

MADISON PUBLIC MARKET

202 N First St, Madison, WI 53704

Contract No.: 8048

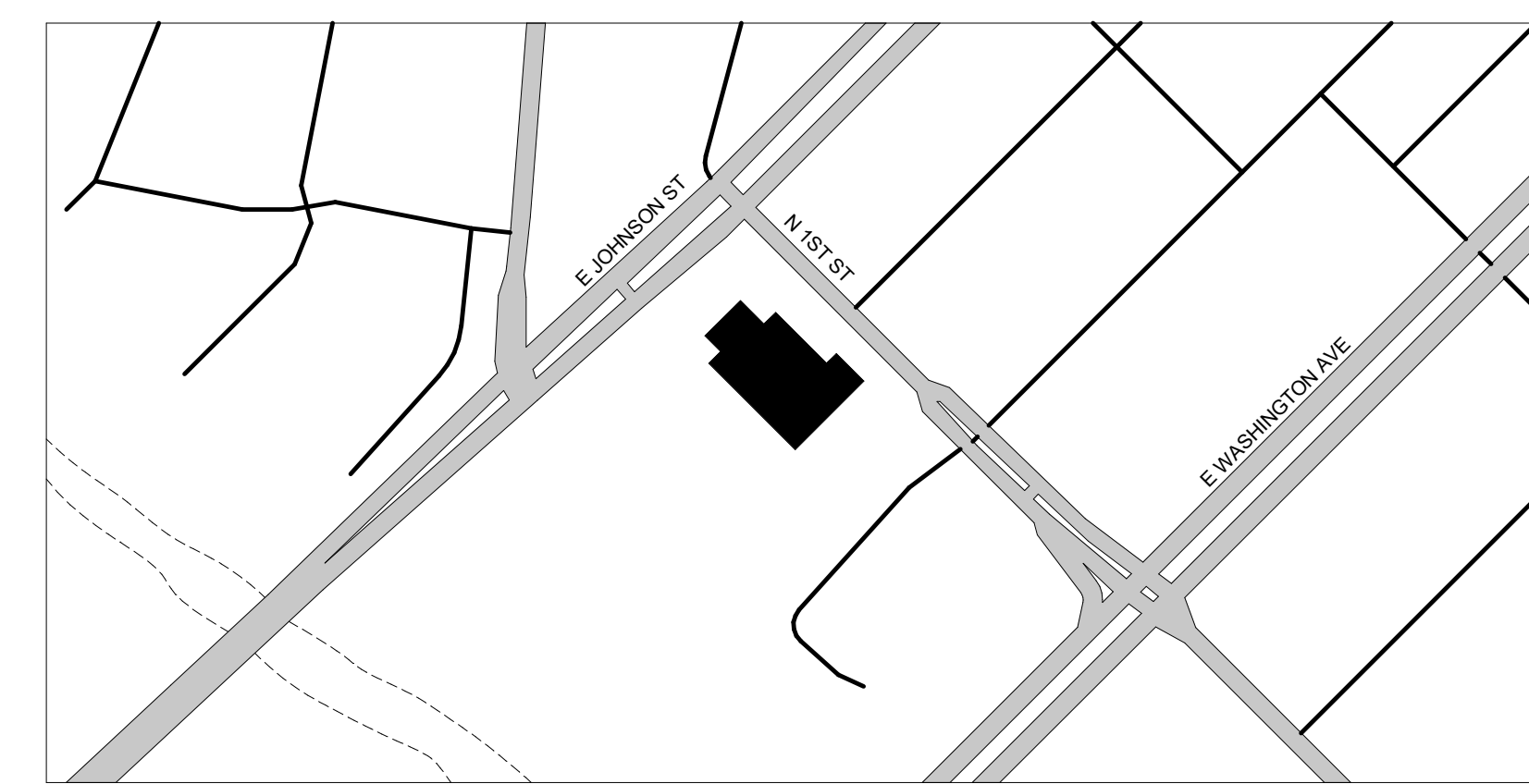
MUNIS No.: 10069



SMT NO	SHEET NAME
GENERAL	
G000	COVER
G001	ABBREVIATIONS & SYMBOLS
G002	MATERIAL ID REFERENCES
G003	TYPES AND SYSTEMS
G005	BUILDING CODE SUMMARY
G006	SUSTAINABILITY METRICS
CIVIL	
C000	NOTES & LEGENDS
C101	EXISTING CONDITIONS PLAN
C101	DEMOLITION PLAN
C201	EROSION CONTROL PLAN
C301	UTILITY PLAN
C401	CONSTRUCTION DETAILS
C402	CONSTRUCTION DETAILS
C403	CONSTRUCTION DETAILS
C404	CONSTRUCTION DETAILS
C405	CONSTRUCTION DETAILS
C406	CONSTRUCTION DETAILS
LANDSCAPE	
L001	FIRE ACCESS
L100	LAYOUT PLAN
L200	GRADING PLAN
L300	TREE PLANTING PLAN
L310	DETAL PLANTING PLAN
L311	DETAL PLANTING PLAN
L312	DETAL PLANTING PLAN
L313	DETAL PLANTING PLAN
L314	PLANT LISTS
L500	LANDSCAPE DETAILS
L501	HARDSCAPE DETAILS
STRUCTURAL	
S001	GENERAL NOTES
S002	SYMBOLS AND ABBREVIATIONS
S101	OVERALL FOUNDATION PLAN
S101N	FOUNDATION PLAN - NORTH
S101S	FOUNDATION PLAN - SOUTH
S102	OVERALL MEZZANINE FRAMING PLAN
S102N	MEZZANINE FRAMING PLAN - NORTH
S102S	MEZZANINE FRAMING PLAN - SOUTH
S103	OVERALL ROOF FRAMING PLAN
S103N	ROOF FRAMING PLAN - NORTH
S103S	ROOF FRAMING PLAN - SOUTH
S201	FOUNDATION DETAILS
S301	FRAMING DETAILS
S302	FRAMING DETAILS
S303	FRAMING DETAILS
ARCHITECTURAL DEMOLITION	
A101N	LEVEL 1 DEMOLITION - NORTH
A101S	LEVEL 1 DEMOLITION - SOUTH
A102N	MEZZANINE LEVEL DEMOLITION - NORTH
A102S	MEZZANINE LEVEL DEMOLITION - SOUTH
A103N	ROOF DEMOLITION - NORTH
A103S	ROOF DEMOLITION - SOUTH

SMT NO	SHEET NAME
DEMOLITION ELEVATIONS	
A001	SITE PLAN
A101	LEVEL 1 & MEZZANINE LEVEL REFERENCE PLANS
A101N	LEVEL 1 - NORTH
A101S	LEVEL 1 - SOUTH
A102N	MEZZANINE LEVEL - NORTH
A102S	MEZZANINE LEVEL - SOUTH
A103	ROOF PLAN
A103N	ROOF PLAN - NORTH
A103S	ROOF PLAN - SOUTH
A110	LEVEL 1 - CANOPY STEEL PLAN
A121	LEVEL 1 & MEZZANINE REFERENCE REFLECTED CEILING PLANS
A121N	LEVEL 1 REFLECTED CEILING PLAN - NORTH
A121S	LEVEL 1 REFLECTED CEILING PLAN - SOUTH
A122N	MEZZANINE LEVEL REFLECTED CEILING PLAN NORTH
A122S	MEZZANINE LEVEL REFLECTED CEILING PLAN SOUTH
A151	TOILET ROOM PLANS AND ELEVATIONS
A152	TOILET ROOM PLANS AND ELEVATIONS
A181	ENLARGED PLANS - VESTIBULES
A182	ENLARGED PLANS - STORAGE
A201	BUILDING ELEVATIONS
A251	BUILDING SECTIONS
A252	BUILDING SECTIONS
A301	EXT. WALL SECTIONS
A302	EXT. WALL SECTIONS
A351	EXTERIOR DETAILS
A352	EXTERIOR DETAILS
A353	EXTERIOR DETAILS
A401	TRASH AND LOADING AREA - PLANS AND ELEVATIONS
A402	TRASH AND LOADING AREA - SECTIONS AND DETAILS
A404	ANCILLARY BUILDING
A461	VERTICAL CIRCULATION - STAIR A & PLATFORM LADDERS
A462	VERTICAL CIRCULATION - STAIR B
A463	VERTICAL CIRCULATION - ELEVATOR PLANS SECTIONS AND DETAILS
A464	VERTICAL CIRCULATION - STAIR DETAILS
A501	INTERIOR ELEVATIONS - ENTRY HALL
A502	INTERIOR ELEVATIONS - MAIN HALL
A503	INTERIOR ELEVATIONS - SOUTH HALL
A504	INTERIOR ELEVATIONS - SOUTH HALL AND LOWER MEZZANINE
A505	INTERIOR ELEVATIONS - STORAGE
A521	INTERIOR PATTERNS
A531	INTERIOR CANOPY SECTIONS
A532	INTERIOR CANOPY SECTIONS
A533	INTERIOR CANOPY SECTIONS
A534	INTERIOR CANOPY SECTIONS
A535	INTERIOR WALL SECTIONS
A551	INTERIOR DETAILS
A552	INTERIOR DETAILS
A553	INTERIOR DETAILS
A554	INTERIOR DETAILS
A561	INTERIOR PLAN DETAILS
A562	INTERIOR PLAN DETAILS
A601	DOOR SCHEDULE, TYPES AND DETAILS
A601	WINDOW TYPES AND DETAILS
A602	WINDOW TYPES AND DETAILS
A603	WINDOW TYPES AND DETAILS
A701N	LEVEL 1 FINISH PLAN - NORTH
A701S	LEVEL 1 FINISH PLAN - SOUTH
A702S	MEZZANINE LEVEL FINISH PLAN - SOUTH
A750	SIGNAGE SCHEDULE AND NOTES
A751	SIGNAGE PLANS
A752	SIGNAGE ELEVATIONS
A801	LEVEL 1 & MEZZANINE MILLWORK REFERENCE PLANS
A802	ENLARGED MILLWORK PLANS
A801	MILLWORK ELEVATIONS
A802	MILLWORK ELEVATIONS
A803	MILLWORK SECTIONS
A804	MILLWORK SECTIONS
A901N	LEVEL 1 FURNITURE PLAN - NORTH
A901S	LEVEL 1 FURNITURE PLAN - SOUTH
A902S	MEZZANINE LEVEL FURNITURE PLAN - SOUTH
ELECTRICAL DEMOLITION	
ED101N	LEVEL 1 POWER AND SYSTEMS DEMOLITION PLAN - NORTH
ED101S	LEVEL 1 POWER AND SYSTEMS DEMOLITION PLAN - SOUTH
ED102	MEZZANINE LEVEL POWER AND SYSTEMS DEMOLITION PLAN
ELECTRICAL - ARCHITECTURAL LIGHTING	
EL001	LIGHTING COVER SHEET
EL002	LUMINAIRE SCHEDULES
EL003	LIGHTING CONTROLS SHEET
EL100	SITE LIGHTING PLAN
EL101	SITE PHOTOGRAPHIC PLAN
EL102	EXTERIOR LUMINAIRE SCHEDULE AND CUTS
EL103	EXTERIOR LUMINAIRE CUTS
EL121N	LEVEL 1 LIGHTING PLAN - NORTH
EL121S	LEVEL 1 LIGHTING PLAN - SOUTH
EL122N	LEVEL 2 LIGHTING PLAN - NORTH
EL122S	LEVEL 2 LIGHTING PLAN - SOUTH
ELECTRICAL	
E000	ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS
E100	ELECTRICAL SITE PLAN
E101N	LEVEL 1 POWER AND SYSTEMS PLAN - NORTH
E101S	LEVEL 1 POWER AND SYSTEMS PLAN - SOUTH
E102N	MEZZANINE LEVEL POWER AND SYSTEM PLAN - NORTH
E102S	MEZZANINE LEVEL POWER AND SYSTEM PLAN - SOUTH
E103	ROOF POWER AND SYSTEM PLAN
E111N	LEVEL 1 LIGHTING POWER PLAN - NORTH
E111S	LEVEL 1 LIGHTING POWER PLAN - SOUTH
E112N	LEVEL 2 LIGHTING POWER PLAN - NORTH
E112S	LEVEL 2 LIGHTING POWER PLAN - SOUTH
E201N	LEVEL 1 FIRE DETECTION PLAN - NORTH
E201S	LEVEL 1 FIRE DETECTION PLAN - SOUTH
E202S	MEZZANINE LEVEL FIRE DETECTION PLAN - SOUTH
E401	ENLARGED ELECTRICAL PLANS
E501	ELECTRICAL ONE-LINE DIAGRAM
E502	ELECTRICAL DETAILS
E600	ELECTRICAL SCHEDULES

SMT NO	SHEET NAME
ELECTRICAL SCHEDULES	
E601	ELECTRICAL SCHEDULES
E602	ELECTRICAL SCHEDULES
MECHANICAL DEMOLITION	
MD101N	LEVEL 1 MECHANICAL DEMOLITION - NORTH
MD101S	LEVEL 1 MECHANICAL DEMOLITION - SOUTH
MD102N	MEZZANINE LEVEL MECHANICAL DEMOLITION - NORTH
MD102S	MEZZANINE MECHANICAL DEMOLITION - SOUTH
MD103N	ROOF MECHANICAL DEMOLITION - NORTH
MD103S	ROOF MECHANICAL DEMOLITION - SOUTH
MECHANICAL	
M001	MECHANICAL NOTES, LEGENDS & ABBREVIATIONS
M101N	LEVEL 1 MECHANICAL DUCTWORK - NORTH
M101S	LEVEL 1 MECHANICAL DUCTWORK - SOUTH
M102N	MEZZANINE MECHANICAL DUCTWORK - NORTH
M102S	MEZZANINE MECHANICAL DUCTWORK - SOUTH
M201N	LEVEL 1 MECHANICAL PIPING - NORTH
M201S	LEVEL 1 MECHANICAL PIPING - SOUTH
M202N	MEZZANINE MECHANICAL PIPING - NORTH
M202S	MEZZANINE MECHANICAL PIPING - SOUTH
M303N	ROOF MECHANICAL - NORTH
M303S	ROOF MECHANICAL - SOUTH
M401	ENLARGED MECHANICAL PLANS
M402	MECHANICAL SECTIONS
M403	MECHANICAL SECTIONS
M501	MECHANICAL DETAILS
M502	MECHANICAL DETAILS
M601	MECHANICAL SCHEDULES
M602	MECHANICAL SCHEDULES
M603	MECHANICAL SCHEDULES
M701	MECHANICAL SCHEMATICS
M702	MECHANICAL SCHEMATICS
M703	MECHANICAL SCHEMATICS
PLUMBING DEMOLITION	
PD100N	LEVEL 1 PLUMBING BELOW GRADE DEMOLITION - NORTH
PD100S	LEVEL 1 PLUMBING BELOW GRADE DEMOLITION - SOUTH
PD101N	LEVEL 1 PLUMBING ABOVE GRADE DEMOLITION - NORTH
PD101S	LEVEL 1 PLUMBING ABOVE GRADE DEMOLITION - SOUTH
PD102N	MEZZANINE PLUMBING DEMOLITION - NORTH
PD102S	MEZZANINE PLUMBING DEMOLITION - SOUTH
PD103N	ROOF PLUMBING DEMOLITION - NORTH
PD103S	ROOF PLUMBING DEMOLITION - SOUTH
PLUMBING	
P001	PLUMBING LEGENDS, SYMBOLS & ABBREVIATIONS
P010	PLUMBING SITE PLAN
P100N	LEVEL 1 PLUMBING BELOW GRADE - NORTH
P100S	LEVEL 1 PLUMBING BELOW GRADE - SOUTH
P101N	LEVEL 1 PLUMBING ABOVE GRADE - NORTH
P101S	LEVEL 1 PLUMBING ABOVE GRADE - SOUTH
P102N	MEZZANINE PLUMBING - NORTH
P102S	MEZZANINE PLUMBING - SOUTH
P103N	ROOF PLUMBING - NORTH
P103S	ROOF PLUMBING - SOUTH
P401	ENLARGED PLUMBING PLANS
P501	PLUMBING DETAILS
P601	PLUMBING SCHEDULES
P602	PLUMBING SCHEDULES
P701	PLUMBING SANITARY ISOMETRICS
P702	PLUMBING STORM ISOMETRICS
P703	PLUMBING WATER SUPPLY ISOMETRICS
FIRE PROTECTION DEMOLITION	
FD101N	LEVEL 1 DEMOLITION - FIRE PROTECTION - NORTH
FD101S	LEVEL 1 DEMOLITION - FIRE PROTECTION - SOUTH
FD102N	MEZZANINE DEMOLITION - FIRE PROTECTION - NORTH
FD102S	MEZZANINE DEMOLITION - FIRE PROTECTION - SOUTH
FIRE PROTECTION	
F000	FIRE PROTECTION COVER SHEET
F101N	LEVEL 1 - FIRE PROTECTION - NORTH
F101S	LEVEL 1 - FIRE PROTECTION - SOUTH
F102N	MEZZANINE LEVEL - FIRE PROTECTION - NORTH
F102S	MEZZANINE LEVEL - FIRE PROTECTION - SOUTH
F200	FIRE PROTECTION DETAILS AND SCHEDULES
TECHNOLOGY	
T000	TECHNOLOGY COVER SHEET
T000	SITE PLAN - TECHNOLOGY
T101N	LEVEL 1 - TECHNOLOGY - NORTH
T101S	LEVEL 1 - TECHNOLOGY - SOUTH
T102N	MEZZANINE LEVEL - TECHNOLOGY - NORTH
T102S	MEZZANINE LEVEL - TECHNOLOGY - SOUTH
T300	TECHNOLOGY DETAILS
T400	TECHNOLOGY RISERS AND SCHEDULES
T500	TECHNOLOGY SCHEDULES
FOOD SERVICE	
FS101	FOOD SERVICE EQUIPMENT PLAN
FS201	ELECTRICAL ROUGH-INS
FS301	PLUMBING ROUGH-INS
FS401	SPECIAL CONDITIONS PLAN
FS501	FOOD SERVICE ELEVATIONS
PUBLIC IMPROVEMENT PROJECT APPROVED:	PUBLIC IMPROVEMENT DESIGN APPROVED BY:
RES-XX-00XXXX	FILE ID XXXXXX
DATE-MONTH DAY, YEAR	MONTH DAY, YEAR
BY THE COMMON COUNCIL OF MADISON, WI	DATE



1 VICINITY MAP
G000 NOT TO SCALE

Architecture and Interiors
MSRDesign
510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612. 375. 0336

MEP Engineer
MEP Associates, LLC
860 Blue Gentian Rd #175
Eagan, MN 55121 | 651. 379. 9120

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999 Fourier Dr, Suite 201,
Madison, WI 53717 | 608. 826. 0532

Landscape Architect
Ken Saiki Design
1110 S. Park St.
Madison, WI 53715 | 608. 251. 3600

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IMEG Corporation, Inc.
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Madison, WI 53562

Lighting Design
Mazzetti, Inc.
1600 Stout St, Suite 450
Denver, CO 80202 | 720. 644. 5044

Commercial Kitchen Design
Boelter Premier
7120 Northland Terrace,
Minneapolis, MN 55428 | 763. 544. 8800

Professional Engineer
DAGMAR K. LARSEN
E-30240
MINNEAPOLIS, MN

Professional Engineer
LARRY J. NEMER
E-30240
MINNEAPOLIS, MN

Professional Engineer
DARRIN R. DICKSON
E-30392
PLAINFIELD, MN

Professional Engineer
SPENCER J. CHRISTENSEN
E-4070
MADISON, WI

Professional Engineer
DAVID KEN SAIKI
LA-76
MADISON, WI

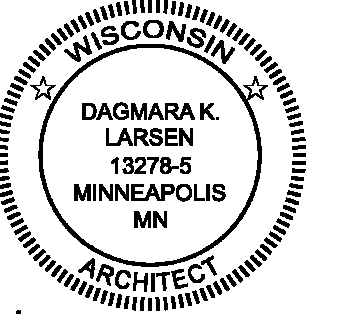
Professional Engineer
ARBY PEZZEORNI
E-3874
MADISON, WI


MADISON PUBLIC MARKET
202 N First St, Madison, WI 53704

Project No. 20180062.00

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin.

Architect Seal

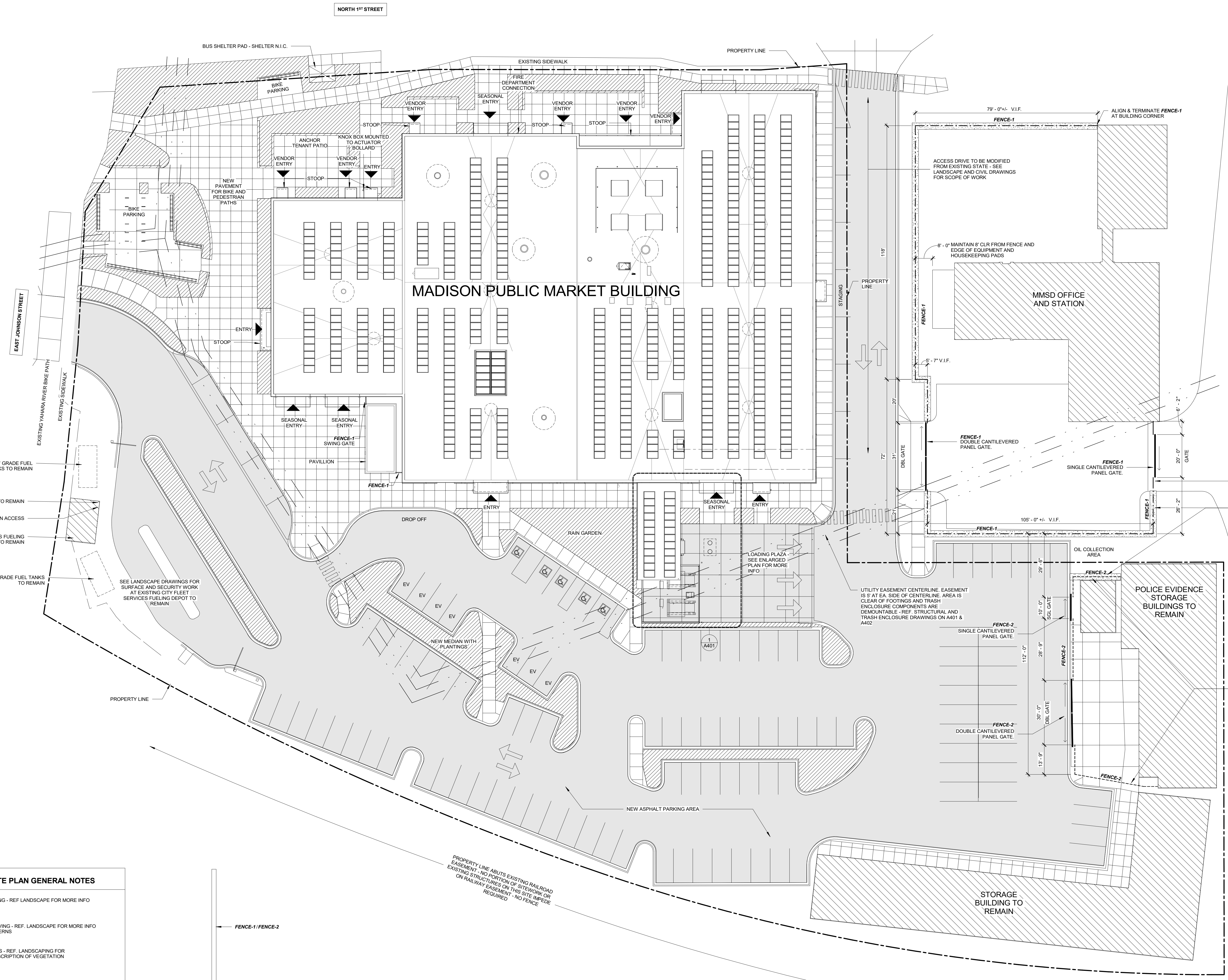


Signature 
Print Name: Dagmara Larsen
Date: 05.28.2021 License No.: 57356

100% Construction Documents

ISSUE / REVISION




Mark	Date	Description
06.04.2019	06.04.2019	ISSUE - BUILDING DESIGN 1 PRICING ISSUE
06.12.2019	06.12.2019	ISSUE - INFORMATIONAL SUBMISSION
08.18.2019	08.18.2019	ISSUE - BUILDING DESIGN 2 PRICING ISSUE
11.13.2019	11.13.2019	100% CD DOCUMENTS
02.18.2020	02.18.2020	CD PRICING ISSUE
04.30.2020	04.30.2020	90% CONSTRUCTION DOCUMENTS
06.04.2021	06.04.2021	100% CONSTRUCTION DOCUMENTS

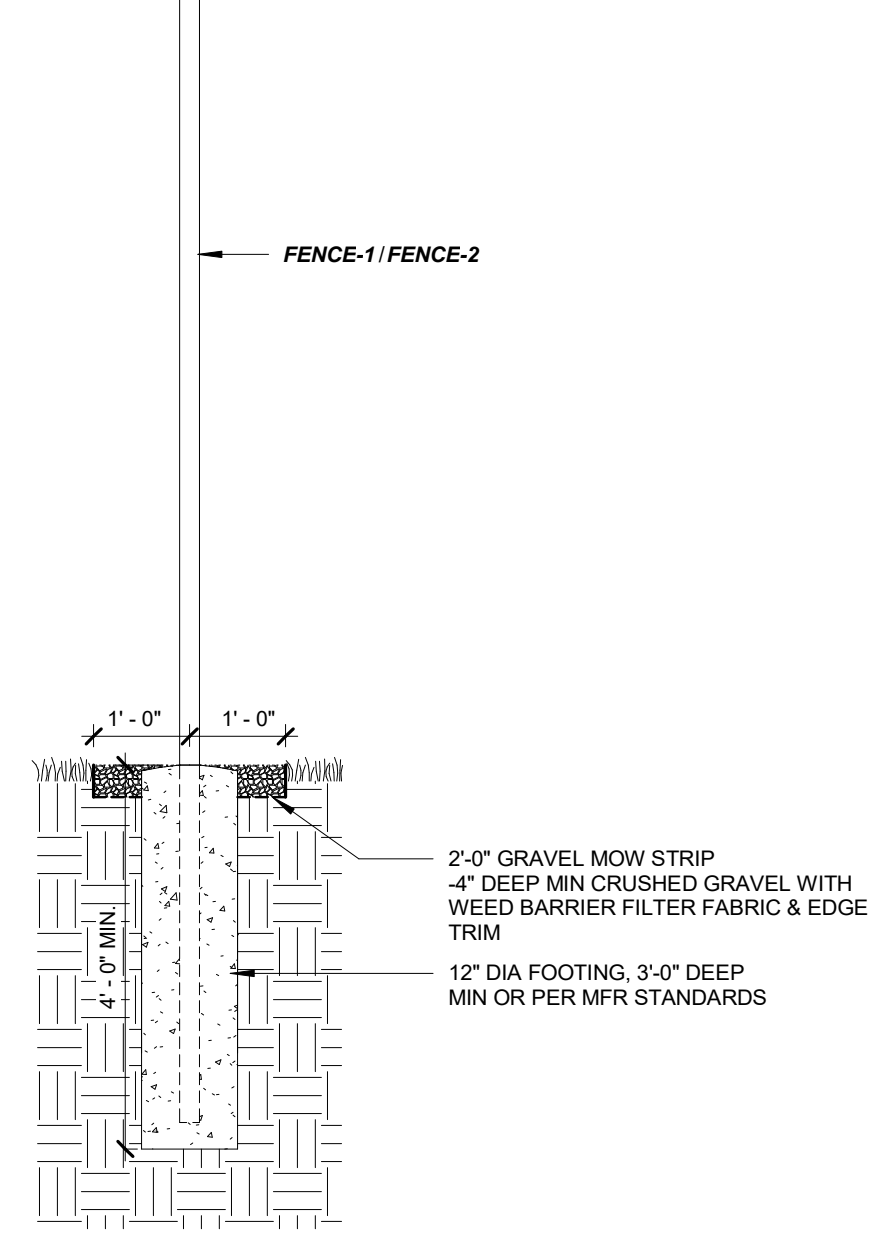


PROVIDE FENCE-1 (REF PROJECT SPECIFICATIONS) PROVIDE CONCRETE SONOTUBE FOOTINGS ON COMPACTED BASE. DEPTH OF FOOTING AND FREQUENCY OF POSTS SHALL BE VERIFIED BY MFR TO SATISFY WIND PERFORMANCE CRITERIA - ASSUME 8'-0" POST SPACING, MAX.

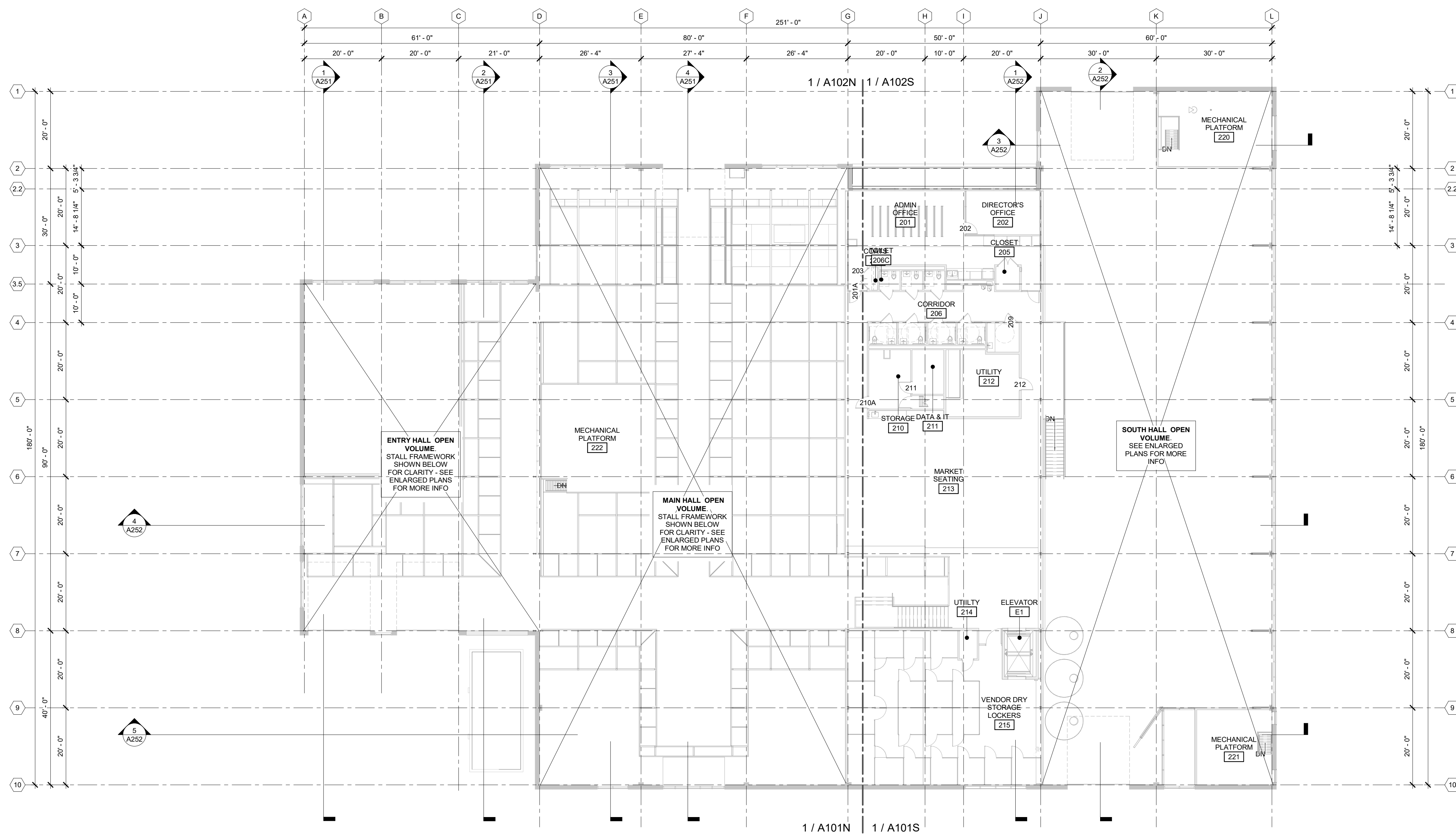
AT ALL FENCE-1 AND FENCE-2 LOCATIONS PROVIDE #1 DEEP CRUSHED GRAVEL MOW STRIP OVER WEED BARRIER FILTER FABRIC. PROVIDE EDGING BETWEEN MOW STRIP AND ADJACENT LANDSCAPING - REF. LANDSCAPE FOR STANDARD SPECIFICATION

PROVIDE FENCE-2 ALONG POLICE EVIDENCE STORAGE BUILDINGS. (REF PROJECT SPECIFICATIONS) PROVIDE CONCRETE SONOTUBE FOOTINGS ON COMPACTED BASE. DEPTH OF FOOTING AND FREQUENCY OF POSTS SHALL BE VERIFIED BY MFR TO SATISFY WIND PERFORMANCE CRITERIA - ASSUME 8'-0" POST SPACING, MAX.

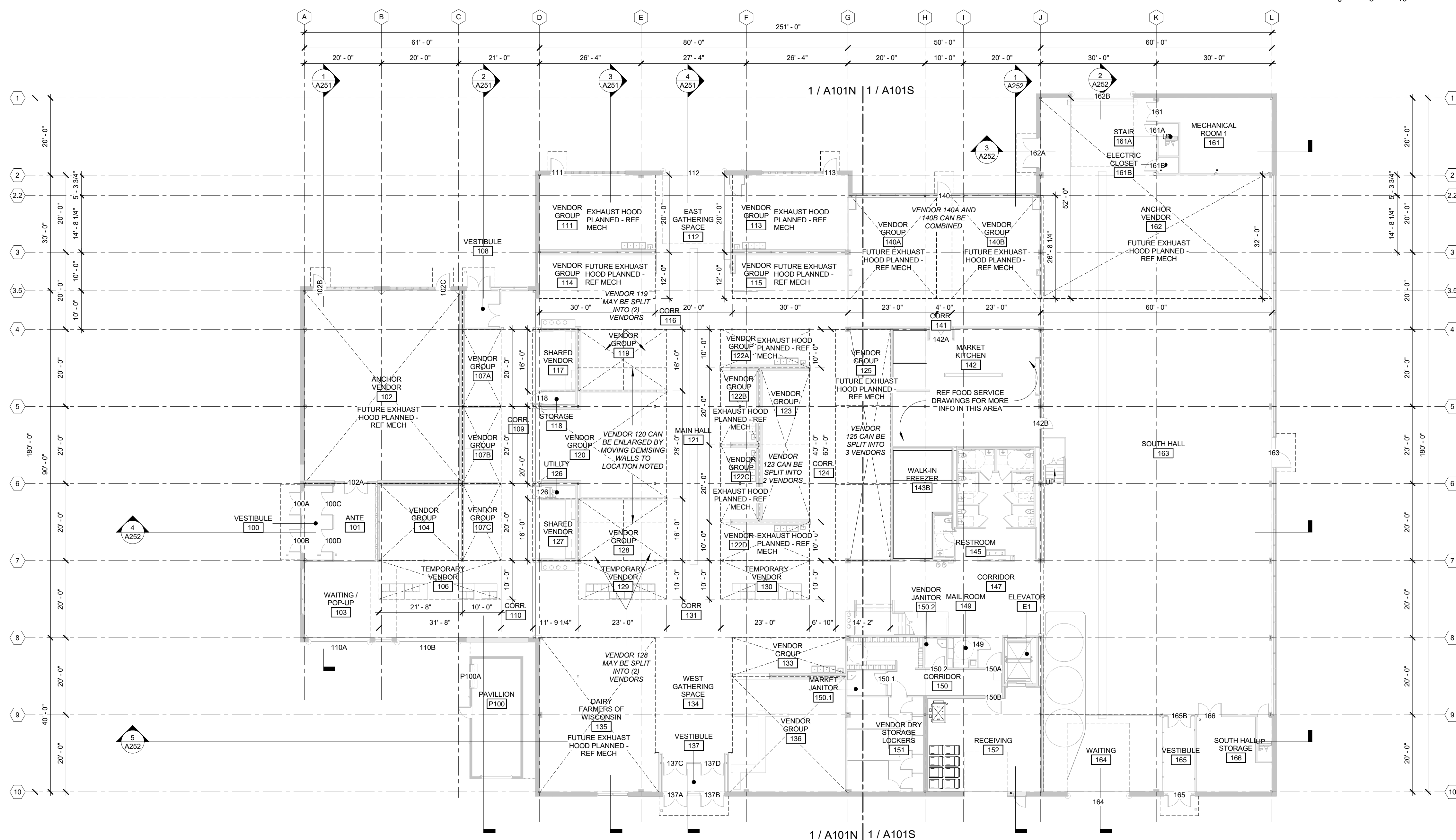
- ARCHITECTURAL SITE PLAN GENERAL NOTES**
-  NEW ASPHALT PAVING - REF. LANDSCAPE FOR MORE INFO
 -  NEW CONCRETE PAVING - REF. LANDSCAPE FOR MORE INFO AND SCORING PATTERNS
 -  NEW PLANTING BEDS - REF. LANDSCAPING FOR MORE INFO AND DESCRIPTION OF VEGETATION WITHIN BEDS
1. SITE PLAN IS FOR REFERENCE ONLY. REFER TO LANDSCAPE AND CIVIL DOCUMENTS FOR MORE DETAILED INFORMATION
 2. REFER TO CIVIL EROSION CONTROL PLAN PRIOR TO BEGINNING SITE WORK
 3. CONTRACTOR SHALL LOCATE AND CONFIRM LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY EXCAVATION.
 4. CONTRACTOR IS RESPONSIBLE FOR EXCAVATION AND HAULING OF DISTURBED CONTAMINATED SOILS. COORDINATE WITH OWNER FOR EXISTING HAZARDOUS SOILS REPORT AND NOTIFY OWNER AND ARCHITECT IF CONTAMINATED SOILS ARE ENCOUNTERED ON SITE.
 5. THIS CONTRACT INCLUDES WORK ON ADJACENT MMSD SITE AND EASEMENT. SEE SITE PLAN FOR EXTENTS OF WORK
 6. SEE ENLARGED TRASH AND LOADING AREAS PLAN ON A401 FOR MORE INFO IN TRASH AND LOADING AREA



1 SITE PLAN
A001 1" = 20'-0"



1 MEZZANINE LEVEL - REFERENCE
A101 1/16" = 1'-0"



2 LEVEL 1 FLOOR PLAN - REFERENCE
A101 1/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

- REFER TO FINISH PLANS FOR SPECIFIC MATERIAL FINISHES & TAGS. SHORT FORM MATERIAL ID LIST IS LOCATED ON SHEET 001 AND IS FOR REFERENCE ONLY. SEE INDIVIDUAL SPECIFICATION SECTIONS FOR MATERIAL ID INFORMATION. IN CASE OF DISCREPANCY, SPECIFICATION SHALL TAKE PRECEDENCE.
- SEE LIFE SAFETY (CODE PLANS) FOR LOCATION AND RATINGS OF FIRE RATED WALL ASSEMBLIES.
- SEE WALL TYPES SHEETS FOR WALL ASSEMBLIES.
- AT ANY LOCATIONS WHERE PENETRATIONS ARE REQUIRED IN RATED WALL OR ASSEMBLIES PROVIDE FIRE CALLING OR FIRE STOPPING AS REQUIRED TO MAINTAIN NECESSARY RATING.
- ELECTRICAL FIXTURES, DEVICES, ETC SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY. SEE ELECTRICAL FOR INFORMATION.
- SITE INFORMATION SHOWN IS FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SITE SCOPE.
- REFER TO ELEVATIONS FOR GLAZING TYPES.
- DIMENSIONS LABELED 'GRID' ARE TO STRUCTURAL GRID. DIMENSIONS LABELED 'CL' ARE TO CENTER LINE OF HSS COLUMN IN CANOPY ASSEMBLY. ALL OTHER DIMENSIONS ARE TO FINISH FACE OF WALL ASSEMBLY, UNLESS NOTED OTHERWISE.
- EXISTING STRUCTURE - DIMENSIONS TO EXISTING ELEMENTS IN FIELD MAY VARY FROM WHAT IS INDICATED IN THESE DRAWINGS - GC SHALL BE RESPONSIBLE FOR IDENTIFYING AND COORDINATING COMMON DIMENSION POINTS ACROSS ALL TRADES AND FULL SCOPE OF NEW WORK. DIMENSIONS WITH +/- SUFFIX MAY VARY. DIMENSIONS WITHOUT SHALL BE HELD.
- WALL TYPE TAGS REFER TO BASE WALL CONSTRUCTION. REFER TO FINISH PLANS, INTERIOR ELEVATIONS AND SYSTEMS DRAWINGS FOR WALL FINISHES ATTACHED TO BASE WALL TYPES.
- ALL EXISTING FLOORS, CEILINGS AND WALLS TO REMAIN SHALL HAVE BEEN CLEANED PRIOR TO COMMENCEMENT OF NEW WORK. REFER TO DEMOLITION GENERAL NOTES AND SPECIFICATIONS SECTION 02 41 19 'SELECTIVE DEMOLITION' DO NOT PERFORM WORK OVER IMPROPERLY PREPARED SURFACES.
- AT LOCATIONS WHERE CONCRETE SLABS ON GRADE WERE DEMOLISHED TO ACCOMMODATE NEW BELOW GRADE WORK, REPLACE SLABS WITH LIKE CONSTRUCTION TIED INTO EXISTING SLABS TO REMAIN PER TYPICAL STRUCTURAL NOTES AND DETAILS. GC SHALL COORDINATE ACTUAL EXTENTS OF REPLACEMENT WORK PER REQUIREMENTS OF 02 41 19 'SELECTIVE DEMOLITION' AT REPLACEMENT SLABS. PROVIDE FINISHES AS INDICATED ON FINISH PLANS.
- TO EXTENTS POSSIBLE, ALL EXISTING FLOOR FINISHES SHALL REMAIN, UNLESS OTHERWISE NOTED. PROTECT EXISTING FINISHES DURING CONSTRUCTION. REFER TO STRUCTURAL FOR PATCHING OF SLABS, UNLESS NOTED OTHERWISE - SEE FINISH PLAN FOR FINISHES OVER PATCHED AREAS IF ANY.
- SEE A110 SHEETS FOR ARCHITECTURAL STEEL CANOPY DRAWINGS AND GENERAL NOTES. SEE A110 SHEETS FOR ADDITIONAL INTERIOR WALL SECTION REFERENCES DESCRIBING GEOMETRY OF INTERIOR STEEL CANOPIES.
- SEE MILLWORK DRAWINGS FOR ALL CASEWORK SHOWN - FREESTANDING OR BUILT-IN.
- SEE REFLECTED CEILING PLANS AND WALL SECTIONS FOR CONSTRUCTION ABOVE ALUMINUM STOREFRONT.
- SOME EQUIPMENT NOTED IN THESE DOCUMENTS SHALL BE OWNER FURNISHED AND OWNER INSTALLED. THESE LOCATIONS ARE NOTED IN DRAWINGS AND EQUIPMENT IS SCHEDULED IN OWNER PROVIDED EQUIPMENT LIST IN PROJECT SPECIFICATIONS. AT THESE LOCATIONS, GC SHALL PROVIDE ALL SERVICES - POWER, DATA, OPENINGS, BLOCCING, ETC FOR FUTURE OWNER INSTALLATION OF EQUIPMENT.
- PROVIDE IN WALL BLOCKING AT ALL WALL MOUNTED SHELVING CASEWORK, FUTURE AV EQUIPMENT BY OWNER, TOILET ACCESSORIES ETC - LOCATIONS COORDINATE WITH INTERIOR ELEVATIONS.
- COORDINATE WITH BUILDING OWNER FOR REMOVAL OF ANY HAZARDOUS MATERIALS UNCOVERED OR DISCOVERED ON SITE.

Architecture and Interiors

MSRDesign
510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612.375.0336

MEP Engineer

MEP Associates, LLC
860 Blue Garden Rd #175
Eagan, MN 55121 | 651.379.9120

Civil Engineer

Vierbicher
999 Fournier Dr, Suite 201
Madison, WI 53717 | 608.826.0532

Landscape Architect

Ken Saiki Design
1110 S. Park St.
Madison, WI 53715 | 608.251.3600

Structural Engineering,
Fire Protection Engineering, Technology and AV

IMEG Corporation, Inc. ♦IMEG
1800 Deming Way, Suite 200,
Madison, WI 53762

Lighting Design

Mazzetti, Inc. ♦MAZZETTI
1600 Stout St, Suite 450
Denver, CO 80202 | 720.644.5044

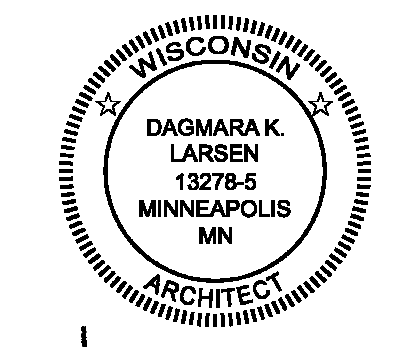
Commercial Kitchen Design

Boelter Premier ♦Boelter
7120 Northland Terrace,
Minneapolis, MN 55428 | 763.544.8800

MADISON PUBLIC MARKET
 202 N First St, Madison, WI 53704
 Project No. 20180063.00

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Wisconsin.

Architect Seal



Signature: *Dagmara Larson*
Print Name: Dagmara Larson
Date: 05.28.2021 License No.: 57356

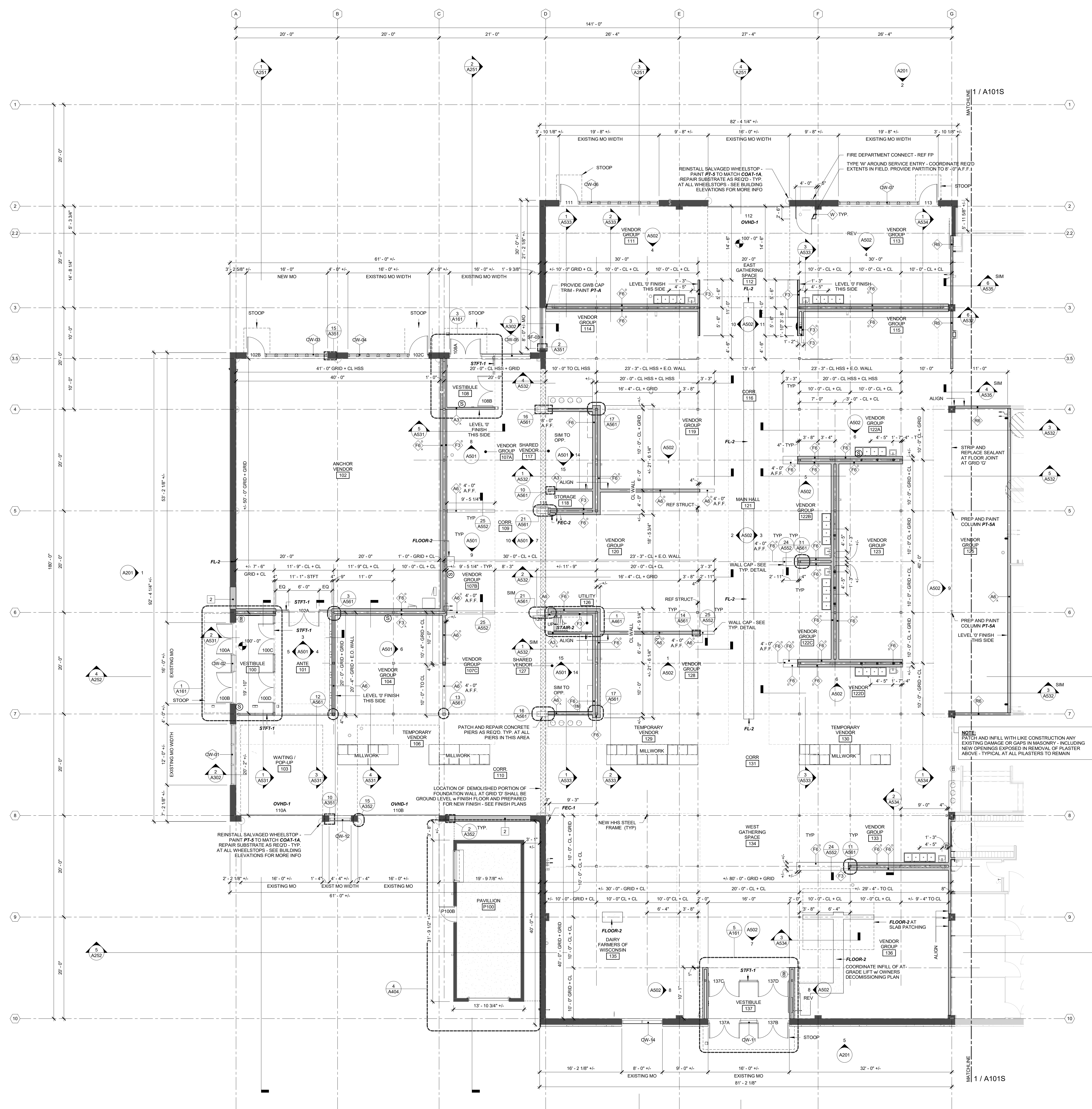
100% Construction Documents

ISSUE / REVISION

Mark	Date	Description
06	04/2019	SITE - BUILDING DESIGN 1 PRICING ISSUE
06	12/2019	UDC INFORMATIONAL SUBMISSION
08	18/2019	SITE - BUILDING DESIGN 2 PRICING ISSUE
11	13/2019	100% CDP DOCUMENTS
02	18/2020	CD PRICING ISSUE
04	30/2020	90% CONSTRUCTION DOCUMENTS
06	04/2021	100% CONSTRUCTION DOCUMENTS

LEVEL 1 &
MEZZANINE LEVEL
REFERENCE PLANS

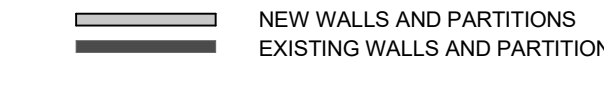
A101



FLOOR PLAN GENERAL NOTES

- REFER TO FINISH PLANS FOR SPECIFIC MATERIAL FINISHES & TAGS. SHORT FORM MATERIAL I.D. LIST IS LOCATED ON SHEET G001 AND IS FOR REFERENCE ONLY. SEE INDIVIDUAL SPECIFICATION SECTIONS FOR MATERIAL I.D. INFORMATION. IN CASE OF DISCREPANCY, SPECIFICATION SHALL TAKE PRECEDENCE.
- SEE LIFE SAFETY (CODE PLANS) FOR LOCATION AND RATINGS OF FIRE RATED WALL ASSEMBLIES.
- SEE WALL TYPES SHEETS FOR WALL ASSEMBLIES.
- AT ANY LOCATIONS WHERE PENETRATIONS ARE REQUIRED IN RATED WALL OR ASSEMBLIES PROVIDE FIRE CAULKING OR FIRE STOPPING AS REQUIRED TO MAINTAIN NECESSARY RATINGS.
- ELECTRICAL FIXTURES, DEVICES, ETC. SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY. SEE ELECTRICAL FOR INFORMATION.
- SITE INFORMATION SHOWN IS FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SITE SCOPE.
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WALL AND PARTITION KEY



NOTE: PATCH AND INFILL WITH LIKE CONSTRUCTION ANY EXISTING DAMAGE OR GAPS IN MASONRY - INCLUDING NEW OPENINGS EXPOSED IN REMOVAL OF PLASTER ABOVE - TYPICAL AT ALL PLASTERS TO REMAIN

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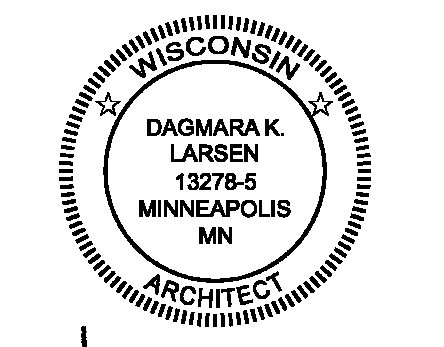
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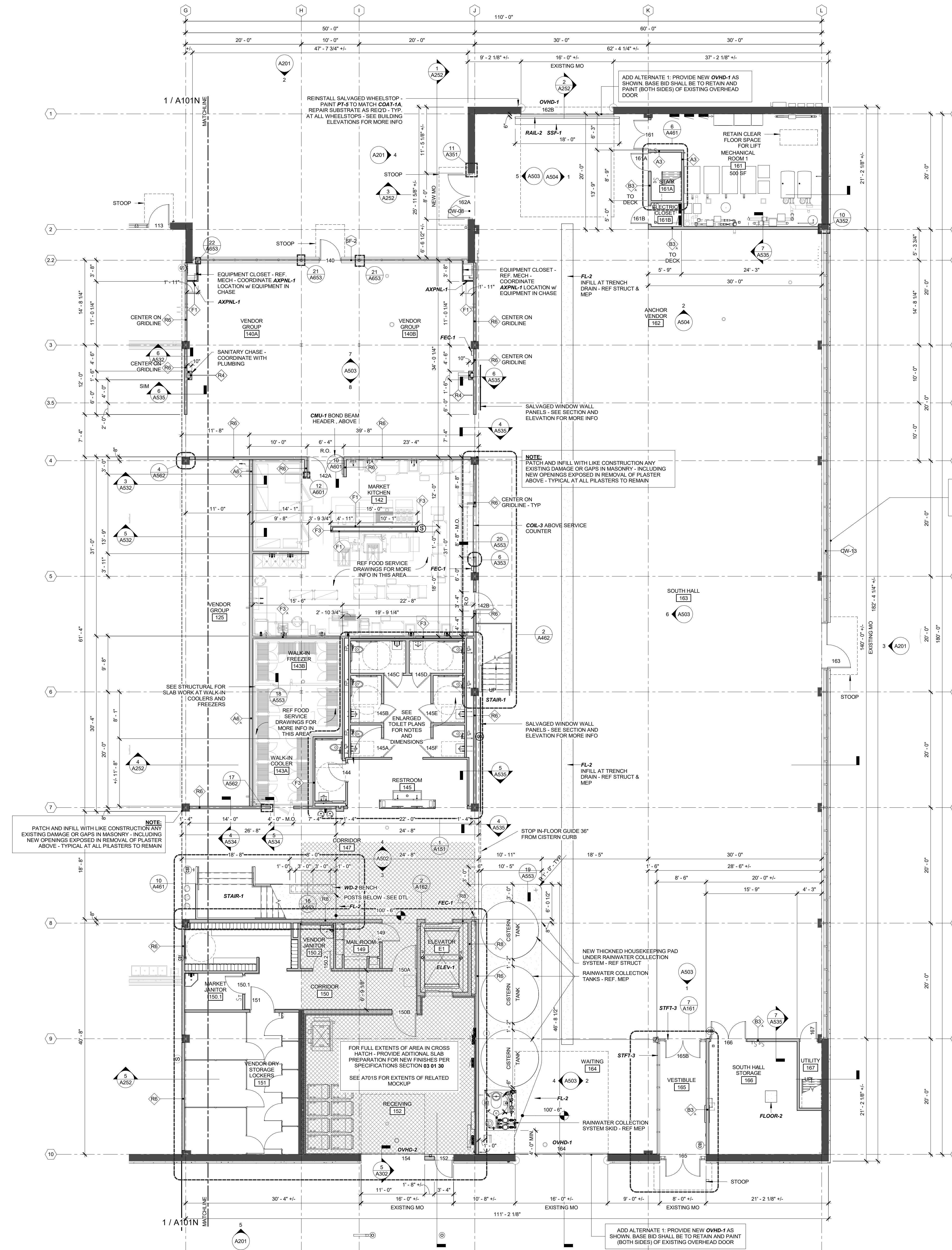
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LEVEL 1 - NORTH

A101N

1 LEVEL 1 PLAN - NORTH
A101N 1/8" = 1'-0"



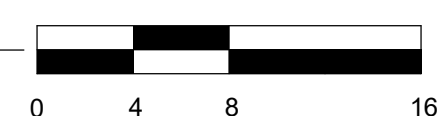
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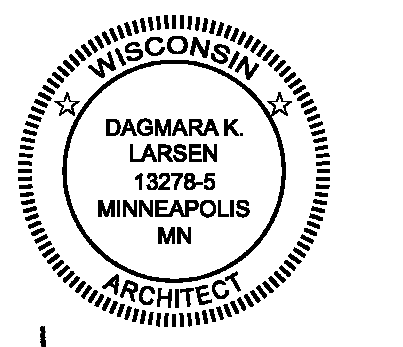
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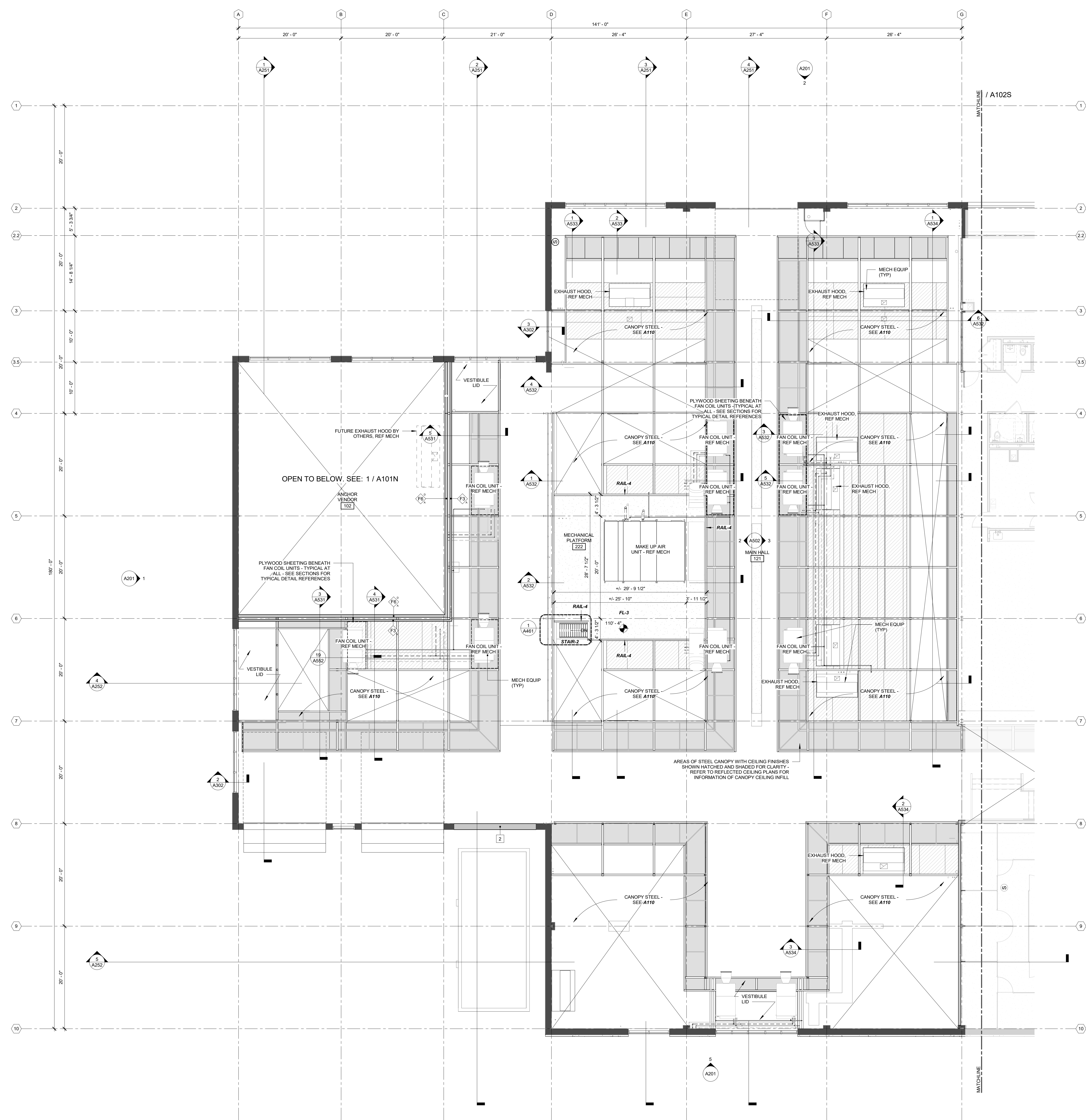
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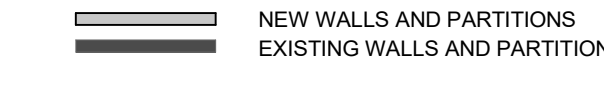
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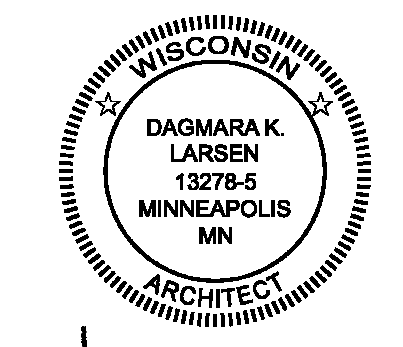
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Signature *Dagmara K. Larson*

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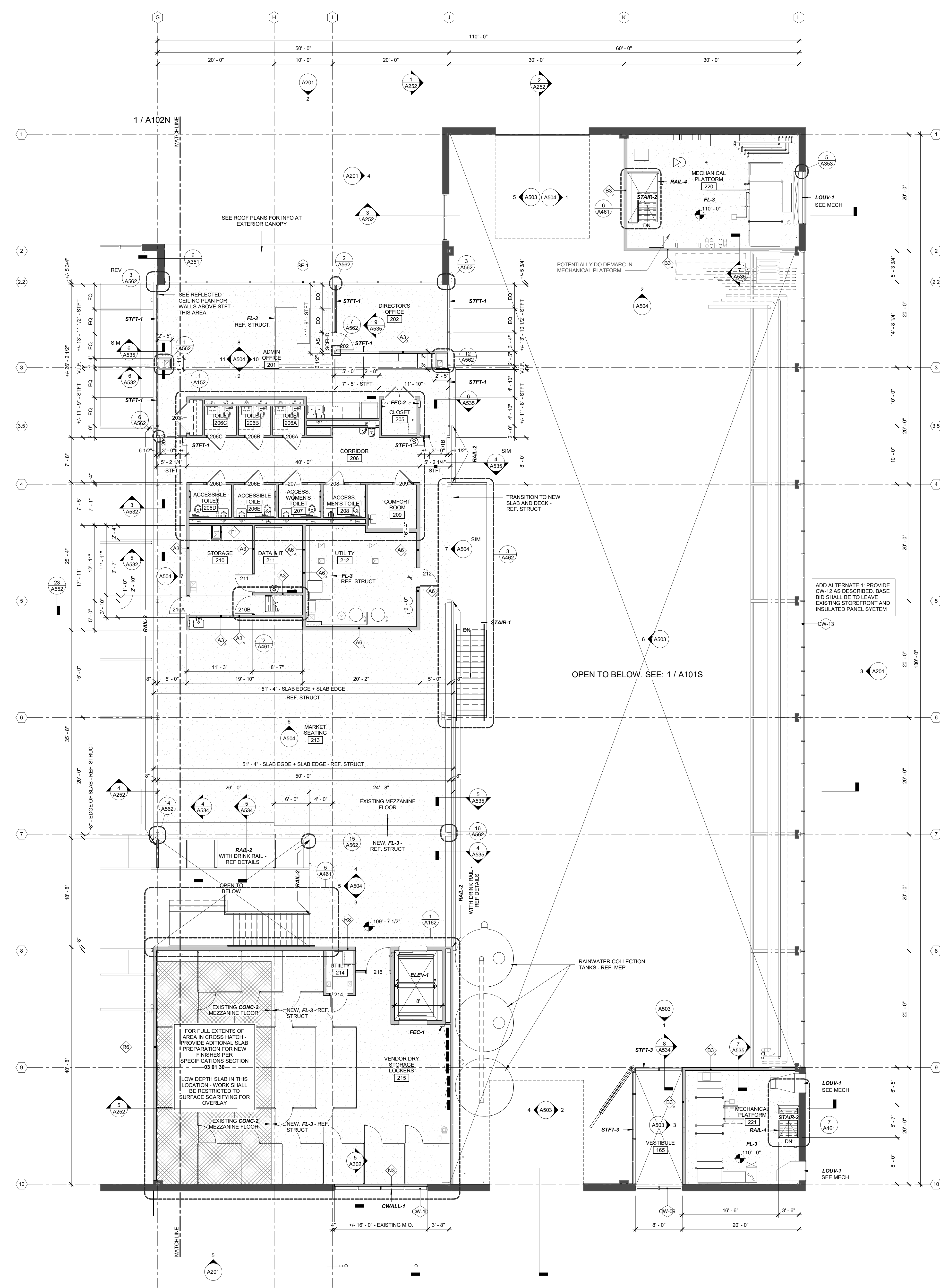
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MEZZANINE LEVEL - NORTH

A102N

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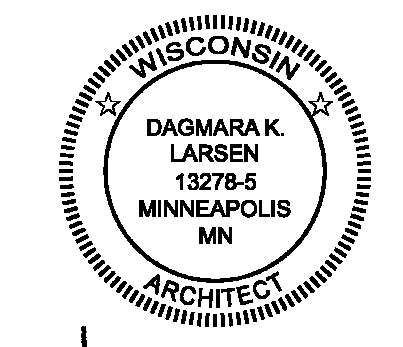
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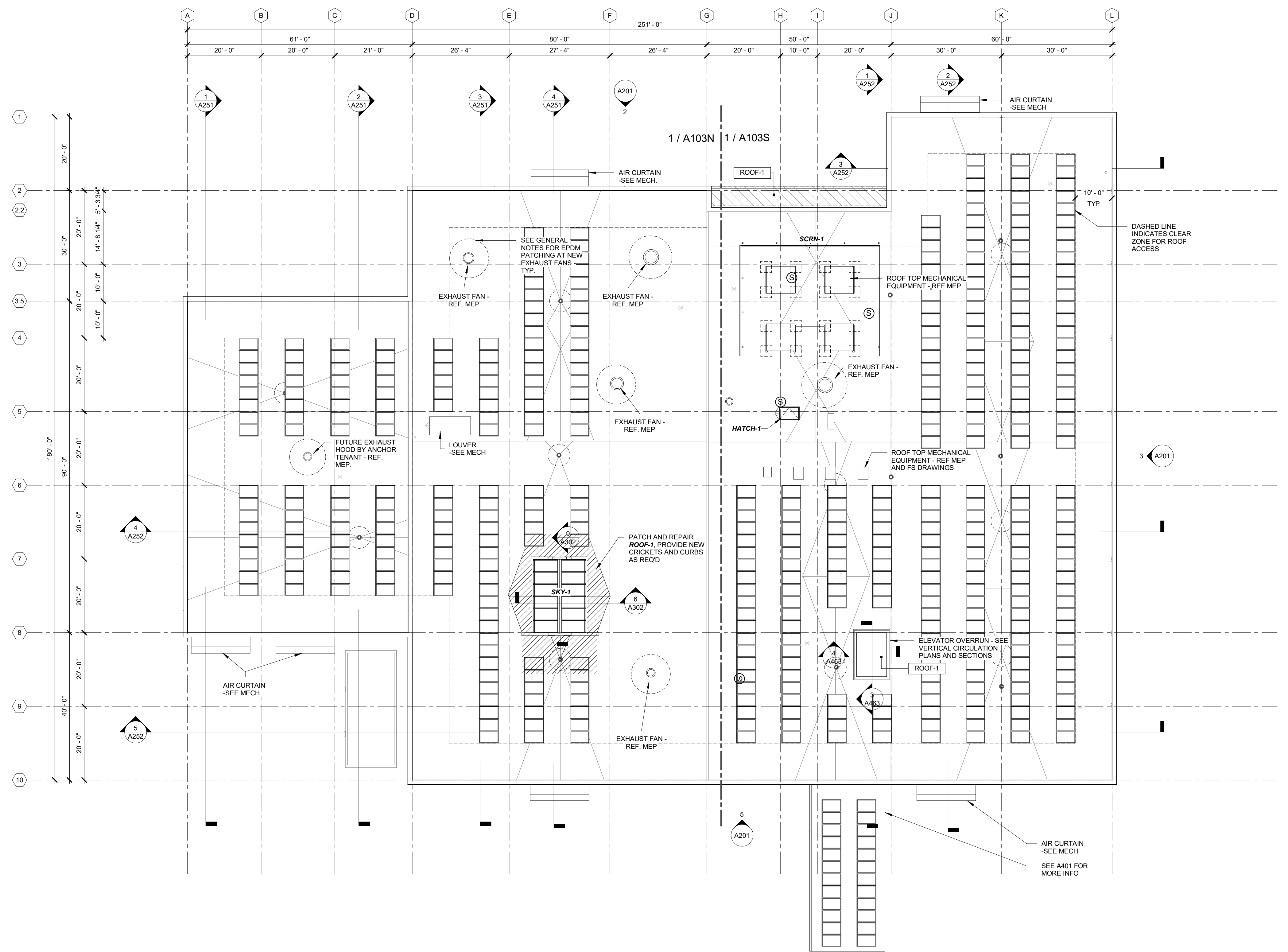
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MEZZANINE LEVEL - SOUTH

A102S



ROOF PLAN GENERAL NOTES

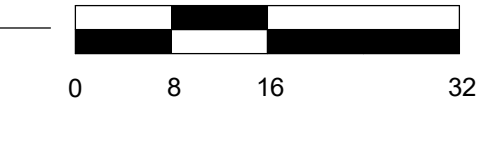
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- PROVIDE PROTECTIVE MEMBRANE AND CATCH PAN AROUND EXHAUST HOODS PER EPDM MANUFACTURER RECOMMENDATIONS AND WARRANTY REQUIREMENTS.
- ALL NEW WORK OR MODIFICATION TO EXISTING ROOF SHALL BE DONE IN ACCORDANCE WITH ROOF MFR'S BEST PRACTICE AND SHALL NOT VOID ORIGINAL ROOF WARRANTY.
- PHOTOVOLTAIC ARRAY SHOWN FOR REFERENCE - SEE ELECTRICAL SHEETS FOR MORE INFO.
- MECHANICAL EQUIPMENT SHOWN ON ARCHITECTURAL PLANS IS FOR REFERENCE ONLY - REFER TO MEP SHEETS FOR MORE INFORMATION.
- ALL EXISTING COPING CAP TO BE PAINTED PT-30.
- ALL ROOF DRAINS ARE NEW UNLESS NOTED OTHERWISE - REF PLUMBING DRAWINGS FOR MORE INFO. EXTENTS OF NEW ROOFING MATERIAL SHOWN IN DASHED LINES. FOLLOW ROOF MFR'S BEST PRACTICES TO ENSURE WARRANTY.
- PATCH ALL EXISTING PENETRATIONS IF NOT REUSED IN NEW WORK. NEW WORK SHALL BE IN ACCORDANCE WITH ROOF MFR'S BEST PRACTICES AND SHALL NOT VOID WARRANTY.

ADD ALTERNATE No. 3
 BASE BID SHALL BE TO COMPLETELY OMIT ALL DEMOLITION AND NEW WORK RELATED TO INSTALLATION OF PHOTOVOLTAIC ARRAY. ADD ALTERNATE SHALL BE TO PROVIDE PHOTOVOLTAIC ARRAY AS DESCRIBED IN FULL PROJECT DRAWINGS AND SPECIFICATIONS. SEE SPECIFICATIONS SECTION 01 23 00.

ADD ALTERNATE 3 NOTES

- REFERENCE ELECTRICAL DRAWINGS AND SPECIFICATION SECTIONS FOR DESCRIPTION OF PHOTOVOLTAIC WORK.
- ACCEPTABLE PV ANCHORING IS DESCRIBED IN TYPICAL DETAILS REFERENCED ON ROOF PLANS.
- TYPE AND FREQUENCY OF ANCHORING SHALL BE DETERMINED BY PV SUPPLIER / INSTALLER PER 26 21 00.
- ADD ALTERNATE 3 PRICING SHALL INCLUDE COST OF ANCHORING PV SYSTEM. PROVIDE PER INSTANCE PRICING FOR TYP ACCEPTABLE DETAILS.

1 ROOF PLAN - REFERENCE
 A103 1/16" = 1'-0"



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- MEP Associates, LLC**
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 1600 Stout St, Suite 450
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- Commercial Kitchen Design
- Boelter Premier**
 7120 Northland Terrace,
 Minneapolis, MN 55428 | 763.544.8800

Project No. 20180025.00

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Architect Seal

DAGMAR K. LARSEN
 13278-5
 MINNEAPOLIS, MN
 ARCHITECT

Signature
 Print Name Dagmara Larsen
 Date 05.28.2021 License No. 57356




100% Construction Documents

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Mark	Date	Description
	06.04.2019	SITE - BUILDING DESIGN 1 PRICING ISSUE
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	11.13.2019	100% CDP DOCUMENTS
	02.18.2020	CD PRICING ISSUE
	04.30.2020	90% CONSTRUCTION DOCUMENTS
	06.04.2021	100% CONSTRUCTION DOCUMENTS

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BUILDING ELEVATION GENERAL NOTES

-  EXISTING EIFS SYSTEM WITH COAT-1B. SEE ELEVATIONS FOR PAINTED SIGNAGE IN THESE ZONES - SOME SIGNAGE IS REPRESENTATIVE AND NOT IN THIS CONTRACT - SEE NOTES ON ELEVATIONS AND COORDINATE WITH OWNERS BRANDING CONSULTANT
-  NEW EIFS-2 PATCHING IN EXISTING EIFS SYSTEM DUE TO OPENING INFILL. SUBSTANTIAL REPAIR OF EXISTING SYSTEM OR AS REQ'D AT FOR SUBSTRATE RECONSTRUCTION AT NEW OPENINGS. NOT ALL AREAS MAY BE SHOWN. SEE NOTE 2 BELOW.
-  NEW MURAL, BY OTHERS, IN THIS ZONE.

1. PROVIDE EIFS-1 FROM GRADE TO 4'-0" A.F.F. APPLY TO EXISTING FOUNDATION WALL AND TIE INTO EXISTING EIFS SYSTEM TO REMAIN - SEE EXT WALL SECTIONS FOR TYPICAL DETAILS.
2. EIFS CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGE TO EXISTING EIFS SYSTEMS WHICH ARE TO REMAIN. THIS INCLUDES BUT IS NOT LIMITED TO:
 - DENTS
 - FLAKING OR SPALLING OF FINISH AND WEATHER COAT
 - DELAMINATION OF MESH
 - DAMAGE DUE TO MOISTURE SATURATION
3. PARTICULARLY DAMAGED AREAS ARE NOTED ON ELEVATIONS, BUT FULL SCOPE OF MISCELLANEOUS REPAIRS IS NOT. EIFS CONTRACTOR SHALL PERFORM AN ON-SITE INSPECTION PRIOR TO SUBMITTING A BID TO DETERMINE FULL SCOPE OF REQUIRED WORK.
4. ALL EIFS TO REMAIN, AS WELL AS ALL PATCH AND REPAIR WORK PERFORMED AT EXISTING EIFS SHALL RECEIVE COAT-1A1B - SEE ELEVATIONS
5. EXISTING COPING CAP SHALL BE PAINTED PF-5B
6. LIGHT FIXTURES SHOWN ARE FOR LOCATING PURPOSES ONLY - REF. LIGHTING PLANS FOR ACTUAL FIXTURES AND SCHEDULES
7. SOME SIGNAGE IN ARCH ELEVATIONS IS FOR REFERENCE ONLY AND IS NOTED AS SUCH ON ELEVATIONS. SIGNAGE IN THESE LOCATIONS SHALL BE IN THE FORM OF COMPATIBLE COAT-1. IN VARIOUS COLORS AS DESIGNED BY OWNERS BRANDING CONSULTANT. CONTRACTOR SHALL NOT APPLY COATINGS, PER THESE DOCUMENTS OR OTHERS, TO EXISTING OR NEW EIFS FINISHES THAT IS NOT COMPLIANT WITH COAT-1. SPECIFICATION
8. SEE SHEETS A401 & A402 FOR ELEVATIONS OF TRASH ENCLOSURE AND LOADING CANOPY
9. ALL EXISTING WHEEL STOPS AT OVERHEAD DOOR OPENINGS, NOT NOTED AS DEMOLISHED, REPAINTED AND REINSTALLED. EXISTING CONCRETE WALL BENEATH SHALL BE REPAIRED IN PLACE. PAINT WHEELSTOP WITH PF-5 TO MATCH COAT-1A
10. ALL OPENINGS AT ABANDONED MECHANICAL AND OTHER EQUIPMENT SHALL BE INFILLED AND PATCHED WITH NEW EIFS-1 OR EIFS-2 TO MATCH ADJACENT SYSTEM. AT SOME LOCATIONS, THRU-WALL EQUIPMENT CAN BE EVALUATED AND ABANDONED IN PLACE. SEALED AND PAINTED. CONTRACTOR SHALL NOTIFY ARCHITECT AND RECEIVE APPROVAL OF INTENT TO ABANDON IN PLACE. SEE INFILL DETAILS A352.
11. FINISH GRADE IS SHOWN AS REFERENCE ONLY - SEE CIVIL FOR ACTUAL GRADE
12. COORDINATE SIGNAGE ABOVE PAINTED TEXT GRAPHICS WITH FINAL EXTENTS OF TEXT LAYOUT - COORDINATE WITH OWNER

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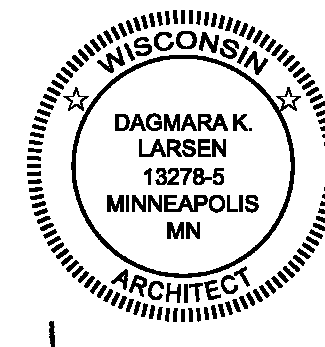
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Signature *Dagmara K. Larsen*

Print Name **Dagmara Larsen**

Date 05.28.2021 License No. 57356

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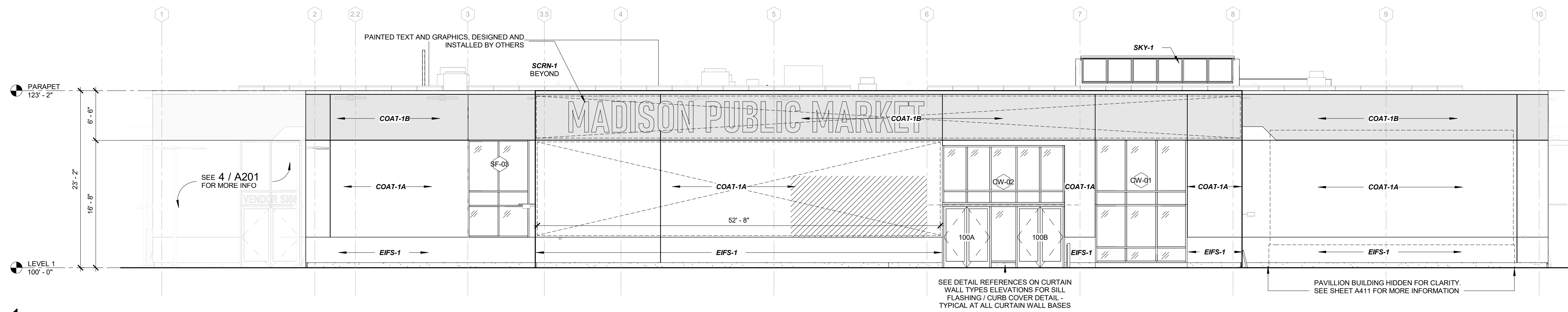
ISSUE / REVISION

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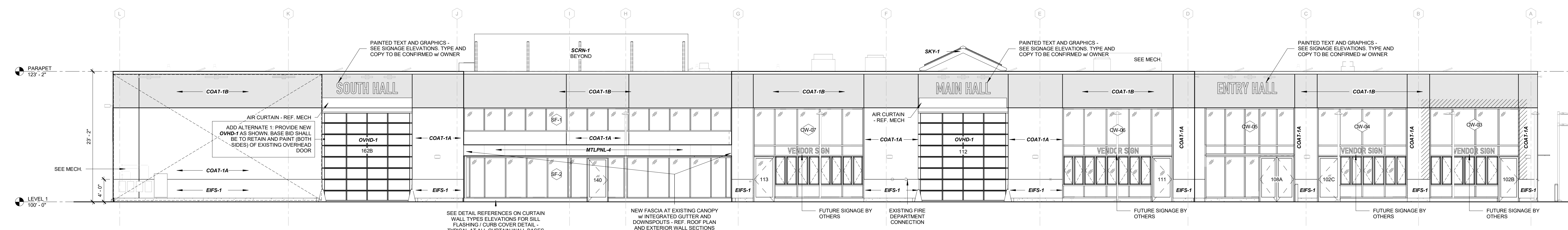
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BUILDING ELEVATIONS

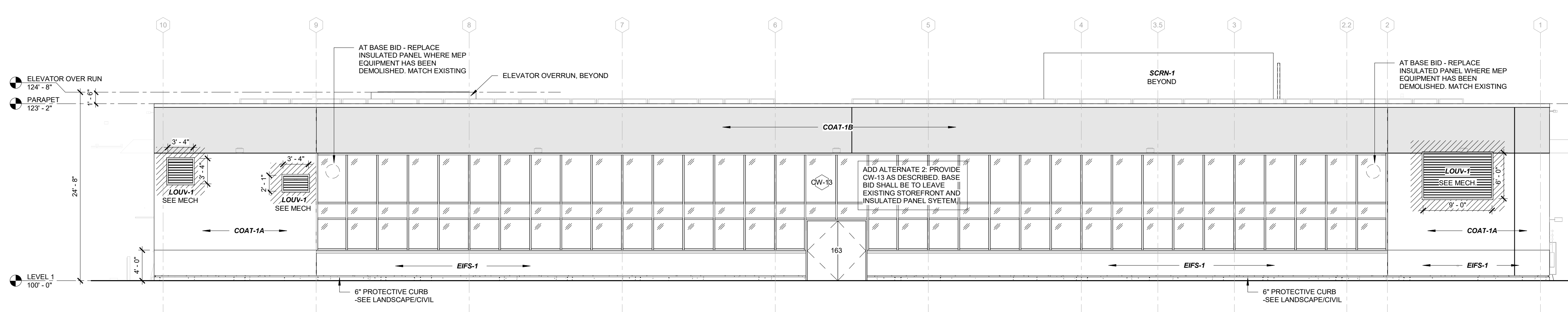
A201



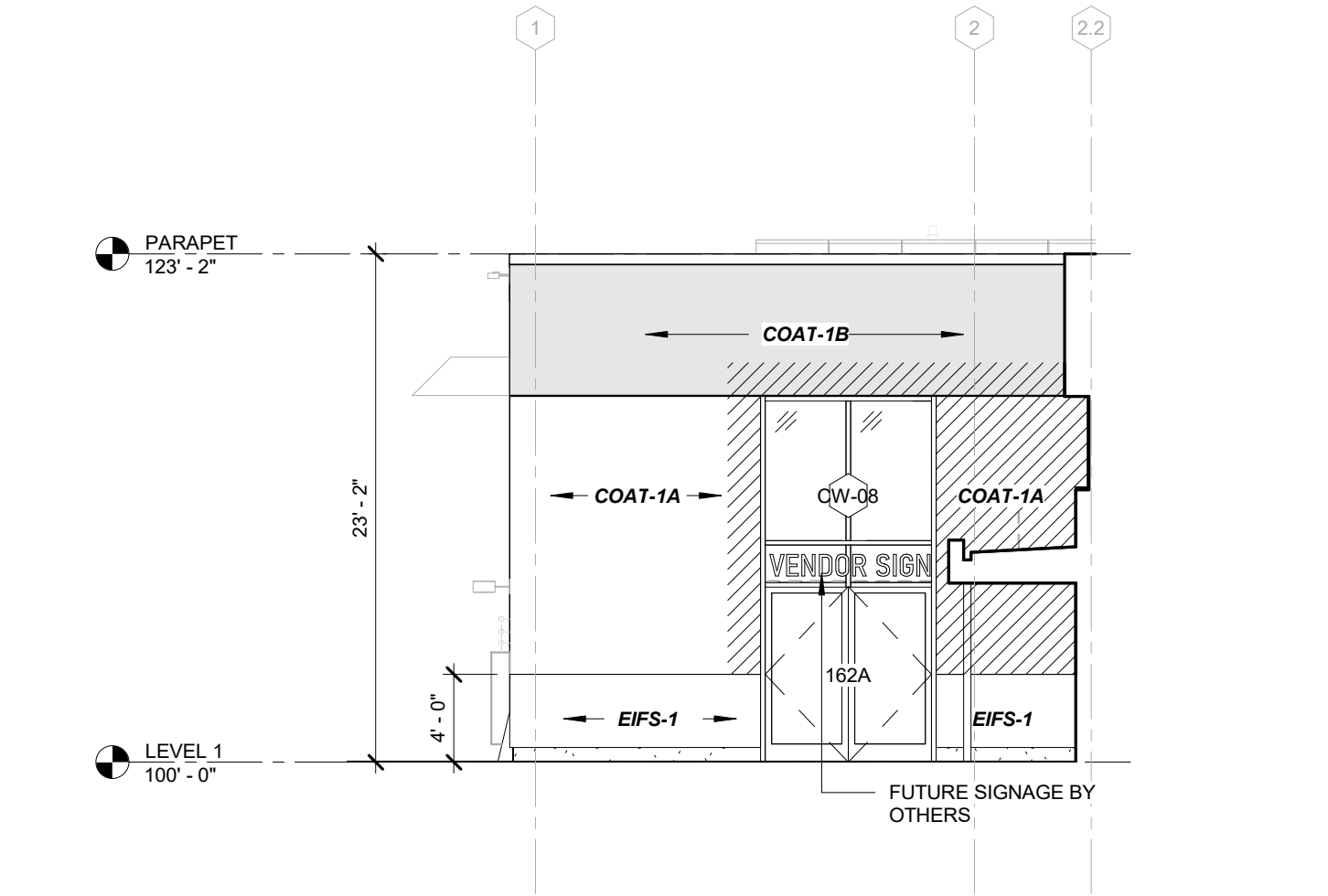
1 BUILDING NORTH ELEVATION
A201 1/8" = 1'-0"



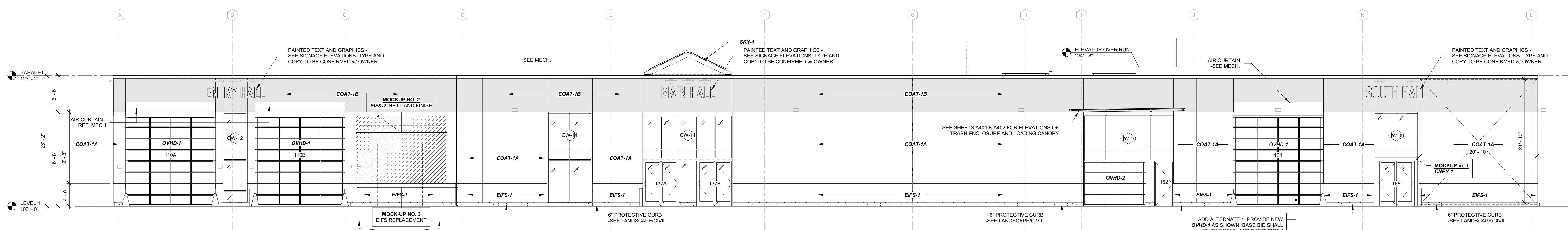
2 BUILDING EAST ELEVATION
A201 1/8" = 1'-0"



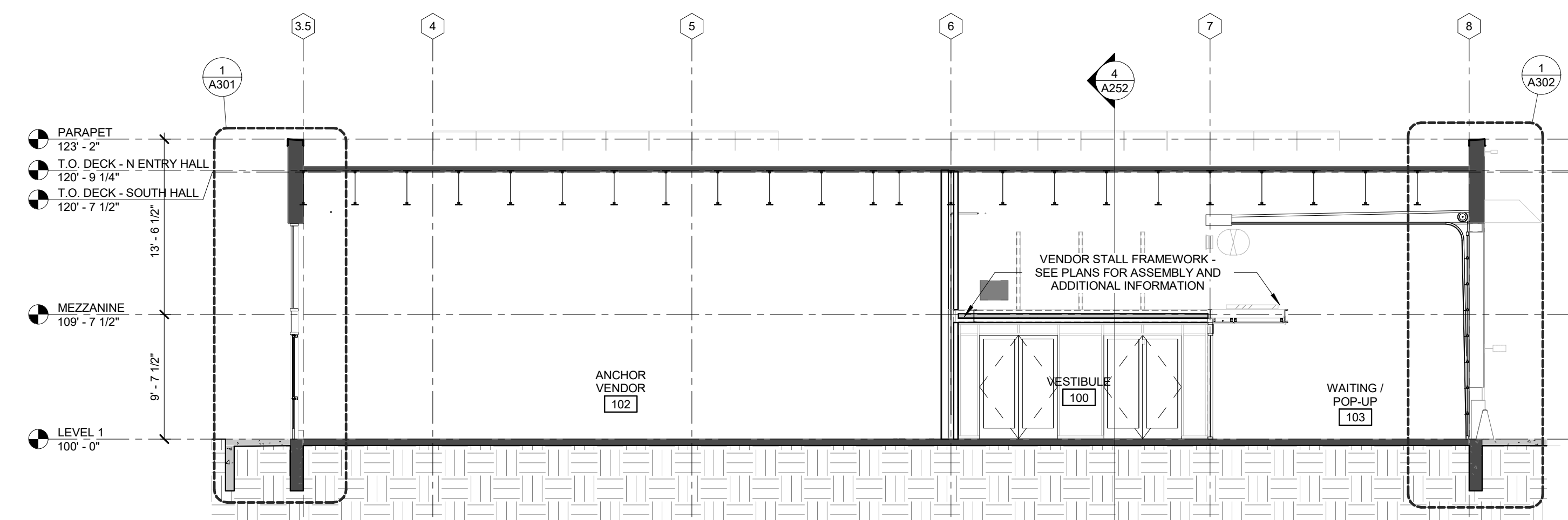
3 BUILDING SOUTH ELEVATION
A201 1/8" = 1'-0"



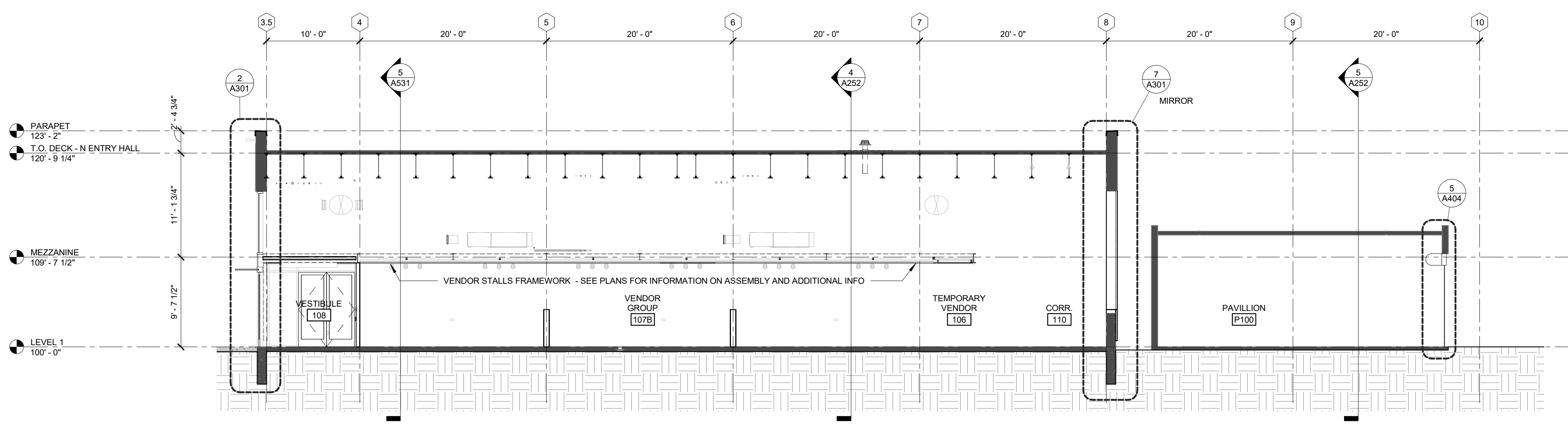
4 PARTIAL BUILDING NORTH ELEVATION - SOUTH HALL
A201 1/8" = 1'-0"



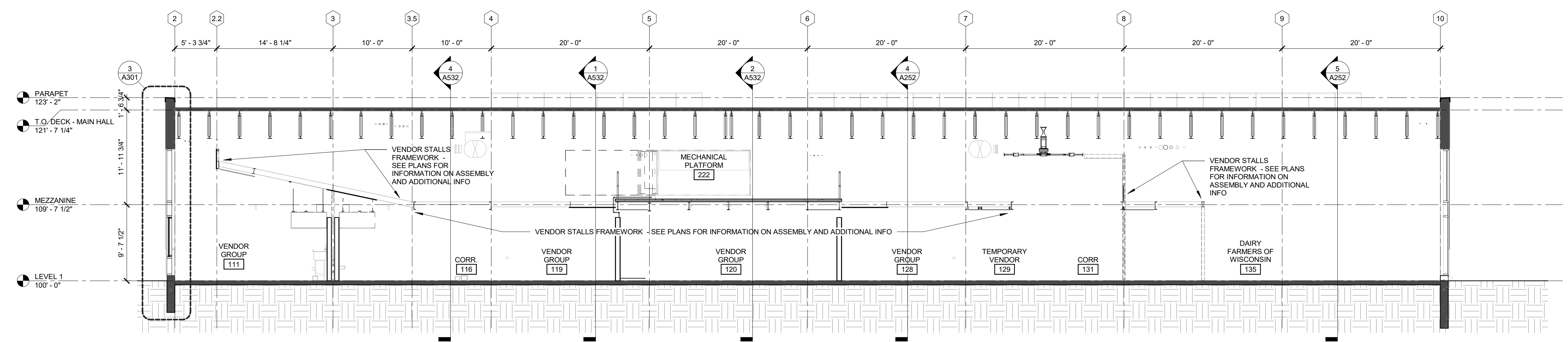
5 BUILDING WEST ELEVATION
A201 1/8" = 1'-0"



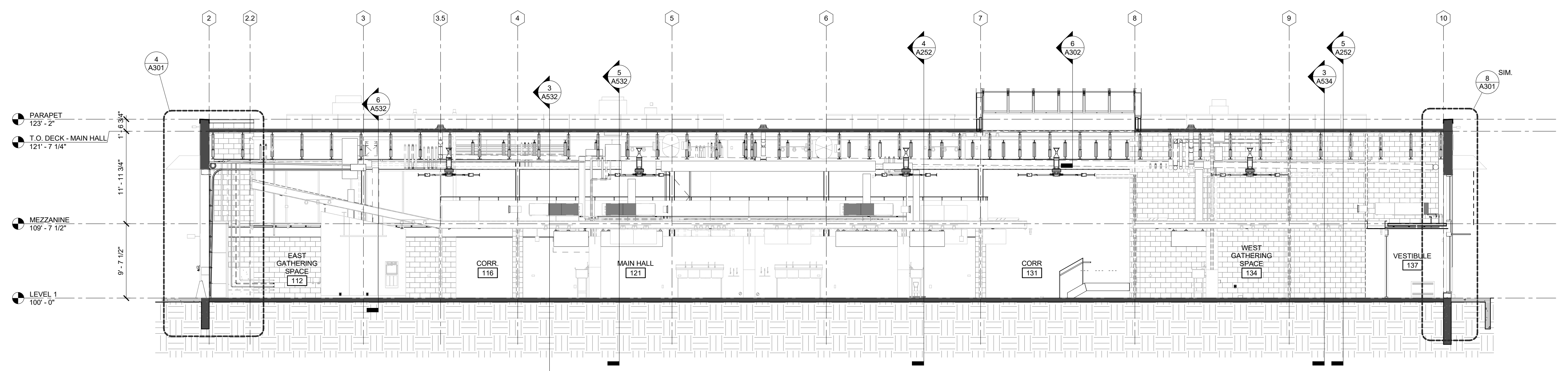
1 BLDG SECTION - EW - NORTH ENTRY HALL
A251 1/8" = 1'-0"



2 BUILDING SECTION - EW - NORTH ENTRY HALL AND ANCILLAR BLDG
A251 1/8" = 1'-0"



3 BUILDING SECTION - EW - MAIN HALL
A251 1/8" = 1'-0"

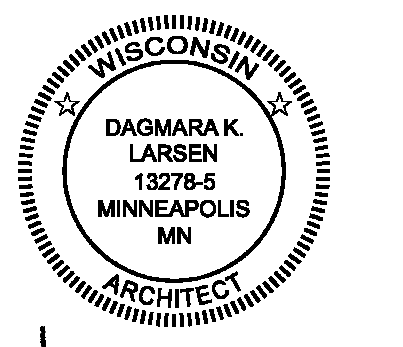


4 BUILDING SECTION - EW - MAIN HALL CENTER CORRIDOR
A251 1/8" = 1'-0"

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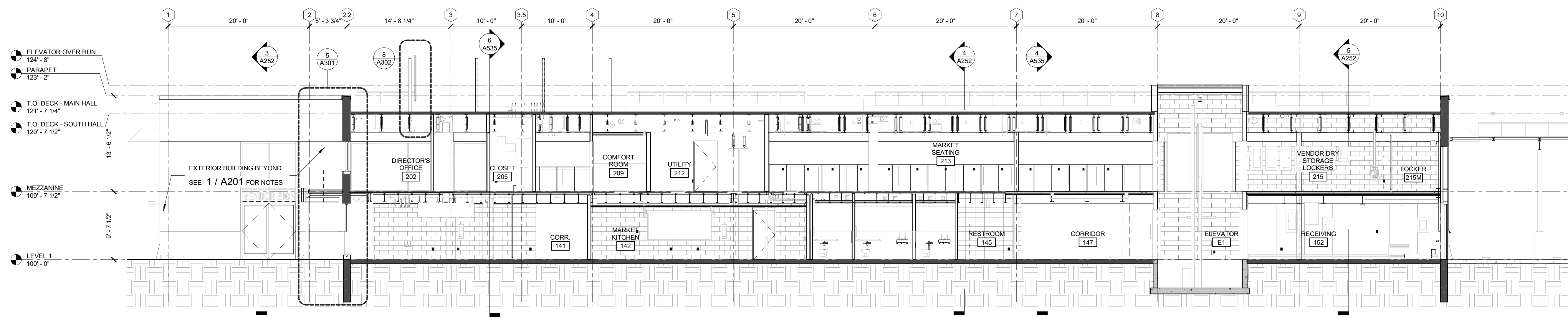
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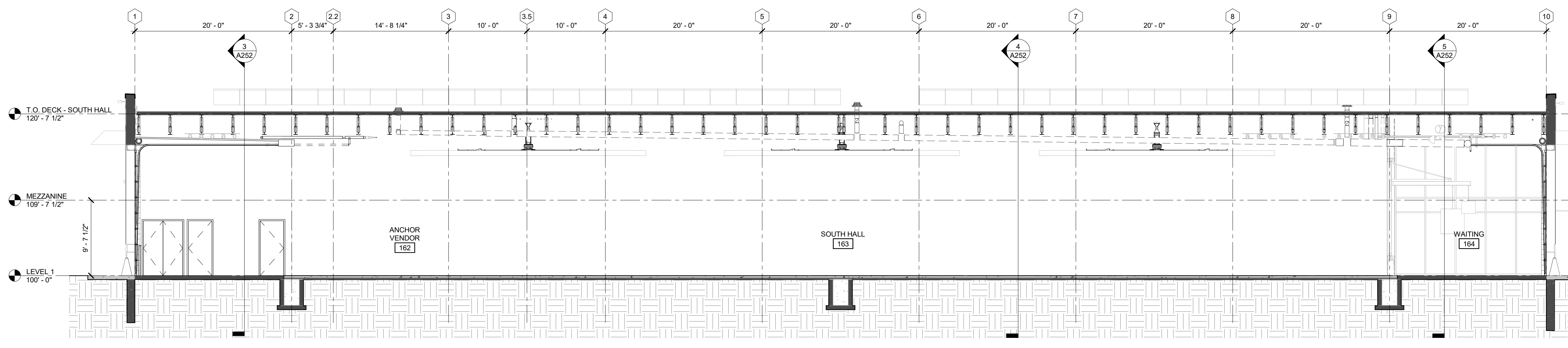
Signature: *Dagmara K. Larsen*
Print Name: Dagmara Larsen
Date: 05.28.2021 License No.: 57356

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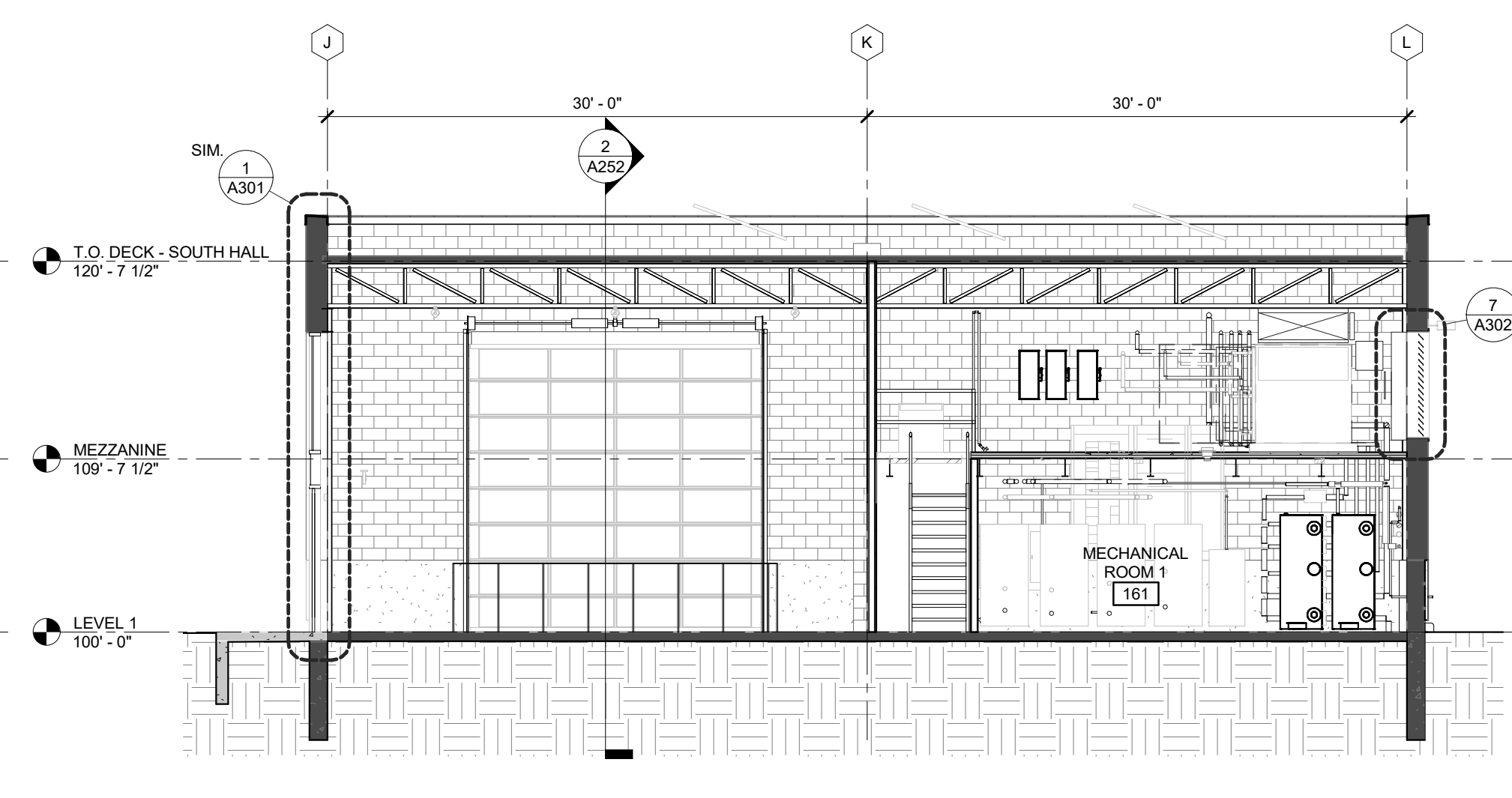
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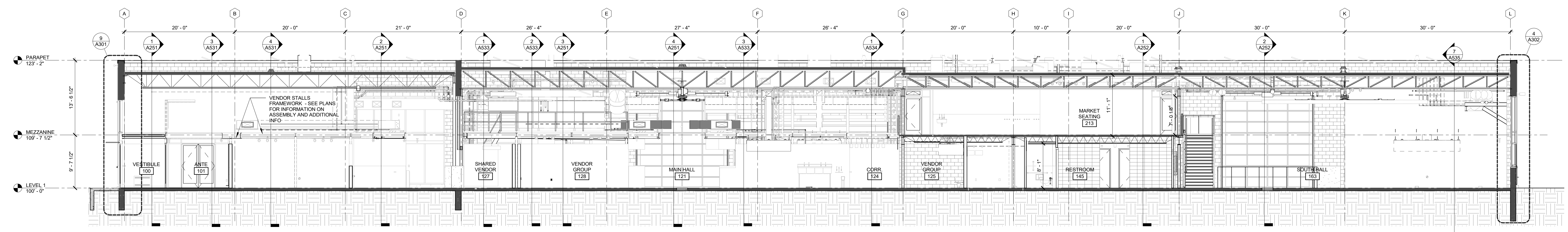
1 BUILDING SECTION - EW - MEZZANINE AND CORE BUILDING PROGRAM
A252 1/8" = 1'-0"



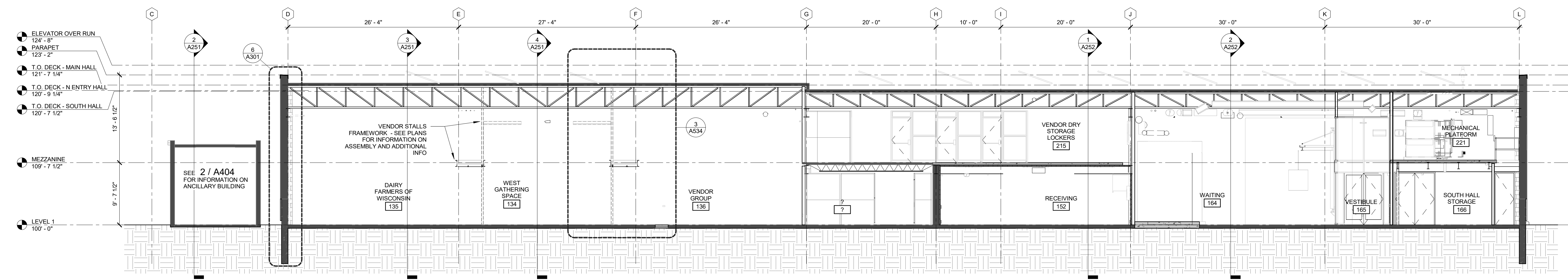
2 BUILDING SECTION - EW - SOUTH HALL
A252 1/8" = 1'-0"



3 BUILDING SECTION NS - SOUTH HALL MECHANICAL
A252 1/8" = 1'-0"



4 BUILDING SECTION - NS - THROUGH MAIN STREET
A252 1/8" = 1'-0"



5 BUILDING SECTION - NS - WEST WING OF BUILDING
A252 1/8" = 1'-0"

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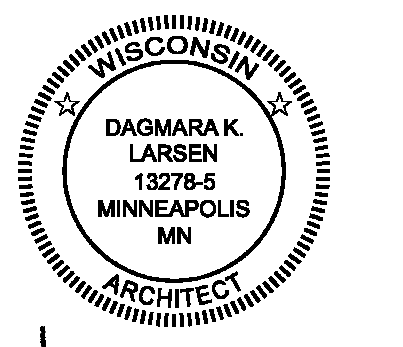
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BUILDING SECTIONS

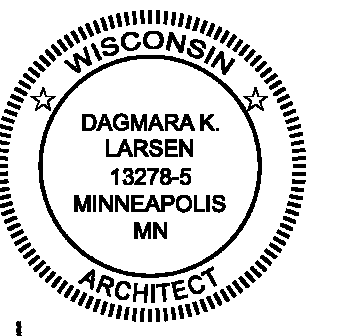
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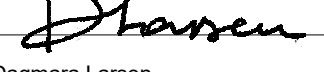
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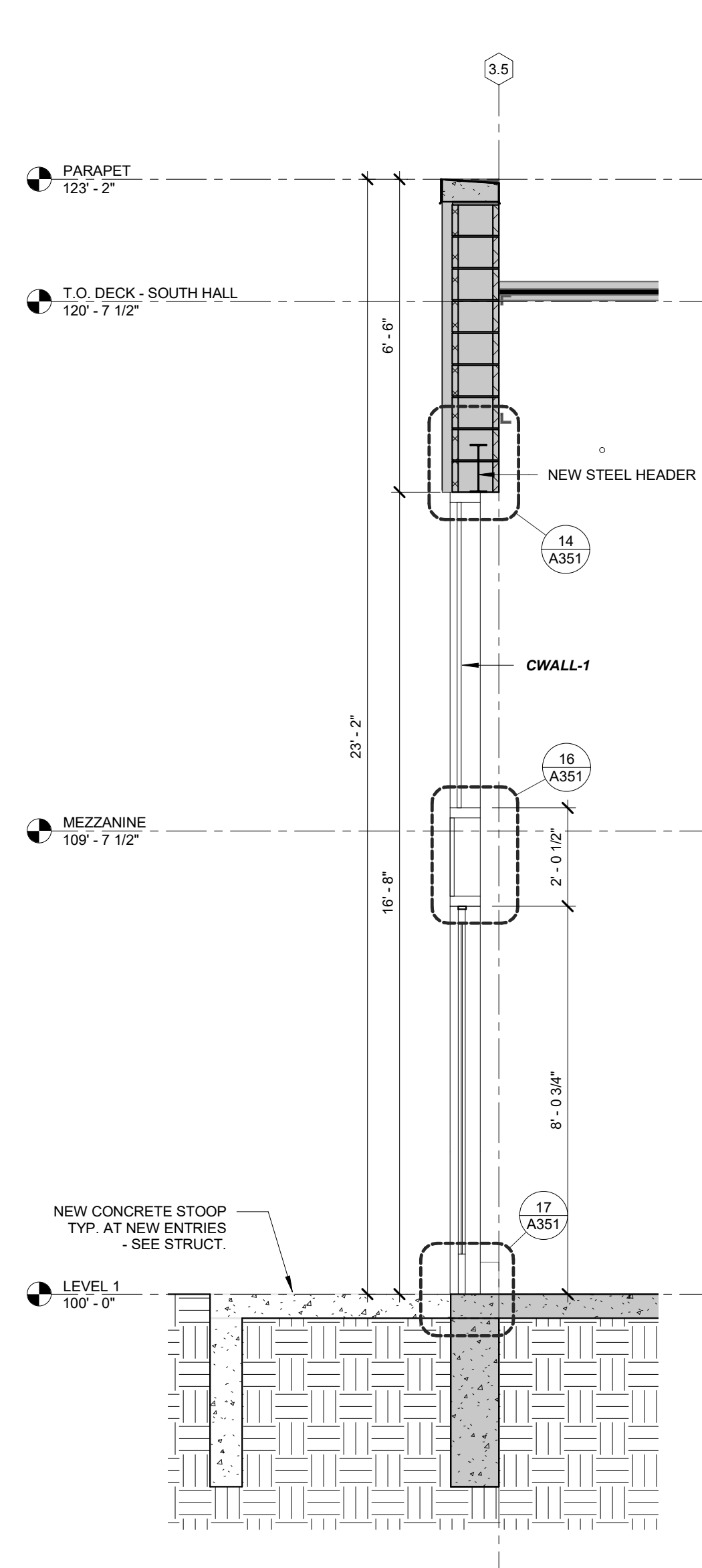
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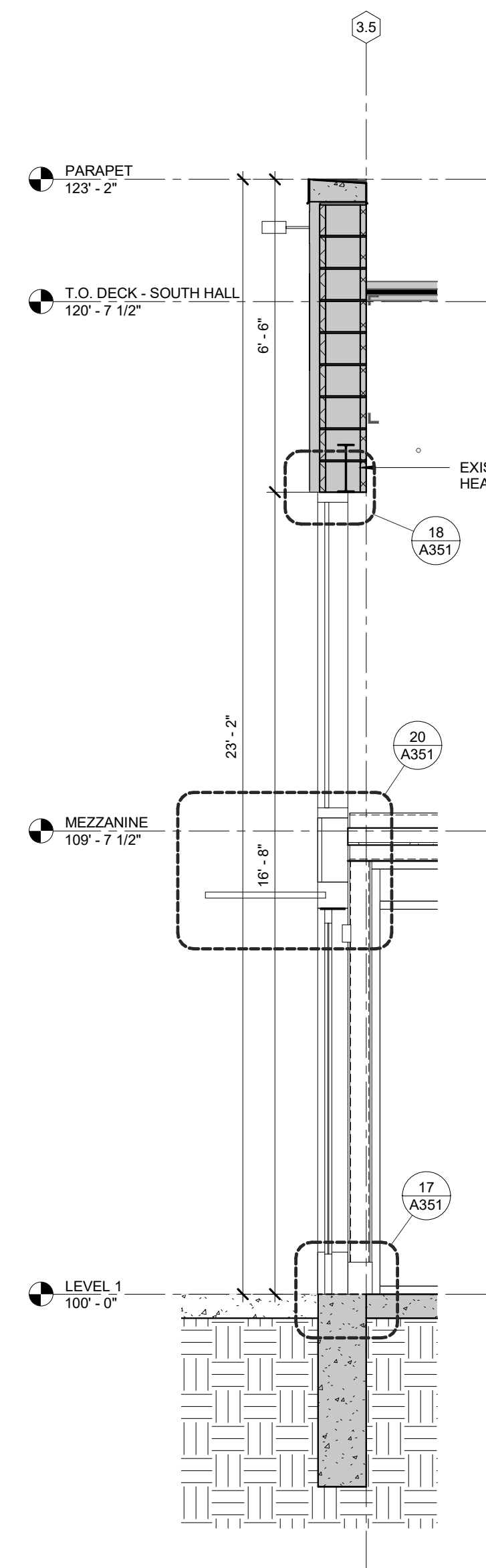
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EXT. WALL SECTIONS

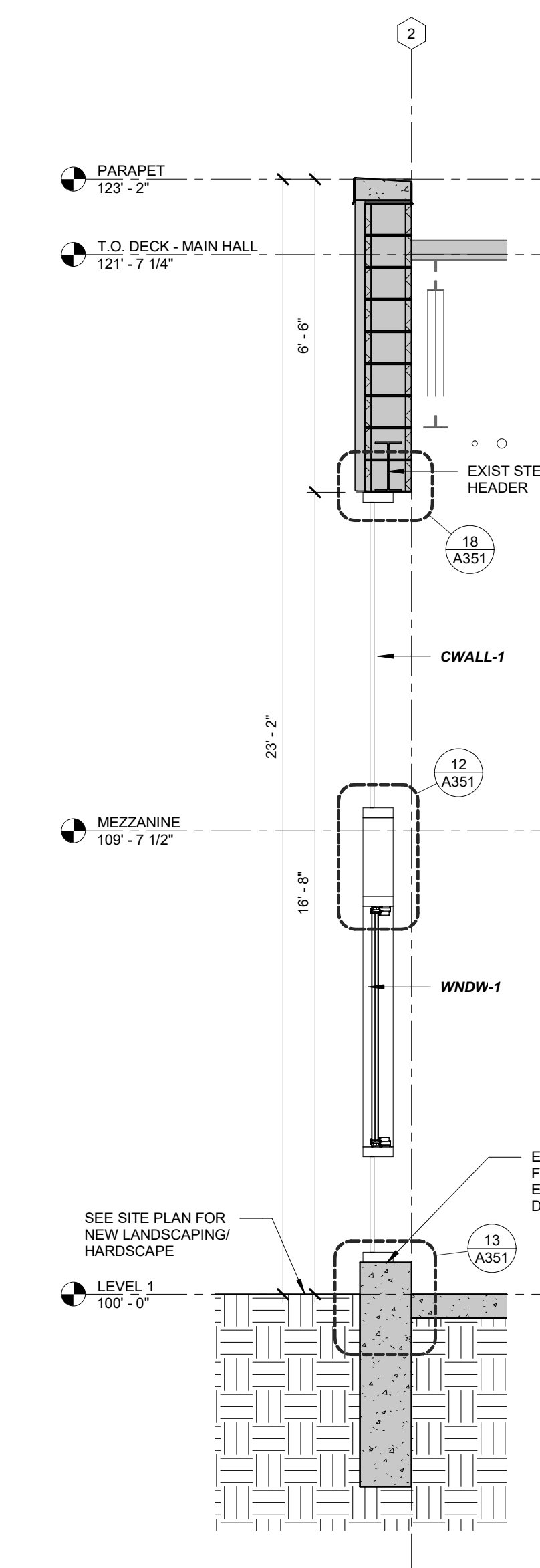
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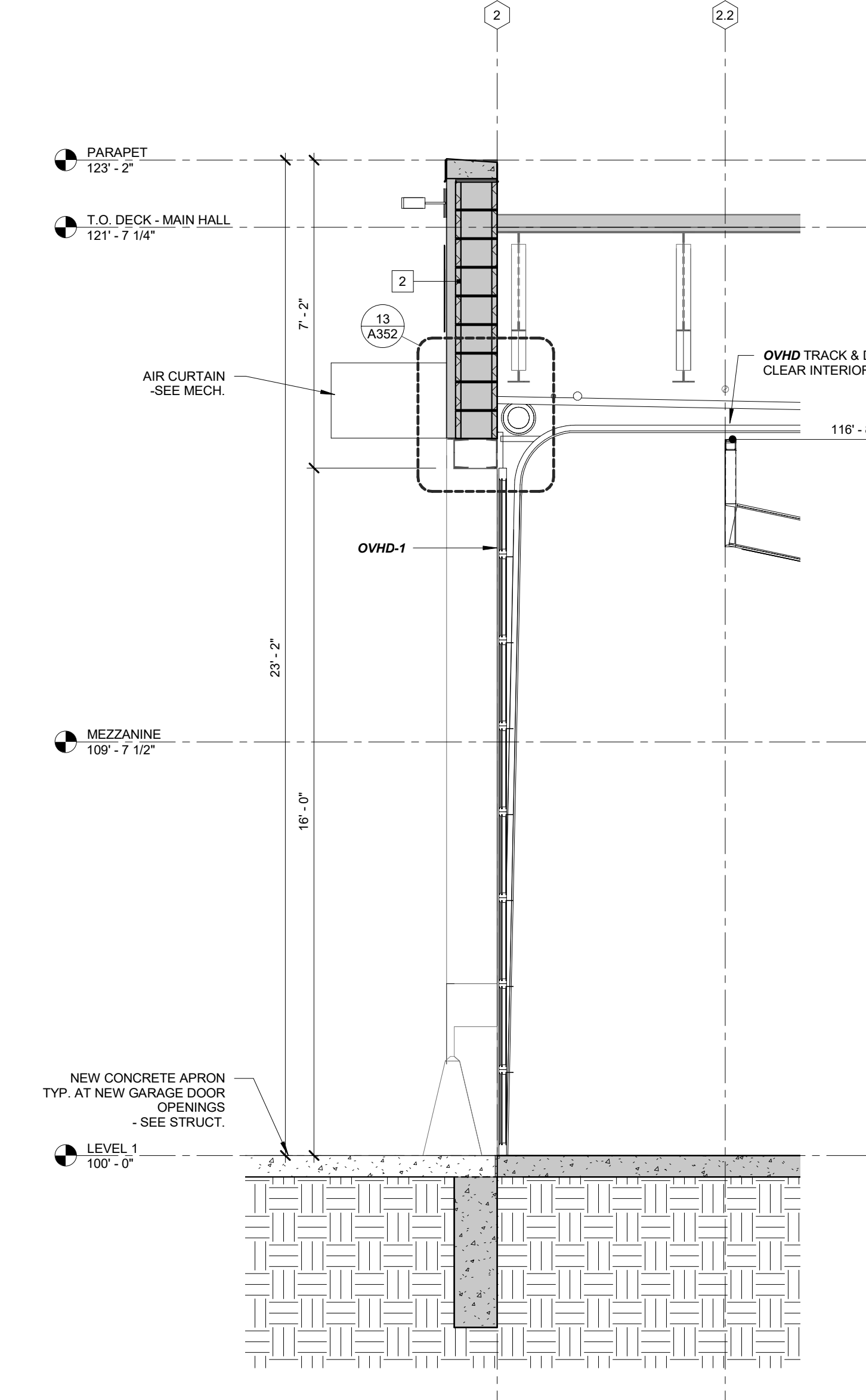
1 WALL SECTION - EW - N. ENTRY HALL CW
A301 3/8" = 1'-0"



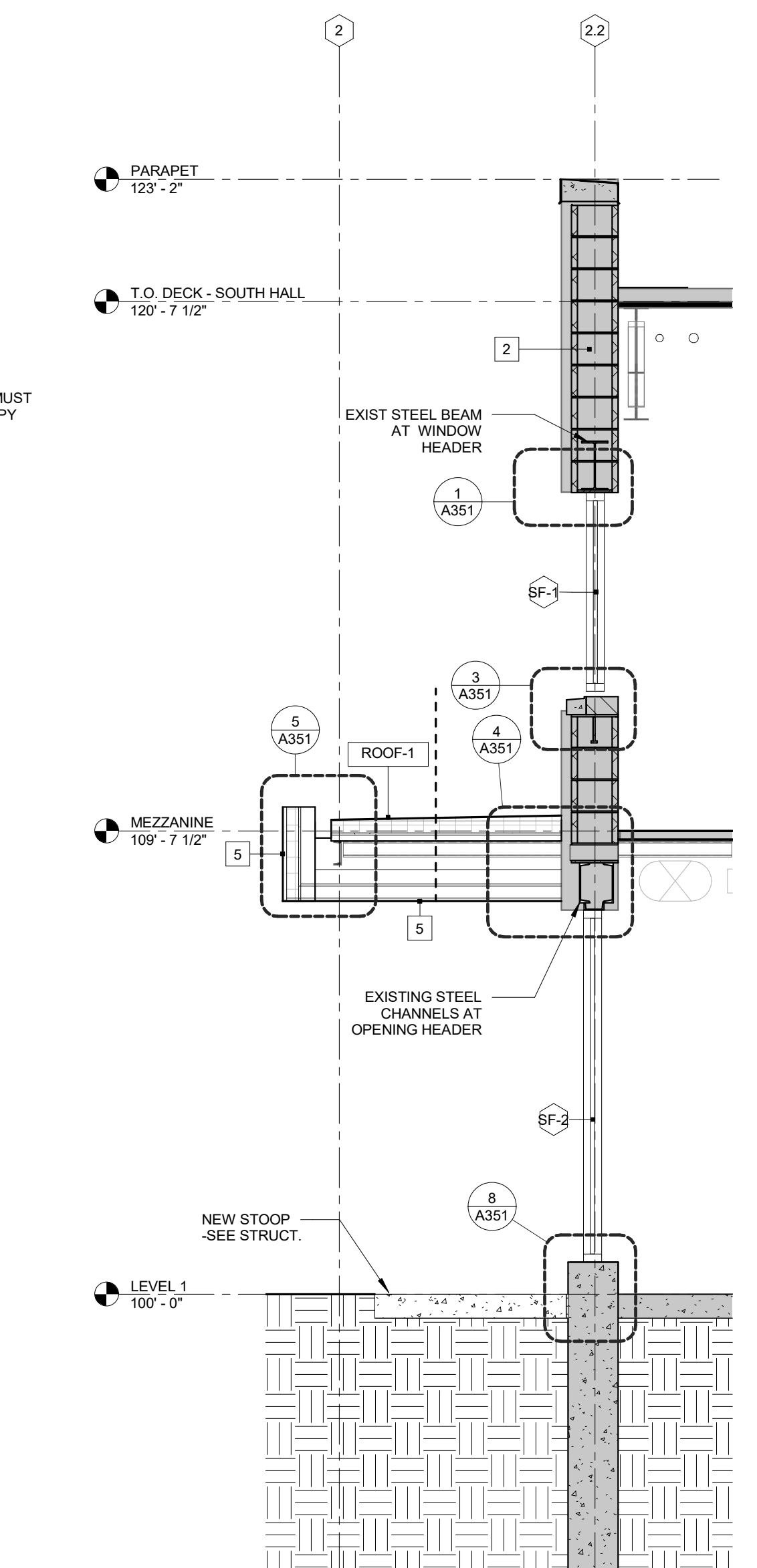
2 WALL SECTION - EW - N. ENTRY HALL WND
A301 3/8" = 1'-0"



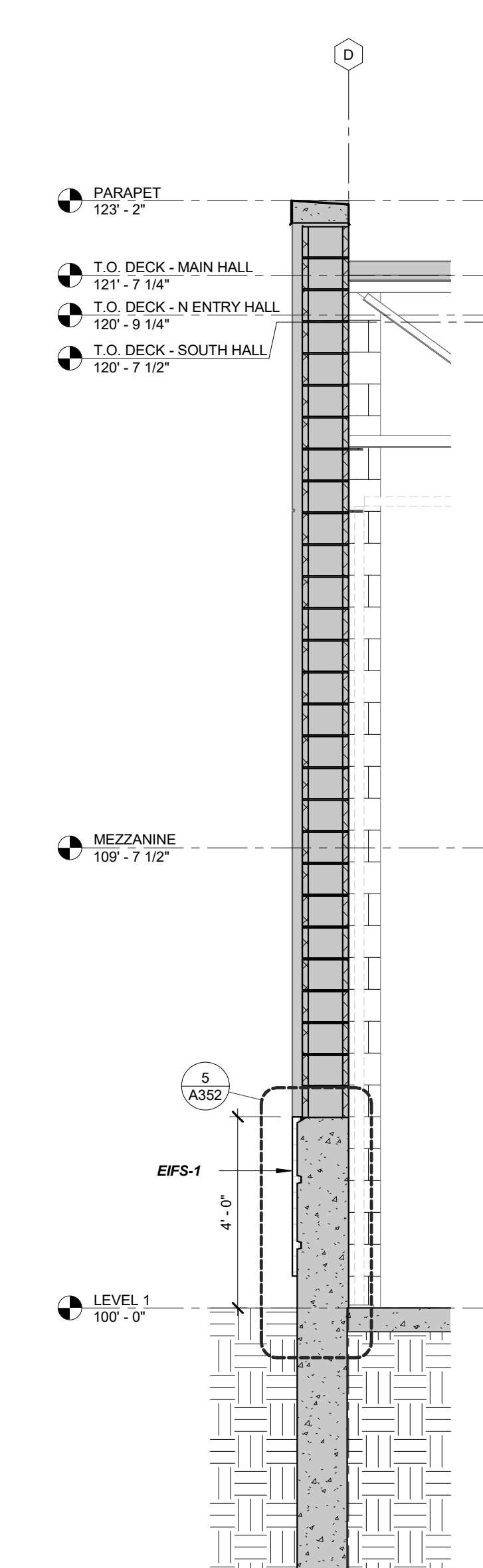
3 WALL SECTION - EW - MAIN HALL WND W/ AWNING
A301 3/8" = 1'-0"



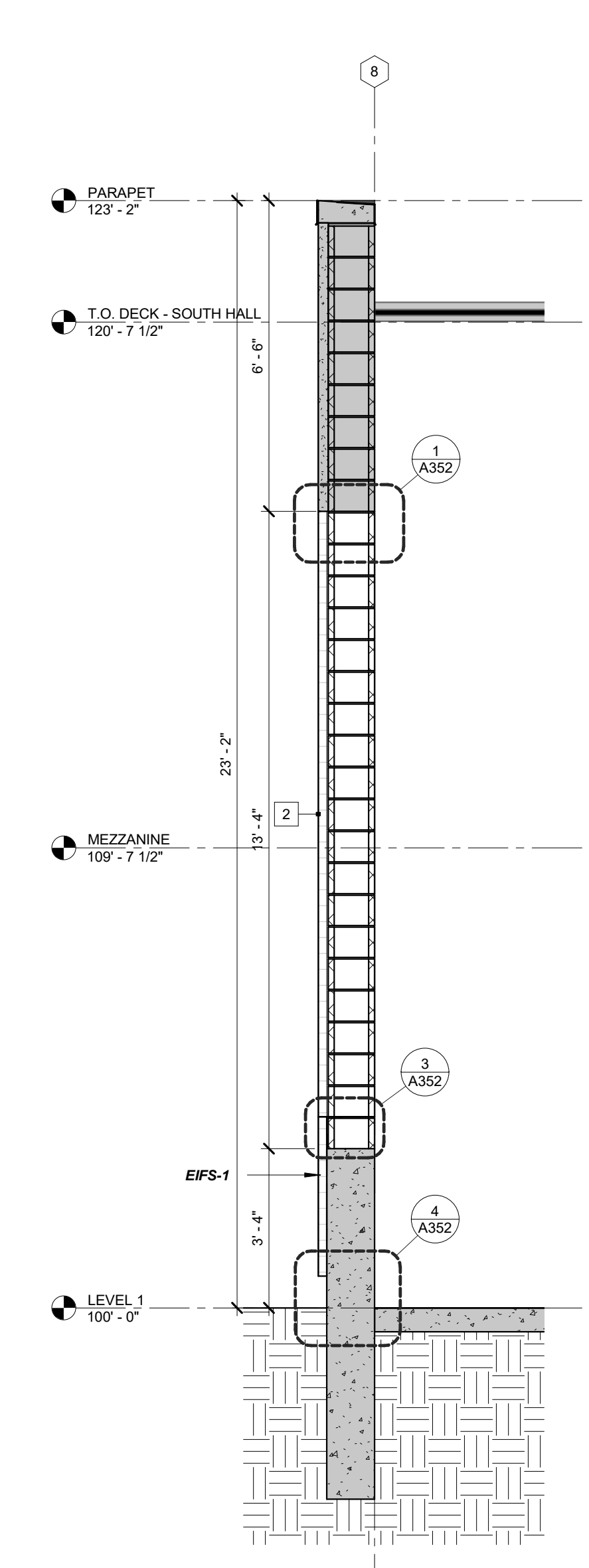
4 WALL SECTION - EW - MAIN HALL GARAGE DOOR
A301 3/8" = 1'-0"



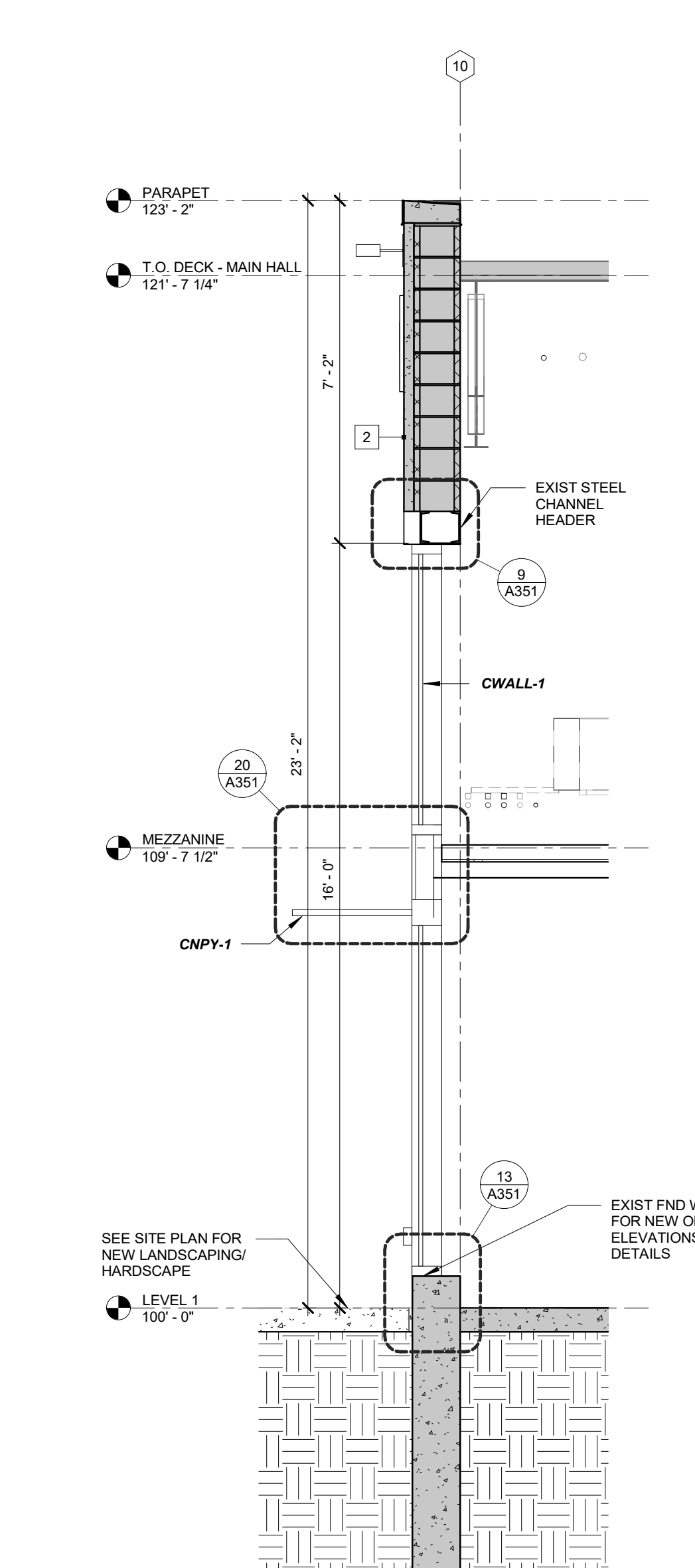
5 WALL SECTION - EW - MEZZANINE EAST WND
A301 3/8" = 1'-0"



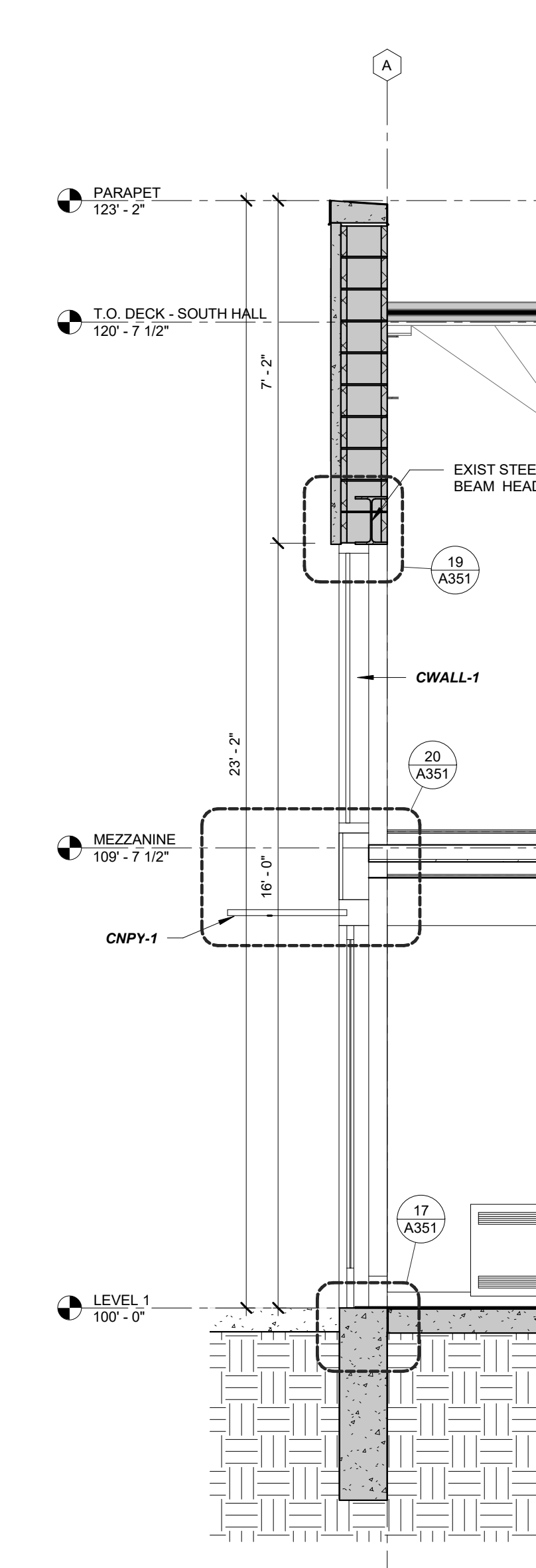
6 WALL SECTION - EIFS BASE
A301 3/8" = 1'-0"



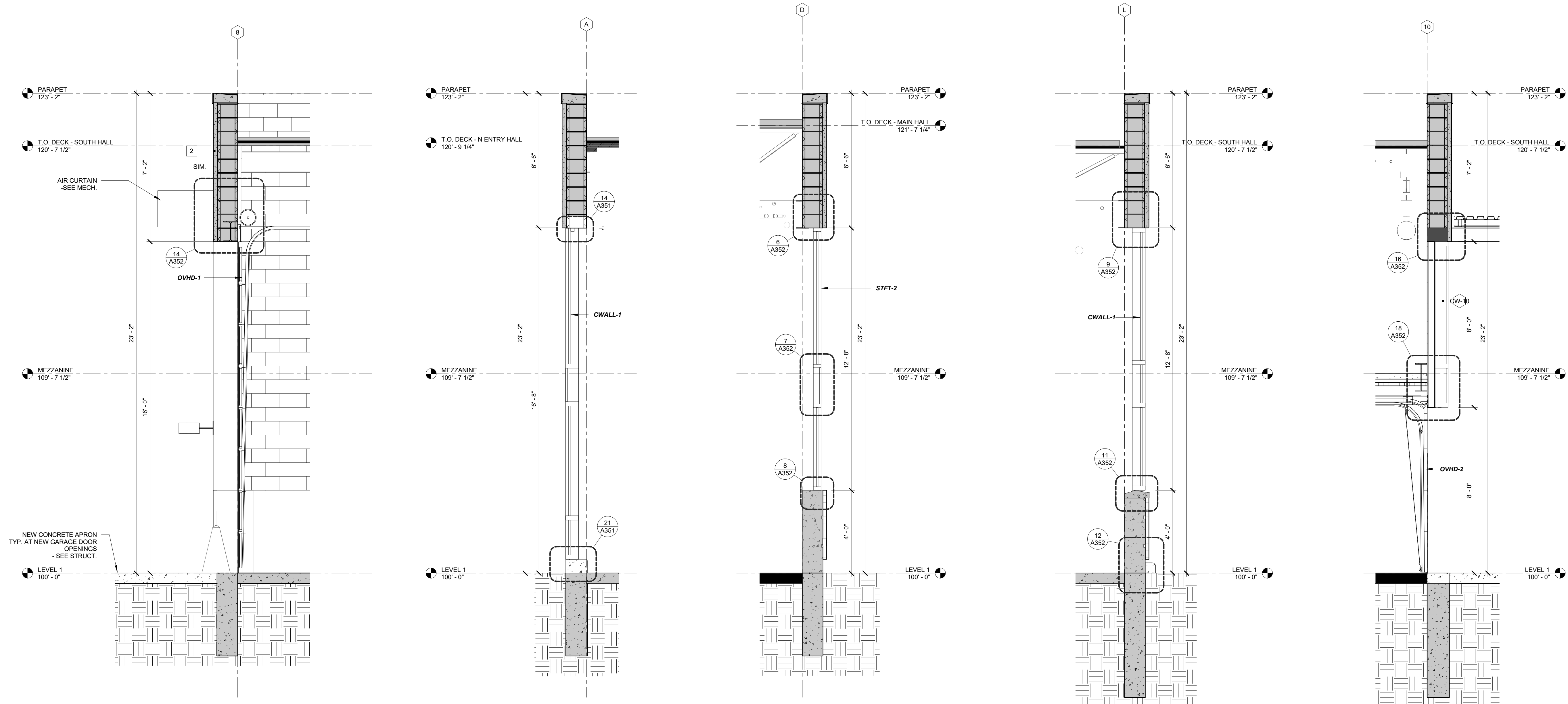
7 WALL SECTION - EW - ENTRY HALL WEST WALL
A301 3/8" = 1'-0"



8 WALL SECTION - EW - CW INFILL
A301 3/8" = 1'-0"



9 WALL SECTION - NS - CW INFILL
A301 3/8" = 1'-0"



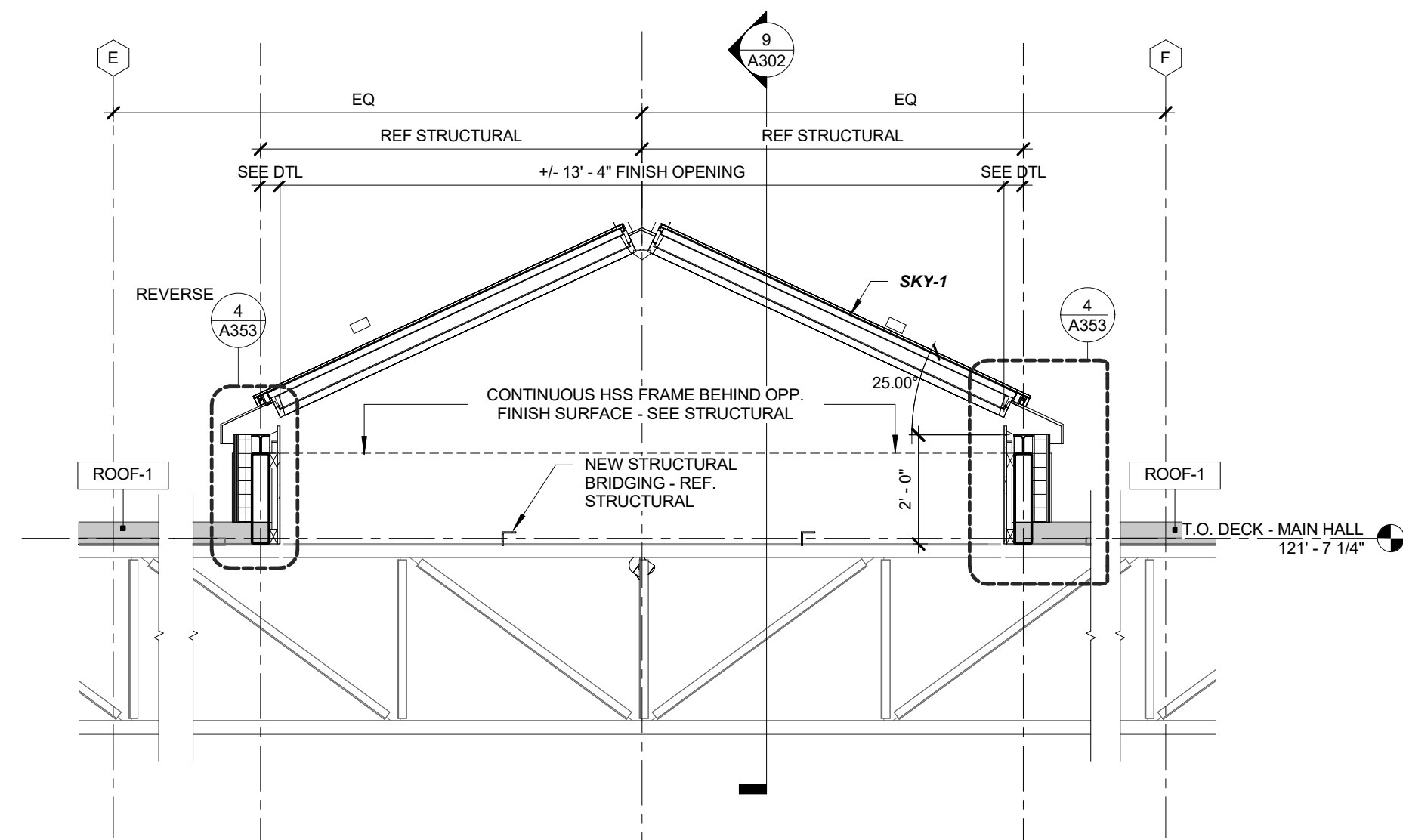
1 WALL SECTION - EW - NORTH ENTRY HALL GARAGE
A302 3/8" = 1'-0"

2 NEW WALL SECTION
A302 3/8" = 1'-0"

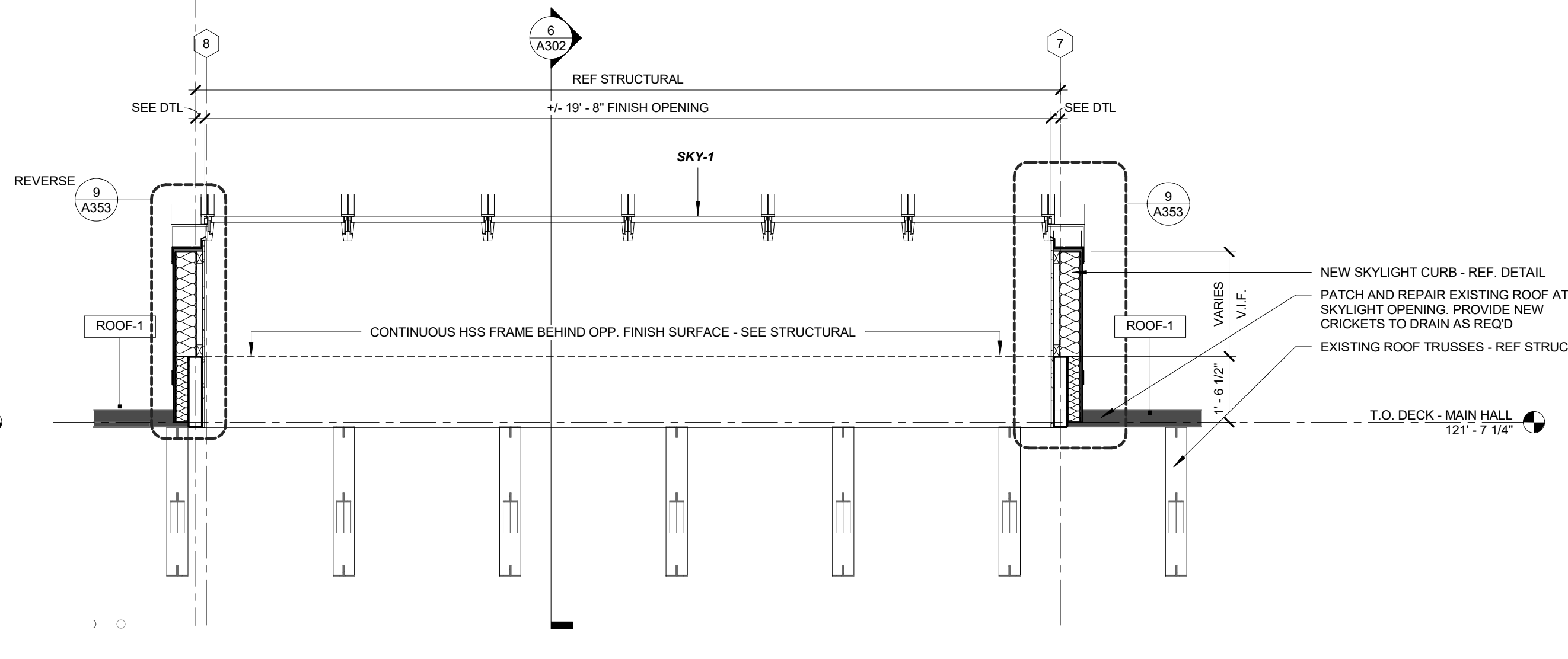
3 WALL SECTION 17
A302 3/8" = 1'-0"

4 WALL SECTION - RAISED GLAZING
A302 3/8" = 1'-0"

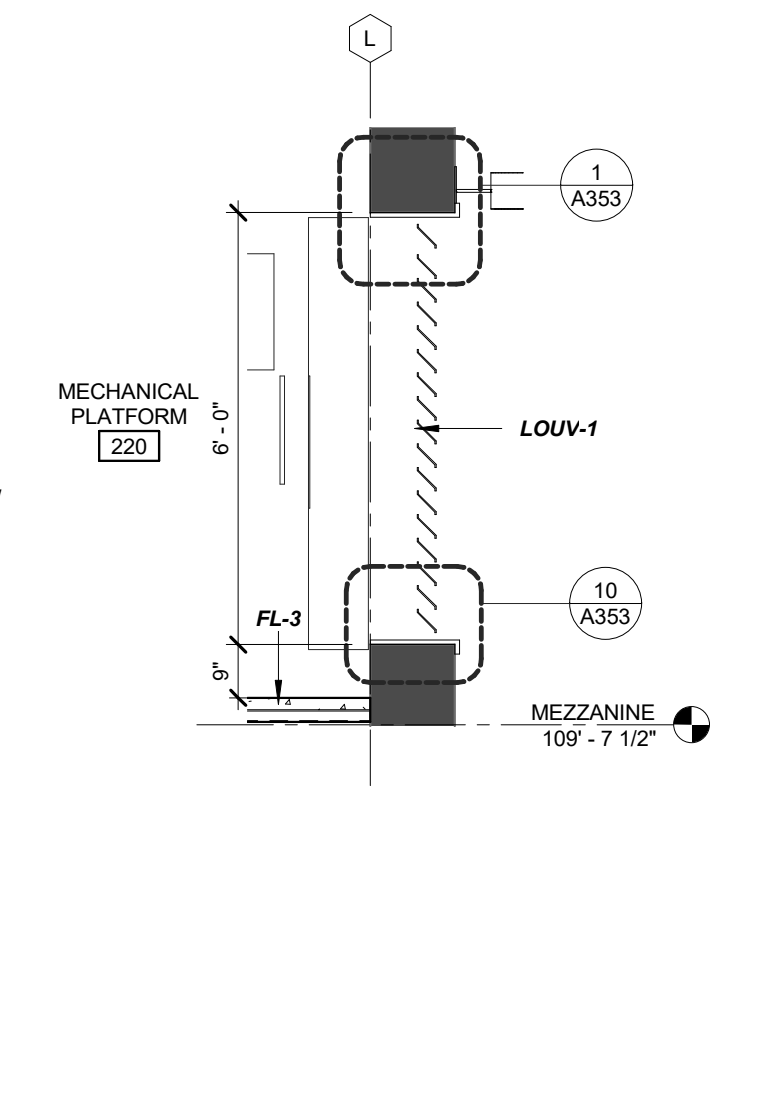
5 CW + GARAGE
A302 3/8" = 1'-0"



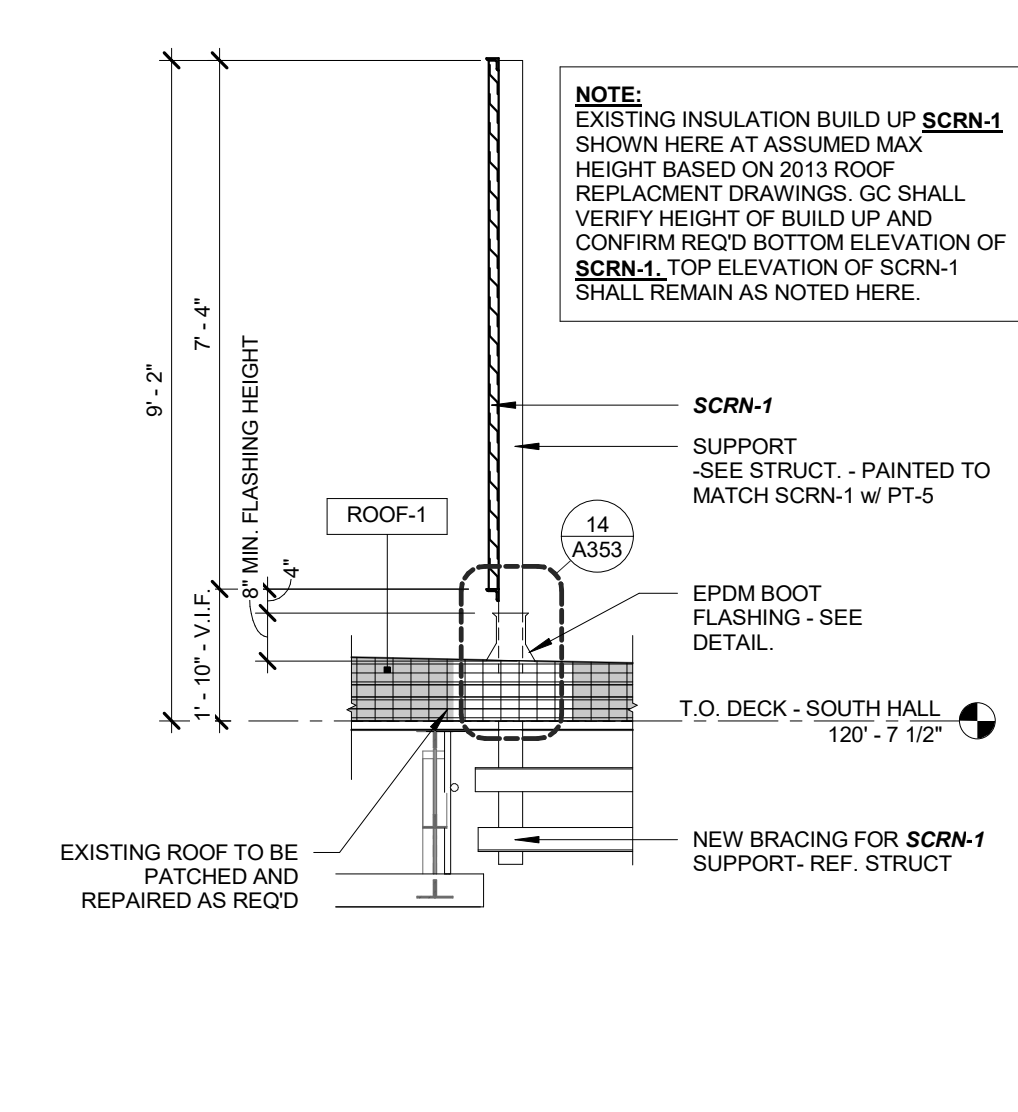
6 SKYLIGHT
A302 3/8" = 1'-0"



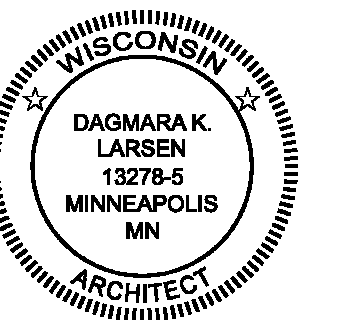
9 SKYLIGHT - LONGITUDINAL
A302 3/8" = 1'-0"



7 LOUVER SECTION
A302 3/8" = 1'-0"



8 ROOF TOP EQUIPMENT SCREEN
A302 3/8" = 1'-0"



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building elevations
exterior rendering 01



building plans
interior rendering 01



building plans
interior rendering 02

