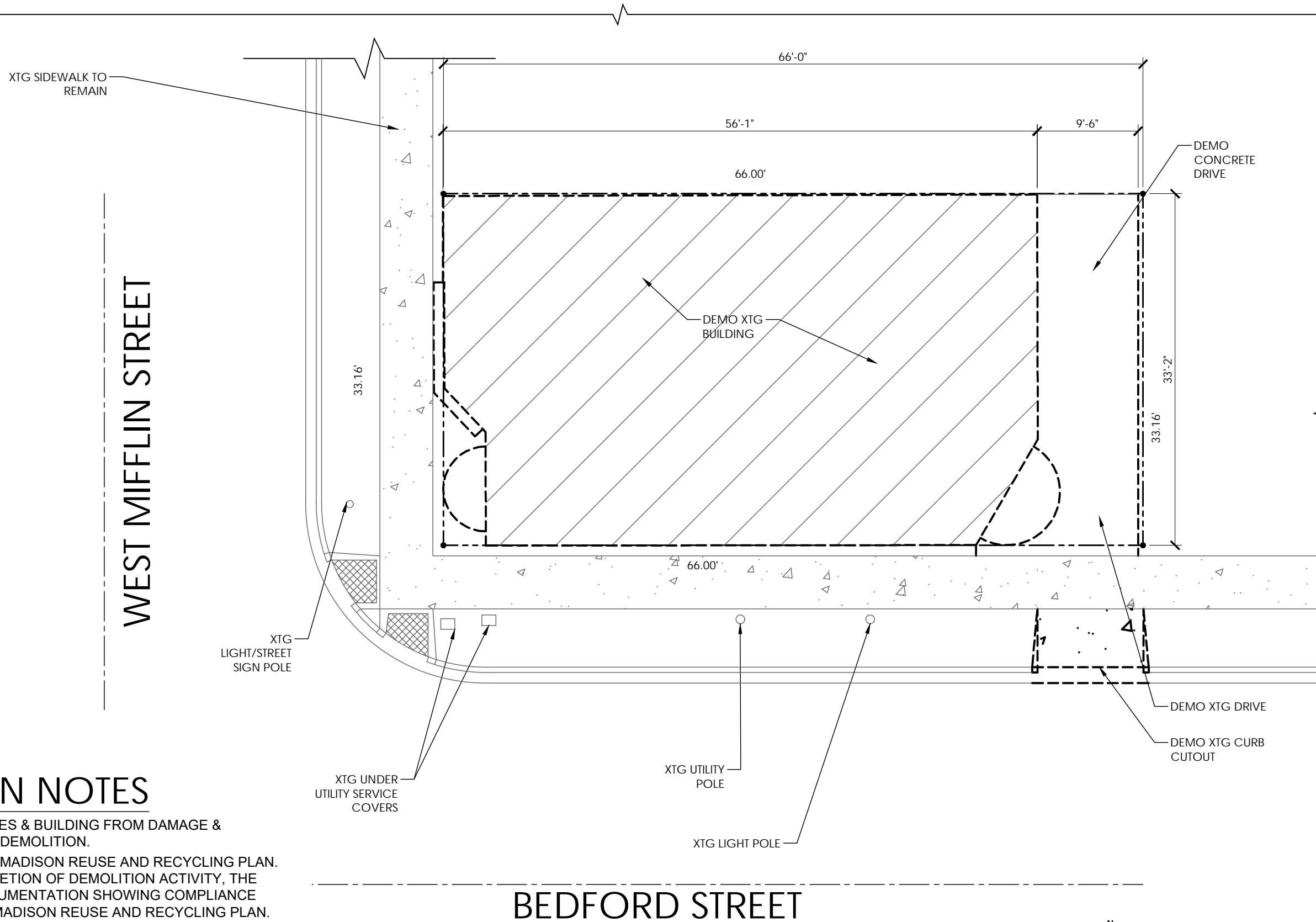


PLOT DATE: 09/23/2021

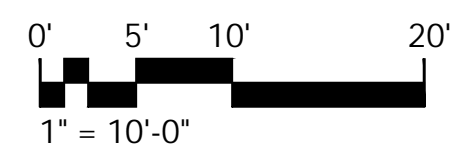


## GENERAL PLAN NOTES

1. PROTECT ADJACENT PROPERTIES & BUILDING FROM DAMAGE & EXCESSIVE VIBRATION DURING DEMOLITION.
2. COMPLY W/APPROVED CITY OF MADISON REUSE AND RECYCLING PLAN. WITHIN 60 DAYS OF THE COMPLETION OF DEMOLITION ACTIVITY, THE APPLICANT SHALL SUBMIT DOCUMENTATION SHOWING COMPLIANCE WITH THE APPROVED CITY OF MADISON REUSE AND RECYCLING PLAN.
3. VERIFY LOCATIONS OF ALL UTILITIES WITH UTILITY CO. PRIOR TO STARTING DEMOLITION. COORDINATE ANY UTILITY WORK TO MINIMIZE DISRUPTION TO NEIGHBORS.
4. DEMOLITION WORK SHALL BE DONE DURING HOURS ALLOWED BY CITY OF MADISON.
5. DEMOLITION CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS NECESSARY.

BEDFORD STREET

WEST MIFFLIN STREET



TRUE NORTH  
 PLAN NORTH  
**1 DEMO SITE PLAN**  
 1" = 10'-0"

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 555 WEST MIFFLIN STREET  
 MADISON, WI

ISSUANCES:

UDC MEETING: 10.06.2021

SHEET NUMBER  
**AD100**



VIEW FROM REAR OF BUILDING  
LOOK TOWARDS BEDFORD



VIEW FROM REAR OF BUILDING  
LOOK TOWARDS W MIFFLIN



VIEW FROM W MIFFLIN LOOKING AT  
REAR OF BUILDING & MAIN ENTRY



VIEW FROM BEDFORD  
LOOKING AT REAR ENTRY



VIEW FROM W MIFFLIN  
LOOKING AT MAIN ENTRY



VIEW FROM BEDFORD  
LOOKING AT MAIN ENTRY



VIEW FROM BEDFORD & W  
MIFFLIN LOOKING AT MAIN ENTRY

**1** XTG EXTERIOR PHOTOS  
NOT TO SCALE



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10/01/2021

SHEET NUMBER

AD101



VIEW FROM THE FRONT ENTRANCE  
LOOKING AT THE MAIN CORRIDOR



VIEW FROM MAIN CORRIDOR  
TOWARDS THE RESTROOM



VIEW FROM THE BACK ENTRANCE  
LOOKING AT THE OPEN SPACE



VIEW FROM THE BACK ENTRANCE  
LOOKING AT THE OPEN SPACE



VIEW FROM THE BACK ENTRANCE  
LOOKING AT THE OPEN SPACE



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DEMOLITION & SITE PLAN  
555 WEST MIFFLIN STREET  
MADISON, WI 53703

ISSUANCES:

10/01/2021

SHEET NUMBER

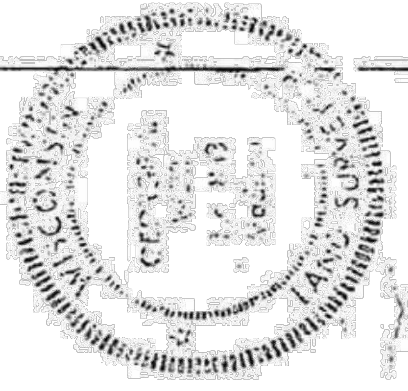
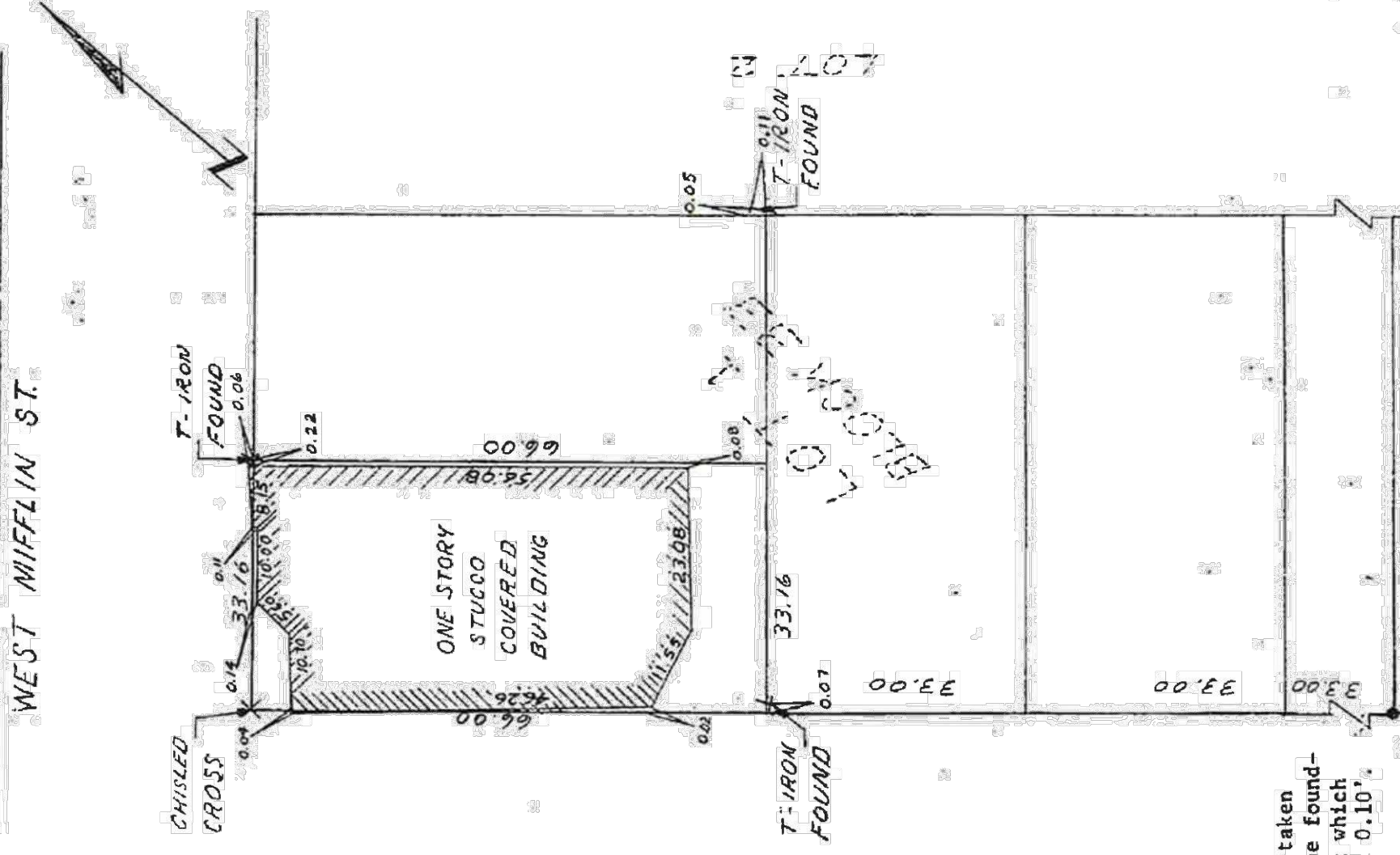
AD102

1 EXISTING INTERIOR PHOTOS  
NOT TO SCALE

GEORGE A. WEIR  
DANE COUNTY SURVEYOR  
City-County Building, Madison, Wisconsin  
Phone: Office 266-4251 Home 238-2852

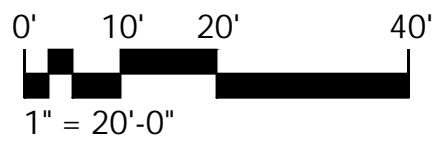
# SURVEY PLAT

WEST MIFFLIN ST.



NOTE: All measurements taken from bottom of the foundation of building which extends out about 0.10'.

LEGEND  
 Scale: 1 inch = 20 feet  
 ● iron stakes found  
 ○ iron stakes driven



Surveyed by G.A.R.  
 Drawn by A.D.J.  
 Traced by A.D.J.  
 Checked by GAW  
 Approved by GAW  
 Field Book 442 Page 27  
 Date of Survey Feb. 17, 1967

Map No. 5170 Map printed \_\_\_\_\_

Surveyed for: Soft Water Supply Co. Inc.  
555 W. Mifflin St., Madison 3, Wisconsin  
 Description-Location: Survey and Building Location of Part of Lot 1, Block 33, Original Plat of Madison, Dane County, Wisconsin

### SURVEYORS CERTIFICATE

I, George A. Weir, registered land surveyor No. S 843 of the State of Wisconsin, do hereby certify that I have surveyed and mapped according to the official records the property described and pictured hereon. I further certify that this plat is a true scaled and dimensioned representation of the boundaries, buildings, improvements and existing encroachments if any.

*George A. Weir*  
 George A. Weir Land Surveyor S 843

ISSUANCES:  
10/01/2021

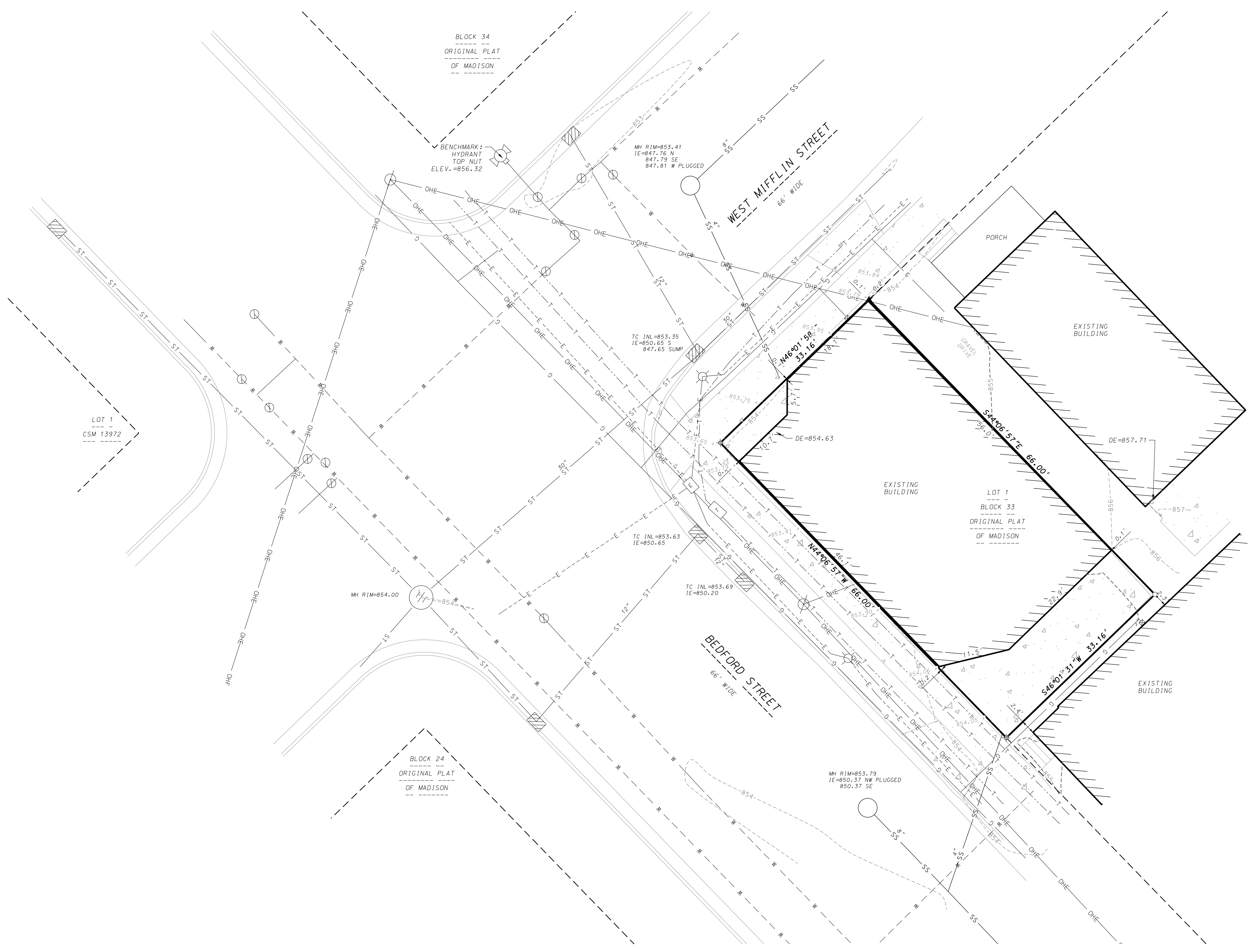
SHEET NUMBER

# C100

555 WEST MIFFLIN STREET  
 DEMOLITION & SITE PLAN  
 555 WEST MIFFLIN STREET  
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**LEGEND**

▲	FOUND "T" POST
⊗	PLACED CUT "X" IN CONCRETE
○	PLACED 3/4"x18" REBAR WT=1.5LBS/FT
SS	SANITARY SEWER
W	WATER MAIN
ST	STORM SEWER
G	GAS MAIN
OHE	OVERHEAD ELECTRIC
UHE	UNDERGROUND ELECTRIC
T	UNDERGROUND TELECOMMUNICATION
◊	ELECTRIC VAULT
◊	TELECOMMUNICATION VAULT
○	MANHOLE
⊘	CATCH BASIN/INLET
⊙	POWER POLE
⊙	LIGHT POLE
⊙	GAS METER
⊙	VALVE
⊙	HYDRANT
◻	CONCRETE
▬	CONCRETE CURB AND GUTTER
DE	DOORWAY ELEVATION
~	EXISTING CONTOUR
853.84 +	SPOT ELEVATION (@ PLUS SIGN)

**SURVEYOR'S CERTIFICATE**

I, Brett T. Stoffregan, Professional Land Surveyor, S-2742, hereby certify that I have surveyed and mapped the above property in accordance with information furnished and in compliance with the requirements of Chapter A-E 7, Wisconsin Administrative Code and that the map hereon is a correct representation of such survey to the best of my knowledge and belief.

Dated this 25th day of June, 2021.

*Brett T. Stoffregan*  
 Brett T. Stoffregan, Professional Land Surveyor, S-2742

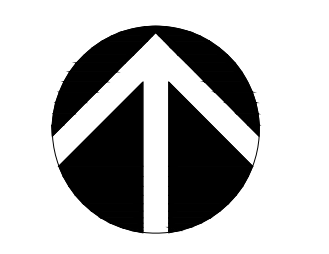


**LEGAL DESCRIPTION**

The Northwest 66 feet of the Southwest 1/2 of Lot 1, Block 33, Original Plat of Madison, City of Madison, Dane County, Wisconsin.

**NOTES**

1. Surveyed for: Bachmann Construction
2. Survey work completed June 16, 2021.



THE NORTHEAST RIGHT-OF-WAY  
 LINE OF BEDFORD STREET IS  
 ASSUMED TO BEAR  
 N44°02'57"W

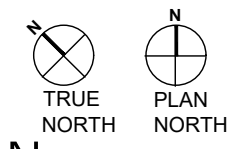
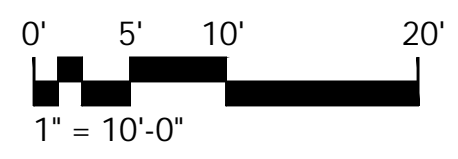
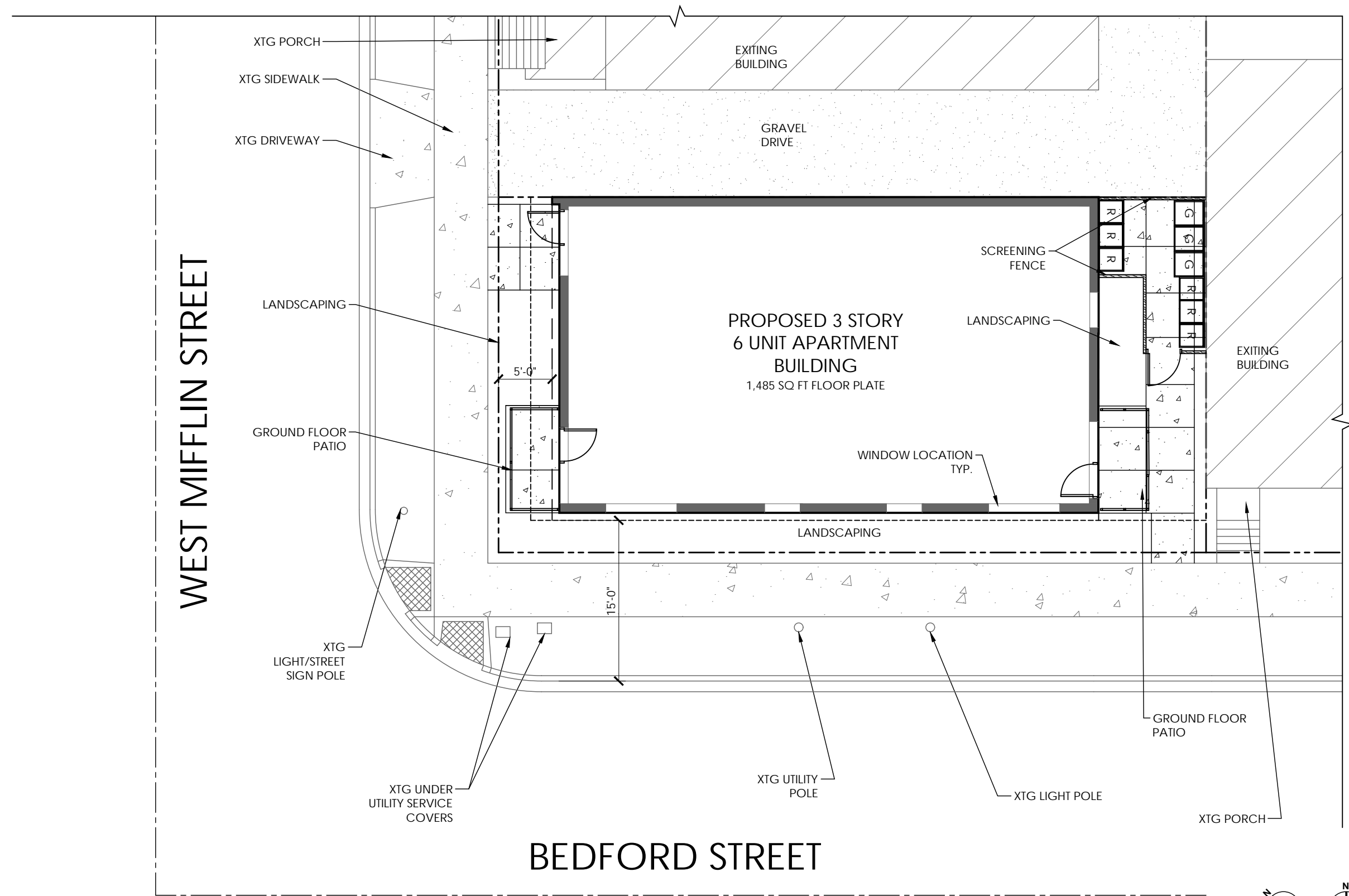
SCALE: 1" = 10'

DATE: 06-25-21  
 REVISED:  
 X

FN: 21-02-134

Sheet Number:  
**C101**

PLOT DATE: 09/24/2021



**1** SITE PLAN  
1" = 10'-0"



### LANDSCAPE REQUIREMENTS SUMMARY

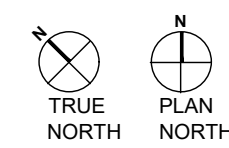
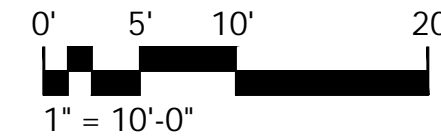
**DEVELOPED AREA REQUIREMENT:**  
(5 POINTS PER 300 SQ FT OF DISTURBED AREA)

NEW DEVELOPED AREA = 2189 SQ FT  
POINTS REQUIRED = 40 POINTS

LANDSCAPE POINTS PROVIDED = 244 POINTS

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB-TOTAL
<b>PERENNIALS</b>					
HA	Aster sp.	Hardy Asters	14	2	28
HT	Hosta sp.	Hosta	3	2	6
PMD	Hemerocallis 'Pardon Me'	Pardon Me Daylily	15	2	30
<b>ORNAMENTAL GRASS</b>					
NSO	Chasmanthium latifolium	Northern Sea Oats	4	2	8
<b>SHRUBS</b>					
AC	Ribes alpinum	Alpine Currant	6	3	18
BSJ	Juniperus squamata	Blue Star Juniper	15	4	60
GFS	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	12	3	36
LG	Thuja occidentalis	Little Giant Arborvitae	4	10	40
<b>VINES</b>					
BV	Parthenocissus tricuspidata	Boston ivy	9	2	18
<b>Points Total</b>					<b>244</b>

BEDFORD STREET



1 LANDSCAPE PLAN  
1" = 10'-0"

ISSUANCES:  
UDC MEETING: 10.06.2021

SHEET NUMBER  
**L100**

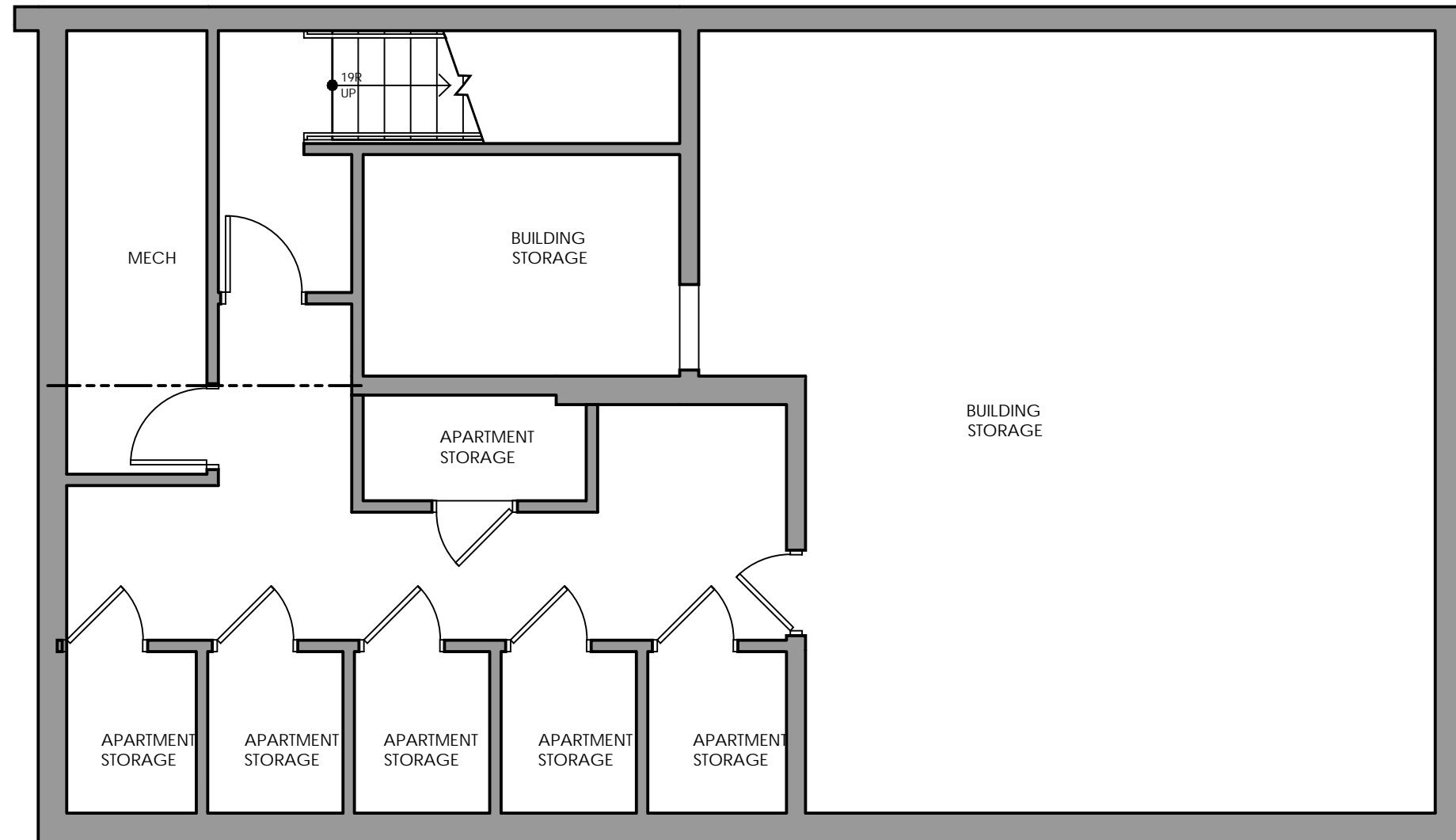
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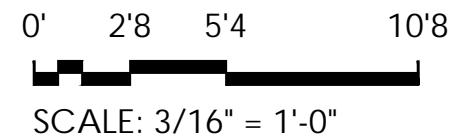
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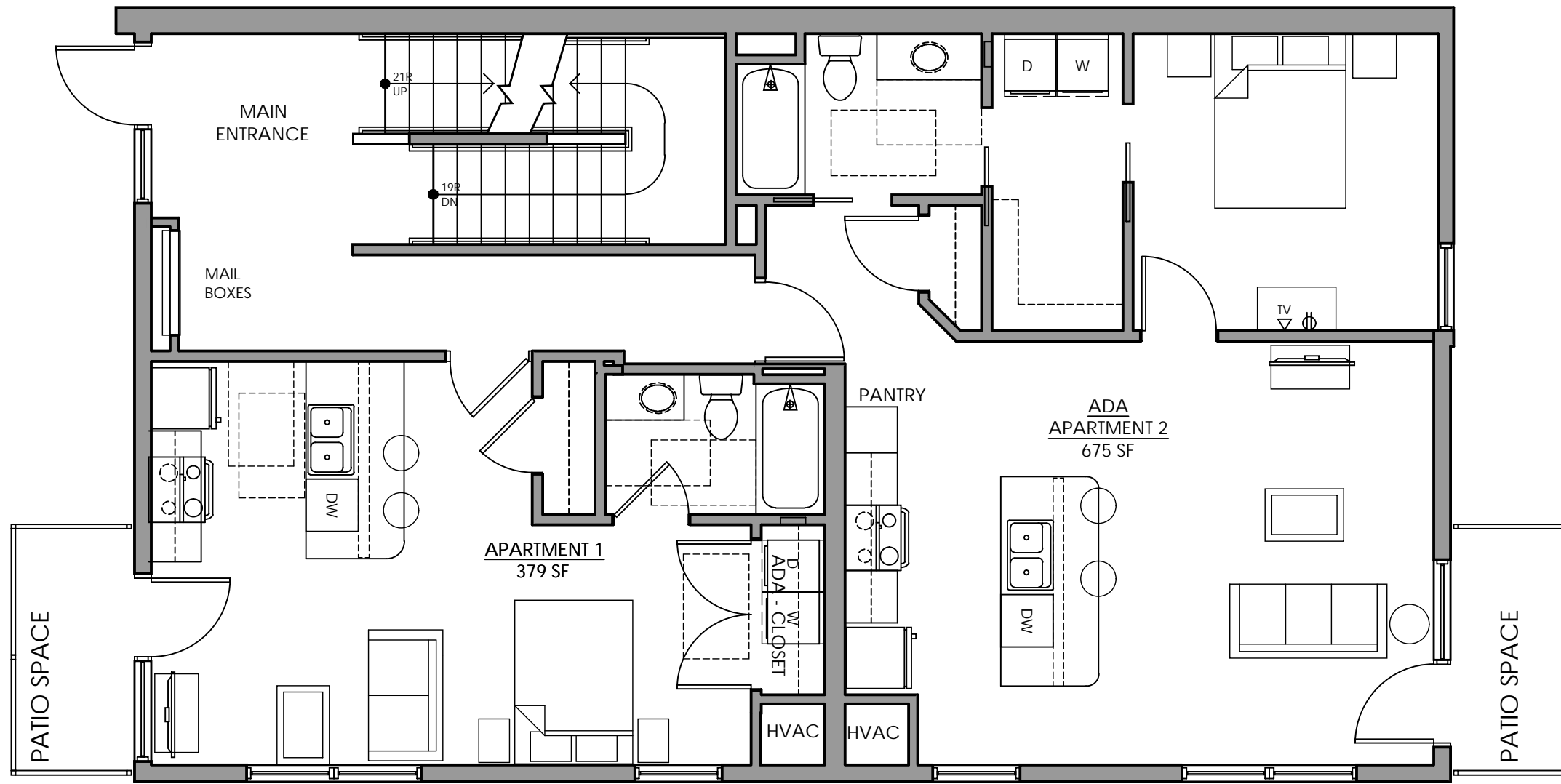
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**1** BASEMENT LEVEL  
3/16" = 1'-0"



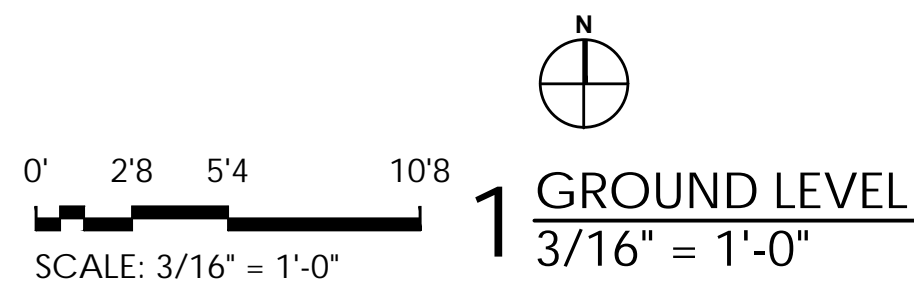
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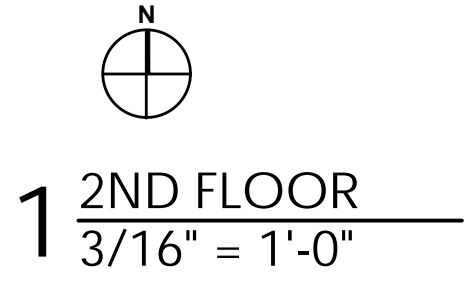
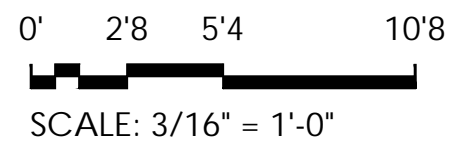
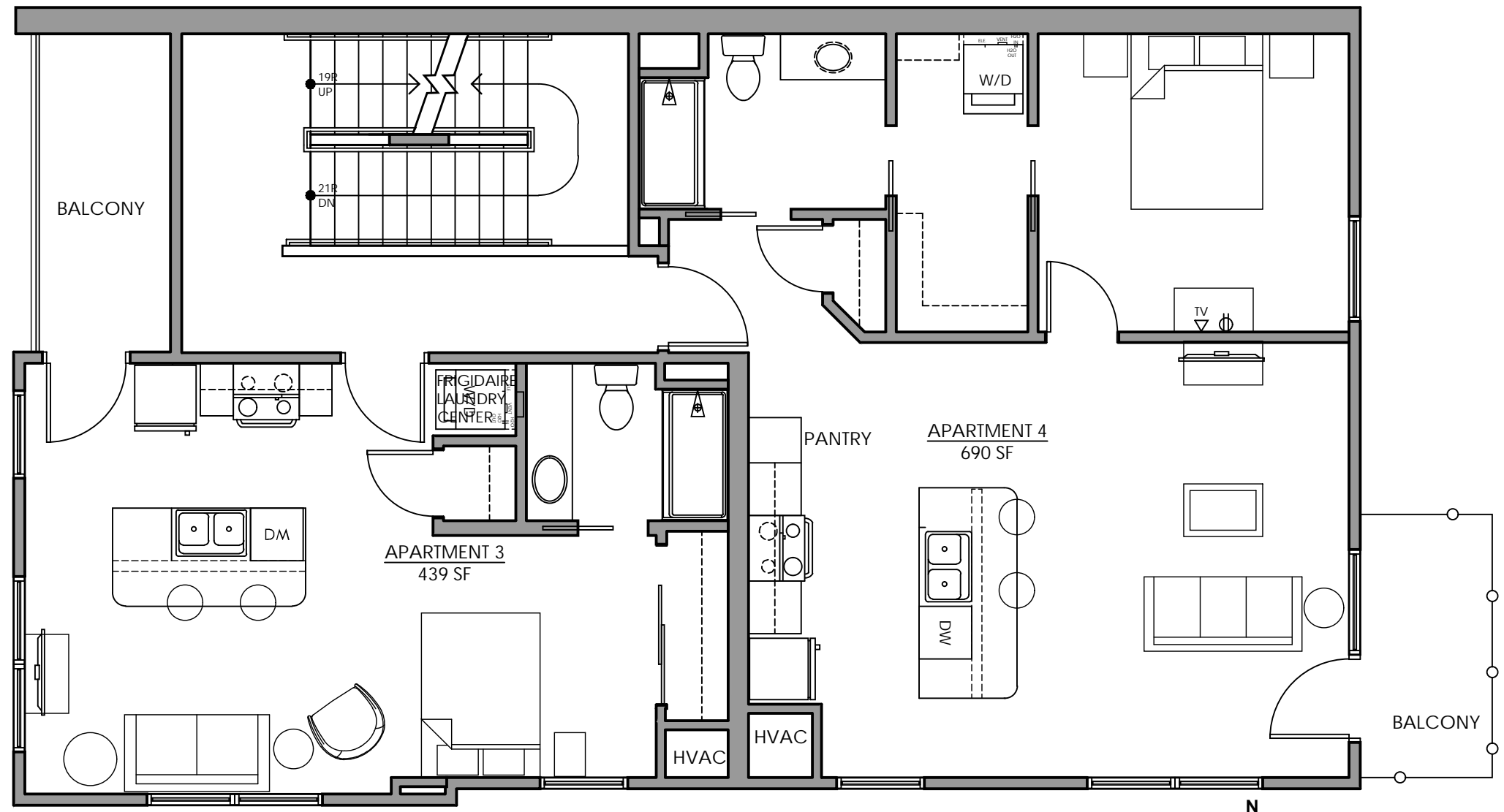


555 WEST MIFFLIN STREET  
6 UNIT APARTMENT BUILDING  
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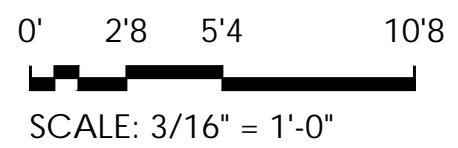
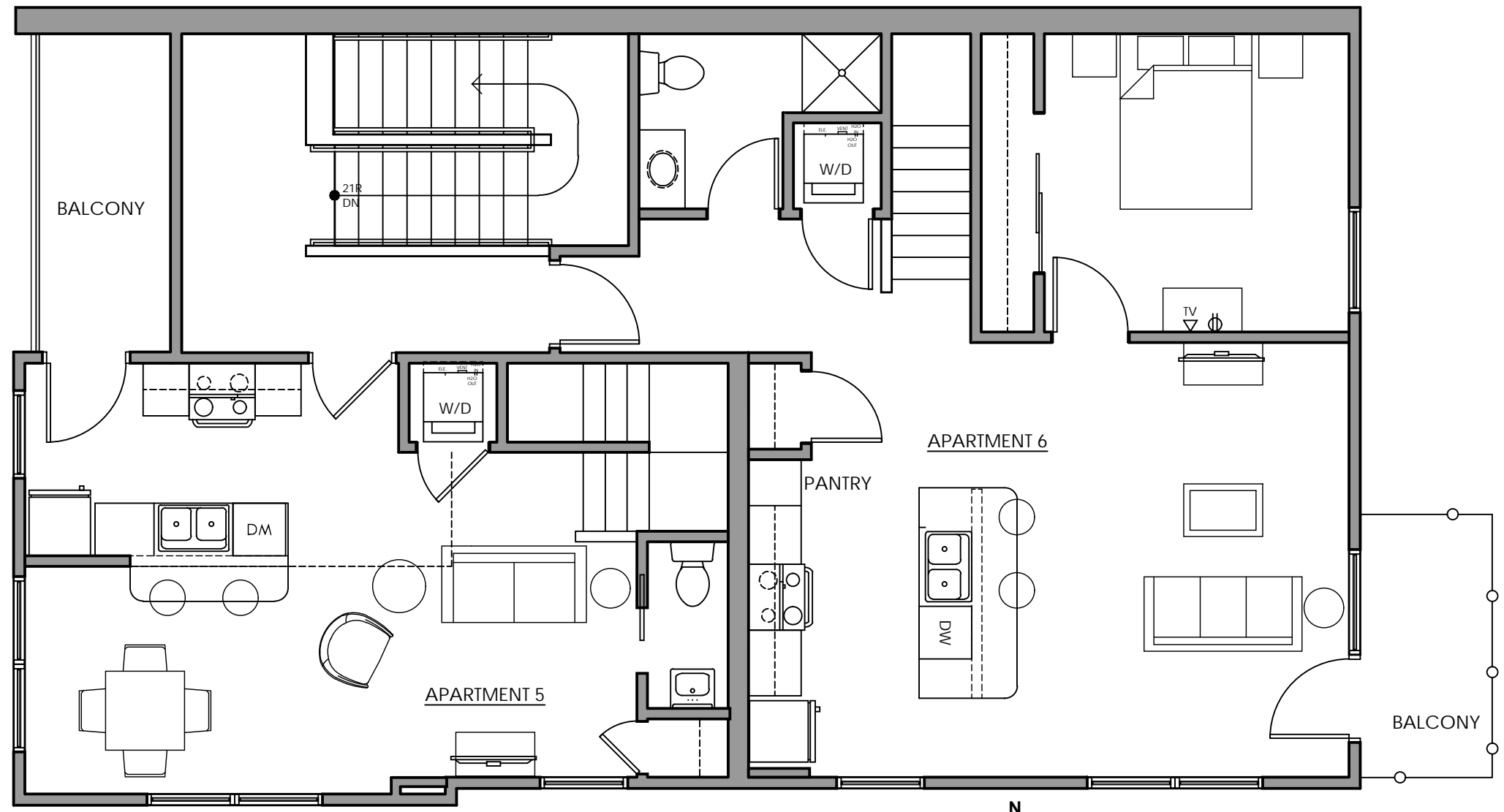




ISSUANCES:

UDC MEETING: 10.06.2021

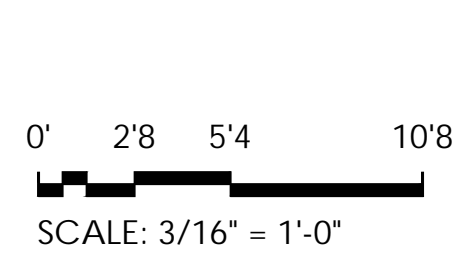
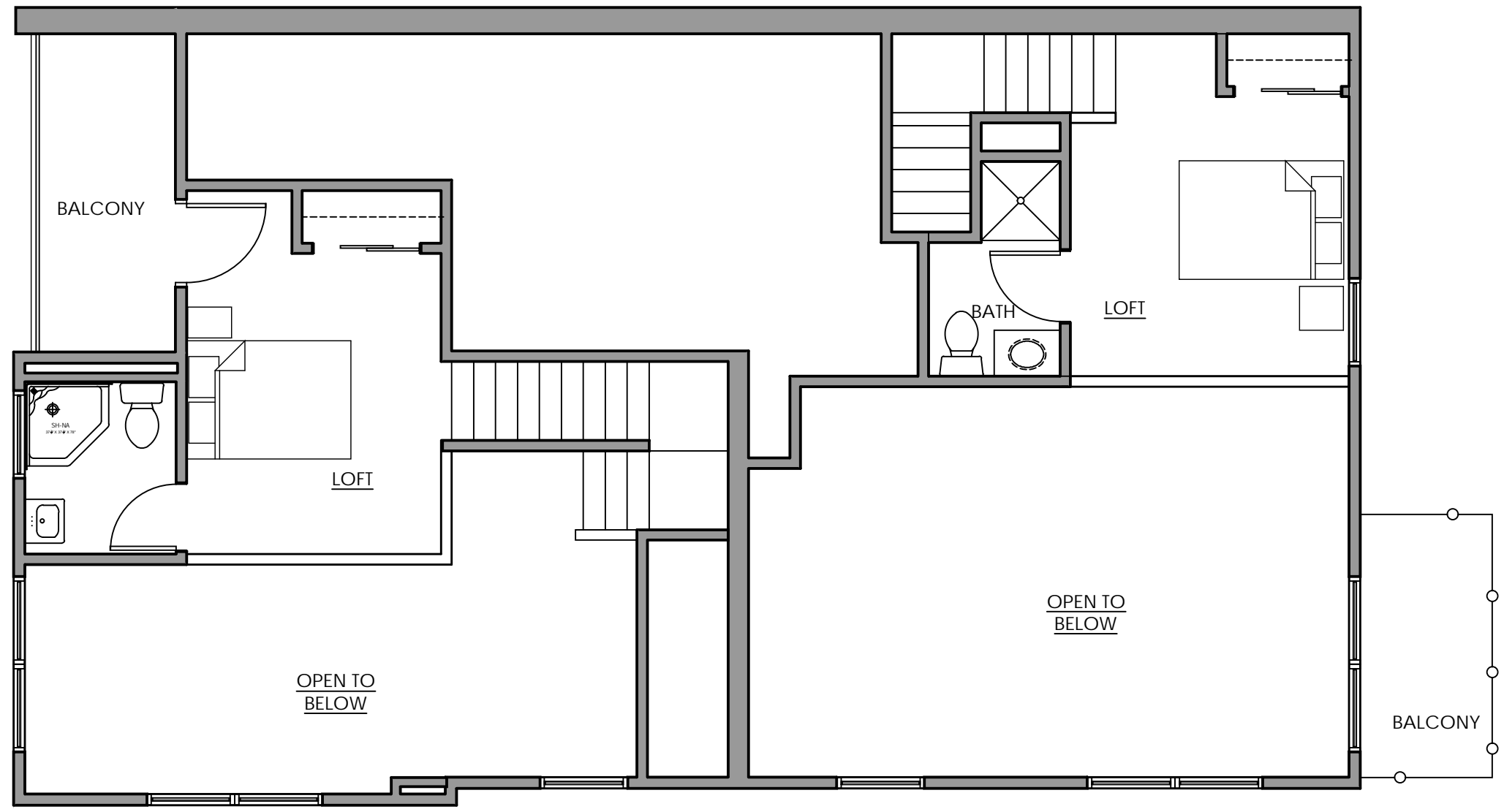
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<b>A102</b>



N  
1 3RD FLOOR (LOWER LOFT LEVEL)  
3/16" = 1'-0"

ISSUANCES:  
UDC MEETING: 10.06.2021

SHEET NUMBER  
A103



N  
1 3RD FLOOR (UPPER LOFT LEVEL)  
3/16" = 1'-0"

ISSUANCES:

UDC MEETING: 10.06.2021

SHEET NUMBER
A104

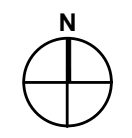
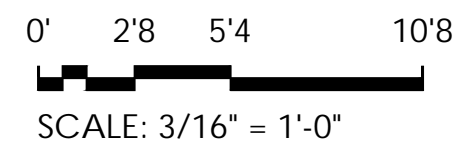
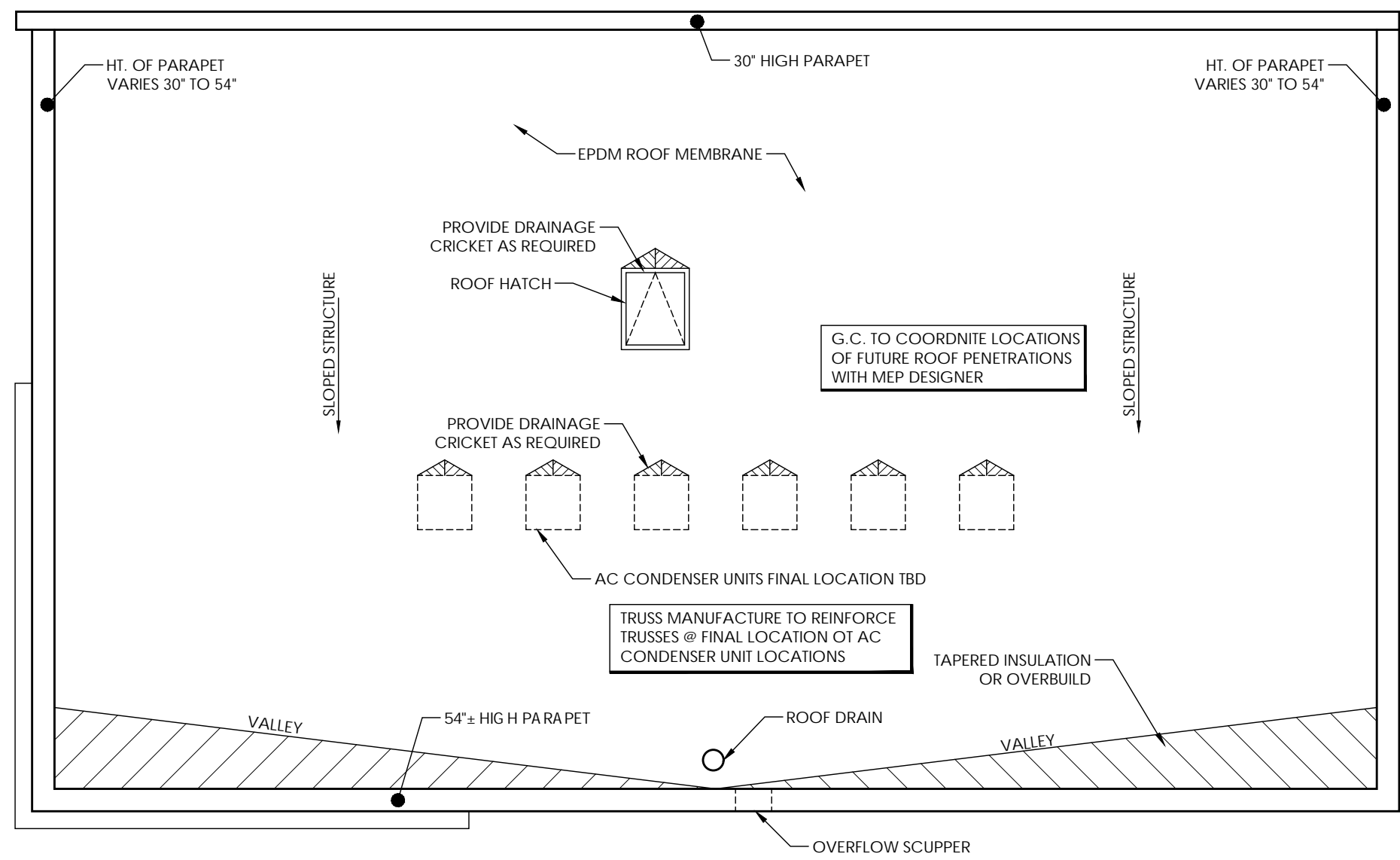
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1 ROOF PLAN  
3/16" = 1'-0"

ISSUANCES:

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SHEET NUMBER  
**A105**

PLOT DATE: 09/23/2021



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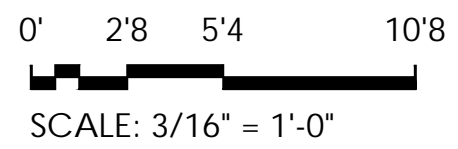
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UDC MEETING: 10.06.2021

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**A302**

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**2 WEST MIFFLIN STREET ELEVATION**  
3/16" = 1'-0"



**1 REAR ELEVATION**  
3/16" = 1'-0"

PLOT DATE: 09/23/2021



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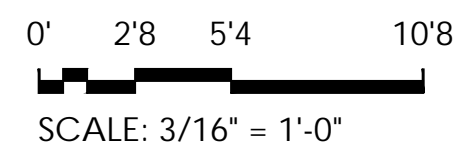
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ISSUANCES:  
UDC MEETING: 10.06.2021

SHEET NUMBER  
**A303**

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**1 BEDFORD STREET ELEVATION**  
3/16" = 1'-0"