

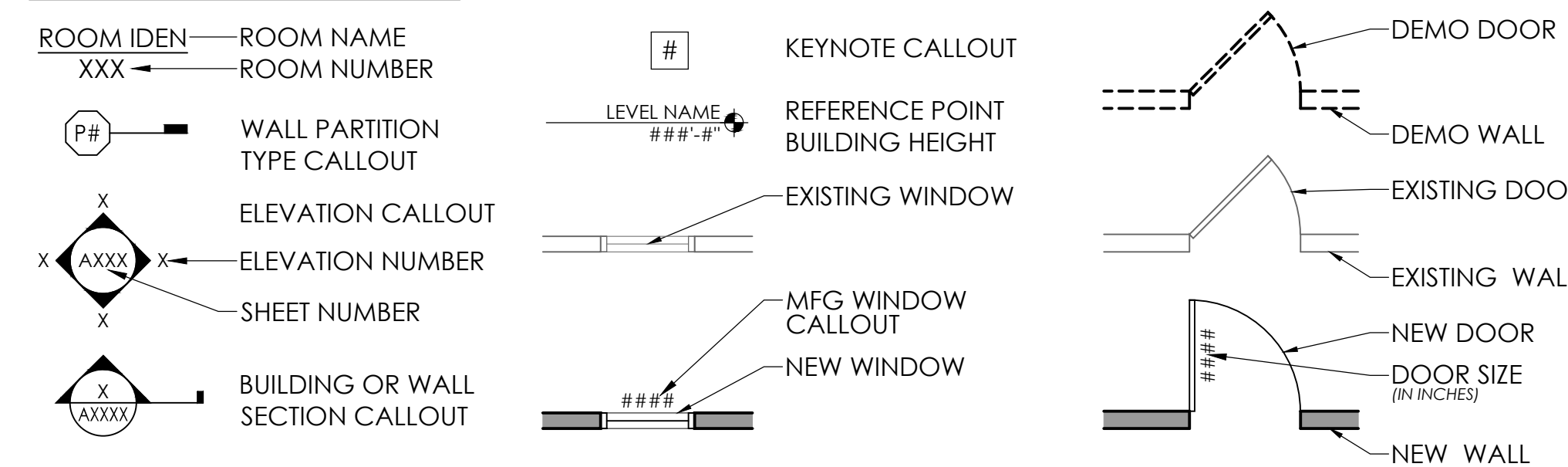


SITE LOCATION

DEFINITIONS:

AFF	ABOVE FINISHED FLOOR
ACT	ACOUSTICAL CEILING TILE
AL/ALUM	ALUMINUM
BLDG	BUILDING
CAB	CABINET
CPT	CARPET
CSWK	CASEWORK
CLG	CEILING
CL	CENTERLINE
CM	CONSTRUCTION MANAGEMENT
COOR	COORDINATE
DEMO	DEMOLITION
DBL	DOUBLE
EW	EACH WAY
ELEV	ELEVATION
EQ	EQUAL
XTG	EXISTING
FRP	FIBERGLASS REINFORCED PLASTIC
FEC	FIRE EXTINGUISHER CABINET
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
GA	GAUGE
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSON WALL BOARD
HDWD	HARDWARE
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING
HGT	HEIGHT
HM	HOLLOW METAL
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OVHG	OVERHANG
PT	PAINT
PLAM	PLASTIC LAMINATE
REQ	REQUIRED
SS	STAINLESS STEEL
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WDB	WOOD BASE
WD	WOOD/WOOD VENEER

SYMBOL LEGEND:



GENERAL NOTES:

1. FIELD VERIFY ALL DIMENSIONS, CONSULT ARCHITECT W/ INCONSISTENCIES.
2. CONTRACTOR TO COMPLY WITH ALL APPLICABLE BUILDING CODES.
4. DIMENSIONS ARE TO FACE OF SHEATHING AT EXTERIOR WALLS AND EDGE OF STUD AT INTERIOR PARTITIONS.
5. PROVIDE BLOCKING FOR ALL CABINETS AND SHELVING.
6. ALL CABINET AND MILLWORK DRAWINGS TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION.
7. PROVIDE SMOKE & CARBON MONOXIDE DETECTORS AS REQUIRED BY STATE AND LOCAL CODES.

ELECTRICAL/DATA NOTES:

1. SCHEDULE PRELIMINARY WALK-THRU W/ OWNER & ARCHITECT PRIOR TO INSTALL.
2. CONTRACTOR TO COORDINATE SUBMITTAL OF ALL NECESSARY DRAWINGS AND CALCULATIONS FOR APPROVAL.
3. SEE REFLECTED CEILING PLAN FOR LAYOUT PURPOSES. ENGINEERING OF LIGHTING, SWITCHING AND CIRCUITS BY ELECTRICIAN.
4. COORDINATE POWER REQUIREMENTS PROPERTY OWNER/ARCHITECT.
5. LIGHTING FIXTURES TO BE BUILDING STANDARDS, OR AS NOTED ON LIGHT FIXTURE SCHEDULE

PLUMBING NOTES:

1. CONTRACTOR TO COORDINATE SUBMITTAL FOR ALL NECESSARY DRAWINGS AND CALCULATIONS FOR APPROVAL.

HVAC NOTES:

1. CONTRACTOR TO COORDINATE SUBMITTAL OF ALL NECESSARY DRAWINGS AND CALCULATIONS FOR APPROVAL.
2. ALL DUCTWORK TO BE SEALED.

SQUARE FOOTAGES

BUILDING GROSS = 6463 SF
 BUILDING FOOTPRINT = 3588 SF
 NO BASEMENT
 FIRST FLOOR FINISHED = 2046 SF
 GARAGE = 1154 SF
 SECOND FLOOR FINISHED = 2226 SF
 2ND FLOOR UNFINISHED = 675 SF

SHEET INDEX

Sheet Number	Sheet Title
T000	TITLE SHEET
C000	DEMO SITE PLAN
C100	ARCHITECTURAL SITE PLAN
C101	GRADING PLAN
L100	LANDSCAPE PLAN
A101	1ST FLOOR PLAN
A102	2ND FLOOR PLAN
A103	ROOF PLAN
A300	EXTERIOR ELEVATIONS
A301	EXTERIOR ELEVATIONS
A302	RENDERINGS

ROGERS RESIDENCE

2412 WAUNONA WAY

MADISON, WI 53713

ARCHITECT:
 DESTREE DESIGN ARCHITECTS, INC.
 222 WEST WASHINGTON AVE, SUITE 310
 MADISON, WI 53703
 PH: 608.268.1499
 WWW.DESTREEARCHITECTS.COM

OWNER:
 STACEY & SCOTT ROGERS
 2419 PARMENTER ST.
 MIDDLETON, WI 53562
 PH: 305.495.7969, 330.283.3109
 CONTACT: STACY ROGERS



LAKESIDE RENDERING



STREET SIDE RENDERING



222 WEST WASHINGTON AVE, SUITE 310
 MADISON, WI 53703
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ISSUANCES:

NOTIFICATION 10/28/22
 LUA 11/28/22

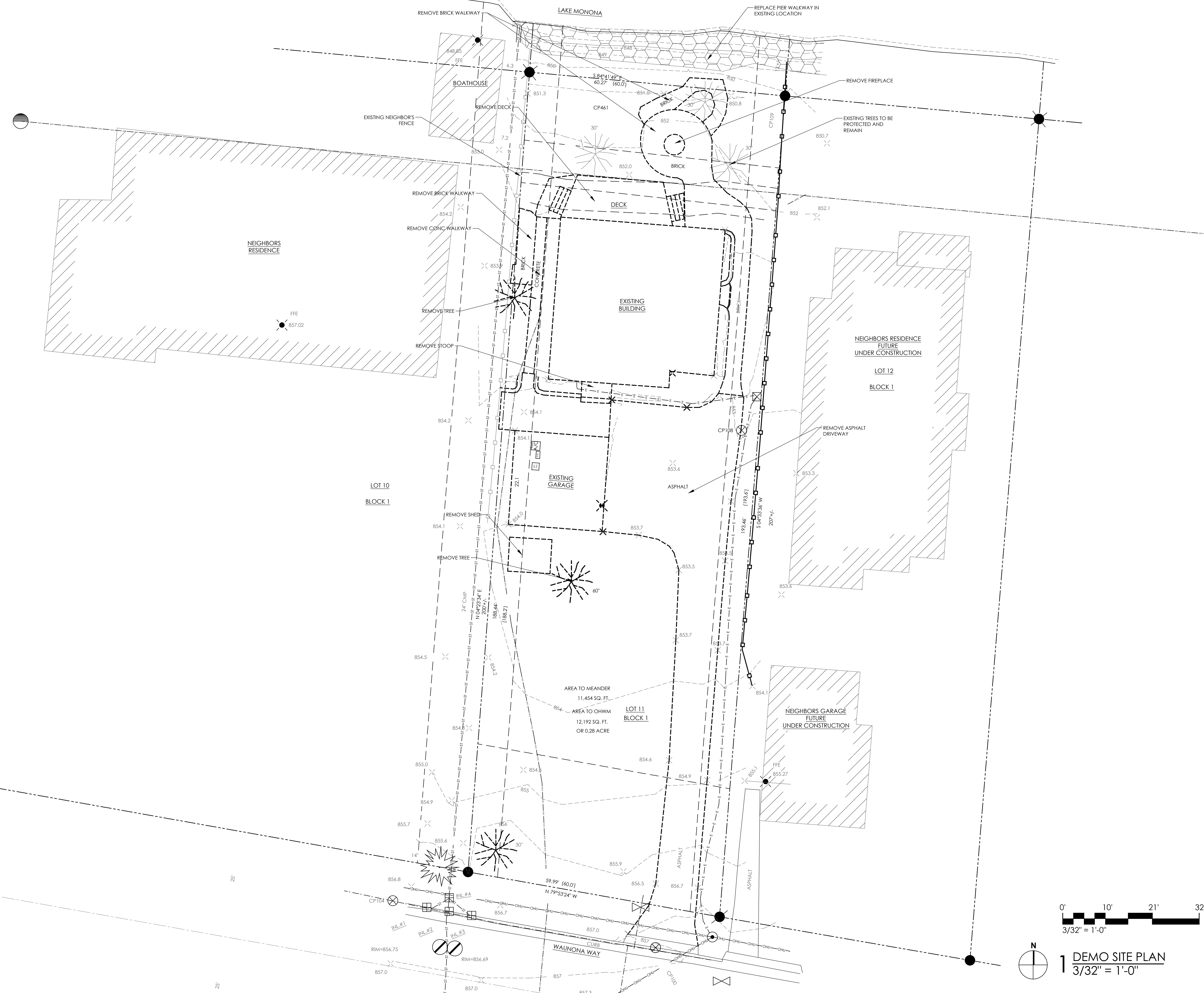
Schematic Design Phase:
 This drawing indicates the scale and relationship of the project components. This drawing is not for construction.

SHEET NUMBER

T000

PLOT DATE: 11/28/2022

SANITARY MANHOLE #1
RIM=854.45
EAST INV.=846.70

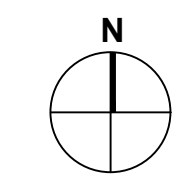
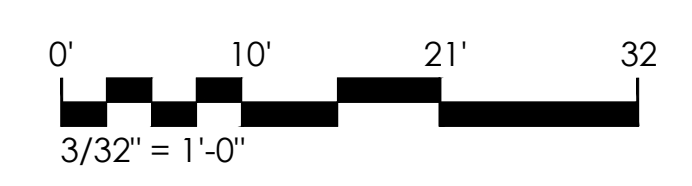


STORM INLET #1
RIM AT FLOW=856.00
NW INV.=853.45

STORM INLET #2
RIM AT FLOW=856.04
N. INV.=852.49
S. INV.=852.49
SUMP=849.24

STORM INLET #3
RIM AT FLOW=856.03
NW INV.=853.33

STORM INLET #4
RIM AT FLOW=856.44
SW INV.=853.24
S. INV.=853.34
SE INV.=853.34
N. INV.=853.77
SUMP=848.14



1 DEMO SITE PLAN
3/32" = 1'-0"



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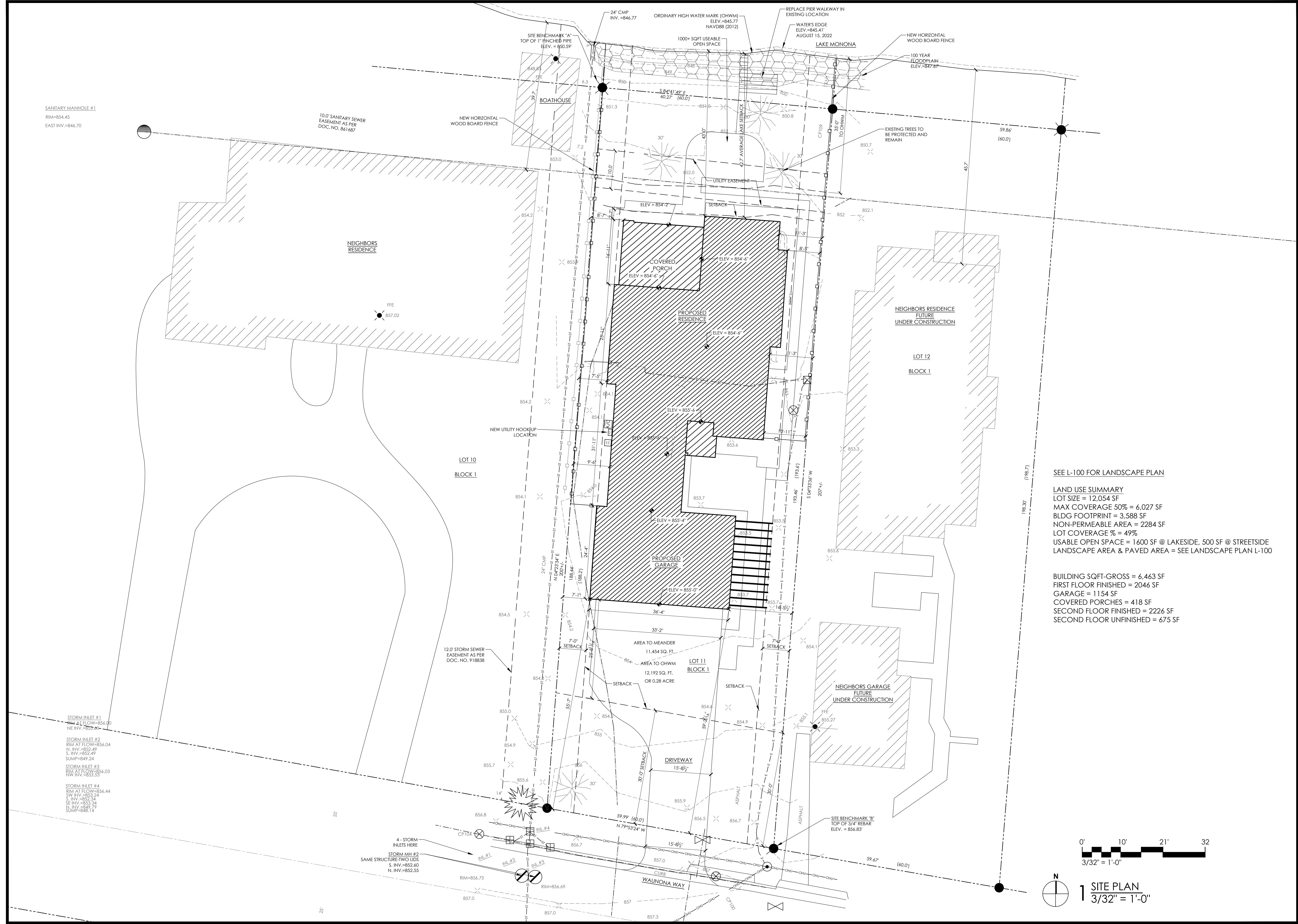
LUA 11/28/22

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SHEET NUMBER

C100

PLOT DATE: 11/28/2022



SANITARY MANHOLE #1
RIM=854.45
EAST INV.=846.70

10.0' SANITARY SEWER
EASEMENT AS PER
DOC. NO. 861687

NEIGHBORS
RESIDENCE

FFE
857.02

LOT 10
BLOCK 1

LOT 11
BLOCK 1

NEIGHBORS RESIDENCE
FUTURE
UNDER CONSTRUCTION

LOT 12
BLOCK 1

NEIGHBORS GARAGE
FUTURE
UNDER CONSTRUCTION

STORM INLET #1
RIM AT FLOW=856.00
N. INV.=852.40

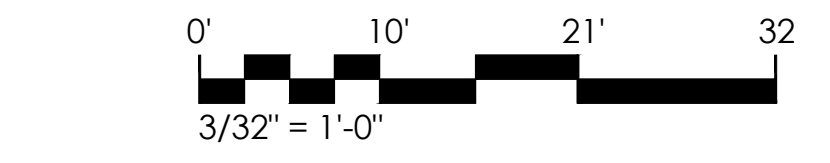
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RIM AT FLOW=856.04
N. INV.=852.49
S. INV.=852.49
SUMP=849.24

STORM INLET #3
RIM AT FLOW=856.03
N. INV.=853.33

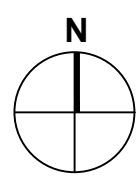
STORM INLET #4
RIM AT FLOW=856.44
SW INV.=853.24
S. INV.=852.34
SE INV.=853.34
N. INV.=849.79
SUMP=848.14

4 - STORM
INLETS HERE

STORM MH #2
SAME STRUCTURE-TWO LIDS
S. INV.=852.60
N. INV.=852.55



1 SITE PLAN
3/32" = 1'-0"



SEE L-100 FOR LANDSCAPE PLAN

LAND USE SUMMARY
LOT SIZE = 12,054 SF
MAX COVERAGE 50% = 6,027 SF
BLDG FOOTPRINT = 3,588 SF
NON-PERMEABLE AREA = 2284 SF
LOT COVERAGE % = 49%
USABLE OPEN SPACE = 1600 SF @ LAKESIDE, 500 SF @ STREETSIDE
LANDSCAPE AREA & PAVED AREA = SEE LANDSCAPE PLAN L-100

BUILDING SQFT-GROSS = 6,463 SF
FIRST FLOOR FINISHED = 2046 SF
GARAGE = 1154 SF
COVERED PORCHES = 418 SF
SECOND FLOOR FINISHED = 2226 SF
SECOND FLOOR UNFINISHED = 675 SF

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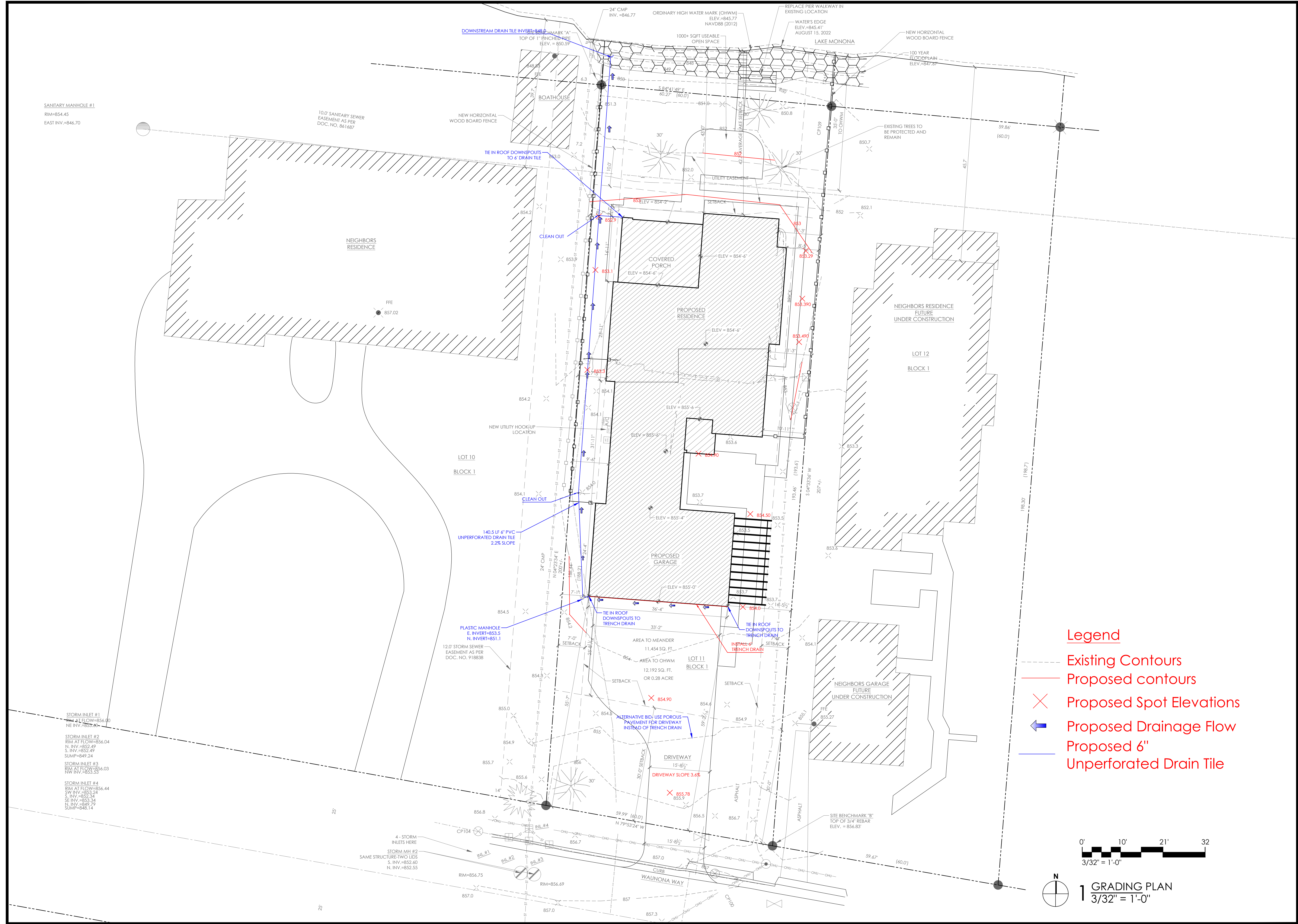
ROGERS RESIDENCE
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MADISON, WI 53713

ISSUANCES:
NOTIFICATION 10/28/22
LUA 11/28/22

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This drawing is not for
construction.

SHEET NUMBER
C100

PLOT DATE: 11/28/2022



SANITARY MANHOLE #1
RIM=854.45
EAST INV.=846.70

10.0' SANITARY SEWER
EASEMENT AS PER
DOC. NO. 861687

NEIGHBORS
RESIDENCE

FFE
857.02

LOT 10
BLOCK 1

12.0' STORM SEWER
EASEMENT AS PER
DOC. NO. 918838

ALTERNATIVE B.D. USE POROUS
PAVEMENT FOR DRIVEWAY
INSTEAD OF TRENCH DRAIN

STORM INLET #1
RIM AT FLOW=856.00
NE INV.=853.61

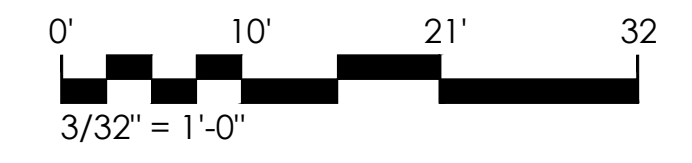
STORM INLET #2
RIM AT FLOW=856.04
N. INV.=852.49
S. INV.=852.49
SUMP=849.24

STORM INLET #3
RIM AT FLOW=856.03
NW INV.=853.33

STORM INLET #4
RIM AT FLOW=856.44
SW INV.=853.24
S. INV.=852.34
SE INV.=853.34
N. INV.=849.79
SUMP=848.14

4 - STORM
INLETS HERE
STORM MH #2
SAME STRUCTURE-TWO LIDS
S. INV.=852.60
N. INV.=852.55

- Legend**
- Existing Contours
 - Proposed contours
 - Proposed Spot Elevations
 - Proposed Drainage Flow
 - Proposed 6" Unperforated Drain Tile



1 GRADING PLAN
3/32" = 1'-0"

NAHN & ASSOCIATES INC.
Chuck Nahn

5623 SANDHILL DRIVE
MIDDLETON, WI 53562
P: (608) 712-9199

ROGERS RESIDENCE
2412 WAUNONA WAY
MADISON, WI 53713

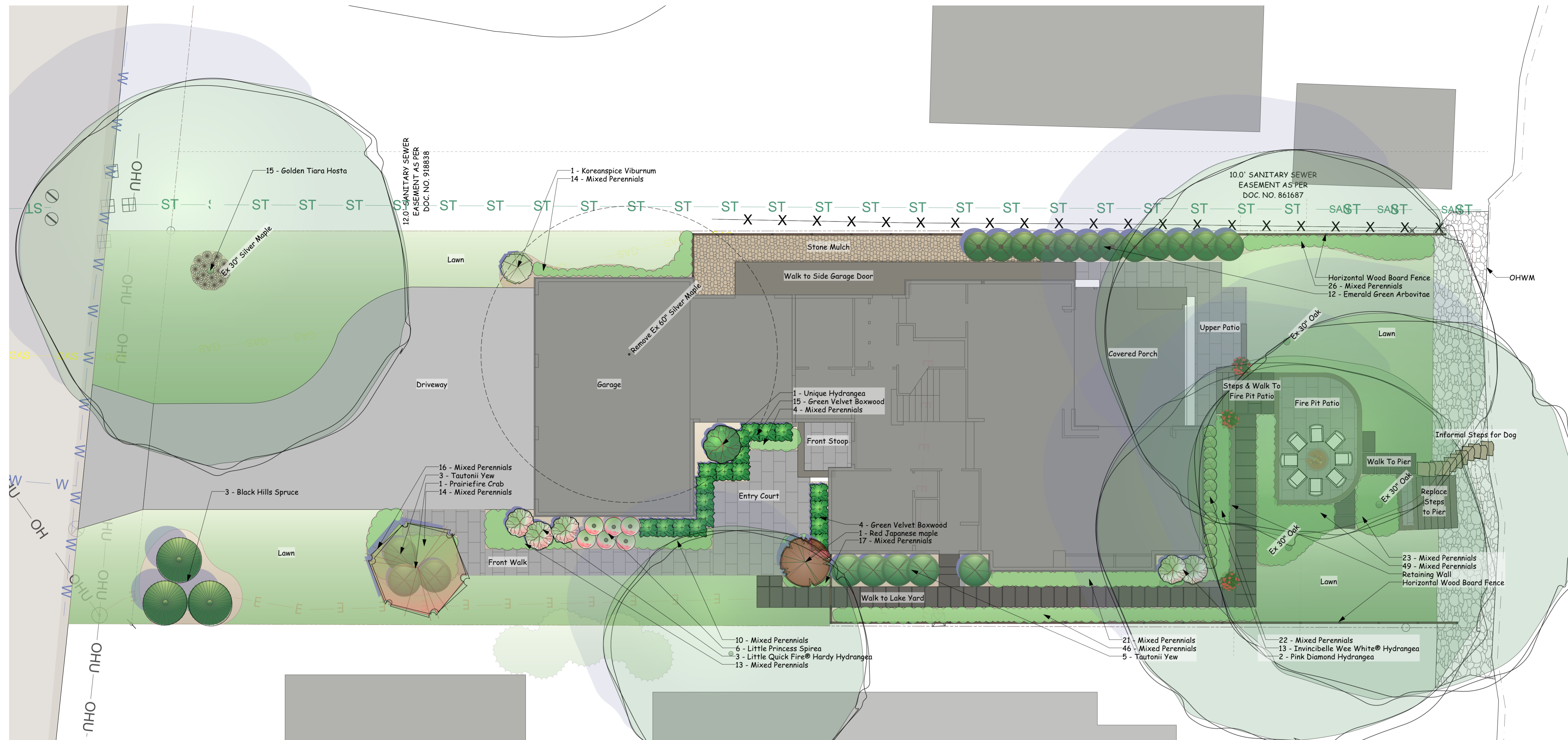
ISSUANCES:
NOTIFICATION 10/28/22
LUA 11/28/22

PROJECT #:
SHEET NUMBER

C101

LANDSCAPE PLAN

ROGERS RESIDENCE
2412 WAUNONA WAY
MADISON, WISCONSIN



LOT COVERAGE ALLOWABLE	
Lot Area	12,054 Sq Ft
Lot Coverage Allowed (50% max)	6,027 Sq Ft
Non-permeable Area (proposed)	5,872 Sq Ft
Non-permeable Area % (proposed)	49%

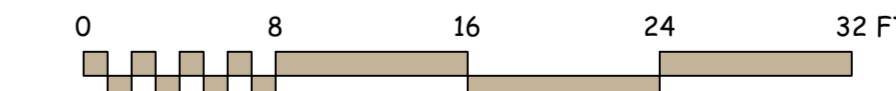
LOT COVERAGE - NOT INCLUDED UNDER 5' WIDTH	
Area Name	Area
Walk Street Side to Lake Side	343 Sq Ft
Walk from Fire Pit Patio to Pier	58 Sq Ft
Stepper Walk from Fire Pit Patio to Lawn	15 Sq Ft
Side Walk to Garage Door	198 Sq Ft
Front Walk	215 Sq Ft
Total	829 Sq Ft

LOT COVERAGE - NON PERMEABLE	
Area Name	Area
Lake Side Walk to Fire Pit Patio	61 Sq Ft
Lake Side Upper Patio	205 Sq Ft
House, Garage, Covered Porch	3,588 Sq Ft
Front Stoop	64 Sq Ft
Front Entry Court	224 Sq Ft
Fire Pit Patio	250 Sq Ft
Driveway	1,480 Sq Ft
Total	5,872 Sq Ft

LAKEFRONT LOT COVERAGE
Area Within 35' of OHWM = 2,115 Sq Ft
Coverage % Allowed = 20%
Coverage % Proposed = 380 Sq Ft -18%

PLANT LIST			
Latin Name	Common Name	Quantity	Scheduled Size
<i>Acer palmatum</i> 'Atropurpurea'	Red Japanese maple	1	#10
<i>Achillea millefolium</i> 'Moonshine'	Yarrow	17	21t
<i>Allium caeruleum</i>	Blue Globe Onion	13	
<i>Buxus x sempervirens</i> 'Green Velvet'	Green Velvet Boxwood	19	#2
<i>Deschampsia caespitosa</i>	Tufted Hair Grass	135	
<i>Echinacea purpurea</i>	Purple Coneflower	20	
<i>Hakonechloa macrocarpa</i> 'Aureola'	Golden Japanese Forest Grass	191	
<i>Hosta</i> 'Golden Tiara'	Golden Tiara Hosta	30	4.5in Pot
<i>Hosta fortunei</i> 'Aureomarginata'	Aurea Marginata Plantain Lily	76	
<i>Hosta x 'Frances'</i>	Francee Plantain Lily	29	
<i>Hydrangea arborescens</i> 'Invincible Wee White®'	Invincible Wee White® Hydrangea	13	#3
<i>Hydrangea paniculata</i> 'Pink Diamond'	Pink Diamond Hydrangea	2	18in
<i>Hydrangea paniculata</i> 'SMHPLQF' USPP 25136	Little Quick Fire® Hardy Hydrangea	3	18in
<i>Hydrangea paniculata</i> 'Unique'	Unique Hydrangea	1	2ft
<i>Liatris spicata</i>	Spiked Gayfeather	13	
<i>Malus</i> 'Prairiefire'	Prairiefire Crab	1	2in BB
Mixed Perennials	Mixed Perennials	1093	4.5in Pot
<i>Monarda didyma</i> 'Petite Delight' P.P.# 10784	Petite Delight Bee Balm	5	
<i>Picea glauca densata</i> 'Black Hills'	Black Hills Spruce	3	6ft BB
<i>Saxifraga x arendsii</i> Highlander Red	Highlander Red	76	1t
<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	6	15-18in
<i>Taxus x media</i> 'Tautonii'	Tautonii Yew	8	#5
<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	12	#15
<i>Viburnum carlesii</i>	Koreanspice Viburnum	1	#5
		0	

Notes:
1. Plant beds edged with black vinyl edging.
2. Plant beds mulched with 3" of double shredded hardwood bark.



Important Note:
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NORTH
➔

SCALE: 1/8"=1'-0"

DATE: NOVEMBER 23, 2022

DESIGN: jch

REVISION:

L-100

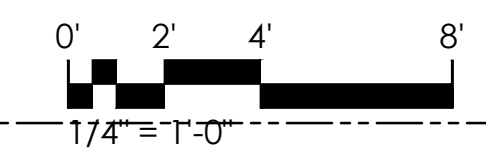
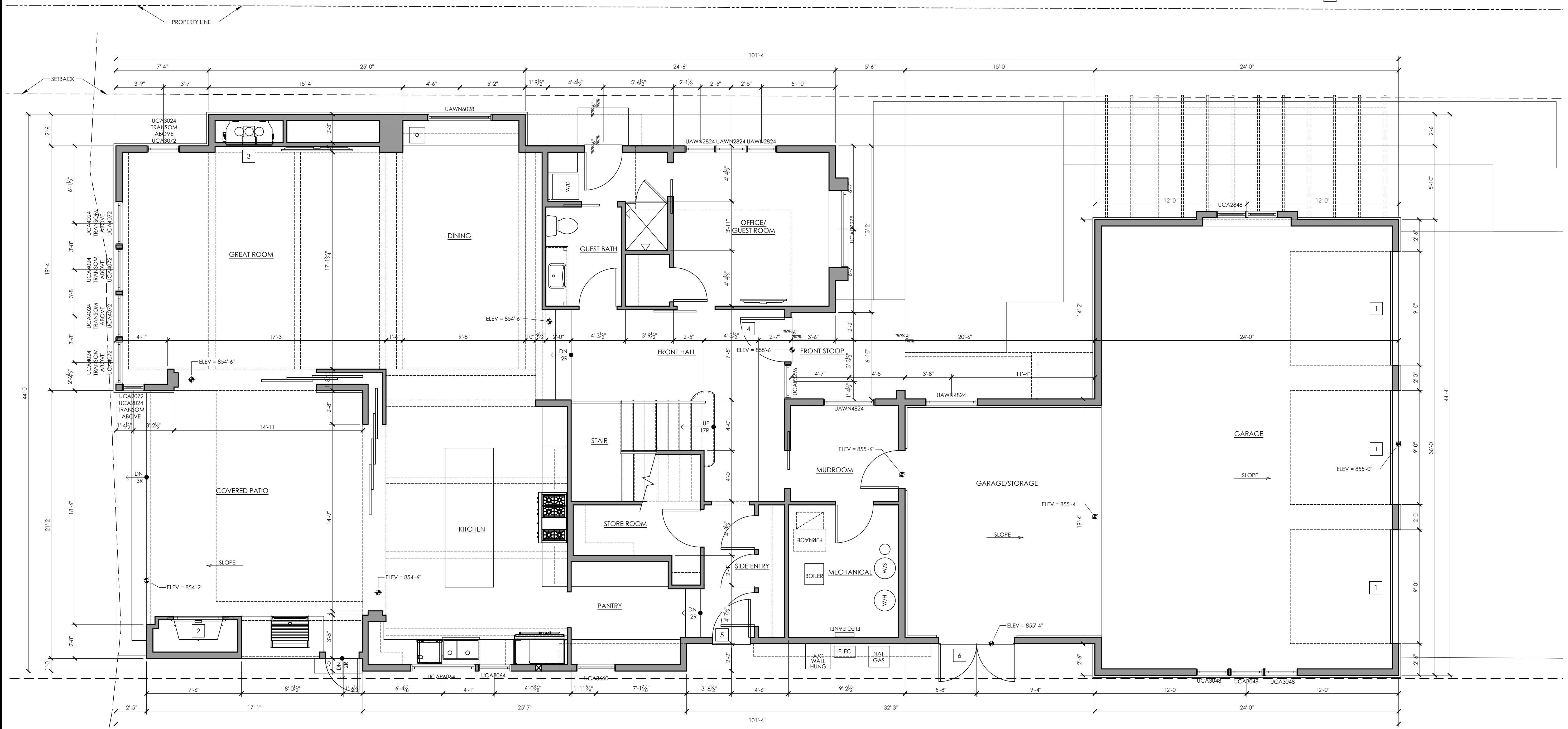
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GENERAL NOTES

1. WINDOW CALLOUT NUMBERS SUFFIXED BY A "1" ARE CUSTOM SIZES.
2. WINDOW CALLOUT NUMBERS SUFFIXED BY AN "I" INDICATE WINDOWS ARE TO BE MULLED AS A SINGLE UNIT.
3. BARN DOOR SIZE CALLOUTS DENOTE DOOR SLAB DIMENSIONS, WALL OPENING TO BE 4" NARROWER AND 1/2" SHORTER THAN SLAB.
4. ALL POCKET DOORS TO BE FRAMED IN 2x6 WALL & HAVE SOFT CLOSE POCKET DOOR TRACK & HARDWARE KIT.
5. (2)2x10 HEADER TYPICAL UNLESS NOTED OTHERWISE.
6. CONVENIENCE OUTLETS INCLUDED PER HOMEOWNER REQUEST ALL OTHER OUTLET LOCATIONS PER CODE
7. TYPE 'X' GYPSUM WALL BOARD AT ALL COMMON WALLS BETWEEN GARAGES AND MAIN HOUSE.

KEYNOTES

- 1 CLOPAY CANYON RIDGE DESIGN 31
- 2 NAPOLEON RIVERSIDE CLEAN FACE FIREPLACE
- 3 MENDOTA FV46 GAS FIREPLACE
- 4 TRUSTILE TMR9000
- 5 THERMATRU SMOOTH-STAR 8" FULL LITE FLUSH-GLAZED S8691XJ-SDLF2
- 6 THERMATRU SMOOTH-STAR FLUSH PANEL S100



1 1ST FLOOR PLAN
1/4" = 1'-0"

ROGERS RESIDENCE
2412 WAUNONA WAY
MADISON, WI 53713

ISSUANCES:

NOTIFICATION 10/26/22
LUASUBMITAL 11/28/22

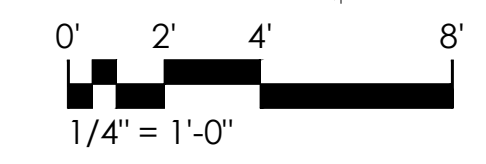
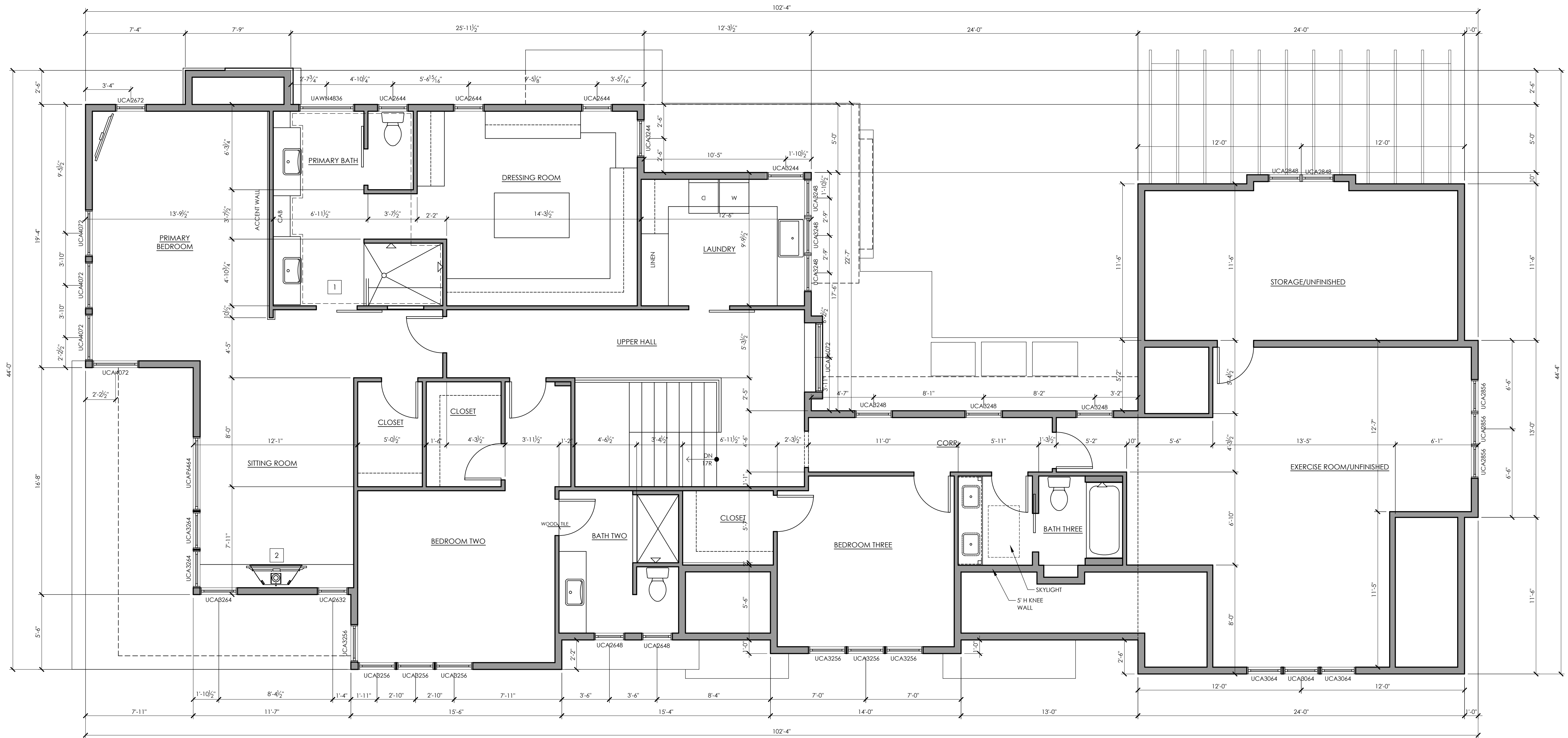
SHEET NUMBER
A101

GENERAL NOTES

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4. ALL POCKET DOORS TO BE FRAMED IN 2x6 WALL & HAVE SOFT CLOSE POCKET DOOR TRACK & HARDWARE KIT.
5. (2)2x10 HEADER TYPICAL UNLESS NOTED OTHERWISE.
6. CONVENIENCE OUTLETS INCLUDED PER HOMEOWNER REQUEST ALL OTHER OUTLET LOCATIONS PER CODE
7. TYPE 'X' GYPSUM WALL BOARD AT ALL COMMON WALLS BETWEEN GARAGES AND MAIN HOUSE.

KEYNOTES

- 1 ELEC RADIANT HEAT FLOORS
- 2 NAPOLEON ASCENT LINEAR SERIES 46 GAS FIRE PLACE



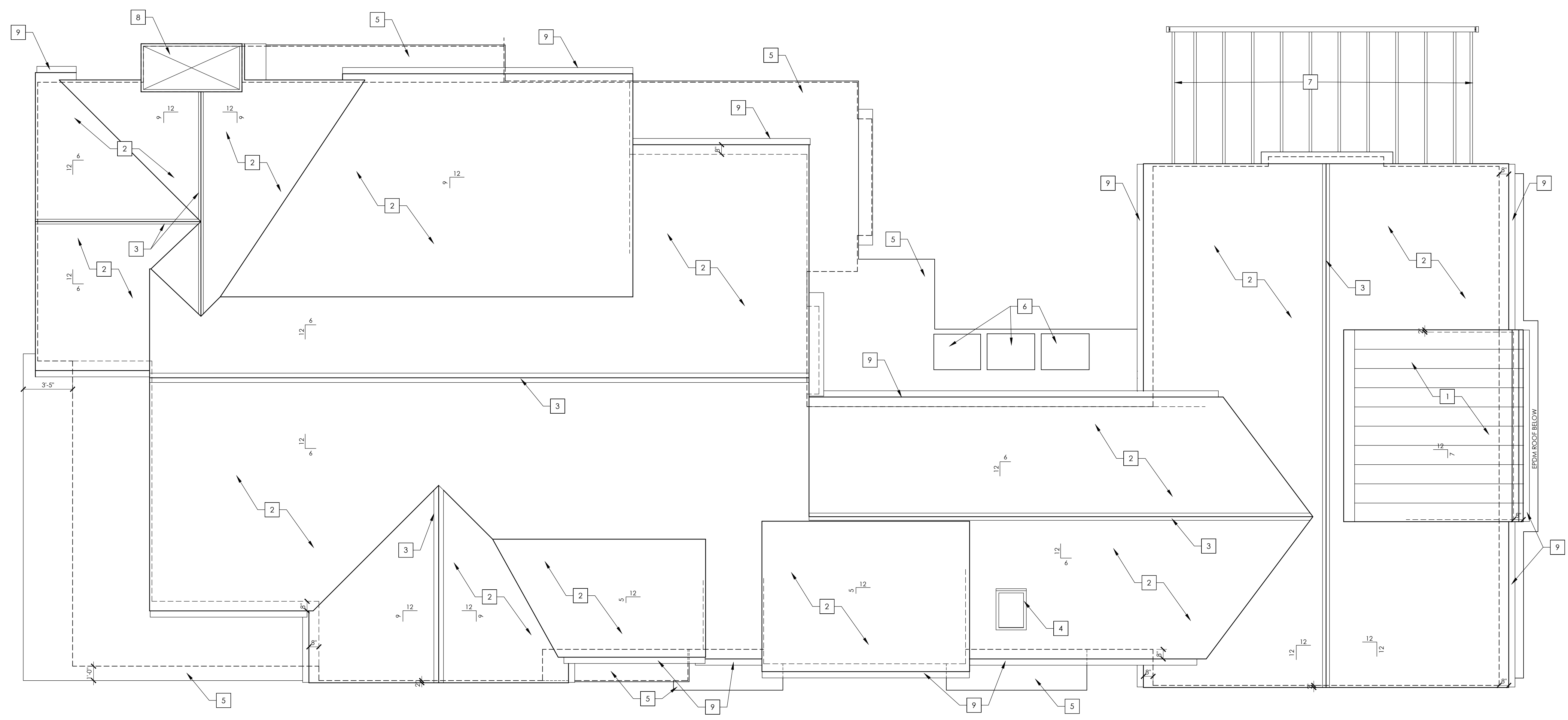
1 2ND FLOOR PLAN
1/4" = 1'-0"

GENERAL ROOF NOTES

- 1. --
- 2. --
- 3. --

KEYNOTES

- 1 16" STANDING SEAM METAL ROOFING
- 2 GAF TIMERLINE HTZ SHINGLES
- 3 CONT RIDGE VENT (TYP)
- 4 SKYLIGHT
- 5 EDPM ROOF
- 6 OPENINGS IN ROOF BELOW
- 7 OPEN CEDAR TRELLIS
- 8 CHIMNEY CAP
- 9 6" PREFIN GUTTERS



DESTREE
architecture & design

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MADISON, WI 53703
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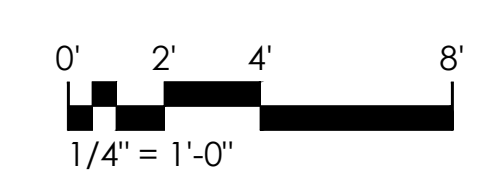
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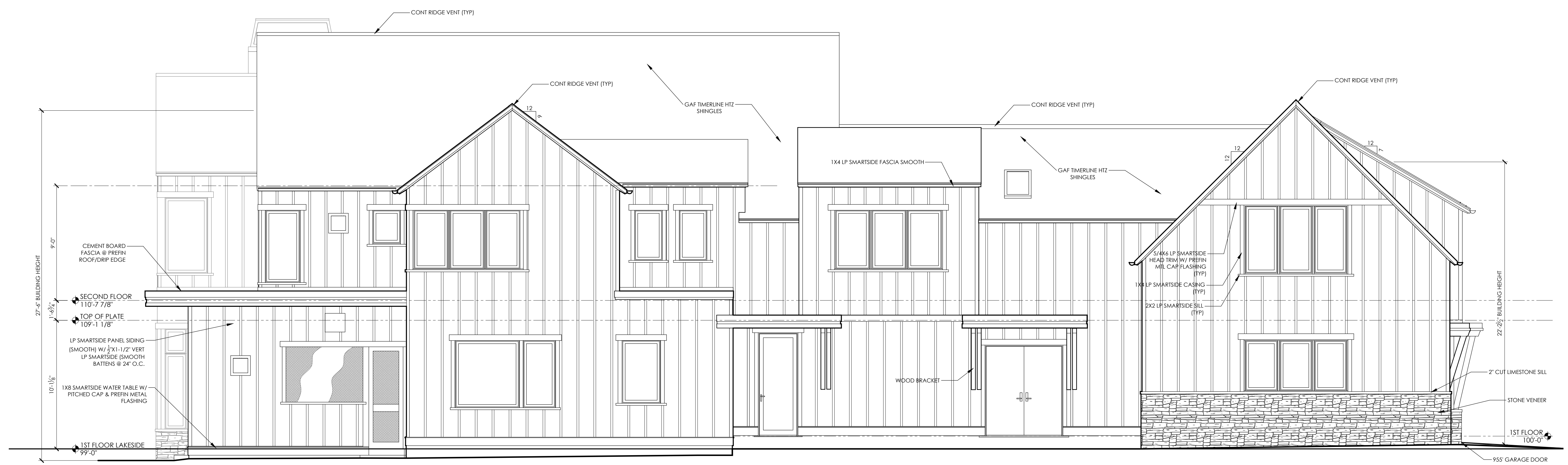
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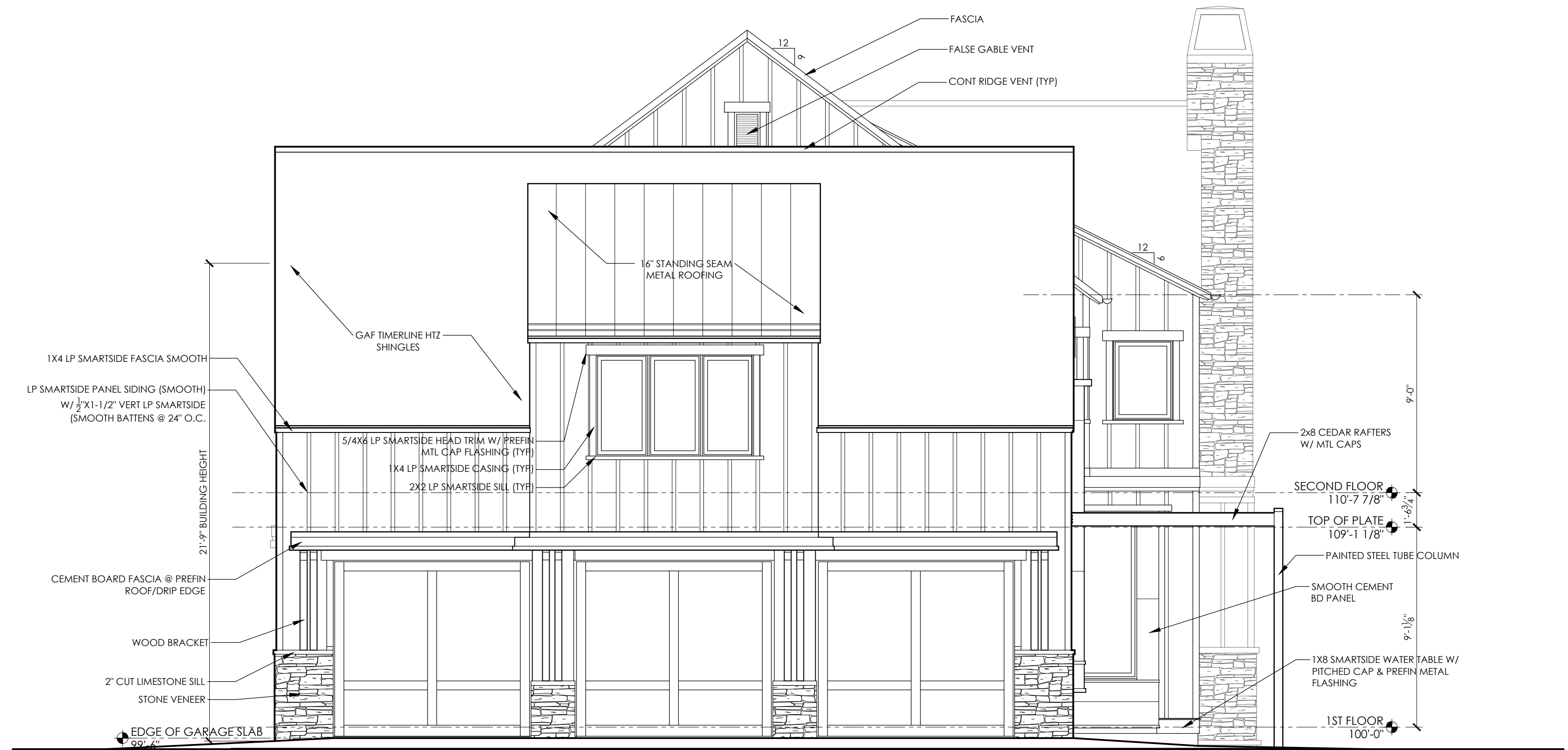
1 ROOF PLAN
1/4" = 1'-0"

SHEET NUMBER
A103

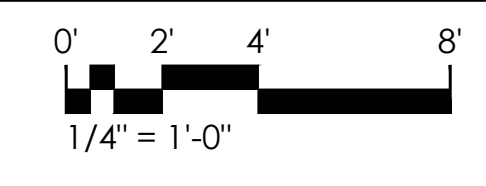


2 EXTERIOR ELEVATION
1/4" = 1'-0"

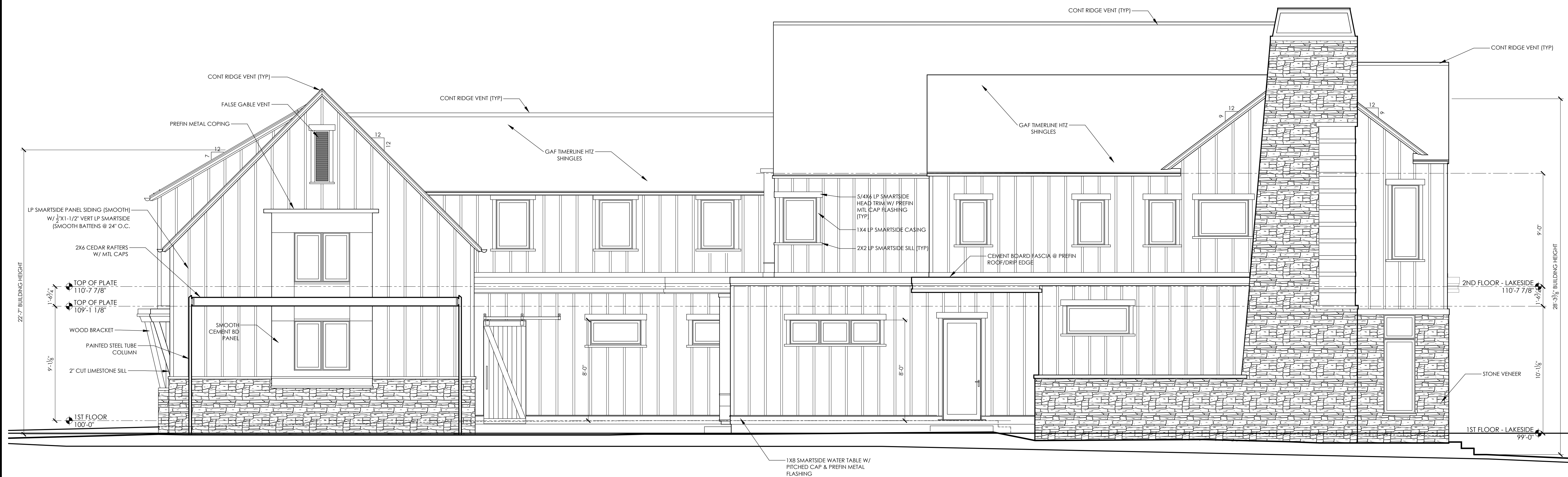
MATERIALS
LP SMART SIDING BOARD & BATTEN IN DIAMOND KOTE GRAPHITE
MARVIN ULTIMATE WINDOWS IN EBONY
GAF TIMERLINE HTZ SHINGLES IN CHARCOAL
MCELROY STANDING SEAM METAL ROOF IN MATTE BLACK
BRUCHEL CREAM CITY RIVER ROCK STONE VENEER



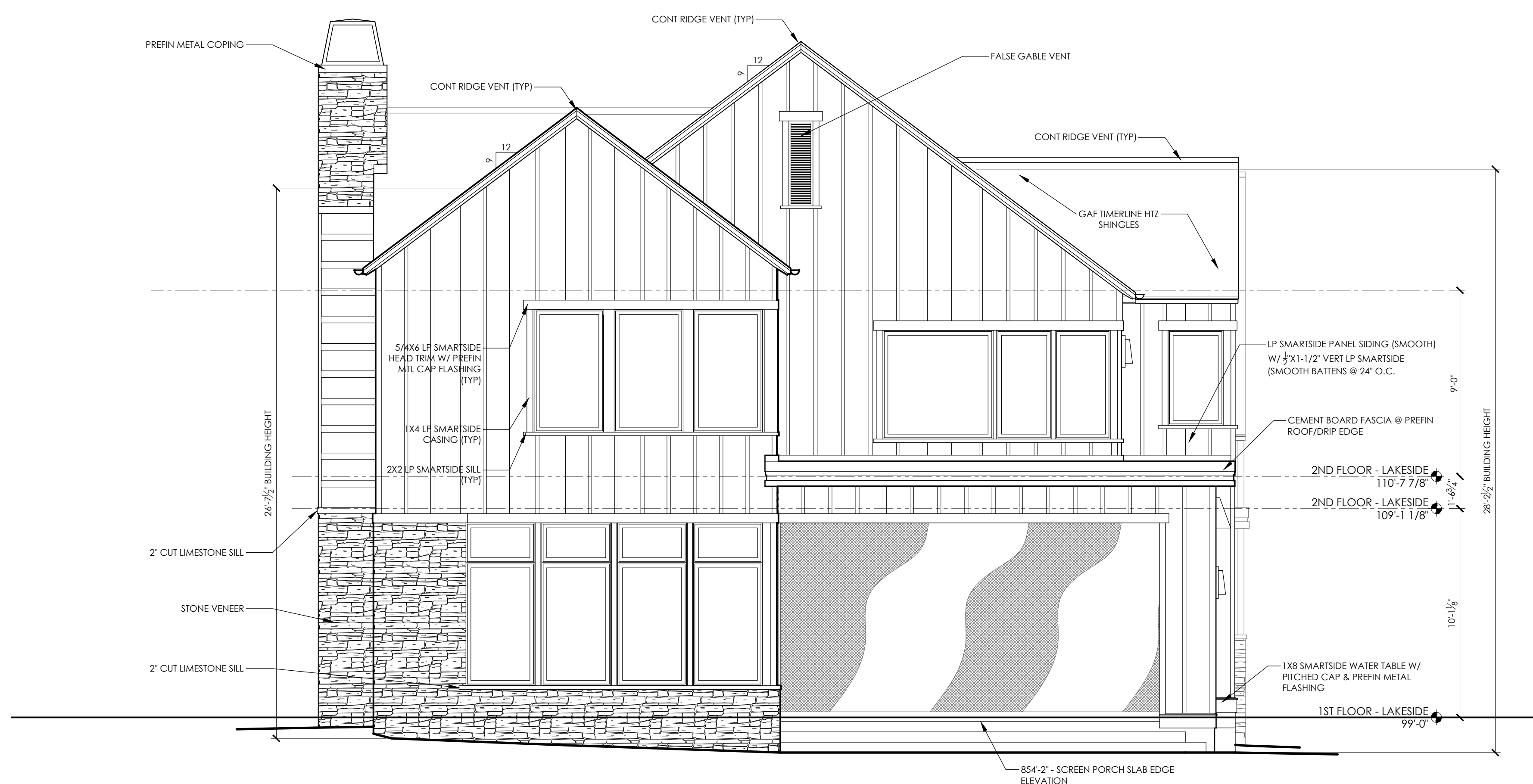
1 EXTERIOR ELEVATION
1/4" = 1'-0"



PLOT DATE: 11/28/2022

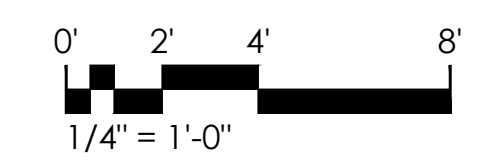


2 EXTERIOR ELEVATION
1/4" = 1'-0"



1 EXTERIOR ELEVATION
1/4" = 1'-0"

MATERIALS
 LP SMART SIDING BOARD & BATTEN IN DIAMOND KOTE GRAPHITE
 MARVIN ULTIMATE WINDOWS IN EBONY
 GAF TIMERLINE HTZ SHINGLES IN CHARCOAL
 MICELROY STANDING SEAM METAL ROOF IN MATTE BLACK
 BRUCHEL CREAM CITY RIVER ROCK STONE VENEER



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ISSUANCES:
 NOTIFICATION 10/28/22
 LUA 11/28/22

Schematic Design Phase:
 This drawing indicates the scale and relationship of the project components. This drawing is not for construction.

SHEET NUMBER
A301



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SHEET NUMBER

A302