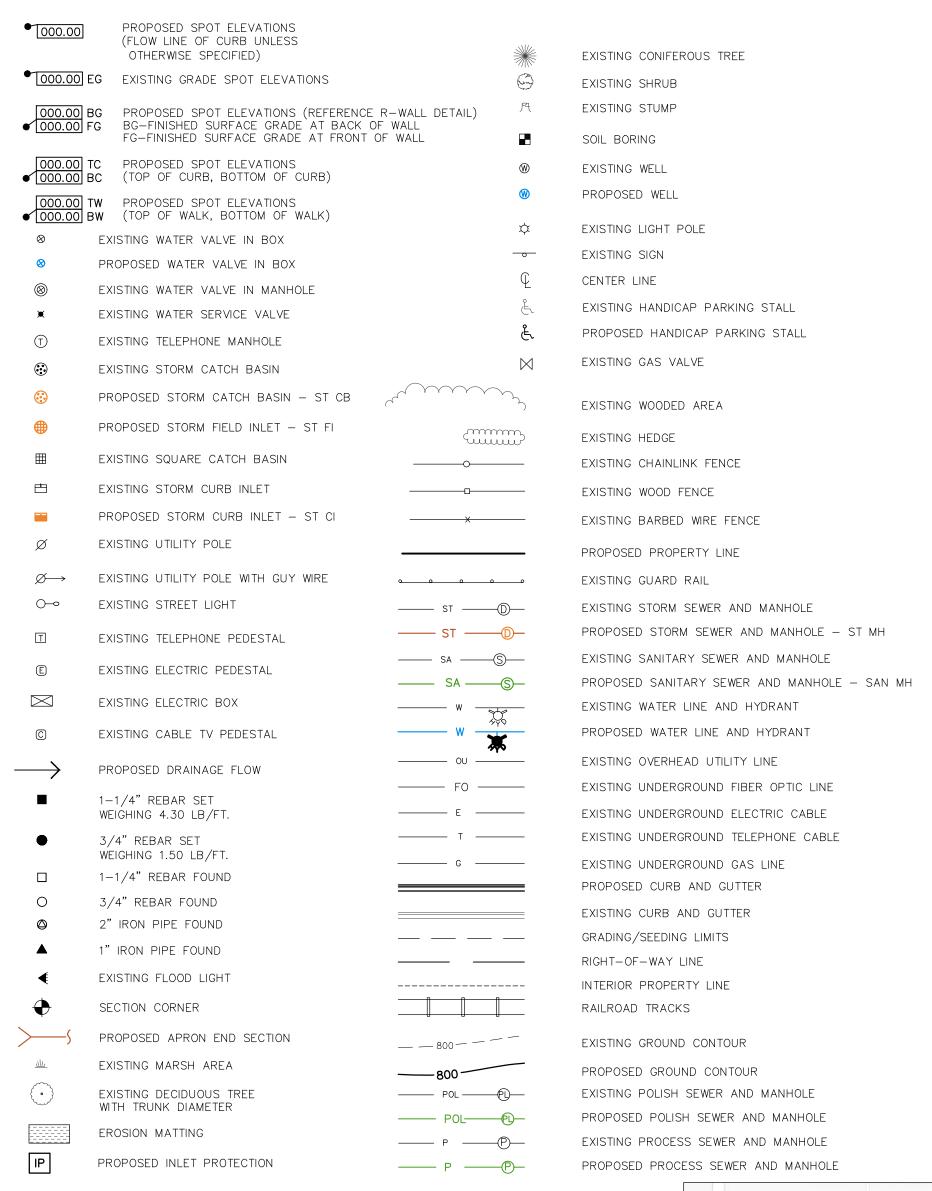
PROPOSED RENOVATION FOR: KWIK TRIP STORE #1513

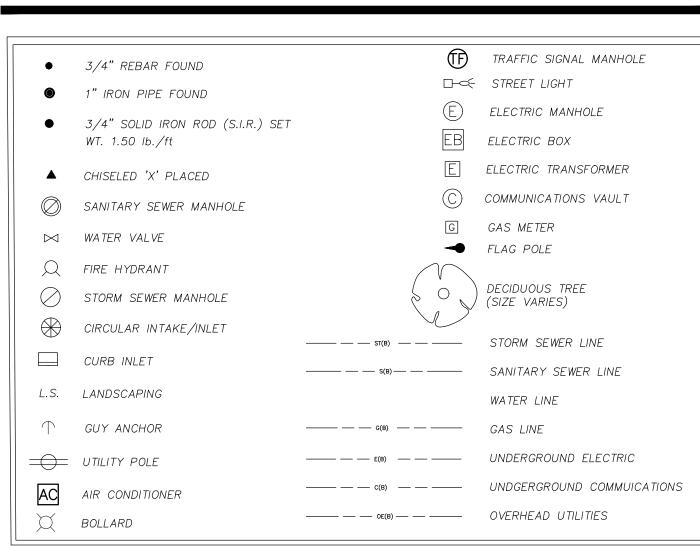
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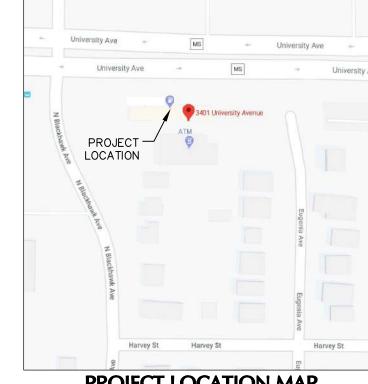
WISCONSIN

EXCEL ENGINEERING LEGEND



SNYDER & ASSOCIATES LEGEND





PROJECT LOCATION MAP



PLAN SPECIFICATIONS

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE
- STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION
- C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS
- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL
- THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE HAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE 1. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
- 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE. WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95
- 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE. WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO
- 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT 5. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT. 6. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THI GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR
- EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
- 1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION). 2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
- 3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
- ORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES. INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION)
- 6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE. 7. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- 8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE
- 9. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061. 10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED
- ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT
- TECHNICAL STANDARD REQUIREMENTS EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL
- AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS
- WHERE INDICATED ON THE PLANS. PROVIDE TK-290 SEALER. 2. LIGHT DUTY CONCRETE (PASSENGER CAR TRAFFIC) - 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 12.5' ON CENTER

. SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT

- 1). TIE BARS AT OUTERMOST CONTRACTION JOINT (FIRST JOINT FROM EDGE OR AT CURB JOINT) AROUND PERIMETER OF CONCRETE. TIE BARS SHALL BE #3 REBAR TK 26
- 2).TYPICAL POUR CONTROL JOINT POUR CONTROL JOINT SHALL BE PROVIDED WITH 1/4" X 4-1/2" X 4-1/4" DIAMOND SHAPED TAPERED PLATE DOWELS MANUFACTURED PER ASTM A36. INSTALL PER MANUFACTURERS SPECIFICATIONS.

3. HEAVY DUTY CONCRETE (TRUCK TRAFFIC) - 8" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS TK 26 UV ON CHAIRS AT 3' O.C. REBAR SHALL BE PLACED AT A DEPTH OF 2/3 DOWN FROM THE TOP OF THE SLAB. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER. PROVIDE TK-290 SEALER.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94

- 4. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE. 5. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
- 6. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
- 7. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER 8. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
- 9. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED. 10. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- VERIFY EQUIPMENT CONCRETE PAD SIZES WITH RESPECTIVE CONTRACTORS. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 3.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- . ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- I. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.) IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB. JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION IHEREOF PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39 TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND
- LIMIT MAXIMUM WATER-CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45 M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.
- N. CONTRACTOR TO PROVIDE 4" WIDE YELLOW PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS,
- RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- I. PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS /1.000 S.F.). 15% FINE FESCUE (0.4-0.6 LBS/1.000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100LBS/1.000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL
- 2. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- CONTRATOR TO FIELD TELEVISE ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVISING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISING OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES
- ALL PROPOSED SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1 OF THE PROPOSED
- CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A (4" OR 6") VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL ERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1 OF THE PROPOSED PLANSET. 6' MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1 OF THE PROPOSED PLANSET
- SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- H. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS.
- ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT
- ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD
- SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.

	Table A: Allowable Pipe Material Schedule					
Utility	Material	Pipe Code	Fitting Code	Joint Code		
Sanitary Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Gasket: ASTM F477		

Table A: Allowable Pipe Material Schedule				
Utility	Material	Pipe Code	Fitting Code	Joint Code
Sanitary Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Gasket: ASTM F477
Storm Sewer	SCH. 40 PVC	ASTM D1785, ASTM D2665, ASTM F891	ASTM F1336	Primer: ASTM F656 Solvent Cement: ASTM D2564
Water Lateral	C901/906 PE	AWWA C901/C906	ASTM D2609, ASTM D2683, ASTM D3261	Heat fusion: ASTM D2657

CIVIL SHEET INDEX

	SHEET	SHEET TITLE
	C100	CIVIL COVER AND SPECIFICATION SHEET
	C101	EXISTING SITE AND DEMOLITION PLAN
	C102	SITE PLAN
	C103	GRADING AND EROSION CONTROL PLAN
	C104	UTILITY PLAN
	C200	DETAILS
]	PXP	SITE PHOTOMETRIC PLAN

EXISTING CONDITIONS PER SNYDER & ASSOCIATES, INC. PROJECT NO. 120.0495.30 DATED JULY 1, 2020. CONTACT SCOTT ANDERSON @ SANDERSON@SNYDER-ASSOCIATES.COM OR 608-838-0444 X238 FOR ANY QUESTIONS REGARDING EXISTING CONDITIONS.

<u>GENERAL PROJECT NOTES</u>

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO
- . THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- THE RIGHT-OF-WAY IS SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- . SEE EROSION CONTROL PERMIT CONDITIONS AND REQUIREMENTS OF APPROVAL ON SHEET C103

CONTACTS

KWIK TRIP 1626 OAK STREET LACROSSE, WI 54602-2107 CONTACT: CHRIS McGUIRE P:(608)-781-8988

EXCEL ENGINEERING 100 CAMELOT DRIVE FOND DU LAC, WISCONSIN 54935 ERIC DRAZKOWSKI, P.E. P: (920) 926-9800 F: (920) 926-9801 eric.d@excelengineer.com

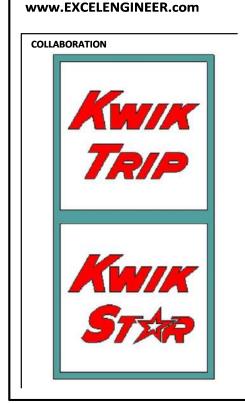
CIVIL COVER AND SPECIFICATION SHEET



100 Camelot Drive

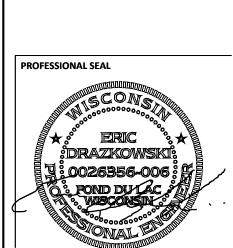
Fond Du Lac, WI 54935

Phone: (920) 926-9800



PROJECT INFORMATION

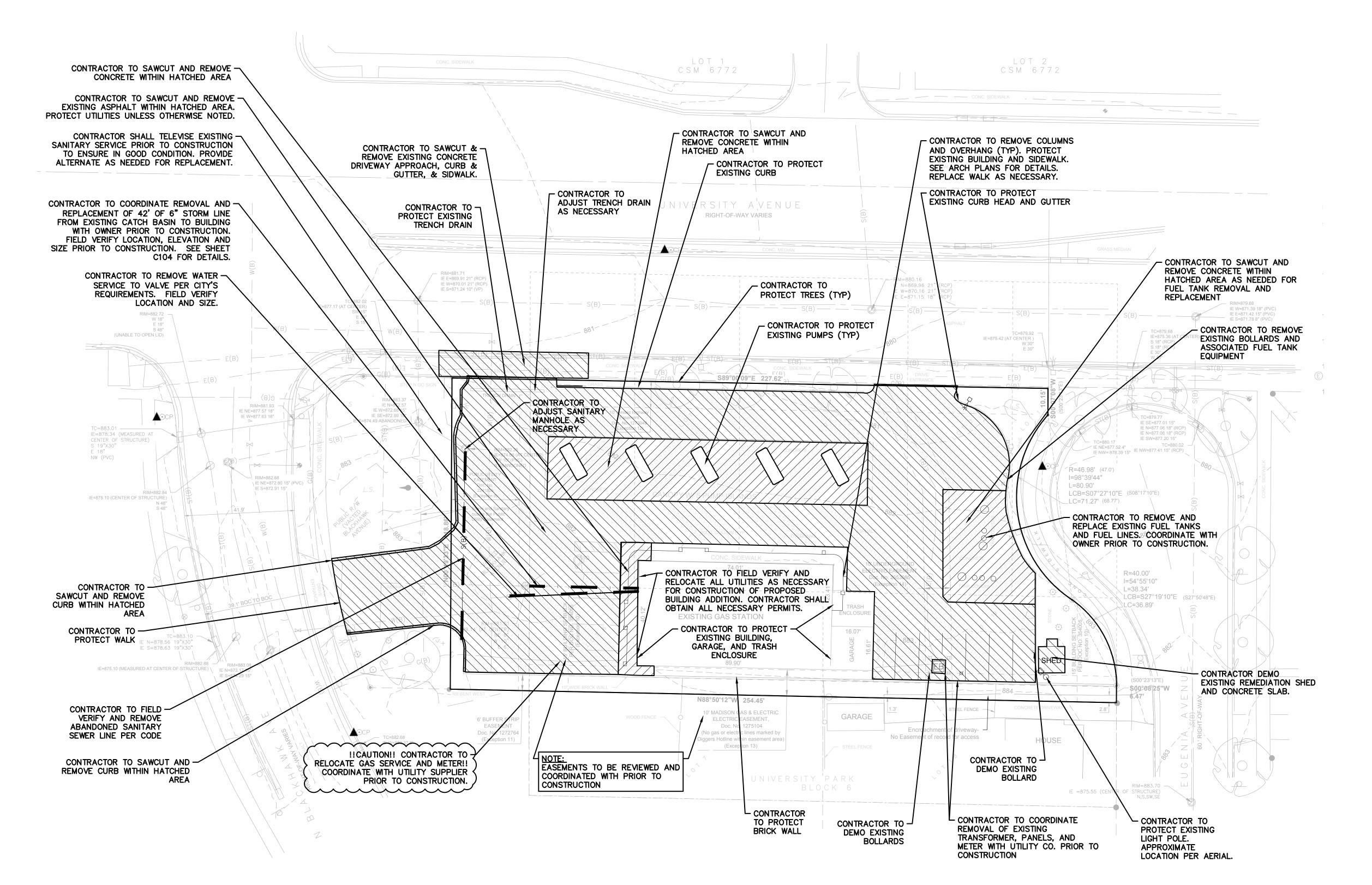
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SHEET NUMBER



FINISH FLOOR NOTE:

CONTRACTOR TO FIELD VERIFY FINISH
FLOOR ELEVATION OF 883.00 PRIOR TO
START OF CONSTRUCTION. CONTRACTOR
TO NOTIFY DESIGN ENGINEER IF FINISH
FLOOR IS NOT 883.00.

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EXISTING CONDITIONS NOTE:
EXISTING CONDITIONS PER SNYDER & ASSOCIATES,
INC. PROJECT NO. 120.0495.30 DATED JULY 1, 2020.
CONTACT SCOTT ANDERSON @
SANDERSON@SNYDER-ASSOCIATES.COM OR
608-838-0444 X238 FOR ANY QUESTIONS
REGARDING EXISTING CONDITIONS.

GENERAL NOTES:

- JENERAL NOTES:

 I. CONTRACTOR TO FIELD VERIFY ALL EXISTING

 UTILITIES AND SITE CONDITIONS PRIOR TO

 CONSTRUCTION AND NOTIFY ENGINEER OF ANY

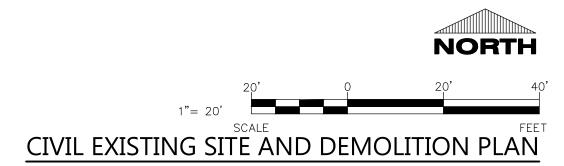
 DISCREPANCIES.
- CONTRACTOR TO VERIFY LIMITS OF DEMOLITION AND REPLACEMENT. PROVIDE UNITS COSTS FOR REPLACEMENT OF ITEMS ANTICIPATED TO BE DISTURBED BEYOND THE LIMITS SHOWN.

 CONTRACTOR TO COORDINATE FUEL TANK AND LINE REPLACEMENT WITH KWIK TRIP PRIOR TO
- CONSTRUCTION.

 CONTRACTOR TO ADJUST UTILITY STRUCTURE RIMS AS NECESSARY FOR IMPROVEMENTS.

 CONTRACTOR TO COORDINATE REMOVAL AND REPLACEMENT OF EXISTING IRRIGATION LINES
- PRIOR TO CONSTRUCTION.

 6. THE RIGHT-OF-WAY IS SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.





COLLABORATION

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PROJECT INFORMATION

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ROPOSED RENOVATION FOR:

K TRIP STORE #151

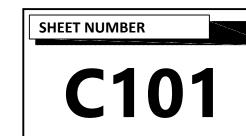
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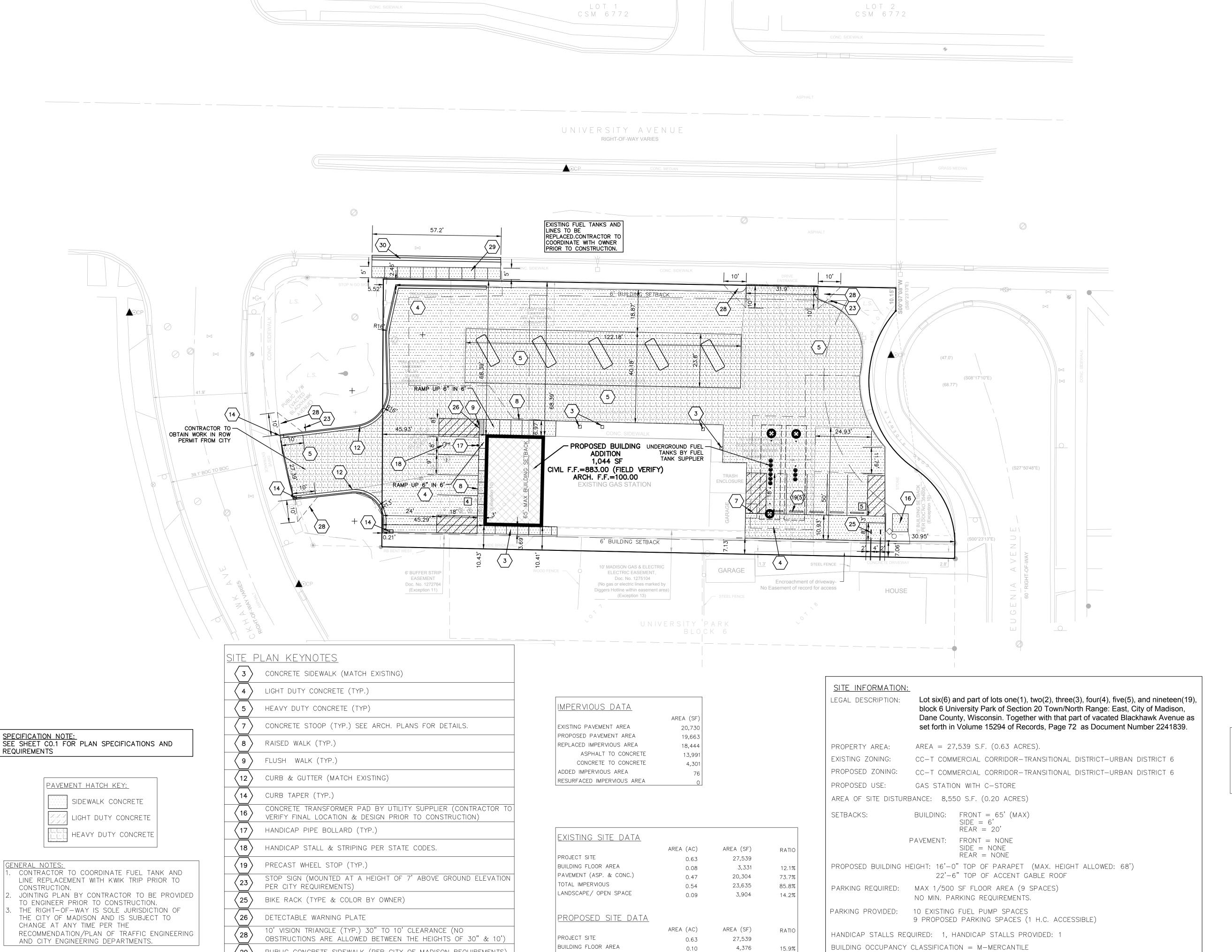
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JOB NUMBER 2028620





PAVEMENT (ASP. & CONC.)

LANDSCAPE/ OPEN SPACE

TOTAL IMPERVIOUS

19,042

23,418

4,121

0.54

0.09

69.1%

85.0%

15.0%

CLASS OF BUILDING CONSTRUCTION = 5B

MAXIMUM LOT COVERAGE - 85%

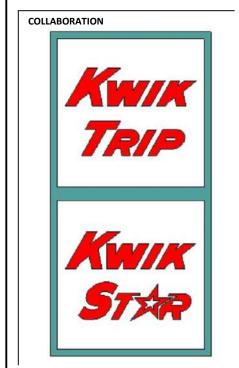
LANDSCAPE REQUIREMENTS:

PUBLIC CONCRETE SIDEWALK (PER CITY OF MADISON REQUIREMENTS)

IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

PUBLIC CURB & GUTTER (PER CITY OF MADISON REQUIREMENTS)





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SHEET NUMBER

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CIVIL SITE PLAN

FINISH FLOOR NOTE:

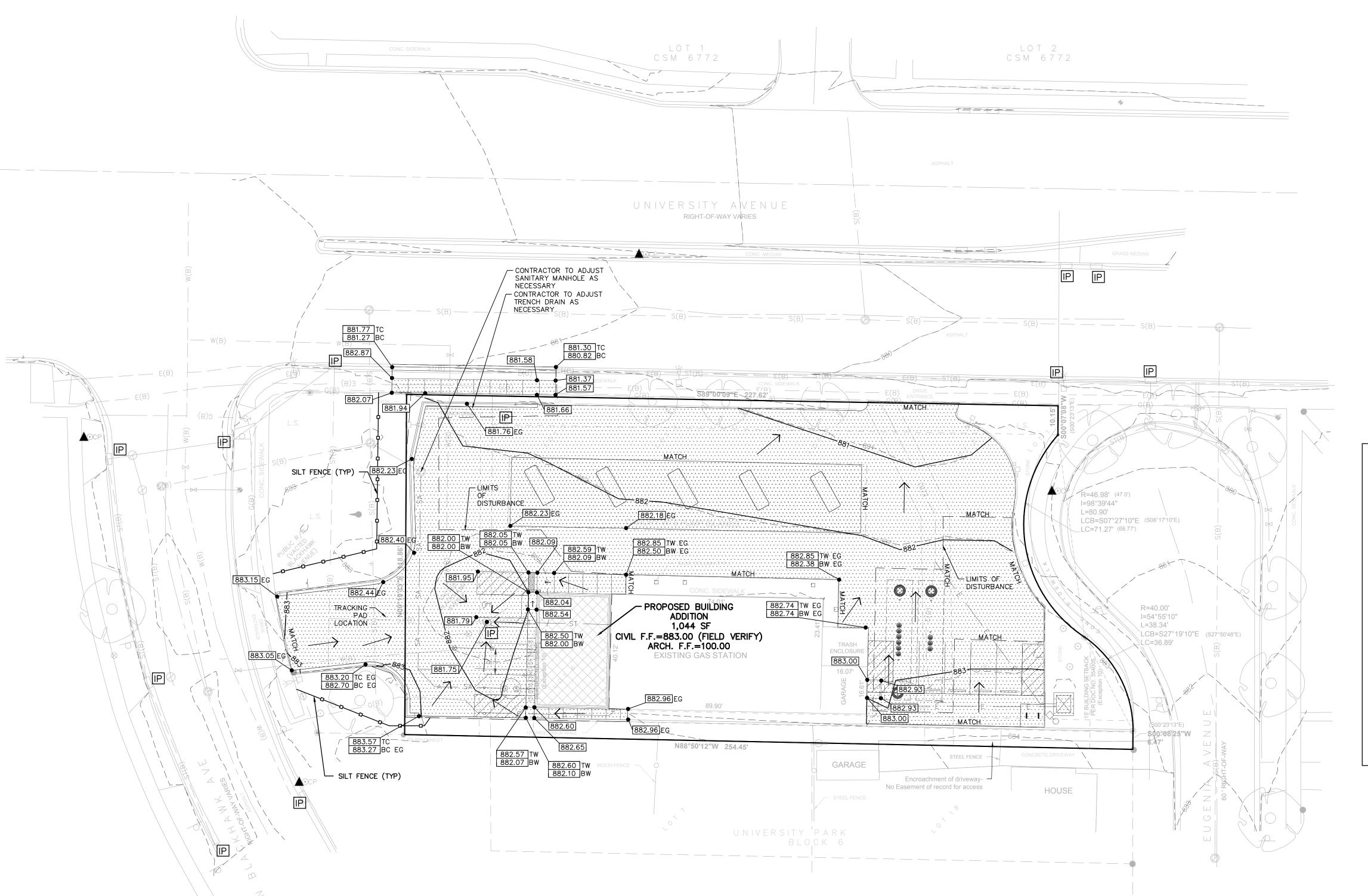
FLOOR IS NOT 883.00.

CONTRACTOR TO FIELD VERIFY FINISH

FLOOR ELEVATION OF 883.00 PRIOR TO

TO NOTIFY DESIGN ENGINEER IF FINISH

START OF CONSTRUCTION. CONTRACTOR



SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

NOTES:

- 1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- 2. ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE: (TYPE D)

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

FINISH FLOOR NOTE:

CONTRACTOR TO FIELD VERIFY FINISH FLOOR ELEVATION OF 883.00 PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGN ENGINEER IF FINISH FLOOR IS NOT 883.00.

GENERAL NOTES:

- 1. CONTRACTOR TO ADJUST UTILITY STRUCTURE RIMS AS NECESSARY FOR IMPROVEMENTS.
- 2. THE RIGHT-OF-WAY IS SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

EROSION CONTROL PERMIT CONDITIONS & REQUIREMENTS

Failure to abide by any of the following permit conditions will be considered a violation of the City's Erosion Control Ordinance (MGO Ch. 37) and can result in the issuance to the permittee and/or the property owner of Official Notices, citations, and/or referral to the City Attorney for resolution of non-compliance.

Erosion & Sediment Control Measures are to be installed prior to any land disturbance activities.

Within ten (10) days of the completion of the project or site stabilization the applicant shall submit an Erosion Control Notice of Termination (ECNOT). The ECNOT should be sent to the administrative authority that initially approved your permit

The Erosion Control Permit applicant shall conduct a pre-construction meeting attended by a Professional Engineer responsible for initial implementation certification of the erosion control plan. The Professional Engineer shall document and submit minutes of this meeting to City Engineering.

A Professional Engineer currently licensed in the State of Wisconsin shall certify the initial installation and implementation of the measures shown on the approved erosion control plan. Documentation on the City's Installation Certification form shall be submitted to the administrative authority within one (1) week of the installation. The certification form can be found on the City's webpage at http://www.cityofmadison.com/engineering/Permits.cfm.

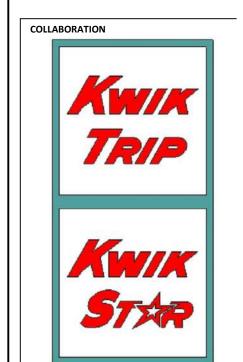
As part of the Erosion Control Permit requirements this construction project requires erosion control inspections and reporting by the permittee (or by their authorized inspector). Inspections shall be conducted a minimum of once per week and also after every 24-hour rain event of 0.5" or more precipitation. The results of these inspections shall be entered on the City's permit and inspection tracking system.

Dust Control, if applicable shall be provided, per WDNR Conservation Practice Standard 1068.

Trench Dewatering, if applicable shall be provided, per WDNR Conservation Practice Standard 1061.

All BMP's installed for erosion control shall be in accordance with the applicable WDNR Conservation Practice Standards found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html

ARCHITECTS • ENGINEERS • SURVEYORS
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Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com



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STORE #151

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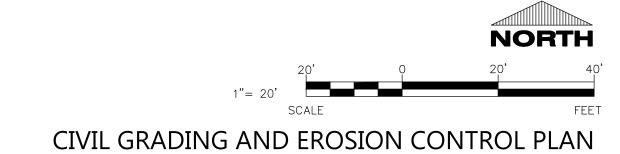
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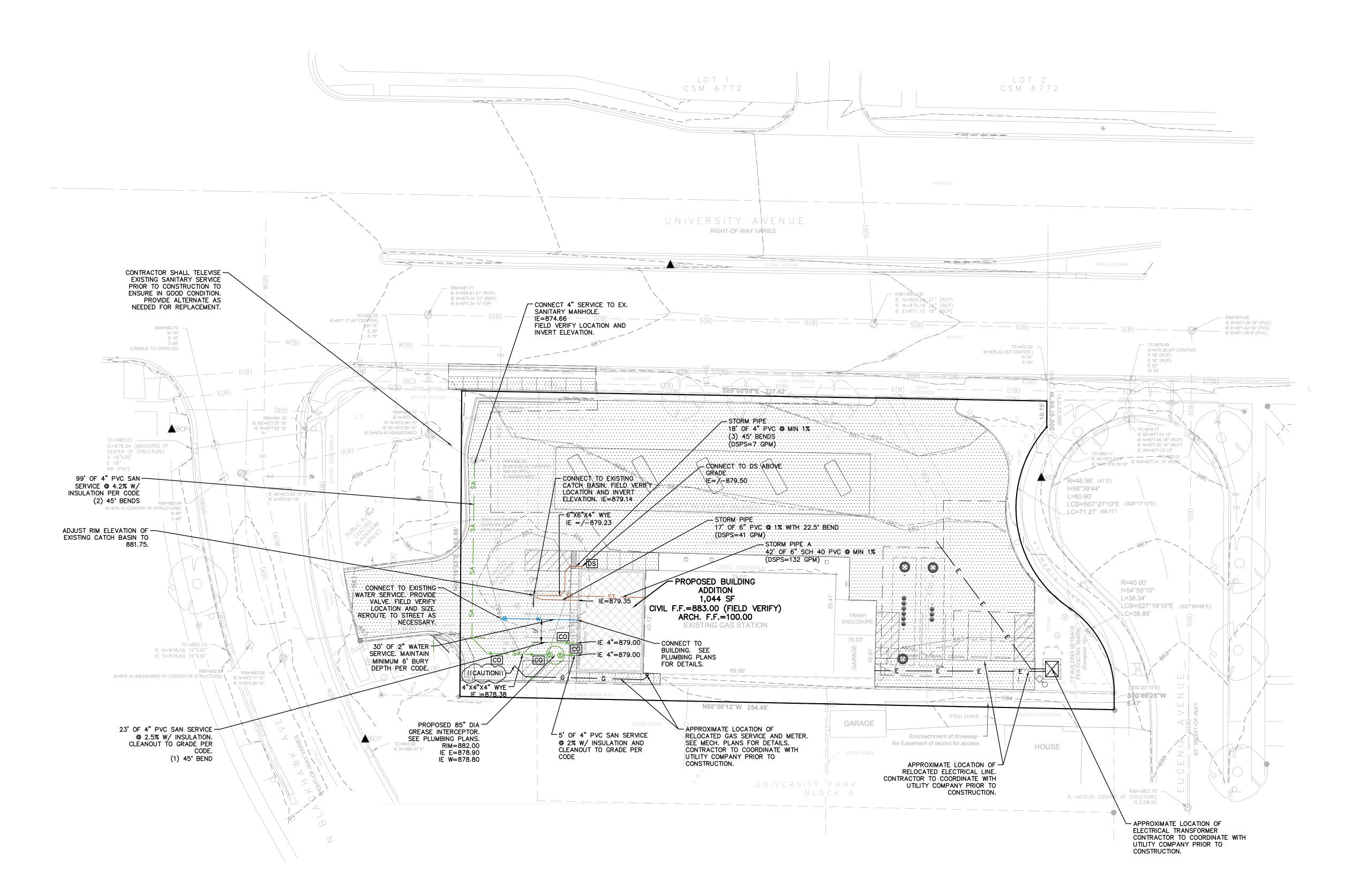
REVISIONS

JOB NUMBER 2028620

SHEET NUMBER

C103





SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:



= DENOTES LOCATION OF DOWNSPOUT CONNECTING TO STORM LINE ABOVE GRADE. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:

C

= DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.

CONTRACTOR TO COORDINATE REMOVAL AND REPLACEMENT OF EXISTING IRRIGATION LINES PRIOR TO CONSTRUCTION.

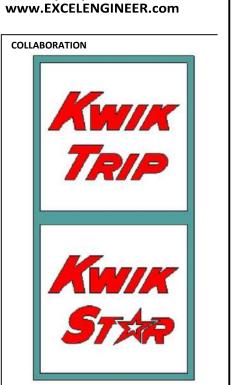
<u>FINISH FLOOR NOTE:</u>

CONTRACTOR TO FIELD VERIFY FINISH FLOOR ELEVATION OF 883.00 PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGN ENGINEER IF FINISH FLOOR IS NOT 883.00.

GENERAL SITE NOTES:

1. THE RIGHT-OF-WAY IS SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.





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STORE #15

VIK TRIP ST 01 UNIVERSITY AVE•

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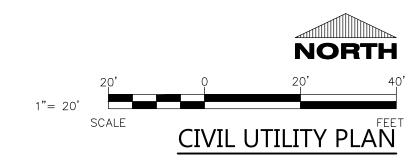
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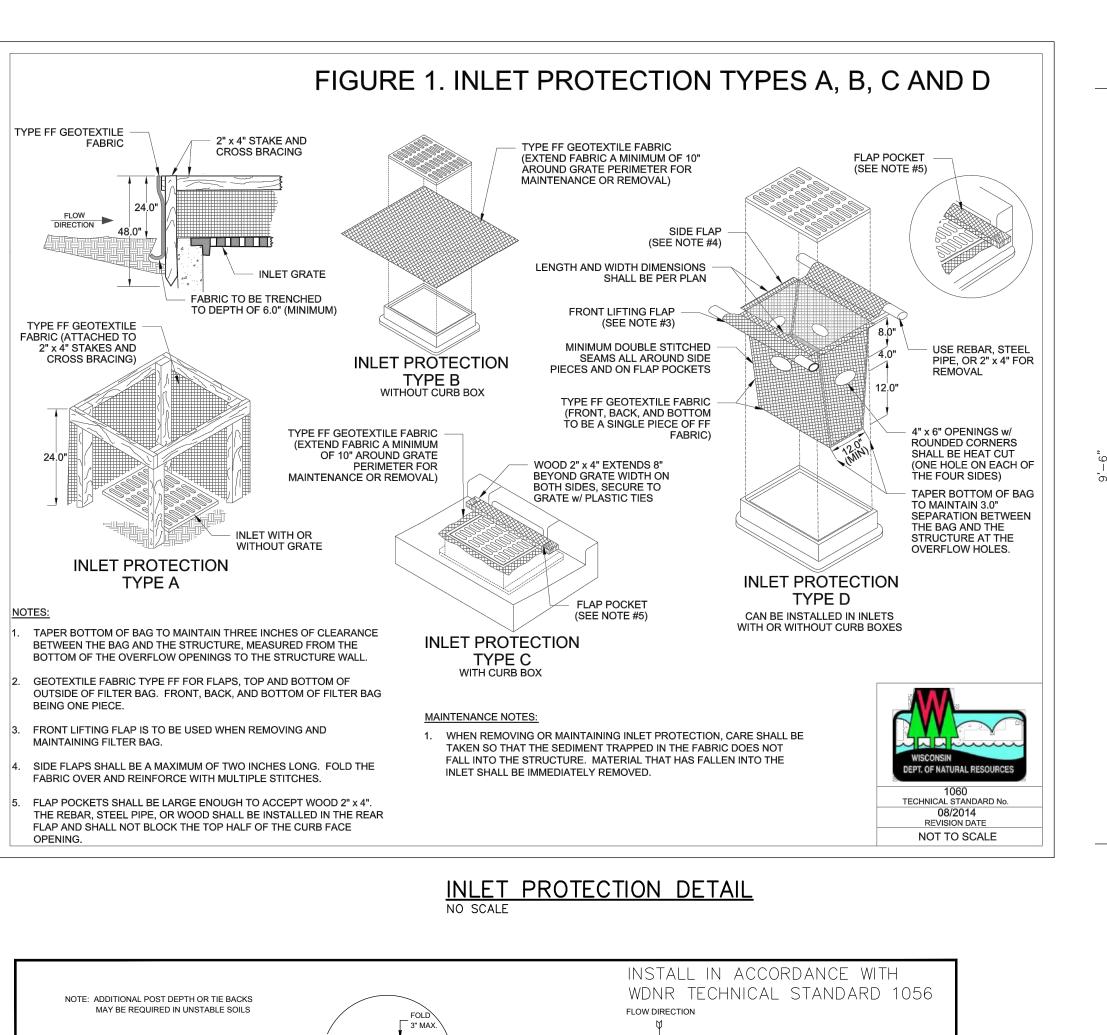
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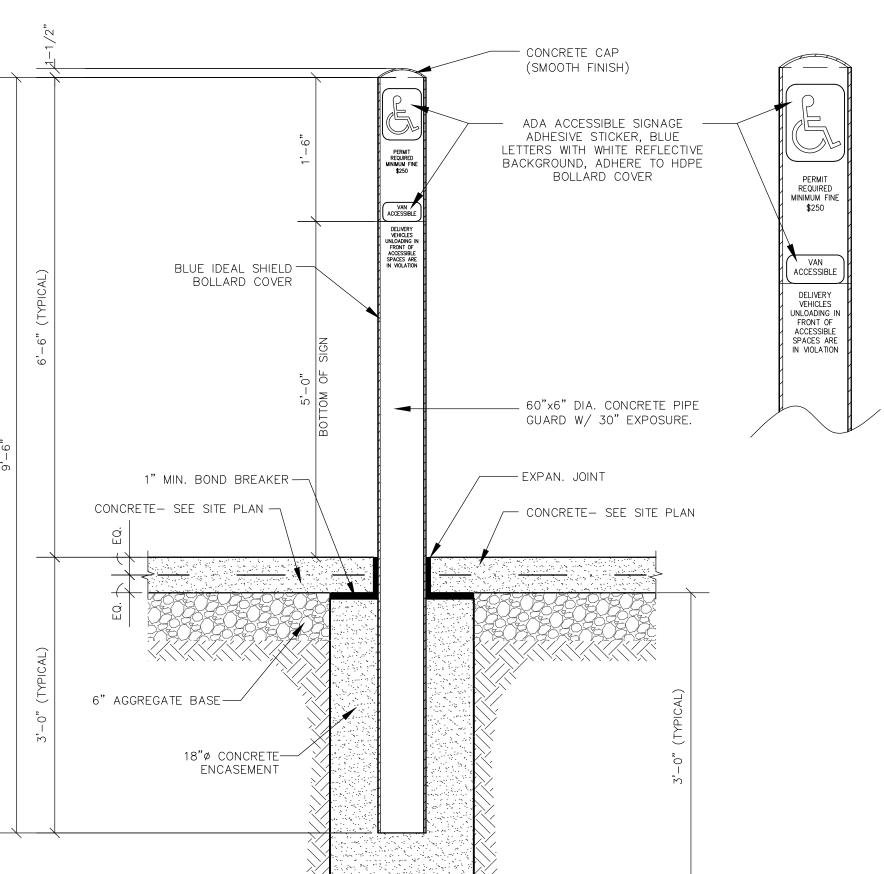
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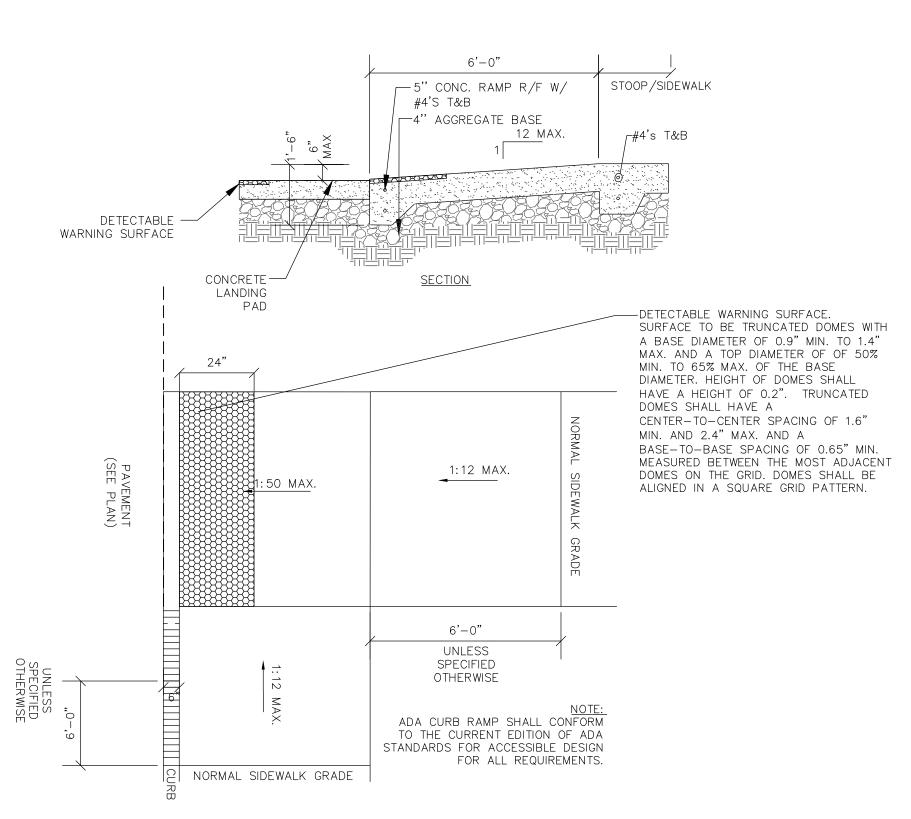






6" HANDICAP PIPE BOLLARD DETAIL

MIN.

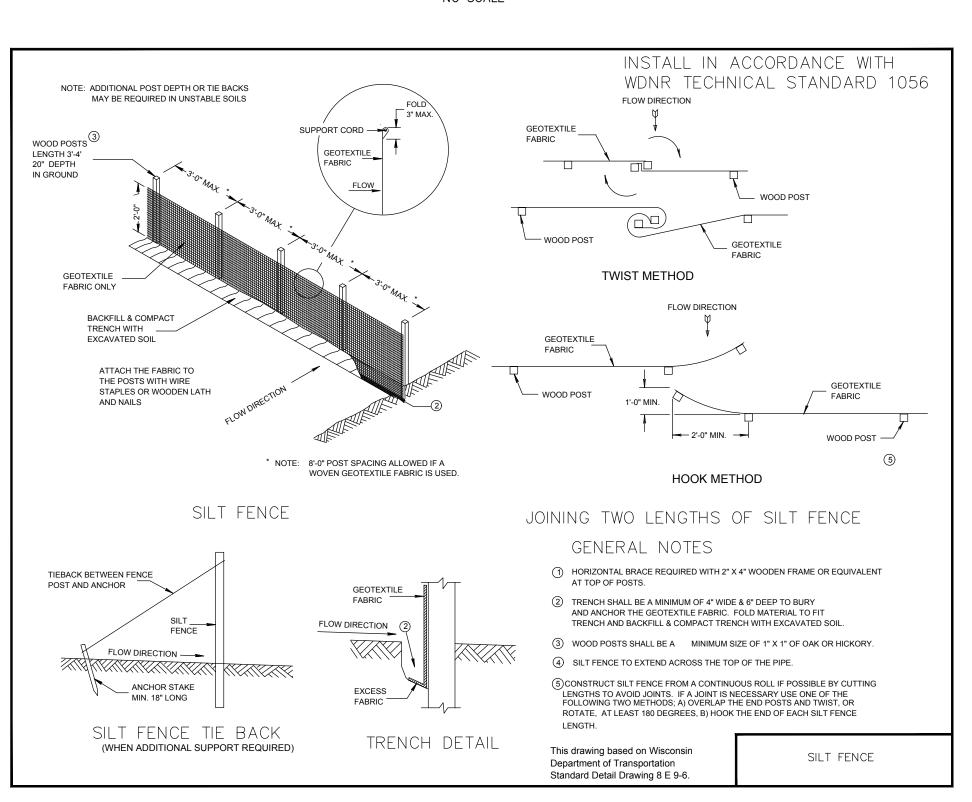


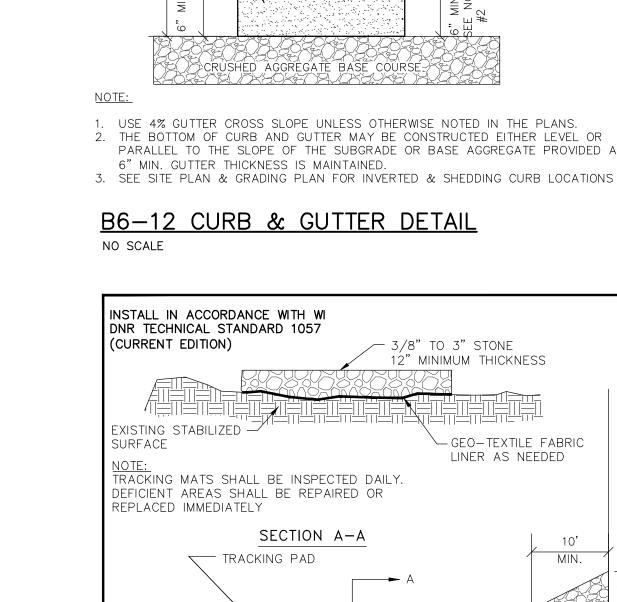
THE RIGHT-OF-WAY IS SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT

TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING

GENERAL SITE NOTES

AND CITY ENGINEERING DEPARTMENTS.





TRACKING PAD SHALL BE FULL

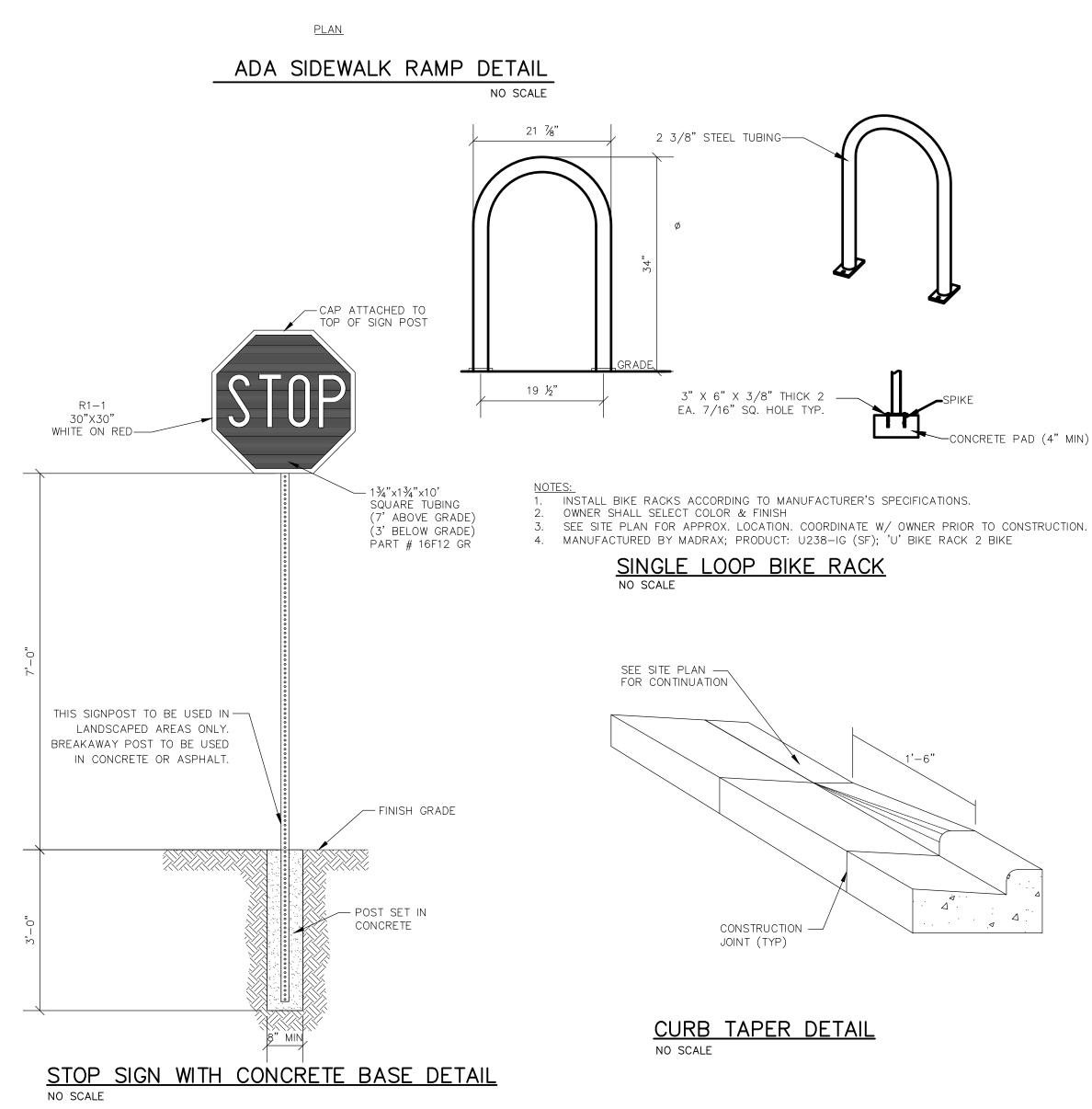
PLAN

TRACKPAD DETAILS

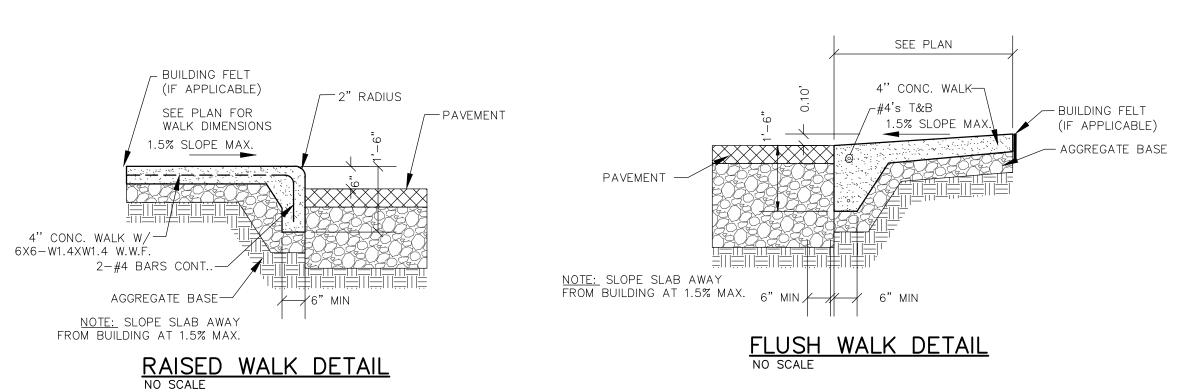
NO SCALE

WIDTH OF THE EGRESS POINT

POURED IN PLACE-



SILT FENCE - INSTALLATION DETAIL



CIVIL DETAILS

Always a **Better Plan** 100 Camelot Drive Fond Du Lac, WI 54935 Phone: (920) 926-9800 www.EXCELENGINEER.com

<u>SPECIFICATION NOTE:</u> SEE SHEET CO.1 FOR PLAN

SPECIFICATIONS AND REQUIREMENTS

COLLABORATION

PROJECT INFORMATION

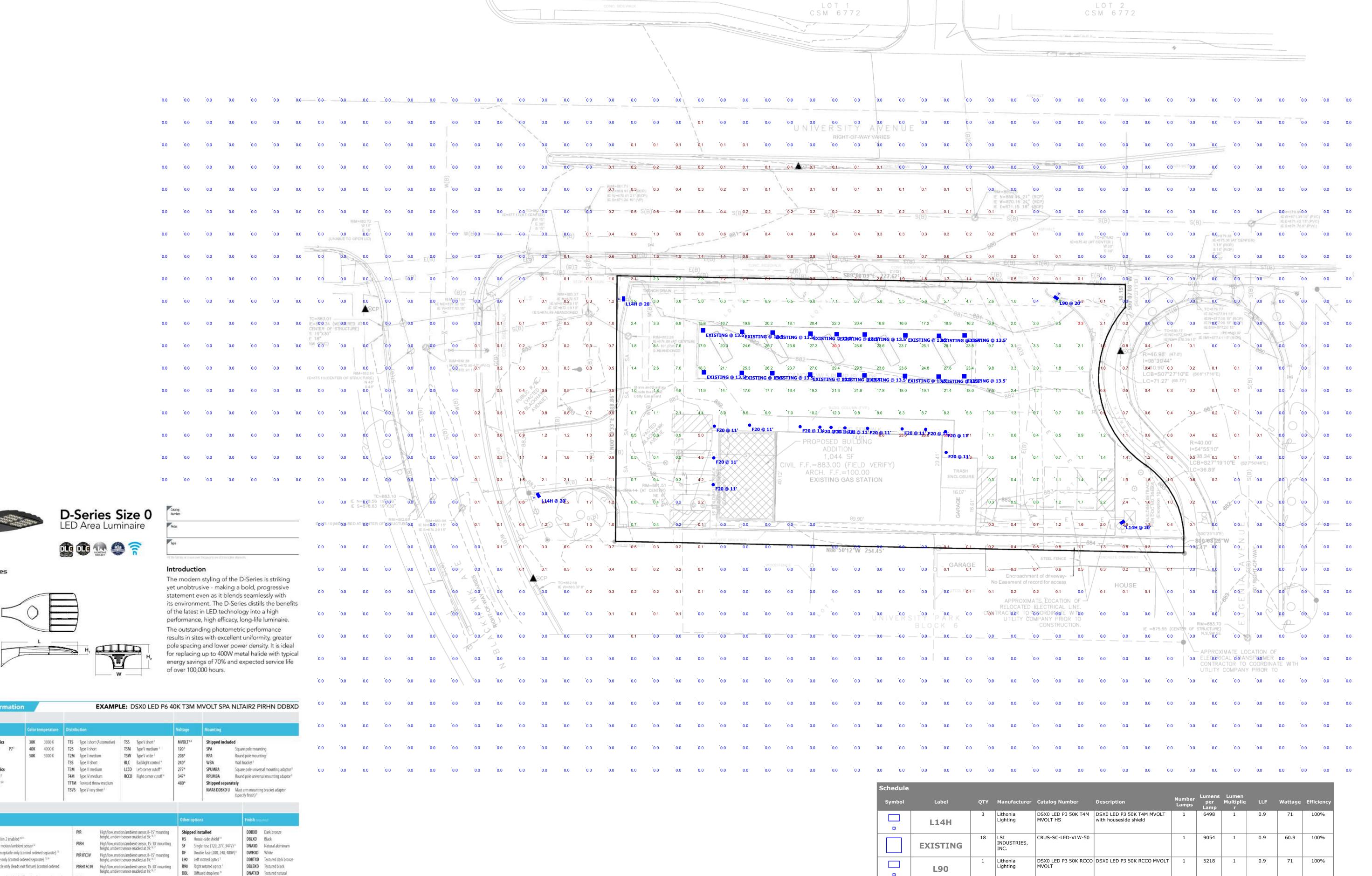
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SHEET NUMBER



0.9 41.8 100% EVO8 35/20 AR LD MD GOTHAM EVO 8" DOWNLIGHT, SPECULAR DIFFUSE TRIM W/ JOB NUMBER 2028620 SHEET NUMBER NORTH

CIVIL SITE PHOTOMETRIC PLAN

Architectural

F20

scription Symbol Avg Max Min Max/Min Avg/Mi

Calc Zone #1 + 1.1 fc 30.9 fc 0.0 fc N/A N/A

GAS CANOPY X 12.5 fc 30.0 fc 0.4 fc 75.0:1 31.3:1

PARKING LOT X 1.0 fc 3.3 fc 0.2 fc 16.5:1 5.0:1

3500K, 2000L, 8" SEMI

WHITE FLANGE, MEDIUM DISTRIBUTION, 277 VOLT, ECODRIVE 361/B, 950MA

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Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

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PROFESSIONAL SEAL

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SHEET ISSUE

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COLLABORATION

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2011-2020 Acuity Brands Lighting, Inc. All rights reserved.

HA 50°C ambient operations

Shipped separately

EGS External glare shield

BS Bird spikes ²⁸

Specifications

16 lbs (7.25 kg)

Ordering Information

Rotated optics

P102 P122

P11² P13^{1,2}

NLTAIR2 nLight AIR generation 2 enabled **!!

LITHONIA LIGHTING

COMMERCIAL OUTDOOR

PIRHN Network, high/low motion/ambient sensor 12

PER NEMA twist-lock receptacle only (control ordered separate) 13

PER7 Seven-pin receptacle only (leads exit fixture) (control ordered

PERS Five-pin receptacle only (control ordered separate) 11.14

SOK 5800 K T2M Type II medium

T3S Type III short

T3M Type III medium

T4M Type IV medium

TSVS Type V very short 1

PIR1FG3V

TFTM Forward throw medium

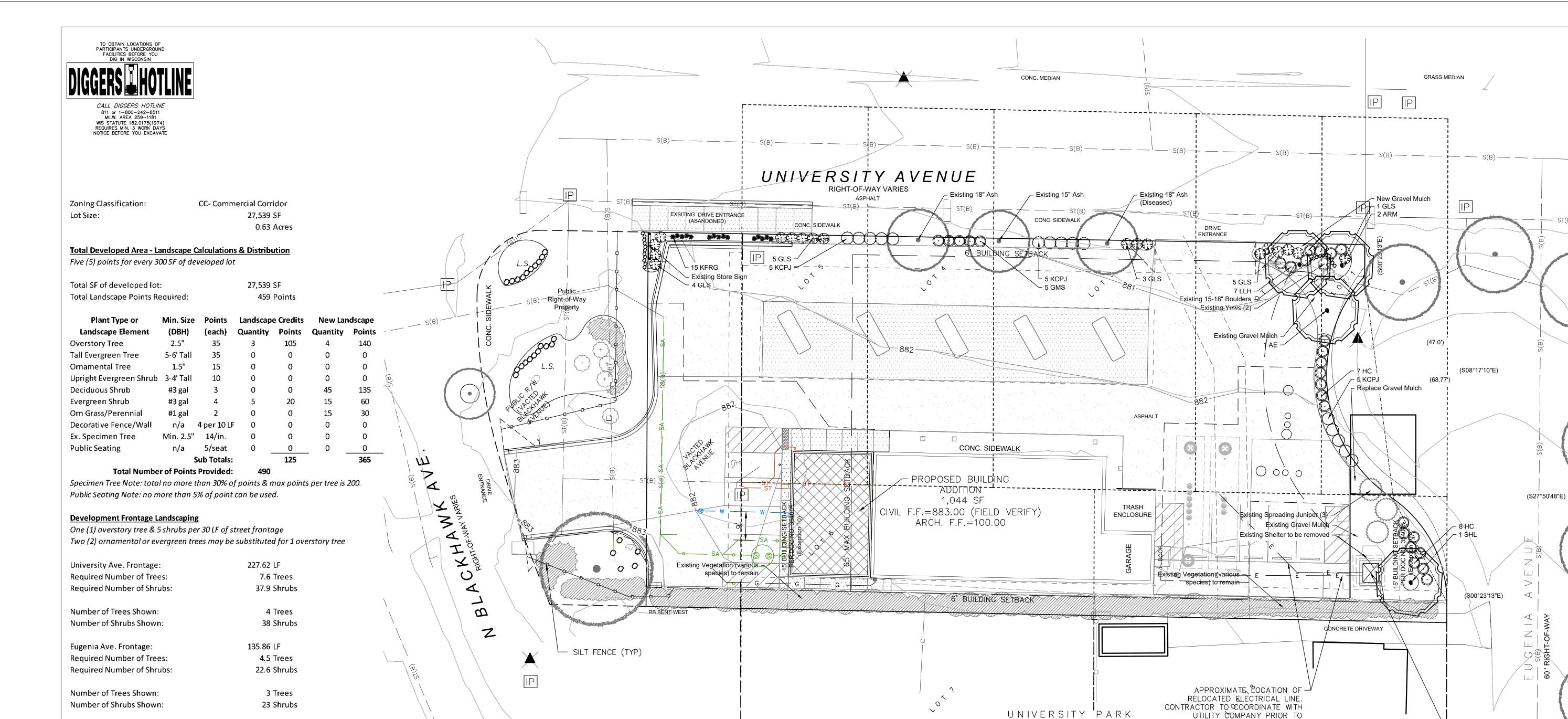
DSX0 LED Forward optics

Shipped installed

Width:

DSX0 LED

DWHGXD Textured white





BLOCK 6

OVERALL LANDSCAPE PLAN Scale: 1" = 16'0"

CONSTRUCTION.

SHADE TREES (DECIDUOUS)

CONSTRUCTION.

ARM Armstrong Red Maple Skyline Honeylocust Accolade Elm

- APPROXIMATE LOCATION OF

ELECTRICAL TRANSFORMER

UTILITY COMPANY PRIOR TO

CONTRACTOR TO COORDINATE WITH

EVERGREEN SHRUBS

KCPJ Kallay Compact Pfitzer Juniper

DECIDUOUS SHRUBS

HC Peking (Hedge) Cotoneaster

Little Lime Hydrangea

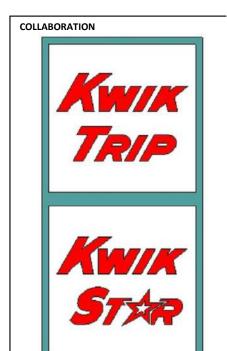
Gro Low Fragrant Sumac

Goldmound Spirea

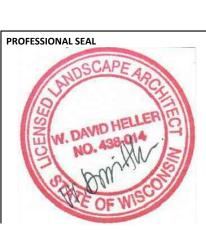
ORNAMENTAL GRASSES

KFRG Karl Foerster Feather Reed Grass PLANT ABBREVIATIONS





PROJECT INFORMATION



OVERALL LANDSCAPE PLAN

JOB NUMBER 2028620

SHEET NUMBER



Interior Parking Lot Landscaping

Number of Parking Spaces:

Foundation Plantings

Screening Requirements

Landscape Diversity

5 or less canopy trees on site:

5 to 50 canopy trees on site:

Required Interior Landscape Area:

Required Number of Overstory Trees:

Requirements are for parking lots of 20 or more spaces

5% of paved lot area to be devoted to interior landscape area

One (1) overstory tree for every 160 SF or required landscap area

Two (2) ornamental trees may be substituted for 1 overstory tree

Foundation plantings shall primarily consist of shrubs, grasses, and perennials

Screening required for mech. equipment, refuse, outdoor storage, & loading areas

no tree diversity required

max. 33% of each species

Screening required all along lot boundary lines adjacent to residential lots

50 or more canopy trees on site: max. 20% of each species

CODE REQUIREMENTS

9 Spaces

Not Required

Not Required

P.O. Box 1359 Lake Geneva, Wisconsin 53147-1359 ph 262.639.9733 david@wdavidheller.com www.wdavidheller.com



1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.

2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.

3. All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.

4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.

5. Topspoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.

6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top $\frac{1}{3}$ of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining $\frac{2}{3}$ of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.

7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{2}{3}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.

8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a ⁵⁰/₅₀ mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are ²/₃ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rater of 1 per 24" height/diamter of shrub at planting.

9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.

11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):

3/4 CY Peat Moss or Mushroom Compost

3/4 CY blanded/pulverized Tensoil

3/4 CY blended/pulverized Topsoil4/4 CY composted manure

In roto-tilled beds only, also include in above mixture:

2 lbs Starter Fertilizer

12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones ½" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this

13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:

No bare spots larger than one (1) square foot

No more than 10% of the total area with bare areas larger than one (1) square foot

A uniform coverage through all turf areas

14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.

15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.

16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

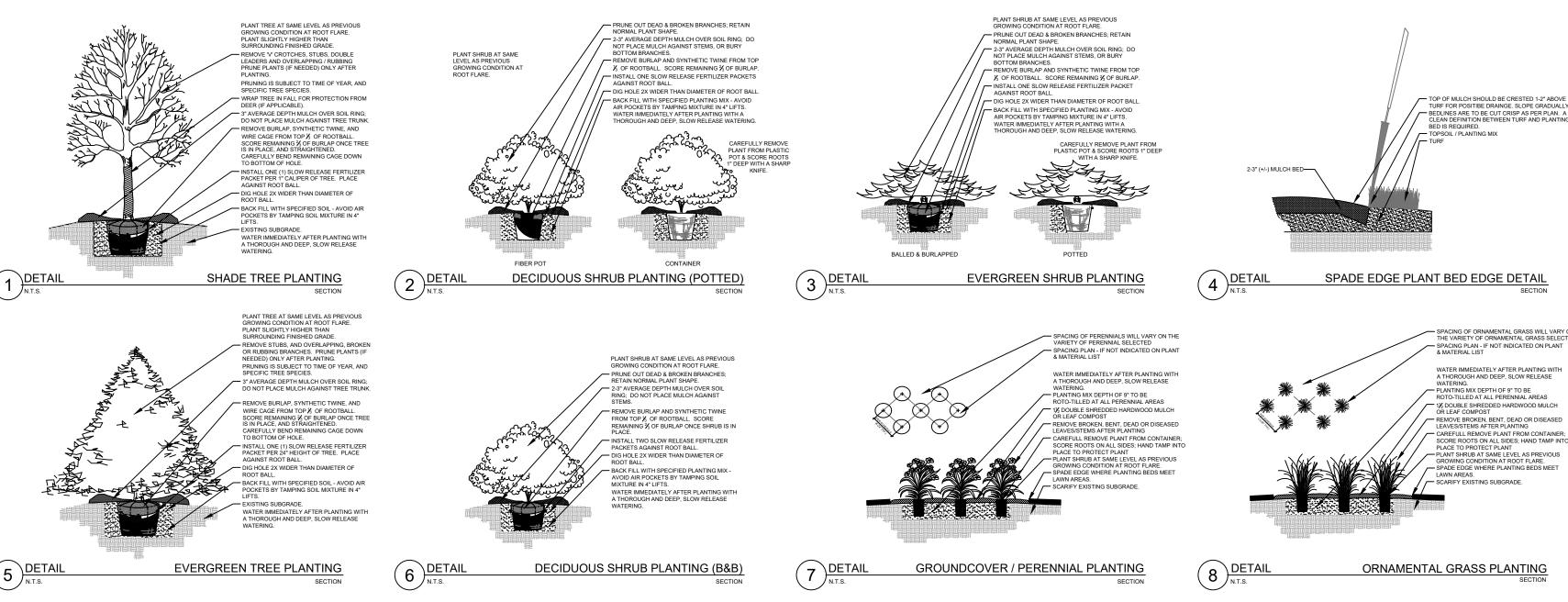
18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

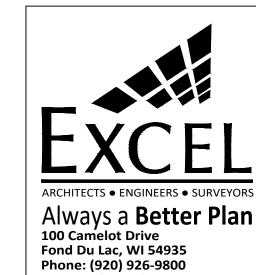
PLANT		PLANT MATERIAL PROPOSED		CALIPER or			PLANT
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	ROOT	SPECIFICATION / NOTES	SPACIN
roposed	Landscape Ma	terials					
HADE TRI	EES (DECIDUOL	JS)					
ARM	2	Acer xfreemanii 'Armstrong'	Armstrong Red Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
SHL	1	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
AE	1	Ulumus 'Morton' Accolade	Accolade Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
PLANT	T	PLANT MATERIAL PROPOSED		SHRUB	ROOT/		PLANT
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (HEIGHT)	CONT.	SPECIFICATION / NOTES	SPACIN
VERGREE	N SHRUBS						
KCPJ	15	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	24"w	Cont.	Full rounded well branched shrub	48"
PLANT		PLANT MATERIAL PROPOSED		SHRUB	ROOT/		PLAN
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE (HEIGHT)	CONT.	SPECIFICATION / NOTES	SPACIN
DECIDUOL	JS SHRUBS						
HC	15	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	36"	B&B	Full, well rounded plant with moist rootball and healthy appearance	30-42'
LLH	7	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	24"	Cont.	Full, well rooted plant, evenly shaped	42"
GLS	18	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	18-24"	Cont.	Full, well rooted plant, evenly shaped	42"
GMS	5	Spirea xbumalda 'Goldmound'	Goldmound Spirea	18-24"	Cont.	Full, well rooted plant, evenly shaped	36"
PLANT		PLANT MATERIAL PROPOSED		CONTAINER			PLAN
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE		SPECIFICATION / NOTES	SPACIN
DRNAME	NTAL GRASSES						
KFRG	15	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	15-18'
lardscape	Materials						
	7	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: +/-500 SF		TN	3" Depth	
	60	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Du	raflex Finish	LF		
	500	Landscape Fabric	SF		SF		
	9	Soil Amendments (2" depth)	Area: 1,425 SF		CY		
	9	Pulverized Topsoil (2" over bed areas)	Area: 1,425 SF		CY		

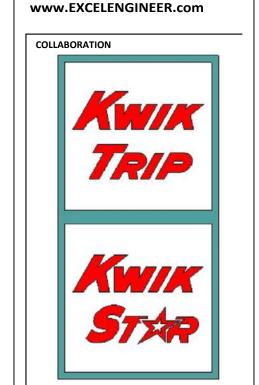
*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan- including the graphics and notations depicted therein- shall govern.

PLANT & MATERIAL SCHEDULE



PLANTING & HARDSCAPE DETAILS





PROJECT INFORMATION

TRIP STORE #1513

PROFESSIONAL SEAL

OF WISCONSTITUTE

PROFESSIONAL SEAL

OF WISCONSTITUTE

OF WISCONS

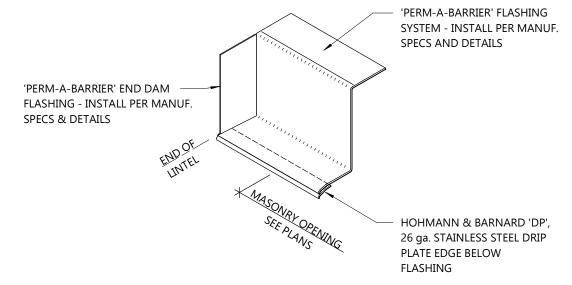
LANDSCAPE
DETAILS,
NOTES, &
SCHEDULES

JOB NUMBER 2028620

SHEET NUMBER

HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com



- EXTEND FLASHING BEYOND OPENINGS TO END OF LINTEL
- THIS DETAIL SHALL BE USED AT STEEL WIDE FLANGE BEAMS, STEEL ANGLE LINTELS, AND MASONRY LINTELS AT ALL EXTERIOR OPENINGS
- SEE HEAD FLASHING DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS

END DAM FLASHING

FLOOR PLAN KEY NOTES

1 FIELD VERIFY DIMENSIONS OF COOLER / FREEZERS BEFORE PLACEMENT. ADJUST ADJACENT FRAMED WALLS AS NEEDED. VERIFY WITH OWNER.

2 ADA 3" X 6" EXIT SIGNAGE WITH BRAILLE. SEE SHEET A100. 3 PROVIDE NEW CONCRETE SLAB AT LOCATION OF EXISTING FREEZER REMOVAL.

4 FIELD VERIFY LOCATION OF EXISTING ROOF DRAIN PIPING. PROVIDE CHASE IF LOCATED IN THE COFFEE AREA. 5 FREEZER TO BE SIX SIDED IMP BOX. PLACE ON EXISTING CONCRETE SLAB.

GENERAL FLOOR PLAN NOTES

ALL INTERIOR DIMENTIONS ARE FROM FACE-OF-STUD TO FACE OF-STUD. ALL INTERIOR WALLS TO BE 2x4 OR 2x6 @ 16" OC (SEE FLOOR PLAN FOR SIZE) -EXTEND ALL MATERIALS FULL HEIGHT TO UNDERSIDE OF ROOF DECK.

PROVIDE 3 1/2" SOUND BATT INSULATION AROUND PERIMETER OF TOILET ROOM AND OFFICE WALLS. MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE.

PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY

LOCATIONS) ALL EXTERIOR WINDOWS TO HAVE GYPSUM BOARD RETURNS AT HEAD AND JAMBS AND SOLID SURFACE SILLS. SEE ROOM FINISH PLAN.

SEE FINSIH PLAN FOR WALL FINSIH

UNDERSIDE OF ROOF DECK ABOVE.

EXISTING BUILDING NOTES

REMOVE EXISTING GYP BOARD AND WALL FINISHES AS NEEDED FOR NEW WORK. ANY GYP BOARD TO REMAIN IS TO BE PATCHED, REPAIRED, AND PREPPED FOR NEW FINISHES AS SHOWN ON THE ROOM FINISH SCHEDULE. IF EXISTING SUBSTRATE DOES NOT MATCH ROOM FINISH SCHEDULE OR CANNOT ACCEPT FINISHES TO MATCH NEW, REPLACE AS REQUIRED.

MINIMUM OF R-19 AND PROVIDED WITH A CONTINUOUS VAPOR RETARDER ON THE INSIDE FACE OF THE STUDS. ENSURE ALL EXISTING INTERIOR DEMISING WALLS BETWEEN SEPARATE TENANT SPACES ARE FILLED WITH SOUND BATT INSULATION AND ALL

ENSURE ALL EXISTING EXTERIOR WALLS ARE FULLY INSULATED TO A

PENETRATIONS, VOIDS, OR GAPS ARE FULLY SEALED. AT EXTERIOR OR DEMISING WALLS IN AREAS WITH UNCONDITIONED ATTIC SPACES, GYP BOARD (OR OTHER SUBSTRATE AS SCHEDULED) SHALL EXTEND THE FULL HEIGHT OF THE WALL TO THE UNDERSIDE OF THE TRUSSES ABOVE. AT EXTERIOR OR DEMISING WALLS IN AREAS WITH ROOF INSULATION ENTIRELY ABOVE THE ROOF DECK, GYP BOARD (OR OTHER SUBSTRATE AS SCHEDULED) SHALL EXTEND THE FULL HEIGHT OF THE WALL TO THE

ENSURE FURRING ON EXTERIOR MASONRY WALLS EXTENDS FULL HEIGHT BEHIND INTERIOR SUBSTRATES. FUR-OUT AROUND COLUMNS AND BEAMS AS NEEDED.

SYMBOLS LEGEND

FOR WALL TYPES

EXIT SIGNAGE FIRE EXTINGUISHER

-SEE A001 SHEETS EXISTING WALL TO REMAIN

EXISTING WALL TO BE DEMOLISHED

MASONRY VENEER

C.M.U. WALL SEE PLAN FOR ALL WALL WIDTHS

EXISTING DOOR TO REMAIN EXISTING DOOR TO BE DEMOLISHED

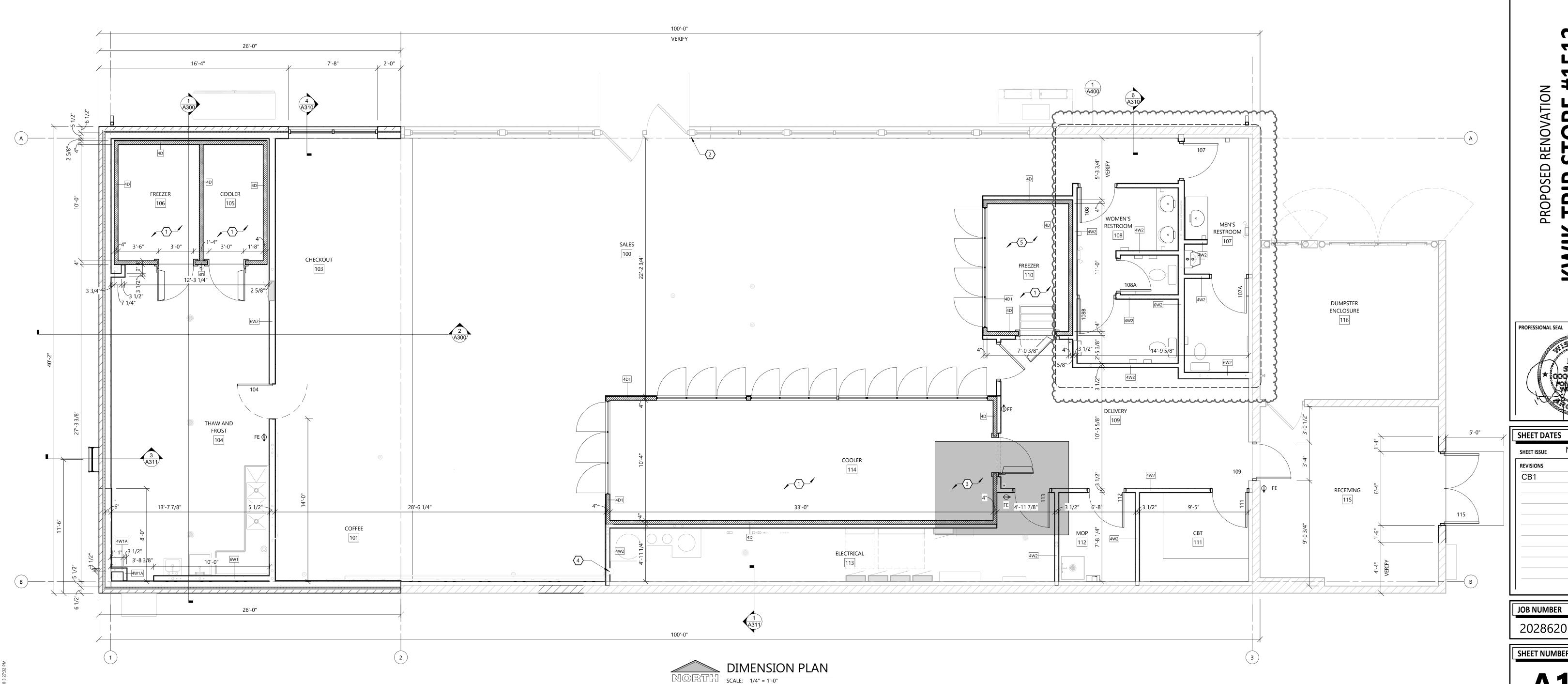
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Fond Du Lac, WI 54935

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COLLABORATION

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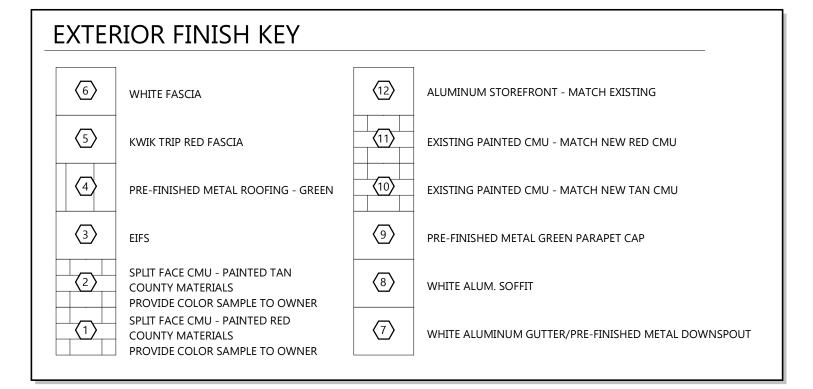
PROFESSIONAL SEAL

SHEET DATES NOV. 10, 2020 NOV 24, 2020

JOB NUMBER

SHEET NUMBER

ARCHITECTURAL DIMENSION PLAN



EXTERIOR ELEVATION KEYNOTES

DESCRIPTION A EXISTING ALUMINUM DOOR AND FRAME TO REMAIN B NEW ALUMINUM DOOR AND FRAME (SEE SHEET A500) C NEW EXTERIAL WALL SIGANGE BY OTHERS. COORDINATE SIZE AND BLOCKING REQUIREMNTS WITH OWNER / SUPPLIER. D NEW FRP DOOR AND FRAME. PAINT TO MATCH ADJACENT WALL. E NEW ROOF ACCESS LADDER. PAINT TO MATCH ADJACENT WALL. F EXISTING ALUMINUM STOREFRONT WINDOW FRAME AND GLAZING

TO REMAIN. G EXISTING GUTTER AND DOWNSPOUT TO REMAIN

H PAINT EXISTING DUMPSTER ENCLOSURE GATE. REPLACE ANY DAMAGED BOARDS AND VERIFY ALL GATE HARDWARE IS IN PROPER WORKING ORDER.

MEP SERVICE EQUIPMENT. SEE MEP DRAWINGS FOR MORE INFORMATION.

J RUN ROOF MEMBRANE UP BACK OF PARAPET. K RETURN WALL FINISHES AT STEP IN WALL FACE. L EXISTING EXTERIOR MERCHANDISER TO BE REPLACED WITH EQUAL. COLLABORATION TRIP

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RENOVATION POSED

7

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SHEET DATES SHEET ISSUE NOV. 10, 2020 REVISIONS

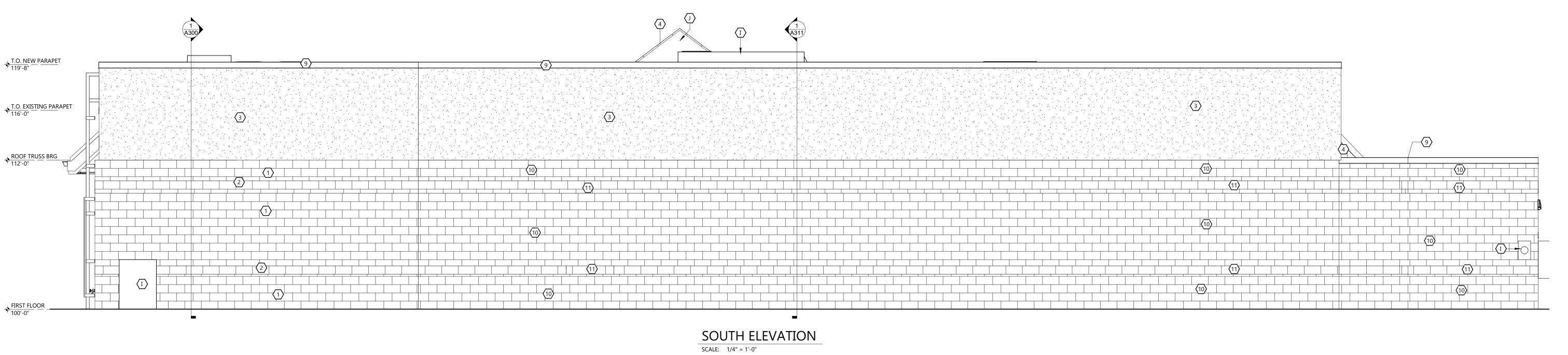
JOB NUMBER

2028620

SHEET NUMBER

2020 © EXCEL ENGINEERING, INC.

T.O. NEW PARAPET 119'-8" T.O. EXISTING PARAPET 116'-0" 3 ROOF TRUSS BRG 5 6 F F F $\langle A \rangle$ 7'-8" 16'-4" NORTH ELEVATION SCALE: 1/4" = 1'-0"



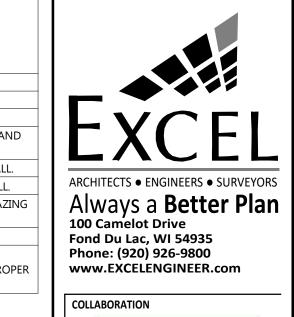


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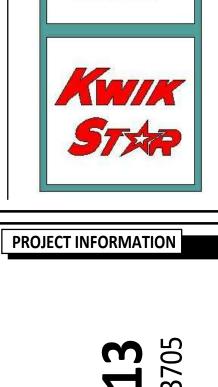
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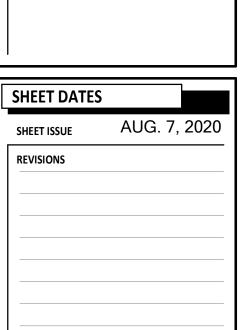


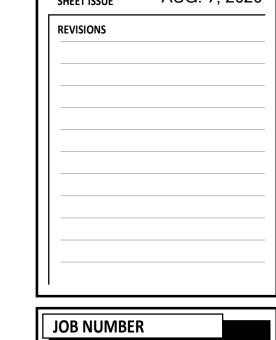




T.O. PARAPET 116'-0"

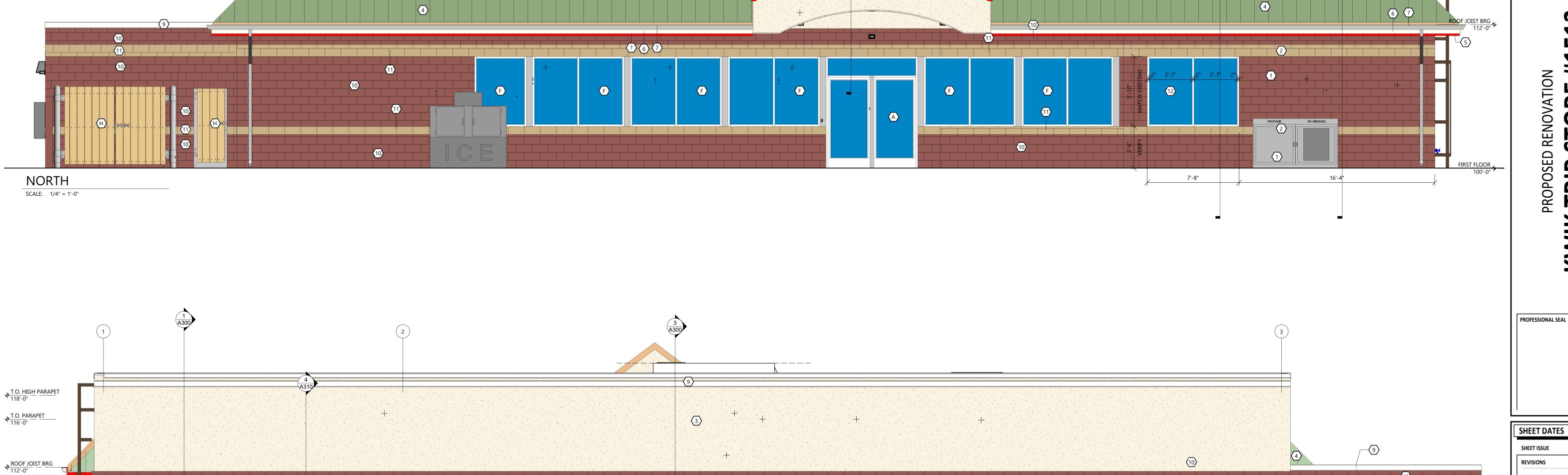






2028620

SHEET NUMBER



◆ FIRST FLOOR —

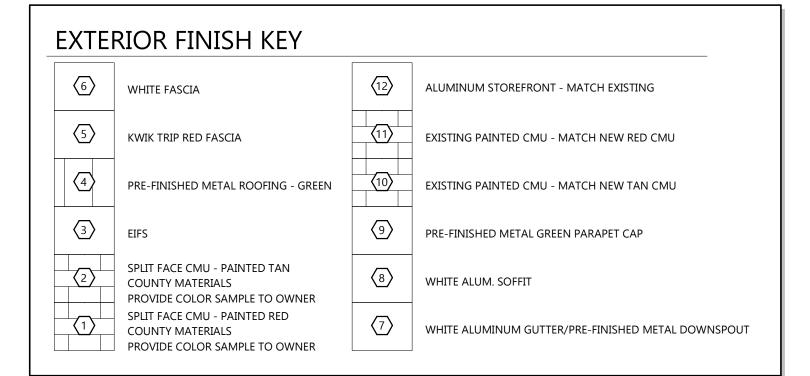
SOUTH

SCALE: 1/4" = 1'-0"

10

(11)

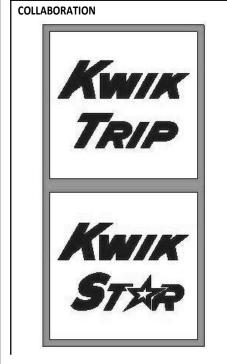
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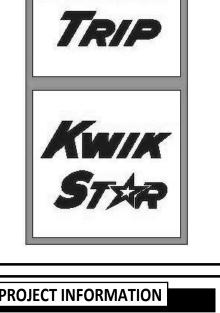




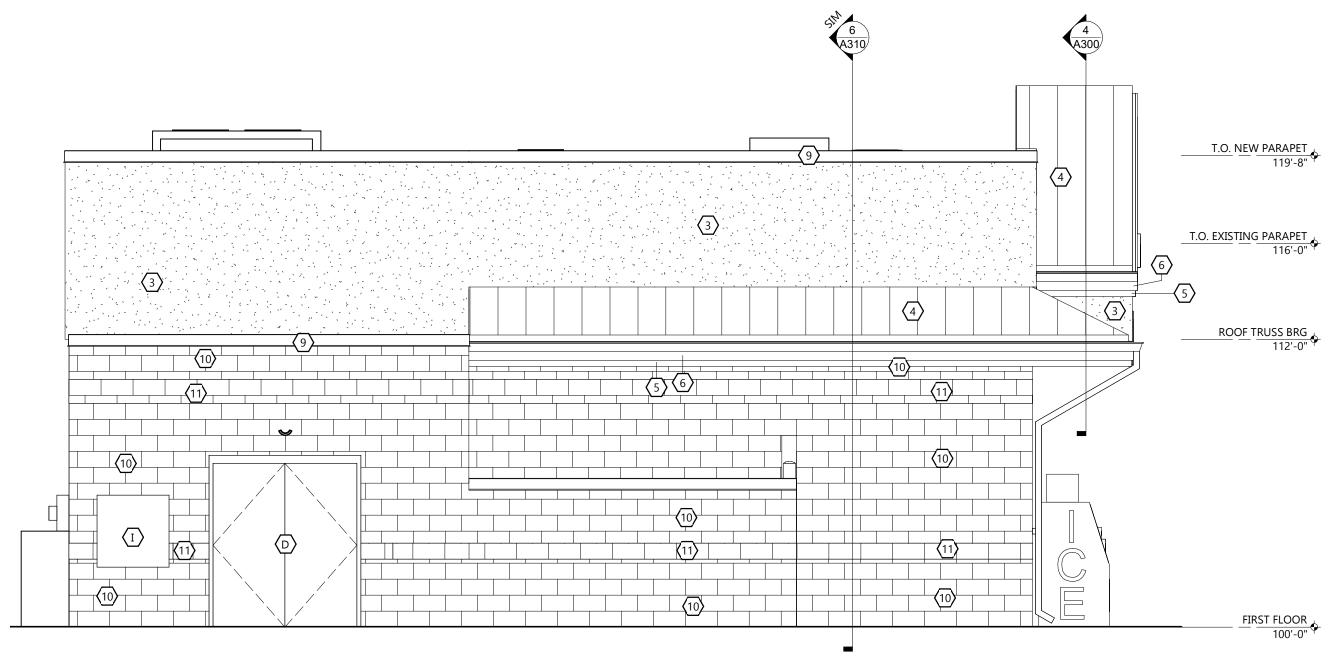
L EXISTING EXTERIOR MERCHANDISER TO BE REPLACED WITH EQUAL.

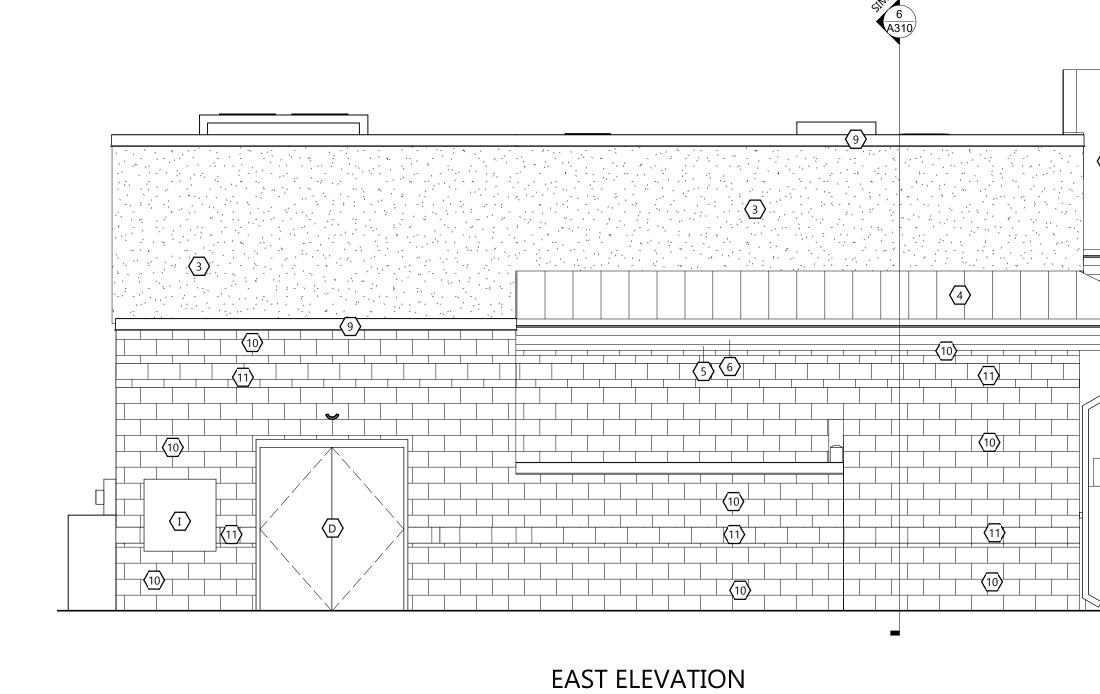












SCALE: 1/4" = 1'-0"

13'-0"

- I

WEST ELEVATION

SCALE: 1/4" = 1'-0"

T.O. NEW PARAPET

ROOF TRUSS BRG

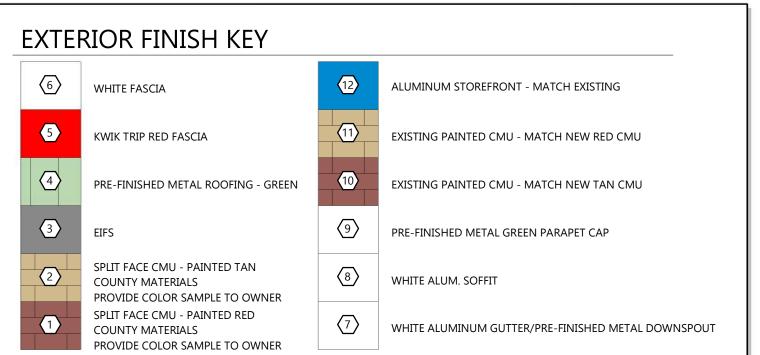
FIRST FLOOR 100'-0"

T.O. EXISTING PARAPET 116'-0"

SHEET DATES SHEET ISSUE NOV. 10, 2020 REVISIONS

JOB NUMBER 2028620

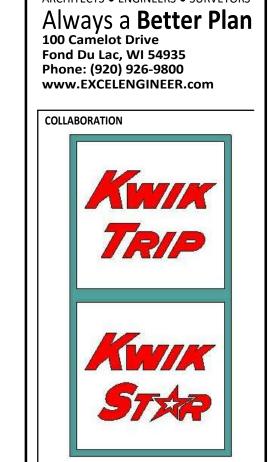
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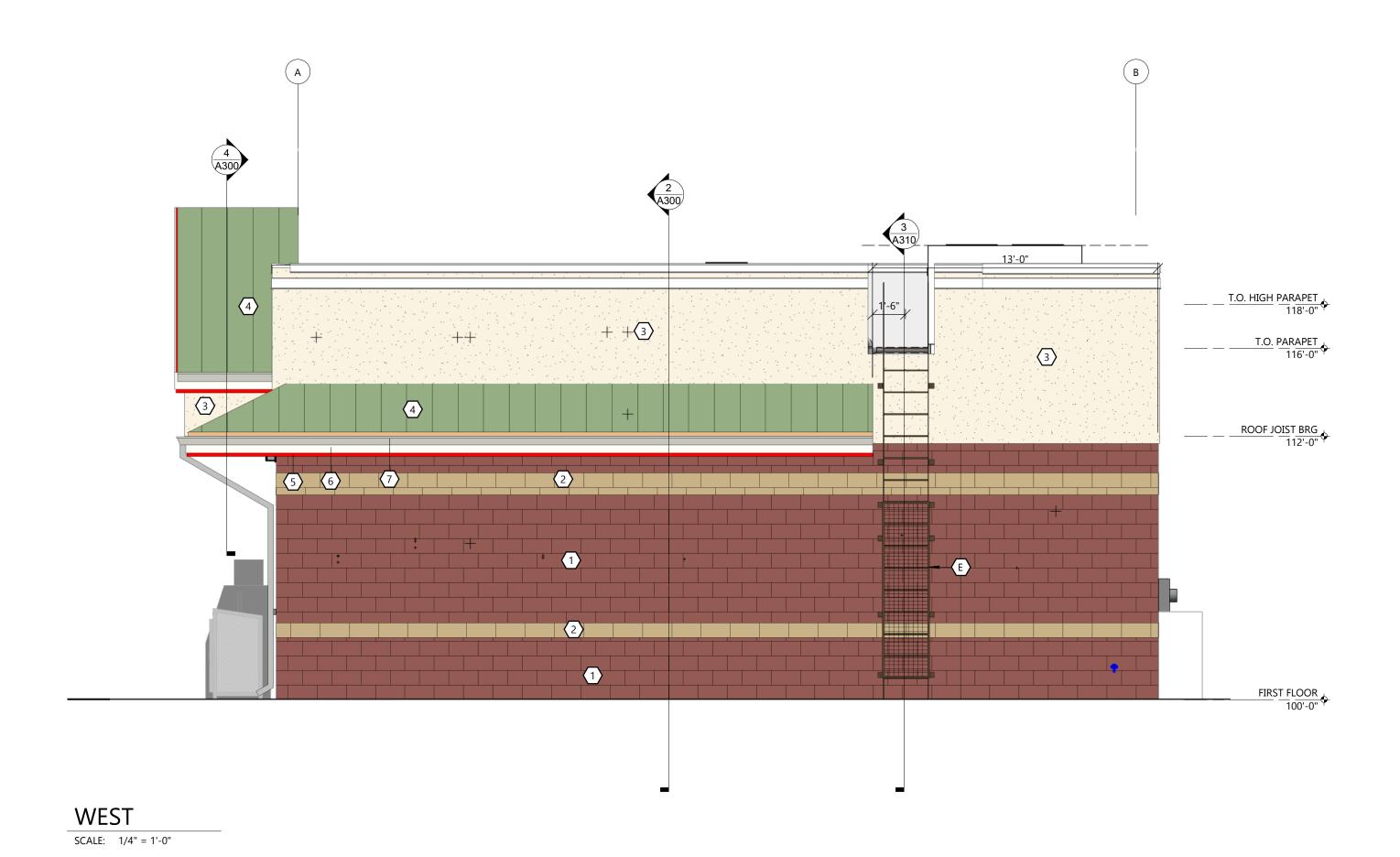


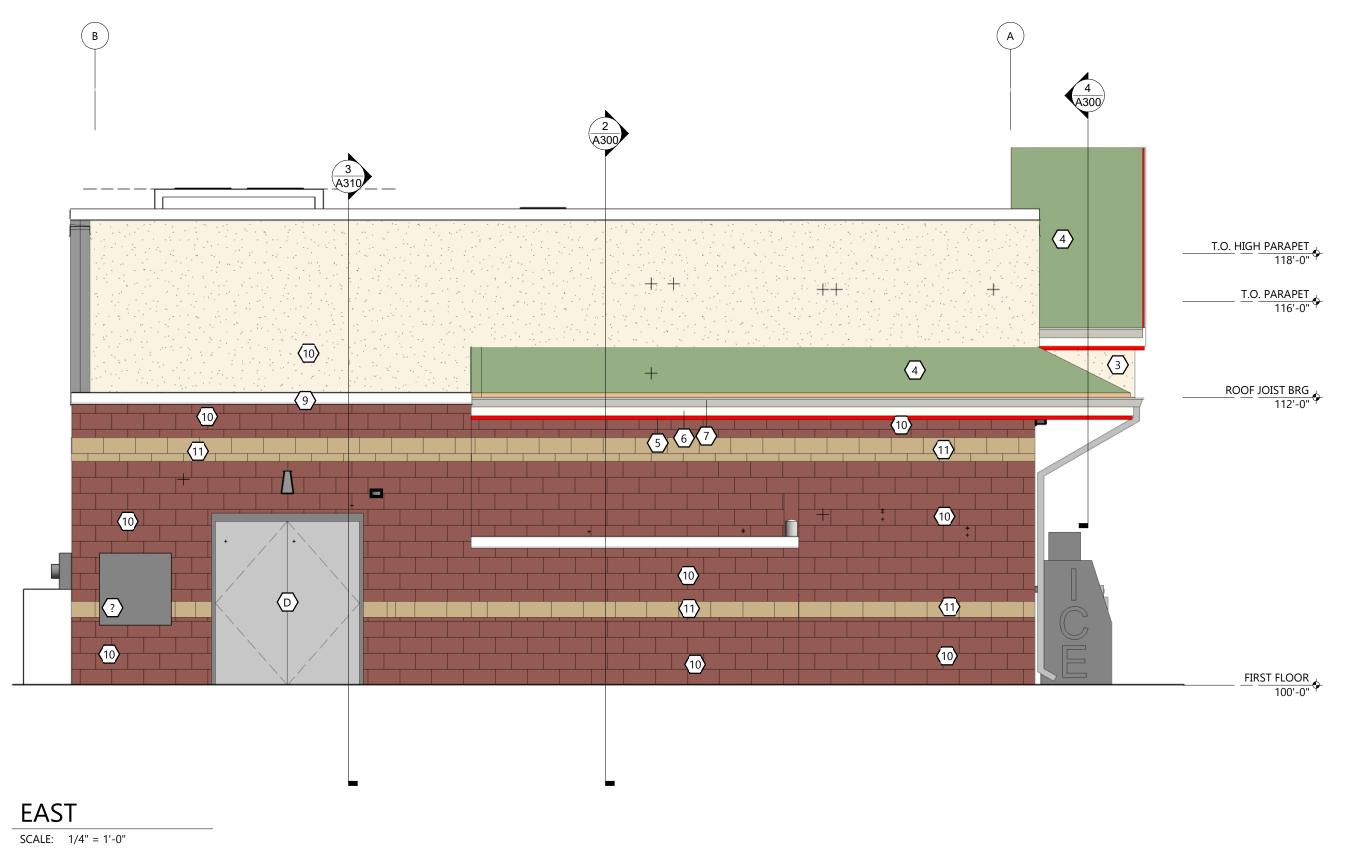
EXTERIOR ELEVATION KEYNOTES MARK DESCRIPTION A EXISTING ALUMINUM DOOR AND FRAME TO REMAIN B NEW ALUMINUM DOOR AND FRAME (SEE SHEET A500) C NEW EXTERIAL WALL SIGANGE BY OTHERS. COORDINATE SIZE AND BLOCKING REQUIREMNTS WITH OWNER / SUPPLIER. D NEW FRP DOOR AND FRAME. PAINT TO MATCH ADJACENT WALL. E NEW ROOF ACCESS LADDER. PAINT TO MATCH ADJACENT WALL. F EXISTING ALUMINUM STOREFRONT WINDOW FRAME AND GLAZING TO REMAIN. G EXISTING GUTTER AND DOWNSPOUT TO REMAIN H PAINT EXISTING DUMPSTER ENCLOSURE GATE. REPLACE ANY

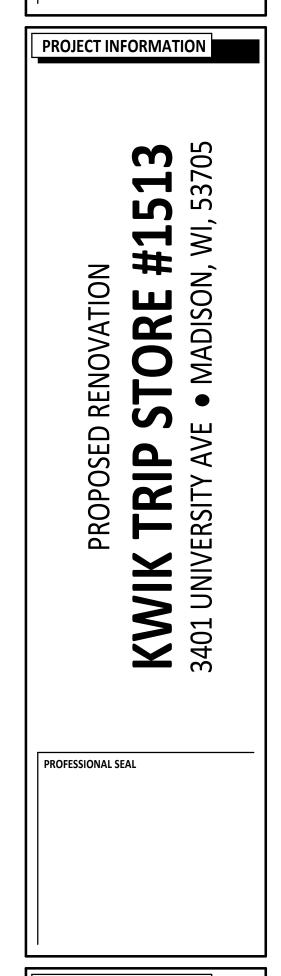
DAMAGED BOARDS AND VERIFY ALL GATE HARDWARE IS IN PROPER

WORKING ORDER.





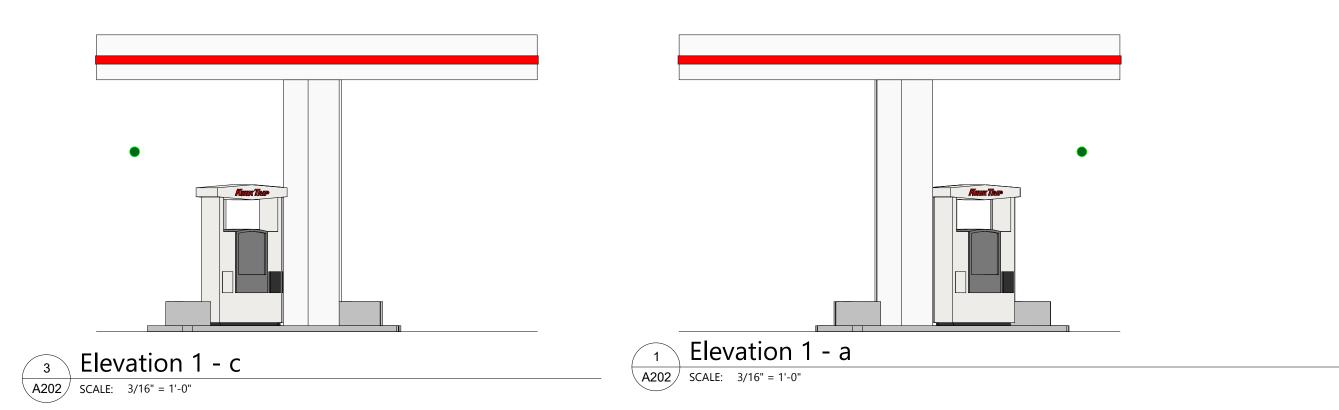


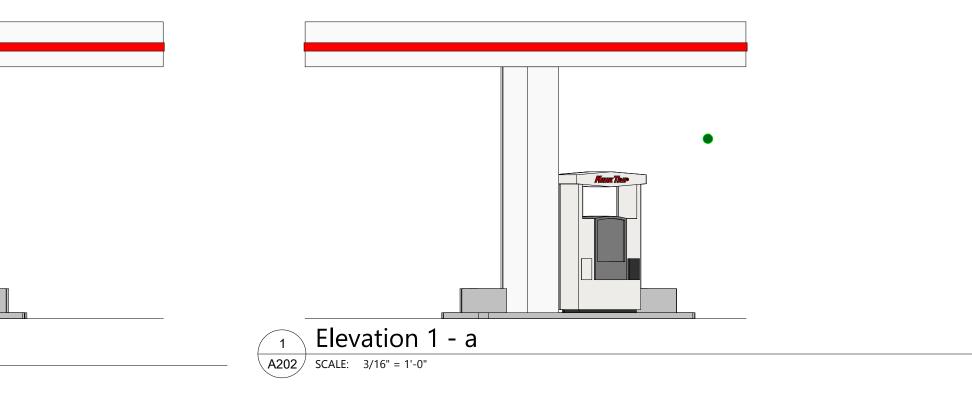


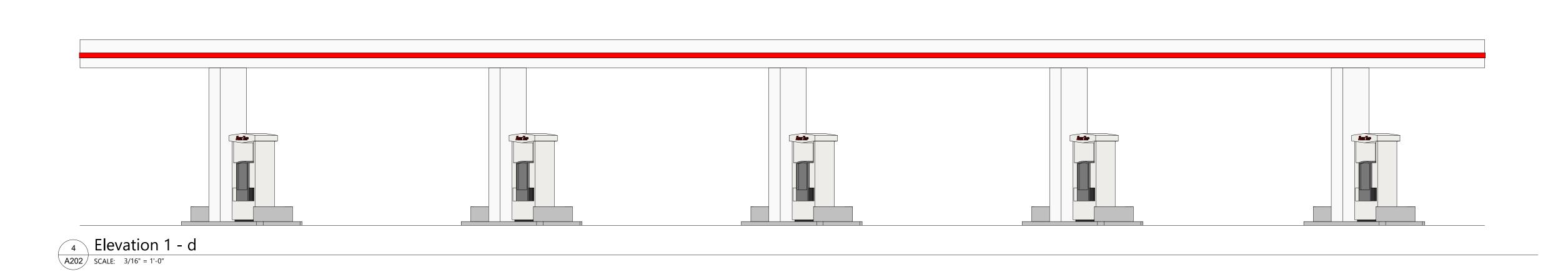
PRELIMINARY DATES	
SEPT. 23, 2020	NOT FOR CONSTRUCTION
JOB NUMBER	
2028620	

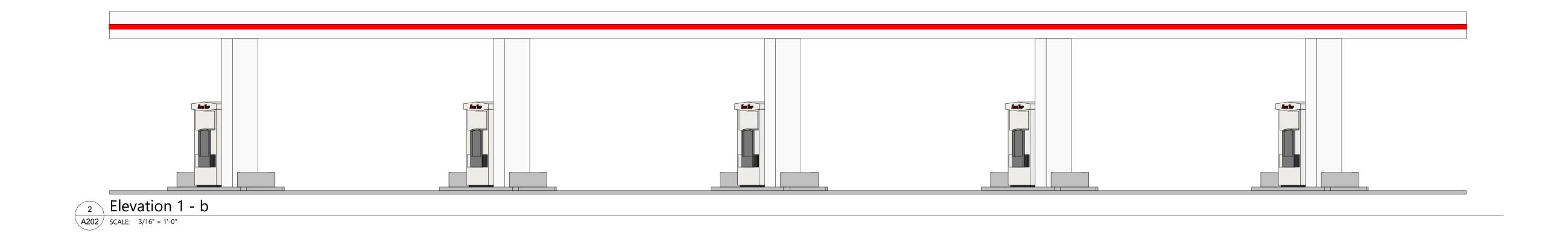


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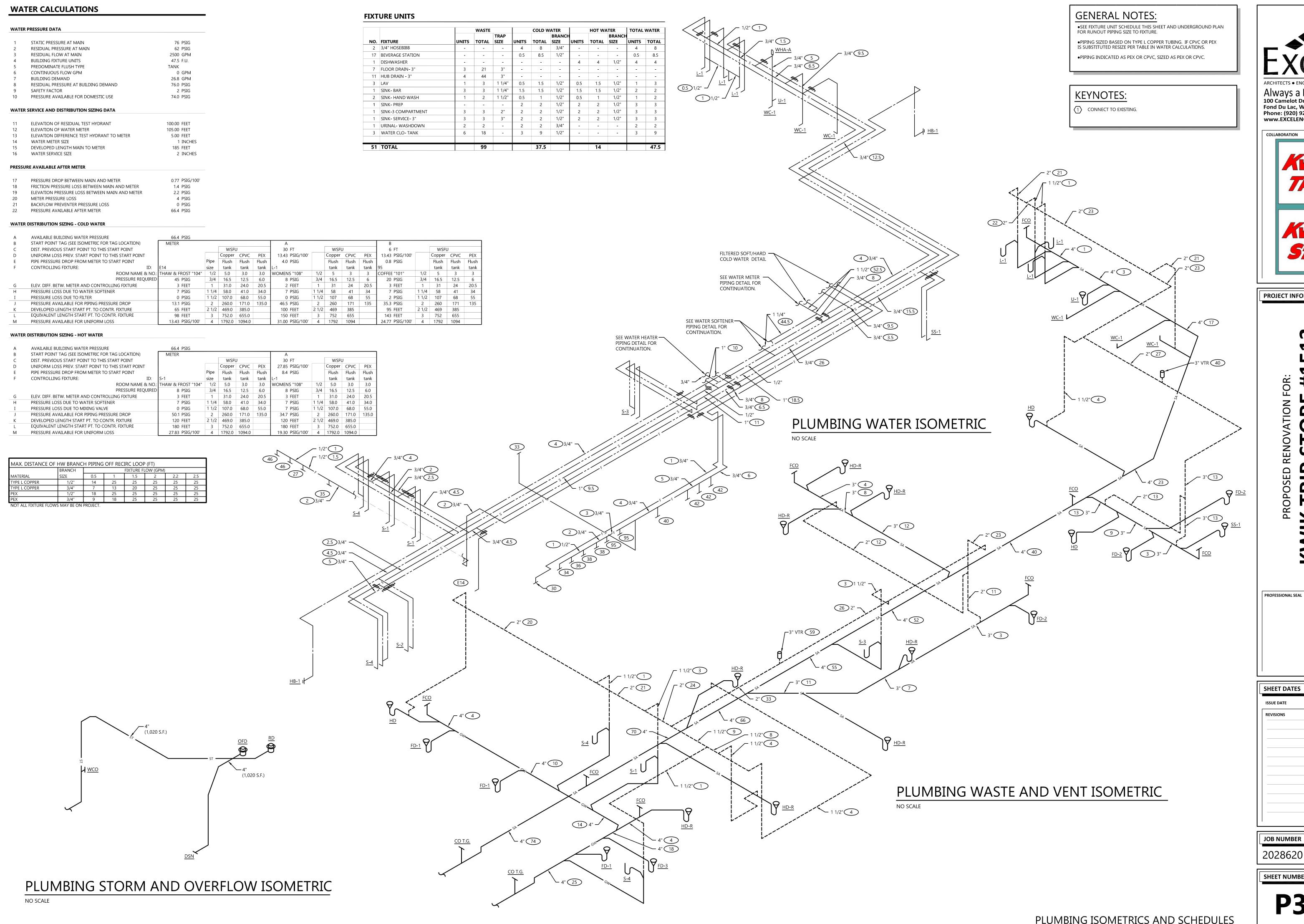
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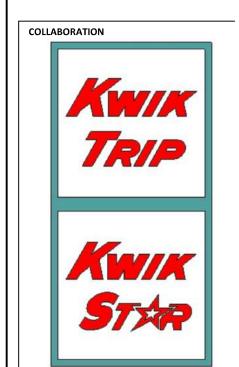
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PLUMBING ISOMETRICS AND SCHEDULES

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