



PROJECT INFORMATION

PROPOSED RENOVATION FOR:
KWIK TRIP STORE #1513
 3401 UNIVERSITY AVE • MADISON, WI 53705

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 10, 2020

REVISIONS

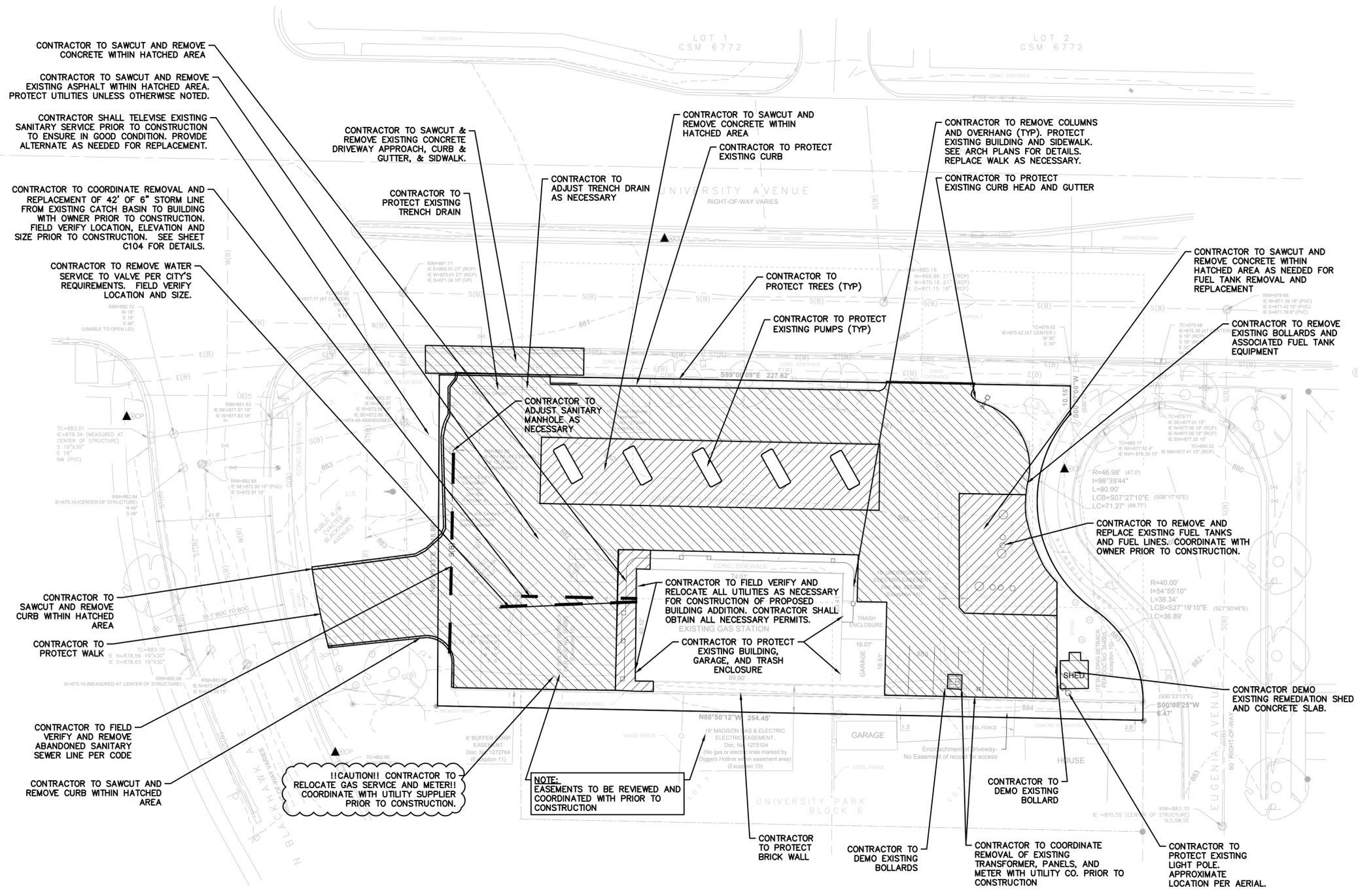
NO.	DESCRIPTION

JOB NUMBER

2028620

SHEET NUMBER

C101

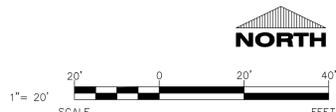


FINISH FLOOR NOTE:
 CONTRACTOR TO FIELD VERIFY FINISH FLOOR ELEVATION OF 883.00 PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGN ENGINEER IF FINISH FLOOR IS NOT 883.00.

SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EXISTING CONDITIONS NOTE:
 EXISTING CONDITIONS PER SNYDER & ASSOCIATES, INC. PROJECT NO. 120.0495.30 DATED JULY 1, 2020. CONTACT SCOTT ANDERSON @ SANDERSON@SNYDER-ASSOCIATES.COM OR 608-838-0444 X238 FOR ANY QUESTIONS REGARDING EXISTING CONDITIONS.

- GENERAL NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES AND SITE CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - CONTRACTOR TO VERIFY LIMITS OF DEMOLITION AND REPLACEMENT. PROVIDE UNITS COSTS FOR REPLACEMENT OF ITEMS ANTICIPATED TO BE DISTURBED BEYOND THE LIMITS SHOWN.
 - CONTRACTOR TO COORDINATE FUEL TANK AND LINE REPLACEMENT WITH KWIK TRIP PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO ADJUST UTILITY STRUCTURE RIMS AS NECESSARY FOR IMPROVEMENTS.
 - CONTRACTOR TO COORDINATE REMOVAL AND REPLACEMENT OF EXISTING IRRIGATION LINES PRIOR TO CONSTRUCTION.
 - THE RIGHT-OF-WAY IS SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



CIVIL EXISTING SITE AND DEMOLITION PLAN



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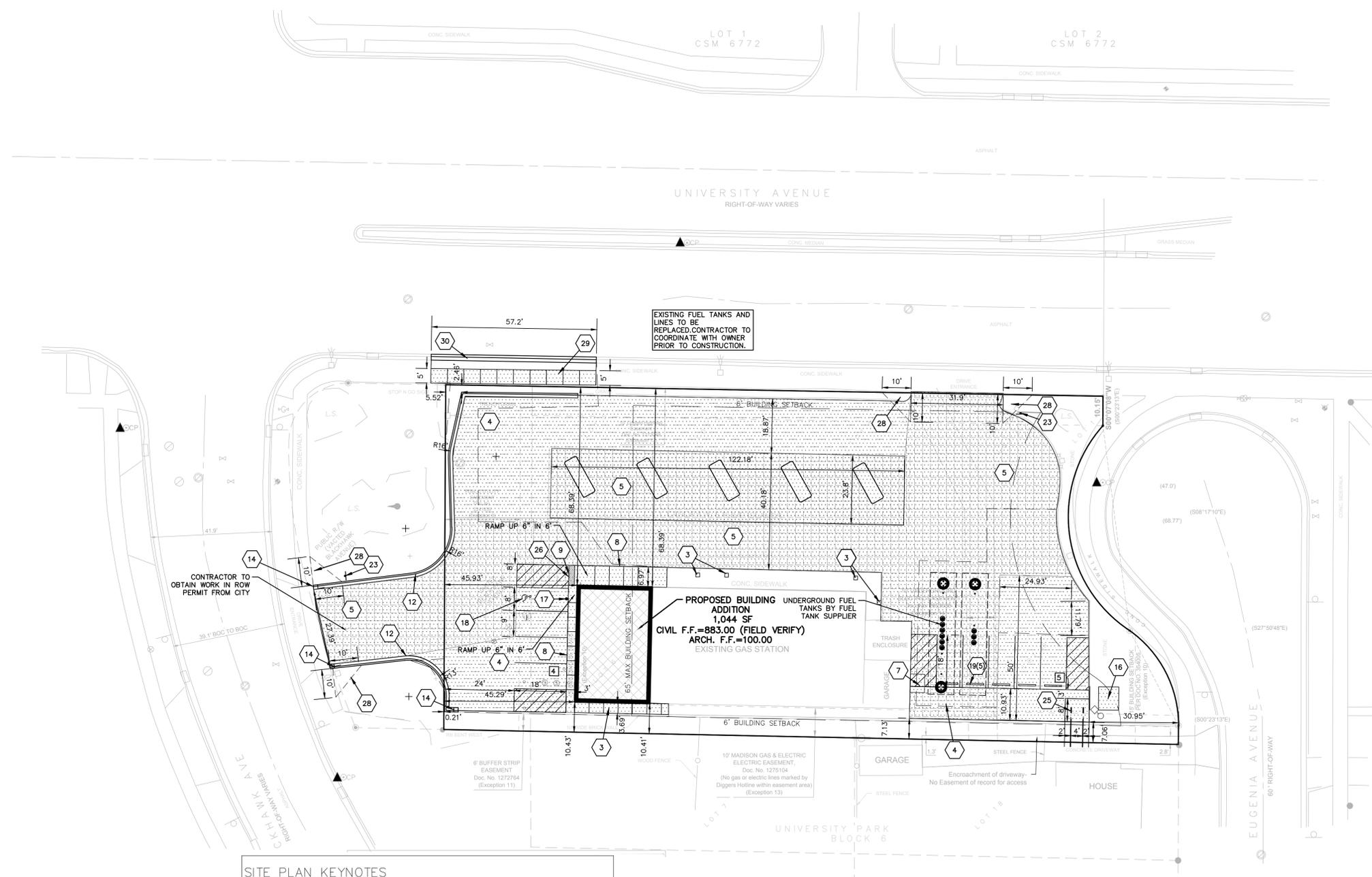
NO.	DESCRIPTION

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2028620

SHEET NUMBER

C102



EXISTING FUEL TANKS AND LINES TO BE REPLACED. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO CONSTRUCTION.

PROPOSED BUILDING ADDITION
 UNDERGROUND FUEL TANKS BY FUEL TANK SUPPLIER
 CIVIL F.F.=883.00 (FIELD VERIFY)
 ARCH. F.F.=100.00
 EXISTING GAS STATION

SITE PLAN KEYNOTES

3	CONCRETE SIDEWALK (MATCH EXISTING)
4	LIGHT DUTY CONCRETE (TYP.)
5	HEAVY DUTY CONCRETE (TYP.)
7	CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
8	RAISED WALK (TYP.)
9	FLUSH WALK (TYP.)
12	CURB & GUTTER (MATCH EXISTING)
14	CURB TAPER (TYP.)
16	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
17	HANDICAP PIPE BOLLARD (TYP.)
18	HANDICAP STALL & STRIPING PER STATE CODES.
19	PRECAST WHEEL STOP (TYP.)
23	STOP SIGN (MOUNTED AT A HEIGHT OF 7' ABOVE GROUND ELEVATION PER CITY REQUIREMENTS)
25	BIKE RACK (TYPE & COLOR BY OWNER)
26	DETECTABLE WARNING PLATE
28	10' VISION TRIANGLE (TYP.) 30" TO 10' CLEARANCE (NO OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30" & 10')
29	PUBLIC CONCRETE SIDEWALK (PER CITY OF MADISON REQUIREMENTS)
30	PUBLIC CURB & GUTTER (PER CITY OF MADISON REQUIREMENTS)
X(X)	IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

IMPERVIOUS DATA

	AREA (SF)
EXISTING PAVEMENT AREA	20,730
PROPOSED PAVEMENT AREA	19,663
REPLACED IMPERVIOUS AREA	18,444
ASPHALT TO CONCRETE	13,991
CONCRETE TO CONCRETE	4,301
ADDED IMPERVIOUS AREA	76
RESURFACED IMPERVIOUS AREA	0

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.63	27,539	
BUILDING FLOOR AREA	0.08	3,331	12.1%
PAVEMENT (ASP. & CONC.)	0.47	20,304	73.7%
TOTAL IMPERVIOUS	0.54	23,635	85.8%
LANDSCAPE/ OPEN SPACE	0.09	3,904	14.2%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.63	27,539	
BUILDING FLOOR AREA	0.10	4,376	15.9%
PAVEMENT (ASP. & CONC.)	0.44	19,042	69.1%
TOTAL IMPERVIOUS	0.54	23,418	85.0%
LANDSCAPE/ OPEN SPACE	0.09	4,121	15.0%

SITE INFORMATION:

LEGAL DESCRIPTION: Lot six(6) and part of lots one(1), two(2), three(3), four(4), five(5), and nineteen(19), block 6 University Park of Section 20 Town/North Range: East, City of Madison, Dane County, Wisconsin. Together with that part of vacated Blackhawk Avenue as set forth in Volume 15294 of Records, Page 72 as Document Number 2241839.

PROPERTY AREA: AREA = 27,539 S.F. (0.63 ACRES).
 EXISTING ZONING: CC-T COMMERCIAL CORRIDOR-TRANSITIONAL DISTRICT-URBAN DISTRICT 6
 PROPOSED ZONING: CC-T COMMERCIAL CORRIDOR-TRANSITIONAL DISTRICT-URBAN DISTRICT 6
 PROPOSED USE: GAS STATION WITH C-STORE
 AREA OF SITE DISTURBANCE: 8,550 S.F. (0.20 ACRES)
 SETBACKS: BUILDING: FRONT = 65' (MAX)
 SIDE = 6'
 REAR = 20'
 PAVEMENT: FRONT = NONE
 SIDE = NONE
 REAR = NONE
 PROPOSED BUILDING HEIGHT: 16'-0" TOP OF PARAPET (MAX. HEIGHT ALLOWED: 68')
 22'-6" TOP OF ACCENT GABLE ROOF
 PARKING REQUIRED: MAX 1/500 SF FLOOR AREA (9 SPACES)
 NO MIN. PARKING REQUIREMENTS.
 PARKING PROVIDED: 10 EXISTING FUEL PUMP SPACES
 9 PROPOSED PARKING SPACES (1 H.C. ACCESSIBLE)
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
 BUILDING OCCUPANCY CLASSIFICATION = M-MERCANTILE
 CLASS OF BUILDING CONSTRUCTION = 5B
 LANDSCAPE REQUIREMENTS:
 MAXIMUM LOT COVERAGE - 85%

FINISH FLOOR NOTE:

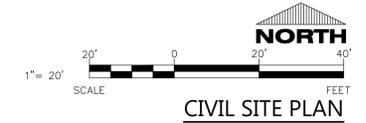
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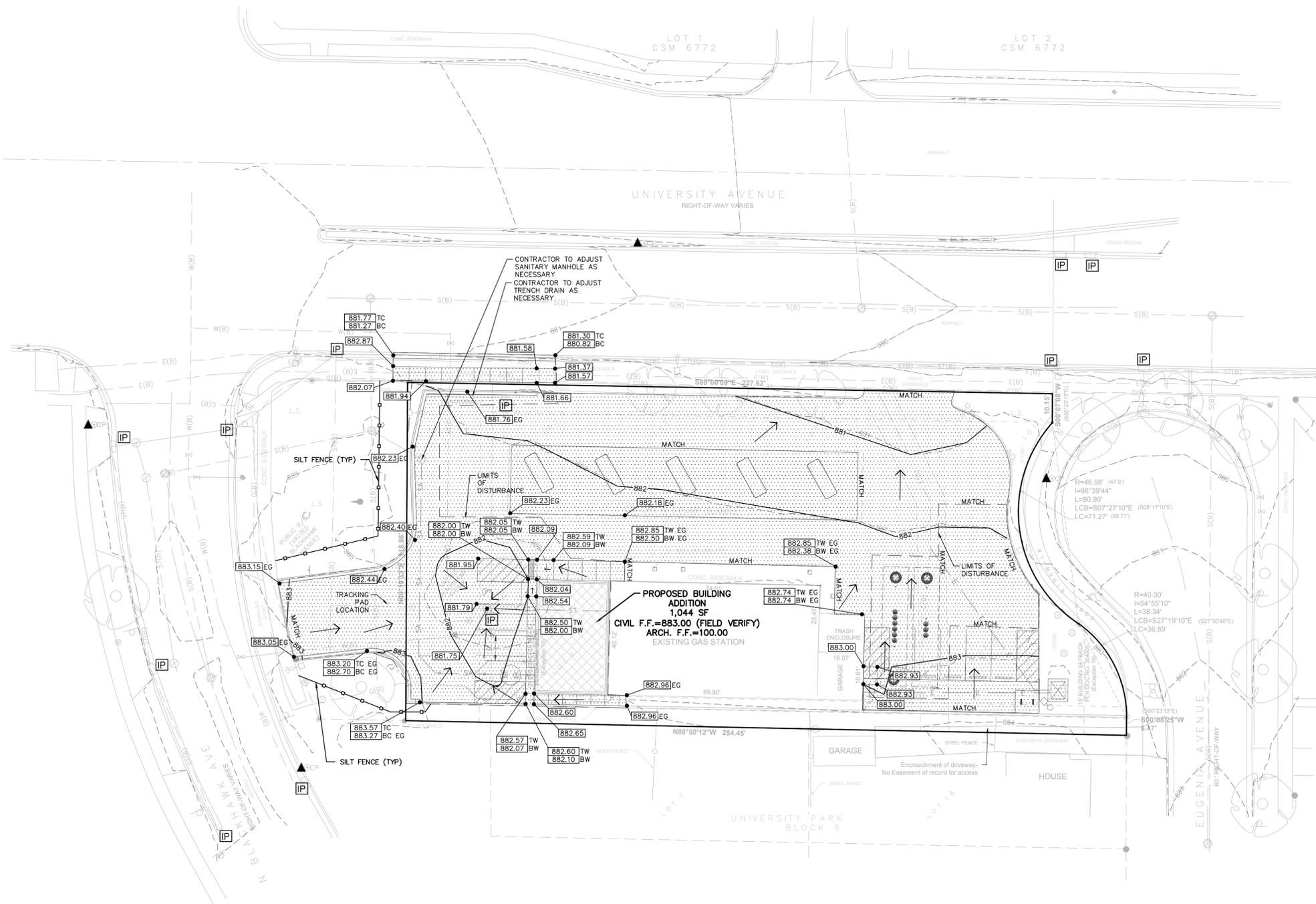
SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

PAVEMENT HATCH KEY:

[Hatch]	SIDEWALK CONCRETE
[Hatch]	LIGHT DUTY CONCRETE
[Hatch]	HEAVY DUTY CONCRETE

GENERAL NOTES:
 1. CONTRACTOR TO COORDINATE FUEL TANK AND LINE REPLACEMENT WITH KWIK TRIP PRIOR TO CONSTRUCTION.
 2. JOINTING PLAN BY CONTRACTOR TO BE PROVIDED TO ENGINEER PRIOR TO CONSTRUCTION.
 3. THE RIGHT-OF-WAY IS SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.





SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

- NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:(TYPE D)

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

FINISH FLOOR NOTE:

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EROSION CONTROL PERMIT CONDITIONS & REQUIREMENTS

Failure to abide by any of the following permit conditions will be considered a violation of the City's Erosion Control Ordinance (MGO Ch. 37) and can result in the issuance to the permittee and/or the property owner of Official Notices, citations, and/or referral to the City Attorney for resolution of non-compliance.

Erosion & Sediment Control Measures are to be installed prior to any land disturbance activities.

Within ten (10) days of the completion of the project or site stabilization the applicant shall submit an Erosion Control Notice of Termination (ECNOT). The ECNOT should be sent to the administrative authority that initially approved your permit.

The Erosion Control Permit applicant shall conduct a pre-construction meeting attended by a Professional Engineer responsible for initial implementation certification of the erosion control plan. The Professional Engineer shall document and submit minutes of this meeting to City Engineering.

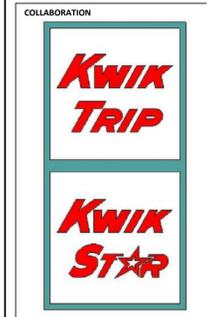
A Professional Engineer currently licensed in the State of Wisconsin shall certify the initial installation and implementation of the measures shown on the approved erosion control plan. Documentation on the City's Installation Certification form shall be submitted to the administrative authority within one (1) week of the installation. The certification form can be found on the City's webpage at <http://www.cityofmadison.com/engineering/Permits.cfm>.

As part of the Erosion Control Permit requirements this construction project requires erosion control inspections and reporting by the permittee (or by their authorized inspector). Inspections shall be conducted a minimum of once per week and also after every 24-hour rain event of 0.5" or more precipitation. The results of these inspections shall be entered on the City's permit and inspection tracking system.

Dust Control, if applicable shall be provided, per WDNR Conservation Practice Standard 1068.

Trench Dewatering, if applicable shall be provided, per WDNR Conservation Practice Standard 1061.

All BMP's installed for erosion control shall be in accordance with the applicable WDNR Conservation Practice Standards found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html



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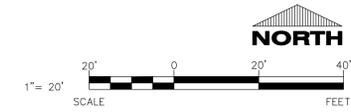
PROFESSIONAL SEAL

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SHEET ISSUE	NOV. 10, 2020
REVISIONS	

JOB NUMBER
2028620

SHEET NUMBER
C103



SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:
[DS] = DENOTES LOCATION OF DOWNSPOUT CONNECTING TO STORM LINE ABOVE GRADE. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:
[CO] = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.

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COLLABORATION

Kwik TRIP

Kwik STAR

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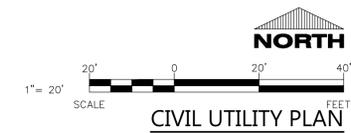
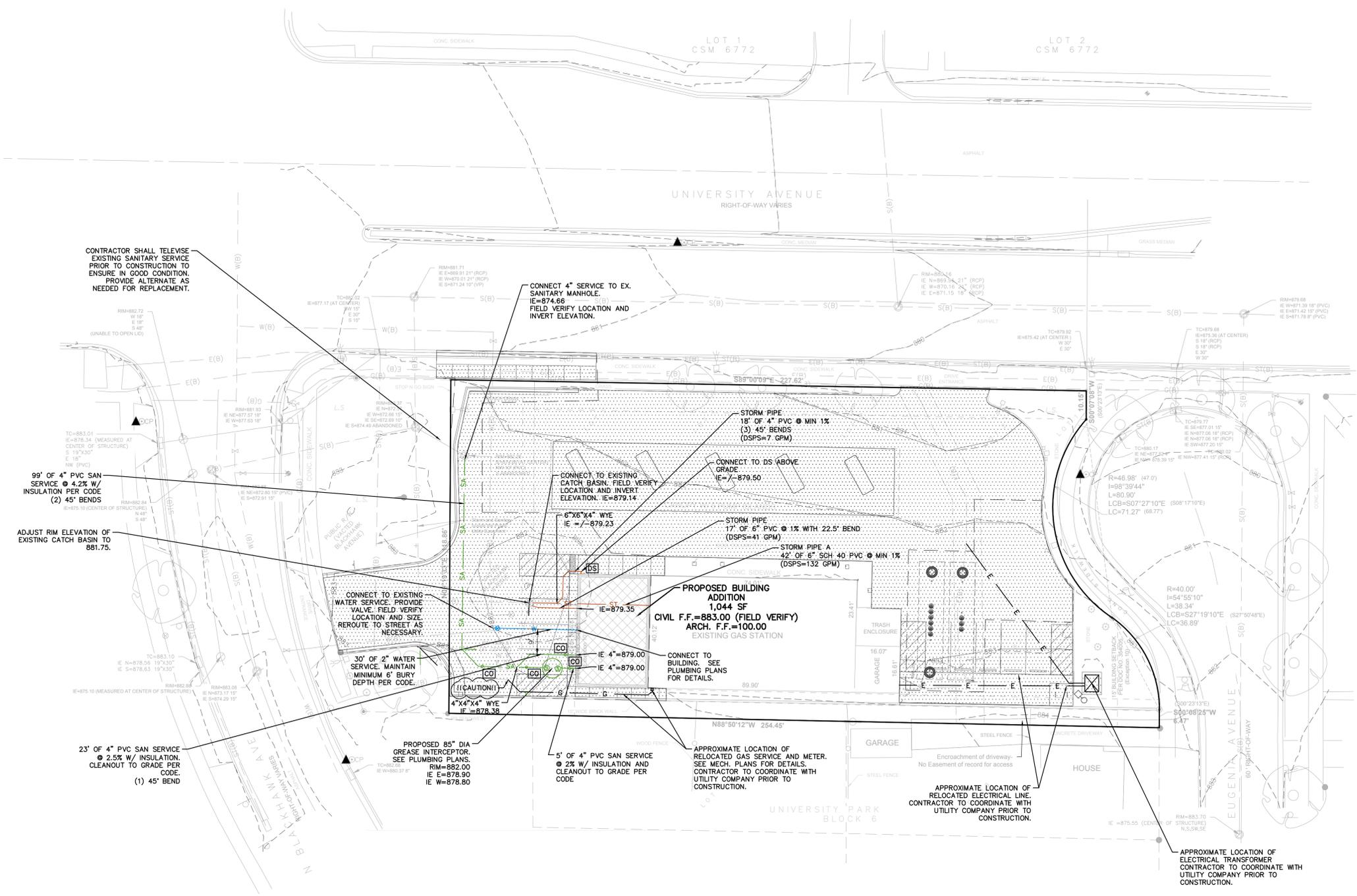
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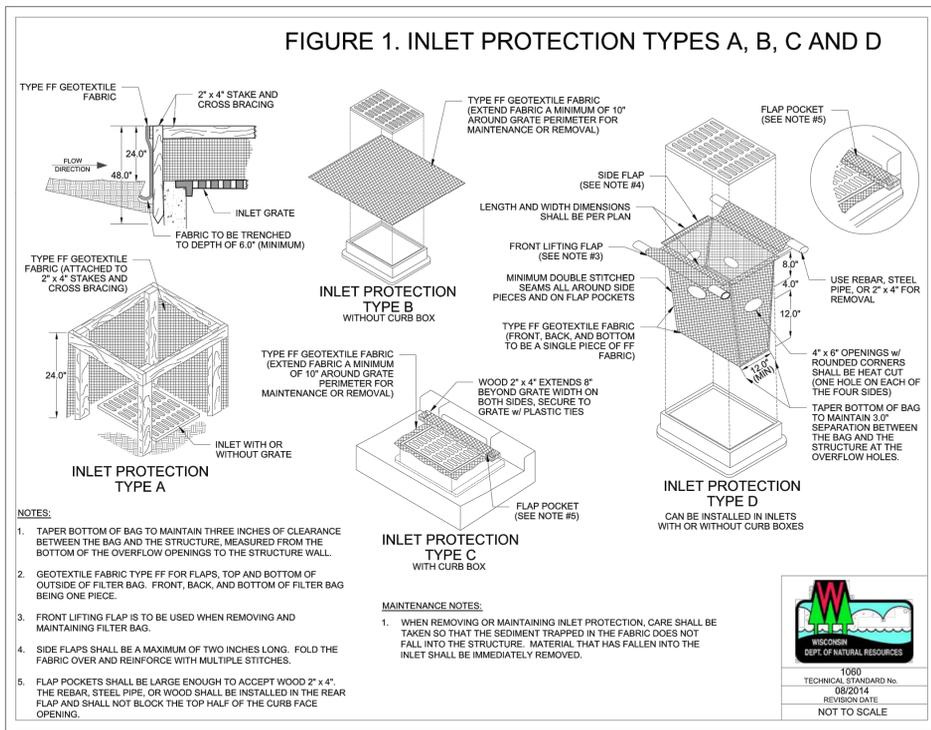
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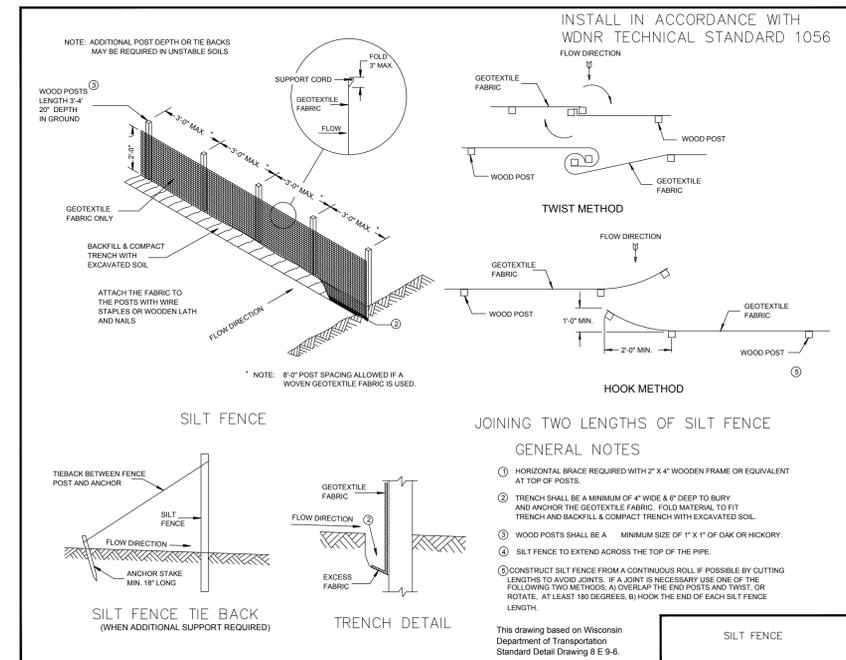
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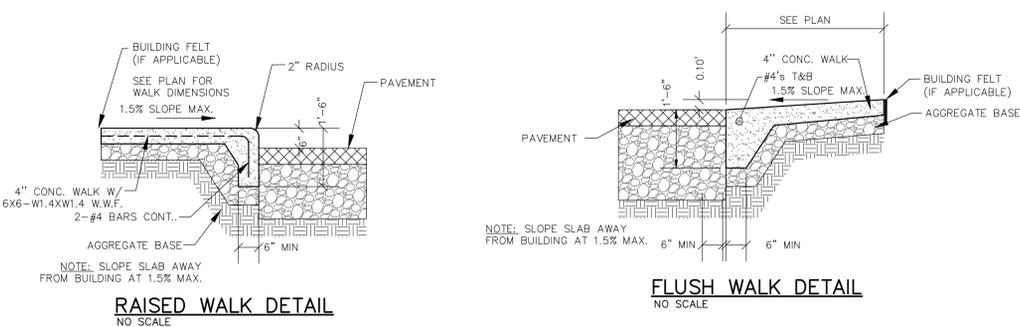




INLET PROTECTION DETAIL
NO SCALE

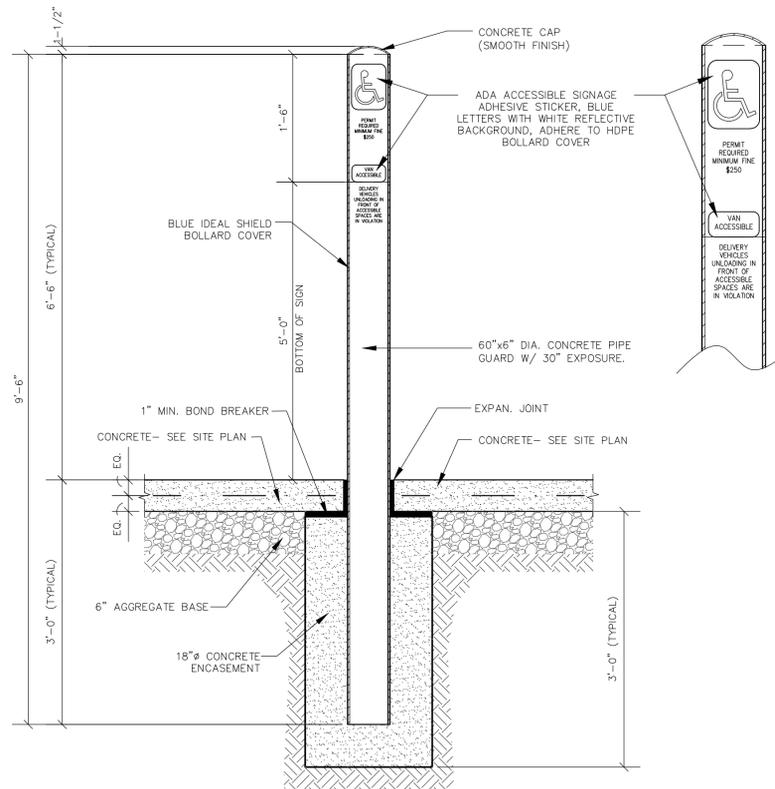


SILT FENCE - INSTALLATION DETAIL
NO SCALE

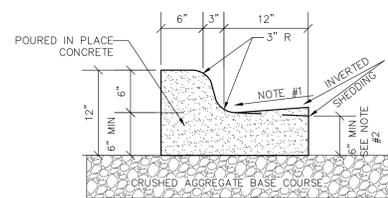


RAISED WALK DETAIL
NO SCALE

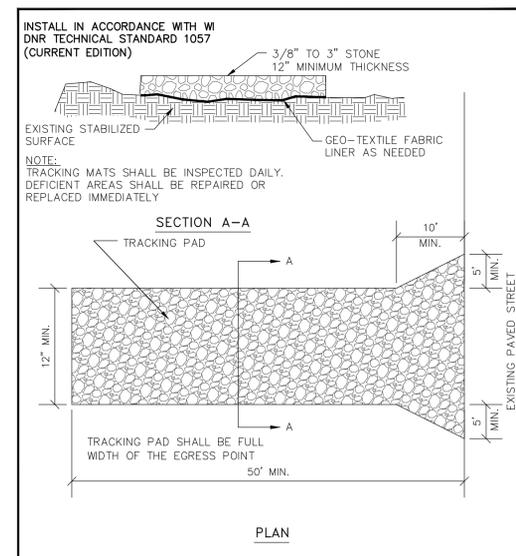
FLUSH WALK DETAIL
NO SCALE



6" HANDICAP PIPE BOLLARD DETAIL
NO SCALE



B6-12 CURB & GUTTER DETAIL
NO SCALE

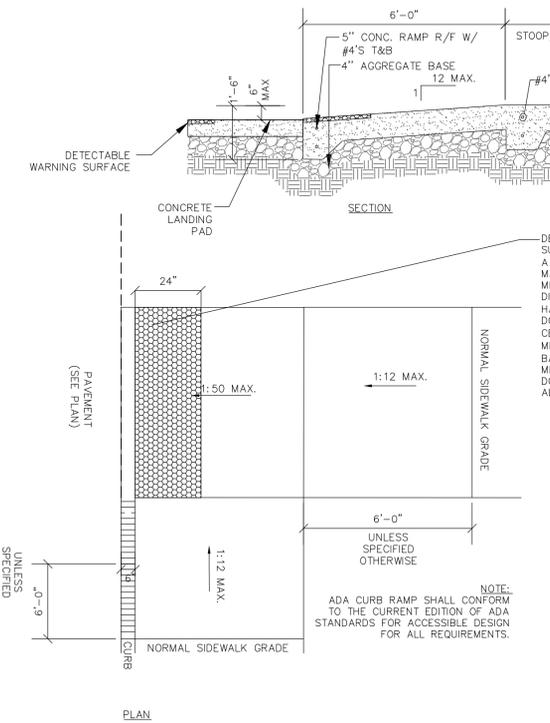


TRACKPAD DETAILS
NO SCALE

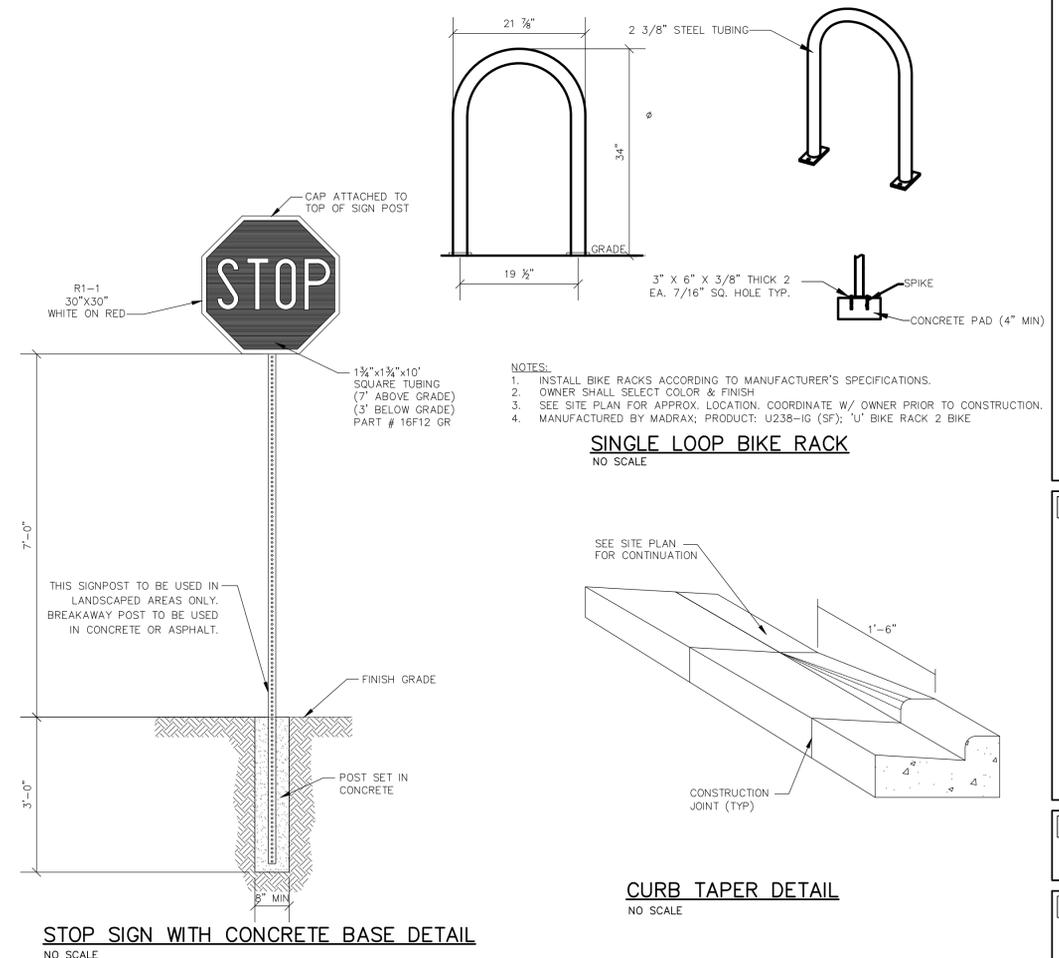
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ADA SIDEWALK RAMP DETAIL
NO SCALE



STOP SIGN WITH CONCRETE BASE DETAIL
NO SCALE

CURB TAPER DETAIL
NO SCALE

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Kwik Trip

Kwik Star

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C200



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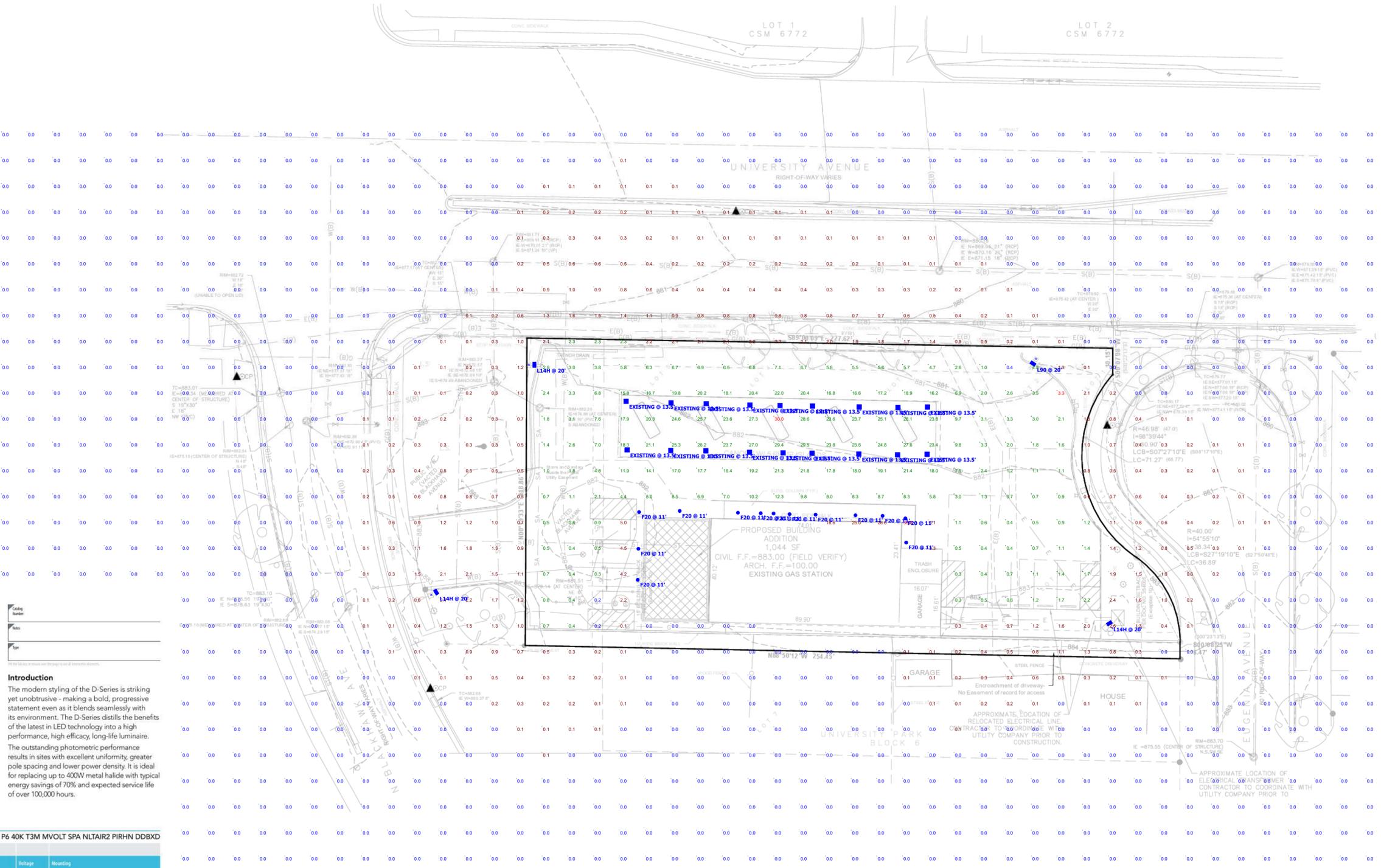
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PXP



Specifications

EPA: 0.95 ft² (0.09m²)

Length: 26" (660mm)

Width: 13" (330mm)

Height: 3" (76mm)

Height₁: 7" (178mm)

Weight: 16 lbs (7.3kg)

Weight (max): 0.3kg

D-Series Size 0 LED Area Luminaire

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics P1 P4 P7 P2 P5 P3 P6 Retrofitted optics P10 P12 P11 P13	30K 3000 K 40K 4000 K 50K 5000 K	T15 Type I short (Automotive) T25 Type II short T2M Type II medium T3M Type III short T4M Type II medium T4M Type II medium T5M Type V medium T5VS Type V very short	TSS Type V short TSM Type V medium TSW Type V wide BLC Backlight control LCCD Left corner cutoff RCCD Right corner cutoff	MVOLT ¹⁴ 120V 240V 277V 347V 480V	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPRIBA Square pole universal mounting adapter RPRIBA Round pole universal mounting adapter Shipped separately KMA8 DDBXD Most arm mounting bracket adapter (specify finish) ¹⁵

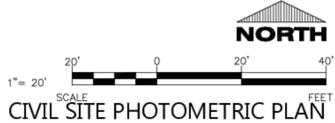
Control options	Other options	Finish options
Shipped installed NLTAR2 Night AIR generation 2 enabled ¹⁶ PIRHN Network, high flow motion/ambient sensor ¹⁷ PIR Network, low flow motion/ambient sensor ¹⁸ PIR Network, low flow motion/ambient sensor (optional) ¹⁹ PIRHS Five-pin receptacle only (control ordered separately) ²⁰ PIRFT Seven-pin receptacle only (leads exit fixture) (control ordered separately) ²¹ DMG 3-1/2" dimming control (not back of housing for external control (control ordered separately)) ²²	PIR High flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 3K ²³ PIRHN High flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 3K ²⁴ PIRHS High flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1K ²⁵ PIRHN High flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1K ²⁶ DOL Diffused drop lens ²⁷ HA 50° ambient operations ²⁸ Field adjustable output ²⁹	DDBD Dark bronze DBLD Black DNAD Natural aluminum DNWD White DDBDZ Textured dark bronze DBLDZ Textured black DNADZ Textured natural aluminum DNWZD Textured white

Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency
□	L14H	3	Lithonia Lighting	DSX0 LED P3 50K T4M MVOLT HS	DSX0 LED P3 50K T4M MVOLT with housings shield	1	6498	1	0.9	71	100%
□	EXISTING	18	LSI INDUSTRIES, INC.	CRUS-SC-LED-VLW-50		1	9054	1	0.9	60.9	100%
□	L90	1	Lithonia Lighting	DSX0 LED P3 50K RCCO MVOLT	DSX0 LED P3 50K RCCO MVOLT	1	5218	1	0.9	71	100%
○	F20	13	Gotham Architectural Lighting	EV08 35/20 AR LD MD 277 E21 TRW	GOTHAM EVO 8" DOWNLIGHT, 3500K, 2000L, 8" SEMI SPECULAR DIFFUSE TRIM W/ WHITE FLANGE, MEDIUM DISTRIBUTION, 277 VOLT, ECODERIVE 361/B, 950MA SETTING	1	3019		0.9	41.8	100%

Statistics

Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
Calc Zone #1	+	1.1 fc	30.9 fc	0.0 fc	N/A N/A
GAS CANOPY	x	12.5 fc	30.0 fc	0.4 fc	75.0:1 31.3:1
PARKING LOT	x	1.0 fc	3.3 fc	0.2 fc	16.5:1 5.0:1





Zoning Classification: CC- Commercial Corridor
 Lot Size: 27,539 SF
 0.63 Acres

Total Developed Area - Landscape Calculations & Distribution
 Five (5) points for every 300 SF of developed lot

Total SF of developed lot: 27,539 SF
 Total Landscape Points Required: 459 Points

Plant Type or Landscape Element	Min. Size (DBH)	Points (each)	Landscape Credits Quantity	Landscape Credits Points	New Landscape Quantity	New Landscape Points
Overstory Tree	2.5"	35	3	105	4	140
Tall Evergreen Tree	5-6' Tall	35	0	0	0	0
Ornamental Tree	1.5"	15	0	0	0	0
Upright Evergreen Shrub	3-4' Tall	10	0	0	0	0
Deciduous Shrub	#3 gal	3	0	0	45	135
Evergreen Shrub	#3 gal	4	5	20	15	60
Orn Grass/Perennial	#1 gal	2	0	0	15	30
Decorative Fence/Wall	n/a	4 per 10 LF	0	0	0	0
Ex. Specimen Tree	Min. 2.5"	14/in.	0	0	0	0
Public Seating	n/a	5/seat	0	0	0	0
Sub Totals:			125	0	0	365

Total Number of Points Provided: 490
 Specimen Tree Note: total no more than 30% of points & max points per tree is 200.
 Public Seating Note: no more than 5% of point can be used.

Development Frontage Landscaping

One (1) overstory tree & 5 shrubs per 30 LF of street frontage
 Two (2) ornamental or evergreen trees may be substituted for 1 overstory tree

University Ave. Frontage: 227.62 LF
 Required Number of Trees: 7.6 Trees
 Required Number of Shrubs: 37.9 Shrubs

Number of Trees Shown: 4 Trees
 Number of Shrubs Shown: 38 Shrubs

Eugenia Ave. Frontage: 135.86 LF
 Required Number of Trees: 4.5 Trees
 Required Number of Shrubs: 22.6 Shrubs

Number of Trees Shown: 3 Trees
 Number of Shrubs Shown: 23 Shrubs

Interior Parking Lot Landscaping

Requirements are for parking lots of 20 or more spaces
 5% of paved lot area to be devoted to interior landscape area
 One (1) overstory tree for every 160 SF or required landscap area
 Two (2) ornamental trees may be substituted for 1 overstory tree

Number of Parking Spaces: 9 Spaces
 Required Interior Landscape Area: Not Required
 Required Number of Overstory Trees: Not Required

Foundation Plantings

Foundation plantings shall primarily consist of shrubs, grasses, and perennials

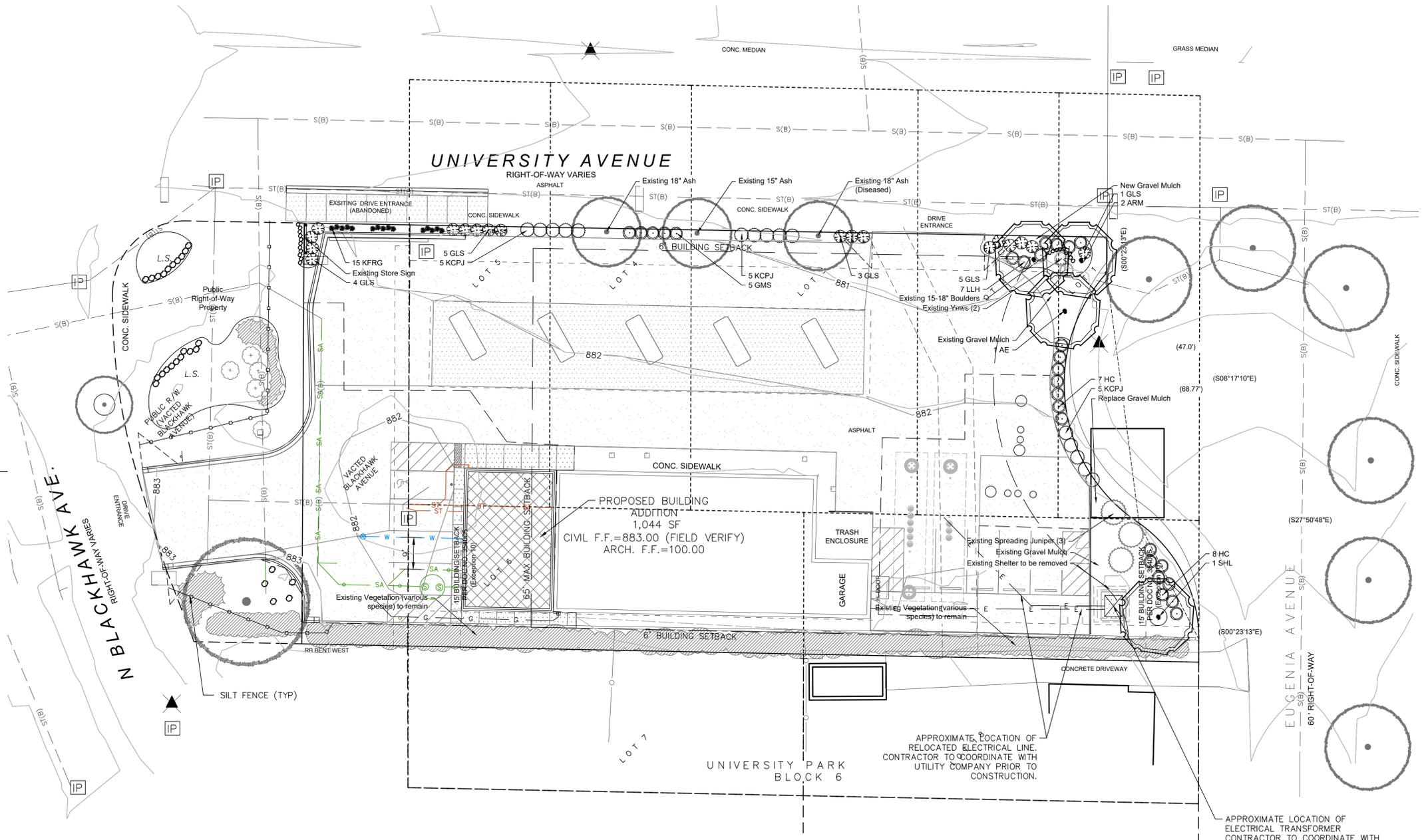
Screening Requirements

Screening required all along lot boundary lines adjacent to residential lots
 Screening required for mech. equipment, refuse, outdoor storage, & loading areas

Landscape Diversity

5 or less canopy trees on site: no tree diversity required
 5 to 50 canopy trees on site: max. 33% of each species
 50 or more canopy trees on site: max. 20% of each species

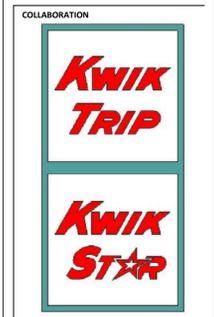
CODE REQUIREMENTS



OVERALL LANDSCAPE PLAN
 Scale: 1" = 16'0"

- SHADE TREES (DECIDUOUS)**
 ARM Armstrong Red Maple
 SHL Skyline Honeylocust
 AE Accolade Elm
- EVERGREEN SHRUBS**
 KCPJ Kallay Compact Pfitzer Juniper
- DECIDUOUS SHRUBS**
 HC Peking (Hedge) Cotoneaster
 LLH Little Lime Hydrangea
 GLS Gro Low Fragrant Sumac
 GMS Goldmound Spirea
- ORNAMENTAL GRASSES**
 KFRG Karl Foerster Feather Reed Grass

PLANT ABBREVIATIONS



PROJECT INFORMATION

PROPOSED RENOVATION FOR:
KWIK TRIP STORE #1513
 3401 UNIVERSITY AVE • MADISON, WI 53705



OVERALL LANDSCAPE PLAN

JOB NUMBER
 2028620

SHEET NUMBER
L 1.0



- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully blend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details and planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
 - Per 100 SF of bed area (Soil Amendment composition):
 - 3/4 CY Peat Moss or Mushroom Compost
 - 3/4 CY blended/pulverized Topsoil
 - 1/4 CY composted manure
 - In roto-tilled beds only, also include in above mixture:
 - 2 lbs Starter Fertilizer

- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:

 - No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas

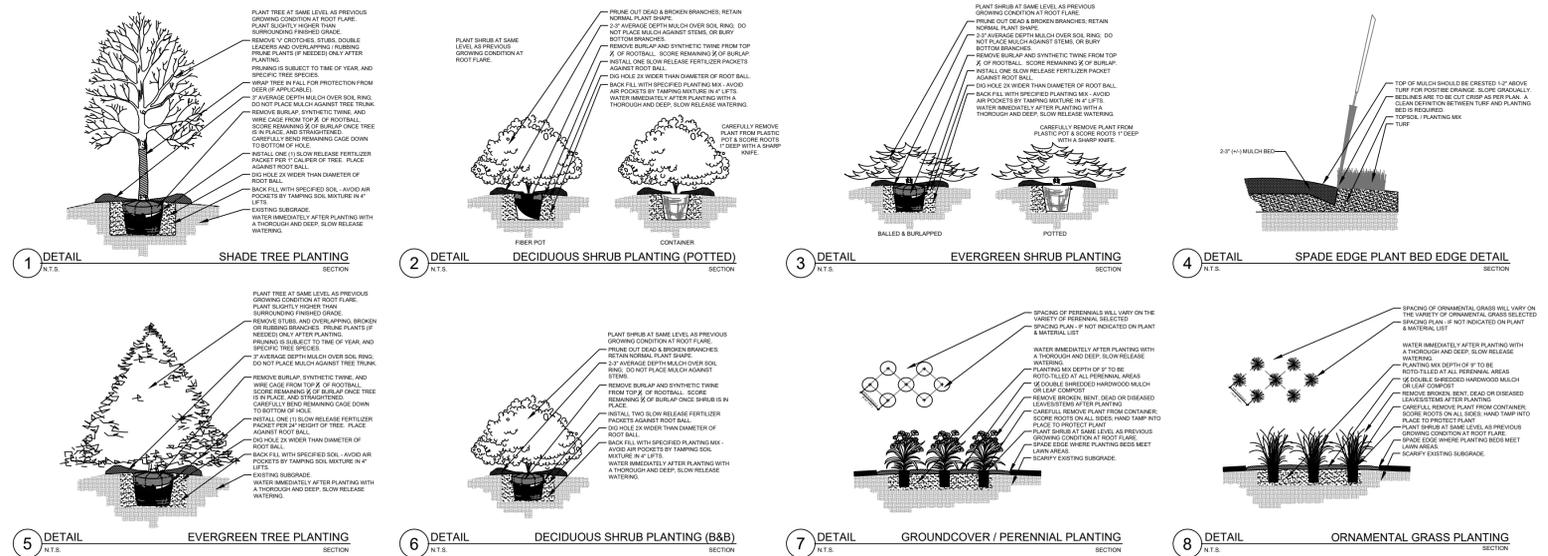
- No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
- Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER or HEIGHT	ROOT	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ARM	2	Acer xfreemanii 'Armstrong'	Armstrong Red Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
SHL	1	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
AE	1	Ulmus 'Morton' 'Accolade'	Accolade Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
EVERGREEN SHRUBS							
KCPJ	15	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	24"w	Cont.	Full rounded well branched shrub	48"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
DECIDUOUS SHRUBS							
HC	15	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	36"	B&B	Full, well rounded plant with moist rootball and healthy appearance	30-42"
LLH	7	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	24"	Cont.	Full, well rooted plant, evenly shaped	42"
GLS	18	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	18-24"	Cont.	Full, well rooted plant, evenly shaped	42"
GMS	5	Spiraea xbumalda 'Goldmound'	Goldmound Spiraea	18-24"	Cont.	Full, well rooted plant, evenly shaped	36"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
ORNAMENTAL GRASSES							
KFRG	15	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	15-18"
Hardscape Materials							
	7	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: +/- 500 SF		TN	3" Depth	
	60	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF		
	500	Landscape Fabric	SF		SF		
	9	Soil Amendments (2" depth)	Area: 1,425 SF		CY		
	9	Pulverized Topsoil (2" over bed areas)	Area: 1,425 SF		CY		

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.

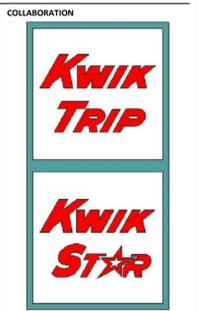
PLANT & MATERIAL SCHEDULE



PLANTING & HARDSCAPE DETAILS



P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@davidheller.com
www.wdavidheller.com



PROJECT INFORMATION

PROPOSED RENOVATION FOR:
KWIK TRIP STORE #1513
3401 UNIVERSITY AVE • MADISON, WI 53705

PROFESSIONAL SEAL

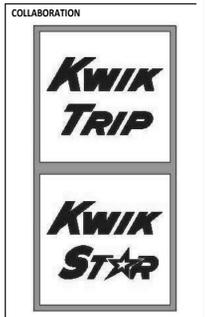


LANDSCAPE DETAILS, NOTES, & SCHEDULES

JOB NUMBER
2028620

SHEET NUMBER

L 1.1



PROJECT INFORMATION

PROPOSED RENOVATION
KWIK TRIP STORE #1513
 3401 UNIVERSITY AVE • MADISON, WI, 53705



SHEET DATES

SHEET ISSUE	NOV. 10, 2020
REVISIONS	
CB1	NOV 24, 2020

JOB NUMBER
 2028620

SHEET NUMBER
A110

FLOOR PLAN KEY NOTES

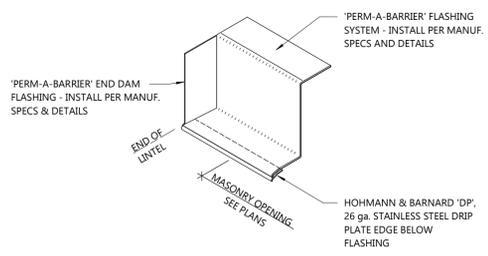
MARK	DESCRIPTION
1	FIELD VERIFY DIMENSIONS OF COOLER / FREEZERS BEFORE PLACEMENT. ADJUST ADJACENT FRAMED WALLS AS NEEDED. VERIFY WITH OWNER.
2	ADA 3" X 6" EXIT SIGNAGE WITH BRAILLE. SEE SHEET A100.
3	PROVIDE NEW CONCRETE SLAB AT LOCATION OF EXISTING FREEZER REMOVAL.
4	FIELD VERIFY LOCATION OF EXISTING ROOF DRAIN PIPING. PROVIDE CHASE IF LOCATED IN THE COFFEE AREA.
5	FREEZER TO BE SIX SIDED IMP BOX. PLACE ON EXISTING CONCRETE SLAB.

- ### GENERAL FLOOR PLAN NOTES
- ALL INTERIOR DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
 - ALL INTERIOR WALLS TO BE 2x4 OR 2x6 @ 16" OC (SEE FLOOR PLAN FOR SIZE) - EXTEND ALL MATERIALS FULL HEIGHT TO UNDERSIDE OF ROOF DECK.
 - PROVIDE 3 1/2" SOUND BATT INSULATION AROUND PERIMETER OF TOILET ROOM AND OFFICE WALLS.
 - MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE.
 - PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS).
 - ALL EXTERIOR WINDOWS TO HAVE GYPSUM BOARD RETURNS AT HEAD AND JAMBS AND SOLID SURFACE SILLS. SEE ROOM FINISH PLAN.
 - SEE FINISH PLAN FOR WALL FINISH

- ### EXISTING BUILDING NOTES
- REMOVE EXISTING GYP BOARD AND WALL FINISHES AS NEEDED FOR NEW WORK. ANY GYP BOARD TO REMAIN IS TO BE PATCHED, REPAIRED, AND PREPARED FOR NEW FINISHES AS SHOWN ON THE ROOM FINISH SCHEDULE.
 - IF EXISTING SUBSTRATE DOES NOT MATCH ROOM FINISH SCHEDULE OR CANNOT ACCEPT FINISHES TO MATCH NEW, REPLACE AS REQUIRED.
 - ENSURE ALL EXISTING EXTERIOR WALLS ARE FULLY INSULATED TO A MINIMUM OF R-19 AND PROVIDED WITH A CONTINUOUS VAPOR RETARDER ON THE INSIDE FACE OF THE STUDS.
 - ENSURE ALL EXISTING INTERIOR DEMISING WALLS BETWEEN SEPARATE TENANT SPACES ARE FILLED WITH SOUND BATT INSULATION AND ALL PENETRATIONS, VOIDS, OR GAPS ARE FULLY SEALED.
 - AT EXTERIOR OR DEMISING WALLS IN AREAS WITH UNCONDITIONED ATTIC SPACES, GYP BOARD (OR OTHER SUBSTRATE AS SCHEDULED) SHALL EXTEND THE FULL HEIGHT OF THE WALL TO THE UNDERSIDE OF THE TRUSSES ABOVE.
 - AT EXTERIOR OR DEMISING WALLS IN AREAS WITH ROOF INSULATION ENTIRELY ABOVE THE ROOF DECK, GYP BOARD (OR OTHER SUBSTRATE AS SCHEDULED) SHALL EXTEND THE FULL HEIGHT OF THE WALL TO THE UNDERSIDE OF ROOF DECK ABOVE.
 - ENSURE FURRING ON EXTERIOR MASONRY WALLS EXTENDS FULL HEIGHT BEHIND INTERIOR SUBSTRATES.
 - FUR-OUT AROUND COLUMNS AND BEAMS AS NEEDED.

SYMBOLS LEGEND

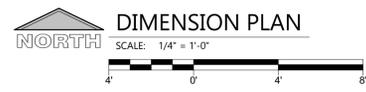
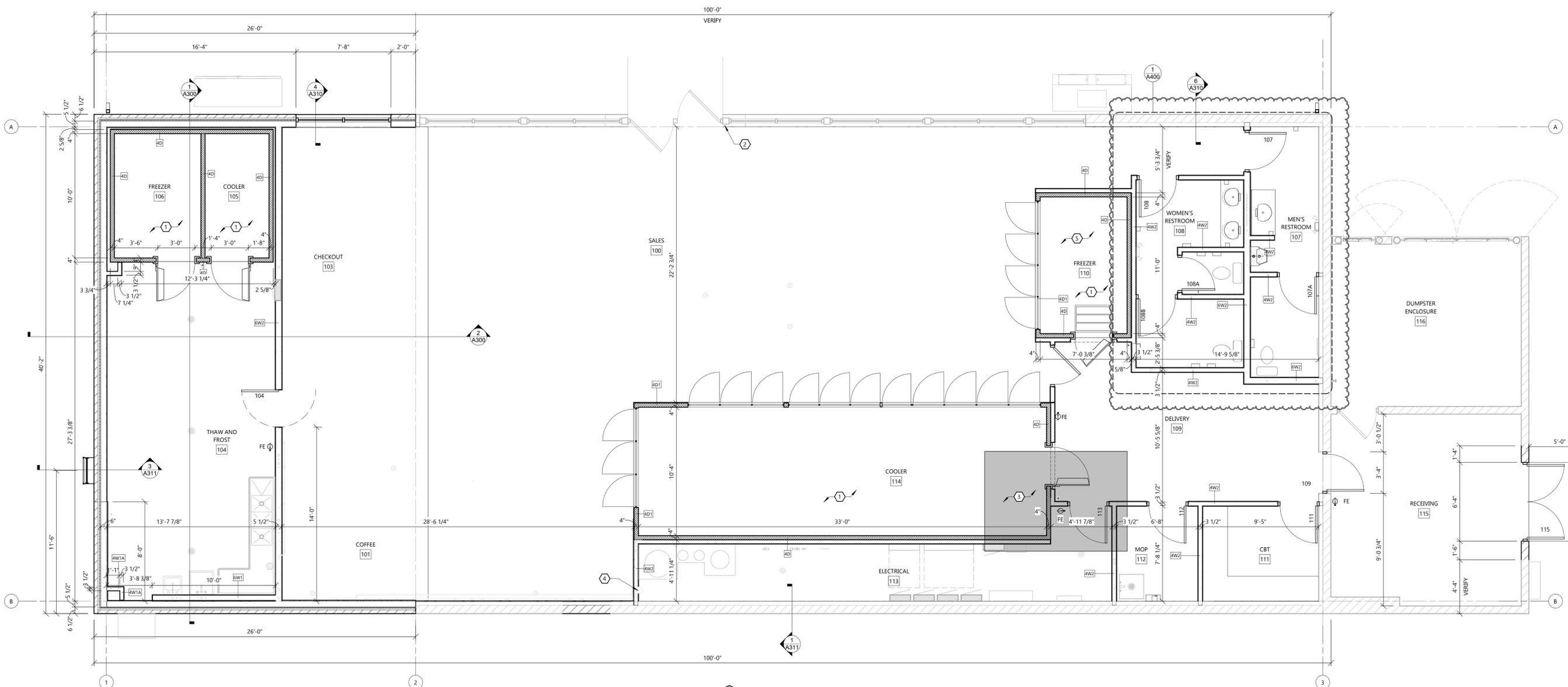
	SEE SHEET AX-X FOR WALL TYPES
	EXIT SIGNAGE
	FIRE EXTINGUISHER -SEE A001 SHEETS
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	STUD WALL
	MASONRY VENEER
	C.M.U. WALL
SEE PLAN FOR ALL WALL WIDTHS	
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE DEMOLISHED
	NEW DOOR

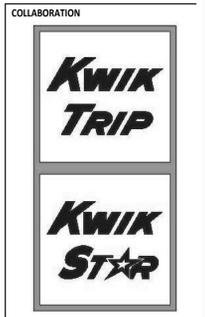


- EXTEND FLASHING BEYOND OPENINGS TO END OF LINTEL
- THIS DETAIL SHALL BE USED AT STEEL WIDE FLANGE BEAMS, STEEL ANGLE LINTELS, AND MASONRY LINTELS AT ALL EXTERIOR OPENINGS
- SEE HEAD FLASHING DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS

END DAM FLASHING

NOT TO SCALE





EXTERIOR FINISH KEY

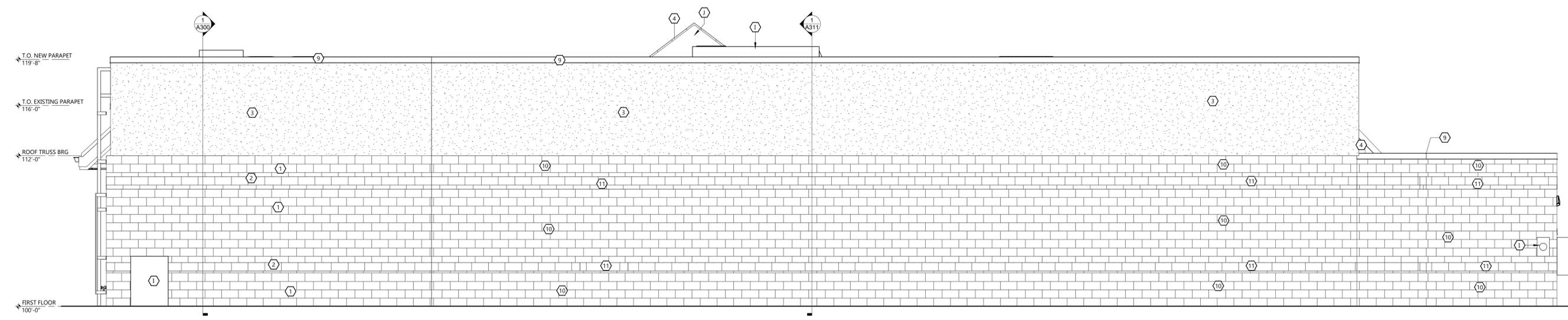
6	WHITE FASCIA	12	ALUMINUM STOREFRONT - MATCH EXISTING
5	KWIK TRIP RED FASCIA	11	EXISTING PAINTED CMU - MATCH NEW RED CMU
4	PRE-FINISHED METAL ROOFING - GREEN	10	EXISTING PAINTED CMU - MATCH NEW TAN CMU
3	EIFS	9	PRE-FINISHED METAL GREEN PARAPET CAP
2	SPLIT FACE CMU - PAINTED TAN COUNTY MATERIALS PROVIDE COLOR SAMPLE TO OWNER	8	WHITE ALUM. SOFFIT
1	SPLIT FACE CMU - PAINTED RED COUNTY MATERIALS PROVIDE COLOR SAMPLE TO OWNER	7	WHITE ALUMINUM GUTTER/PRE-FINISHED METAL DOWNSPOUT

EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
A	EXISTING ALUMINUM DOOR AND FRAME TO REMAIN
B	NEW ALUMINUM DOOR AND FRAME (SEE SHEET A500)
C	NEW EXTERIOR WALL SIGABE BY OTHERS. COORDINATE SIZE AND BLOCKING REQUIREMENTS WITH OWNER / SUPPLIER.
D	NEW FRP DOOR AND FRAME. PAINT TO MATCH ADJACENT WALL.
E	NEW ROOF ACCESS LADDER. PAINT TO MATCH ADJACENT WALL.
F	EXISTING ALUMINUM STOREFRONT WINDOW FRAME AND GLAZING TO REMAIN.
G	EXISTING GUTTER AND DOWNSPOUT TO REMAIN
H	PAINT EXISTING DUMPSTER ENCLOSURE GATE. REPLACE ANY DAMAGED BOARDS AND VERIFY ALL GATE HARDWARE IS IN PROPER WORKING ORDER.
I	MEP SERVICE EQUIPMENT. SEE MEP DRAWINGS FOR MORE INFORMATION.
J	RUN ROOF MEMBRANE UP BACK OF PARAPET.
K	RETURN WALL FINISHES AT STEP IN WALL FACE.
L	EXISTING EXTERIOR MERCHANDISER TO BE REPLACED WITH EQUAL.



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT INFORMATION

PROPOSED RENOVATION
KWIK TRIP STORE #1513
3401 UNIVERSITY AVE • MADISON, WI, 53705

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 10, 2020

REVISIONS

NO.	DESCRIPTION

JOB NUMBER
2028620

SHEET NUMBER
A200

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EXTERIOR FINISH KEY

6	WHITE FASCIA	12	ALUMINUM STOREFRONT - MATCH EXISTING
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COLLABORATION




PROJECT INFORMATION

PROPOSED RENOVATION
KWIK TRIP STORE #1513
3401 UNIVERSITY AVE • MADISON, WI, 53705

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE AUG. 7, 2020

REVISIONS

NO.	DESCRIPTION

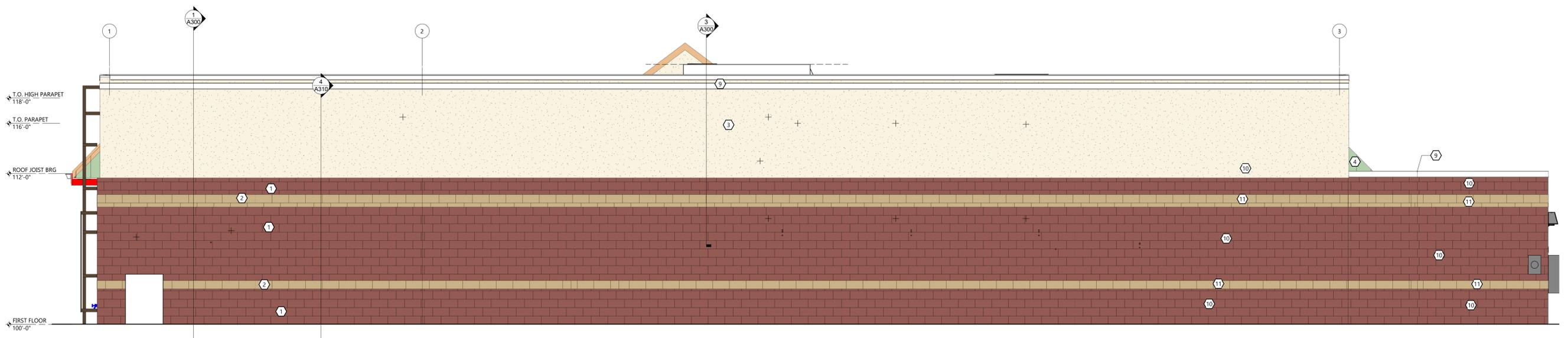
JOB NUMBER
2028620

SHEET NUMBER

A200



NORTH
SCALE: 1/4" = 1'-0"



SOUTH
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH KEY

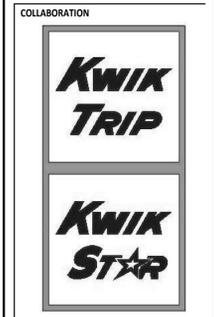
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PROJECT INFORMATION

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KWIK TRIP STORE #1513
 3401 UNIVERSITY AVE • MADISON, WI, 53705

PROFESSIONAL SEAL

SHEET DATES

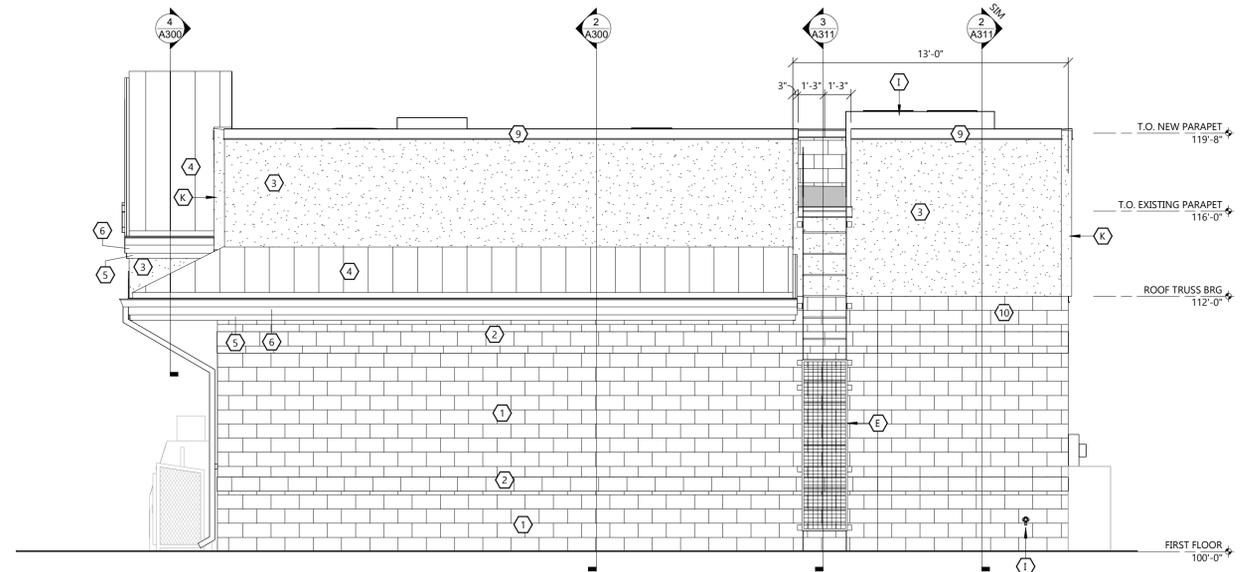
SHEET ISSUE NOV. 10, 2020

REVISIONS

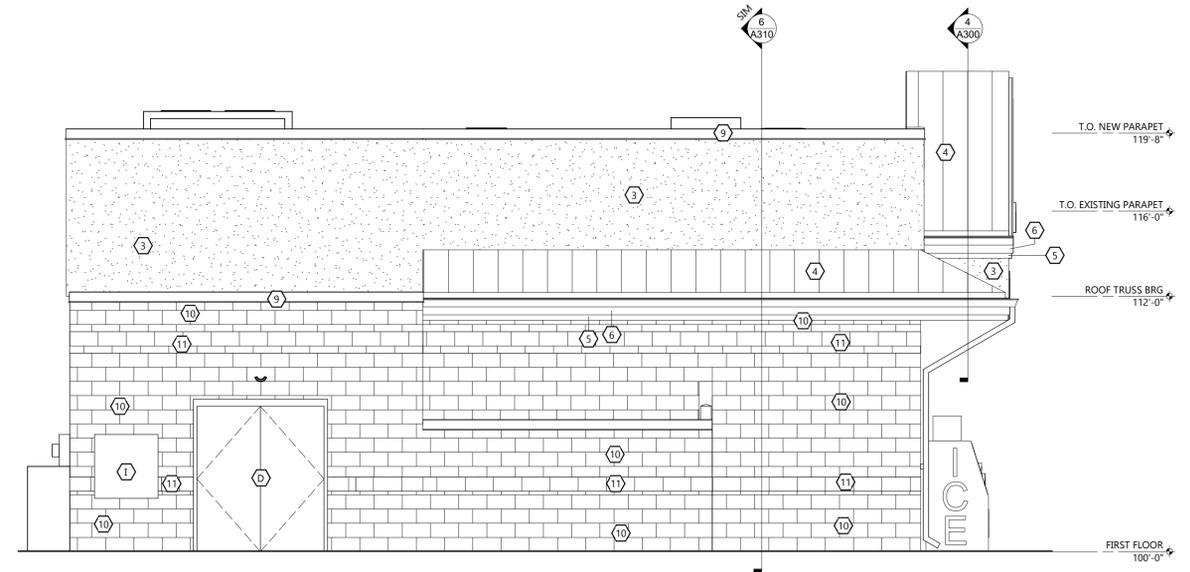
NO.	DESCRIPTION

JOB NUMBER
 2028620

SHEET NUMBER
A201

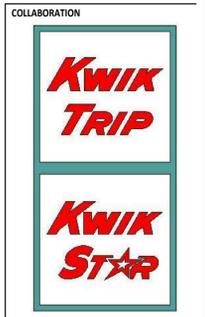


WEST ELEVATION
 SCALE: 1/4" = 1'-0"



EAST ELEVATION
 SCALE: 1/4" = 1'-0"

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PROJECT INFORMATION

PROPOSED RENOVATION
KWIK TRIP STORE #1513
 3401 UNIVERSITY AVE • MADISON, WI, 53705

PROFESSIONAL SEAL

PRELIMINARY DATES
 SEPT. 23, 2020

NOT FOR CONSTRUCTION

JOB NUMBER
 2028620

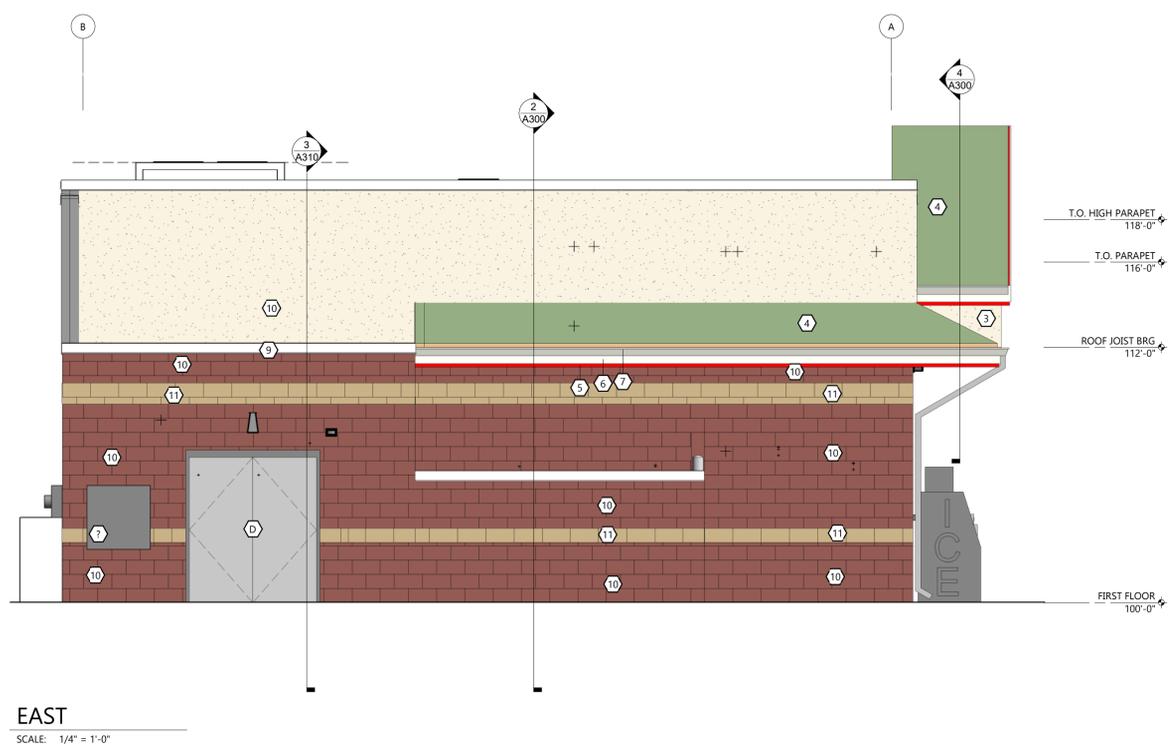
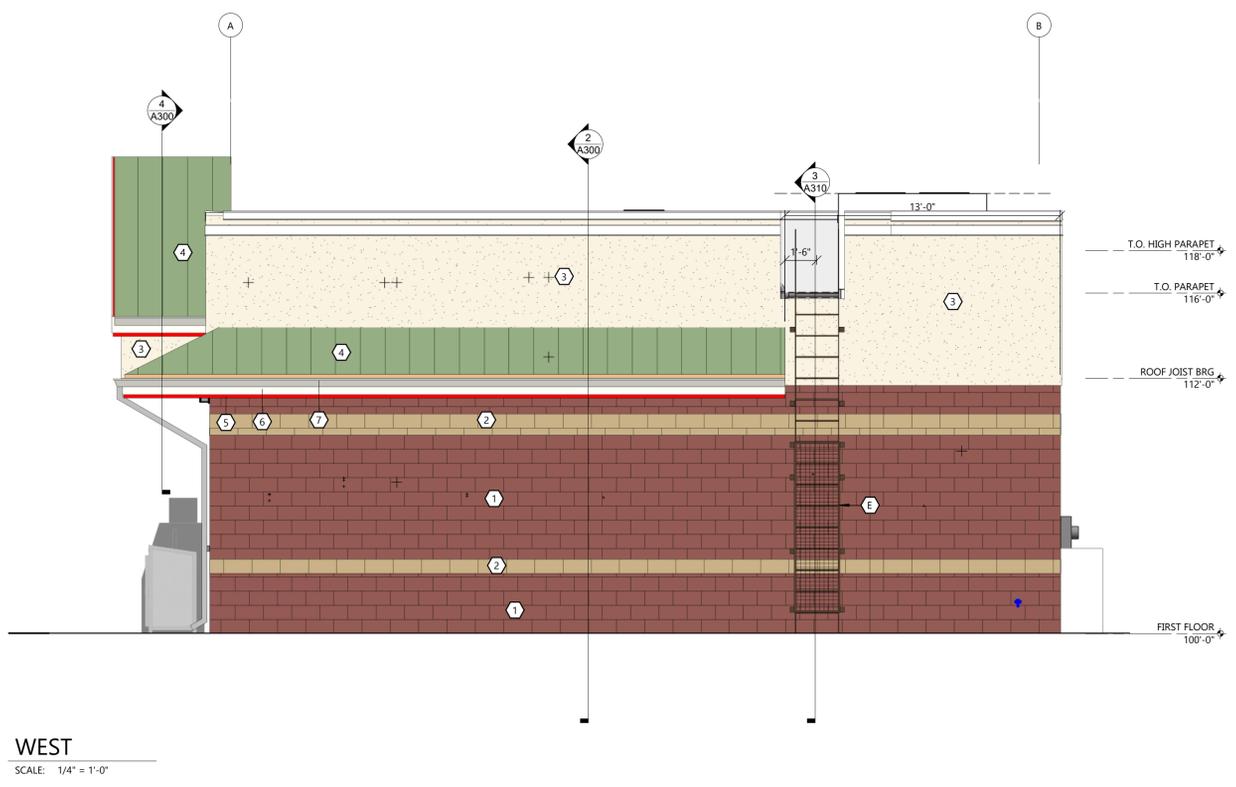
SHEET NUMBER
A201

EXTERIOR FINISH KEY

6	WHITE FASCIA	12	ALUMINUM STOREFRONT - MATCH EXISTING
5	KWIK TRIP RED FASCIA	11	EXISTING PAINTED CMU - MATCH NEW RED CMU
4	PRE-FINISHED METAL ROOFING - GREEN	10	EXISTING PAINTED CMU - MATCH NEW TAN CMU
3	EIFS	9	PRE-FINISHED METAL GREEN PARAPET CAP
2	SPLIT FACE CMU - PAINTED TAN COUNTY MATERIALS PROVIDE COLOR SAMPLE TO OWNER	8	WHITE ALUM. SOFFIT
1	SPLIT FACE CMU - PAINTED RED COUNTY MATERIALS PROVIDE COLOR SAMPLE TO OWNER	7	WHITE ALUMINUM GUTTER/PRE-FINISHED METAL DOWNSPOUT

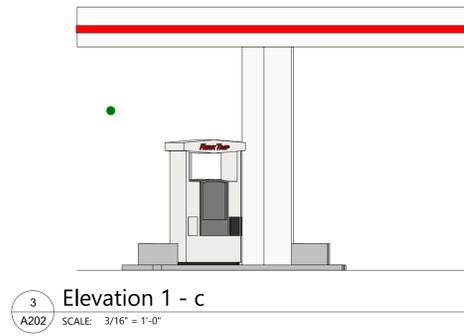
EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
A	EXISTING ALUMINUM DOOR AND FRAME TO REMAIN
B	NEW ALUMINUM DOOR AND FRAME (SEE SHEET A500)
C	NEW EXTERIAL WALL SIGANG BY OTHERS. COORDINATE SIZE AND BLOCKING REQUIREMENTS WITH OWNER / SUPPLIER.
D	NEW FRP DOOR AND FRAME. PAINT TO MATCH ADJACENT WALL.
E	NEW ROOF ACCESS LADDER. PAINT TO MATCH ADJACENT WALL.
F	EXISTING ALUMINUM STOREFRONT WINDOW FRAME AND GLAZING TO REMAIN.
G	EXISTING GUTTER AND DOWNSPOUT TO REMAIN
H	PAINT EXISTING DUMPSTER ENCLOSURE GATE. REPLACE ANY DAMAGED BOARDS AND VERIFY ALL GATE HARDWARE IS IN PROPER WORKING ORDER.

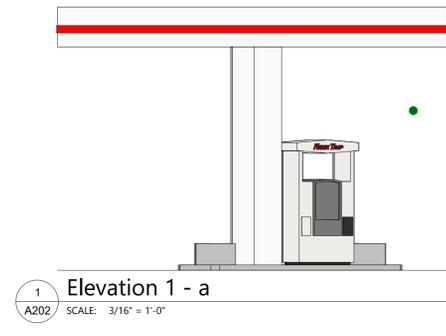




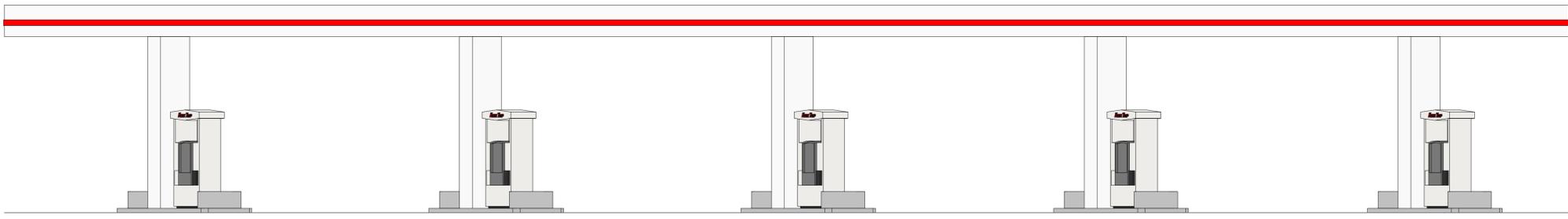
EXISTING CANOPY



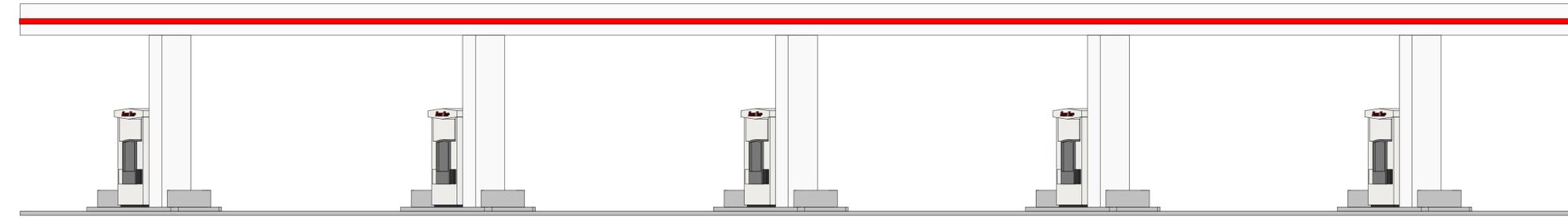
3
A202 Elevation 1 - c
SCALE: 3/16" = 1'-0"



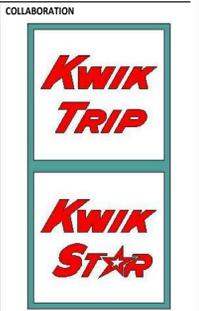
1
A202 Elevation 1 - a
SCALE: 3/16" = 1'-0"



4
A202 Elevation 1 - d
SCALE: 3/16" = 1'-0"



2
A202 Elevation 1 - b
SCALE: 3/16" = 1'-0"



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PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE PRELIM

REVISIONS

NO.	DATE	DESCRIPTION

JOB NUMBER

2028620

SHEET NUMBER

A202

