

DIMENSION IV

Madison Design Group
architecture · engineering · interior design

6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719
p608.829.4444 608.829.4445 dimensionivmadison.com

HOLIDAY INN EXPRESS

5110 HIGH CROSSING
BLVD MADISON, WI

Architecture : **Dimension IV - Madison Design Group**
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Architecture: **KEE Architecture**
621 Williamson Street, Madison, WI 53703
p: 608.255.9202

Civil Engineering: **PROFESSIONAL ENGINEERING**
818 N. Meadowbrook Ln, Waunakee, WI 53597
p: 608.849.9378

Landscape Architect: **Paul Skidmore, Skidmore Property Services, LLC**
13 Red Maple Trail, Madison, WI 53717
p: 608.826.0032

Site Lighting: **Schultz Electric**
8491 Murphy Dr., Middleton, WI 53562
p: 608.836.7072 www.pieperpower.com

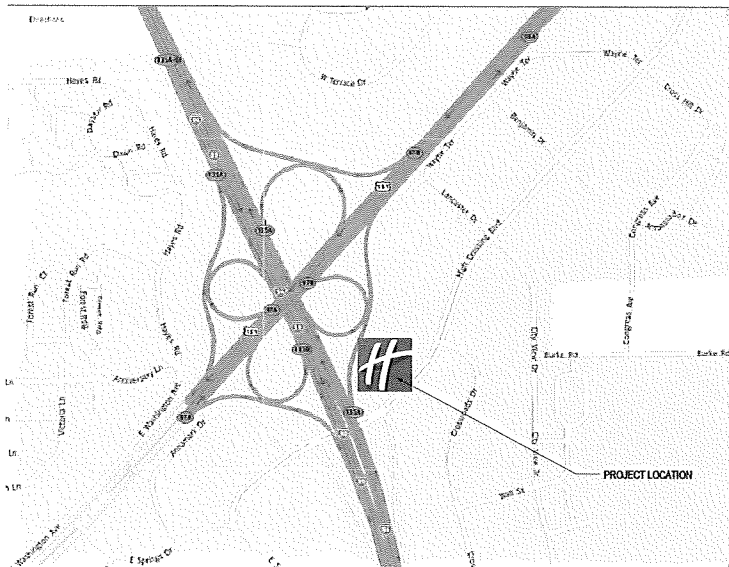
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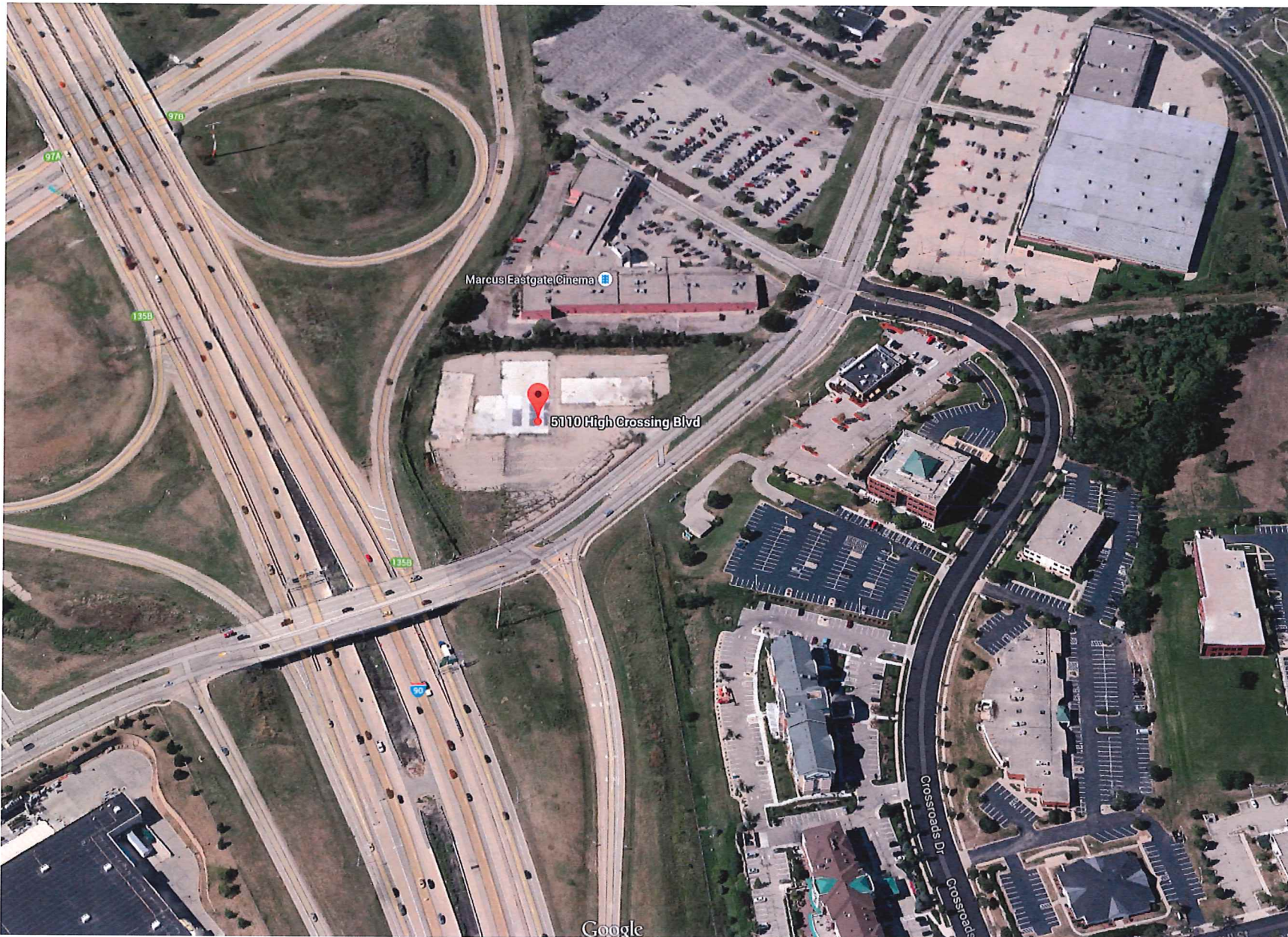


LOCATION MAP

PLAN COMMISSION SUBMITTAL

PROJECT #14130 &14131 FEBRUARY 17, 2015

GO.1



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5110 HIGH CROSSING BLVD
 MADISON, WI

PLAN COMMISSION SUBMITTAL

DATE OF ISSUE: _____

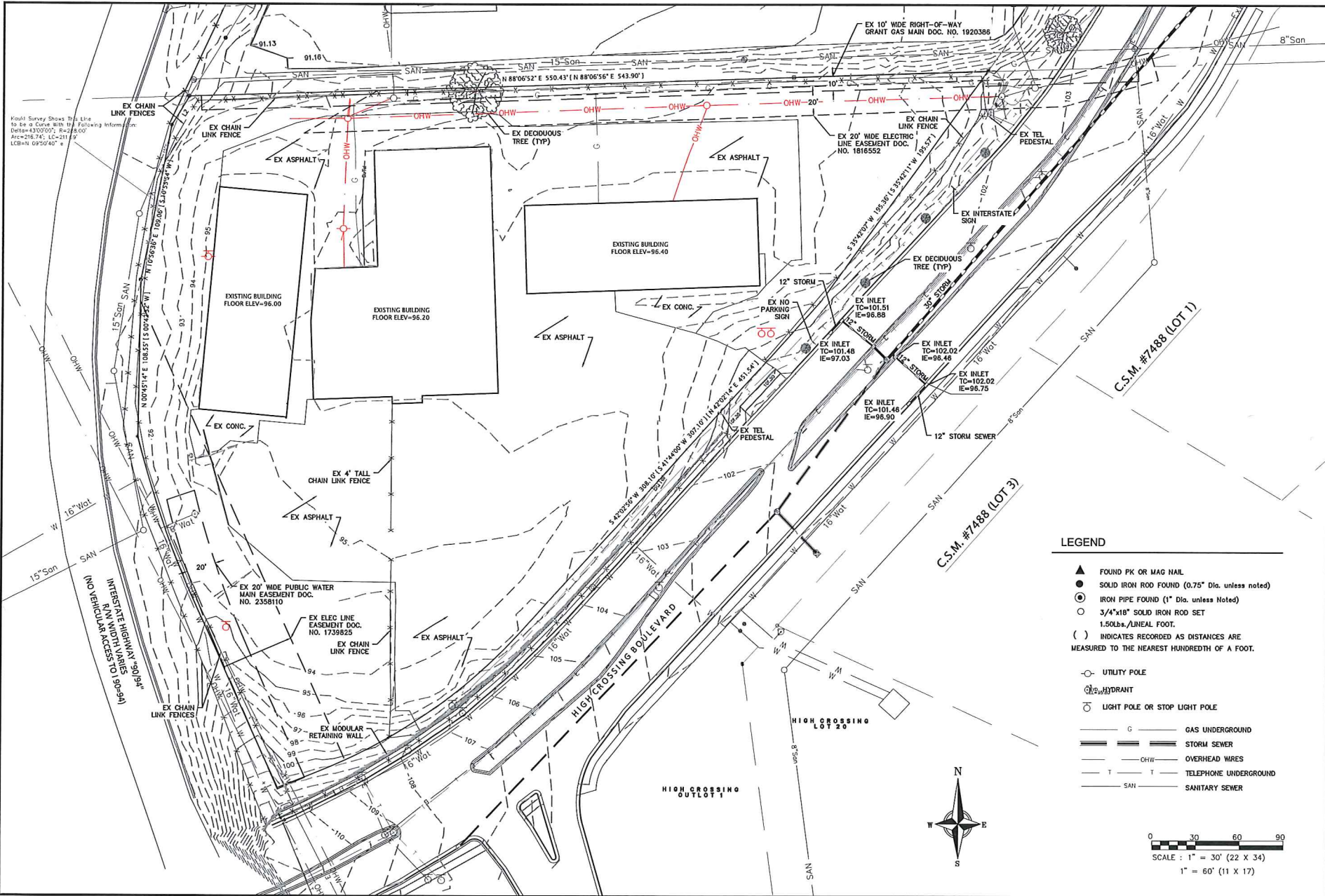
REVISIONS:

PROJECT # 14130 & 14131

AERIAL VIEW

GO.2

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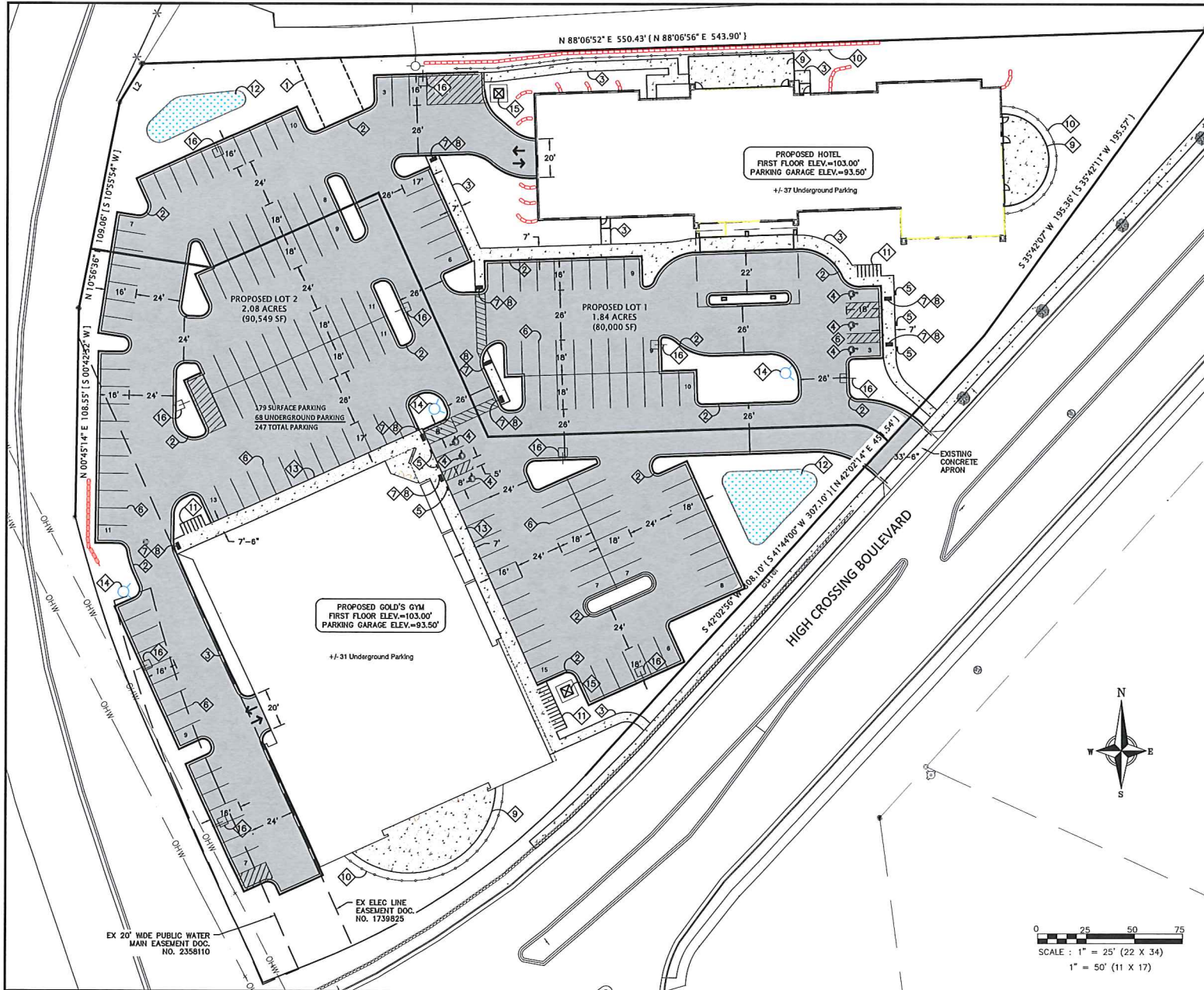
Field Survey Shows This Line to be a Curve with the Following Information:
 Station=43+00.00'; Radius=500'
 Arc=216.74'; LC=211.9'
 Chord=109.2540'

- LEGEND**
- ▲ FOUND PK OR MAG NAIL
 - SOLID IRON ROD FOUND (0.75" Dia. unless noted)
 - IRON PIPE FOUND (1" Dia. unless Noted)
 - 3/4"x18" SOLID IRON ROD SET
 - 1.50Lbs./LINEAL FOOT.
 - () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.
 - UTILITY POLE
 - HYDRANT
 - LIGHT POLE OR STOP LIGHT POLE
 - G — GAS UNDERGROUND
 - SS — STORM SEWER
 - OHW — OVERHEAD WIRES
 - T — TELEPHONE UNDERGROUND
 - SAN — SANITARY SEWER



0 30 60 90
 SCALE : 1" = 30' (22 X 34)
 1" = 60' (11 X 17)

<p>ISSUANCE/REVISION</p> <p>DATE</p> <p>02-10-15</p> <p>SITE PLAN REVIEW</p>	<p>818 N Meadowbrook Ln Waunakee, WI 53597 phone (608) 849-9378 fax (608) 237-2129</p> <p>PROFESSIONAL ENGINEERING LLC</p>
<p>5110 HIGH CROSSING BLVD EXISTING CONDITIONS</p> <p>MADISON, WISCONSIN</p>	
<p>C100</p>	



PLAN KEY

- 1 FUTURE DRIVE CONNECTION
- 2 18" CURB AND GUTTER, TYP.
- 3 CONCRETE SIDEWALK
- 4 VAN ACCESSIBLE STALL, TYP.
- 5 VAN ACCESSIBLE PARKING SIGN, TYP.
- 6 PAVEMENT STRIPING, TYP.
- 7 CURB RAMP
- 8 DETECTABLE WARNING FIELD
- 9 PATIO, SEE ARCHITECTURAL PLANS
- 10 FENCE, SEE ARCHITECTURAL PLANS
- 11 BIKE RACK TO BE U-SHAPED SURFACE MOUNTED BICYCLE RACKS (MADRAX U190-SF-O)
- 12 BIORETENTION AREA
- 13 THICKENED EDGE CONCRETE SIDEWALK
- 14 HYDRANT
- 15 TRANSFORMER
- 16 LIGHT POLE

PAVEMENT KEY

- ASPHALT PAVEMENT
- CONCRETE
- RETAINING WALL

SITE INFORMATION

SITE ADDRESS: 5110 HIGH CROSSING BOULEVARD
 LEGAL DESCRIPTION:
 ALL THAT PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION TWENTY-SEVEN (27), TOWNSHIP EIGHT (8) NORTH, RANGE TEN (10) EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, BOUNDED ON THE NORTH BY THE NORTH SECTION LINE OF SAO SECTION 27, ON THE SOUTH AND EAST BY THE NORTHWEST RIGHT-OF-WAY OF RELOCATED GISHOLT ROAD, NOW KNOWN AS HIGH CROSSING BOULEVARD, AND ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF I 90-94 HIGHWAY, EXCEPTING THEREFROM THAT PART CONVEYED BY QUIT CLAIM DEED TO THE TOWN OF BURKE RECORDED JANUARY 22, 1987 AS DOCUMENT NO. 192823, AND ALSO EXCEPTING THEREFROM THAT PART CONVEYED BY WARRANTY DEED TO THE STATE OF WISCONSIN RECORDED OCTOBER 14, 1997 AS DOCUMENT NO. 2897424.

SITE ACREAGE TOTAL: 170,549 SF (3.92 ACRES)
 PROPOSED LOT 1: 80,000 SF (1.84 ACRES)
 PROPOSED LOT 2: 90,549 SF (2.08 ACRES)

NUMBER OF BUILDING STORIES:
 GOLD'S GYM: 2
 HOTEL: 4

BUILDING HEIGHT:
 GOLD'S GYM: 39'-10"
 HOTEL: 47'-8"

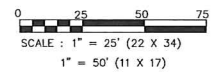
BUILDING AREA:
 GOLD'S GYM: 60,640 GROSS SF (22,270 SF FOOTPRINT)
 HOTEL: 81,589 GROSS SF (16,775 SF FOOTPRINT)

GOLD'S GYM CAPACITY: 800

NUMBER OF BEDROOMS IN HOTEL: 106

NUMBER OF PARKING STALLS: 247 TOTAL
 SURFACE: 179
 UNDERGROUND: 68

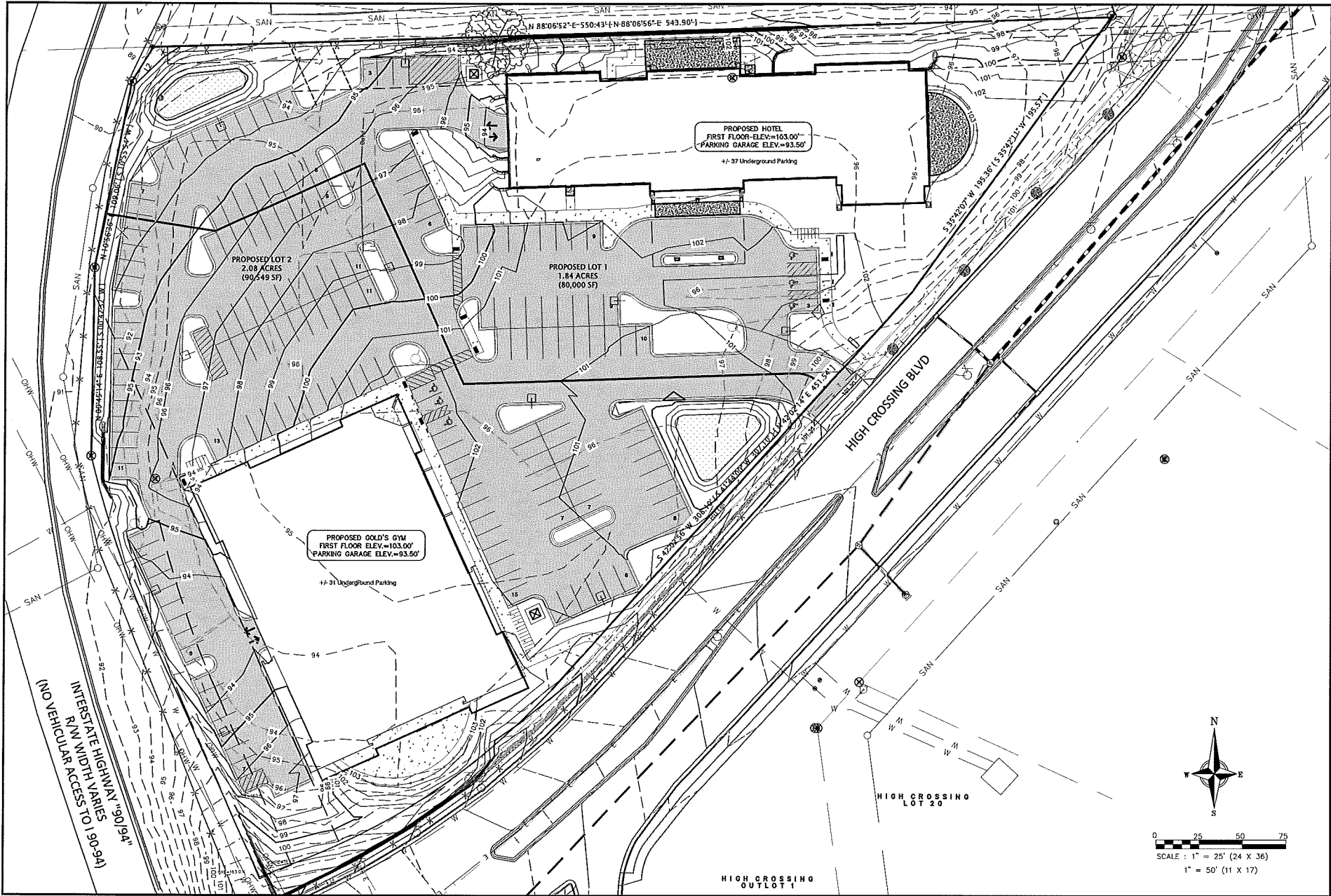
TOTAL BIKE PARKING: 51
 28 INTERIOR (21 GOLD'S GYM, 5 HOTEL)
 25 EXTERIOR (19 GOLD'S GYM, 6 HOTEL)



DATE	02-10-15	PROFESSIONAL ENGINEERING <small>LLC</small>	5110 HIGH CROSSING BLVD SITE PLAN MADISON, WISCONSIN
ISSUANCE/REVISION	SITE PLAN REVIEW		

818 N. Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-5378
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C102



X:\West1211 High Crossing\DWG\Design\1211 Grading.dwg | 2/16/2015 5:56:11 PM

DATE	02-10-15
DESIGNED/REVISION	
SITE PLAN REVIEW	

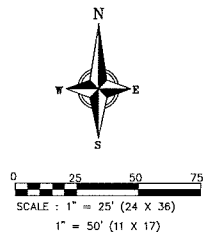
818 N Meadowbrook Ln
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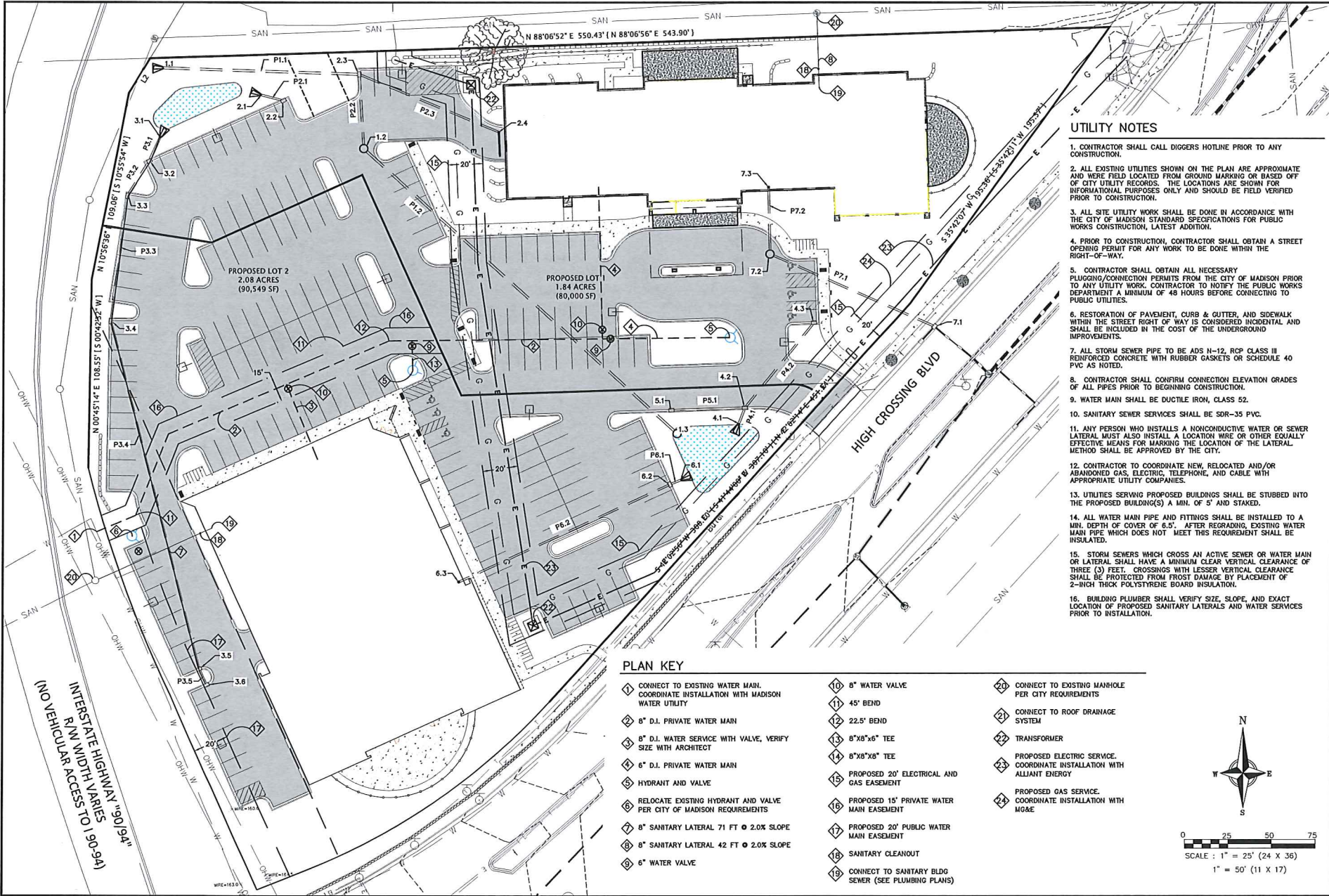
PROFESSIONAL ENGINEERING LLC

**5110 HIGH CROSSING BLVD
 GRADING PLAN - OVERALL**

MADISON, WISCONSIN

C200



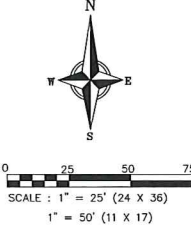


UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF CITY UTILITY RECORDS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
7. ALL STORM SEWER PIPE TO BE ADS N-12, RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS OR SCHEDULE 40 PVC AS NOTED.
8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
9. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
13. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED INTO THE PROPOSED BUILDING(S) A MIN. OF 5' AND STAKED.
14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

PLAN KEY

- | | | |
|--|---|--|
| ① CONNECT TO EXISTING WATER MAIN. COORDINATE INSTALLATION WITH MADISON WATER UTILITY | ⑩ 8" WATER VALVE | ⑳ CONNECT TO EXISTING MANHOLE PER CITY REQUIREMENTS |
| ② 8" D.I. PRIVATE WATER MAIN | ⑪ 45' BEND | ㉑ CONNECT TO ROOF DRAINAGE SYSTEM |
| ③ 8" D.I. WATER SERVICE WITH VALVE, VERIFY SIZE WITH ARCHITECT | ⑫ 22.5' BEND | ㉒ TRANSFORMER |
| ④ 6" D.I. PRIVATE WATER MAIN | ⑬ 8"x8"x6" TEE | ㉓ PROPOSED ELECTRIC SERVICE. COORDINATE INSTALLATION WITH ALLIANT ENERGY |
| ⑤ HYDRANT AND VALVE | ⑭ 8"x8"x8" TEE | ㉔ PROPOSED GAS SERVICE. COORDINATE INSTALLATION WITH M&E |
| ⑥ RELOCATE EXISTING HYDRANT AND VALVE PER CITY OF MADISON REQUIREMENTS | ⑮ PROPOSED 20' ELECTRICAL AND GAS EASEMENT | |
| ⑦ 8" SANITARY LATERAL 71 FT @ 2.0% SLOPE | ⑯ PROPOSED 15' PRIVATE WATER MAIN EASEMENT | |
| ⑧ 8" SANITARY LATERAL 42 FT @ 2.0% SLOPE | ⑰ PROPOSED 20' PUBLIC WATER MAIN EASEMENT | |
| ⑨ 6" WATER VALVE | ⑱ SANITARY CLEANOUT | |
| | ㉕ CONNECT TO SANITARY BLDG SEWER (SEE PLUMBING PLANS) | |



INTERSTATE HIGHWAY 1610' @ 64" R/W WIDTH VARIES (NO VEHICULAR ACCESS TO 610-64")

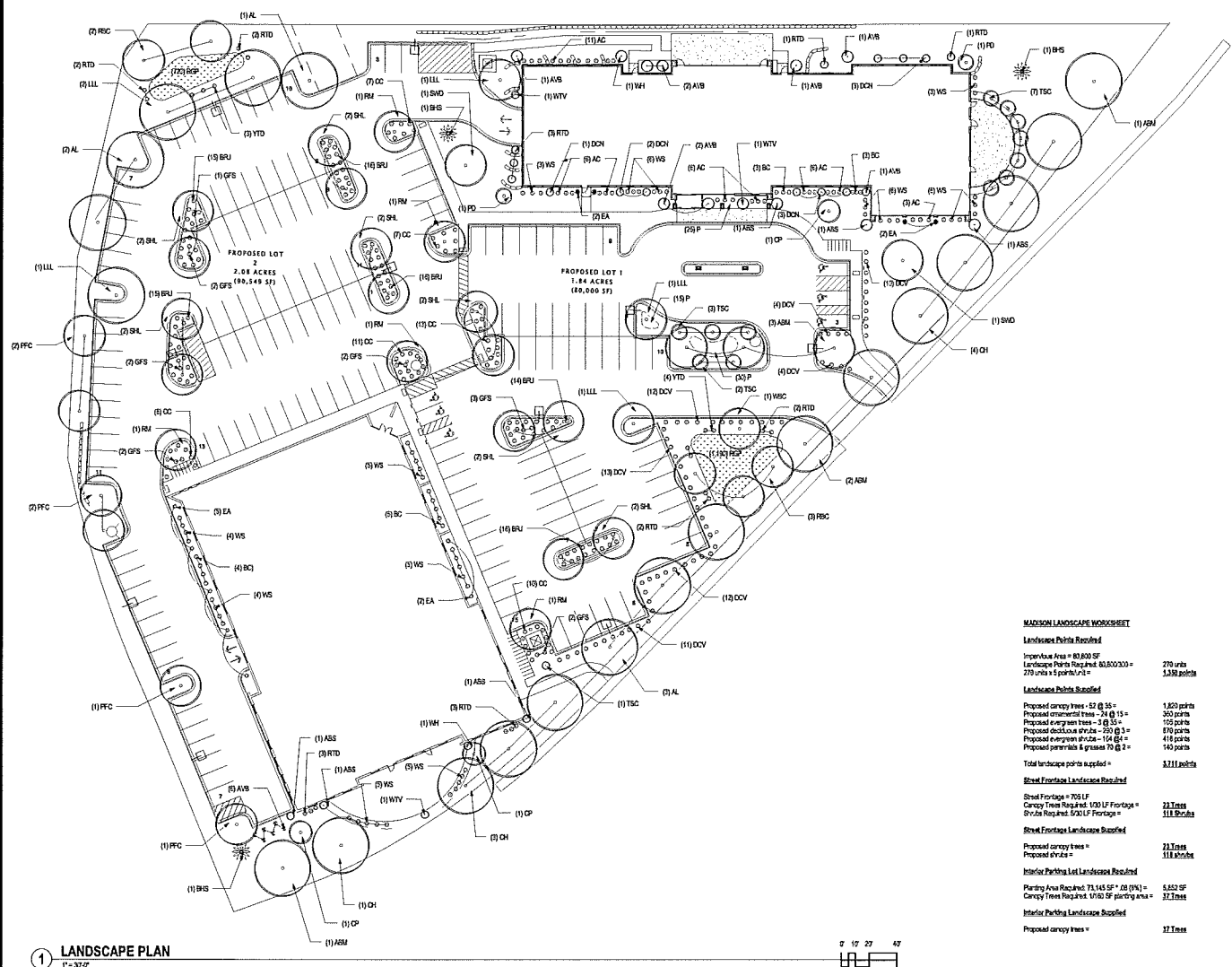
ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	02-10-15

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Wausaukee, WI 53597
phone (608) 849-9378
fax (608) 237-2129

PROFESSIONAL ENGINEERING LLC

**5110 HIGH CROSSING BLVD
UTILITY PLAN**
MADISON, WISCONSIN

C300



- NOTES:**
1. Lawn areas to receive a minimum of 4" of topsoil, starter fertilizer, and locally grown bluegrass seed.
 2. No more turf areas to receive a minimum of 4" of topsoil, no more seed mix, starter fertilizer, and straw mulch.
 3. All areas to be drainage matted and slopes 3:1 and greater shall be finished with Durice erosion control fabric (provided per manufacturer's specifications).
 4. Foundation retaining walls to be finished with 7" washed stone masonry to a depth of 3' over wood barrier fabric.
 5. Planting beds located on bank mounds to be mulched with shredded hardwood bark mulch spread to a depth of 3' over wood barrier fabric.
 6. Individual trees and shrub groups to be installed in areas to receive shredded hardwood bark mulch (a minimum of 2" depth) spread to a depth of 3'.
 7. Designated planting beds to be separated from lawn areas with 6" black vinyl edging.
 8. Rain garden to receive 1" shredded hardwood bark mulch.
 9. Rain garden parts (RSP) to be finished 12" on center.
 10. Rain garden to be installed per MOW specifications.
 11. Furnish and install accessible perimeter (from perimeter listed in parenthesis list) in group at building entrances, and other areas (owner will approve plant selection and location).
 12. Owner will be responsible for landscape maintenance after completion and acceptance of the project.
 13. None of the trees in the ATC assessment will grow taller than 15' at maturity.

PLANT MATERIAL LIST - PHASE 2 TOTALS

KEY	COMMON NAME	SIZE/ROOT	QTY
CANOPY TREES			
ABM	AUTUMN BLAZE MAPLE	2 1/2" BB	6
AL	AMERICAN BIRCH	2 1/2" BB	6
CH	COMMON HAWKCHERRY	2 1/2" BB	6
LLL	LITTLE LEAF LINDEN	2 1/2" BB	6
RBC	RIVER BIRCH CLUMP	12" BB	5
RM	RED MAPLE	2 1/2" BB	4
S4L	SKYLINE HONEY LOCUST	2" BB	14
SND	SWAMP WHITE OAK	2 1/2" BB	3
WBC	WHITE SPICE GRAY BIRCH	2" BB	1
LOW ORNAMENTAL TREES			
CP	GALLERY PEAR	2" BB	3
PD	PAGODA DOGWOOD	2" BB	2
PC	PRUNE FIRE CRAB	2" BB	6
TSC	SARGENT THORN CRAB	2" BB	13
EVERGREEN TREES			
WFS	BLACK HILLS SPRUCE	4" BB	3
EVERGREEN SHRUBS			
BRJ	BLUE RIDGE JAPANESE EMERALD ARBORVITAE	2 GAL. CON	82
EA	EMERALD ARBORVITAE	4" BB	11
TALL SHRUBS			
ASS	AUTUMN BRILLIANCE SERVICE BERRY	5" BB	5
A18	ARROWWOOD VIBURNUM	4" BB	14
W4	WITCH HAZEL	4" BB	3
WTV	WINTERBURN TREE VIBURNUM	3" BB	3
MEDICAL SHRUBS			
BC	BLACK CHERRYBERRY	24" POT	15
DCN	DAWNY CORNUS HIBERNICA	24" POT	8
DCV	DAWNY CORNUS BUSH VIBURNUM	24" POT	69
RTD	RED TWIG DOGWOOD	24" POT	19
WS	WHITE SNOWDRIFT	24" POT	32
YTD	YELLOW TWIG DOGWOOD	24" POT	7
LOW SHRUBS			
AC	ALPINE CURRANT	18" POT	32
CC	CORONILLA	18" POT	56
GFS	GOLD FLAME SPirea	18" POT	8
SO-RETENTION PLANTINGS			
RSP	PLANTED UP ON CENTER COMMON BLUE STAR BOTTLE BRUSH OBESIDIAN PLANT COLUMBINE SMOOTHGRASS BLACK EYED SUSAN WILD RICE SWAMP MILKWEED WHITE TURTLEHEAD CARDINAL FLOWER TURKEY CAP LILY LITTLE BLUESTEM GANAMA WILD RICE HOODS ONION	2 1/2" FLUG	1,610
PERENNIALS			
P	(ASSORTED) AUTUMN BELLSM BLACK EYED SUSAN BUTTERFLY BUSH DWARF FOUNTAIN GRASS FERN PRUNE BLAZING STAR PRUNE DROSPERED RATTLESNOW MASTER LITTLE BLUESTEM STELLA DE GRD DAILY PURPLE CORNFLOWER	1 GAL. CON	70

MADISON LANDSCAPE WORKSHEET

Landscape Plants Required
 Impervious Area = 80,800 SF
 Landscape Plants Required: 81,500/200 = 273 units @ 5 plants/ft² = 1,365 plants

Landscape Plants Suggested
 Proposed canopy trees = 52 @ 35" = 1,820 plants
 Proposed ornamental trees = 24 @ 15" = 360 plants
 Proposed evergreen trees = 1 @ 30" = 100 plants
 Proposed deciduous shrubs = 65 @ 3" = 195 plants
 Proposed evergreen shrubs = 124 @ 4" = 496 plants
 Proposed perennials & grasses = 17 @ 2" = 34 plants
 Total landscape plants suggested = 3,211 plants

Street Frontage Landscape Required
 Street Frontage = 795 LF
 Canopy Trees Required: 190 LF Frontage = 22 Trees
 Dry-Ze Required: 500 LF Frontage = 118 Shrubs

Street Frontage Landscape Suggested
 Proposed canopy trees = 22 Trees
 Proposed shrubs = 118 shrubs

Interior Parking Lot Landscape Required
 Parking Area Required: 71,145 SF @ 8% (1%) = 5,692 SF
 Canopy Trees Required: 17,662 SF planting area = 32 Trees

Interior Parking Landscape Suggested
 Proposed canopy trees = 12 Trees

1 LANDSCAPE PLAN
1" = 30'



HOLIDAY INN EXPRESS

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MADISON, WI

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PROJECT # 14130 & 14131

LANDSCAPE PLAN

L1.0

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CONCRETE FINISHES

NO.	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	CONCRETE FINISHES	SQ. FT.	100	1.00	100.00
2	CONCRETE FINISHES	SQ. FT.	200	2.00	400.00
3	CONCRETE FINISHES	SQ. FT.	300	3.00	900.00
4	CONCRETE FINISHES	SQ. FT.	400	4.00	1600.00
5	CONCRETE FINISHES	SQ. FT.	500	5.00	2500.00
6	CONCRETE FINISHES	SQ. FT.	600	6.00	3600.00
7	CONCRETE FINISHES	SQ. FT.	700	7.00	4900.00
8	CONCRETE FINISHES	SQ. FT.	800	8.00	6400.00
9	CONCRETE FINISHES	SQ. FT.	900	9.00	8100.00
10	CONCRETE FINISHES	SQ. FT.	1000	10.00	10000.00

SHEET 1 OF 1



1 SITE LIGHTING PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

SCHULTZ ELECTRIC
8411 MURPHY DR.
MIDDLETON, WI 53562
(608)838-7072
WWW.PEPPERPOWER.COM



ES
SITE LIGHTING-LED
PROJECT: HIGH CROSSING
JOB #
PH. 35 CAD. AM

HOLIDAY INN EXPRESS

5110 HIGH CROSSING BLVD
 MADISON, WI

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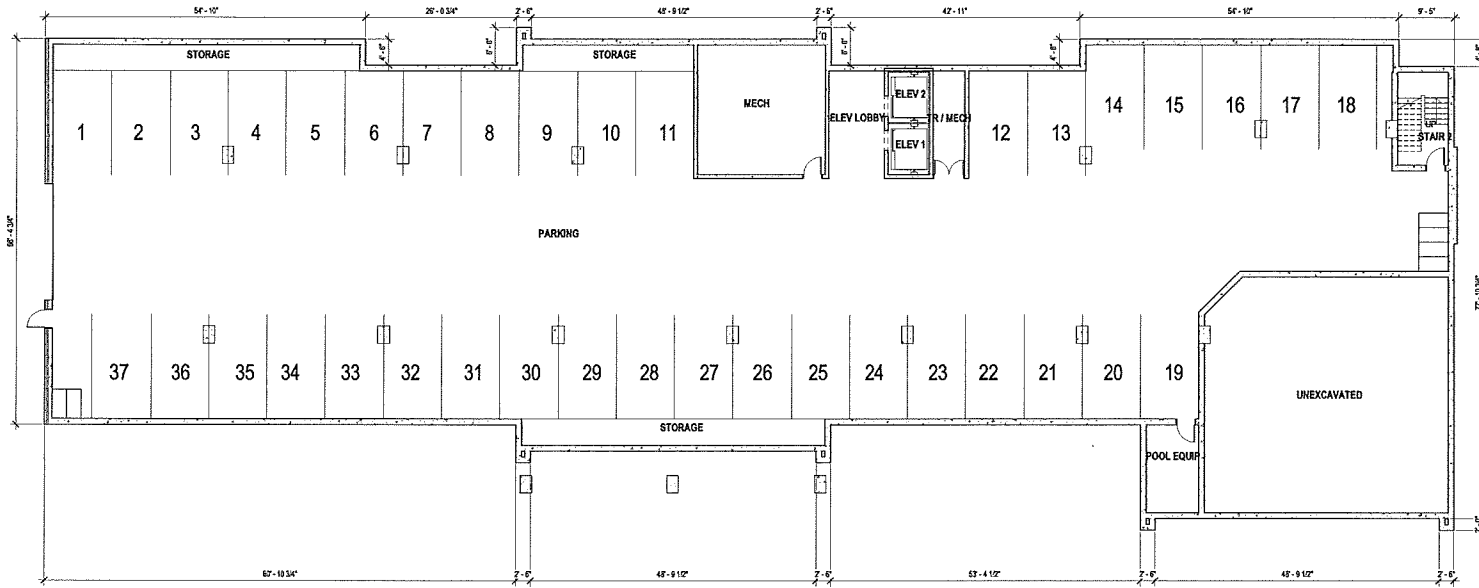
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BASEMENT FLOOR PLAN

AA1.0



1 BASEMENT
 332' x 112'



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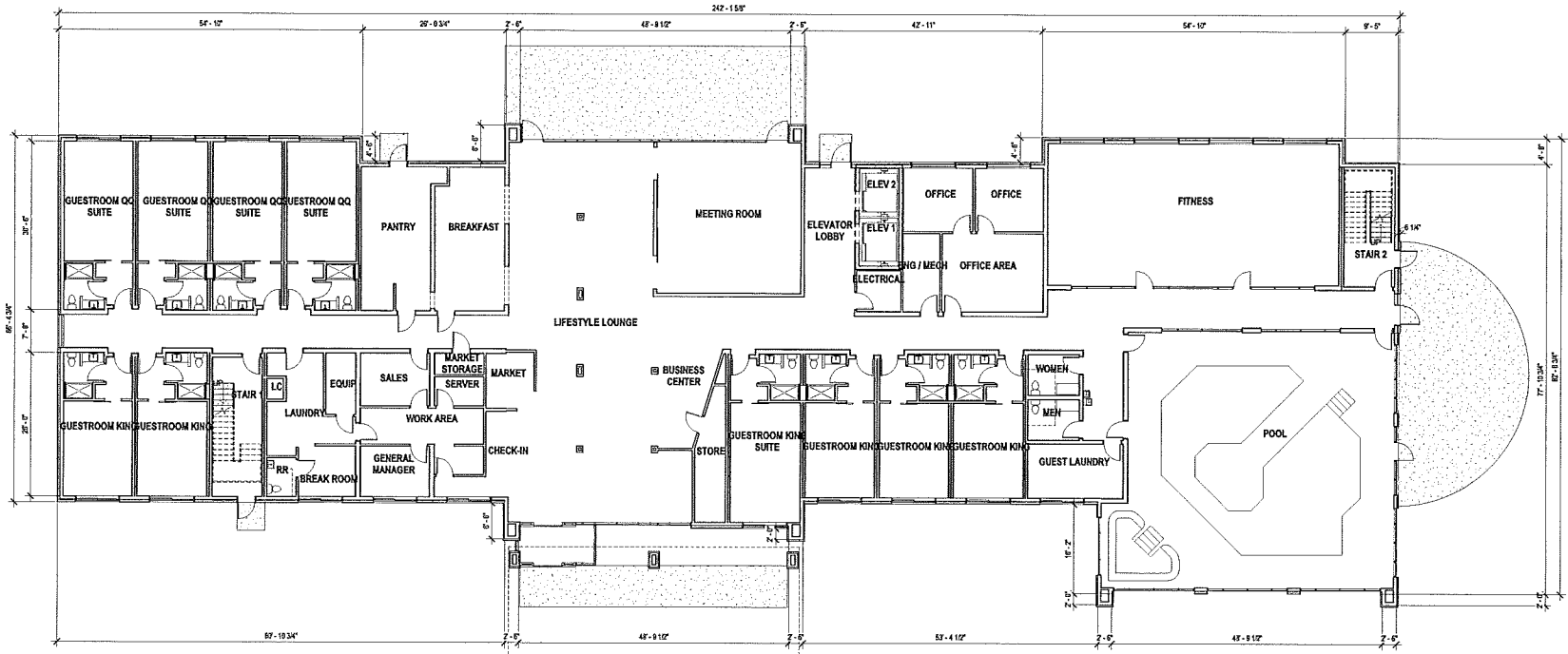
REVISIONS:

PROJECT # 14130 & 14131

FIRST FLOOR PLAN



AA1.1



1 FIRST FLOOR
332'-11" x 112'

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5110 HIGH CROSSING BLVD
 MADISON, WI

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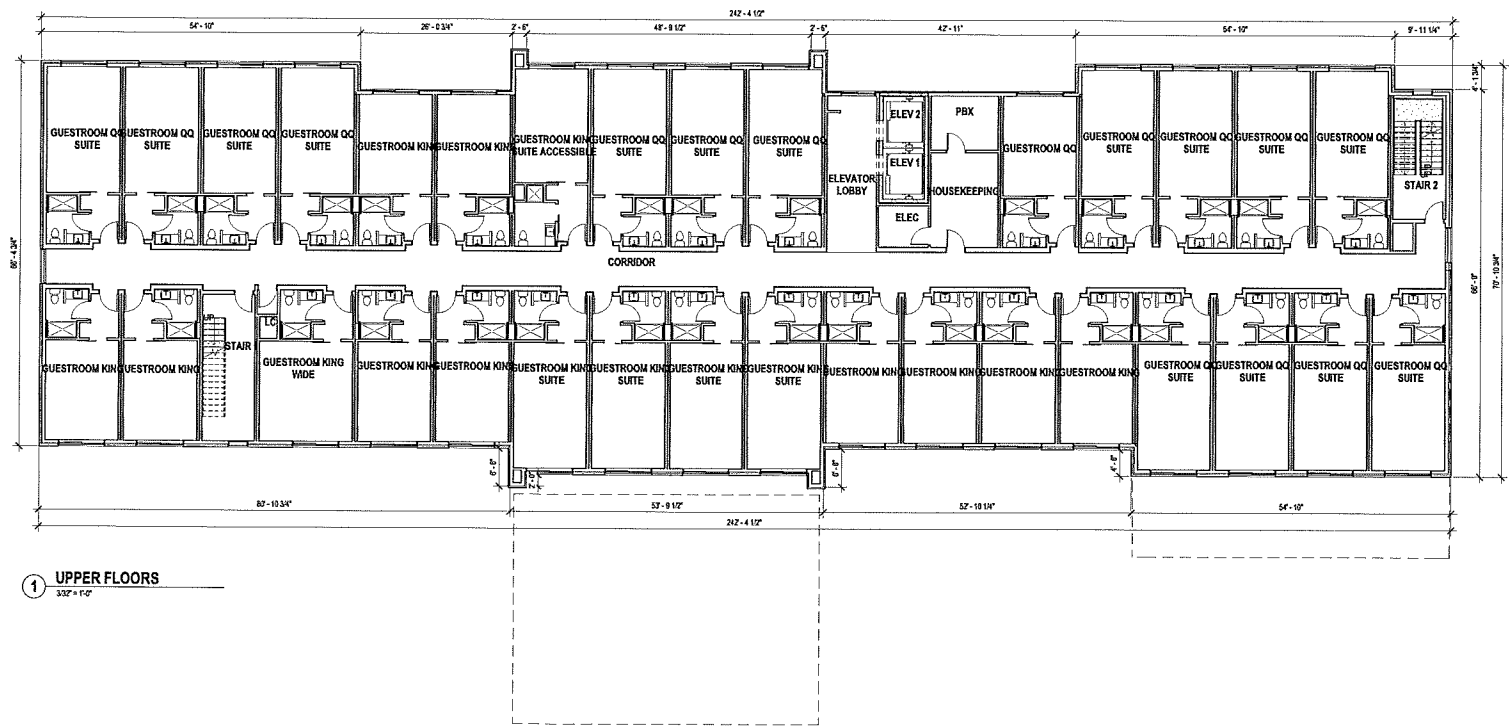
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**UPPER FLOOR
 PLANS**



AA1.2



1 UPPER FLOORS
 332'-1 1/2"

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MADISON, WI

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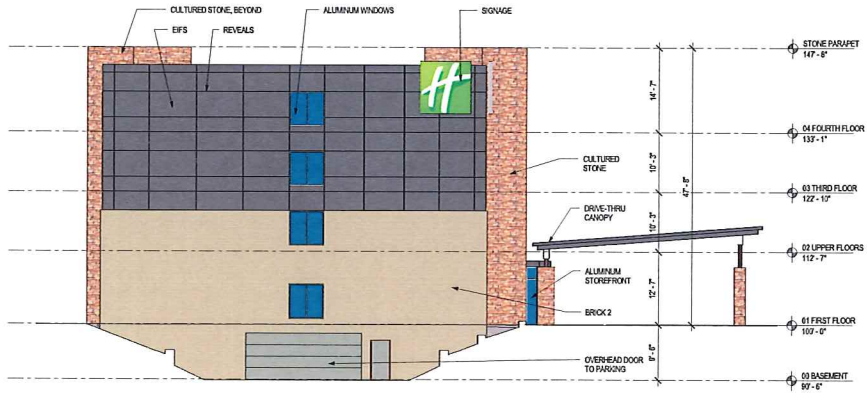
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**EXTERIOR
ELEVATIONS**

AA2.0



② WEST ELEVATION
332' x 1'-0"



① NORTH ELEVATION
332' x 1'-0"

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HOLIDAY INN EXPRESS

5110 HIGH CROSSING BLVD
MADISON, WI

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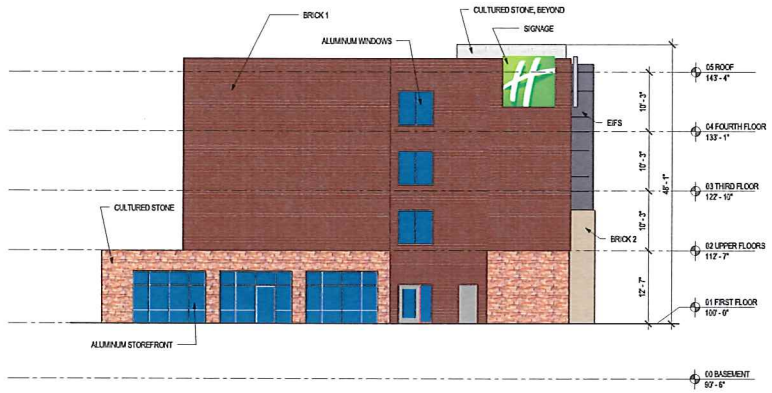
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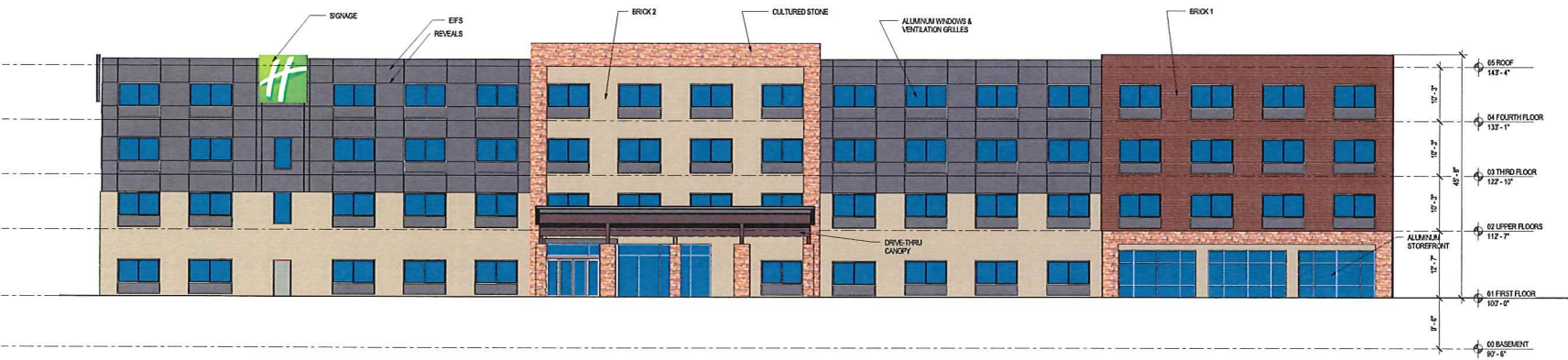
PROJECT # 14130 & 14131

**EXTERIOR
ELEVATIONS**

AA2.1



② EAST ELEVATION
302' x 1'-0"



① SOUTH ELEVATION
302' x 1'-0"

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DIMENSION

Madison Design Group
architecture - engineering - interior design

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5110 HIGH CROSSING BLVD
MADISON, WI

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PERSPECTIVE VIEW

AA2.2

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GOLD'S GYM HIGH CROSSING

5110 HIGH CROSSING BLVD
 MADISON, WI

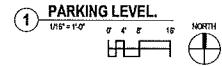
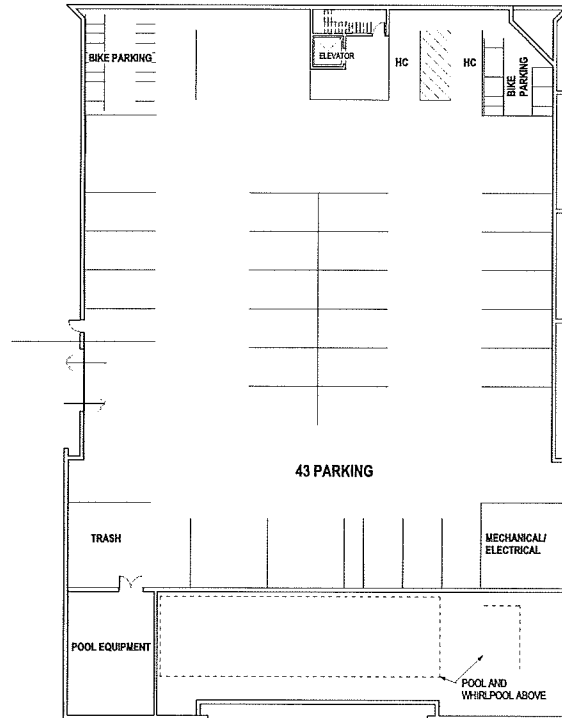
**PLAN COMMISSION
 SUBMITTAL**

DATE OF ISSUE: 2/17/2015

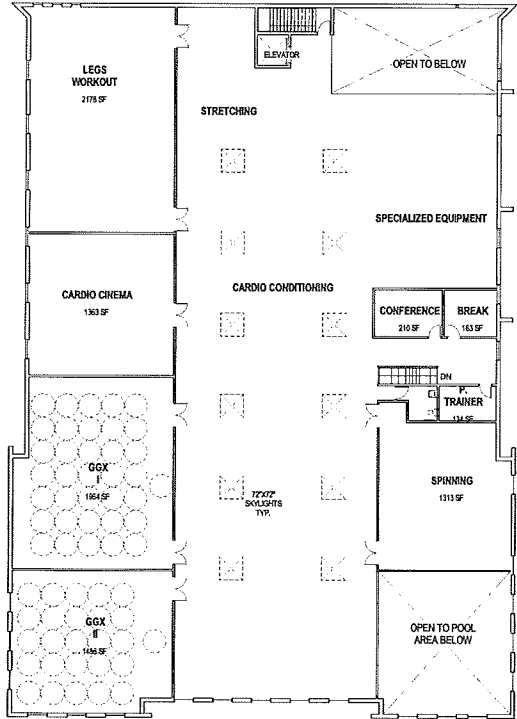
REVISIONS:

PROJECT # 14131

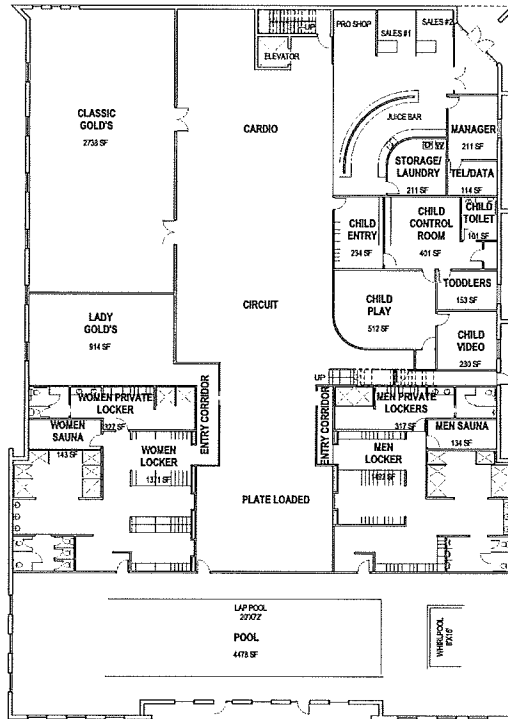
PARKING LEVEL



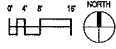
AB1.0



2 MEZZANINE FLOOR
1/8" = 1'-0"
20,330 gsf



1 FIRST FLOOR
1/8" = 1'-0"
22,770 gsf



GOLD'S GYM HIGH CROSSING

5110 HIGH CROSSING BLVD
MADISON, WI

PLAN COMMISSION SUBMITTAL

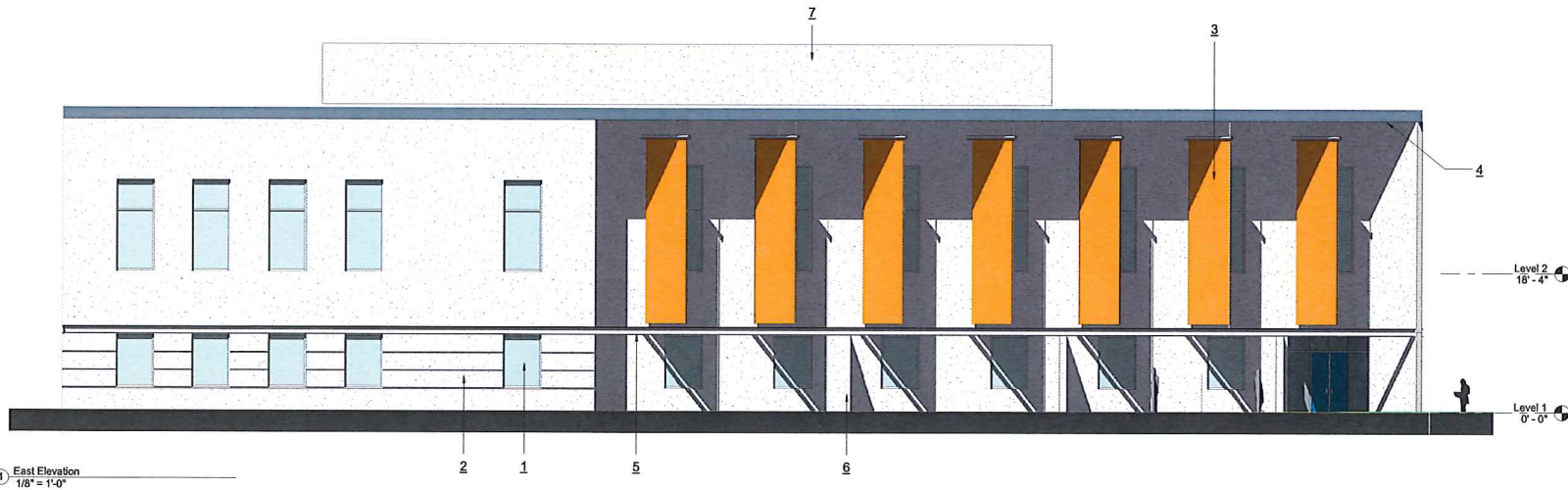
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REVISIONS:

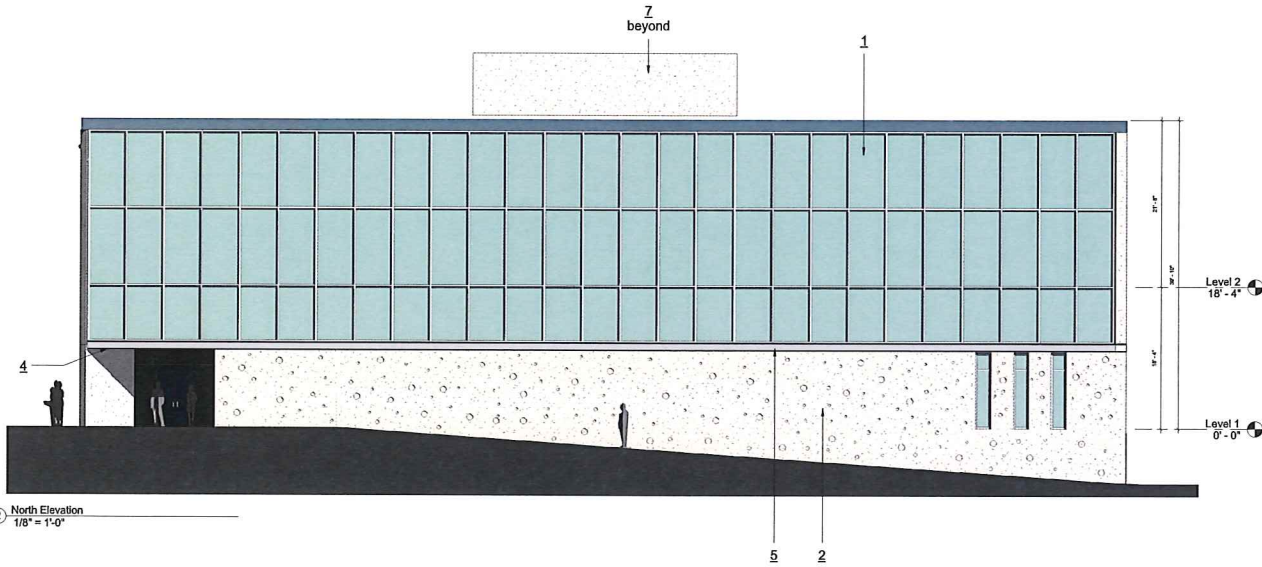
PROJECT # 14131

FLOOR PLANS

AB1.1



① East Elevation
1/8" = 1'-0"



② North Elevation
1/8" = 1'-0"

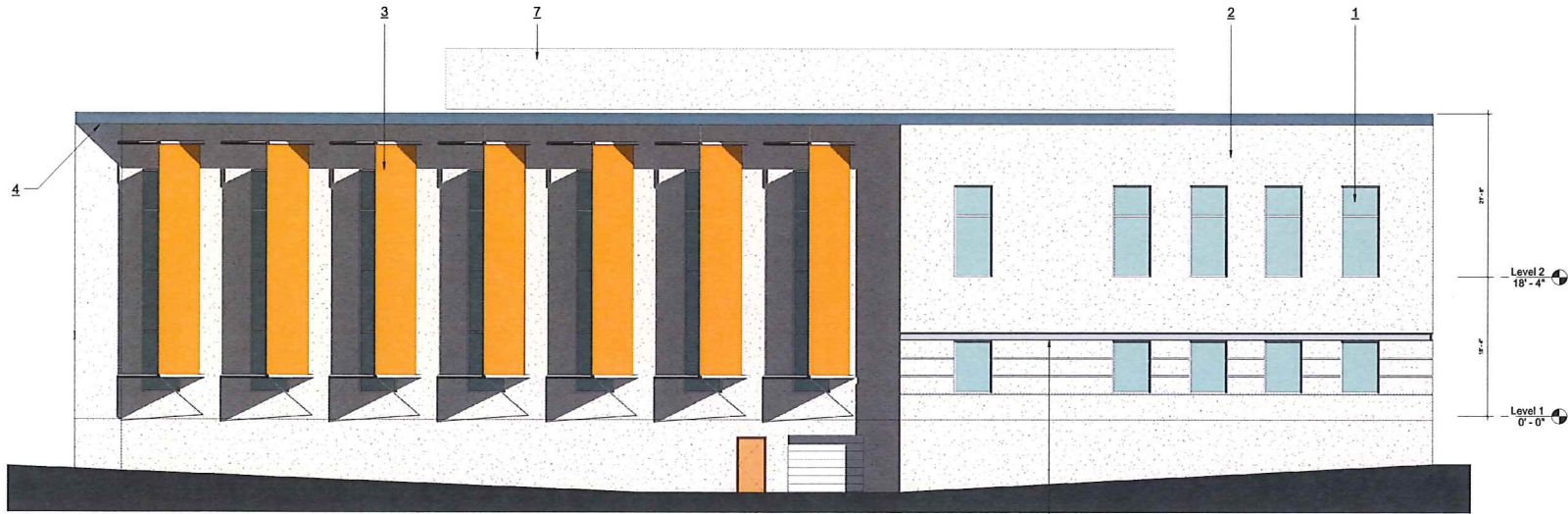
MATERIAL KEY

1. Thermally Broken Aluminum Window System
2. Sandblasted White Concrete with reveals/nustications
3. Fabric Sunscreens with Steel/Cable support system
4. Exterior Soffit with Exterior Finish System (Direct Applied 100% Acrylic Architectural Coating)
5. Hot Dipped Galvanized (G90) Steel Channel with Thermal Break Attachment
6. Sandblasted Solid White Concrete Piers
7. Rooftop Screen (5/8" Cem-Clad Panels with Steel Support system)
8. Galvanized Steel Grate Sunshade Device with Steel Support system

Gold's Gym

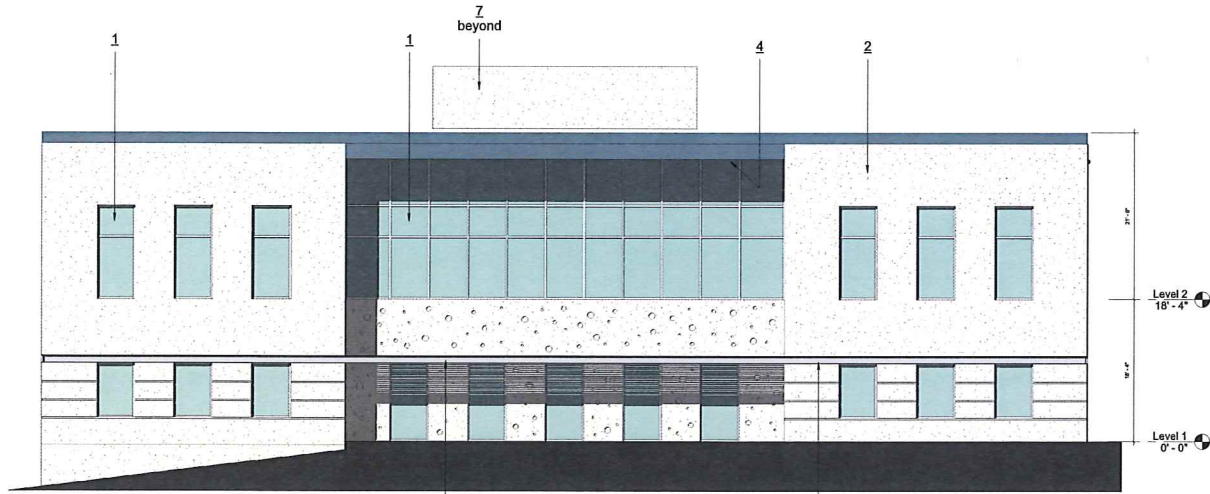
5110 High Crossing Blvd
Madison, Wisconsin

KEE
architecture



① West Elevation
1/8" = 1'-0"

5



② South Elevation
1/8" = 1'-0"

8

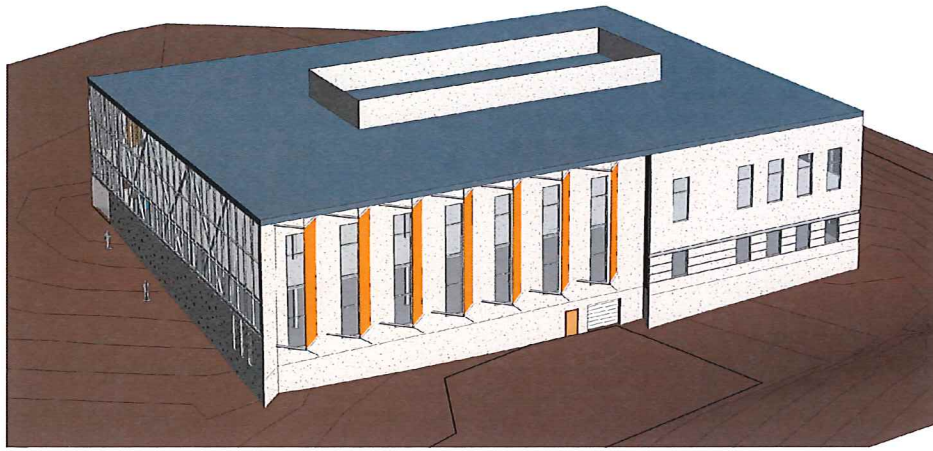
5

MATERIAL KEY

1. Thermally Broken Aluminum Window System
2. Sandblasted White Concrete with reveals/rustications
3. Fabric Sunscreens with Steel/Cable support system
4. Exterior Soffit with Exterior Finish System (Direct Applied 100% Acrylic Architectural Coating)
5. Hot Dipped Galvanized (G30) Steel Channel with Thermal Break Attachment
6. Sandblasted Solid White Concrete Piers
7. Rooftop Screen (5/8" Cem-Clad Panels with Steel Support system)
8. Galvanized Steel Grate Sunshade Device with Steel Support system

Gold's Gym
5110 High Crossing Blvd
Madison, Wisconsin

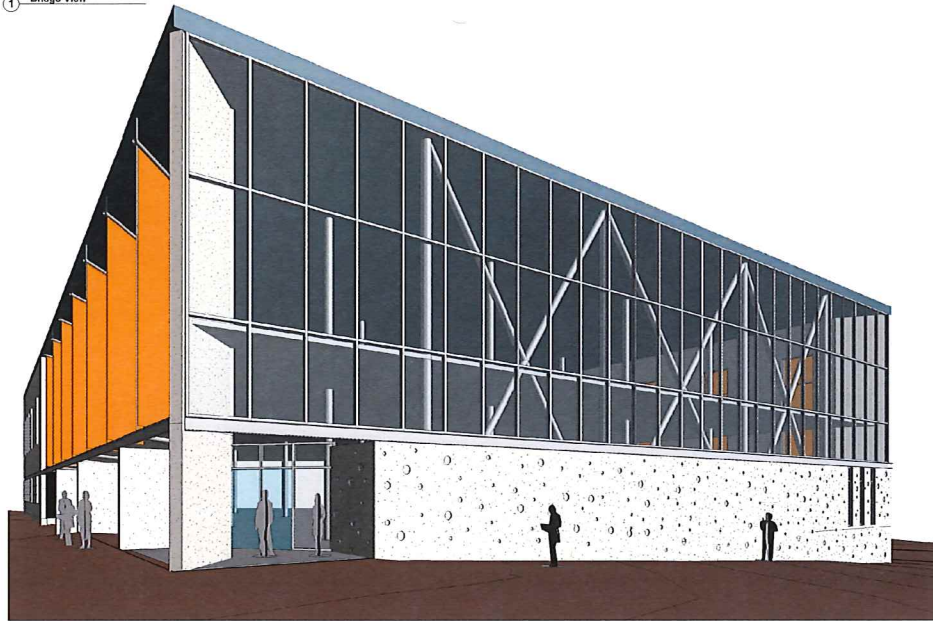




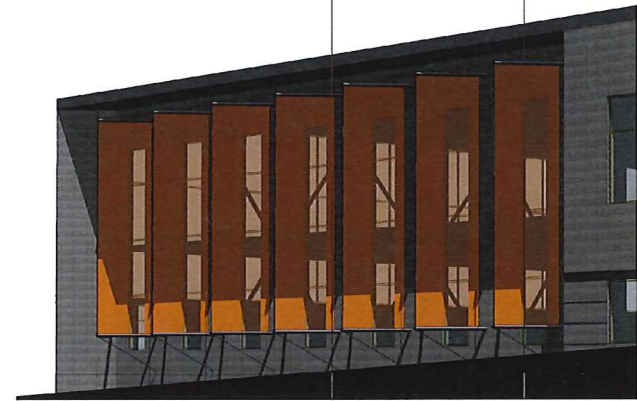
① - Bridge View



③ - Street View



② - Entrance View



④ - View Showing Sunshade Transparency



⑤ - View from Highway (going west)

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