



City of Madison

Conditional Use

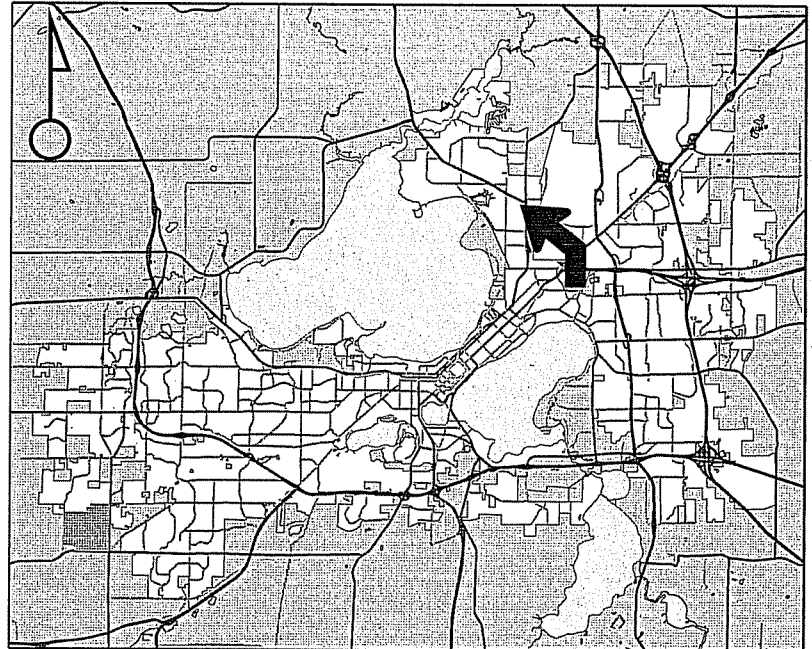
Location
9002 McKee Road &
2002 South Pleasant View Road

Applicant
Board of Regents – UW System/
Gary Brown – UW Madison

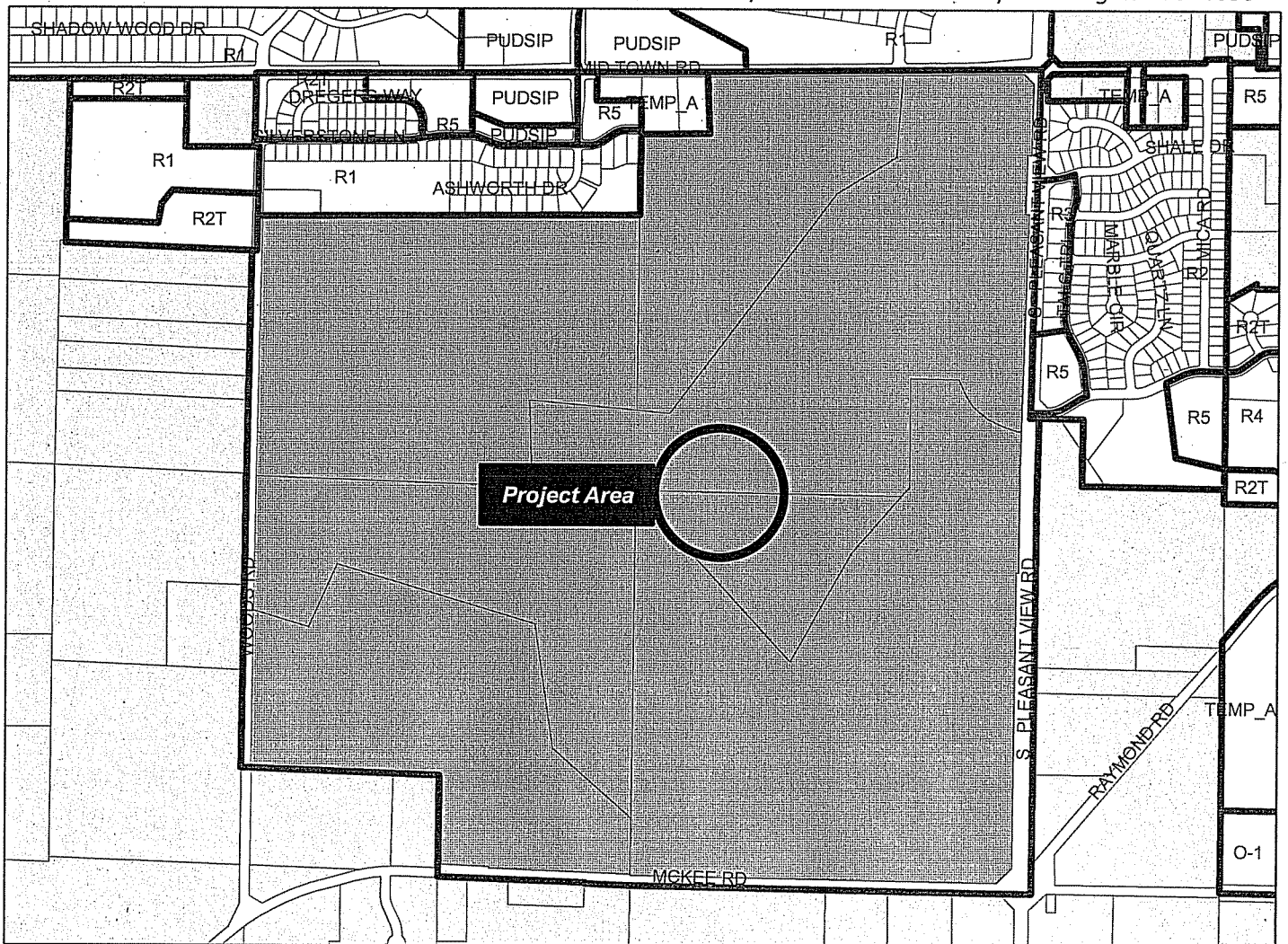
Existing Use
University Ridge Golf Course

Proposed Use
Construct all-season golf practice
facility at University Ridge Golf
Course

Public Hearing Date
Plan Commission
05 March 2012

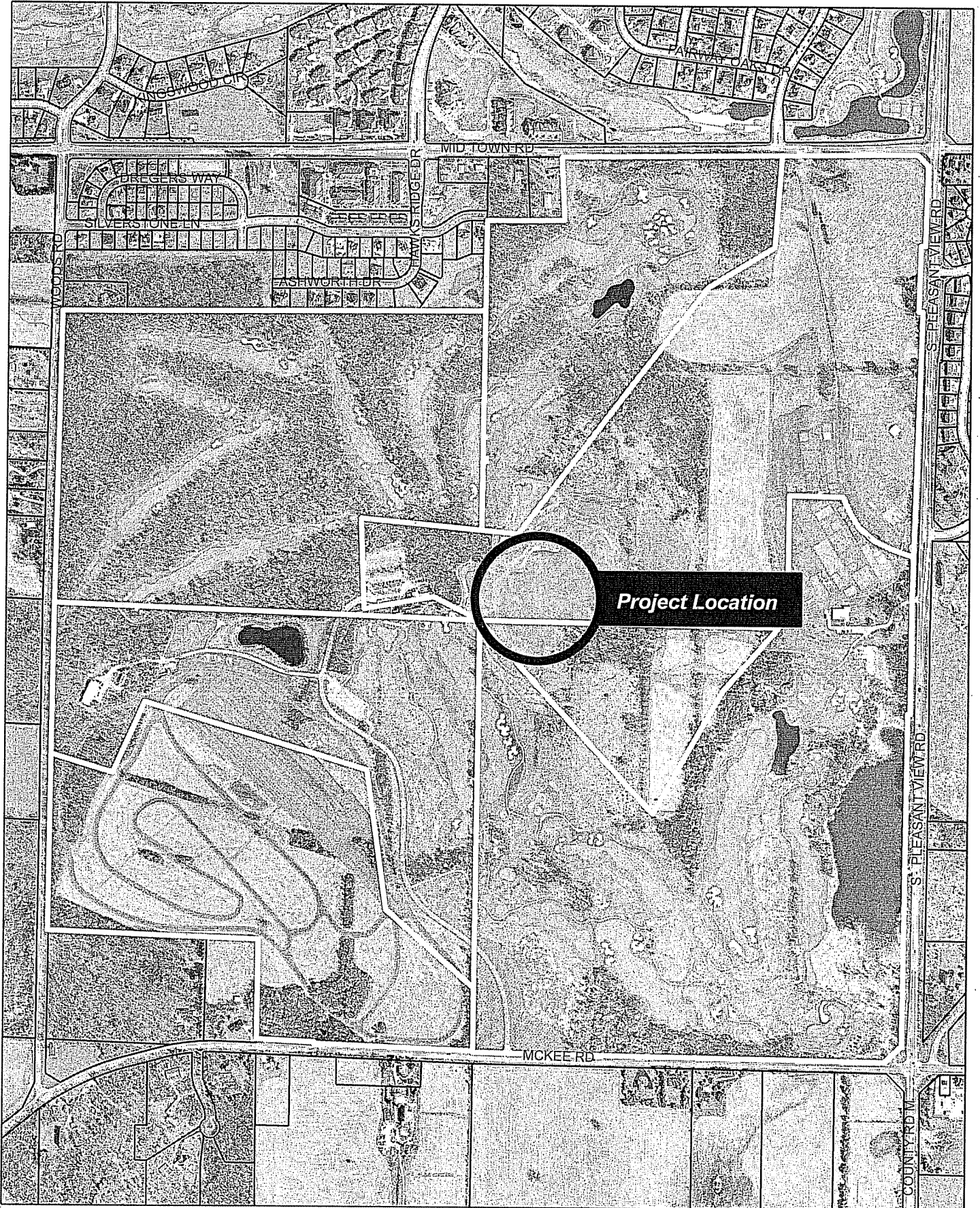


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 1100

City of Madison, Planning Division : RPJ : Date : 21 February 2012







LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

OR OFFICE USE ONLY:	
Amt. Paid	Receipt No.
Date Received	1/18/12
Received By	PDA
Parcel No.	0608-044-0101-0
Aldermanic District	1. LISA SUBELK
GQ	
Zoning District	A
For Complete Submittal	
Application	Letter of Intent
IDUP	Legal Descript.
Plan Sets	Zoning Text
Alder Notification	Waiver
Ngbrhd. Assn Not.	Waiver
Date Sign Issued	

1. **Project Address:** 9002 County Road PD **Project Area in Acres:** 1.8585

Project Title (if any): UW Madison All-Season Golf Practice Facility

2. **This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Gary A. Brown Company: University of Wisconsin-Madison
 Street Address: 610 Walnut Street City/State: Madison, WI Zip: 53726
 Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Project Contact Person: Gary A. Brown Company: University of Wisconsin-Madison
 Street Address: 610 Walnut Street City/State: Madison, WI Zip: 53726
 Telephone: (608) 263-3023 Fax: (608) 265-3139 Email: gbrown@fpm.wisc.edu

Property Owner (if not applicant): Board of Regents of the UW System
 Street Address: 1220 Linden Drive City/State: Madison, WI Zip: 53706

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____

2 Story, 11,600 GSF All-Season Practice Facility at the University Ridge Golf Course

Development Schedule: Commencement September, 2012 Completion January, 2013

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee: \$DNA** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:
 → *The site is located within the limits of _____ Plan, which recommends: _____ for this property.*

Pre-application Notification: Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 → *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
 Ald. Lisa Subeck, District 1 - waiver request attached

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Brad Murphy Date: Various Zoning Staff: Matt Tucker Date: 3/23/11

Check here if this project will be receiving a public subsidy. If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Gary A. Brown Date 01/17/12
 Signature *Gary A. Brown* Relation to Property Owner owner's rep
 Authorizing Signature of Property Owner *Gary A. Brown* Date 01/17/12

Effective May 1, 2009



WISCONSIN
UNIVERSITY OF WISCONSIN-MADISON

January 18, 2012

Mr. Matthew Tucker
City of Madison Zoning Administrator
215 Martin Luther King Jr. Blvd
Rm. LL-100, Municipal Bldg
Madison, WI 53710

RE: CONDITIONAL USE APPLICATION – Letter of Intent
UNIVERSITY RIDGE ALL-SEASON GOLF PRACTICE FACILITY
9002 McKee Road (Hwy PD)
University of Wisconsin-Madison

Dear Mr. Tucker,

This is an application for a conditional use request for a proposed 11,600 gross square foot, two-story building at the University Ridge Golf Course located at 9002 McKee Road (Hwy PD). The property, including the University Ridge Golf Course, its surrounds and the O.J. Noer Turfgrass Research and Education Facility, is being rezoned from "Temporary Agriculture" to "Agriculture" under a separate request. Golf courses and related buildings within an Agriculture district are considered a conditional use. Construction of the new facility is scheduled to March, 2012. All land is owned by the Board of Regents of the University of Wisconsin System

Application Materials

Zoning Application
Plans (7 full size copies, 7 reduced size 11" x 17" copies, 1 letter size copy)
Letter of Intent (12 copies)
Legal Description
District Alder Waiver of 30 day notice

Project Participants

Owner: **State of Wisconsin**
Agency: University of Wisconsin System
Board of Regents
Room 1860 Van Hise Hall
1220 Linden Drive
Madison, Wisconsin 53706

Owner's Contact: **University of Wisconsin – Madison**
Facilities Planning and Management
919 WARF Building
610 Walnut Street
Madison, Wisconsin 53726
Phone: 608-263-3023
Fax: 608-265-3139
Attn: Gary Brown
E-Mail: gbrown@fpm.wisc.edu

Facilities Planning & Management

9th Floor WARF Building 610 Walnut Street Madison, Wisconsin 53726-2397
(608) 263-3000 FAX (608) 265-3139 TTY (608) 265-5147

5

Architect:

Potter Lawson, Inc.
15 Ellis Potter Court
P.O. Box 44964 (53744-4964)
Madison, Wisconsin 53711
Phone: 608-274-2741
Fax: 608-274-3674
Attn: Paul Ament
E-Mail: paula@potterlawson.com

**Civil Consultant:
Water Service**

Strand Associates, Inc.
910 W. Wingra Drive
Madison, WI 53715
Phone: 608-251-4843
Fax: 608-251-8655
Attn: Pat Rank
E-Mail: patrick.rank@strand.com

**Civil Consultant:
Site Work**

Ken Saiki Design
303 S. Paterson St, Ste 1
Madison, Wisconsin 53703
Phone: 608-251-3600
Fax: 608-251-2330
Attn: Ken Saiki
E-Mail: ksaiki@ksd-la.com

Structural Consultant:

Pierce Engineers, Inc.
10 W. Mifflin Street, Suite 205
Madison, Wisconsin 53703
Phone: 608-256-7304
Attn: Robert Corey
E-Mail: rbc@pierceengineers.com

Plumbing, HVAC:

JDR Engineering, Inc.
5525 Nobel Drive, Suite 110
Madison, Wisconsin 53711
Phone: 608-277-1728
Attn: Tim Meeker
E-Mail: meeker@jdrengineering.com

Building Use, Area, and Occupancy

The University of Wisconsin – Madison is proposing to construct an All-Season Golf Practice Facility at the University Ridge Golf Course located at 9002 County Road PD in Madison, Wisconsin. The proposed facility will be an approximately 11,600 gross square foot, two-story building that is intended for the sole use of the UW-Madison's Men's and Women's Golf Teams. The proposed practice facility is centrally located within the University Ridge Golf Course, approximately 280 feet east of the existing University Ridge Clubhouse. The 225-acre University Ridge Golf Course is part of a 585-acre property owned by the University of Wisconsin. Other land uses on the overall property include the UW-Madison's Men's and Women's Cross Country Facility, UW-Madison OJ Noer Turf Grass Facility, and portions of the Ice Age Trail. The 585-acre property is bordered by County Highway PD on the south; County Highway M on the east; Midtown Road on the northeast; and a residential development on the northwest.

University Ridge is the practice and competition golf course of the Badger Men's and Women's Golf Teams. University Ridge provides one of the nation's best courses for student athletes; however, the golf teams are not able to practice on site during the winter months or periods of inclement weather. The lack of a functional all-season practice facility at University Ridge hinders the student golfers' ability to improve their skills year round without weather constraints. This has had a negative impact on recruitment efforts and the achievable performance of individual golfers and the golf teams as a whole. The proposed All-Season Golf Practice Facility will provide the year round capability for student athletes to practice chipping, putting, and indoor hitting/driving. The 2011 – 2012 UW-Madison Men's Golf Team roster included 8 student athletes and 2 coaches. The 2010-2011 UW-Madison Women's Golf Team roster included 11 student athletes and 2 coaches. The potential success of these and future

UW golfers on and off the course can be maximized by the year round practice made possible by this project. In addition, the All-Season Golf Practice Facility will take advantage of the significant donations made to UW-Madison for the specific purpose of constructing an All-Season Golf Practice Facility. The All-Season Golf Practice Facility will be funded with Gift Funds.

Currently, the University Ridge property includes an 11,310 gross square foot clubhouse which includes a golf pro shop; a small dining facility (The W Grill, opened in 2009); an adjacent outdoor pavilion/dining area (opened in 2010 seating 250 people) and associated small outdoor patio areas; and a 33-acre outdoor golf practice facility. Other small garages and golf course maintenance storage buildings are also included on the property.

Operating hours of the golf course facility are typically 6:00 AM to 9:00 PM daily during the season. Maintenance of the facilities is provided by university staff on a regular basis. Trash and recycling is handled by a private contractor.

Since the UW Golf Teams currently practice at University Ridge, no net increase in traffic is anticipated after construction is completed. Parking at University Ridge is accommodated by an 150-space surface parking lot adjacent to the clubhouse and an overflow lot of approximately 104 spaces in a developed surface lot south and west of the clubhouse. The two parking areas have a total of 267 stalls and 8 ADA accessible stalls. The proposed All-Season Golf Practice Facility includes an additional ADA accessible parking stall near the new building.

A proposed natural gas main is planned to be installed along the University Ridge entrance drive and will replace the propane tanks currently used by the clubhouse. The gas main will also serve the new practice facility. The clubhouse's potable water source is currently an on-site well.

The land and its buildings are served by the City of Madison Fire Department. The building will be sprinklered. The Madison Fire Department has requested that the proposed project include a connection to the municipal water system and a fire hydrant be installed near the existing clubhouse and proposed practice facility. The proposed fire/access lane to the proposed building will cross an existing golf cart path. The finished fire/access lane will include bollards with removable chains to prevent golf cart operation on the lane.

Exterior building materials are similar to the existing club house and include wood siding, aluminum windows and an asphalt roof.

Building and site signage exists currently both at University Ridge and at the O.J. Noer facility. New building mounted and Campus standard ground mounted building signs near the entrance will be included as part of the project.

Lighting will be provided along the entrance walk, on the building and for the outside chipping/putting area. The lighting fixtures will be in conformance with Campus standards.

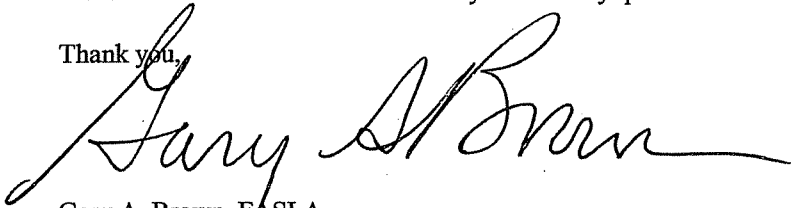
The overall project will be designed to a minimum LEED Silver rating but LEED certification will not be pursued.

The project was presented to the City of Madison Development Assistance Team on March 24, 2011.

Legal Description of Site - See attached.

Please contact me at 608-263-3023 if you have any questions or need further information.

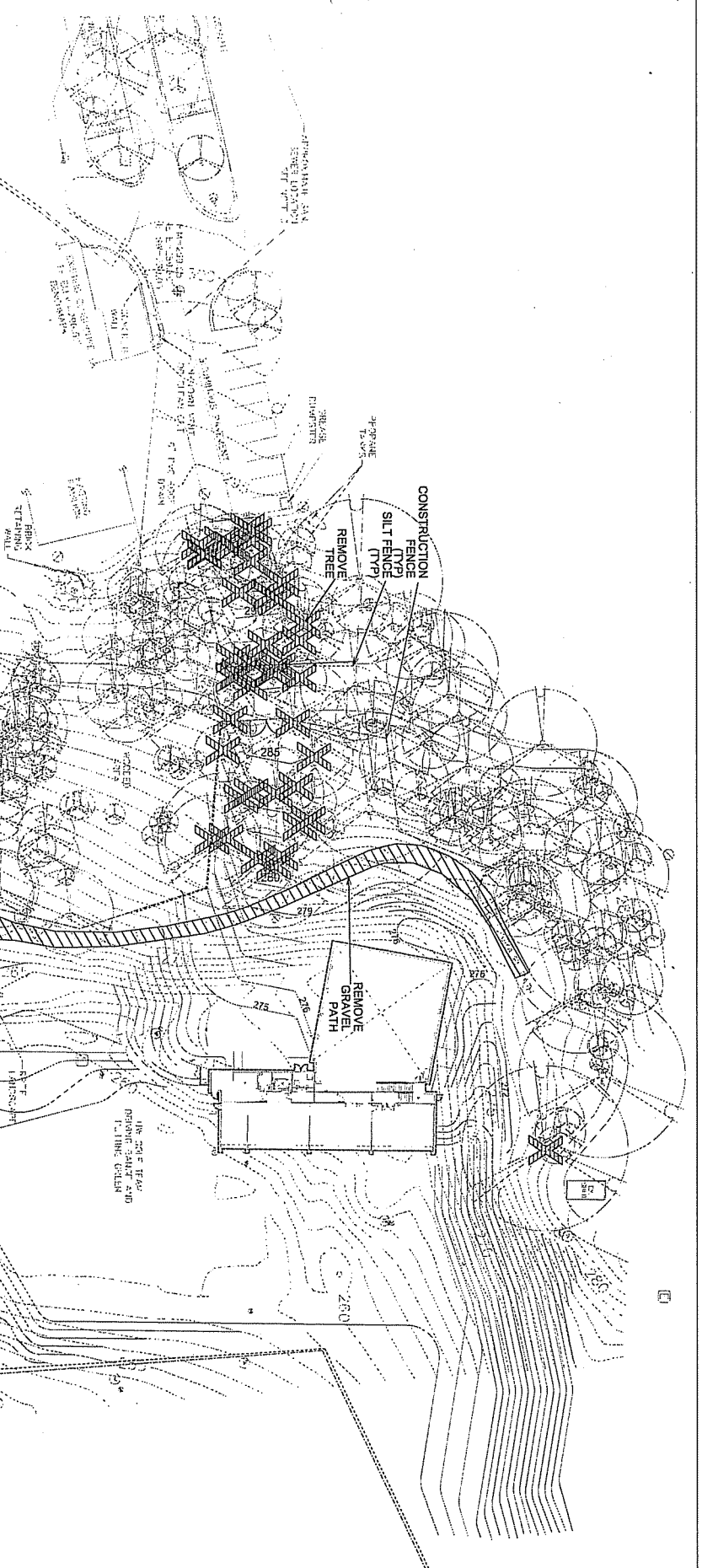
Thank you,



Gary A. Brown, FASLA
Director, Campus Planning & Landscape Architecture
Facilities Planning & Management, University of Wisconsin-Madison

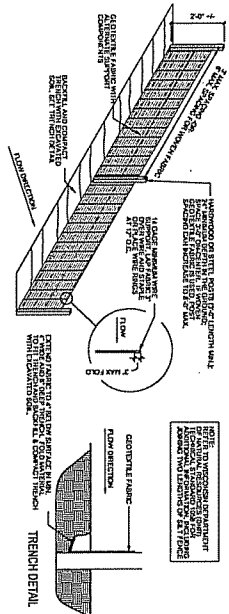
Xc: Ann Hayes, UW-Madison FP&M Project Manager
Tim Luttrell, DOA/DSF Project Manager
Tim Wise, UW Athletics

Alder Lisa Subeck, District 1, City of Madison Common Council



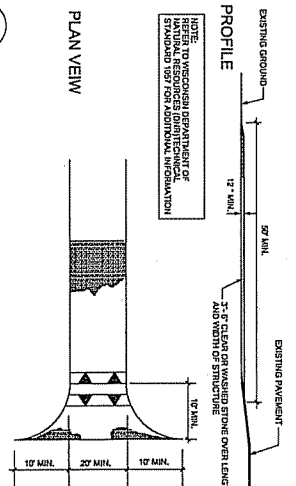
1 EROSION CONTROL & SITE PREPARATION PLAN
 C100

1"=20'-0" (30X42 FULL SIZE)



2 SILT FENCE
 C100

NTS

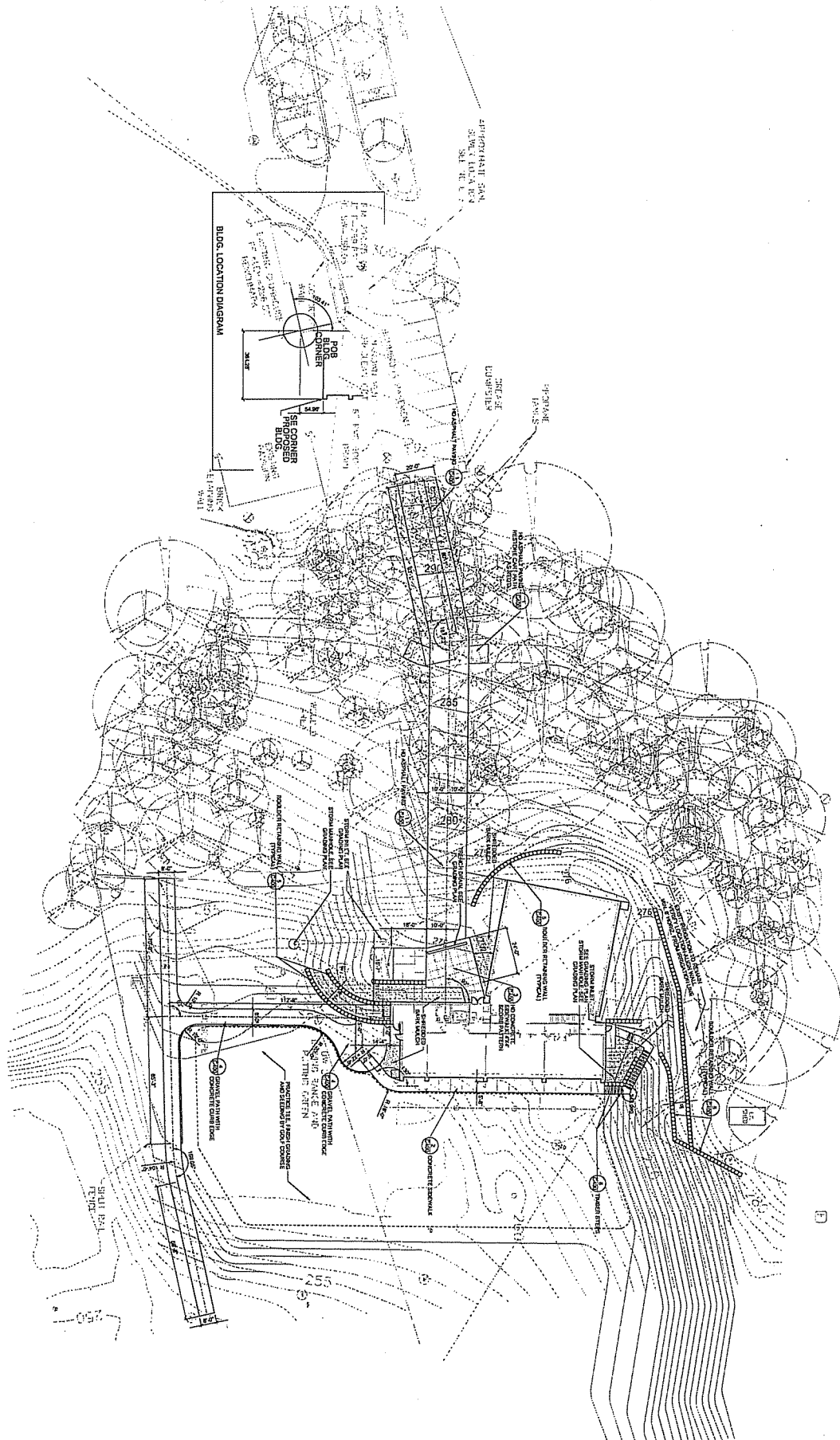


3 STONE TRACKING PAD
 C100

NTS

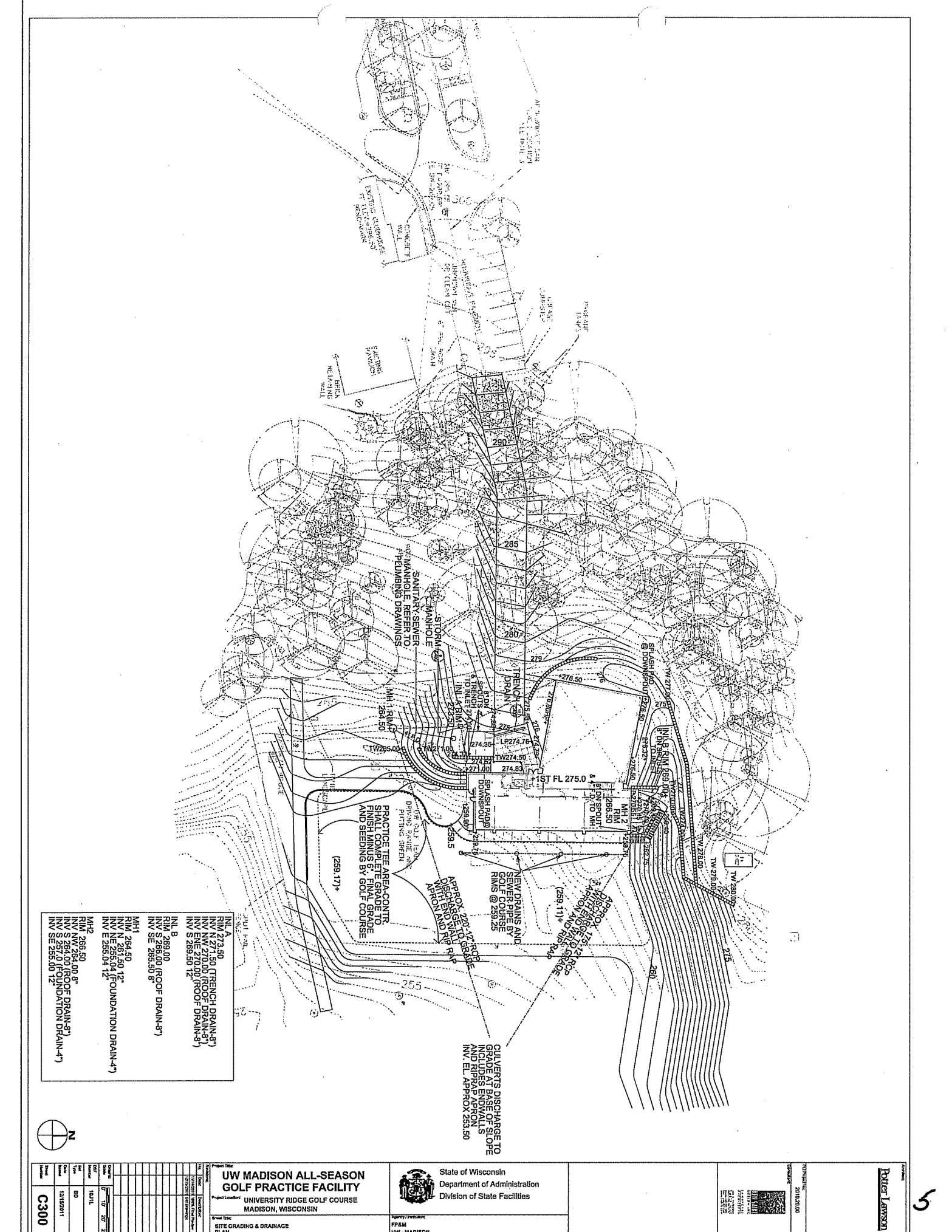
- 1) LENGTH - Minimum of 50'
- 2) WIDTH - 27" minimum should be placed at the existing road to provide a turning radius.
- 3) SPACING - 27" minimum should be placed over the existing ground prior to placing a stone.
- 4) SPACING - 27" minimum should be placed over the existing concrete equipment shall be placed at least 12" over the length and width of entrance.
- 5) SURFACE WATER - All surface water flowing to or over the stone tracking pad shall be directed to the existing drainage system. The stone tracking pad shall be constructed with a minimum of 12" depth and a minimum of 2" of stone over the top of the stone tracking pad. The stone tracking pad shall be constructed with a minimum of 12" depth and a minimum of 2" of stone over the top of the stone tracking pad. The stone tracking pad shall be constructed with a minimum of 12" depth and a minimum of 2" of stone over the top of the stone tracking pad.
- 6) BLOCKING - A stabilized construction entrance shall be located at every point where the stone tracking pad crosses an existing construction entrance.
- 7) PROPOSED STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH ONE TECH. S10, 157, EXCEPT AS NOTED.

<p>UW MADISON ALL-SEASON GOLF PRACTICE FACILITY UNIVERSITY RIDGE GOLF COURSE MADISON, WISCONSIN</p>		<p>State of Wisconsin Department of Administration Division of State Facilities</p>	<p>Project Title: EROSION CONTROL AND SITE PREPARATION PLAN</p>	<p>Contract No: 1011200300</p>	<p>Contract Date: 12/15/2011</p>
<p>Sheet No: C100</p>	<p>Scale: 1"=20'-0"</p>	<p>Date: 12/15/2011</p>	<p>Author: BEE PLUM</p>	<p>Check: BD</p>	<p>Drawn: BEE PLUM</p>



<p>UW MADISON ALL-SEASON GOLF PRACTICE FACILITY UNIVERSITY RIDGE GOLF COURSE MADISON, WISCONSIN</p>		<p>State of Wisconsin Department of Administration Division of State Facilities</p>			<p>Project No.: 010120030 Date: 01/04/2000</p>											
<p>Site Title: SITE LAYOUT PLAN</p>	<p>Author: FP&M UW-MADISON</p>															
<table border="1"> <tr><td>Drawn by:</td><td>01/04/2000</td></tr> <tr><td>Checked by:</td><td>01/04/2000</td></tr> <tr><td>Designated by:</td><td>01/04/2000</td></tr> <tr><td>Drawn by:</td><td>01/04/2000</td></tr> <tr><td>Checked by:</td><td>01/04/2000</td></tr> <tr><td>Designated by:</td><td>01/04/2000</td></tr> </table>	Drawn by:	01/04/2000	Checked by:	01/04/2000	Designated by:	01/04/2000	Drawn by:	01/04/2000	Checked by:	01/04/2000	Designated by:	01/04/2000				
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Project No. **C200**



INL A
 RIM 273.50
 INV N 273.50 (TRENCH DRAIN-9)
 INV N 273.50 (TRENCH DRAIN-9)
 INV ENE 270.00 (ROOF DRAIN-8)
 INV S 269.50 12"

 INL B
 RIM 269.00
 INV S 269.00 (ROOF DRAIN-8)
 INV SE 265.50 8"

 MH1
 RIM 264.50
 INV N 264.50 12"
 INV NE 265.04 (FOUNDATION DRAIN-4)
 INV E 265.04 12"

 MH2
 RIM 265.50
 INV N 264.00 8"
 INV S 264.00 (ROOF DRAIN-5)
 INV SE 265.00 (FOUNDATION DRAIN-4)
 INV SE 265.00 12"

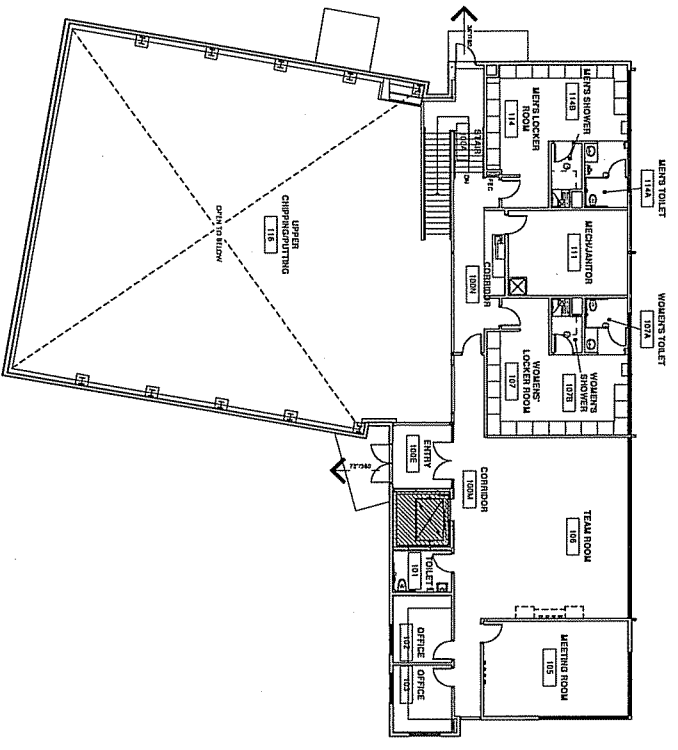
PRACTICE TEE AREA CONTR.
 FINISH CONCRETE GRADE, SEED AND SEEDING BY GOLF COURSE.
 (259.17)

 APPROX. 20' TO 12' ROOF
 APPROX. 20' TO 12' ROOF
 APPROX. 20' TO 12' ROOF

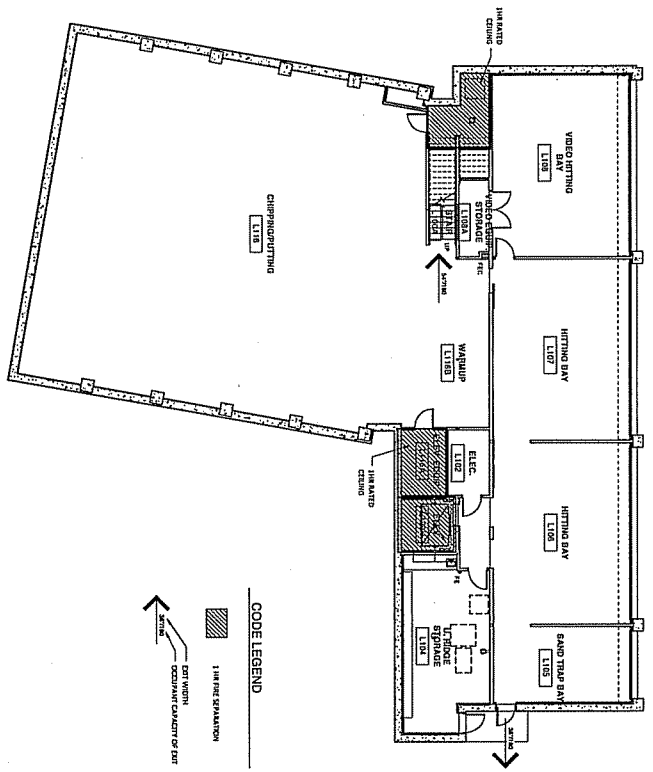
CULVERTS DISCHARGE TO
 GRADE AT BASE OF SLOPE
 INCLUDES ENDWALLS
 AND RIPRAP APPROX
 INV. EL. APPROX 255.50



UW MADISON ALL-SEASON GOLF PRACTICE FACILITY UNIVERSITY RIDGE GOLF COURSE MADISON, WISCONSIN			State of Wisconsin Department of Administration Division of State Facilities
Project Location: UNIVERSITY RIDGE GOLF COURSE, MADISON, WISCONSIN			Agency/Program: PF&M UW - MADISON
Project Name: SITE GRADING & DRAINAGE PLAN			Date: 2/10/2010
Scale: 1" = 20'			Drawing No.: C300
Date: 2/10/2011			Project No.: 2010.00.00
Author: C300			Designer: C300
Checker: C300			Approver: C300



2 FIRST FLOOR PLAN CODE PLAN
1/8" = 1'-0"



1 LOWER LEVEL PLAN CODE PLAN
1/8" = 1'-0"

Item	REQUIRED	PROVIDED / REMARKS
Means of Egress	REQUIRED	PROVIDED / REMARKS
Number of Exit Routes	2 per occupied area	2 exits from 1st floor & 1st
Minimum Exit Width	44" (min. 20" for 1st floor)	OK
Common Path of Travel	100' (max. 150' for 1st floor)	OK
Exit Signs	1st floor	OK
Exit Doors	3" min. clear	OK
Other Egress Components	2" min. clear	OK
Fire Retardance, Suppression and Alarm	REQUIRED	PROVIDED
Fire Retardance Rating by Fire Suppressing Components	Per IBC 903.2	Per IBC 903.2
Fire Alarm System	Per IBC 907.5	Per IBC 907.5
Sanitary Fixtures	Based on Total Estimated Actual Occupancy	Based on Total Estimated Actual Occupancy
Compliance Check	Handicap	Water Closet
Number of Fixtures Provided	1	1
Number of Fixtures Required	1	1
Linear Tables Provided	1	1

Item	REQUIRED	PROVIDED / REMARKS
General Code Information	REQUIRED	PROVIDED / REMARKS
Building Name	UNIVERSITY RIDGE GOLF COURSE	UNIVERSITY RIDGE GOLF COURSE
Address	1000 UNIVERSITY RIDGE RD	1000 UNIVERSITY RIDGE RD
City	MADISON, WISCONSIN	MADISON, WISCONSIN
County	DANE COUNTY	DANE COUNTY
Project No.	1000	1000
Design Date	APRIL 27, 2011	APRIL 27, 2011
Issue Date	APRIL 27, 2011	APRIL 27, 2011
Revision	REVISED BY: J. B. B.	REVISED BY: J. B. B.
General Code Information	REQUIRED	PROVIDED / REMARKS
Building Name	UNIVERSITY RIDGE GOLF COURSE	UNIVERSITY RIDGE GOLF COURSE
Address	1000 UNIVERSITY RIDGE RD	1000 UNIVERSITY RIDGE RD
City	MADISON, WISCONSIN	MADISON, WISCONSIN
County	DANE COUNTY	DANE COUNTY
Project No.	1000	1000
Design Date	APRIL 27, 2011	APRIL 27, 2011
Issue Date	APRIL 27, 2011	APRIL 27, 2011
Revision	REVISED BY: J. B. B.	REVISED BY: J. B. B.

Robert Larson
3

State of Wisconsin
Department of Administration
Division of State Facilities

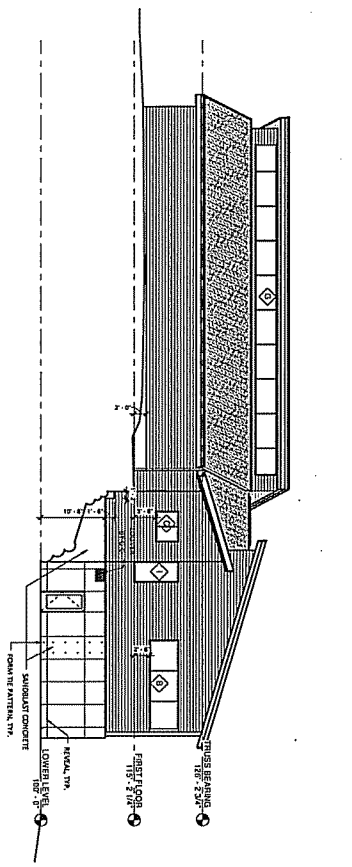
Project Title:
UW MADISON ALL-SEASON GOLF PRACTICE FACILITY
UNIVERSITY RIDGE GOLF COURSE
MADISON, WISCONSIN

Project No.:
1000

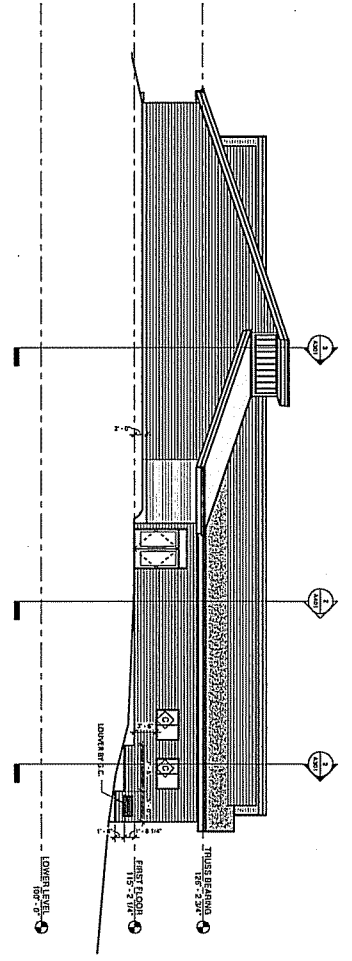
Code Plans:
A002

Approved:
J. B. B.

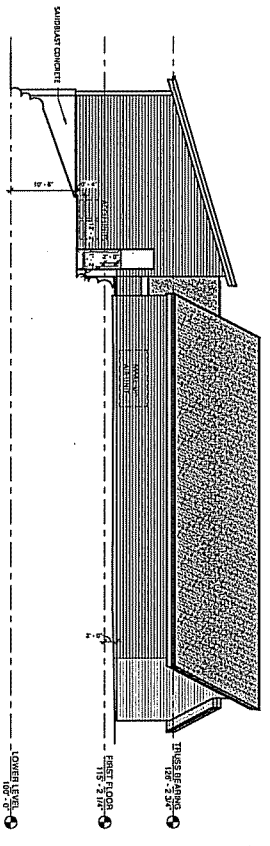
Date:
10/11/11



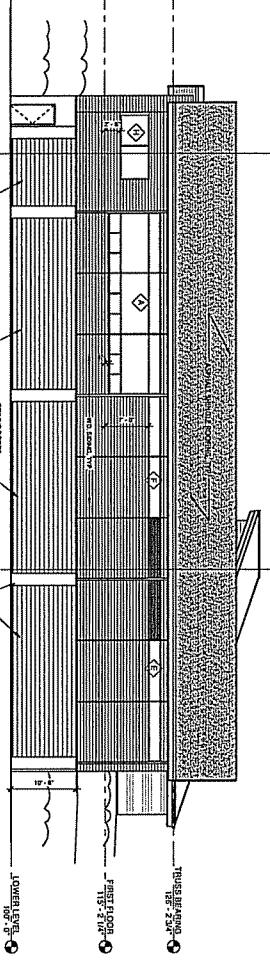
2 SOUTH ELEVATION
1/8" = 1'-0"



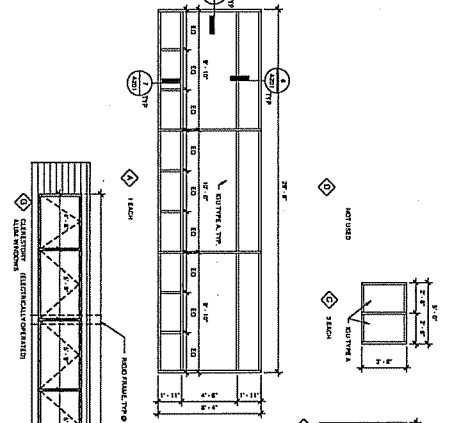
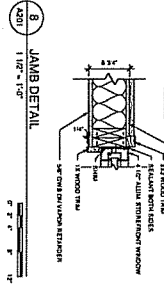
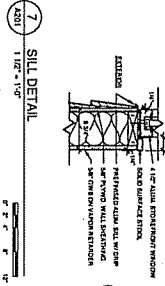
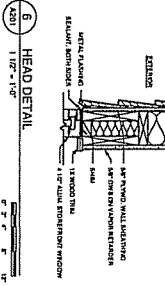
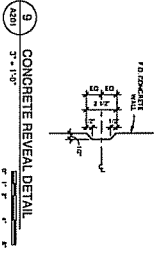
1 WEST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"



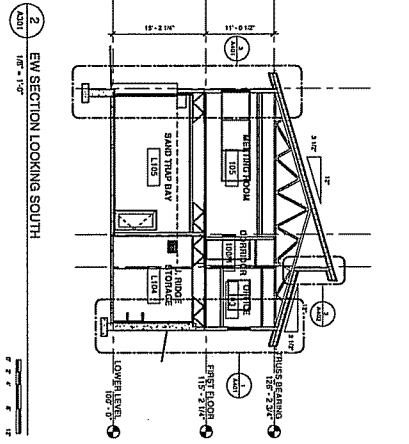
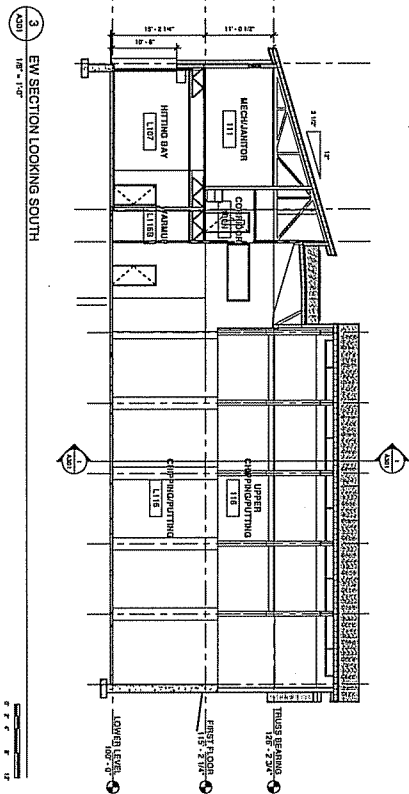
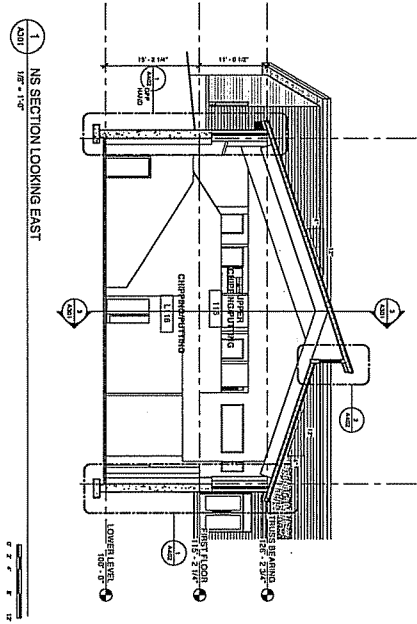
3 EAST ELEVATION
1/8" = 1'-0"



5 WINDOW TYPES
1/8" = 1'-0"

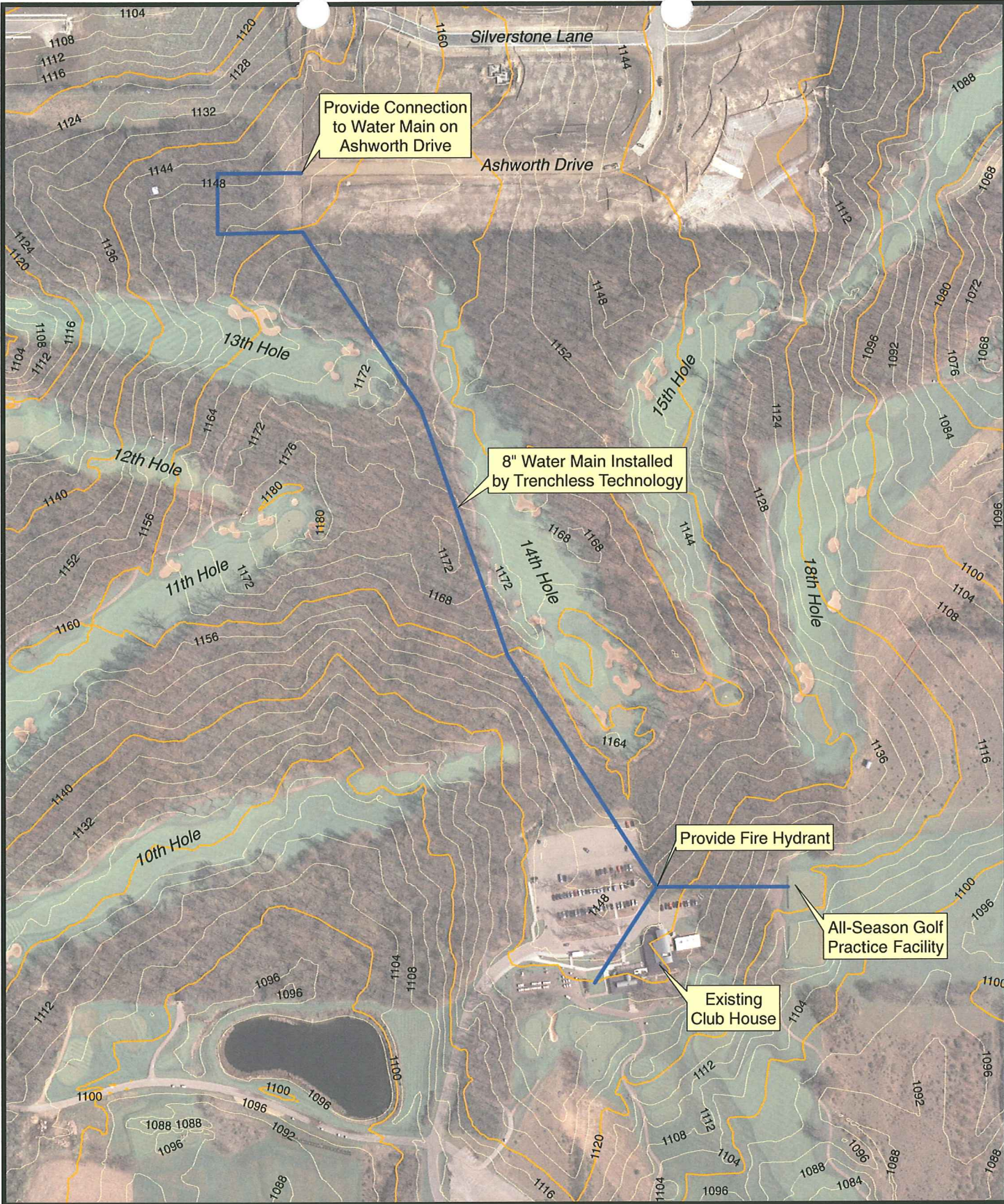
ALL AIR AND WATER STOPPING WINDOW FINISHING SHALL BE AS SHOWN.

<p>Project Title: UW MADISON ALL-SEASON GOLF PRACTICE FACILITY UNIVERSITY RIDGE GOLF COURSE MADISON, WISCONSIN</p>		<p>State of Wisconsin Department of Administration Division of State Facilities</p>	
<p>Client: UW-MADISON</p>		<p>Agency: FPAM UW-MADISON</p>	
<p>Project No.: 13102011</p>		<p>Project Date: 03/10/2010</p>	
<p>Sheet No.: A201</p>		<p>Project Name: BUILDING ELEVATIONS</p>	



<p>Project: UW MADISON ALL-SEASON GOLF PRACTICE FACILITY Project Location: UNIVERSITY RIDGE GOLF COURSE MADISON, WISCONSIN</p>		<p>State of Wisconsin Department of Administration Division of State Facilities</p>		<p>Project Number: 13110-20-00 Date: 11/10/2010</p>		<p>Architect: Peter Larson</p>	
<p>Sheet Title: BUILDING SECTIONS</p>		<p>Author: FPM UW-MADISON</p>					
<p>DATE: 12/13/2011</p>	<p>BY: [Signature]</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: UW-MADISON ALL-SEASON GOLF PRACTICE FACILITY</p>	<p>SHEET: A301</p>	<p>DATE: 12/13/2011</p>	<p>BY: [Signature]</p>	<p>PROJECT: UW-MADISON ALL-SEASON GOLF PRACTICE FACILITY</p>

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**WISCONSIN DEPARTMENT OF ADMINISTRATION
DIVISION OF STATE FACILITIES
UNIVERSITY RIDGE WATER MAIN
CONCEPTUAL PLAN
POTTER LAWSON
MADISON, WISCONSIN**



**FIGURE 1
1588.006**

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