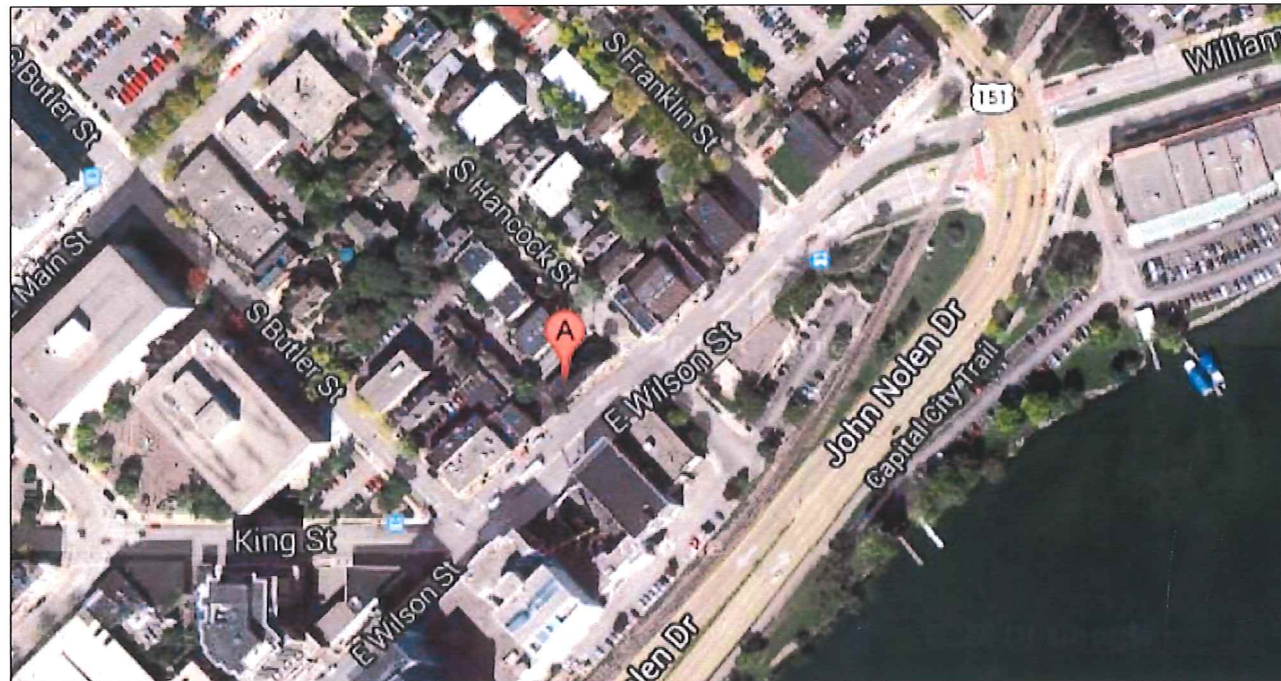


330 E. WILSON MIXED USE

330 E. WILSON STREET MADISON, WI 53703

PC - UDC SUBMITTAL
SEPTEMBER 24, 2014



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

SHEET INDEX

- T-1 COVER SHEET & PROJECT CONTACTS
- CIVIL DRAWINGS
 - C1.00 EXISTING SITE PLAN
 - C1.01 GRADING AND EROSION CONTROL PLAN
 - C1.02 UTILITY PLAN
- LANDSCAPE DRAWING
 - L1.00 PLANTING PLAN
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 - A1.01 SITE LIGHTING - FIXTURE CUT SHEETS
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 - A2.00 BASEMENT FLOOR PLAN
 - A2.01 FIRST FLOOR PLAN / SITE PLAN
 - A2.02 SECOND THROUGH SIXTH FLOOR PLAN
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 - A6.01 EXTERIOR SOUTH ELEVATION
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 - EX.01 SUPPLEMENTARY CONTEXT
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 - EX.04 VIEW SHED STUDY
 - EX.05 VIEW SHED STUDY
 - EX.06 VIEW SHED STUDY
 - EX.07 SHADOW STUDY
 - EX.08 FULLY DEVELOPED SITE CONTEXT

330 E. WILSON MIXED USE							
Floor / Level	UNIT TYPE						SQUARE FOOTAGE PER FLOOR
	EFFICIENCY / STUDIO	1) BEDROOM	ACCESSIBLE (1) BEDROOM	2) BEDROOM	3) BEDROOM	UNITS PER FLOOR	
Basement	0	0	0	0	0	0	2504
1st	0	0	0	0	0	0	2795
2nd	2	1	1	1	1	6	4830
3rd	2	2	0	1	1	6	4830
4th	2	2	0	1	1	6	4830
5th	2	2	0	1	1	6	4830
6th	2	2	0	1	1	6	4830
Total	10	9	1	5	5	30	23449

OWNER/DEVELOPER:

PALLADIA, LLC
c/o KOTHE REAL ESTATE PARTNERS
115 E. MAIN ST., SUITE 210
MADISON, WISCONSIN 53703
PHONE: (608) 469-0059
EMAIL: kevin@kotherep.com
PRINCIPAL CONTACT: KEVIN PAGE

ARCHITECT:

GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVENUE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: (608) 829-1750
EMAIL: josh.wilcox@garybrink.com
PRINCIPAL CONTACT: JOSH WILCOX

GENERAL CONTRACTOR:

LANDGRAF CONSTRUCTION
5964 EXECUTIVE DRIVE
MADISON, WISCONSIN 53719
PHONE: (608) 274-4700
EMAIL: mark.landgraf@landgrafconstruction.com
PRINCIPAL CONTACT: MARK LANDGRAF

CIVIL/SITE ENGINEER:

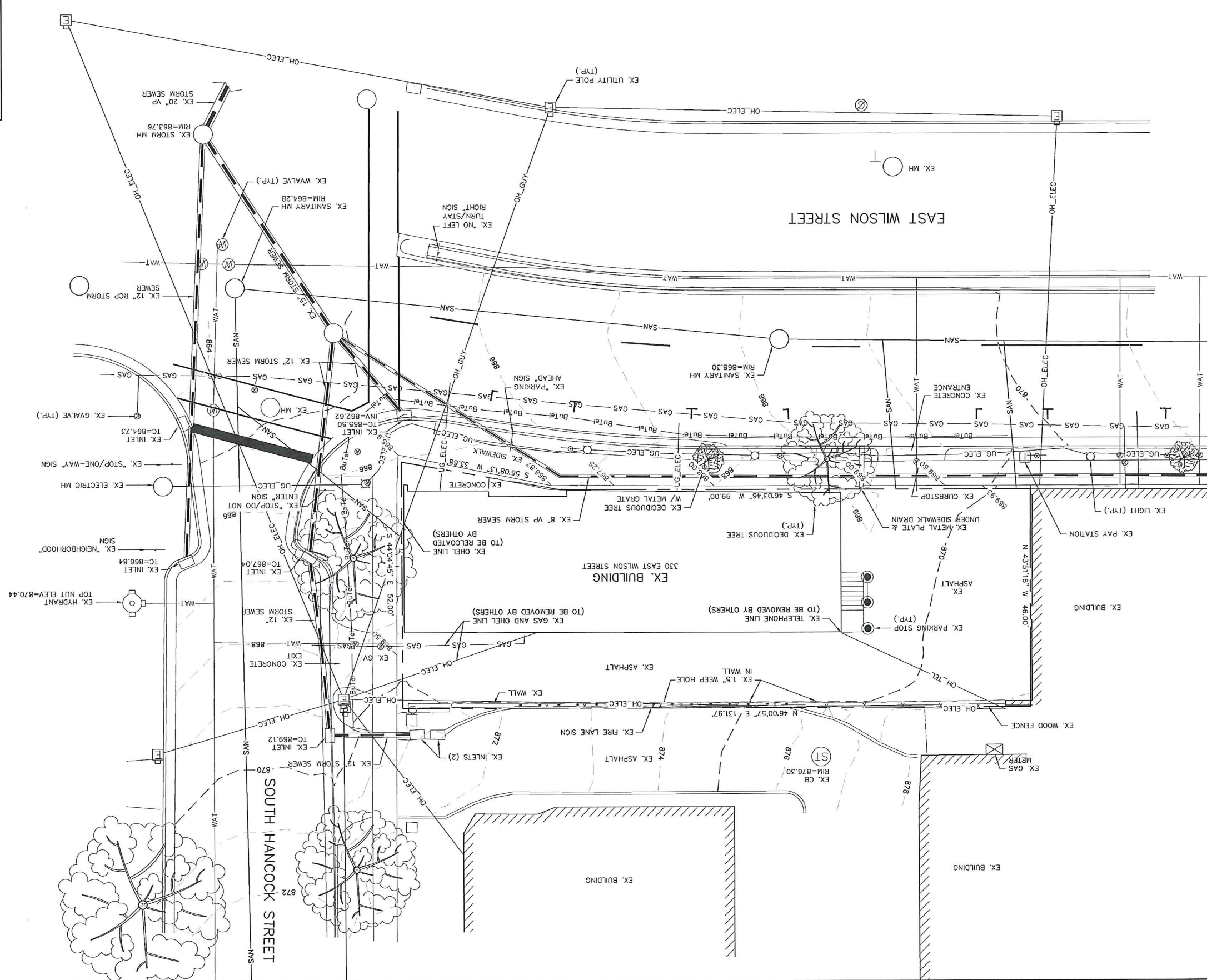
QUAM ENGINEERING, LLC
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WISCONSIN 53558
PHONE: (608) 838-7750
EMAIL: rquam@quamengineering.com
PRINCIPAL CONTACT: RYAN QUAM

LANDSCAPE DESIGNER:

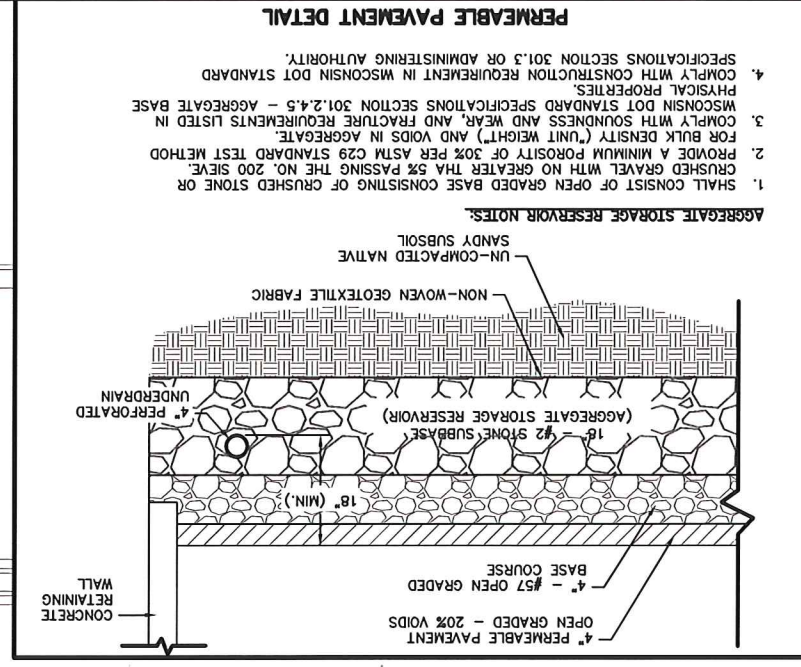
KEN SAIKI DESIGN, INC.
303 S. PATERSON, SUITE ONE
MADISON, WISCONSIN 53703
PHONE: (608) 251-3600
EMAIL: amolien@ksd-la.com
PRINCIPAL CONTACT: ABBIE MOLIEN

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

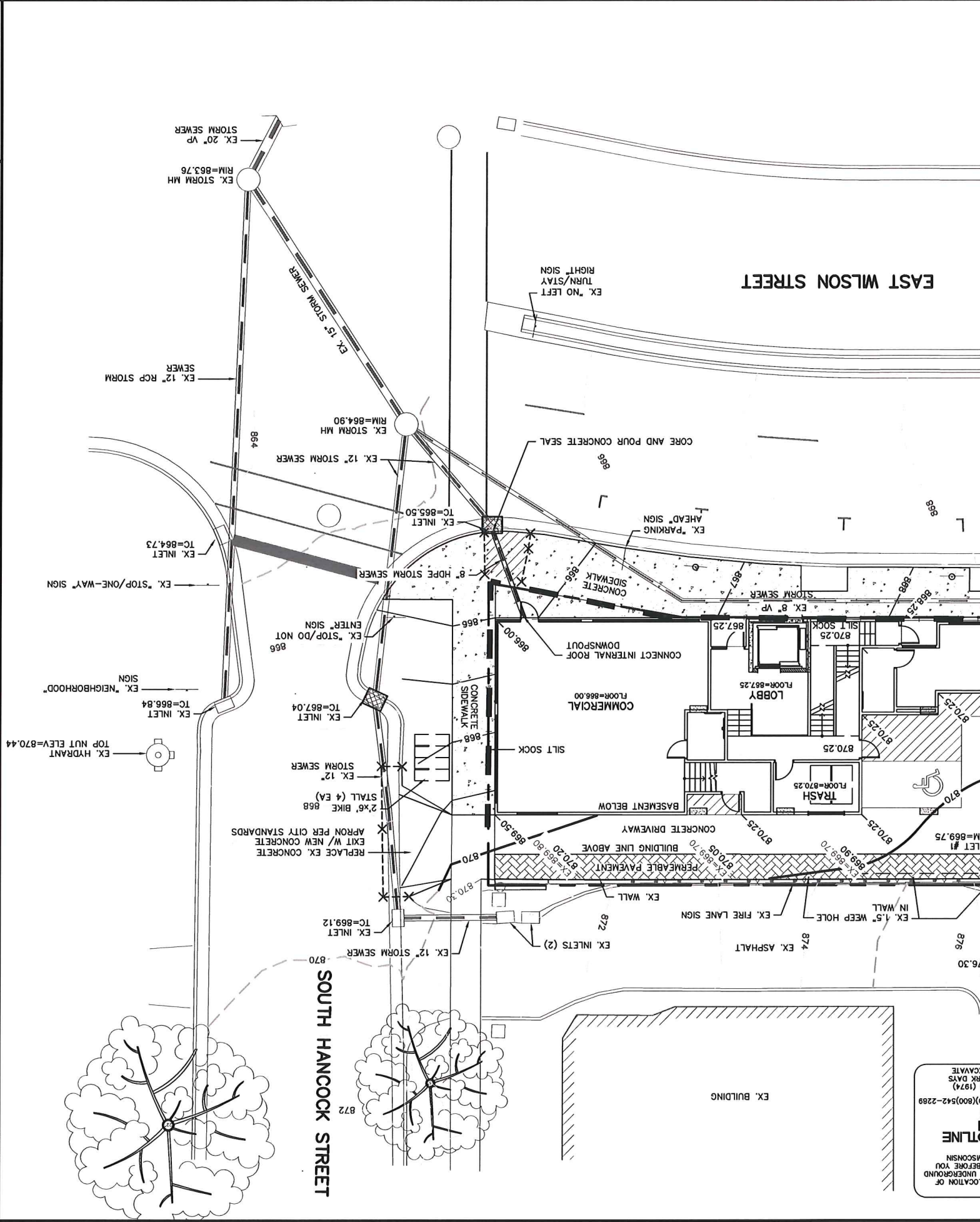
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PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED



330 E. WILSON STREET - CITY OF MADISON
 EXISTING SITE PLAN
 SHEET: C1.00
 DATED: SEPTEMBER 24, 2014
 QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggekow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



- AGGREGATE STORAGE RESERVOIR NOTES:**
1. SHALL CONSIST OF OPEN GRADED BASE CONSISTING OF CRUSHED STONE OR CRUSHED GRAVEL WITH NO GREATER THAN 5% PASSING THE NO. 200 SIEVE
 2. PROVIDE A MINIMUM POROSITY OF 30% PER ASTM C29 STANDARD TEST METHOD FOR BULK DENSITY, AND Voids IN AGGREGATE
 3. COMPLY WITH SOUNDNESS AND WEAR, AND FRACTURE REQUIREMENTS LISTED IN PHYSICAL PROPERTIES
 4. COMPLY WITH CONSTRUCTION REQUIREMENT IN WISCONSIN DOT STANDARD SPECIFICATIONS SECTION 301.2.4.5 - AGGREGATE BASE



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

TO OBTAIN LOCATION OF FACILITIES UNDERGROUND DIG IN WISCONSIN

MS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

TDD (FOR THE HEARING IMPAIRED) (608) 542-2289

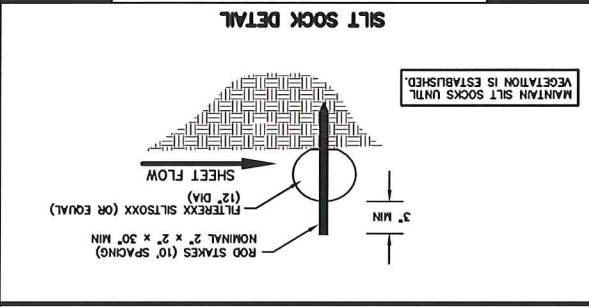
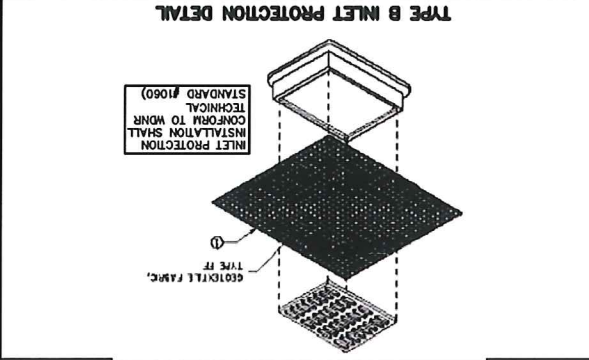


330 E. WILSON STREET - CITY OF MADISON
 GRADING AND EROSION CONTROL PLAN

SHEET: C1.01
 DATED: OCTOBER 3, 2014

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

- LEGEND:**
- 869 --- EXISTING MINOR CONTOUR.
 - 870 --- EXISTING MAJOR CONTOUR.
 - 869 --- PROPOSED MINOR CONTOUR.
 - 870 --- PROPOSED MAJOR CONTOUR.
 - 870.00 --- PROPOSED SPOT ELEVATION.
 - INSTALL WDOT TYPE B INLET PROTECTION.



EROSION NOTES:

THE EXISTING ASPHALT PAVEMENT SHALL ACT AS THE TRACKING PAD DURING CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. INSPECTION SHALL BE CONDUCTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL MEASURES: AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

INLET PROTECTION SHALL BE INSTALLED IN ALL STORM INLETS AS SOON AS THE INLET IS SET. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL LAYER OF ASPHALT IS PLACED.

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.

TIME SCHEDULE:

NOVEMBER 1, 2014
 INSTALL INITIAL EROSION CONTROL DEVICES.

NOVEMBER 1, 2014 - SEPT 15, 2015
 CONSTRUCT BUILDING, PARKING, UTILITIES AND RESTORE PERVIOUS DISTURBED AREAS.

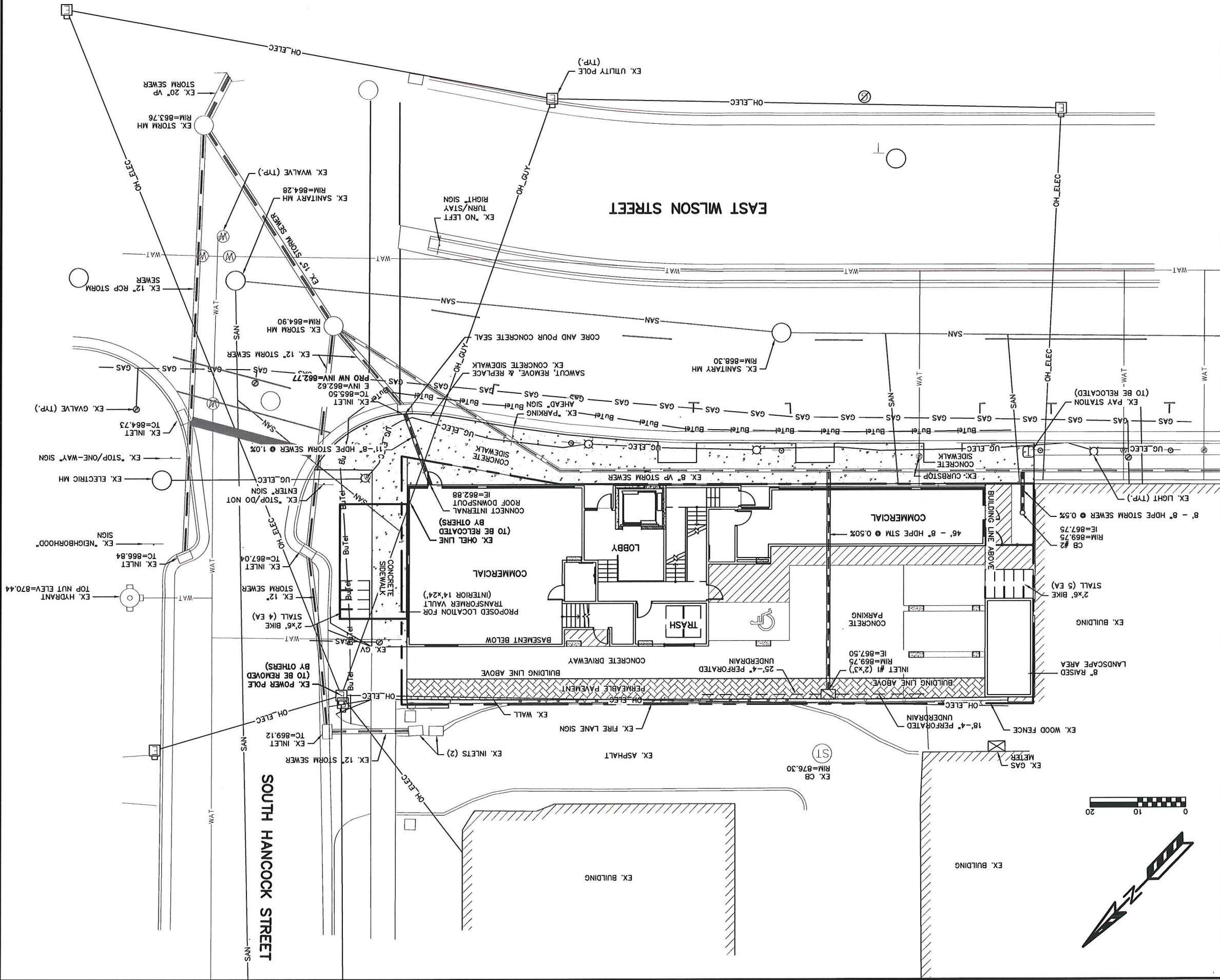
RESTORATION NOTES:

ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICABLE. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 8% POTASSIUM, NOT LESS THAN 8% PHOSPHORIC ACID, NOT LESS THAN 8%.

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

OWNER:
 ROBERT L. RIBIN
 337 E WILSON STREET
 MADISON, WI 53703



330 E. WILSON STREET - CITY OF MADISON
 UTILITY PLAN

SHEET: C1.02
 DATED: OCTOBER 3, 2014

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE

TO OBTAIN LOCATION OF FACILITIES UNDERGROUND PARTIALS BEFORE YOU DIG IN WISCONSIN

MS. STATUTE 182.075 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

TDOT FOR THE HEARING IMPAIRED (608) 542-2289

GENERAL NOTES:

ALL WORK IN THE RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. LATERAL TO BE PLUGGED THE CONTRACTOR SHALL DEPOSIT \$1,000 WITH THE CITY ENGINEER IN TWO SEPARATE CHECKS IN THE FOLLOWING AMOUNTS: (1) \$100 NON-REFUNDABLE DEPOSIT FOR THE COST OF INSPECTION OF THE PLUGGING BY CITY STAFF; AND (2) \$900 FOR THE COST OF CITY CREWS TO PERFORM THE PLUGGING. IF THE CONTRACTOR ELECTS TO COMPLETE THE PLUGGING OF A LATERAL AND THE PLUGGING IS INSPECTED AND APPROVED BY THE CITY ENGINEER, THE \$900 FEE SHALL BE RETURNED TO THE CONTRACTOR. THIS PERMIT APPLICATION IS AVAILABLE ONLINE AT [HTTP://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM](http://www.cityofmadison.com/engineering/permits.cfm)

UTILITY NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAINS SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWERS CROSS OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.075(2) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ANY DAMAGE TO EAST WILSON STREET OR SOUTH HANCOCK STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY OF MADISON PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELKWOOD AVE. STE. 204
MIDDLETON, WI 53542
608-291-1750
608-835-0555 (FAX)



KEN SAKI DESIGN
LANDSCAPE
ARCHITECTS

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

PROJECT: 201249
DRAWN BY: ARM
DATE: 10/03/2014
SCALE: AS NOTED

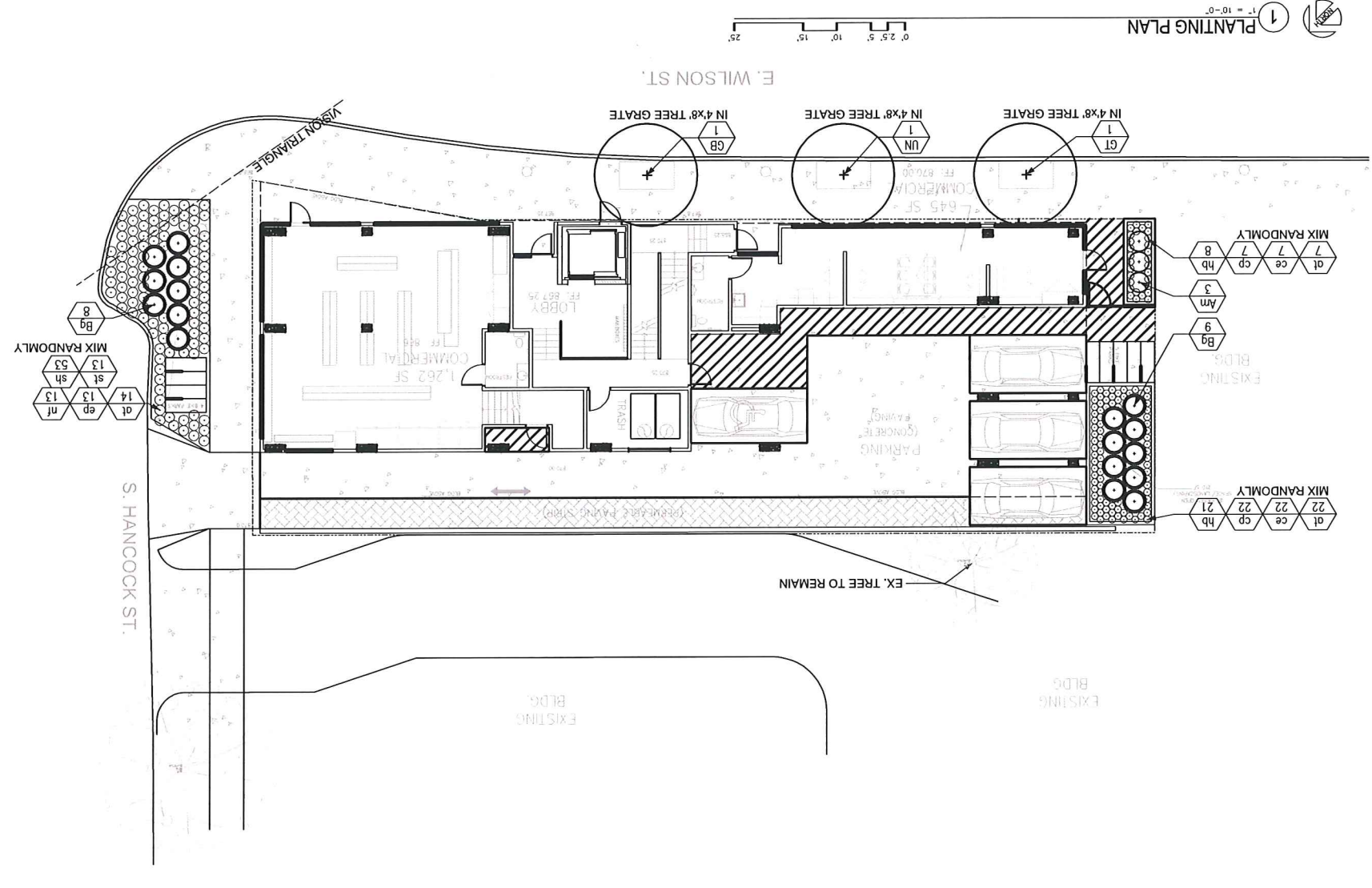
PLANTING PLAN
L1.00

NOTES:
1. All plant beds shall have shredded hardwood bark mulch unless otherwise noted.
2. Plantings under building overhangs shall be permanently irrigated.
3. Contractor shall contact City Forestry at least 48 hours prior to any work on street trees. Contact Dean Kah, 608-266-4816, Dkahl@cityofmadison.com.
4. Indicated street trees shall be removed & replaced in Meenah 4'x8' (R-8815-A) tree grates to be determined by City Forestry. These trees shall be planted in Meenah 4'x8' (R-8815-A) tree grates to be determined by City Engineering.
5. Approval and permitting of street tree removals and street tree planting shall be obtained from the City Forester and/or the Board of Public Works prior to the approval of the site plan.
6. Trees shall be planted per planting specifications found in section 209 of City of Madison Standard Specifications for Public Works Construction.

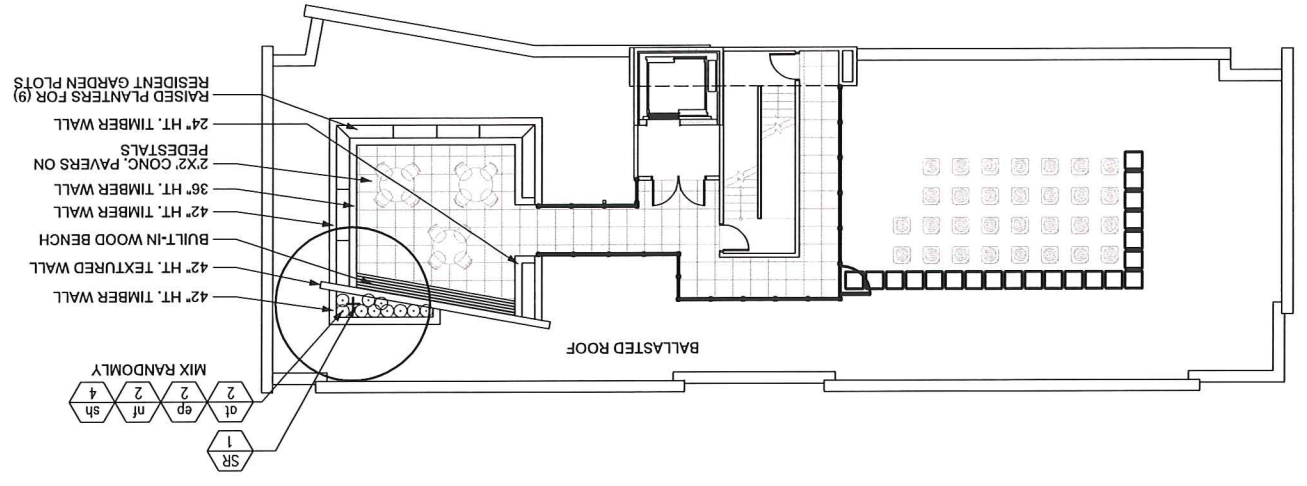
City of Madison, WI Landscape Worksheet
3-Oct-14
Urban Mixed Use

Developed Lots	SF	6,180
Landscape Units Required		21
Landscape Points Required		103

Element	Quantity	Point Value	Proposed	Existing	Points Achieved
Emerald Ovary Deciduous Tree	36	15	15	15	0
Ornamental Tree	1	15	15	15	0
Emerald Tree	17	3	3	3	0
Shrub, deciduous	4	17	17	17	0
Shrub, evergreen	2	232	232	232	0
Ornamental Grass/Perennial	4	4	4	4	0
Ornamental/Decorative Fence or Wall (4 pts/10 Lf)					0
General Site Plantings Total					566
TOTAL LANDSCAPE POINTS ACHIEVED					566



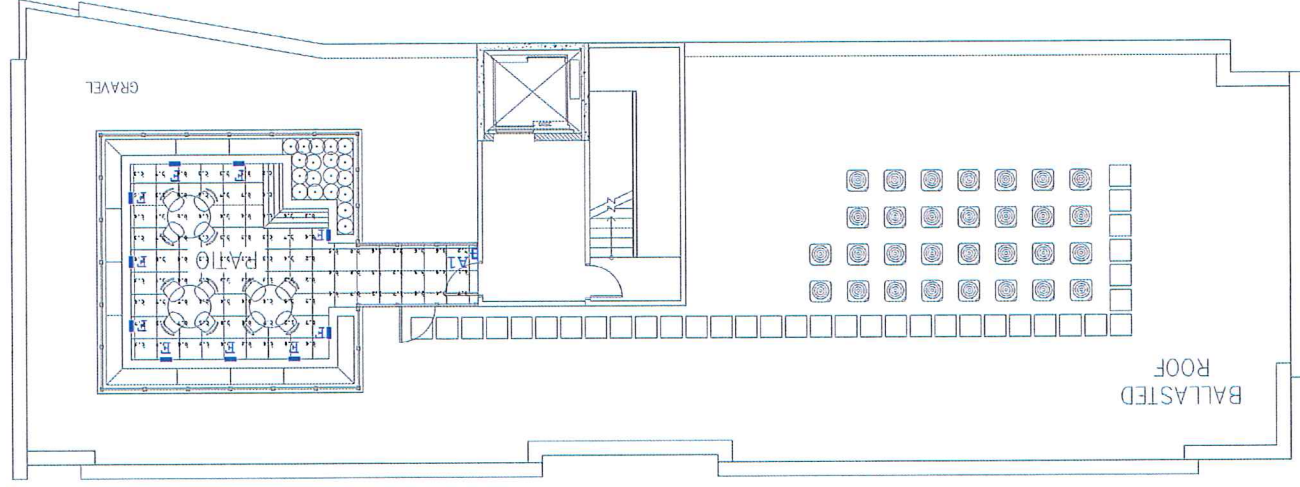
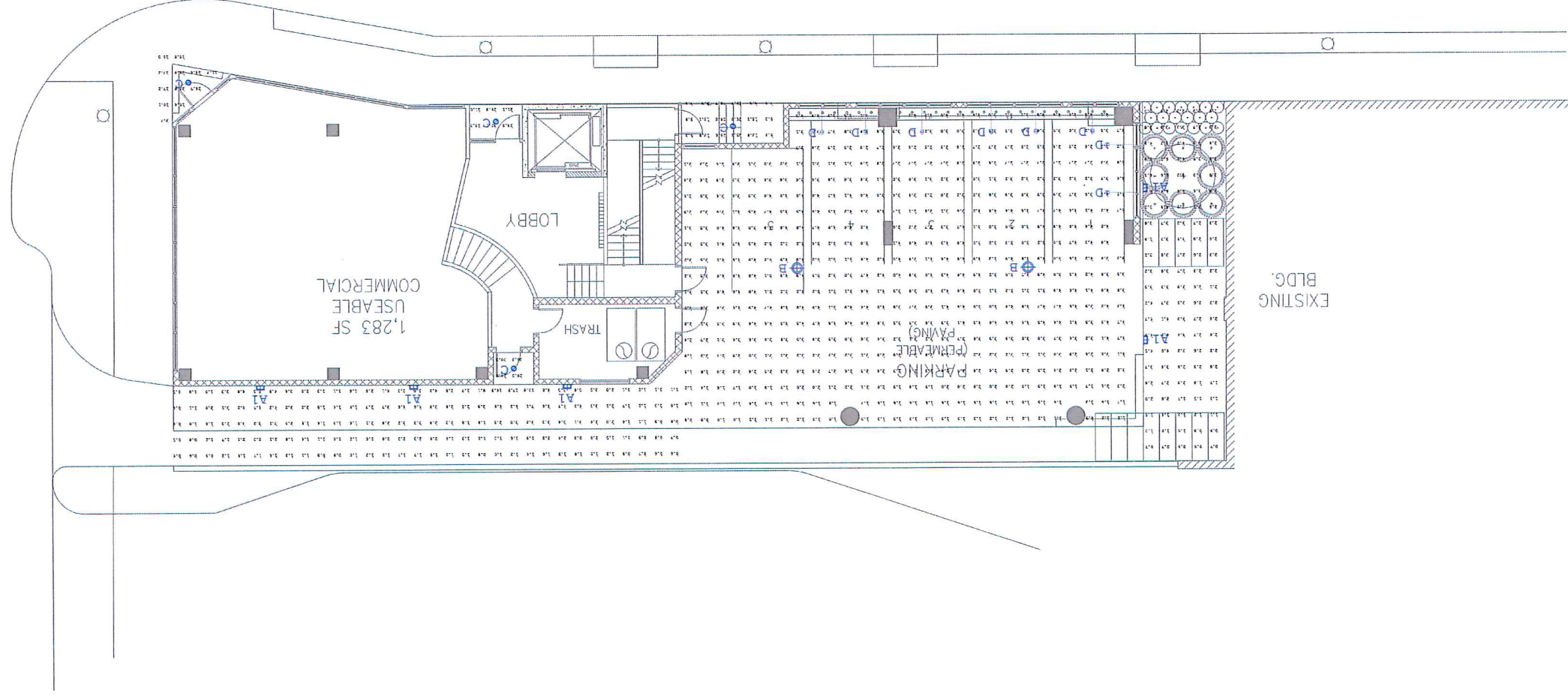
PLANTING PLAN 1
1" = 10'-0"



ROOF PLANTING PLAN 2
1" = 10'-0"

Plant List	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
Key							
CB	<i>Deciduous Trees</i>		1	2' Cal	B&B	Single, straight leader, match specimen, branching shall start at 5'-0" min	40' H x 15-30' SP
GT	<i>Gedisa thacanthos var. inermis Skycode</i>	Skyline Honey/court	1	2' Cal	B&B	Single, straight leader, match specimen, branching shall start at 5'-0" min	50-60' H x 35-45' SP
LN	<i>Linum x New-Horizon</i>	New-Horizon Elm	1	2' Cal	B&B	Single, straight leader, match specimen, branching shall start at 5'-0" min	50-60' H x 40-50' SP
AA	<i>Amelanchier arborea</i>	Downy Serviceberry	1	6' Ht	B&B	Multi-stem min 3 leaders, well-developed crown no overlapping leaders	15-25' H x 10-12' SP
SR	<i>Syringa Snowflake Summer Snow</i>	Summer Snow Tree Lilac	1	2' Cal	B&B	Single, straight leader, match specimen, branching shall start at 5'-0" min	20' H x 25' SP
Am	<i>Azota melocarpa Victor</i>	Iceberg Blueberry Chokeberry	3	5 gal	Cort	Space 3'-0" o.c.	3-4' H x 3-4' SP
Eg	<i>Buxus Green Velvet</i>	Green Velvet Boxwood	14	5 gal	Cort	Space 3'-6" o.c. pruned into matching spheres	3-4' H x 4-5' SP
Perennial	<i>Ornamental Grasses/Perennials</i>		46	1 gal	Cort	Space 18" o.c.	1.5' H x 1.5' SP
et	<i>Allium longicum Morsini</i>	Balloon Bouquet Ornamental Onion	29	1 gal	Cort	Space 12" o.c.	6-10" H x 5-12" SP
ce	<i>Carex auracea</i>	Bristleleaf Sedge	29	1 gal	Cort	Space 12" o.c.	6-10" H x 5-12" SP
cp	<i>Carex pennsylvanica</i>	Pennsylvania Sedge	29	1 gal	Cort	Space 12" o.c.	6-10" H x 5-12" SP
ep	<i>Echinacea Five Medals</i>	Five Medals Purple Coneflower	15	1 gal	Cort	Space 18" o.c.	1.5' H x 1.5' SP
td	<i>Hesperis Blue Muses Ears</i>	Blue Muses Ears Fuchsia	29	1 gal	Cort	Space 12" o.c.	6-8" H x 1-1.5' SP
nt	<i>Nepeta x Reaseni Blue Wonder</i>	Blue Wonder Nepeta	15	1 gal	Cort	Space 18" o.c.	1-1.5' H x 1.5-2' SP
st	<i>Sedum Thunderbolt</i>	Thunderbolt Sedum	13	1 gal	Cort	Space 18" o.c.	6-12" H x 1-1.5' SP
sh	<i>Sporobolus heterops Tard</i>	Tara Prairie Dropseed	57	1 gal	Cort	Space 18" o.c.	1.5-2' H x 1.5' SP

E. WILSON ST.



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BIKE RACKS & PLANTING AREA	Illuminance	Fc	2.98	6.6	0.7	4.23	9.43
COMMERCIAL ENTRY	Illuminance	Fc	17.25	28.8	3.7	4.66	7.78
DRIVE ACCESS	Illuminance	Fc	2.51	17.8	0.4	6.28	44.50
EXIT TO DRIVE	Illuminance	Fc	29.15	30.3	28.0	1.04	1.08
LOBBY ENTRY	Illuminance	Fc	24.95	32.1	21.0	1.19	1.53
PARKING	Illuminance	Fc	3.47	6.5	0.9	3.66	7.22
ROOF PATIO	Illuminance	Fc	0.48	1.3	0.2	2.40	6.50
ROOF PATIO, 1	Illuminance	Fc	2.59	7.2	0.4	6.49	18.00
STAIR EXIT	Illuminance	Fc	18.87	28.8	3.8	3.65	7.58

Qty	Label	Arrangement	Lum. Lumens	LF	Description
6	A	SINGLE	735	0.900	LUMARK + XTORIA
2	B	SINGLE	6170	0.900	MGRAW-EDISON + TT-A3-LED-E1-WQ
4	C	SINGLE	1477	0.900	PORTFOLIO + L04A130D10TE-ERMMA13835-4LMH1
8	D	SINGLE	405	0.900	LUMENPULSE + LBS-120-ZTK-WFL-SI
10	F	SINGLE	25	0.900	COLE + L188W-NJ

PROJECT: 330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELWOOD AVE. STE. 210
MIDLETON, WI 53562
608-839-1750
608-839-9556 (FAX)

DESCRIPTION

The latest providing a technical system with superior light quality, luminaire performance, and energy efficiency. The luminaire is designed to provide a high quality light source with a long life span. The luminaire is designed to provide a high quality light source with a long life span. The luminaire is designed to provide a high quality light source with a long life span.

DESCRIPTION

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PORTFOLIO

300 E. WILSON
L14100101E
EMERSON
EMERSON
EMERSON

COOPER LIGHTING

Specifications and dimensions subject to change without notice.
Cooper Lighting
www.cooperlighting.com

COOPER LIGHTING

Specifications and dimensions subject to change without notice.
Cooper Lighting
www.cooperlighting.com

PHOTOMETRICS

Figure 1: Beam Spread vs. Mounting Height
Figure 2: Beam Spread vs. Mounting Height

PHOTOMETRICS

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Specifications and dimensions subject to change without notice.
Cooper Lighting
www.cooperlighting.com

PHOTOMETRICS

Figure 1: Beam Spread vs. Mounting Height
Figure 2: Beam Spread vs. Mounting Height

PHOTOMETRICS

Figure 1: Beam Spread vs. Mounting Height
Figure 2: Beam Spread vs. Mounting Height

GARY BANK & ASSOCIATES ARCHITECTS

7780 BLMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-823-9505 (FAX)
608-823-1750

KOTHE REAL ESTATE PARTNERS

115 E. MAIN STREET SUITE 210
MADISON, WI 53703



PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

PROJECT: 330 E. WILSON
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CLIENT: KOTHE REAL ESTATE PARTNERS
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MADISON, WI 53703



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ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53662
608-829-1750
608-829-3056 (FAX)

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
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115 E. MAIN STREET SUITE 210
MADISON, WI 53703

**SITE LIGHTING
FIXTURE
CUT SHEETS
A1.02**

SCALE: AS NOTED

PROJECT: 201249
DATE: DRAWN BY:
DATE: DRAWN BY:
DATE: DRAWN BY:

lumense™
SPECIFICATION SHEET

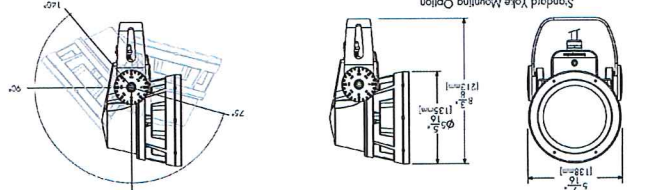
Client: Type D
330 E. WILSON
WHITE & SLICK COLORS
LBS-X-27K-WFL-X-X
Project name:
Order #:
Type: City:

PHYSICAL AND BENEFITS

- Low copper content help preserve the cool aluminum housing
- Heavy aluminum frame
- Shatter proof housing
- Silkscreened fixtures
- C-Track® glass
- LED electronic design for heat management and ease of maintenance
- 2.50" h / 5.00" sq ft / 0.033 sq m. Side = 0.31" h / 0.029 sq m.
- E66
- 14 volts
- Performance:
- 5', 10', 20', 40', 60', 120' Physical distribution on 10' and 40' optics
- CR values: 78
- Beam spread: 120000 hrs @ 50' C.I 35' @ 25'C
- Operating temperature: 25' C to 50' C (1.35' to 122')
- Emission reference: 120000 hrs @ 50' C (1.35' @ 25'C)

Electrical:

- Line voltage: 120V to 277V
- Power cord data in cables, 36' / 1m cord (1 to 5)
- Wire color / use
- GREEN: GROUND
- WHITE: NEUTRAL
- BLUE: LIVE 120/277V
- RED: 0-10V / DMX+
- ORANGE: 0-10V / DMX-



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SPECIFICATION SHEET

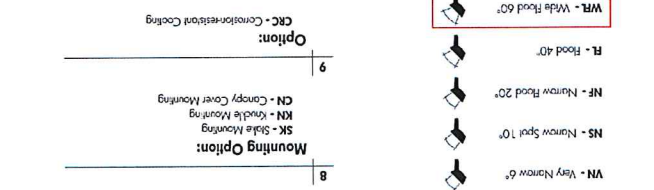
Client: Type D
330 E. WILSON
WHITE & SLICK COLORS
LBS-X-27K-WFL-X-X
Project name:
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Electrical:

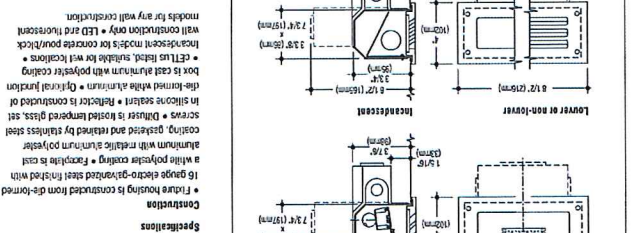
- Line voltage: 120V to 277V
- Power cord data in cables, 36' / 1m cord (1 to 5)
- Wire color / use
- GREEN: GROUND
- WHITE: NEUTRAL
- BLUE: LIVE 120/277V
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COLE LIGHTING
158 SERIES

Specifications
• Fixture housing is constructed from die-cast aluminum with matte anodized finish with a white powder coating. • replaceable led
• 16 degree beam spread, 110 degree cut off
• Features housing is constructed from die-cast aluminum with matte anodized finish with a white powder coating. • replaceable led



Coloring Number	Finish	Mounting
LED 158W	Lower	L158W
LED 277W	Lower	L158W-HO-2
LED 277W	Upper	L158W-HO-1
LED 277W	Upper	L158W-HO-2
LED 277W	Upper	L158W-HO-3
LED 277W	Upper	L158W-HO-4
LED 277W	Upper	L158W-HO-5
LED 277W	Upper	L158W-HO-6
LED 277W	Upper	L158W-HO-7
LED 277W	Upper	L158W-HO-8
LED 277W	Upper	L158W-HO-9
LED 277W	Upper	L158W-HO-10
LED 277W	Upper	L158W-HO-11
LED 277W	Upper	L158W-HO-12

Options:
• Junction Box: Bottom or back mounted junction box for 60V-277V. Add suffix -JB.
• Temperature sensors: Temperature socket at head replaceable screws. Add suffix -TS.
• LED colors: 4000°K (146 nm), 4000°K (146 nm), -HO-2 (-695 nm), 4000°K (146 nm), -HO-2 (-695 nm)

COLE LIGHTING
2560 N. Rosemead Boulevard
South El Monte, CA 91733-1593
Tel. (929) 442-2473
Fax (929) 442-9253
info@colectlighting.com
www.colectlighting.com

COLE LIGHTING
158 SERIES

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• Fixture housing is constructed from die-cast aluminum with matte anodized finish with a white powder coating. • replaceable led
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LED 277W	Upper	L158W-HO-4
LED 277W	Upper	L158W-HO-5
LED 277W	Upper	L158W-HO-6
LED 277W	Upper	L158W-HO-7
LED 277W	Upper	L158W-HO-8
LED 277W	Upper	L158W-HO-9
LED 277W	Upper	L158W-HO-10
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Tel. (929) 442-2473
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info@colectlighting.com
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lumense™
SPECIFICATION SHEET

Client: Type D
330 E. WILSON
WHITE & SLICK COLORS
LBS-X-27K-WFL-X-X
Project name:
Order #:
Type: City:

PHYSICAL AND BENEFITS

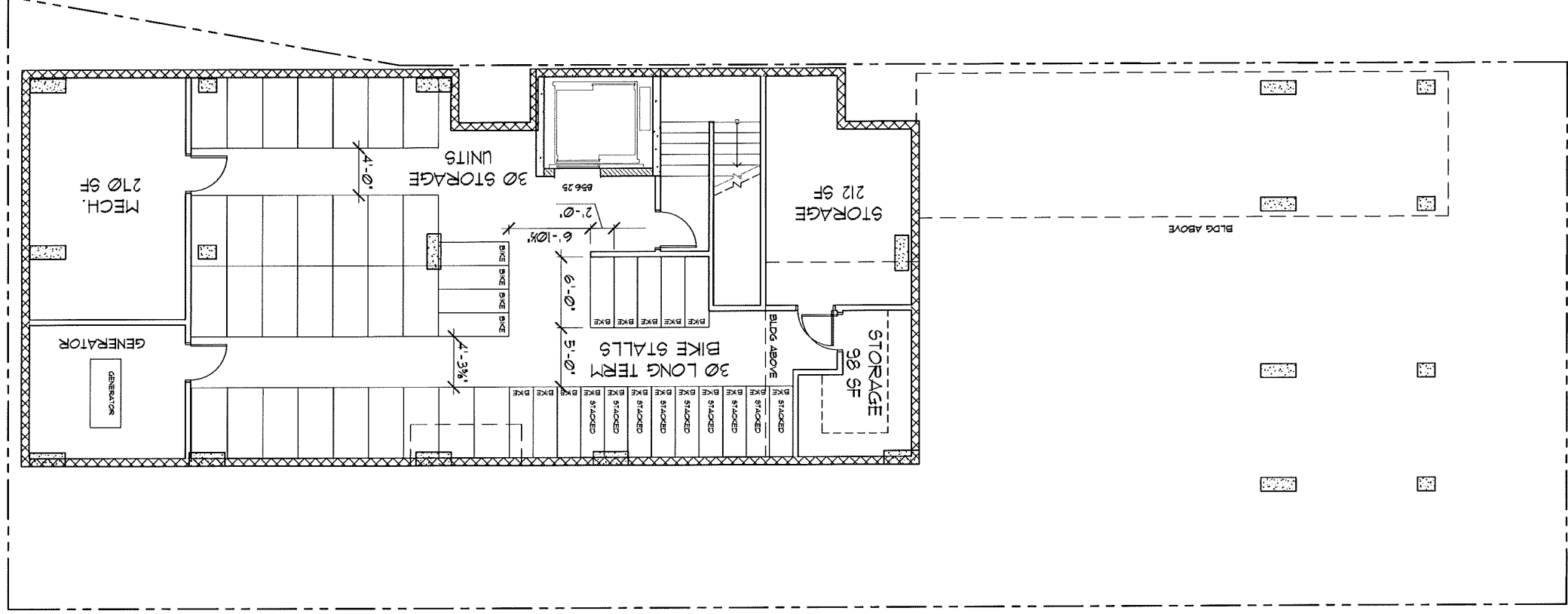
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PROJECT: 201249
 DRAWN BY:
 DATE:
 SCALE: AS NOTED

PROJECT: 330 E. WILSON
 330 E. WILSON STREET
 MADISON, WI 53703
 CLIENT: KOTHE REAL ESTATE PARTNERS
 115 E. MAIN STREET SUITE 210
 MADISON, WI 53703



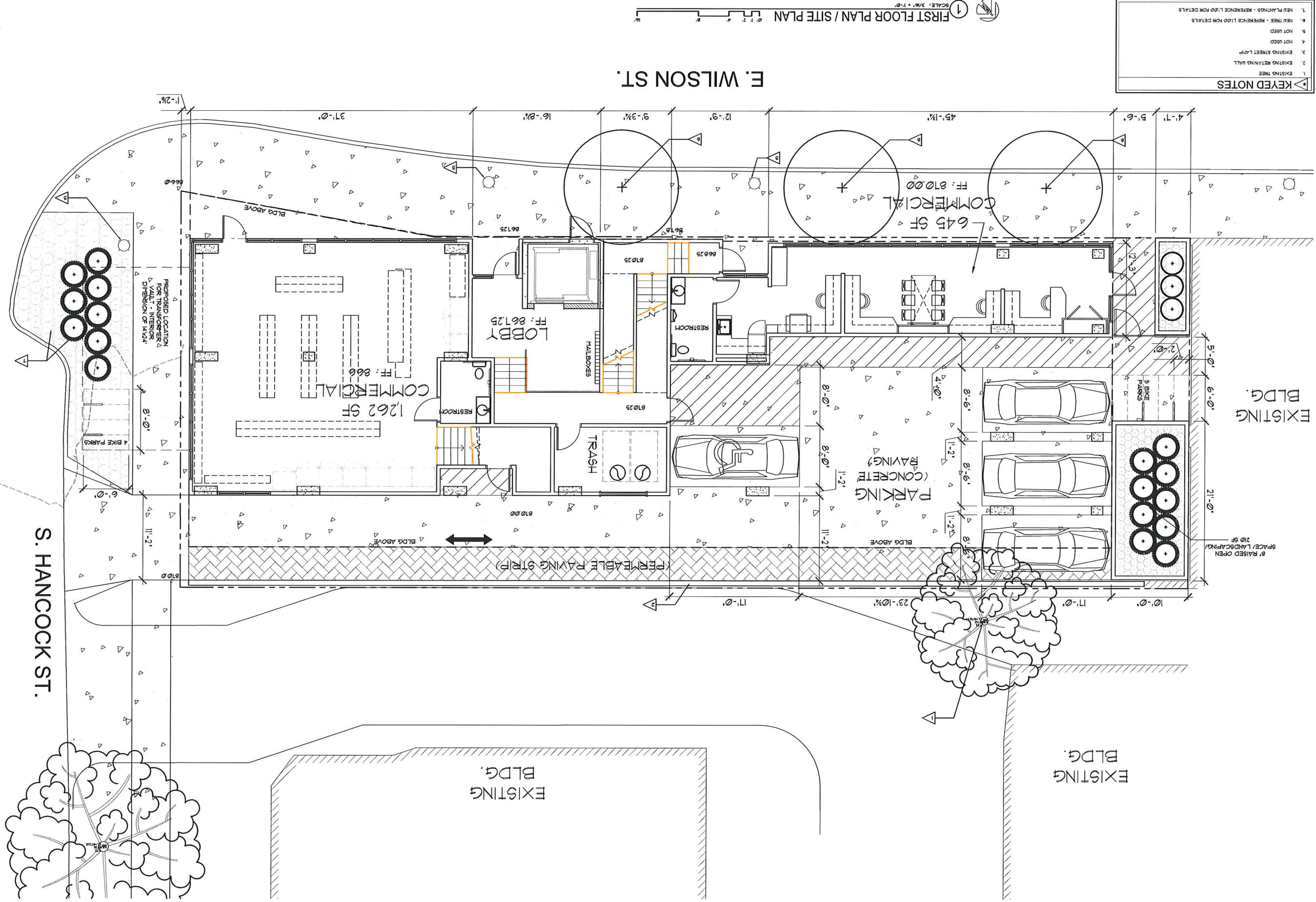
GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-839-1150
608-829-3056 (FAX)

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
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MADISON, WI 53703

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CLIENT:
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115 E. MAIN STREET SUITE 210
MADISON, WI 53703

PROJECT:
201249
DRAWN BY:
DATE:
SCALE: AS NOTED

FIRST FLOOR
PLAN / SITE
A2.01



KEYED NOTES

- EXISTING TREE
- EXISTING RETAINING WALL
- EXISTING STREET LANE
- NOT USED
- NOT USED
- NEW TREE - REFERENCE L100 FOR DETAILS
- NEW PLANTINGS - REFERENCE L100 FOR DETAILS

FIRST FLOOR PLAN / SITE PLAN
SCALE: 3/8" = 1'-0"

E. WILSON ST.

S. HANCOCK ST.

EXISTING BLDG.

EXISTING BLDG.

EXISTING BLDG.

645 SF
COMMERCIAL
FF: 870.00

LOBBY
FF: 861.25

1262 SF
COMMERCIAL
FF: 866

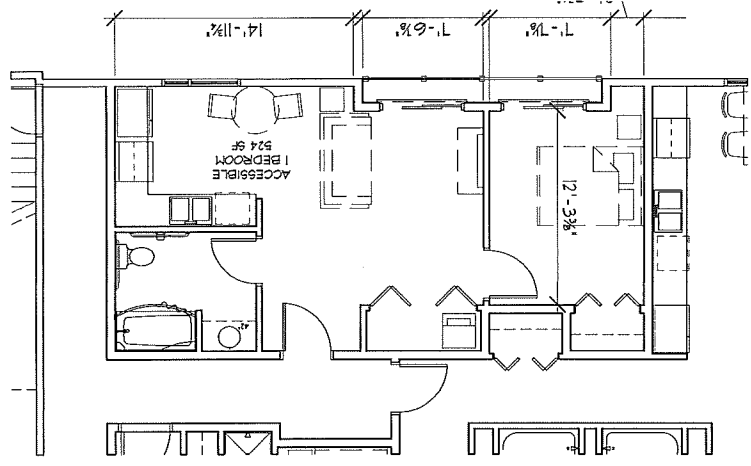
PARKING
(CONCRETE PAVING)

(PERMEABLE PAVING STRIP)

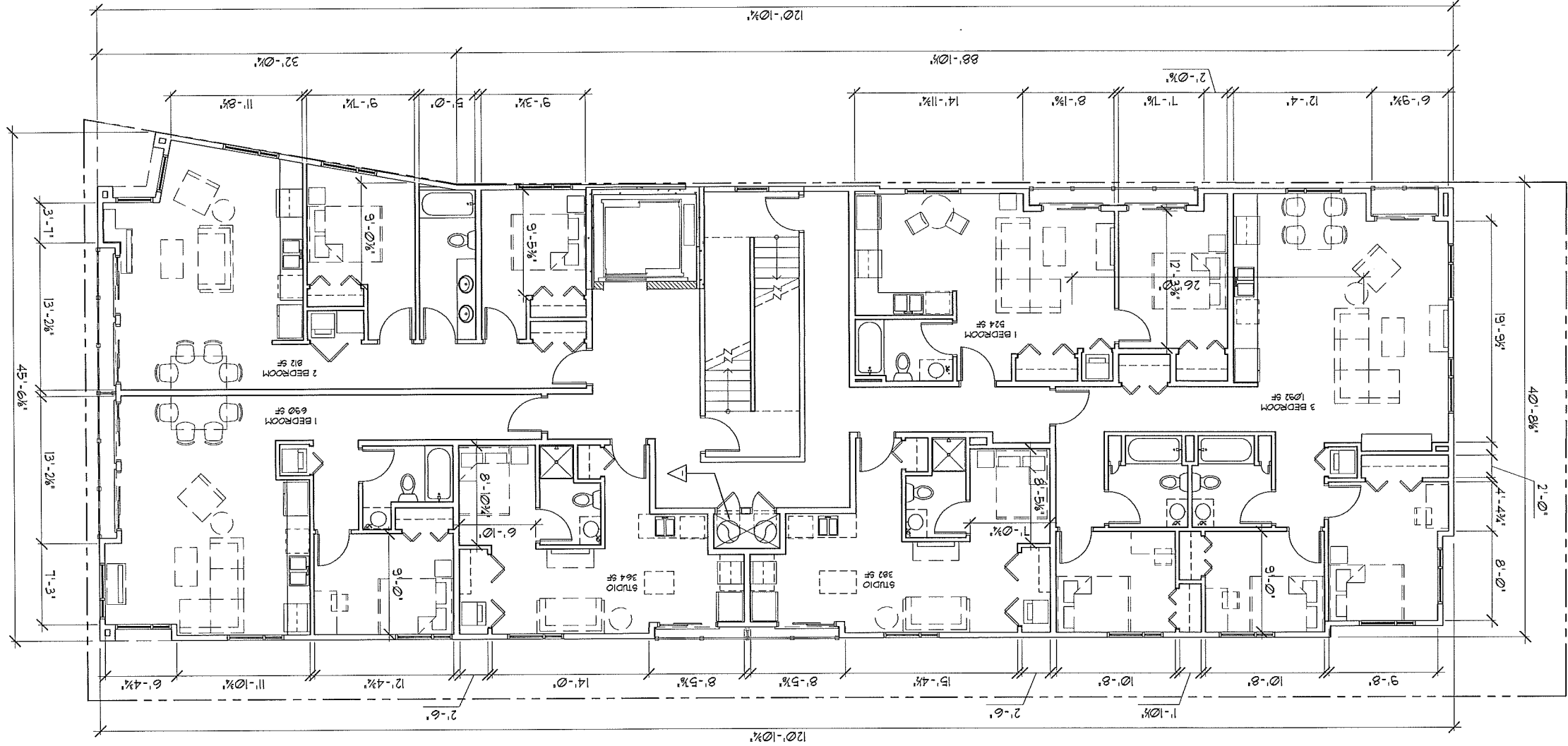
PROPOSED LOCATION
FOR TRANSFORMER
VAULT - INTERIOR
DIMENSION OF 14'x24'

1. TRASH CHUTE FROM 2ND TO 1ST FLOOR ONLY

1 SCALE: 3/8" = 1'-0"
2nd FLOOR ACCESSIBLE PLAN



1 SCALE: 3/8" = 1'-0"
2nd THROUGH 6th FLOOR PLAN



PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

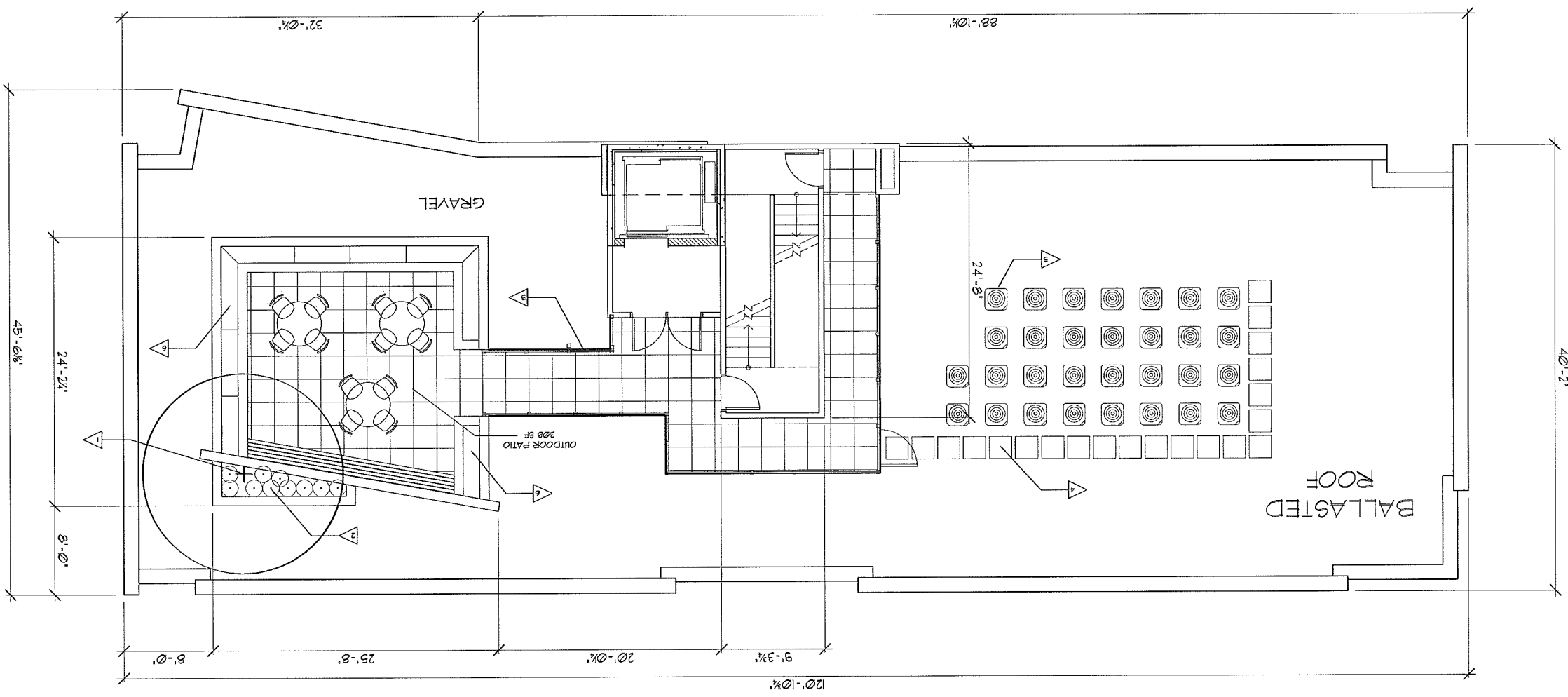
PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

GARY BRINK & ASSOCIATES ARCHITECTS
7750 ETIMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-5056 (FAX)



KEYED NOTES	
1	TREE - REFERENCE LINES FOR DETAILS
2	PLANTING - REFERENCE LINES FOR DETAILS
3	GRAVEL - TOP 4" AFF
4	WALKWAY PAD
5	CONDENSER UNITS
6	RAISED PLANTER / GARDEN

1 ROOF PLAN SCALE: 3/8" = 1'-0"



PROJECT: 201249
 DRAWN BY:
 DATE:
 SCALE: AS NOTED

PROJECT: 330 E. WILSON
 330 E. WILSON STREET
 MADISON, WI 53703
 CLIENT: KOTHE REAL ESTATE PARTNERS
 113 E. MAIN STREET SUITE 210
 MADISON, WI 53703

GARY BRINK & ASSOCIATES ARCHITECTS
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 MIDDLETON, WI 53562
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 608-839-5056 (FAX)





GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608.828.1750
608.829.5066 (FAX)

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

PLAN SOUTH
ELEVATION
A6.01

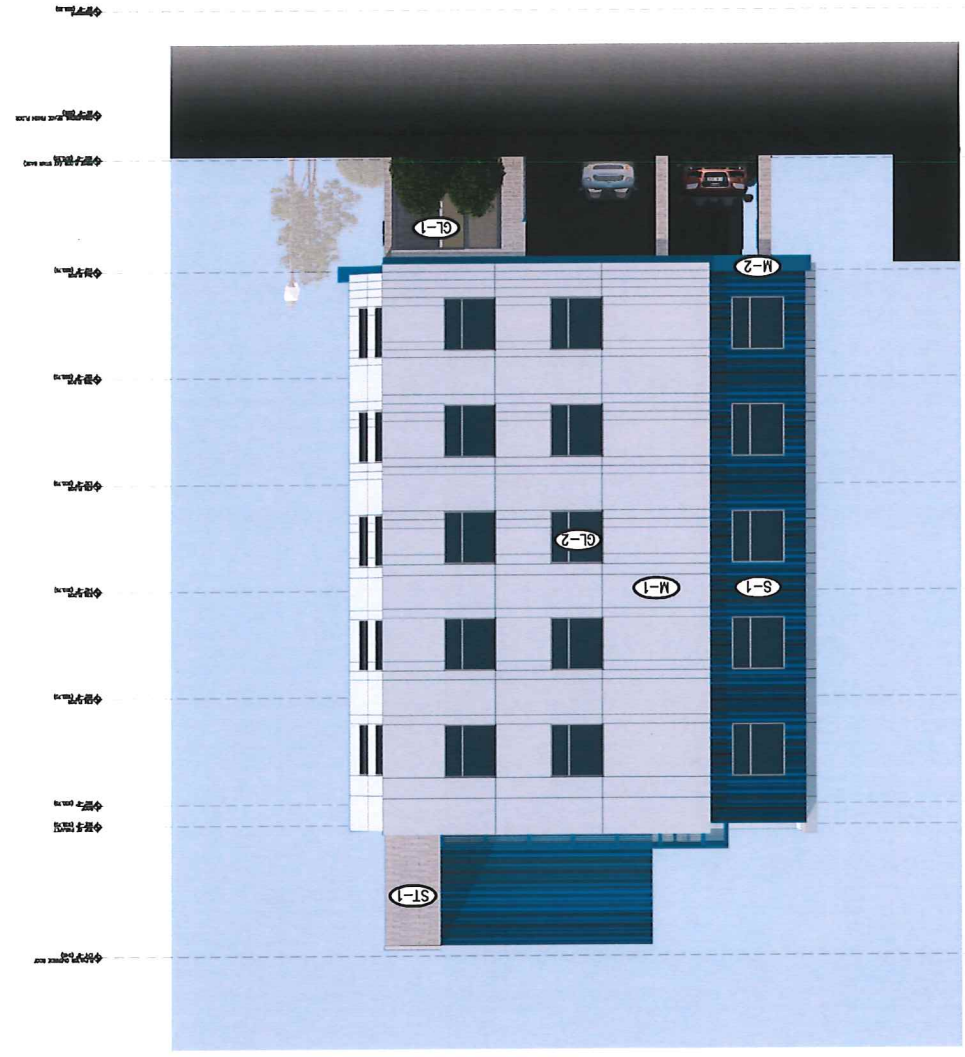


PLAN SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0' 4' 8' 12' 16' 20' 24' 28' 32'

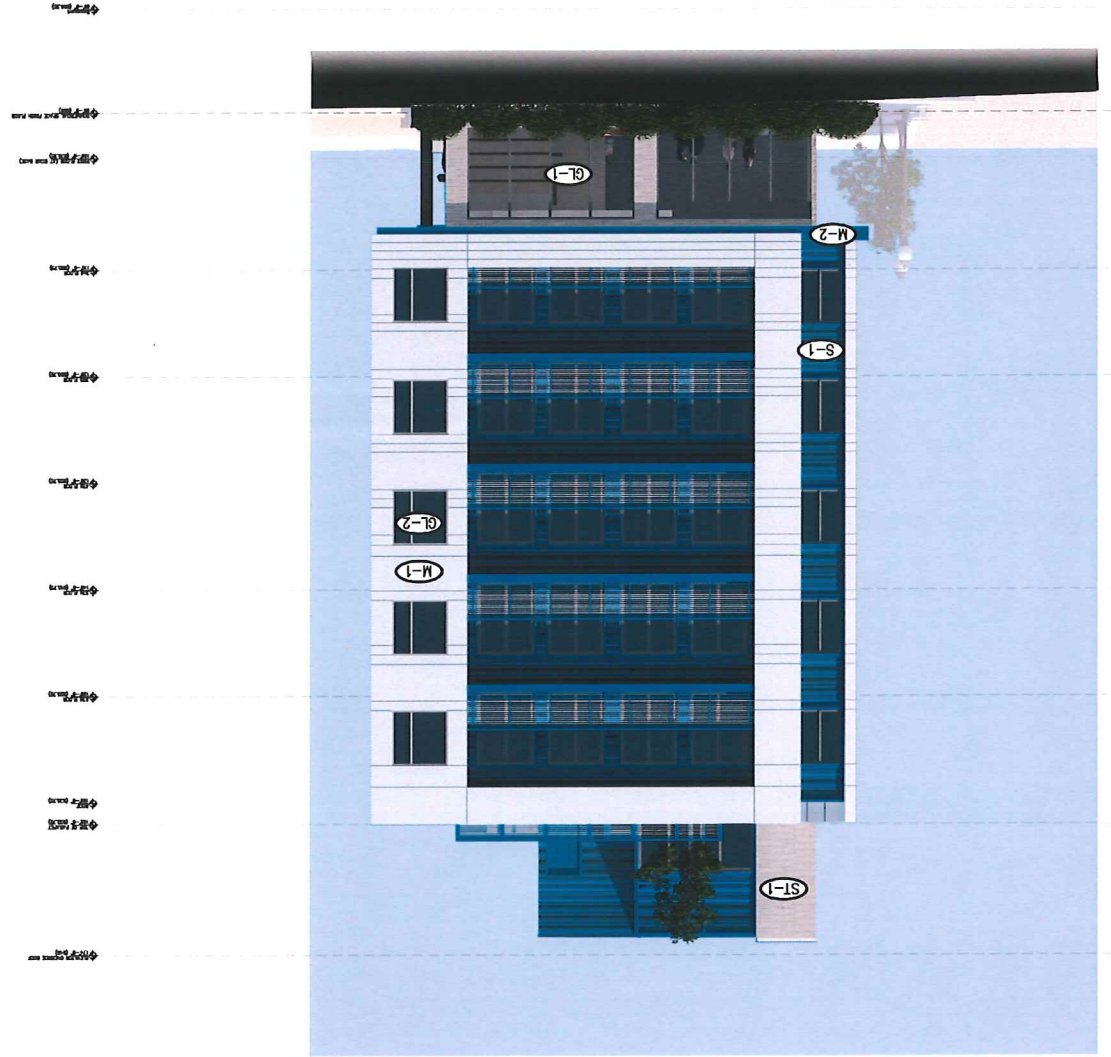
KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC
ST-1	MASONRY FIELD MFR: ROCKCAY SIZE: 4x8 COLOR: ELITE (LEFT FACE)	
M-1	ALUMINUM PANEL MFR: DR DESIGN SIZE: N.A. COLOR: STONE WHITE	
M-2	ALUMINUM PANEL MFR: DR DESIGN SIZE: N.A. COLOR: REAL BLUE	
S-1	SPLASHING MFR: LE SQUATRO SIZE: 3" COLOR: REAL BLUE	
GL-1	GLASS FIELD (GLAZY) MFR: WILSON SIZE: REFER TO SPECIFICATIONS TYPE: WILSON SOLASCREEN VC-2H	
GL-2	GLASS FIELD (FRUSTED) MFR: WILSON SIZE: REFER TO SPECIFICATIONS TYPE: FRUSTED WILSON SOLASCREEN	

KEY	EXTERIOR FINISH DESCRIPTION
ST-1	MASONRY FIELD MFR. ROCKCAST SIZE: 8x24" COLOR: SLATE (LEFT FACE)
M-1	ALUMINUM PANEL MFR. DR. DESIGN SIZE: N.A. COLOR: STONE WHITE
M-2	ALUMINUM PANEL MFR. DR. DESIGN COLOR: REGAL BLUE
S-1	SHIP LAMING MFR. DR. SQUARES SIZE: 2" COLOR: SWAG 639, 6310
GL-1	GLASS FIELD (CLEAR) MFR. WILSON SIZE: REFER TO SPECIFICATIONS TYPE: WILSON SOLUTIONS VE-4-2M
GL-2	GLASS FIELD (FROSTED) MFR. WILSON SIZE: REFER TO SPECIFICATIONS TYPE: FROSTED WILSON SOLUTIONS

SCALE: 1/8" = 1'-0"
PLAN WEST ELEVATION



SCALE: 1/8" = 1'-0"
PLAN EAST ELEVATION



PROJECT:
330 E. WILSON
330 E. WILSON STREET
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MADISON, WI 53703

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ASSOC.
PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

PLAN
EASTWEST
ELEVATION
A.6.02

GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMAWOOD AVE. STE. 204
MIDDLETON, WI 53662
608-829-1750
608-829-3056 (FAX)



KEY	EXTERIOR FINISH DESCRIPTION
(S-1)	MASONRY FIELD MFR: ROCKCAST SIZE: 4x8" COLOR: SLATE (SPILT FACE)
(M-1)	ALUMINUM PANEL MFR: DR DESIGN SIZE: N/A COLOR: STONE WHITE
(M-2)	ALUMINUM PANEL MFR: DR DESIGN SIZE: N/A COLOR: REGAL BLUE
(S-1)	SLIP STONE MFR: LP SMARTSIDE COLOR: SWISS 6741 6510 SIZE: 2"
(GL-1)	GLASS FIELD (CLEAR) MFR: WILSON COLOR: SWISS 6741 6510 SIZE: 2"
(GL-2)	GLASS FIELD (FROSTED) MFR: WILSON SIZE: REFER TO SPECIFICATIONS
(GL-3)	GLASS FIELD (FROSTED) MFR: WILSON SIZE: REFER TO SPECIFICATIONS

PLAN NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PROJECT: 201249
DRAWN BY:
DATE:
SCALE: AS NOTED

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-1056 (FAX)



PLAN NORTH
ELEVATION
A6.03



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PROJECT: 201249
DRAWN BY: MJB
DATE: AS NOTED
SCALE: AS NOTED

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE. STE. 201
MIDDLETON, WI 53562
608.839.1750
608.829.3056 (FAX)





R1.02

MASSING
MODEL
RENDERINGS

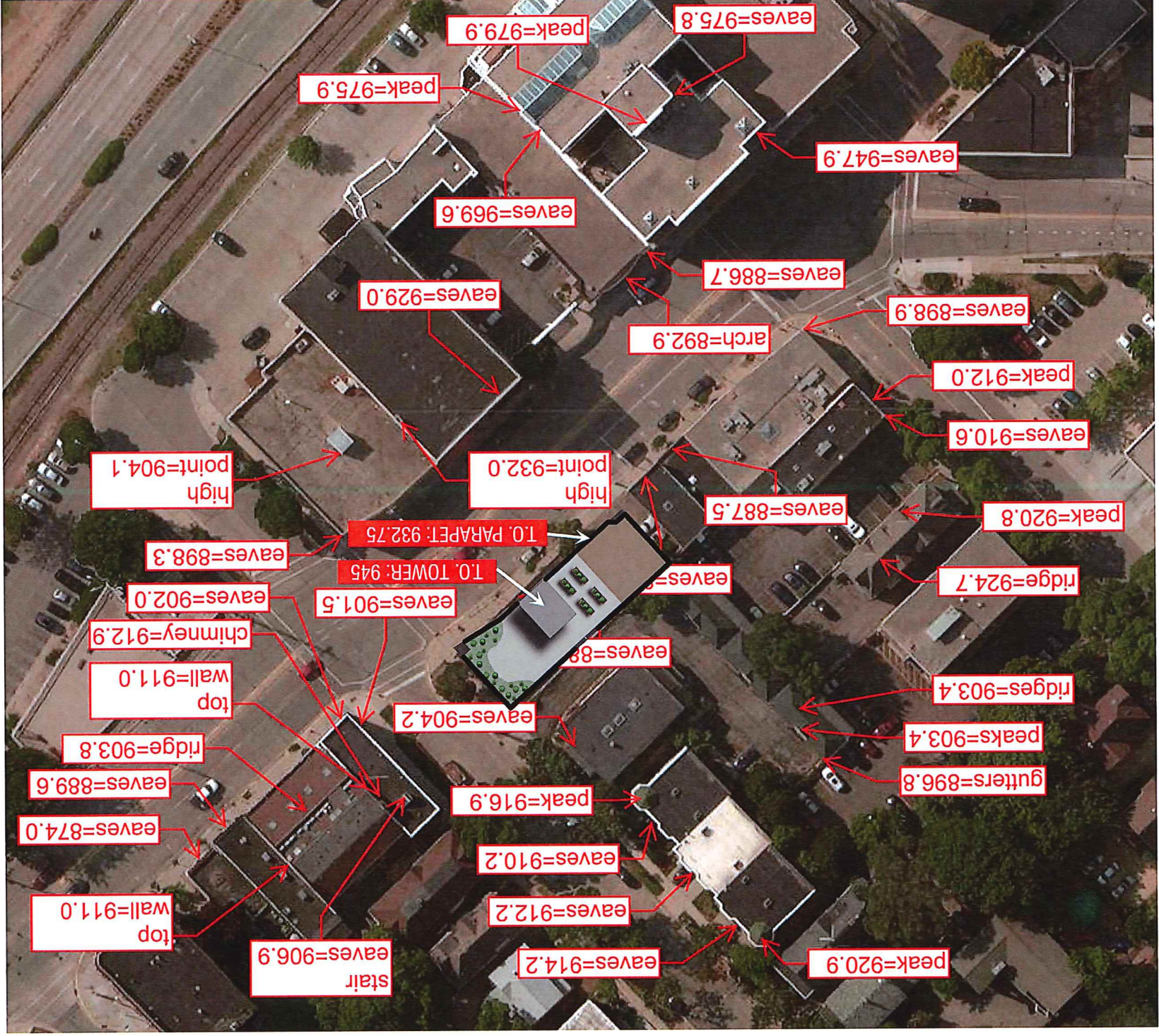
PROJECT: 201249
DRAWN BY: MJB
DATE: AS NOTED
SCALE: AS NOTED

PROJECT: 330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT: KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

GARY BRINK & ASSOCIATES
ARCHITECTS
780 ELMWOOD AVE. STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-1056 (FAX)



PEAK EAVE HEIGHTS



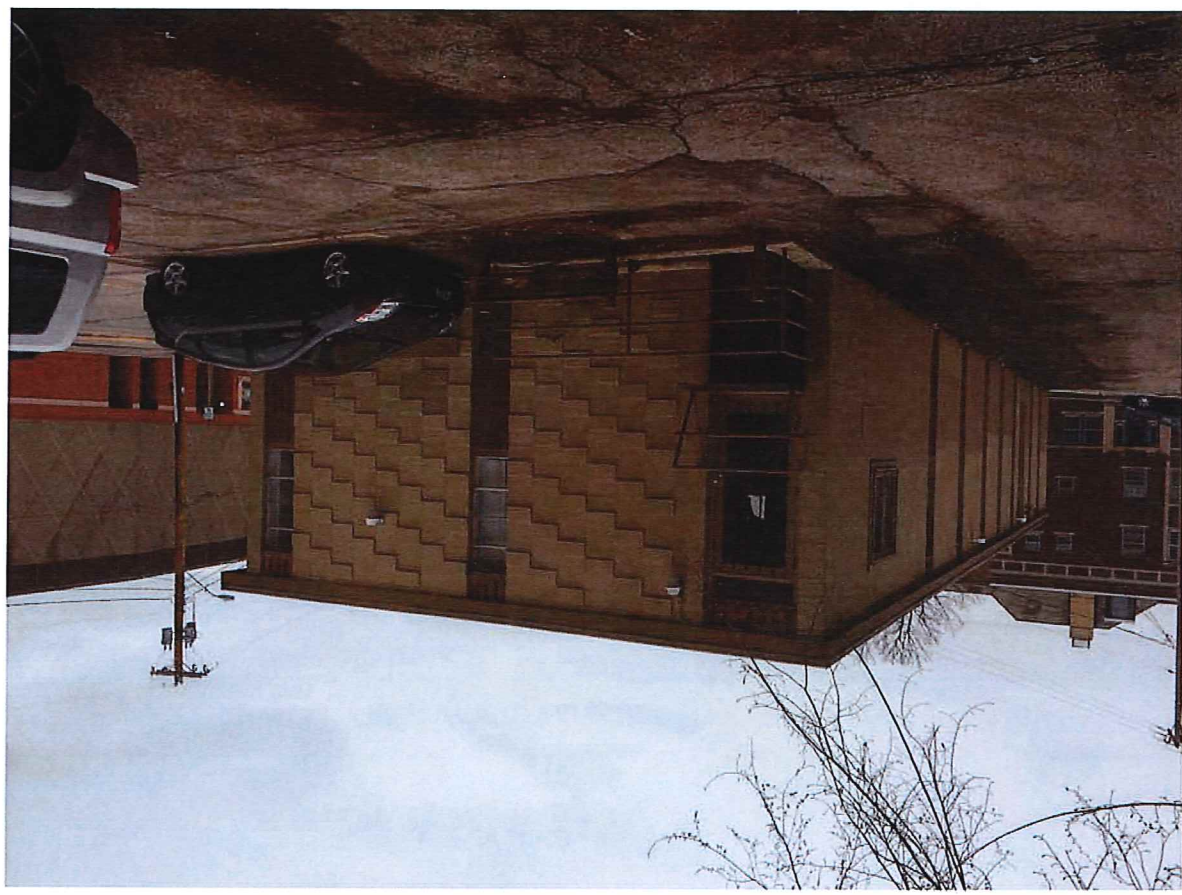
PROJECT: 201249
 DRAWN BY: KA
 DATE: 7/11/12
 SCALE: AS NOTED

PROJECT: 330 E. WILSON
 330 E. WILSON STREET
 MADISON, WI 53703
 CLIENT: KOTHE REAL ESTATE PARTNERS
 115 E. MAIN STREET SUITE 210
 MADISON, WI 53703

GARY BRINK & ASSOCIATES
 ARCHITECTS
 7780 ELKHORN AVE. STE. 204
 MADISON, WI 53618
 608-829-1750
 608-829-1750
 608-829-1750 (FAX)



EXISTING EXTERIOR PHOTOGRAPHS



GARY BRINK & ASSOCIATES
ARCHITECTS
1780 ELMWOOD AVE STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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PROJECT: 2012149
DRAWN BY: ZB
DATE: 7/14
SCALE: AS NOTED

SUPPLEMENTARY
CONTEXT
EXHIBITS
EX.02

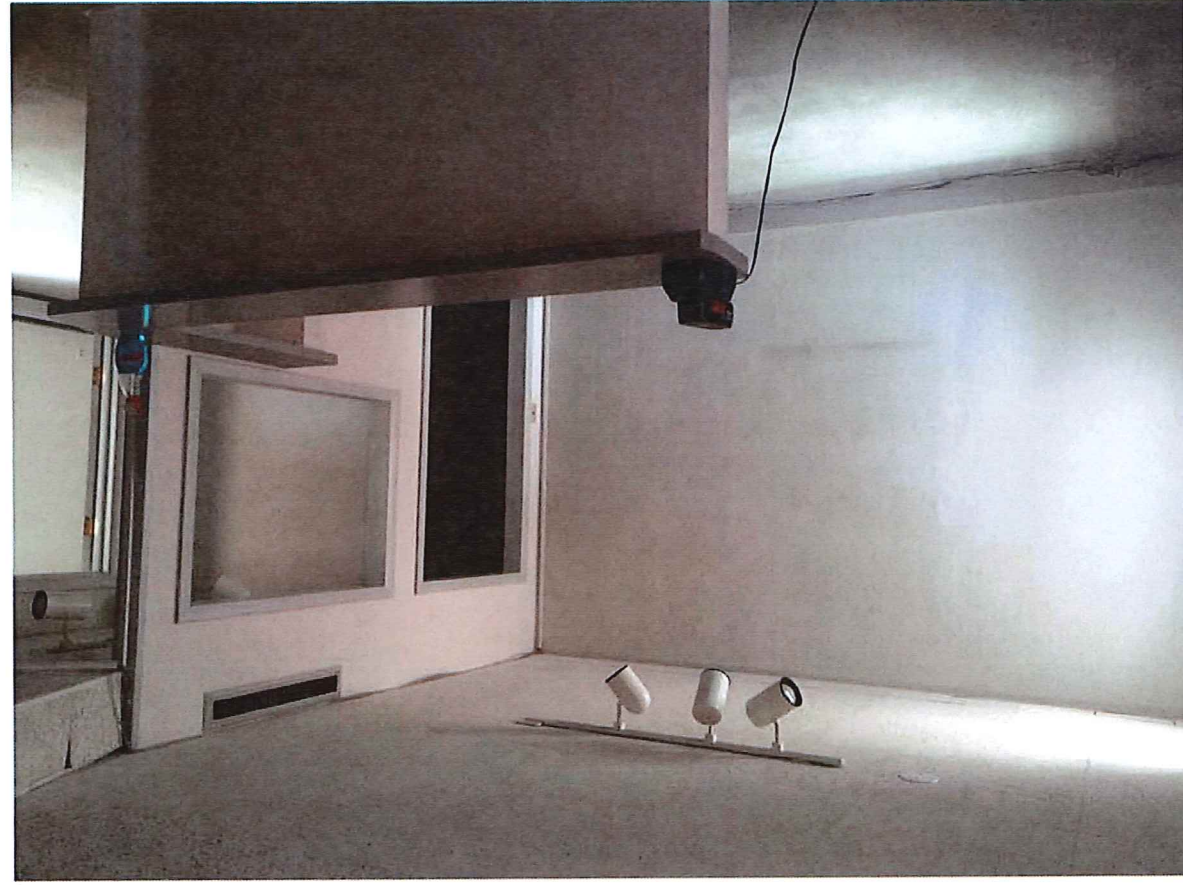
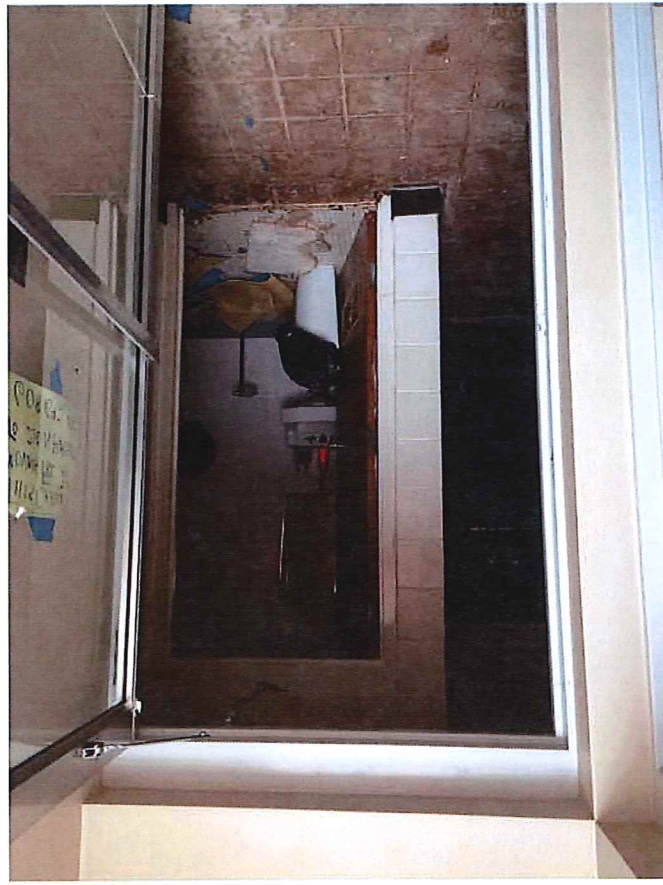
EX.03
SUPPLEMENTARY
CONTEXT
EXHIBITS

PROJECT: 201249
 DRAWN BY: ZR
 DATE:
 SCALE: AS NOTED

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PROJECT:
330 E. WILSON
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 MADISON, WI 53703
 CLIENT:
KOTHE REAL ESTATE PARTNERS
 115 E. MAIN STREET SUITE 210
 MADISON, WI 53703

GARY BRINK & ASSOCIATES
 ARCHITECTS
 7780 ELMWOOD AVE. STE. 204
 MIDDLETON, WI 53562
 608-829-1750
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EXISTING INTERIOR PHOTOGRAPHS



EDGE OF BUILDING

STAIR/ELEVATOR CORE

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 ASSOC.
 PROJECT: 201249
 DRAWN BY: MB
 DATE: AS NOTED
 SCALE: AS NOTED

PROJECT:
330 E. WILSON
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 7780 ELMWOOD AVE. STE. 204
 MIDDLETON, WI 53562
 608-829-1750
 608-829-3056 (FAX)





EDGE OF BUILDING

STAIR/ELEVATOR CORE



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVE, STE. 204
MIDDLETON, WI 53562
608-829-1750
608-829-0566 (FAX)

PROJECT:
330 E. WILSON
330 E. WILSON STREET
MADISON, WI 53703
CLIENT:
KOTHE REAL ESTATE PARTNERS
115 E. MAIN STREET SUITE 210
MADISON, WI 53703

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PROJECT: 201249
DRAWN BY: MB
DATE: AS NOTED
SCALE: AS NOTED



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ARCHITECTS
7780 ELMWOOD AVE. STE. 204
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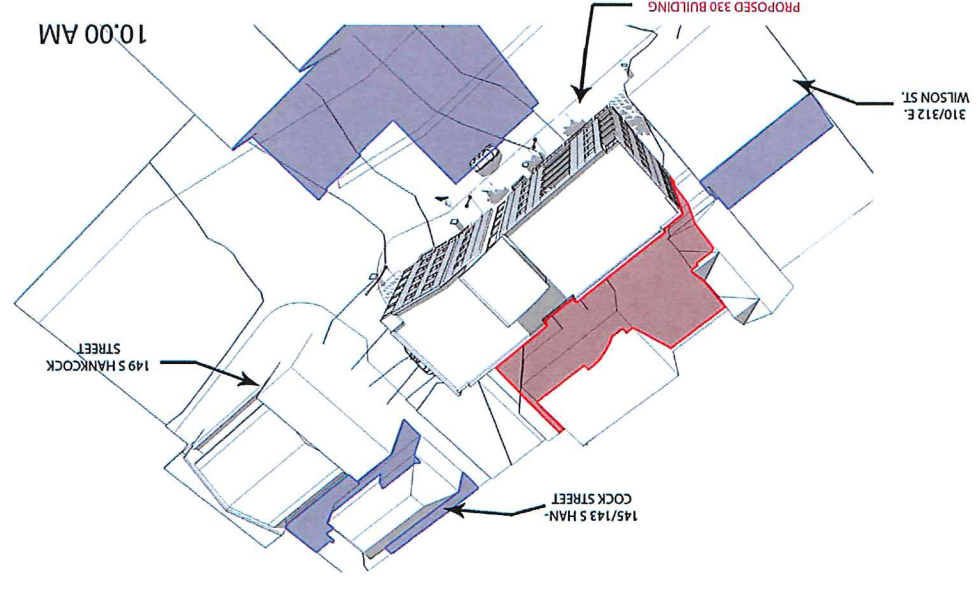
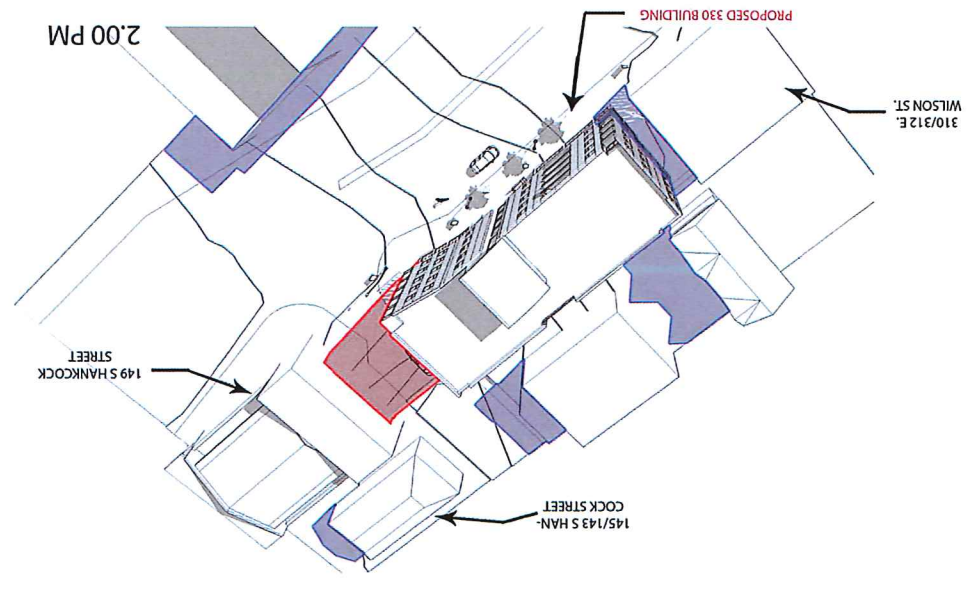
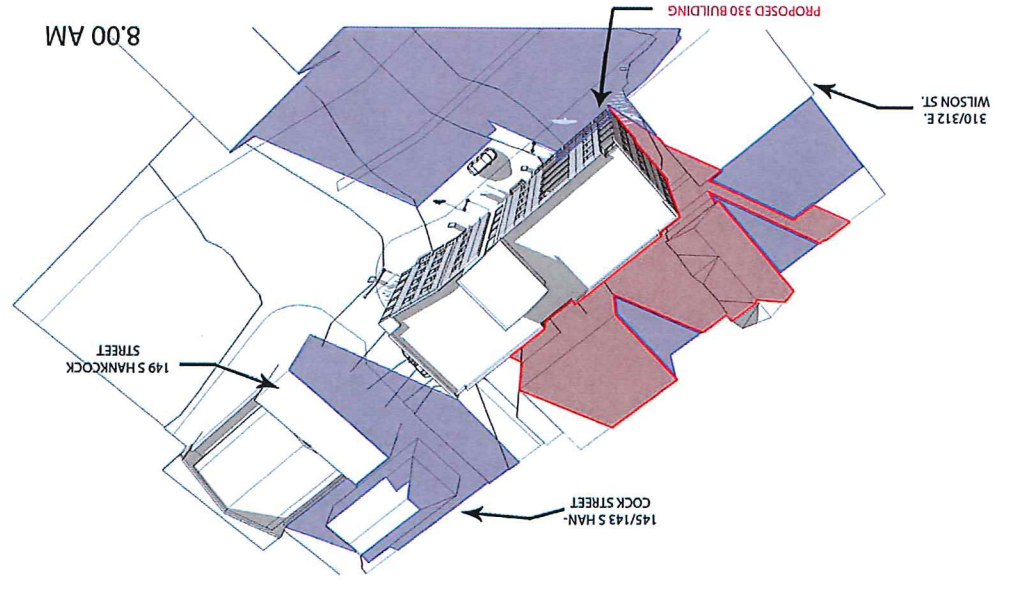
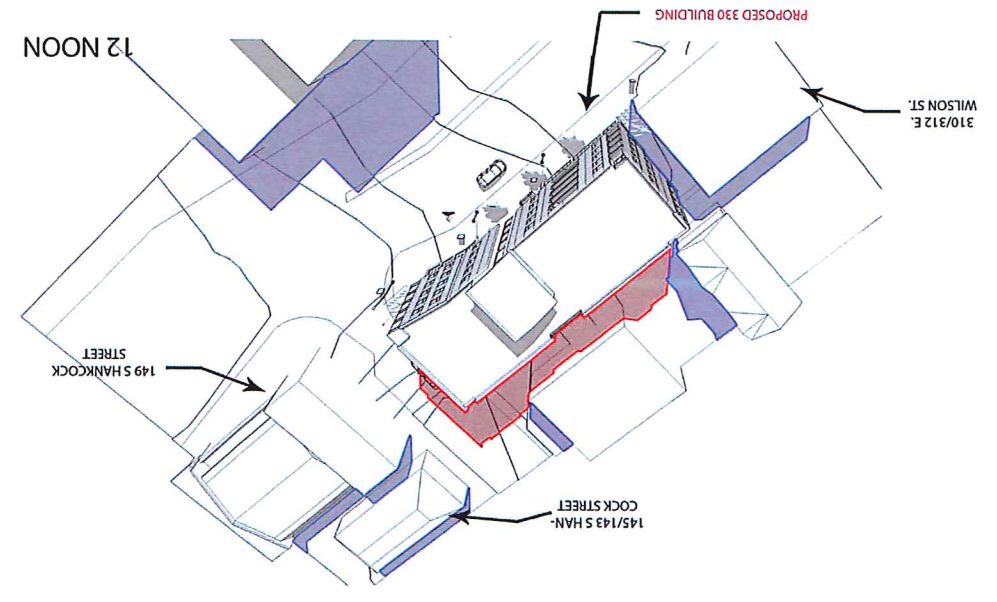
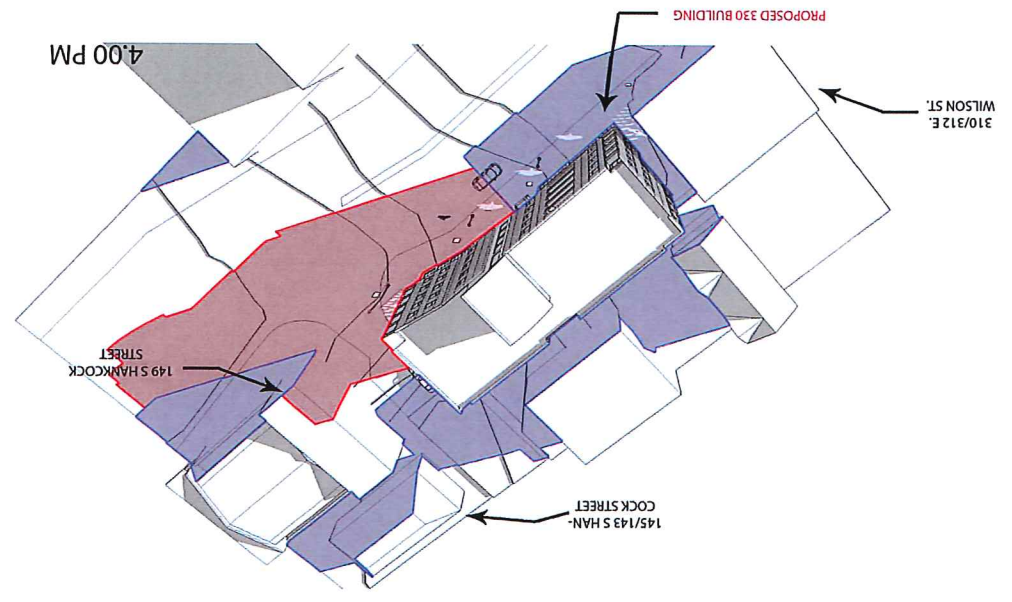
PROJECT: 201249
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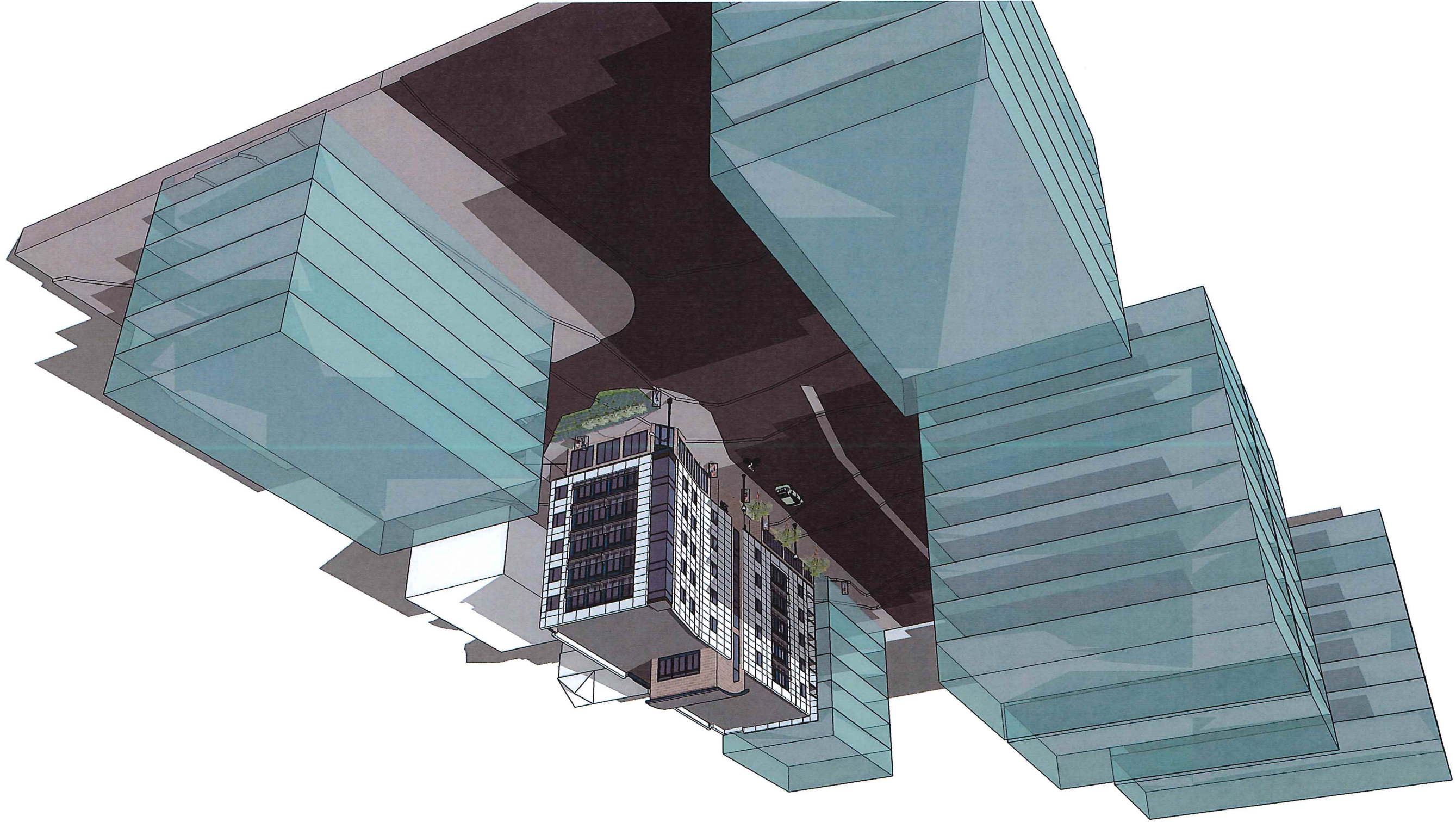
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SHADOWS FROM PROPOSED BUILDING [Red bar]
SHADOWS FROM EXISTING BUILDINGS [Blue bar]
 SHADOWS TAKEN AT DESIGNATED TIMES ON THE EQUINOX (MARCH 20, 5PT. 23)





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