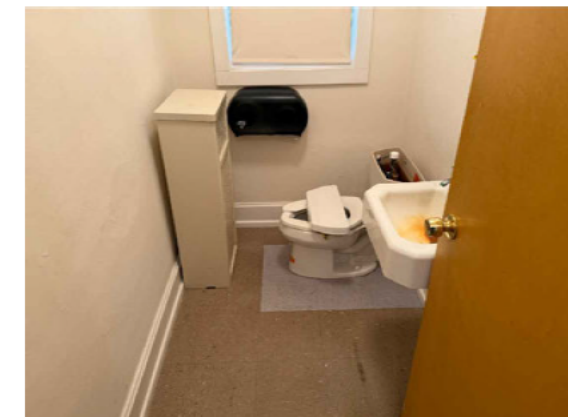
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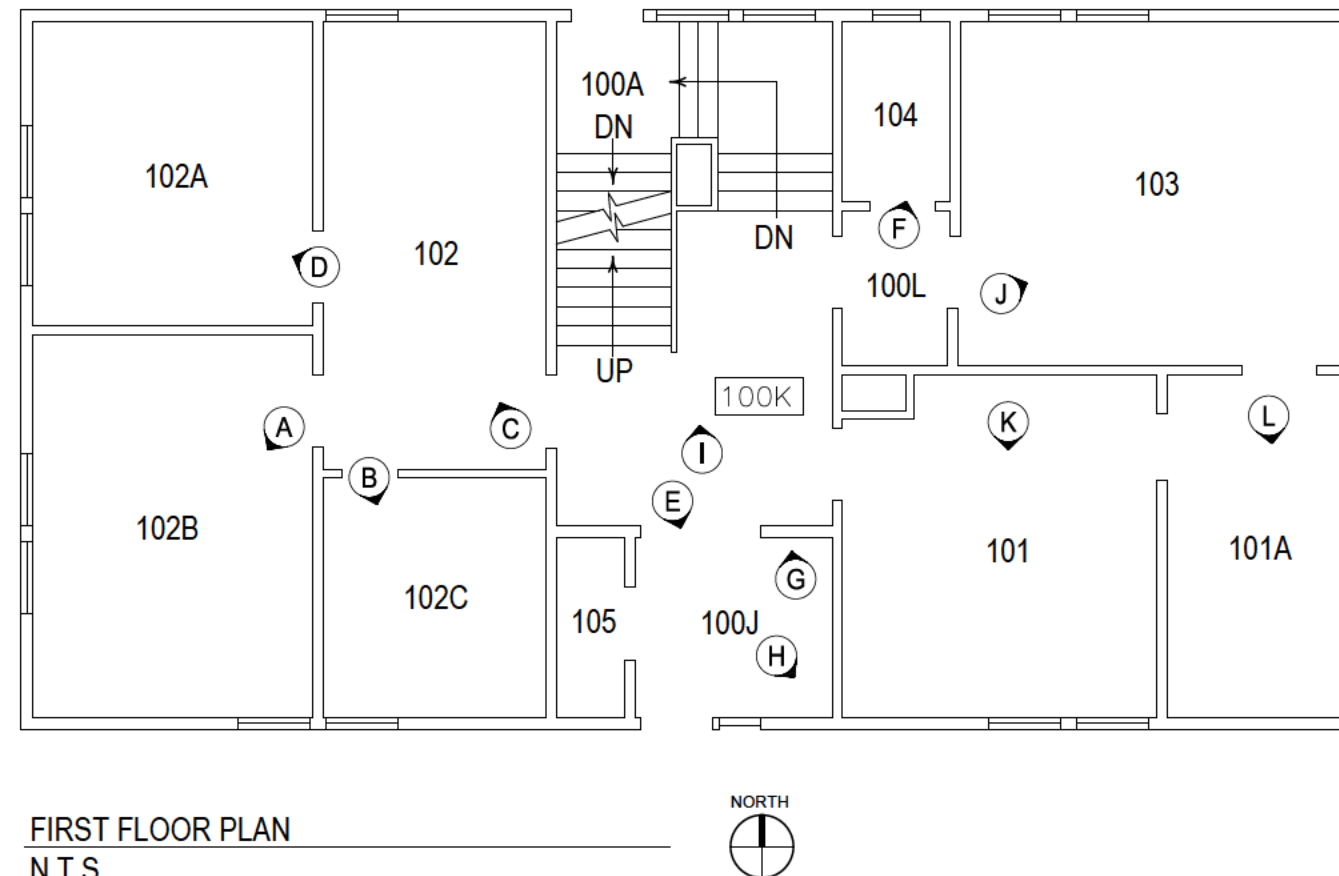


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FIRST FLOOR PLAN
N.T.S.

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State of Wisconsin
Department of Administration
Division of Facilities Development



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UNIVERSITY OF WISCONSIN-MADISON
MADISON, WISCONSIN

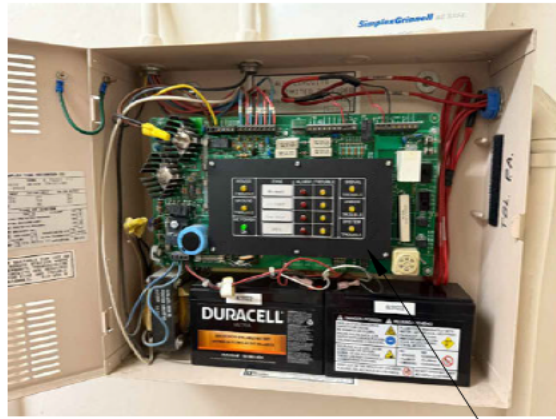
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BUILDING DEMOLITION PLAN - FIRST FLOOR

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Sheet Number	C120

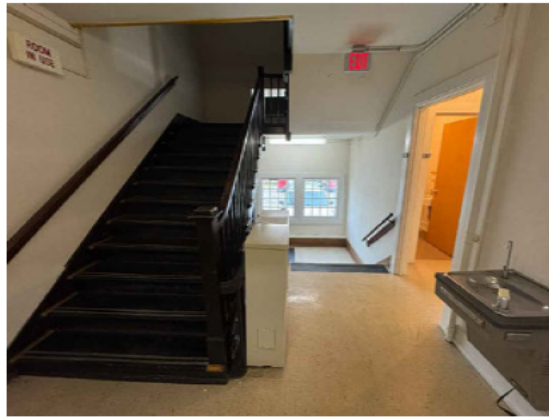
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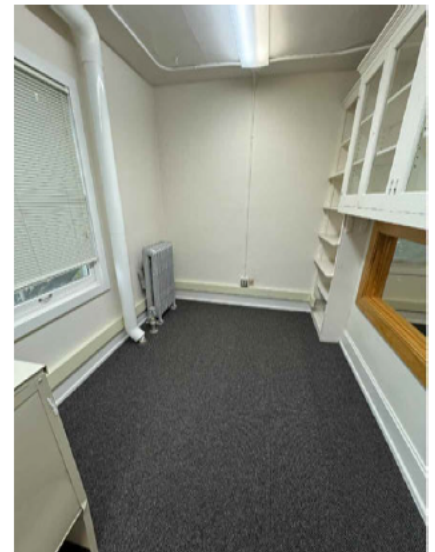
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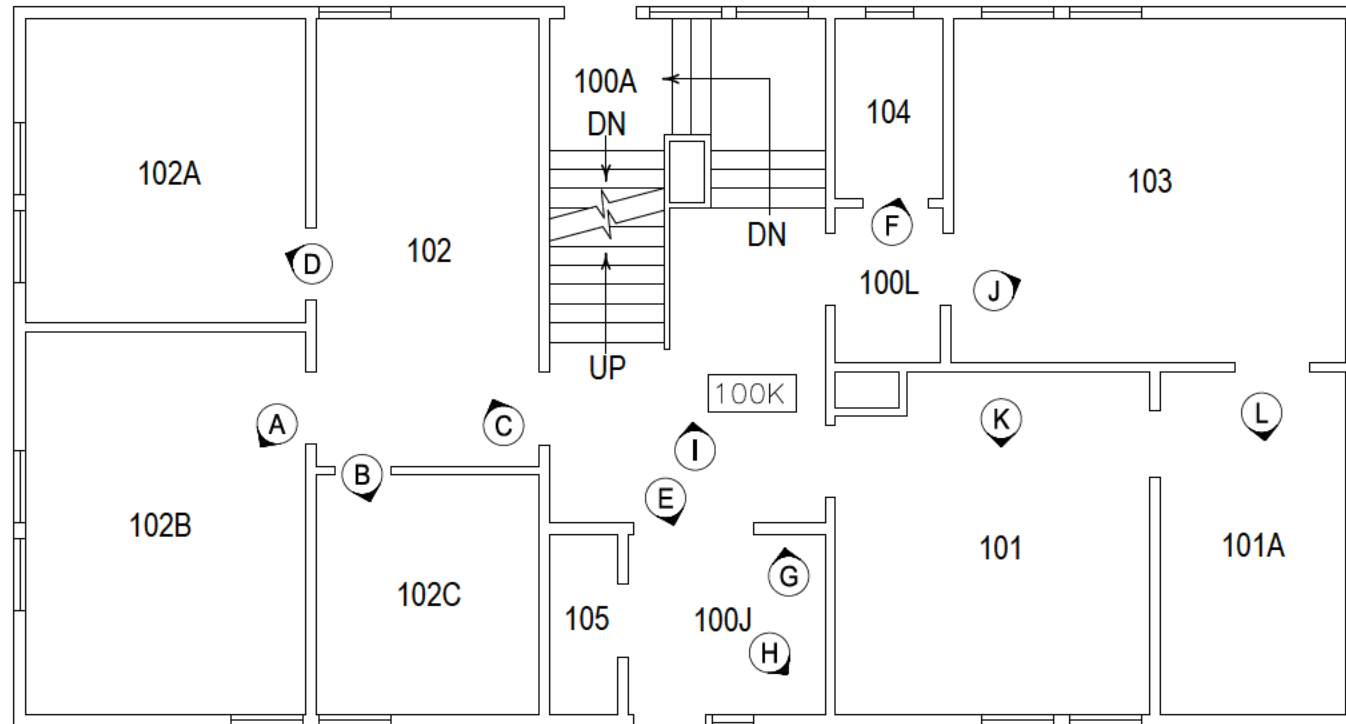
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2. PHOTOGRAPHS ARE PROVIDED FOR REFERENCE TO PROVIDE GENERAL LAYOUT AND CONFIGURATION OR OVERALL ROOM, MATERIALS, EQUIPMENT, FURNISHINGS AND OTHER OTHER ELEMENTS.
3. DEMOLITION WORK SHALL REMOVE EXISTING CONSTRUCTION IN ITS ENTIRETY. THE DEMOLITION DRAWINGS MAY NOT INDICATE ALL ITEMS TO BE REMOVED.
4. REMOVE ALL UNUSED MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES AND EQUIPMENT WITHIN THE WORK AREA. REMOVE OR ABANDON SERVICE AND WASTE LINES TO THE EXTENT AS NOTED ON SHEET C200.
5. KEYED LETTER DESIGNATIONS ARE SPECIFIC TO EACH SHEET.
6. ITEMS TO BE REMOVED AND DISCARDED SHALL BE DISPOSED OF IN A MANNER ACCEPTABLE TO THE PROJECT SPECIFICATIONS AND BUILDING OWNER.
7. ALL REUSABLE EQUIPMENT SHALL BE REMOVED BY UW PHYSICAL PLANT SHOP HEADS PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH UW PROJECT MANAGER TO ENSURE ALL EQUIPMENT HAS BEEN REMOVED PRIOR TO CONSTRUCTION.

FIRE PANEL TO BE REMOVED BY OTHERS. CONTACT FIRE AND LIFE SAFETY MANAGER JEFF SCHILLER FOR REMOVAL IF STILL IN PLACE. CONTACT JEFF AT EITHER JEFF.SCHILLER@WISC.EDU OR 608-225-7593



FIRST FLOOR PLAN
N.T.S.

ELECTRICAL BREAKERS

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UNIVERSITY OF WISCONSIN-MADISON
MADISON, WISCONSIN

Sheet Title:
BUILDING DEMOLITION PLAN - FIRST FLOOR

Revisions:

No.	Date:	Description:

Graphic Scale	N.T.S.
DFD Number	24L1U
Set Type	BD
Date Issued	04/03/2026
Sheet Number	C121

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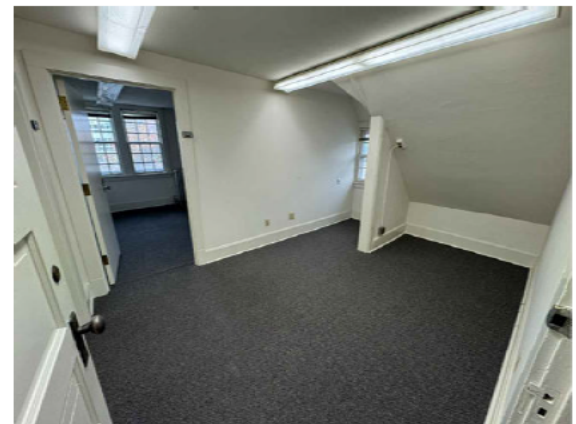
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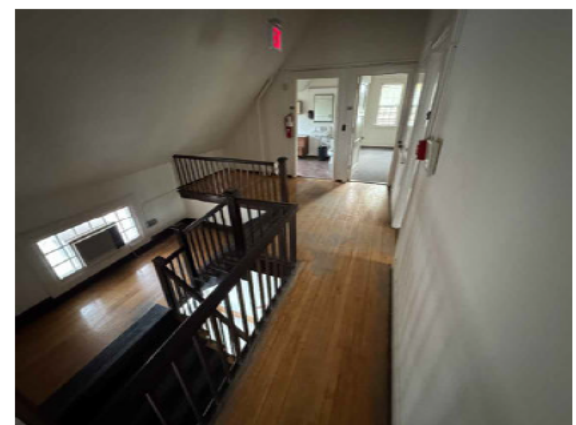
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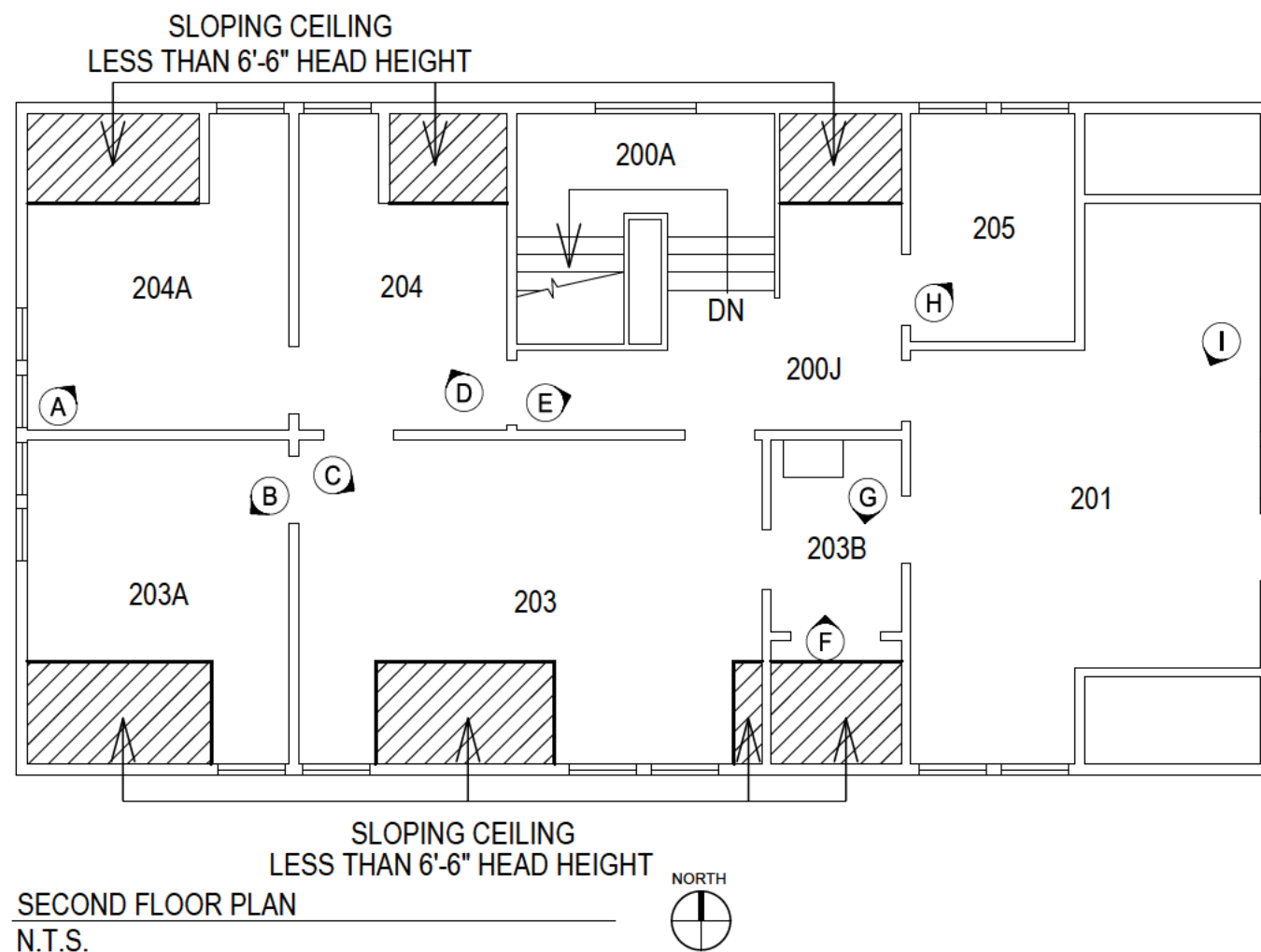


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MADISON, WISCONSIN

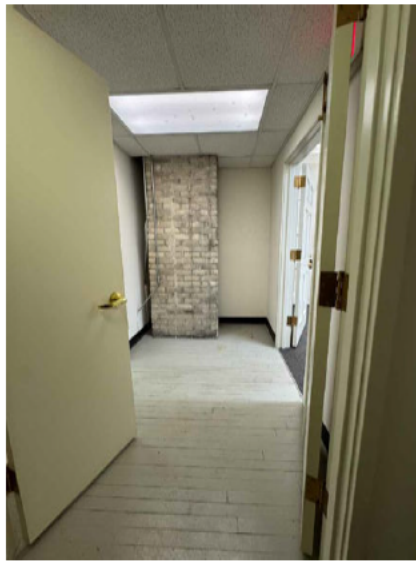
Sheet Title:
BUILDING DEMOLITION PLAN - SECOND FLOOR

Revisions:

No.	Date:	Description:

Graphic Scale	N.T.S.
DFD Number	24L1U
Set Type	BD
Date Issued	04/03/2026
Sheet Number	C130

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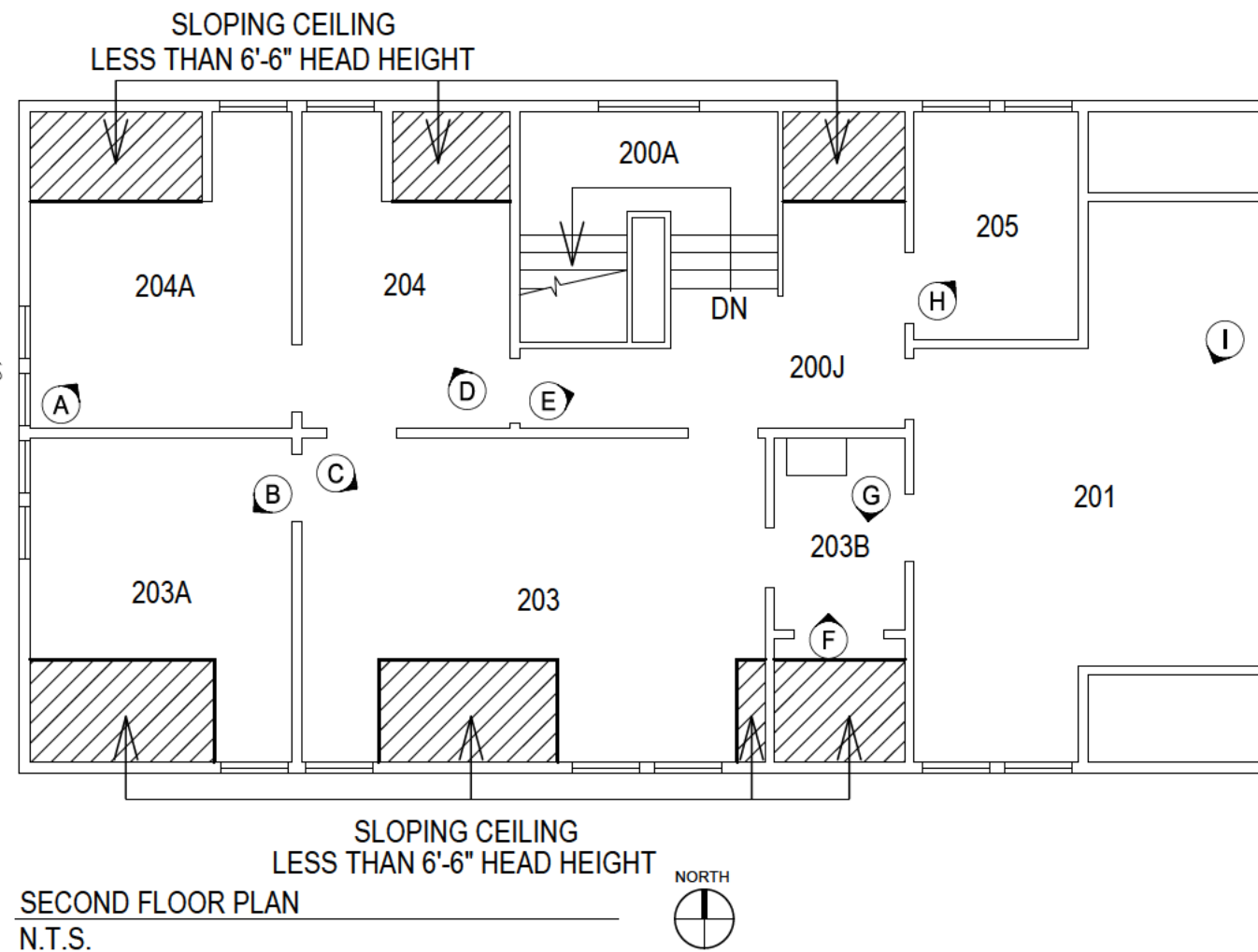


I



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2. PHOTOGRAPHS ARE PROVIDED FOR REFERENCE TO PROVIDE GENERAL LAYOUT AND CONFIGURATION OR OVERALL ROOM, MATERIALS, EQUIPMENT, FURNISHINGS AND OTHER OTHER ELEMENTS.
3. DEMOLITION WORK SHALL REMOVE EXISTING CONSTRUCTION IN ITS ENTIRETY. THE DEMOLITION DRAWINGS MAY NOT INDICATE ALL ITEMS TO BE REMOVED.
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5. KEYED LETTER DESIGNATIONS ARE SPECIFIC TO EACH SHEET.
6. ITEMS TO BE REMOVED AND DISCARDED SHALL BE DISPOSED OF IN A MANNER ACCEPTABLE TO THE PROJECT SPECIFICATIONS AND BUILDING OWNER.
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MADISON, WISCONSIN

Sheet Title:
BUILDING DEMOLITION PLAN - SECOND FLOOR

Revisions:

No.	Date:	Description:

Graphic Scale	N.T.S.
DFD Number	24L1U
Set Type	BD
Date Issued	04/03/2026
Sheet Number	C131

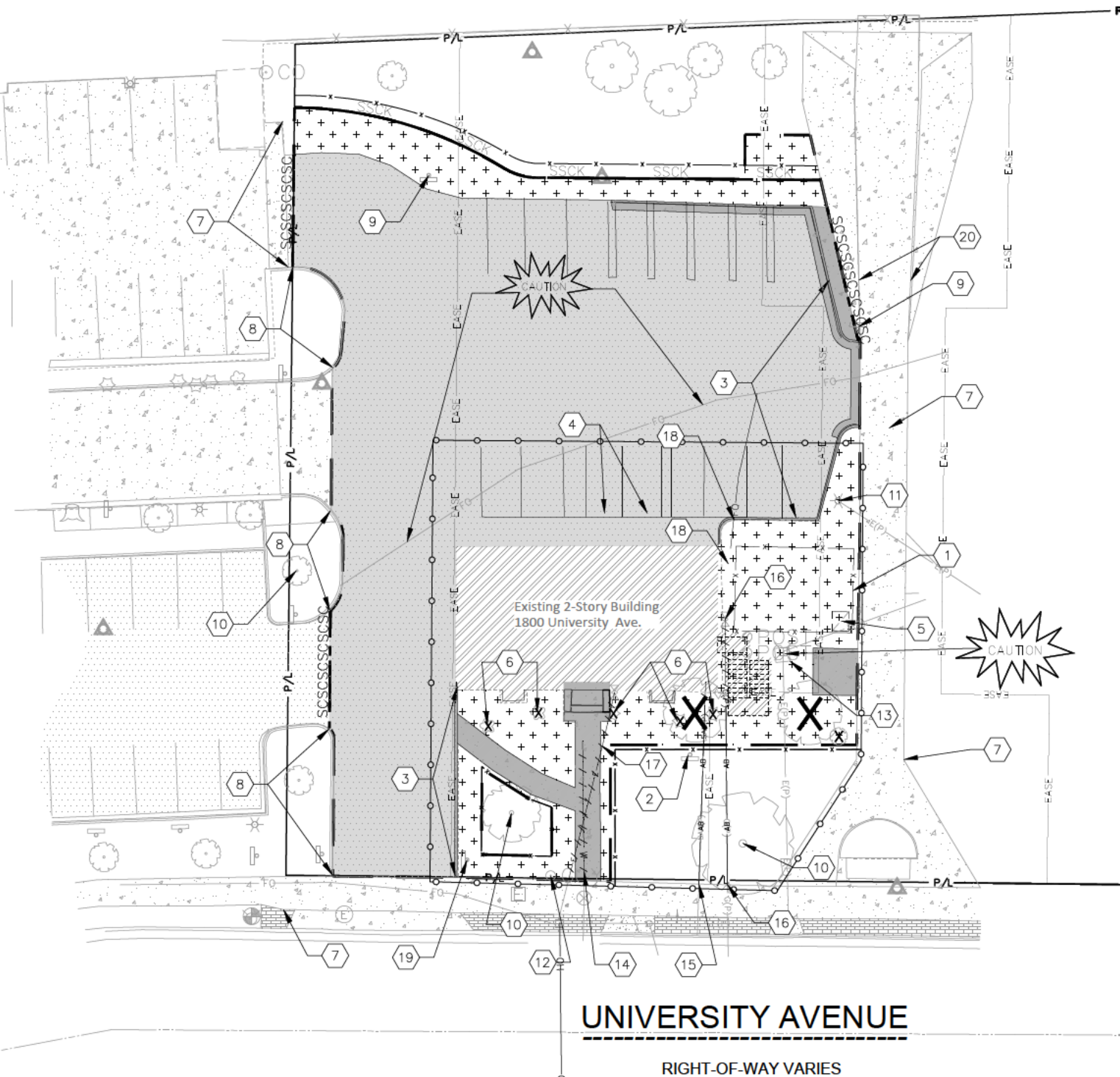


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ATTENTION:
ALL UTILITY LOCATIONS ARE SHOWN FROM FIELD OBSERVATION BASED UPON LOCATES AND/OR INFORMATION RECEIVED FROM OTHER SURVEYS AND VARIOUS UTILITY COMPANIES. BEFORE THE START OF ANY EXCAVATION, A COMPLETE LOCATE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA SHOULD BE COMPLETED. SOME OF THE UTILITIES ON THE FACILITY GROUNDS ARE PRIVATELY OWNED UTILITIES AND WILL NOT BE IDENTIFIED BY DIGGERS HOTLINE. IF THE OWNER IS UNABLE TO IDENTIFY THE LINES, ACQUIRE THE SERVICE OF A PRIVATE MARKING COMPANY TO IDENTIFY ALL LINES.



CAMPUS DRIVE
RIGHT-OF-WAY VARIES



KEY INDEX

- PROJECT LIMITS
- P/L PROPERTY LINE
- EASE EASEMENT LINE
- VEGETATION TO BE REMOVED & DISPOSED OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED. UNUSED & UNSUITABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY.
- ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY.
- CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. CONCRETE & BASE THICKNESS MAY VARY.
- EXISTING BUILDING, CONNECTED STRUCTURES, AND FOUNDATION TO BE DEMOLISHED.
- SAWCUT FULL DEPTH
- TREES & STUMPS TO BE REMOVED
- DENOTES UTILITIES TO BE REMOVED
- DENOTES UTILITIES TO BE ABANDONED IN PLACE
- 6" TALL CONSTRUCTION FENCE SHALL BE IN PLACE DURING BUILDING DEMOLITION. CONTRACTOR MAY REMOVE FENCE FOR PAVING OPERATIONS.
- TREE PROTECTION FENCING
- SEDIMENT SOCK
- KNOWN UTILITY AND POTENTIAL CONFLICT EXIST
- 1 REMOVE & DISPOSE OF EXISTING CHAIN-LINK FENCE INCLUDING POSTS & FOOTINGS
- 2 REMOVE & SALVAGE SIGN & POSTS BACK TO UW-MADISON. SEE NOTE 9 (DEMOLITION NOTES)
- 3 REMOVE & DISPOSE OF EXISTING CONCRETE CURB & GUTTER
- 4 REMOVE & DISPOSE OF EXISTING WHEEL STOPS (2)
- 5 REMOVE & DISPOSE OF EXISTING SHED
- 6 REMOVE & DISPOSE OF EXISTING LANDSCAPE PLANTS & ROOTS
- 7 EXISTING SIDEWALK TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- 8 EXISTING CURB TO REMAIN. CONTRACTOR TO PROTECT THROUGH CONSTRUCTION.
- 9 EXISTING SIGN TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- 10 EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- 11 EXISTING LIGHTPOST TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- 12 EXISTING GUY TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- 13 EXISTING PATHWAY LIGHTING CABINET TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION
- 14 CONTRACTOR TO COORDINATE REMOVAL & DISPOSAL OF EXISTING WATER LATERAL WITH MADISON WATER UTILITY. CAP AND ABANDON (PROVIDE RESTRAINT BLOCK) AT BACK OF SIDEWALK ACCORDING TO STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN
- 15 CONTRACTOR TO COORDINATE REMOVAL & DISPOSAL OF EXISTING SANITARY SEWER LATERAL TO EXISTING BUILDING WITH CITY OF MADISON MMSD. PLUG AND ABANDON REMAINING LINE IN PLACE PER STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.
- 16 CONTRACTOR TO COORDINATE ABANDONMENT OF 1/2" GAS SERVICE LINE WITH MADISON GAS & ELECTRIC (MGE) THROUGH DEMOLITION PERMIT. MGE WILL CAP GAS SERVICE AT MAIN ON SOUTH SIDE OF UNIVERSITY AVENUE AND REMAIN LINE WILL BE ABANDONED IN PLACE.
- 17 CONTRACTOR TO COORDINATE DEMOLITION OF ELECTRIC SERVICE WITH MADISON GAS & ELECTRIC (MGE) THROUGH DEMOLITION PERMIT. MGE WILL DISCONNECT SERVICE AT POLE. REMOVE REMAINING UNDERGROUND ELECTRIC LINE BETWEEN SIDEWALK AND BUILDING.
- 18 DISCONNECT FIBER SERVICE TO BUILDING AND REMOVE FIBER LINE TO PIT 6S21, LOCATED AT THE NORTHEAST CORNER OF 1610 UNIVERSITY AVE. LOCATION OF FIBER AT BUILDING IS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. COORDINATE FIBER AND COMMUNICATION EQUIPMENT REMOVAL WITH BILL FOSTER, (608) 263-6307
- 19 REMOVE & SALVAGE EXISTING SIGN FOR FUTURE REINSTALLATION. REMOVE & DISPOSE OF EXISTING SIGN POST.
- 20 PROTECT METAL RAILINGS. DAMAGE TO RAILINGS WILL RESULT IN REPAIR OR REPLACEMENT OF RAILINGS AT CONTRACTORS EXPENSE.

DEMOLITION NOTES

- CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
- THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS ARE NOT GUARANTEED NOR CERTIFIED.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
- GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
- ALL CAMPUS BENCHMARKS AND CONTROL POINTS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPLACE ANY CAMPUS BENCHMARKS OR CONTROL POINTS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO TRANSPORT AND DELIVER SIGN AND POSTS TO IDENTIFIED INTERIOR STALL AT 520 ELM DRIVE (HORSE BARN). CONTRACTOR TO COORDINATE WITH JONATHAN BRONK OF FP&M CAMPUS PLANNING & LANDSCAPE ARCHITECTURE ON DELIVERY LOGISTICS. CONTACT JONATHAN AT EITHER JONATHAN.BRONK@WISC.EDU OR 608-263-0977.
- PRIOR TO APPROVAL, THE OWNER'S REPRESENTATIVE SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING WHICH IS PROPOSED FOR DEMOLITION. FOR EACH LATERAL TO BE PLUGGED THE OWNER'S REPRESENTATIVE SHALL COMPLETE A SEWER LATERAL PLUGGING APPLICATION AND PAY THE APPLICABLE PERMIT FEES.
- ACCESS TO LOT 41 TO THE EAST AND WEST OF THE PROJECT SITE SHALL BE MAINTAINED THROUGHOUT BUILDING DEMOLITION. TEMPORARY CLOSURE WILL BE REQUIRED FOR PAVING OPERATIONS, AND SHALL BE LIMITED TO TWO WEEKS TO MINIMIZE IMPACTS TO UW FOUNDATION, ENZYME INSTITUTE, ROTC, AND ENERGY INSTITUTE. CONTRACTOR SHALL COORDINATE EXACT DATES OF CLOSURE WITH DFD PROJECT REPRESENTATIVE AND UW PROJECT MANAGER.
- CLOSURE OF LOT 41 WILL REQUIRE THE EXISTING ONE-WAY ENTRANCE BETWEEN ROTC AND ENERGY INSTITUTE TO BE TEMPORARILY CONVERTED TO A TWO-WAY DRIVE. CONTRACTOR SHALL COORDINATE CLOSURES AS SPECIFIED IN NOTE 10 AND SHALL COVER THE ONE-WAY SIGNS AT THIS ENTRANCE DURING CLOSURE. UPON COMPLETION OF CLOSURE OF LOT 41, ALL TEMPORARY SIGN COVERINGS SHALL BE REMOVED BY THE CONTRACTOR.
- COORDINATE ANY SHORT-TERM TEMPORARY ACCESS RESTRICTIONS TO THE UW FOUNDATION PARKING LOTS REQUIRED TO COMPLETE RECONSTRUCTION OF EXISTING DRIVEWAY WITH DFD PROJECT REPRESENTATIVE AND UW PROJECT MANAGER AT LEAST 1 WEEK IN ADVANCE OF ANTICIPATED IMPACTS.
- REPLACEMENT OF UW FOUNDATION PRIVATE PARKING RAMP WILL BEGIN ON MAY 11, 2026 AND LAST 4-6 WEEKS. CONTRACTOR WILL BE REQUIRED TO COORDINATE ANY OVERLAPPING WORK BETWEEN PROJECTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINDING OFF-SITE PARKING OF PERSONAL VEHICLES IF NO SPACE IS AVAILABLE IN CONSTRUCTION WORK AREA.
- CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES. ALL TRASH AND CONSTRUCTION DEBRIS, INCLUDING SEDIMENT, SHALL BE CLEANED AND PROPERLY DISPOSED OF BY THE END OF EACH WORK DAY.



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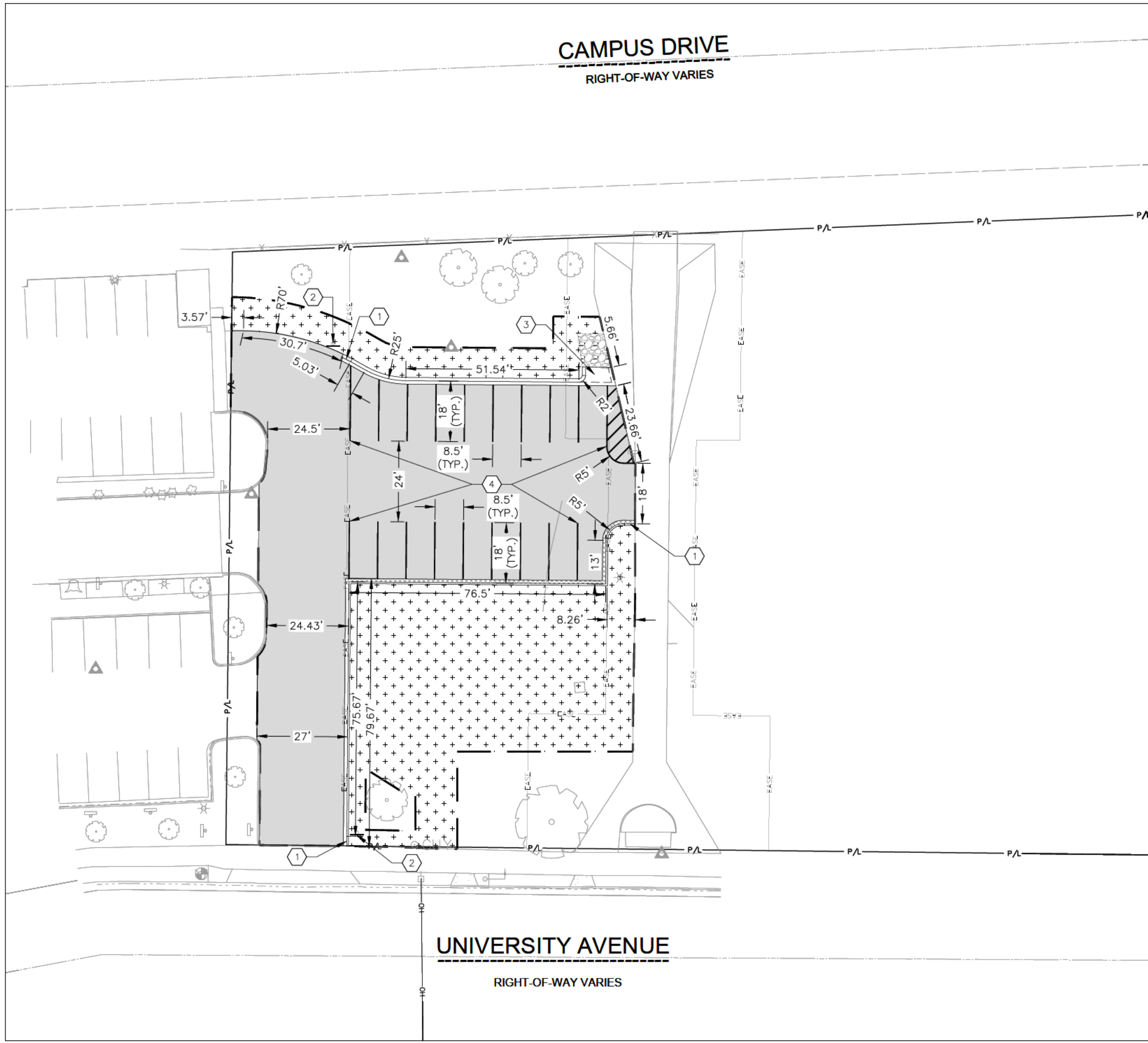
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Sheet Title:
SITE DEMOLITION PLAN

Revisions:

No.	Date:	Description:

Graphic Scale	0' 3.25' 7.5' 15' 22.5'
DFD Number	24L1U
Set Type	BD
Date Issued	04/03/2026
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	PROJECT LIMITS PROPERTY LINE EASEMENT LINE	
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 12" TOPSOIL, SOD, AND FERTILIZER (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.	
	<u>ASPHALTIC CONCRETE:</u> 4" HMA PAVEMENT 8" AGGREGATE BASE COURSE	
	6"-12" DIAMETER DECORATIVE SMOOTH RIVER COBBLES, MINIMUM DEPTH OF 12"; INSTALLED OVER TYPE HR FABRIC.	
	18-INCH REJECT CONCRETE CURB AND GUTTER	
	18-INCH ACCEPT CONCRETE CURB AND GUTTER	
	24-INCH ACCEPT CONCRETE CURB AND GUTTER (MOUNTABLE)	
	3' TRANSITION TO ZERO FACE CURB	
	REINSTALL SALVAGED SIGN	
	4' WIDE CURB CUT WITH CONCRETE DRAINAGE FLUME	
	PAVEMENT MARKING 4" WIDE YELLOW PAINT 36" O.C. FOR DIAGONALS	



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Sheet Title:
SITE LAYOUT PLAN

Revisions:					
No.	Date:	Description:			
Graphic Scale					
DFD Number	24L1U				
Set Type	BD				
Date Issued	04/03/2026				
Sheet Number	C300				

CAMPUS DRIVE
RIGHT-OF-WAY VARIES

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WPDES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

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KEY INDEX

- GRADING LIMITS
- PROPERTY LINE
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED SPOT GRADE
- MATCH EXISTING GRADE
- PROPOSED TOP OF CURB GRADE. REFER TO SITE LAYOUT PLANS FOR MORE INFORMATION. GUTTER IS 6" BELOW TOP OF CURB UNLESS OTHERWISE NOTED.
- PROPOSED GUTTER GRADE
- MATCH EXISTING TOP OF CURB GRADE
- FLOW ARROW
- FLOW LINE
- SEDIMENT SOCK

1
C500



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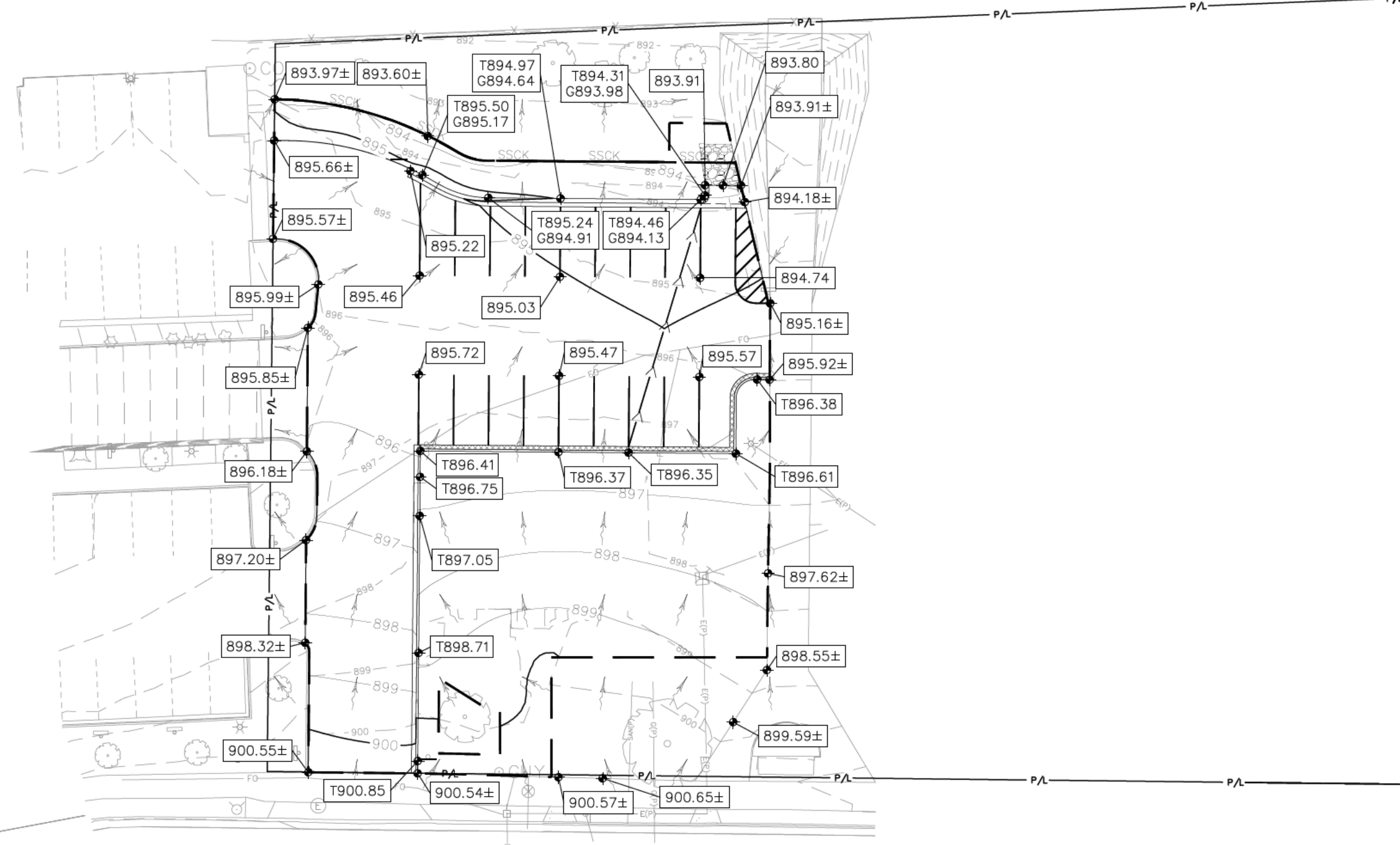
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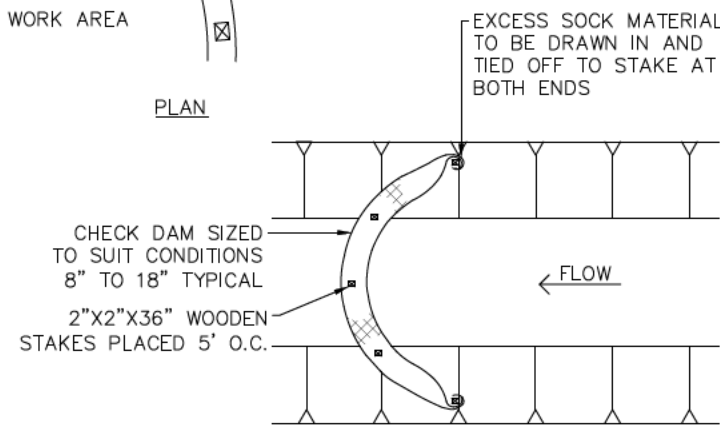
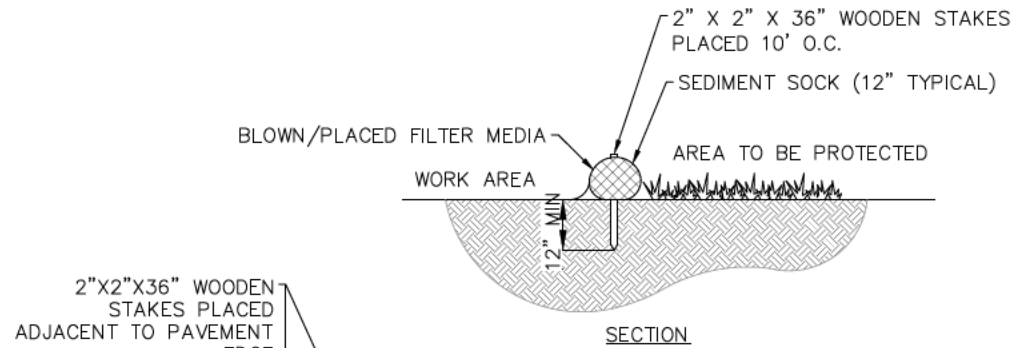
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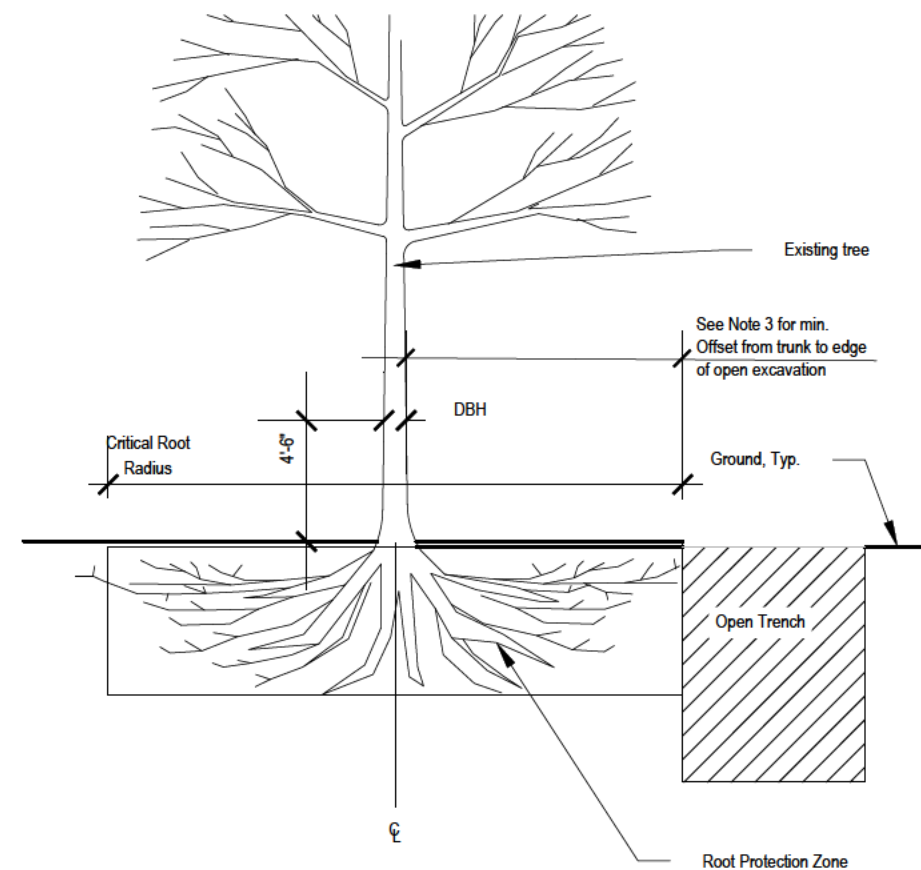
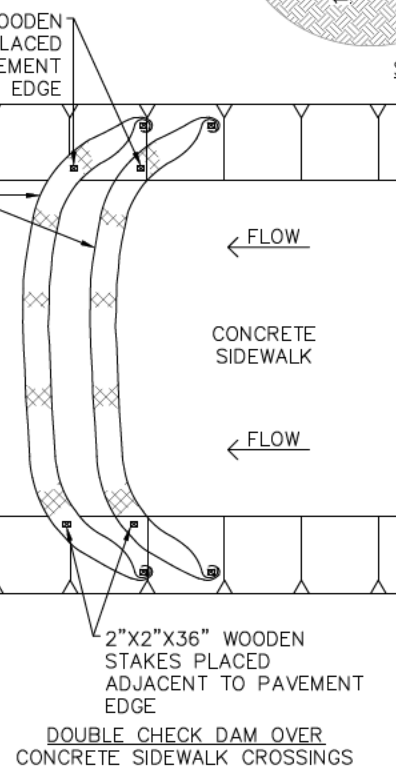
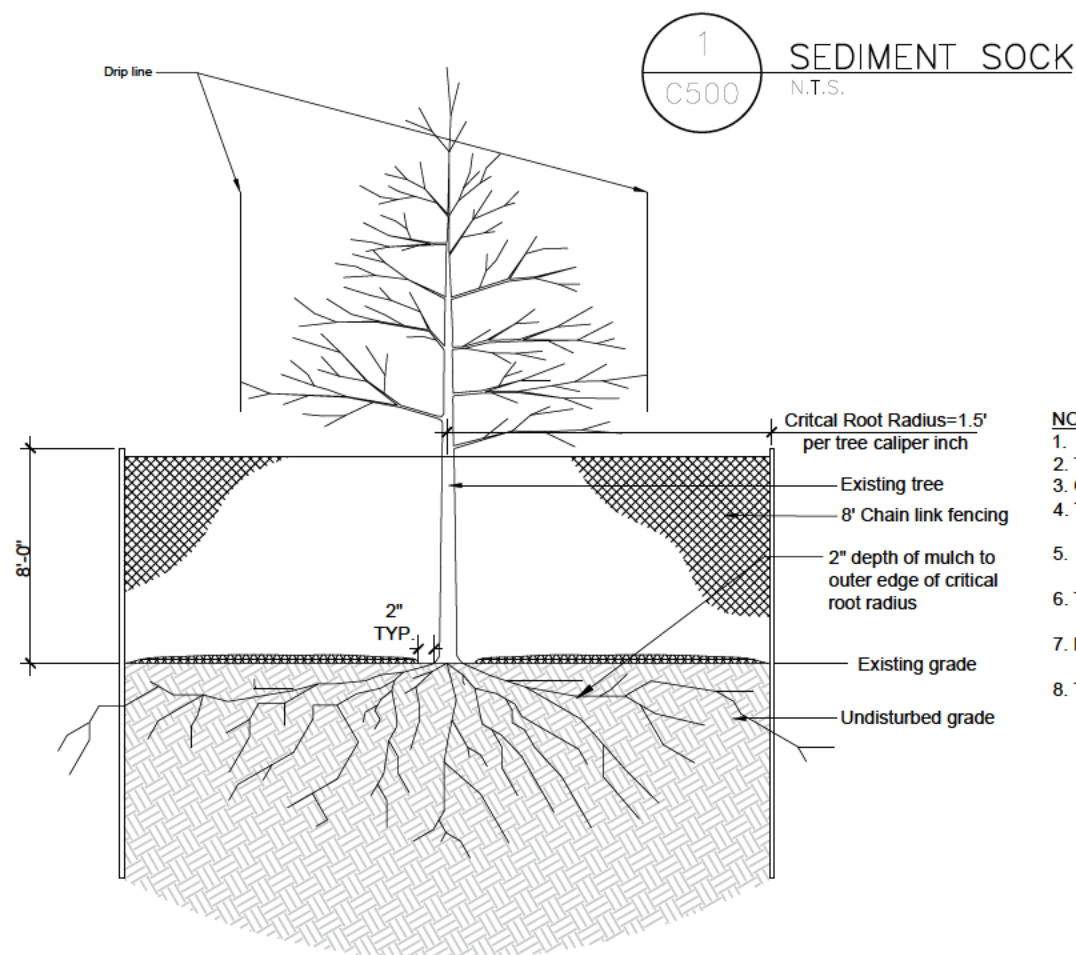
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DFD Number	24L1U
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Date Issued	04/03/2026
Sheet Number	C400



UNIVERSITY AVENUE
RIGHT-OF-WAY VARIES



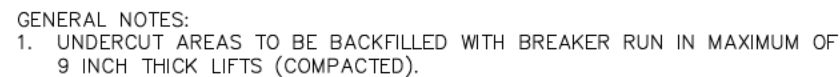
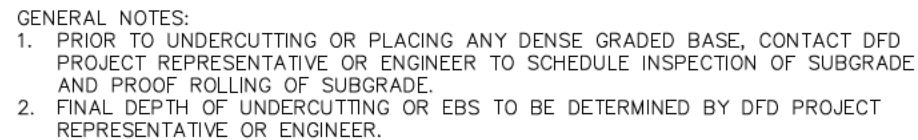
- GENERAL NOTES:
1. ALL MATERIAL TO MEET SPECIFICATIONS.
 2. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED $\frac{1}{2}$ THE HEIGHT OF THE CHECK DAM.
 3. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
 4. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 5. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



- NOTES:
1. DBH [Diameter Breast Height]: The trunk diameter measured at 4'-6" above ground level.
 2. CRR [Critical Root Radius]: The surface area surrounding the trunk containing the roots that provide water and nutrient uptake to the tree. It is defined as tree diameter (at 4'-6" from ground) multiplied by 1.5, value to be expressed in feet.
 - a. Disturbing greater than 25% of the CRR is unacceptable unless authorized by UW-Madison landscape architect.
 - b. The cluster of larger roots immediately surrounding the trunk which provides tree stability (root plate) shall be protected from damage at all times
 3. Cleanly hand-cut any exposed roots within the open trench using clean and sharp tool. Do not rip or tear.
 4. Provide supplemental water for protected trees. 1" per week when no rainfall. Do not apply N-P-K fertilizers.

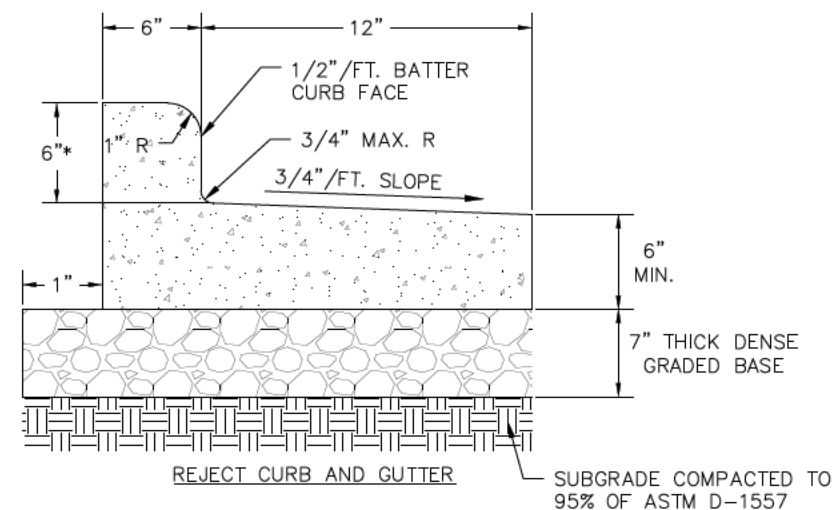
Tree diameter @ DBH	Min distance from tree trunk to open trench
Less than 6 inches	6-Feet
6-9 Inches	9-Feet
10-14 Inches	14-Feet
15-19 inches	19-Feet
More than 19 inches	Dia. @ DBH x 1-1.5 (Feet)



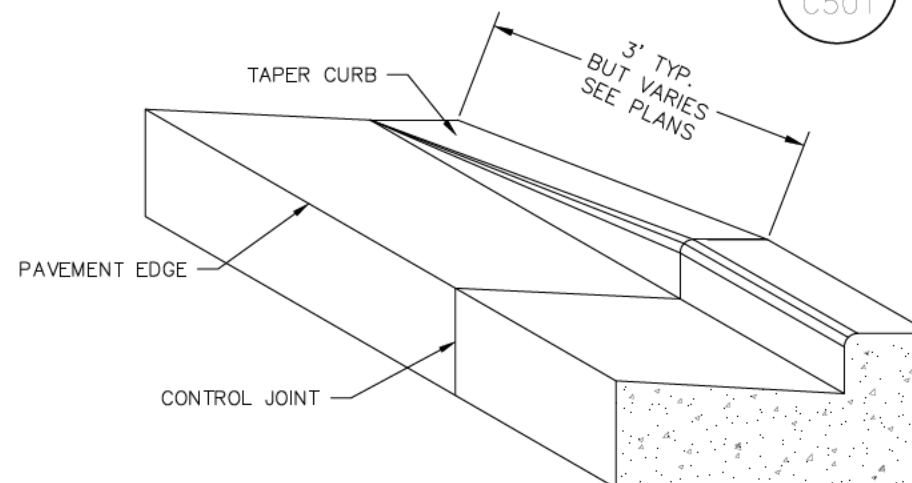


4
C501 24-INCH MOUNTABLE CONCRETE CURB & GUTTER
N.T.S.

2 ASPHALTIC CONCRETE PAVEMENT
C501 N.T.S.

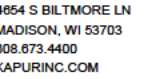


*CURB HEIGHT MAY VARY. SEE SITE GRADING PLAN FOR EXACT CURB HEIGHTS. CONTACT ENGINEER WITH ANY QUESTIONS THAT ARISE. PROVIDE CONSTRUCTION JOINTS BETWEEN 10- FEET AND 30- FEET.



5 C501 CONCRETE CURB & GUTTER TRANSITION N.T.S. --- TO ZERO-FACE CURB

Revisions:		
No.	Date:	Description:
Graphic Scale	N.T.S.	
DFD Number	24L1U	
Set Type	BD	
Date Issued	04/03/2026	
Sheet Number	C501	



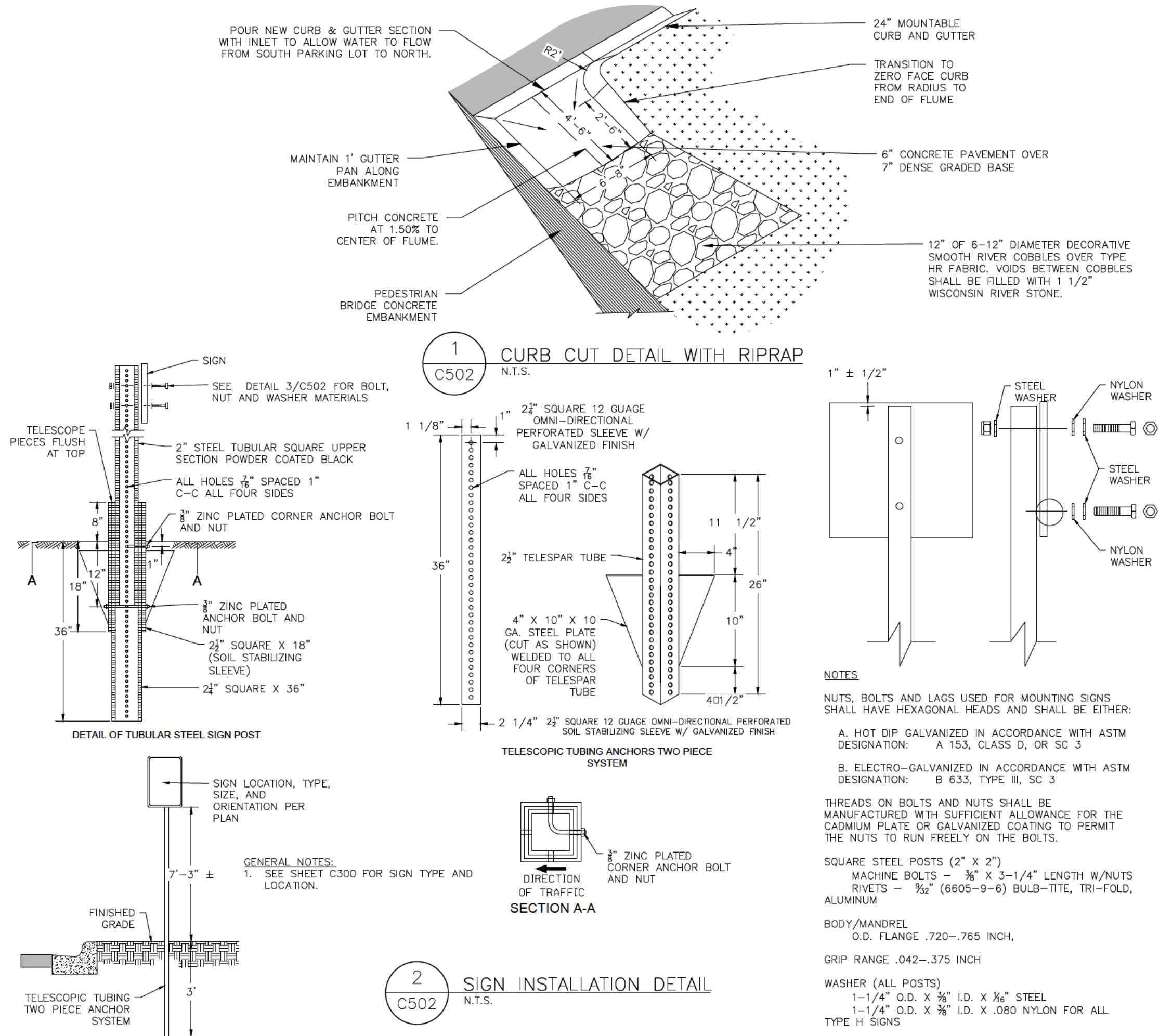
State of Wisconsin
Department of Administration
Division of Facilities Development



1800 University Avenue
Madison, WI 53726

1800 UNIVERSITY AVENUE DEMOLITION
UNIVERSITY OF WISCONSIN-MADISON
MADISON, WISCONSIN

SITE DETAILS

[illegible]Sheet Number **C502**

From: [Aaron Williams](#)
To: [AD 5 \(district5@cityofmadison.com\)](mailto:AD 5 (district5@cityofmadison.com))
Cc: [Scott Utter](#); [Janine Glaeser](#); [Jake Cox](#); [Mary Czyszczak-Lyne](#)
Subject: ALDER DEMO NOTIFICATION - VARIANCE REQUEST: 1800 University Avenue UW-Madison
Date: Wednesday, May 27, 2026 2:33:00 PM
Attachments: [WHS approval note to Matt H. 1800 University Drive.pdf](#)
[P-Exhibits-Photos.pdf](#)
Importance: High

Alder Vidaver,

The below information is provided as a notification for a UW-Madison demolition. Included with this information is a **REQUEST FOR A VARIANCE FROM THE 30-DAY HOLD PERIOD** between List Serv notification and Demo Application Submittal. We would like to submit our application on June 11 (15 days) to ensure we have enough time to modify any drawings and when the contractor is anticipated to begin demolition work so we can have the project complete prior to students back on campus and the neighborhood heading into football season. The current schedule is:

- Project included in Joint Campus Area Committee UW-Madison Project Updates starting in January 2026.
- 5/27/26: Notify Alder & the Greater State Street Business Association
- 5/28/26: Submit to the Demo Listserv
- 6/11/26: Submit Application for Demolition of Principle Buildings
- 7/13/26: Anticipated mobilization/demolition
- 8/21/26: Project complete

The University of Wisconsin–Madison is intending to file an application for demolition approval of the building located at 1800 University Avenue, historically known as the former Sea Grant Building or Old Poultry Building. Constructed in 1910, the facility has served multiple academic and administrative functions over its lifetime but has sat vacant for the past decade and has exceeded its useful life.

Recent evaluations determined that the structure lacks sufficient architectural or historical significance to qualify for historic preservation, and the State Historic Preservation Office (SHPO) has informed campus that no historic properties will be adversely affected by its removal.

The demolition is driven by the building's prolonged vacancy, outdated systems, non-compliance with current codes and ADA requirements, and the high cost of rehabilitation.

Following removal, the site will be stabilized and converted to lawn until such time future plans are determined through the forthcoming Framework Plan.

Please let us know if you have any questions.

Thank you,

Aaron Williams, PLA, ASLA

University of Wisconsin-Madison
Campus Planning & Landscape Architecture

Facilities Planning & Management

21 N. Park Street, 6th Floor

Madison, Wisconsin 53715-1211

(608) 381-8406

aaron.williams@wisc.edu

From: [Aaron Williams](#)
To: [Jason Ilstrup](#); "elizabeth@fontanasports.com"
Cc: [Scott Utter](#); [Janine Glaeser](#); [Jake Cox](#)
Subject: DEMO NOTIFICATION: Greater State Street Business Association - 1800 University Avenue UW-Madison
Date: Wednesday, May 27, 2026 2:34:00 PM
Attachments: [City Business Assoc Map.jpg](#)

Jason/Elizabeth,

The University of Wisconsin–Madison is intending to file an application for demolition approval of the building located at 1800 University Avenue (Refer to attached exhibit of the location within the Business Association boundary), historically known as the former Sea Grant Building or Old Poultry Building. Constructed in 1910, the facility has served multiple academic and administrative functions over its lifetime but has sat vacant for the past decade and has exceeded its useful life.

Recent evaluations determined that the structure lacks sufficient architectural or historical significance to qualify for historic preservation, and the State Historic Preservation Office (SHPO) has informed campus that no historic properties will be adversely affected by its removal.

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Aaron Williams, PLA, ASLA

University of Wisconsin-Madison
Campus Planning & Landscape Architecture

Facilities Planning & Management
21 N. Park Street, 6th Floor
Madison, Wisconsin 53715-1211
(608) 381-8406

aaron.williams@wisc.edu

From: [City of Madison Planning](#)
To: [Aaron Williams](#)
Subject: Demolition Application Notice
Date: Thursday, May 28, 2026 4:12:50 PM

[View this email in your browser](#)

[City of Madison](#)



Construction zone.

This is a notice that Aaron Williams will be filing a demolition permit application. The application will be submitted around June 11, 2026 or later. The applicant seeks to demolish a Institutional Building (CALS). The address is 1800 University Ave Madison, WI 53705.

The City's Landmarks Commission provides an advisory review of all demolition applications. The Landmarks Commission will determine if the building has historic value. If it has historic value, then the Plan Commission will review the application. The Plan Commission will hold a public hearing when they review the application. If it has no known historic value, the Director of Building Inspection may approve the application.

For more information about this application, please contact the applicant, Aaron Williams, University of Wisconsin-Madison, 21 N. Park Street 6th Floor Madison, WI 53711 at aaron.williams@wisc.edu or (608)263-3000.

Applicant's Comments:

Demolition of 1800 University Avenue. Constructed in 1910, the facility has served multiple academic and administrative functions over its lifetime. The removal is driven by the building's prolonged vacancy, outdated systems, non-compliance with current codes and ADA requirements, and the high cost of rehabilitation.

Following removal, the site will be stabilized and converted to lawn until such time future plans are determined through the forthcoming Framework Plan.

If you have any questions about the City's application review process, please contact the City of Madison Planning Division at (608) 266-4635.

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