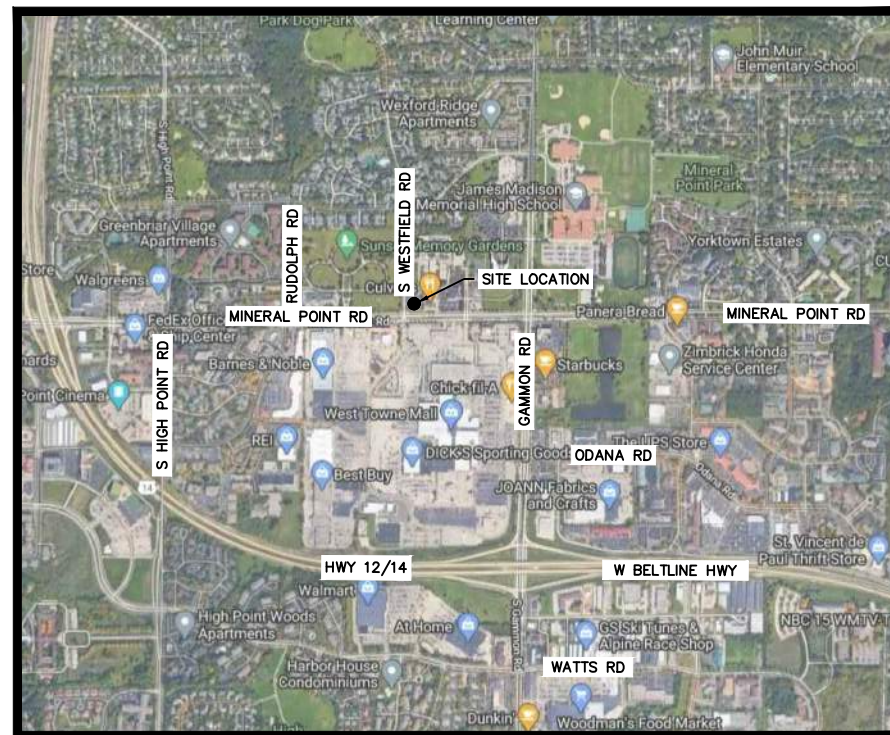


333 S. WESTFIELD ROAD

PARKING LOT AND UTILITY IMPROVEMENTS

CITY OF MADISON, WISCONSIN



PROJECT LOCATION

SCALE: NTS

PROJECT CONTACTS:

CIVIL ENGINEER:
 PROFESSIONAL ENGINEERING, LLC.
 CONTACT: ROXANNE JOHNSON, PE
 818 N. MEADOWBROOK LANE
 WAUNAKEE, WI 53597
 (608) 849-9378

ARCHITECT:
 SKETCHWORKS ARCHITECTURE, LLC
 CONTACT: BRAD KONING
 7780 ELMWOOD AVE, SUITE 208
 MIDDLETON, WI 53562
 (608) 836-7570

OWNER:
 333 WESTFIELD, LLC
 CONTACT: STEVE DORAN
 800 WEST BROADWAY, SUITE 500
 MADISON, WI 53713



Call 811 3 Work Days Before You Dig
 or Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

LIST OF DRAWINGS

SHEET NO.	TITLE
T100	TITLE SHEET
C100	EXISTING CONDITIONS
C101	DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING PLAN
C301	EROSION CONTROL PLAN
C400	UTILITY PLAN
C401	STORM SEWER SCHEDULE
C500	SITE DETAILS
C501	SITE DETAILS
C502	SITE DETAILS
C503	SITE DETAILS
L1.1	LANDSCAPE PLAN
G005	PROPOSED EXTERIOR RENDERINGS
G006	PROPOSED BUILDING MATERIALS
A101	FLOOR PLAN
A103	ROOF PLAN
A201	EXTERIOR ELEVATIONS (B/W)
A202	EXTERIOR ELEVATIONS (B/W)
A203	EXTERIOR ELEVATIONS (COLOR)

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-08-2021

818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

333 S. WESTFIELD ROAD
TITLE SHEET
 333 S WESTFIELD ROAD
 MADISON, WISCONSIN

T100

D



EXISTING BUILDING INTERIOR



EXISTING BUILDING INTERIOR

C



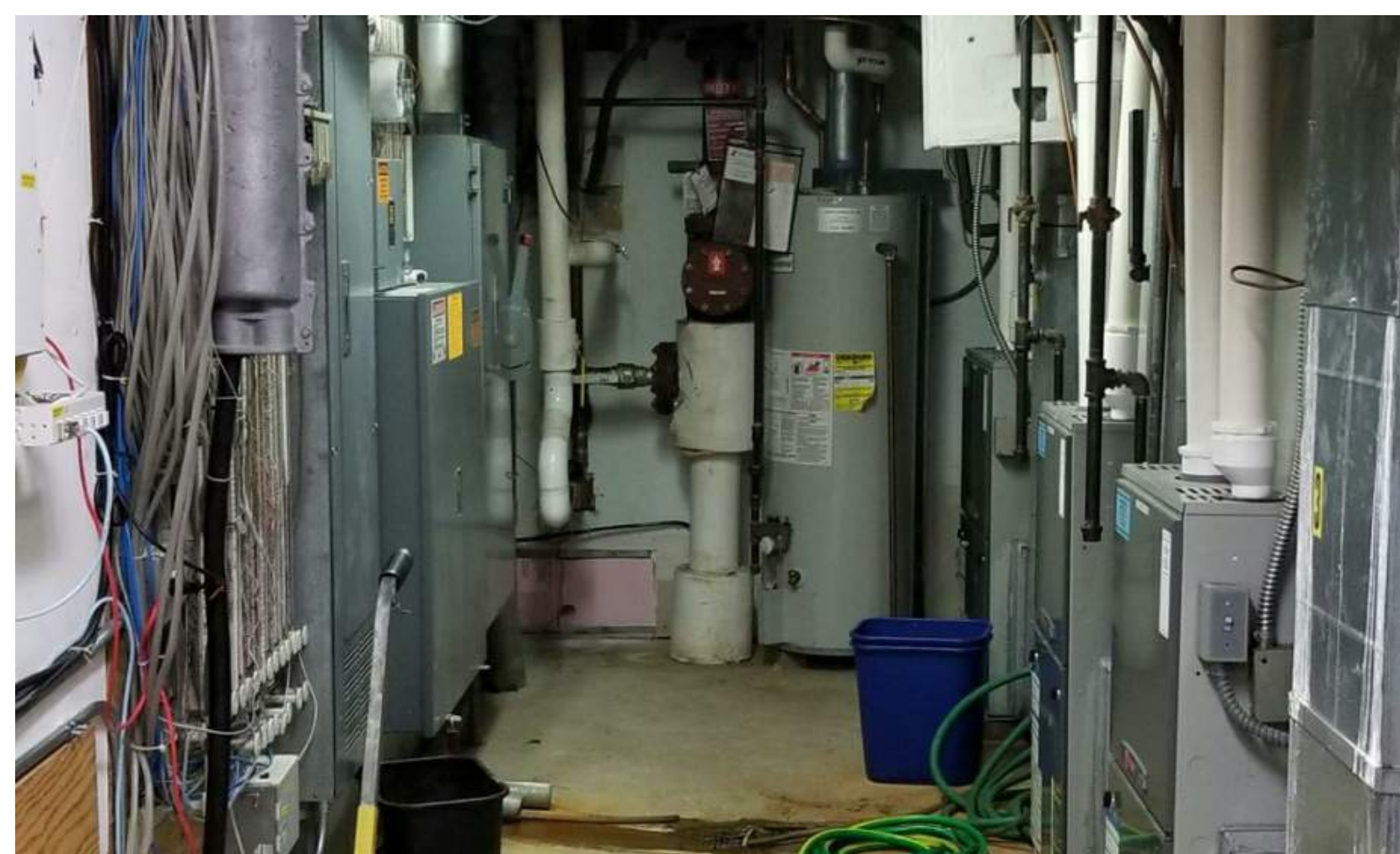
EXISTING BUILDING INTERIOR

B



EXISTING BUILDING INTERIOR

A



EXISTING BUILDING INTERIOR

OLD NATIONAL BANK REDEVELOPMENT
MULTI-TENANT REDEVELOPMENT
333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status	

PROJ. #: 20001-01
© SKETCHWORKS ARCHITECTURE 2020

EXISTING CONDITIONS

G003

D



C

B



A

OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT

333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status

PROJ. #: 20001-01

© SKETCHWORKS
ARCHITECTURE 2020

**EXISTING
BUILDING
CONTEXT**

G004

C.S.M. 4263
Lot 1

Exception 16: 10' wide Private Storm Sewer Easement in Doc. No. 1814862 (5' of width lies in Lot 2)

Site Benchmark: Top of Solid Iron Rod at NE corner of this parcel: Elevation=1061.96' NAVD 88(12)

Arc Length=20.20'
Radius=356.23'
Delta Angle=3°15'36"
Chord=S 89°33'56" E 20.20'
(S 89°33'36" E) (20.26')

C.S.M. 4263
Lot 3

Exception 16: Existing 32'-wide Ingress/Egress Easement in Doc. No. 1814862 (off site)

Parcel Contains
39,661 S.F.
0.91 Acres

C.S.M. 4263
Lot 2

Exception 13 & 16: Sewer Easement to the City of Madison, in Doc. No. 1255072

Exception 12 & 16: Easement to The American Telephone and Telegraph Company in Doc. No. 1035732. Reassigned in Doc. No. 1172678

Arc Length=40.13'
Radius=25.00'
Delta Angle=91°58'02"
Chord=N 44°49'35" W 35.96'
(N 45°11'17" W) (35.97')

Legal Description as provided in First American Title Insurance Company commitment file number NCS-1037844-MAD, dated November 07, 2020 at 7:30 AM:

LOT 2 OF CERTIFIED SURVEY MAP NO. 4263 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON DECEMBER 29, 1983, IN VOLUME 18 OF CERTIFIED SURVEY MAPS, PAGES 116-118 AS DOCUMENT NO. 1814862, BEING OUTLOT 1 AND PART OF LOT 2, CERTIFIED SURVEY MAP NO. 3077, LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 8 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

Schedule B-II Exceptions: as detailed in First American Title Insurance Company commitment file number NCS-1037844-MAD, dated November 07, 2020 at 7:30 AM:

12. Utility Easement to The American Telephone and Telegraph Company of Wisconsin and Wisconsin Telephone Company, dated September 15, 1961, recorded/ filed October 25, 1961 in Volume 368, Page 240 as Document No. 1035732.

The above identified easement was assigned from The American Telephone and Telegraph Company of Wisconsin, a Wisconsin corporation to Wisconsin Telephone Company, a Wisconsin corporation recorded on October 31, 1966 in Volume 453 of Misc. Page 383 as Document No. 1172678. APPLIES AND AFFECTS, SHOWN HEREON.

13. Sewer Easement to the City of Madison, a municipal corporation, dated September 25, 1969, recorded/ filed December 01, 1969 in Volume 147, Page 297 as Document No. 1255072. APPLIES AND AFFECTS, SHOWN HEREON.

14. Terms, conditions, restrictions and provisions as contained in a Resolution No. 33,828 recorded on December 21, 1978 in Volume 1025, Page 380 as Document No. 1605145. APPLIES, NOT A SURVEYING OR MAPPING MATTER.

15. Covenants, conditions, restrictions and easements in the document recorded December 30, 1983 in Volume 5235, Page 78 as Document No. 1814944 of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. APPLIES, NOT A SURVEYING OR MAPPING MATTER.

16. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 3077 recorded on December 21, 1978 in Volume 12 of Certified Surveys, Page 86 as Document No. 1605146, and on Certified Survey Map No. 4263 recorded on December 29, 1983 in Volume 18 of Certified Survey Maps, Pages 116-118 as Document No. 1814862 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. APPLIES AND AFFECTS, SHOWN HEREON.

NOTES:

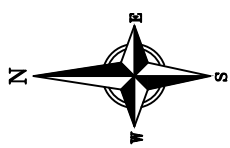
1. Size and location of Public and Private Utilities are based on Field markings and Maps provided by the City of Madison. All effort has been made to accurately portray these features, but this drawing should not be used for digging purposes. Contact Digger's Hotline prior to excavations (811). Inverts of pipes shown are to be considered approximate due to the fact that they are not fully visible, and inverts in manholes are either field measured or verified from Utility maps.
2. Site Benchmark is the Northeast Property corner, top of Solid Iron Rod=1061.96', USGS NAVD 88 Datum.

LEGEND

- SOLID IRON ROD FOUND (0.75" Dia. unless noted)
- 3/4"x18" SOLID IRON ROD SET 1.50lbs./LINEAL FOOT.
- () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.
- ⊗ Water Gate valve
- ⊕ Light Pole
- ⊥ Signs
- ⊞ Utility pedestal or manhole
- ⊞ Electric Transformer
- ⊞ Hydrant
- san — Sanitary Sewer
- w — Water
- s — Storm Sewer
- g — Gas
- e — Electric
- t — Telephone
- fo — Fiber Optic
- charter — Charter

MINERAL POINT ROAD
(120' wide Public Right-of-way)

EX 10" WATER MAIN
S. WESTFIELD ROAD
(80' wide Public Right-of-way)



0 15 30 45
SCALE : 1" = 15' (22 X 34)
1" = 30' (11 X 17)

PREPARED FOR:
333 WESTFIELD, LLC
800 W. BROADWAY, Suite 500
MADISON, WI 53713
PREPARED BY:
ISTHMUS SURVEYING, LLC
450 NORTH BALDWIN STREET
MADISON, WI 53703
(608) 244.1090
www.isthmussurveying.com



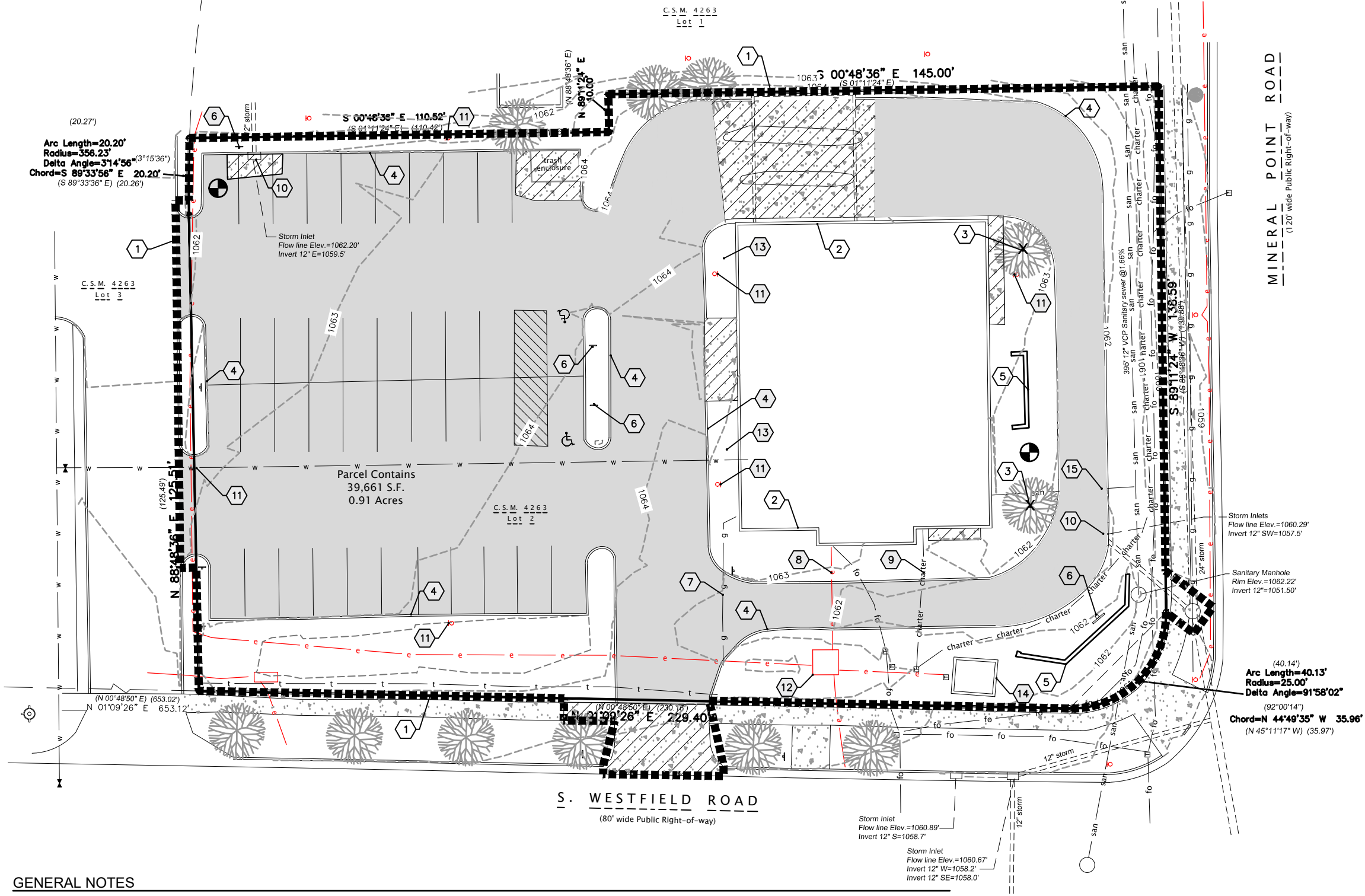
ISSUANCE/REVISION	SITE PLAN APPROVAL	DATE
		02-16-2021

818 N Meadowbrook Ln
Wauwatosa, WI 53597
phone (608) 849-9378
www.pe-wi.com



333 S. WESTFIELD ROAD
EXISTING CONDITIONS
333 S WESTFIELD ROAD
MADISON, WISCONSIN

C100



PLAN KEY

- 1 CONSTRUCTION LIMITS
- 2 REMOVE BUILDING AND FOUNDATIONS
- 3 REMOVE TREE AND STUMP
- 4 REMOVE CONCRETE CURB AND GUTTER, TYP.
- 5 REMOVE STONE WALL
- 6 REMOVE SIGNAGE, TYP.
- 7 RELOCATE GAS LINE. CONTRACTOR TO COORDINATE WORK WITH GAS UTILITY.
- 8 RELOCATE ELECTRIC LINE. CONTRACTOR TO COORDINATE WORK WITH MG&E.
- 9 RELOCATE TELECOMMUNICATION LINE. CONTRACTOR TO COORDINATE WORK WITH UTILITY.
- 10 REMOVE STORM SEWER. IF EXISTING UTILITIES IN THE RIGHT OF WAY PROHIBIT REMOVAL, PLUG AT THE INLET AND PROPERTY LINE ACCORDING TO CITY REQUIREMENTS
- 11 REMOVE EXISTING LIGHT POLE AND BASE
- 12 EXISTING TRANSFORMER TO BE RELOCATED
- 13 LANDSCAPING/VEGETATION TO BE REMOVED, TYP.
- 14 EXISTING TELEPHONE SHED TO REMAIN
- 15 REMOVE SANITARY LATERAL ACCORDING TO CITY REQUIREMENTS
- 16 ABANDON EXISTING 1.5" WATER SERVICE. CUT AND CAP THE SERVICE LATERAL AT THE PROPERTY LINE

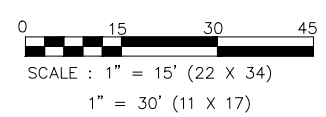
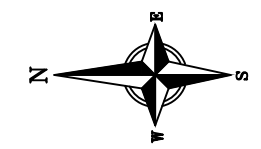
DEMOLITION LEGEND

- REMOVE EXISTING CONCRETE
- REMOVE EXISTING ASPHALT

GENERAL NOTES

1. CONTRACTOR TO OBTAIN A CITY OF MADISON RIGHT- OF-WAY PERMIT PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY. PERMIT FEES ASSOCIATED WITH WORK IN THE RIGHT-OF-WAY IS THE CONTRACTORS RESPONSIBILITY.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE 5 WORKING DAYS PRIOR TO START OF DEMOLITION/ CONSTRUCTION. CONTRACTOR TO PAY FOR PRIVATE LOCATES.
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING TREES, STUMPS, ROOTS, AND OTHER ITEMS THAT ARE NOT NOTED TO REMAIN PER THE CONSTRUCTION DRAWINGS AND WHICH INTERFERE WITH NEW CONSTRUCTION.
4. GENERAL CONTRACTOR TO DISPOSE OF ALL DEMOLITION / CONSTRUCTION MATERIALS OFF SITE IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED.
5. ALL MATERIALS, UTILITIES, AND SIDEWALK DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR SHALL PROTECT ALL EXISTING FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALK, ETC.) THAT ARE TO REMAIN.
7. REMOVE SIDEWALK TO THE NEAREST JOINT.
8. INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/ CONSTRUCTION.
9. ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
10. ALL EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
11. PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC TO ADJACENT PARKING LOT DURING CONSTRUCTION.

NOTE:
RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



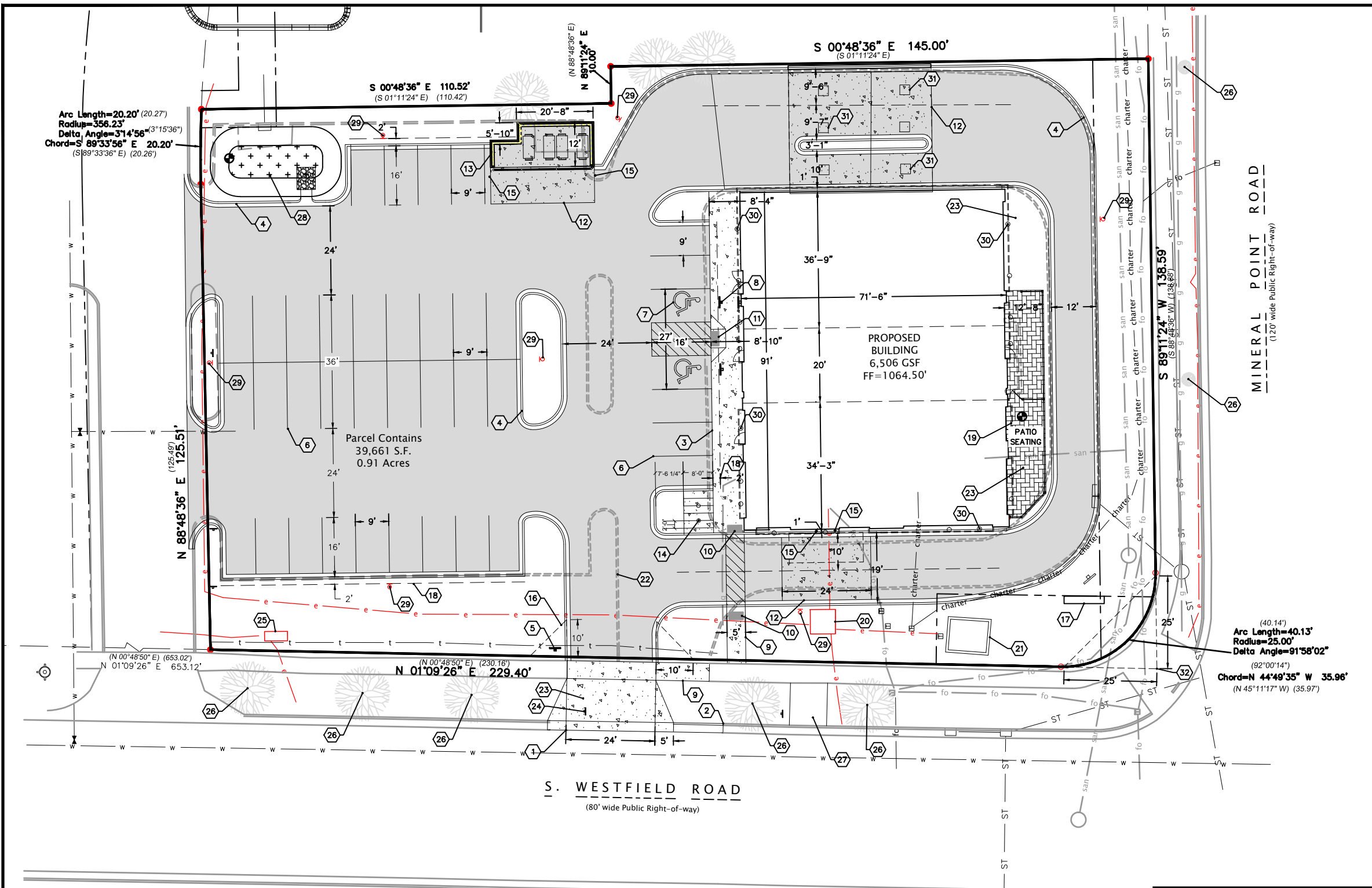
ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-16-2021

818 N Meadowbrook Ln
Wauwatosa, WI 53597
phone (608) 849-9378
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PROFESSIONAL ENGINEERING LLC

333 S. WESTFIELD ROAD
DEMOLITION PLAN
333 S WESTFIELD ROAD
MADISON, WISCONSIN

C101



PLAN KEY

- 1 NEW DRIVEWAY APPROACH IN ACCORDANCE WITH CITY STANDARDS. CONTRACTOR TO OBTAIN STREET EXCAVATION PERMIT FROM THE CITY TO WORK IN THE RIGHT-OF-WAY
- 2 30" CITY CURB AND GUTTER
- 3 THICKENED EDGE CONCRETE, TYP.
- 4 18" CURB AND GUTTER, TYP.
- 5 7' STOP SIGN
- 6 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 7 ACCESSIBLE STALL, TYP.
- 8 VAN ACCESSIBLE PARKING SIGN, TYP.
- 9 CONCRETE SIDEWALK, TYP.
- 10 CURB RAMP, TYPE 1 W/ DETECTABLE WARNING FIELD, TYP
- 11 CURB RAMP, TYPE 2 W/ DETECTABLE WARNING FIELD, TYP.
- 12 CONCRETE PAVEMENT
- 13 SCREENED DUMPSTER, (SEE ARCHITECTURAL PLANS)
- 14 SIX (6) SINGLE SIDED BIKE RACKS, BY OWNER
- 15 BOLLARD, TYP.
- 16 10'X10' VISION TRIANGLE
- 17 MONUMENT SIGN, SEE ARCHITECTURAL PLANS
- 18 2' VEHICLE PARKING OVERHANG
- 19 PERMEABLE PAVEMENT
- 20 EXISTING TRANSFORMER TO BE RELOCATED
- 21 EXISTING TELEPHONE UTILITY SHED TO REMAIN
- 22 EXISTING CURB AND GUTTER SHOWN FOR REFERENCE
- 23 REMOVE TREE
- 24 RELOCATE SIGN
- 25 EXISTING TRANSFORMER TO BE REMAIN
- 26 PRESERVE AND PROTECT STREET TREE
- 27 EXISTING METRO CONCRETE PAD TO REMAIN
- 28 BIORETENTION AREA FOR STORMWATER MANAGEMENT
- 29 NEW LED LIGHT, POLE AND BASE - LOCATION TBD (ENTERPRISE LIGHTING)
- 30 RECESSED UNDER CANOPY LIGHTING 10' AFF (ENTERPRISE LIGHTING) TYP.
- 31 RECESSED LED DRIVE-THRU CANOPY LIGHTING (ENTERPRISE LIGHTING) TYP.
- 32 25'X25' VISION TRIANGLE

SITE INFORMATION

SITE ADDRESS: 333 S WESTFIELD ROAD

SITE ACREAGE TOTAL: 39,661 SF (0.91 ACRES)

NUMBER OF BUILDING STORIES = 1

BUILDING AREA = 6,506 GSF

EXISTING IMPERVIOUS AREA = 28,873 SF

PROPOSED IMPERVIOUS AREA = 29,472 SF

TOTAL PERVIOUS AREA = 10,189 SF

IMPERVIOUS SURFACE % = 74.5% (DOES NOT INCLUDE PERMEABLE PAVERS)

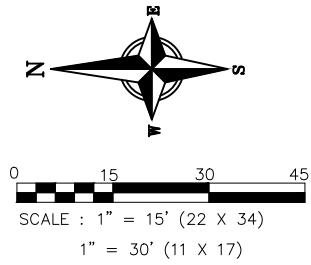
NUMBER OF PARKING STALLS: 38 (2 HC)

TOTAL BIKE PARKING: 4 STALLS

NOTE:

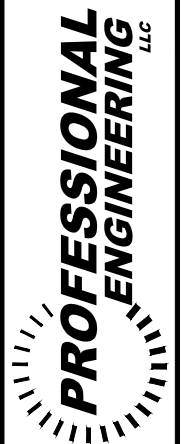
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- KEY**
- ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - CONCRETE SIDEWALK
 - PERVIOUS PAVERS



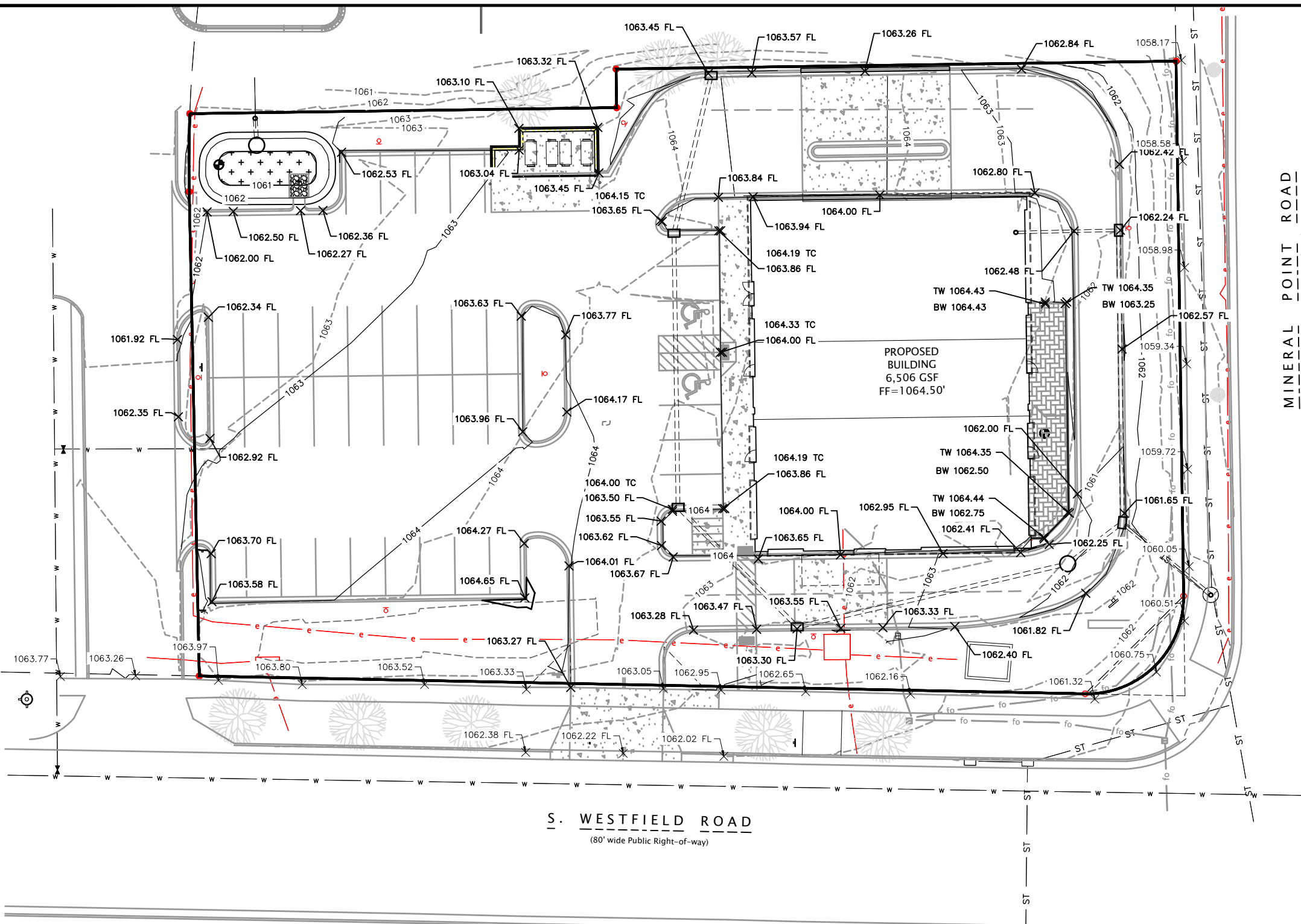
ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-16-2021

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Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com



333 S. WESTFIELD ROAD
SITE PLAN
333 S WESTFIELD ROAD
MADISON, WISCONSIN

C200



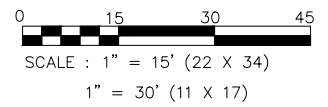
GRADING AND UTILITY NOTES

- A. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- B. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
- C. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
- D. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.
- E. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% (1:50).

GRADING LEGEND

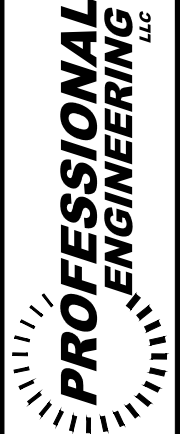
- EXISTING CONTOUR
- PROPOSED CONTOUR
- × 1000.00 P PAVEMENT ELEVATION
- × 1000.00 FL FLOW LINE ELEVATION
- × 1000.00 TC TOP OF CURB ELEVATION
- × 1000.00 SPOT ELEVATION

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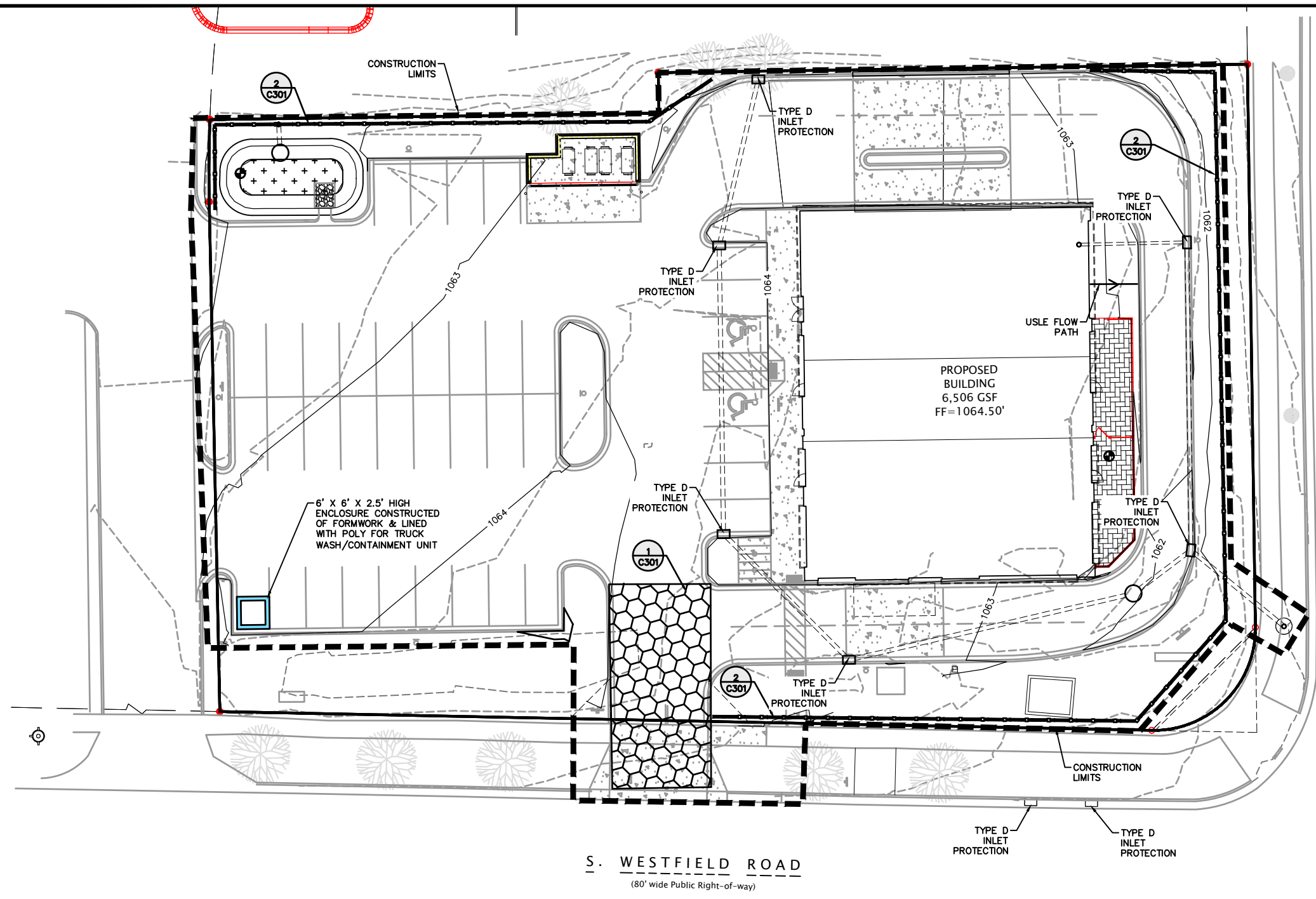
ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-16-2021

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 Waukegan, WI 53597
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**333 S. WESTFIELD ROAD
 GRADING PLAN**
 333 S WESTFIELD ROAD
 MADISON, WISCONSIN

C300



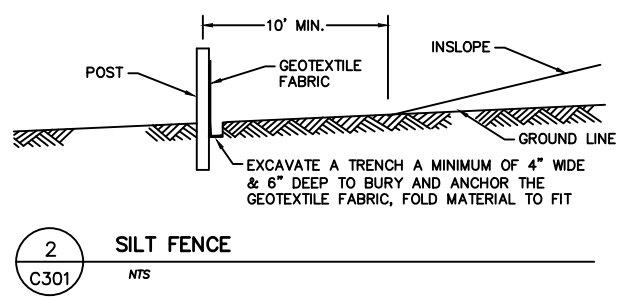
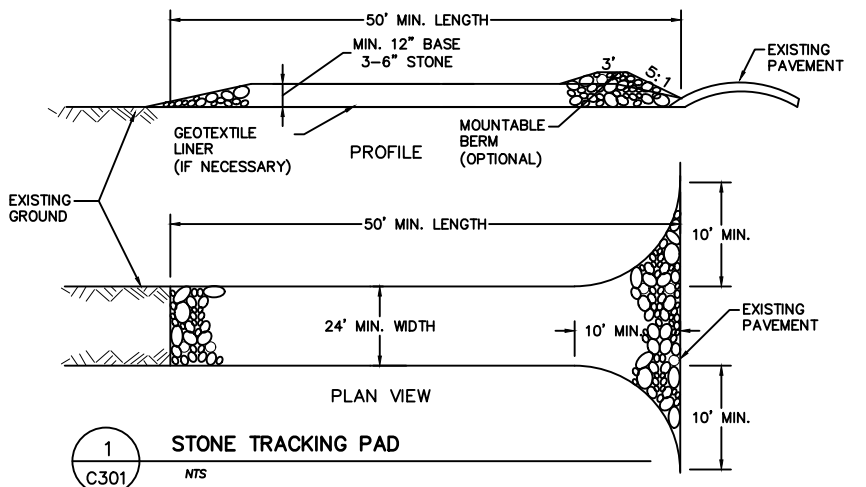
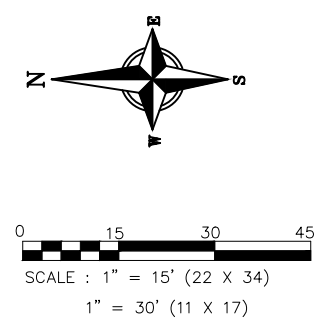
EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE VILLAGE RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
3. CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
4. RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
5. INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
6. STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
7. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH FRAMED INLET PROTECTION MEETING ASTM D8057-17 REQUIREMENTS. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
8. EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE A, EROSION MAT OR WISCONSIN DOT CLASS 2, TYPE B, COCONUT FIBER EROSION MAT AS NOTED.
9. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
10. STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
11. TOPSOIL. A MINIMUM OF 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SODDED.
12. SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 3.5 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
13. STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
14. POLYMER. BARE SOILS TO BE EXPOSED OVER WINTER SHALL BE SPRAYED WITH POLYMER IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1050.

CONSTRUCTION SCHEDULE

INSTALL EROSION CONTROL MEASURES: JULY 1, 2021
 BEGIN GRADING FOR BUILDING FOUNDATION ONLY: JULY 1, 2021
 BEGIN SITE GRADING: AUGUST 1, 2020
 SEED & MULCH ALL LANDSCAPE AREAS: OCTOBER 1, 2021
 VEGETATION ESTABLISHED: DECEMBER 1, 2021

NOTE:
 RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



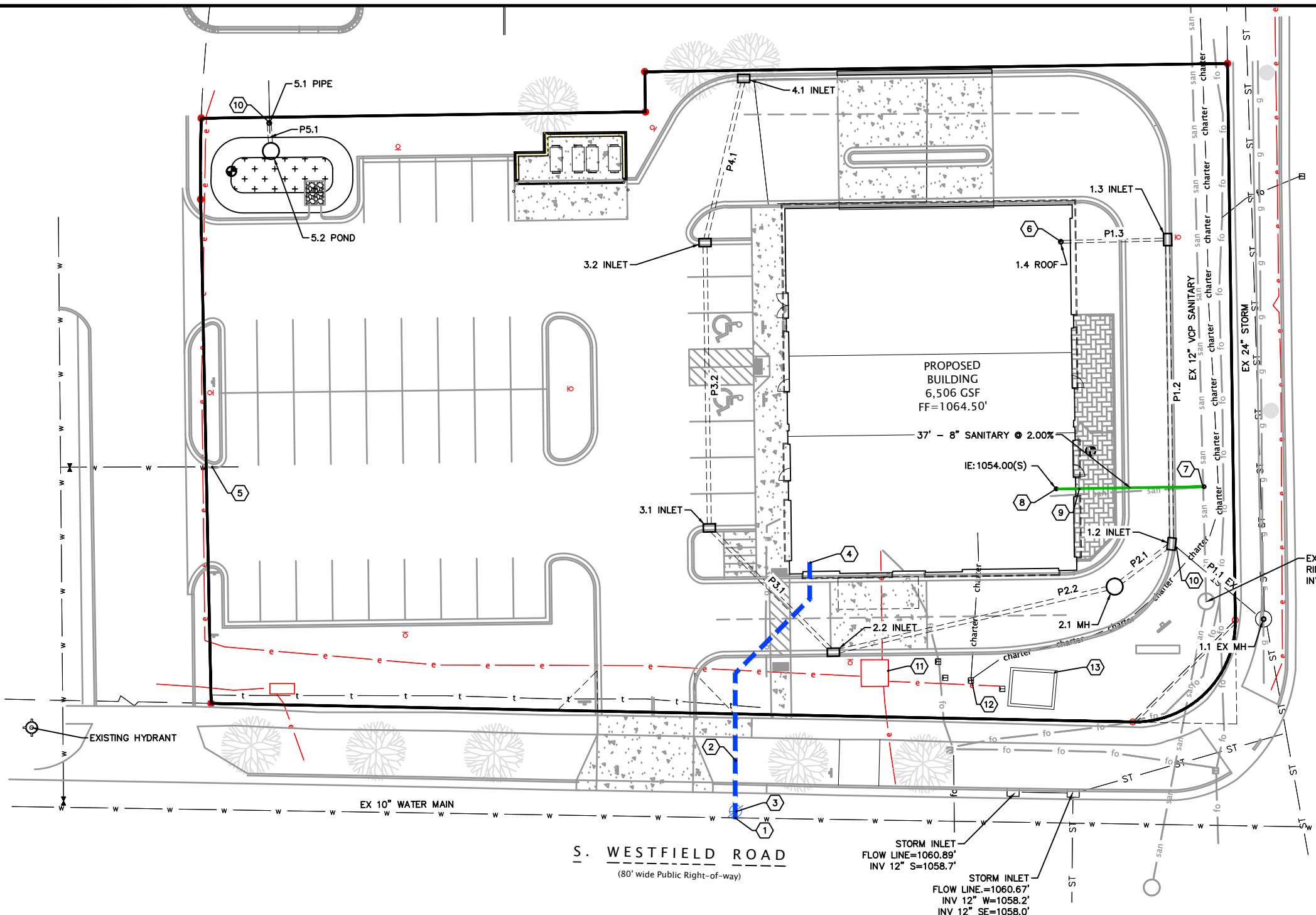
ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-16-2021

818 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
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PROFESSIONAL ENGINEERING LLC

333 S. WESTFIELD ROAD
EROSION CONTROL PLAN
 333 S WESTFIELD ROAD
 MADISON, WISCONSIN

C301



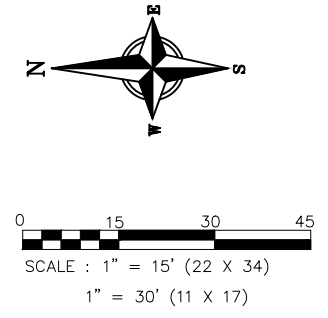
UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREVIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
7. ALL STORM SEWER PIPE TO BE SDR-35 AS NOTED ON THE STORM SEWER SCHEDULE. ALL BRANCH CONNECTIONS TO BE WYES WITH 45 DEGREE BENDS.
8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
9. PRIVATE WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON. WATER SERVICES 2" AND SMALLER SHALL BE TYPE K, COPPER.
10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
13. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAKED.
14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
17. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY

PLAN KEY

- 1 CONNECT TO EXISTING 10" WATER MAIN. COORDINATE INSTALLATION WITH MADISON WATER UTILITY
- 2 4" D.I. WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- 3 4" WATER VALVE
- 4 CONNECT TO BUILDING WATER SERVICE
- 5 ABANDON EXISTING WATER SERVICE. CUT AND CAP THE 1.5" SERVICE LATERAL AT THE PROPERTY LINE
- 6 CONNECT TO ROOF DRAINAGE SYSTEM. CONTRACTOR TO VERIFY WITH FINAL DRAIN LOCATION WITH ARCHITECT PRIOR TO CONNECTING
- 7 CONNECT TO EXISTING 12" VCP SANITARY SEWER, PER CITY STANDARDS
- 8 CONNECT TO SANITARY BUILDING SEWER 1057.00', SEE PLUMBING PLANS
- 9 CLEANOUT
- 10 CONNECT TO EXISTING STORM SEWER
- 11 RELOCATE EXISTING TRANSFORMER. COORDINATE INSTALLATION WITH ALLIANT ENERGY
- 12 RELOCATE EXISTING TELEPHONE PEDESTAL
- 13 EXISTING SHED HOUSING TELECOMMUNICATIONS TO REMAIN

NOTE:
RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



MINERAL POINT ROAD
(120' wide Public Right-of-way)

S. WESTFIELD ROAD
(80' wide Public Right-of-way)

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-16-2021

818 N Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

333 S. WESTFIELD ROAD
UTILITY PLAN
333 S WESTFIELD ROAD
MADISON, WISCONSIN

C400

STRUCTURE TABLE					
STRUCTURE NAME	SIZE	TOP OF CASTING	PIPES IN	PIPES OUT	CASTING
1.1 EX MH		1058.37	P1.1 EX, 12" INV IN =1057.20		
1.2 INLET	2X3-FT	1062.07	P2.1, 12" INV IN =1057.60 P1.2, 12" INV IN =1057.60	P1.1 EX, 12" INV OUT =1057.50	NEENAH R-3067
1.3 INLET	2X3-FT	1062.69	P1.3, 8" INV IN =1058.15	P1.2, 12" INV OUT =1058.05	NEENAH R-3067
1.4 ROOF	CONNECT TO ROOF DRAIN	1064.50		P1.3, 8" INV OUT =1058.42	
2.1 MH	3-FT DIA.	1062.05	P2.2, 12" INV IN =1057.80	P2.1, 12" INV OUT =1057.71	NEENAH R-1550
2.2 INLET	2X3-FT	1063.76	P3.1, 12" INV IN =1058.25	P2.2, 12" INV OUT =1058.23	NEENAH R-3067
3.1 INLET	2X3-FT	1063.98	P3.2, 12" INV IN =1058.52	P3.1, 12" INV OUT =1058.51	NEENAH R-3067
3.2 INLET	2X3-FT	1064.08	P4.1, 12" INV IN =1058.95	P3.2, 12" INV OUT =1058.95	NEENAH R-3067
4.1 INLET	2X3-FT	1063.90		P4.1, 12" INV OUT =1059.20	NEENAH R-3067
5.1 PIPE		1060.67	P5.1, 12" INV IN =1059.50		
5.2 POND	3-FT DIA.	1061.50		P5.1, 12" INV OUT =1059.55	HAALA #CG36TM

PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1 EX	12"	30'	1.01%	ADS N-12	1057.50'	1057.20'
P1.2	12"	76'	0.60%	ADS N-12	1058.05'	1057.60'
P1.3	8"	27'	1.00%	ADS N-12	1058.42'	1058.15'
P2.1	12"	18'	0.60%	ADS N-12	1057.71'	1057.60'
P2.2	12"	72'	0.60%	ADS N-12	1058.23'	1057.80'
P3.1	12"	44'	0.60%	ADS N-12	1058.51'	1058.25'
P3.2	12"	72'	0.60%	ADS N-12	1058.95'	1058.52'
P4.1	12"	42'	0.60%	ADS N-12	1059.20'	1058.95'
P5.1	12"	7'	0.71%	ADS N-12	1059.55'	1059.50'

*TOP OF CASTING IS TOP OF CURB FOR CURB INLETS, RIM FOR CATCH BASINS AND YARD DRAINS, AND GROUND SURFACE FOR OTHERS.

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-16-2021

818 N Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
www.pe-wi.com

PROFESSIONAL ENGINEERING LLC

**333 S. WESTFIELD ROAD
STORM SEWER SCHEDULE**
333 S WESTFIELD ROAD
MADISON, WISCONSIN

C401

BIORETENTION BASIN NOTES

1. THE BIORETENTION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1004.

2. THE BIORETENTION/INFILTRATION BASIN SHALL BE CONSTRUCTED WHEN THE LOT IS FULLY DEVELOPED AND THE AREA DRAINING TO THE BASIN HAS BEEN STABILIZED FROM EROSION AND VEGETATION IS ESTABLISHED.

3. CONTRACTOR TO NOTIFY ENGINEER DURING BASIN CONSTRUCTION TO VERIFY THAT THE LOWER IMPERMEABLE SOILS ARE REMOVED TO THE DESIGN SOILS.

4. SAND COMPONENT OF THE ENGINEERED SOIL SHALL MEET ONE OF THE FOLLOWING GRADATION REQUIREMENTS:

A. USDA COARSE SAND (.02 - .04 INCHES) - TORPEDO SAND

THE SAND SHALL BE WASHED TO REMOVE CLAY AND SILT PARTICLES, AND WELL-DRAINED PRIOR TO MIXING.

5. THE COMPOST COMPONENT OF THE ENGINEERED SOIL SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATION S100, COMPOST.

6. THE ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER 1 INCH IN DIAMETER.

7. THE ENGINEERED SOIL MIX SHALL HAVE A PH BETWEEN 5.5 AND 6.5.

8. BIORETENTION AREAS TO BE PLANTED WITH NATIVE PLUGS SPACED 1' ON CENTER.

9. A PERSON TRAINED AND EXPERIENCED IN THE CONSTRUCTION, OPERATION AND MAINTENANCE OF INFILTRATION DEVICES SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE DEVICE. THE FOLLOWING APPLY:

A. CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.

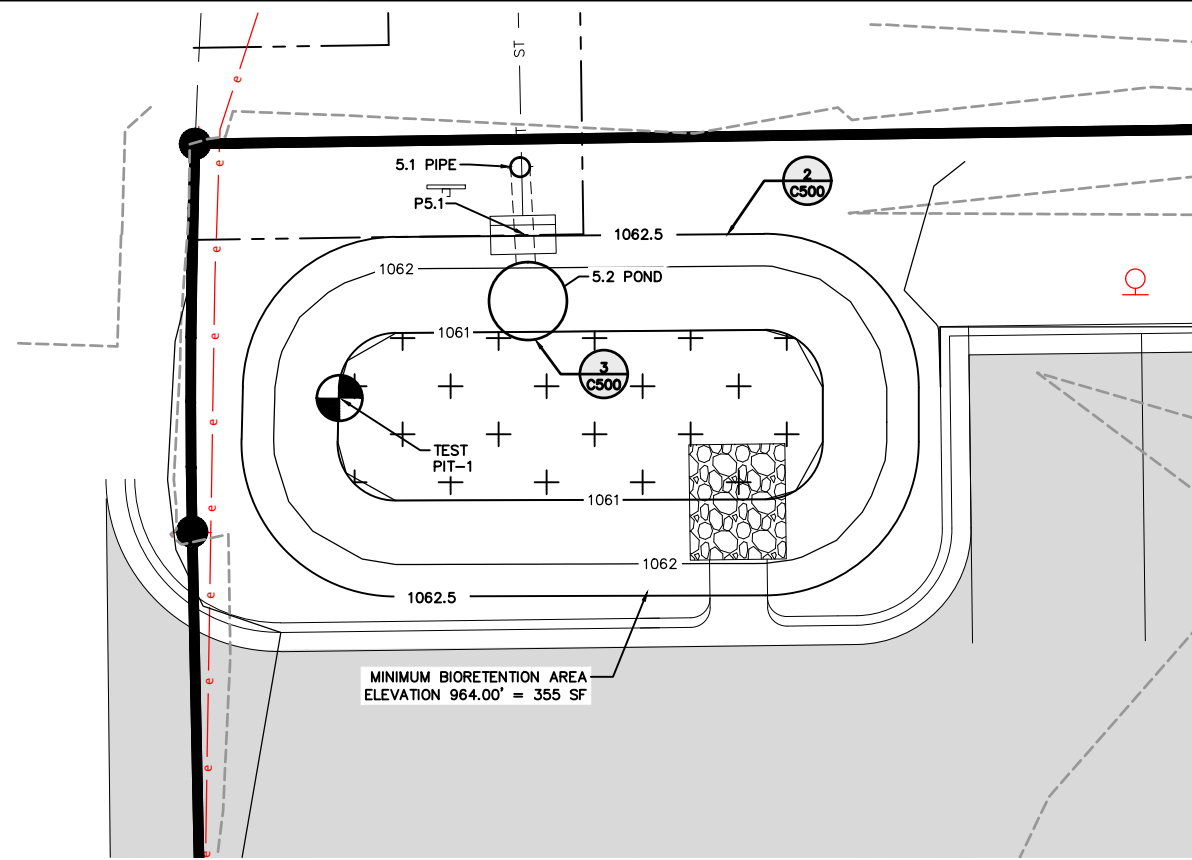
B. COMPACTION AVOIDANCE - COMPACTION AND SMEARING OF THE SOILS BENEATH THE FLOOR AND SIDE SLOPES OF THE INFILTRATION AREA, AND COMPACTION OF THE SOILS USED FOR BACKFILL IN THE SOIL PLANTING BED, SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE INFILTRATION DEVICE SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE INFILTRATION DEVICE INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TIRE TIRES, MARSH EQUIPMENT OR WIDE-TRACK LOADERS.

C. IF COMPACTION OCCURS AT THE BASE OF THE INFILTRATION DEVICE, THE SOIL SHALL BE REFRRACTURED TO A DEPTH OF AT LEAST 12 INCHES. IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.

D. PLACEMENT AND SETTLING OF ENGINEERED SOIL - THE FOLLOWING APPLY:

1. PRIOR TO PLACEMENT IN THE INFILTRATION DEVICE, THE ENGINEERED SOIL (SAND AND COMPOST) SHALL BE MIXED ON-SITE TO ENSURE AN 85% SAND/15% COMPOST MIX. THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.

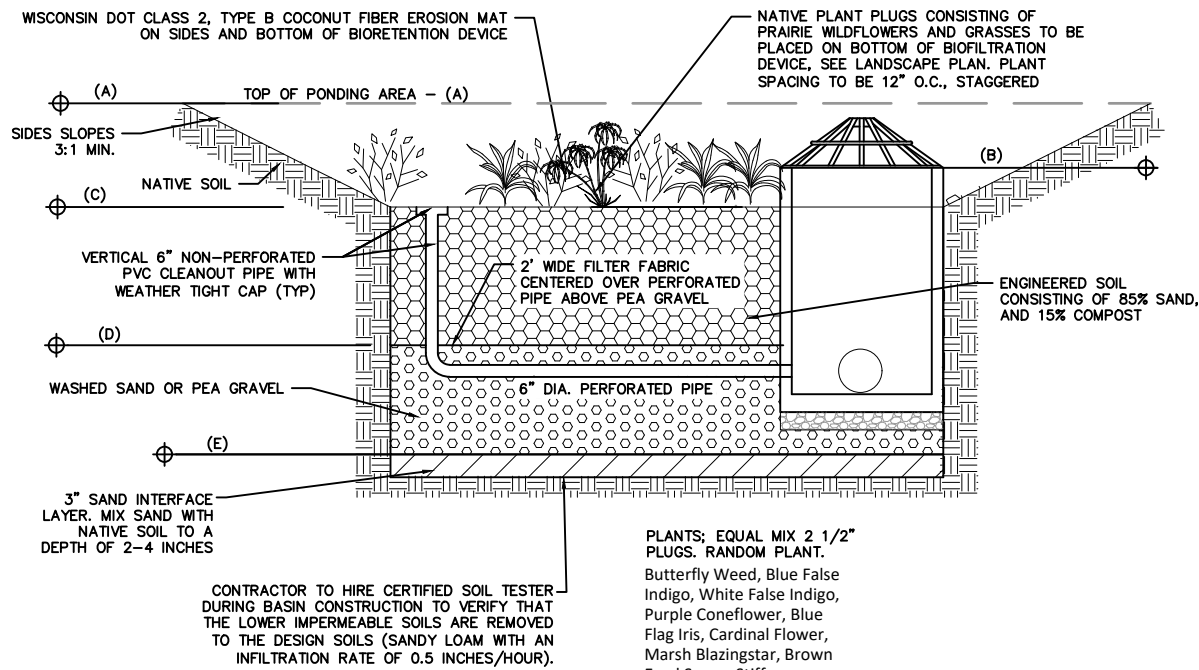
2. THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 9 INCHES IN DEPTH.



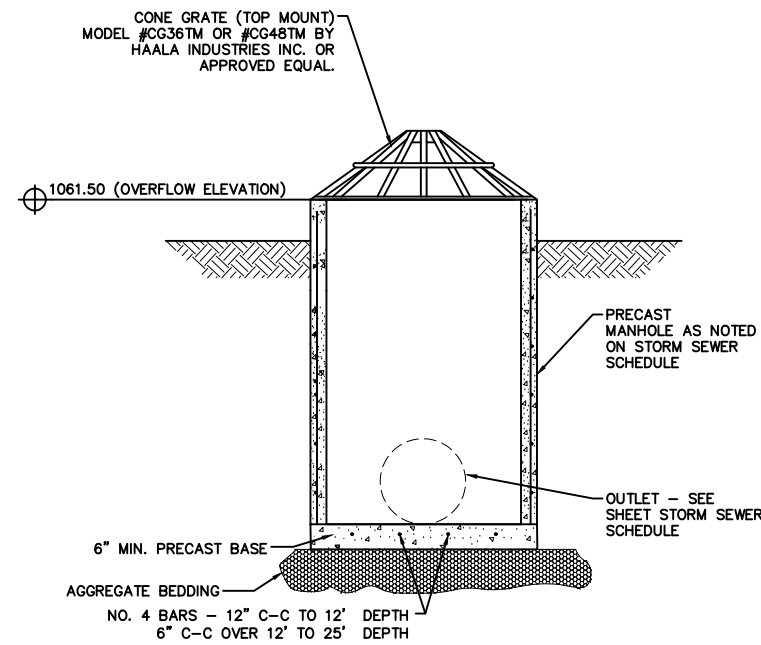
1 BIORETENTION
C500 1"=10'

BIORETENTION

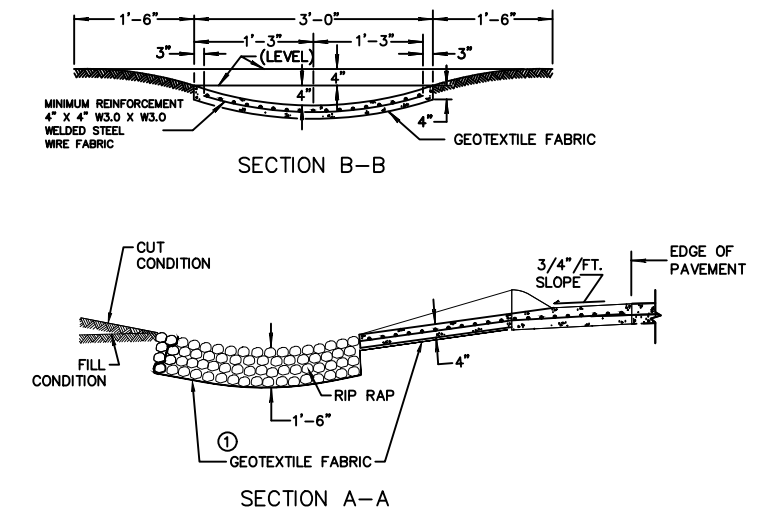
SECTION	ELEVATION (FT)	DESCRIPTION
A	1062.50	TOP OF POND
B	1061.50	OVERFLOW ELEVATION
C	1061.00	TOP OF ENGINEERED SOIL
D	1059.50	TOP OF SAND
D	1058.00	BOTTOM OF DEVICE



2 BIORETENTION CROSS SECTION
C500 NTS



3 OUTLET STRUCTURE
C500 NOT TO SCALE



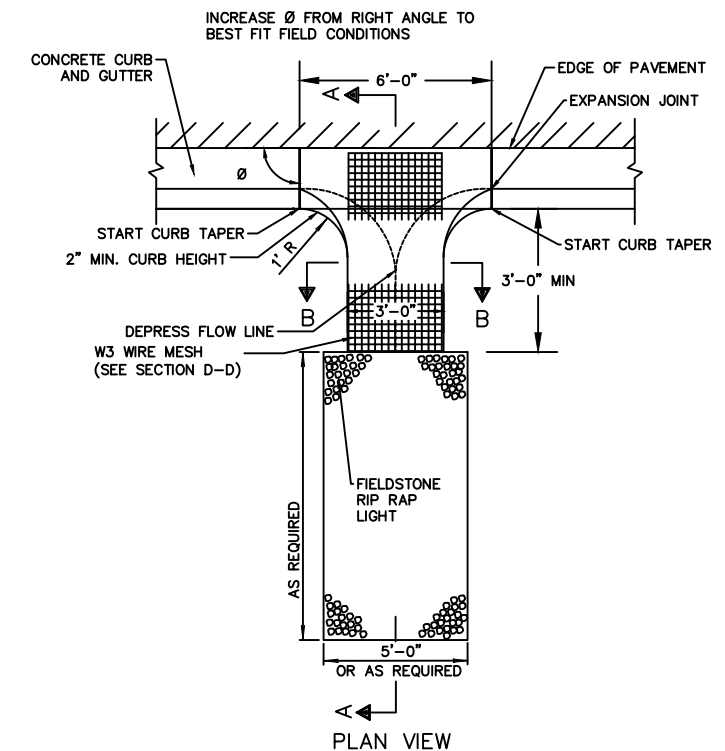
GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

WELDED STEEL WIRE FABRIC SHALL BE IN ACCORDANCE WITH AASHTO SPECIFICATION M55.

1 GEOTEXTILE FABRIC TYPE "R" SHALL UNDERLAY THE FULL LENGTH AND WIDTH OF THE CONCRETE SURFACE DRAIN AND RIPRAP.

AVERAGE DIMENSION FOR LIGHT RIPRAP (INCHES)	FRACTION OF GROSS IN-PLACE RIPRAP OCCUPIED BY STONES
> 16	0%
11-13	10%-14%
9-11	15%-21%
4-9	20%-28%
< 4	5%-7%
< 1	2% OR LESS



4 CONCRETE FLUME
C500 NTS

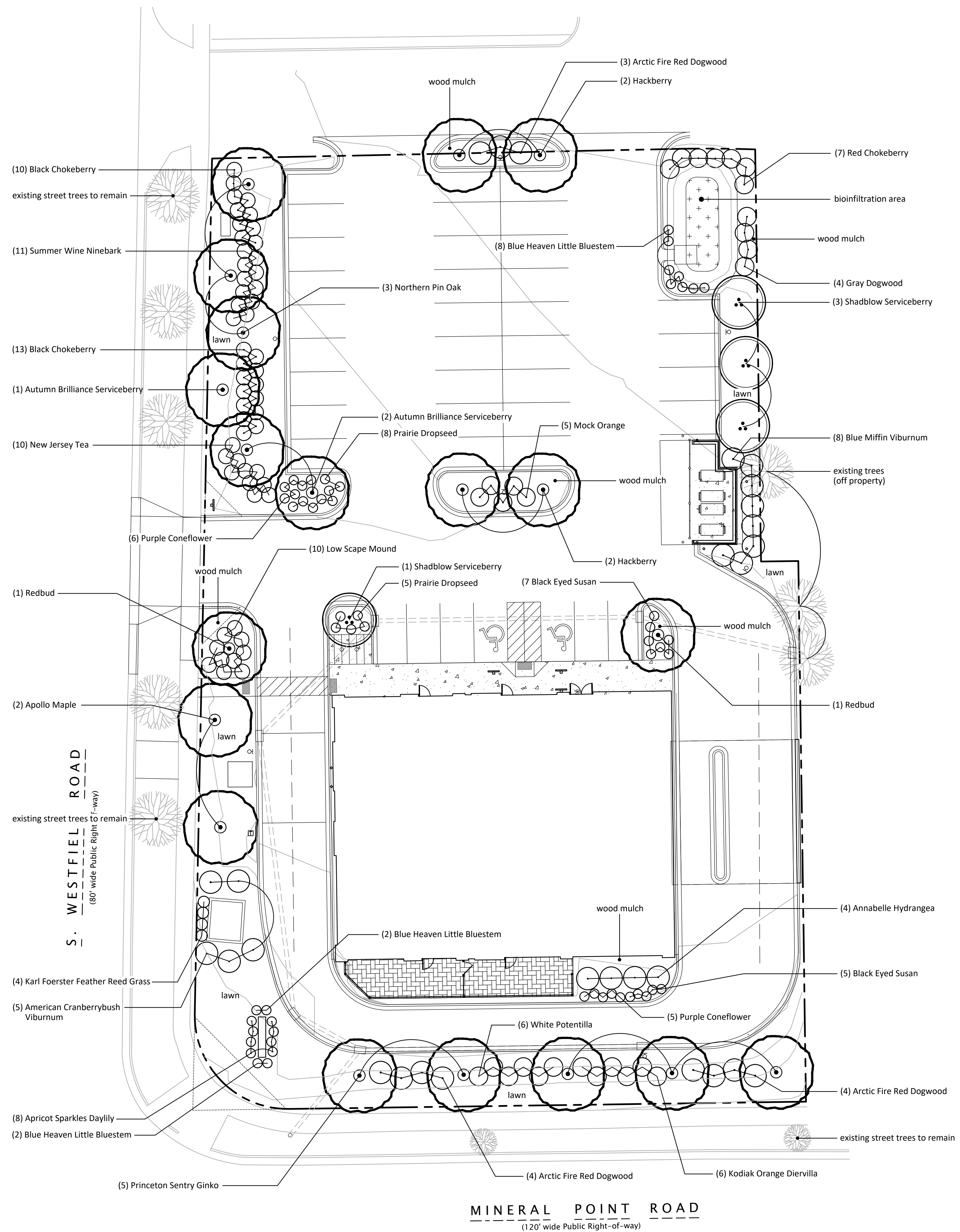
ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	02-16-2021

818 N Meadowbrook Ln
Wauwatosa, WI 53597
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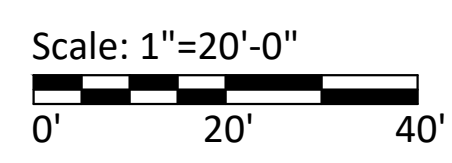
PROFESSIONAL ENGINEERING
LTC

333 S. WESTFIELD ROAD
SITE DETAILS
333 S WESTFIELD ROAD
MADISON, WISCONSIN

C500



1 LANDSCAPE PLAN
1"=20'-0"



GENERAL NOTES:

- Trees and shrub groupings are to receive wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
- "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. (www.seedsolutions.com)
- Landscape Contractor shall provide regular maintenance until a date 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.
- Landscape Contractor shall guarantee to replace once, without charge, any plant material that dies within one year of installation providing the Owner gives normal plant care (regular watering). The Owner must report plant losses within the guarantee period.
- Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of an existing tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (266-4816) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. Tree protection specifications can be found in section 107.13 of City of Madison Standard Specifications for Public Works Construction. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Alder of the change in the tree plan. Contractor shall contact City Forestry Brad Hofmann bhofmann@cityofmadison.com or (266-4816) at least one week prior to planting to schedule inspecting the nursery stock and review planting specifications with the landscaper.

Landscape Calculations and Distribution:

Five (5) landscape points shall be provided per each (300) sf of developed area
 Total sf of developed area = 30,810 sf
 Developed area divided by (300) x 5 = 514 Points Required

Development Frontage Landscaping
 Total lf of lot frontage = 409
 Required Trees = 14
 Required Shrubs = 82

Provided Trees = 14
 Provided Shrubs = 84

Tabulation of Points and Credits (includes Development Frontage Landscaping):

Plant Type/Element	Min. size	Points	Qty.	Pts.
Overstory Deciduous Tree	2 1/2" cal.	35	19	665
Ornamental tree	1 1/2" cal.	15	4	60
Upright evergreen shrub	3-4 feet tall	10	-	-
Shrub, deciduous	18" or 3 gal.	3	106	318
Shrub, evergreen	18" or 3 gal.	4	-	-
Ornamental grasses	18" or 3 gal.	2	17	34
Ornamental fence or wall	na	4 per 10 lf	-	-
Total				1,077
				1,077 Total Points Provided (514 Required)

Canopy Trees

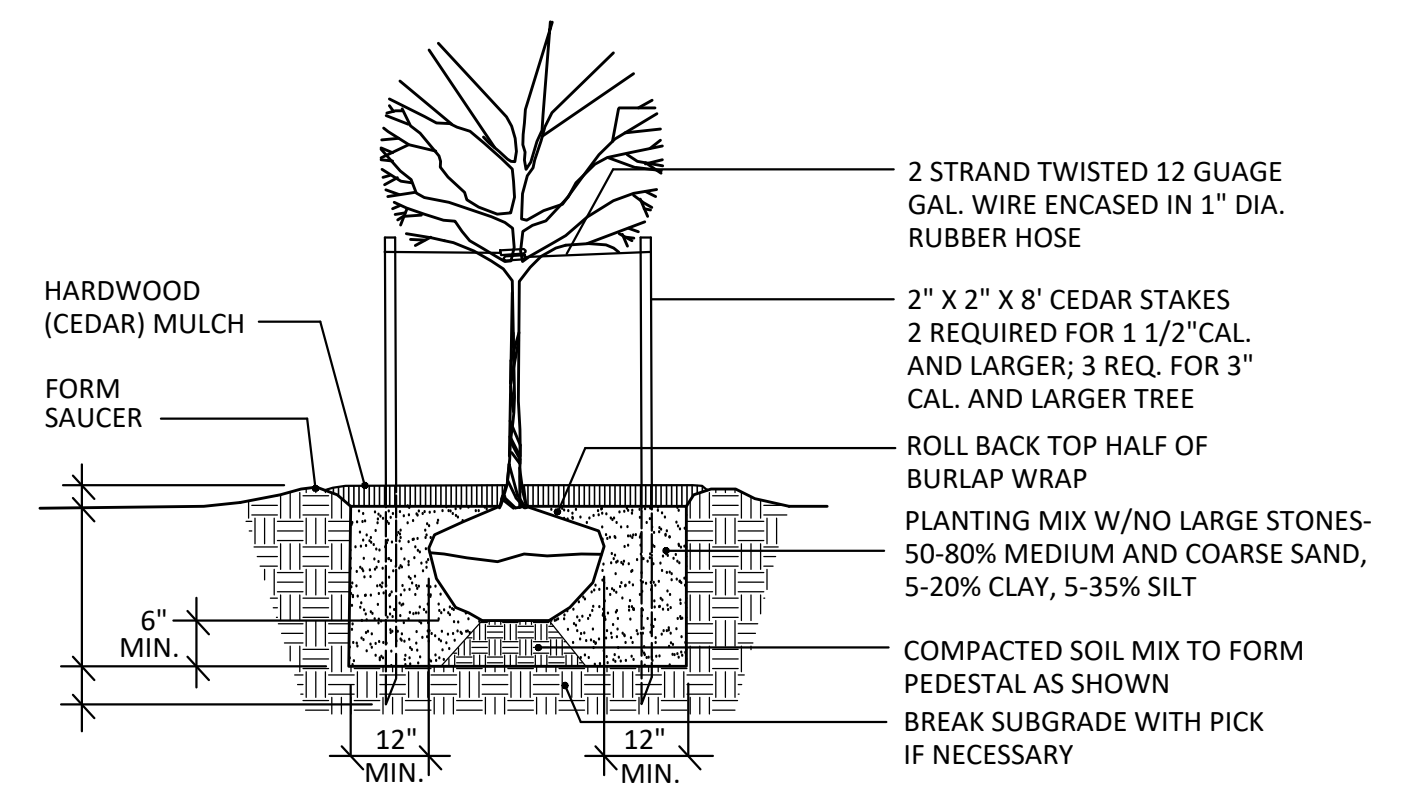
Redbud	<i>Cercis canadensis</i>	2 1/2" cal.
Hackberry	<i>Celtis occidentalis</i>	2 1/2" cal.
Northern Pin Oak	<i>Quercus ellipsoidalis</i>	2 1/2" cal.
Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	2 1/2" cal.
Apollo Maple	<i>Acer saccharum 'Barrett Cole'</i>	2 1/2" cal.

Shrubs

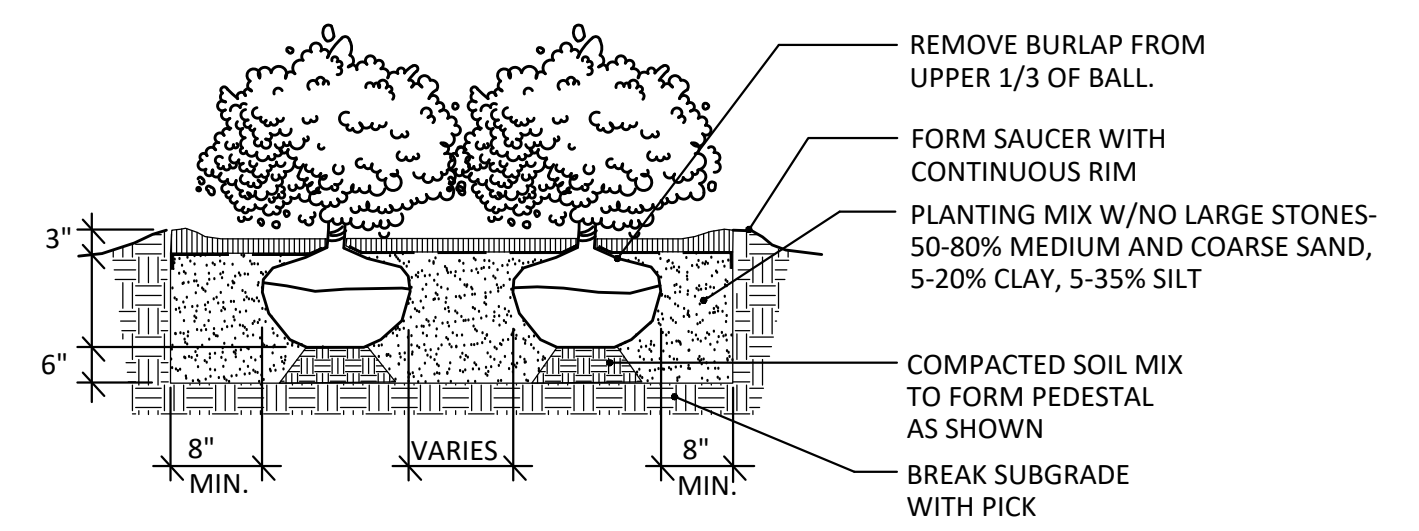
Black Chokeberry	<i>Aronia melanocarpa</i>	24" ht.
Low Scape Mound	<i>Aronia melanocarpa 'Low Scape Mound'</i>	18" ht.
Gray Dogwood	<i>Cornus racemosa</i>	24" ht.
Arctic Fire Red Dogwood	<i>Cornus sericea 'Arctic Fire'</i>	24" ht.
Kodiak Orange Diervilla	<i>Diervilla 'Kodiak Orange'</i>	18" ht.
Annabelle Hydrangea	<i>Hydrangea arborescens 'Annabelle'</i>	24" ht.
Summer Wine Ninebark	<i>Physocarpus opulifolius</i>	18" ht.
Blue Mifflin Viburnum	<i>Viburnum dentatum 'Christom'</i>	24" ht.
White Potentilla	<i>Potentilla fruticosa 'McKay's White'</i>	18" ht.
American Cranberrybush Viburnum	<i>Viburnum opulus var. americanum</i>	24" ht.
Red Chokeberry	<i>Aronia arbutifolia 'Brilliantissima'</i>	24" ht.
Mock Orange	<i>Philadelphus coronarius</i>	24" ht.

Perennials

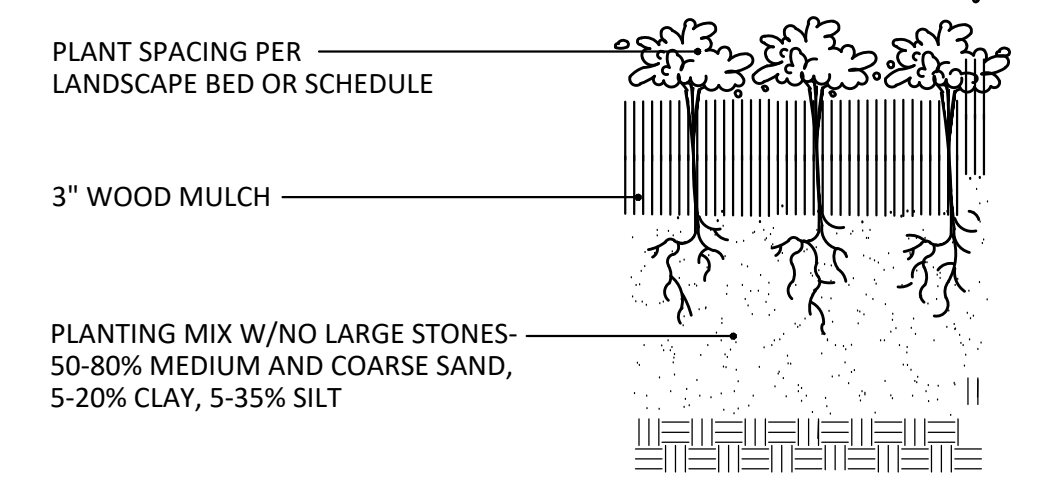
Black Eyed Susan	<i>Rudbeckia hirta</i>	1 gal.
Purple Coneflower	<i>Echinacea purpurea</i>	1 gal.
Karl Foerster Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 gal.
Prairie Dropseed	<i>Sporobolus heterolepis</i>	1 gal.
Blue Heaven Little Bluestem	<i>Schizachyrium scoparium 'Blue Heaven'</i>	1 gal.
Apricot Sparkles Daylily	<i>Hemerocallis 'Apricot Sparkles'</i>	1 gal.



2 TREE PLANTING
NTS

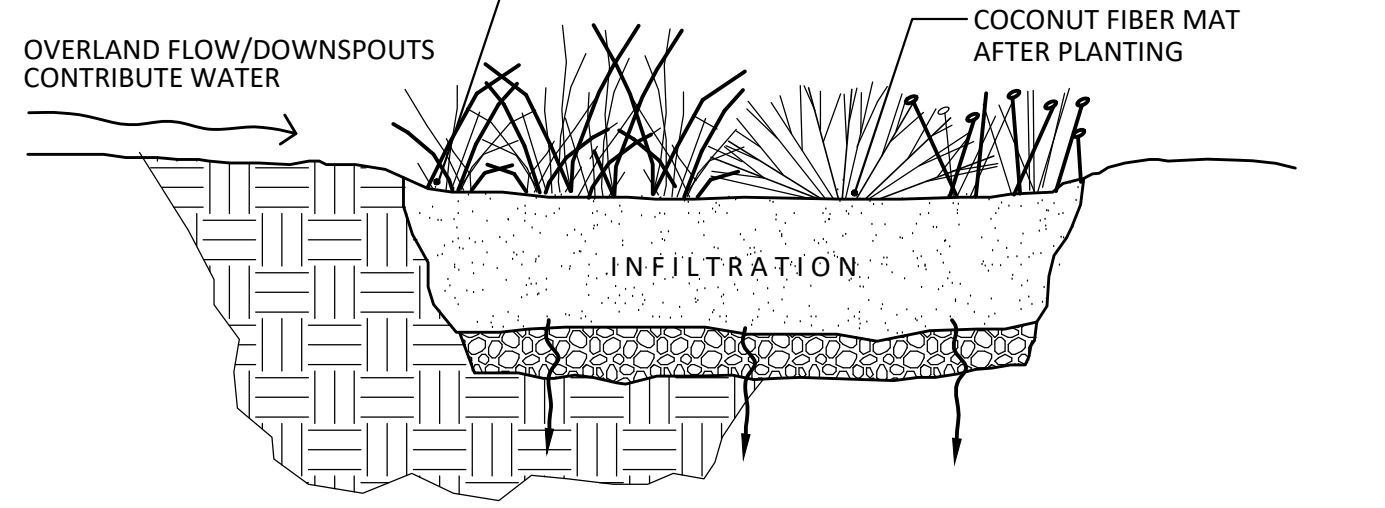


3 SHRUB PLANTING
NTS

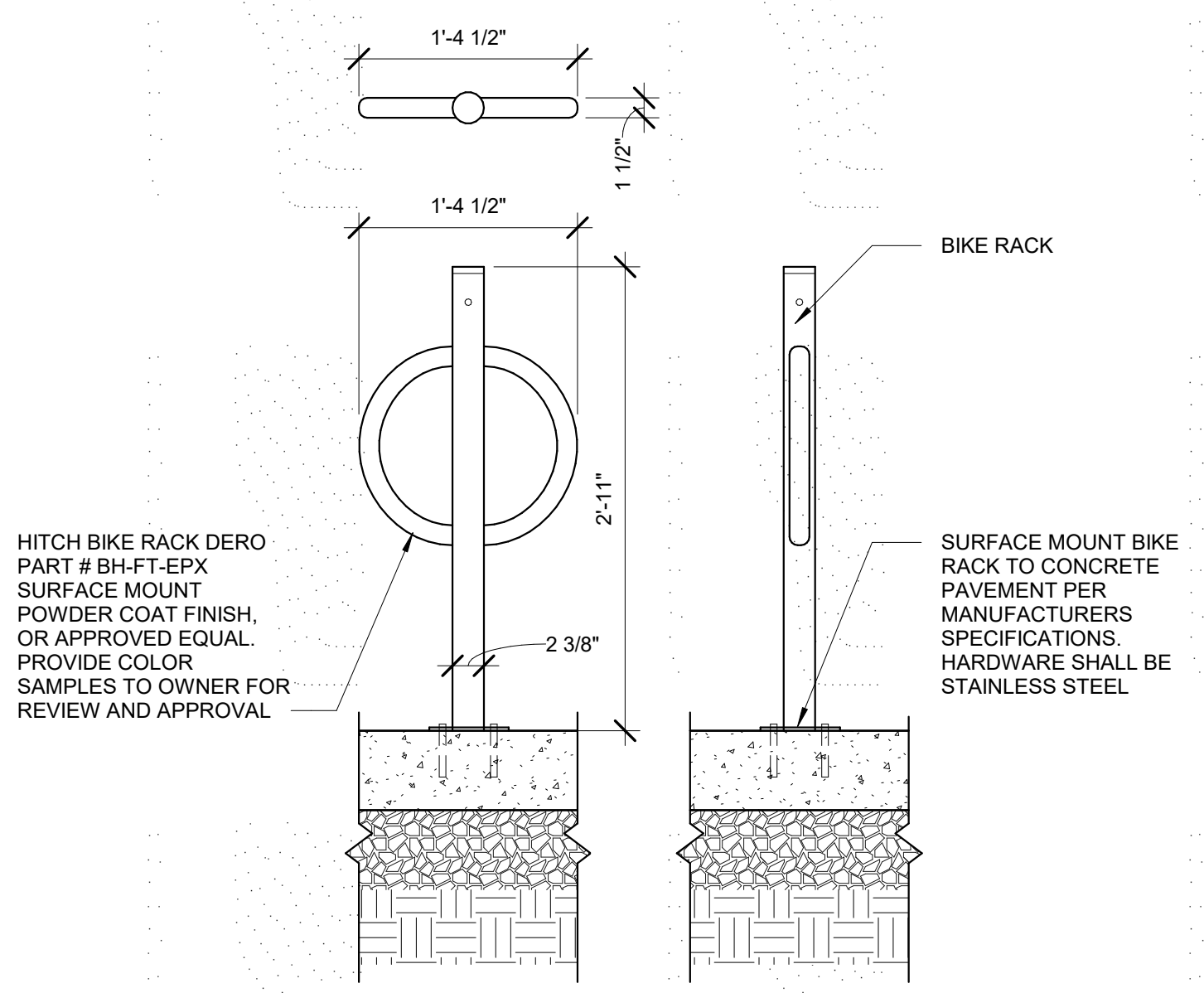


4 PERENNIAL PLANTING
NTS

PLANTS; EQUAL MIX 2 1/2" PLUGS. RANDOM PLANT.
 Butterfly Weed
 Blue False Indigo
 White False Indigo
 Purple Coneflower
 Blue Flag Iris
 Cardinal Flower
 Marsh Blazingstar
 Brown Eyed Susan
 Stiff Goldenrod
 Bottlebrush Sedge
 Fox Sedge
 Torrey's Rush
 Switch Grass



5 BIOINFILTRATION AREA
NTS



C1 SITE - BIKE RACK BOLLARD
1" = 1'-0"

28,000 GENERAL PROVISIONS - DOOR AND WINDOW OPENING REQUIREMENTS AT STREET FACADE - NOT REQUIRED FOR SUBURBAN EMPLOYMENT DISTRICT.

BUILDING GROUND FLOOR MEASURED TO 14'-0" AFF
60% OF LENGTH AT GROUND FLOOR PROVIDED: 63'-2"

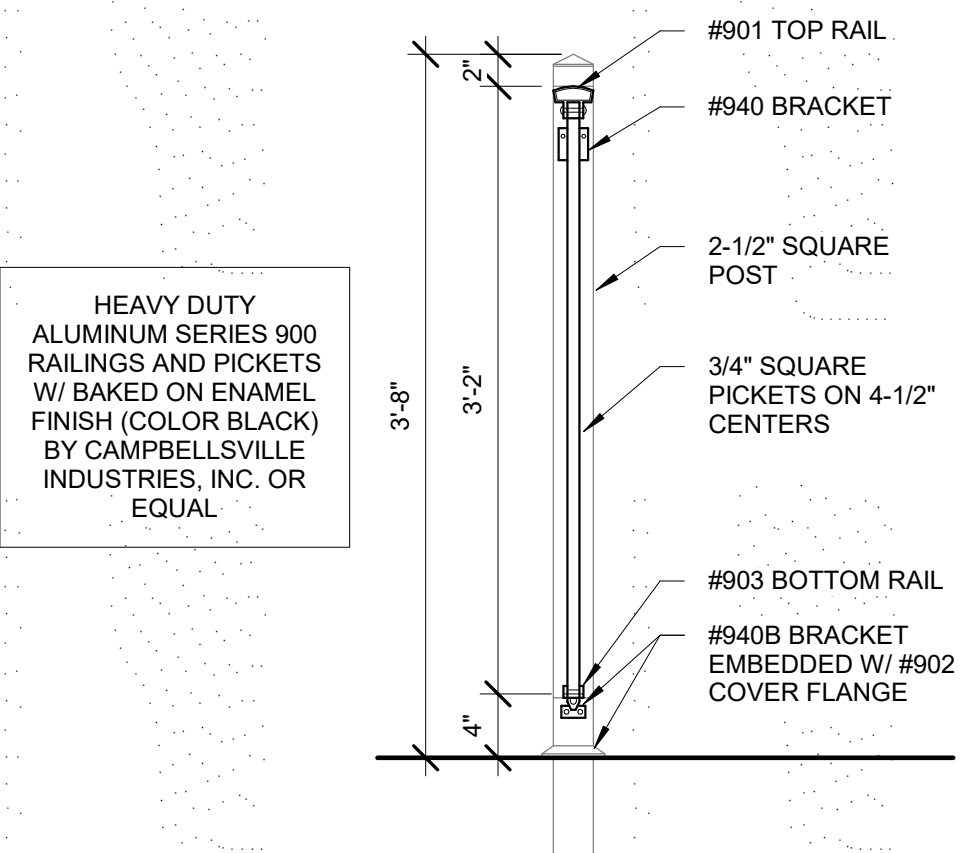
40% OF AREA OF GROUND FLOOR STREET FACADE PROVIDED: 662.50 SF

50% OF WINDOW SILLS WITHIN 3'-0" OF GRADE PROVIDED: 100%

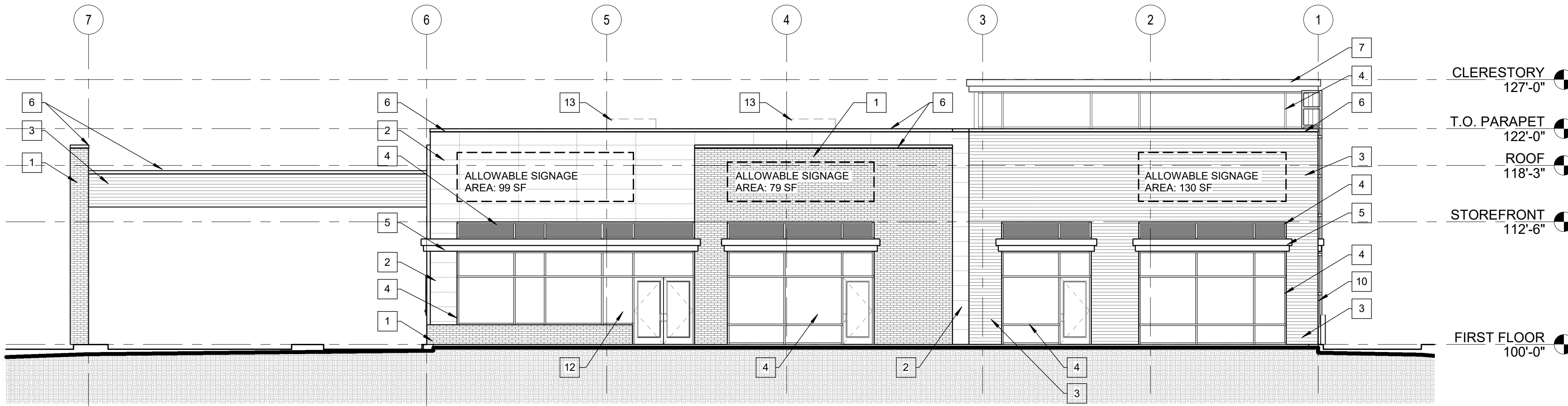
20% MAXIMUM SPANDREL GLAZING PROVIDED: 41.25 SF

ALLOWABLE SIGNAGE AREA:
SIGNABLE AREA MAY NOT EXTEND MORE THAN 4'-0" ABOVE THE ROOF LINE.

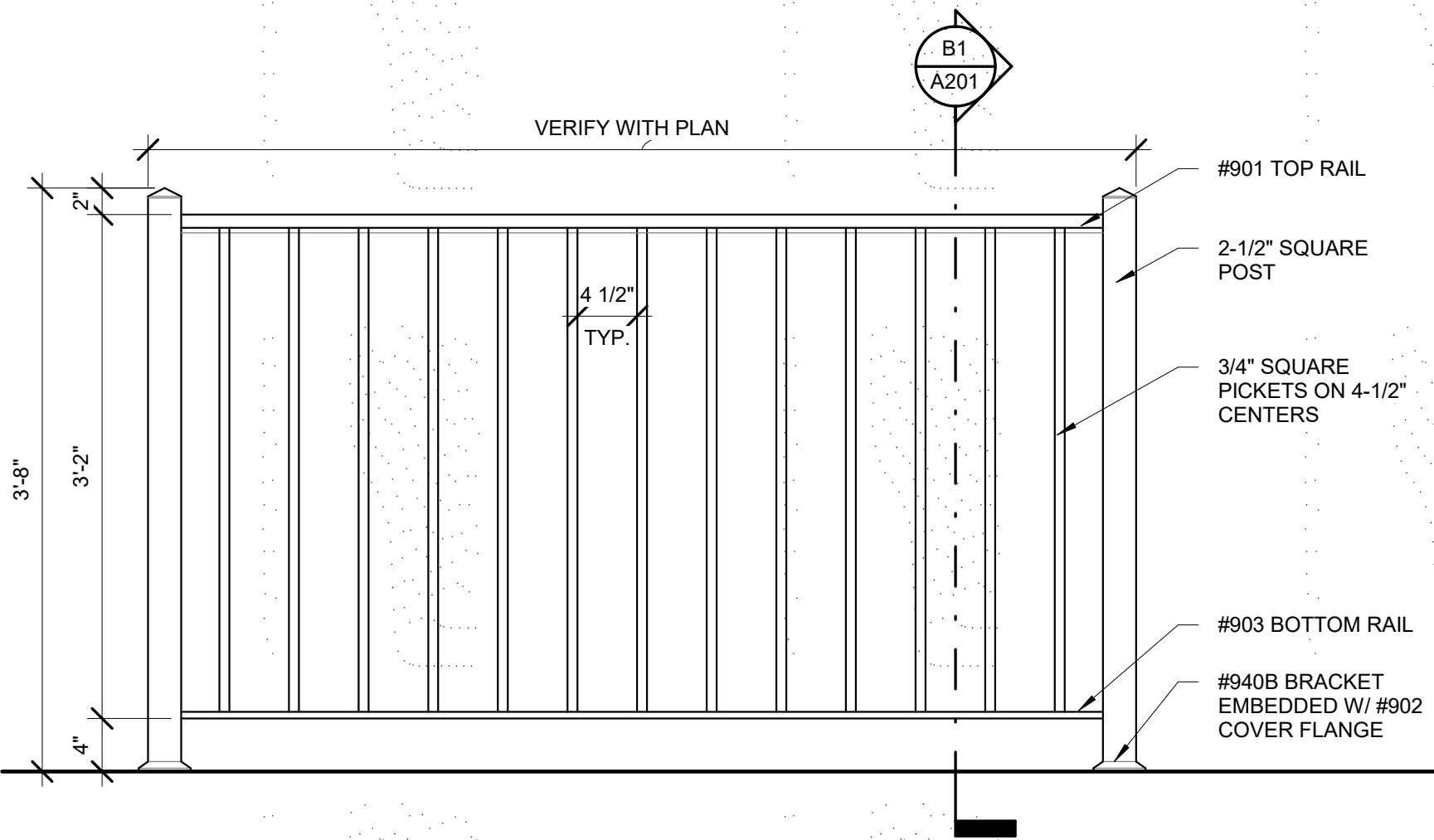
EXTERIOR MATERIAL SCHEDULE							
#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1	BRICK MASONRY	BELDEN BRICK COMPANY	STANDARD	MAYO CLEAR A (TAN)			
2	FIBER CEMENT PANELS	NICHIHA	ILLUMINATION	WARM WHITE			
3	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD	BARK CEDAR			
4	ALUMINUM STOREFRONT			CLEAR ANODIZED			THERMALLY IMPROVED, LOW-E 1" GLAZING
5	FRAMED CANOPY			WHITE W/ DARK BRONZE FLASHING			
6	PREFINISHED METAL COPING			WHITE			
7	PREFINISHED ROOF COPING			DARK BRONZE			
8	COMPOSITE ALUMINUM PANEL			WHITE			
9	PREFINISHED ALUMINUM RAILING			BLACK			
10	ROOF ACCESS LADDER			WHITE TO MATCH BUILDING SIDING			OSHA APPROVED LADDER WITH SECURITY GATE
11	PICK-UP WINDOW			CLEAR ANODIZED			
12	SPANDREL GLASS						
13	ROOF TOP HVAC EQUIPMENT						



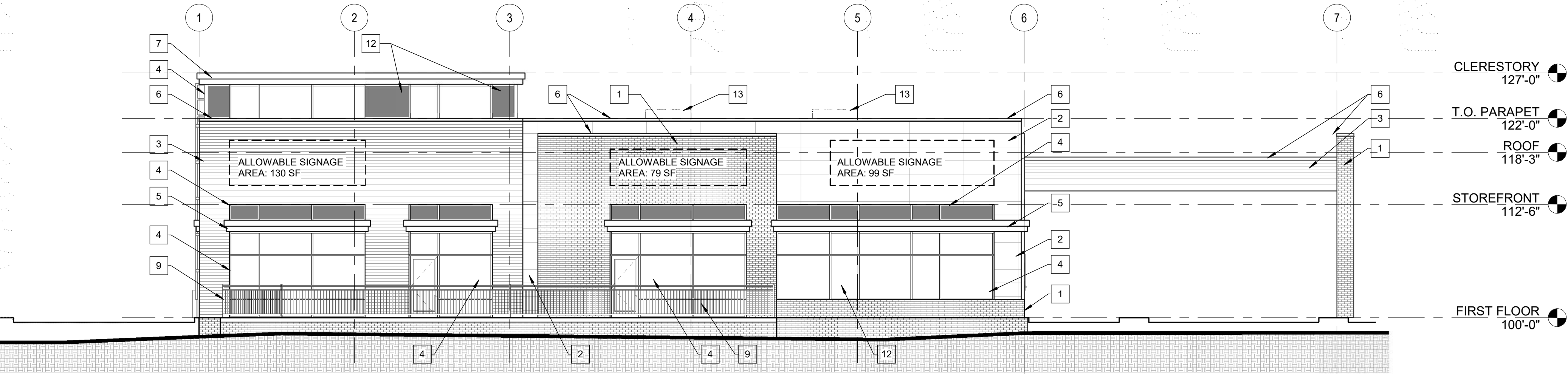
B1 PATIO FENCE DETAIL
1" = 1'-0"



B2 NORTH ELEVATION
1/8" = 1'-0"



A1 PATIO FENCE ELEVATION
1" = 1'-0"



A2 SOUTH ELEVATION
1/8" = 1'-0"

OLD NATIONAL BANK REDEVELOPMENT
MULTI-TENANT REDEVELOPMENT
333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status
02/15/2021 FOR REVIEW

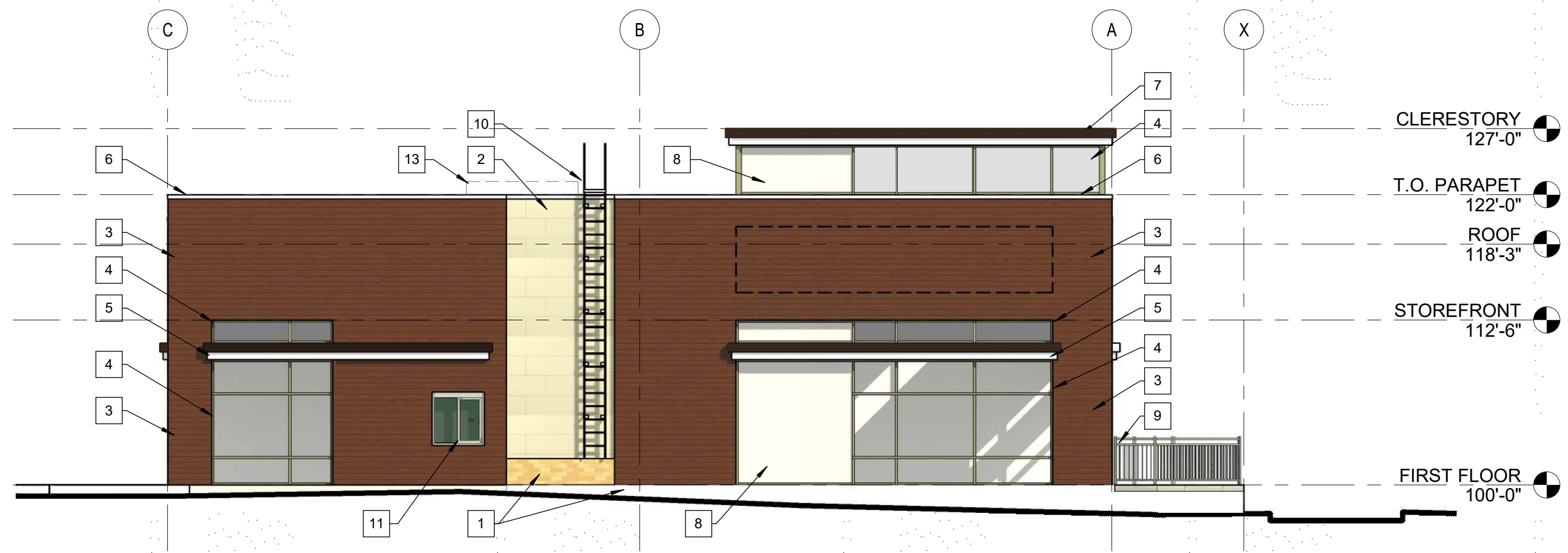
PROJ. #: 20001-01

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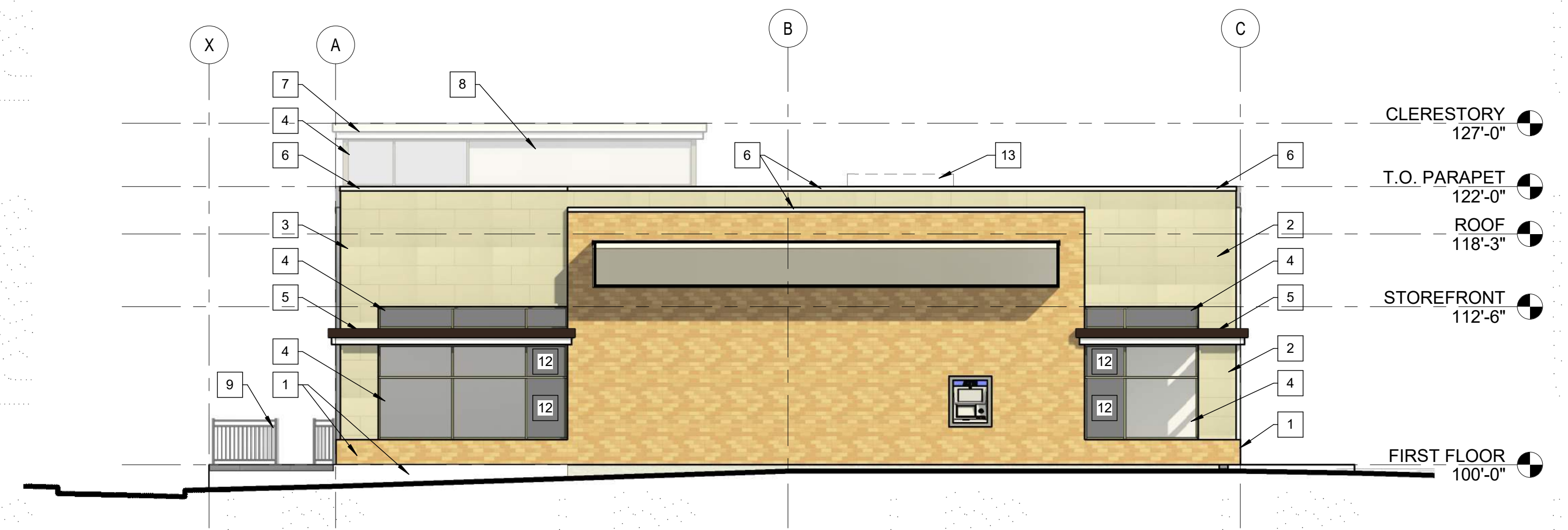
EXTERIOR ELEVATIONS

A201

PRELIMINARY



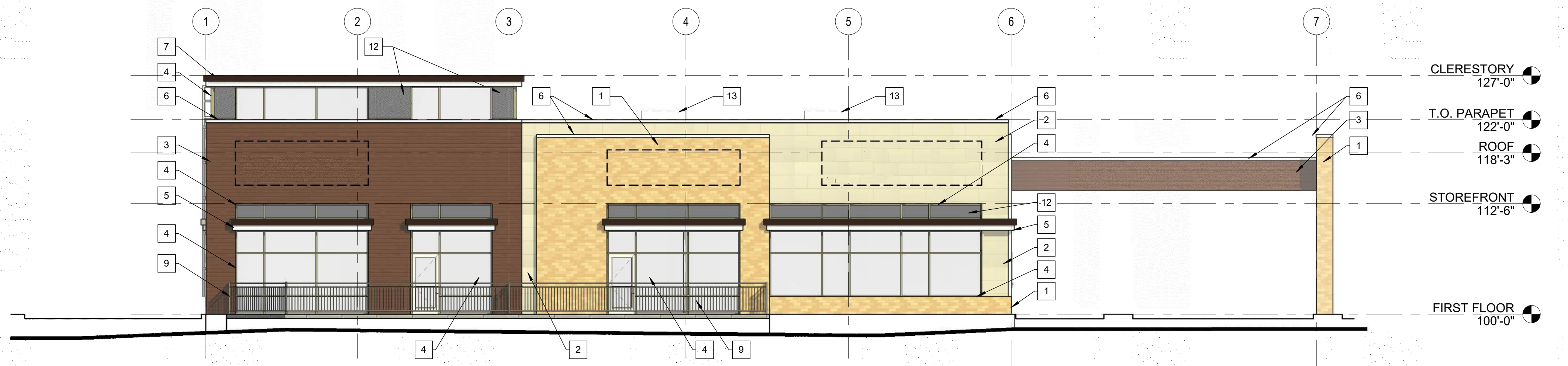
4 WEST ELEVATION COLORED
1/8" = 1'-0"



3 EAST ELEVATION COLORED
1/8" = 1'-0"



2 NORTH ELEVATION COLORED
1/8" = 1'-0"



1 SOUTH ELEVATION COLORED
1/8" = 1'-0"

OLD NATIONAL BANK REDEVELOPMENT
MULTI-TENANT REDEVELOPMENT
333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status

02/15/2021 FOR REVIEW

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EXTERIOR ELEVATIONS - COLORED

A203

PRELIMINARY