



Location  
302 Cross Oak Drive

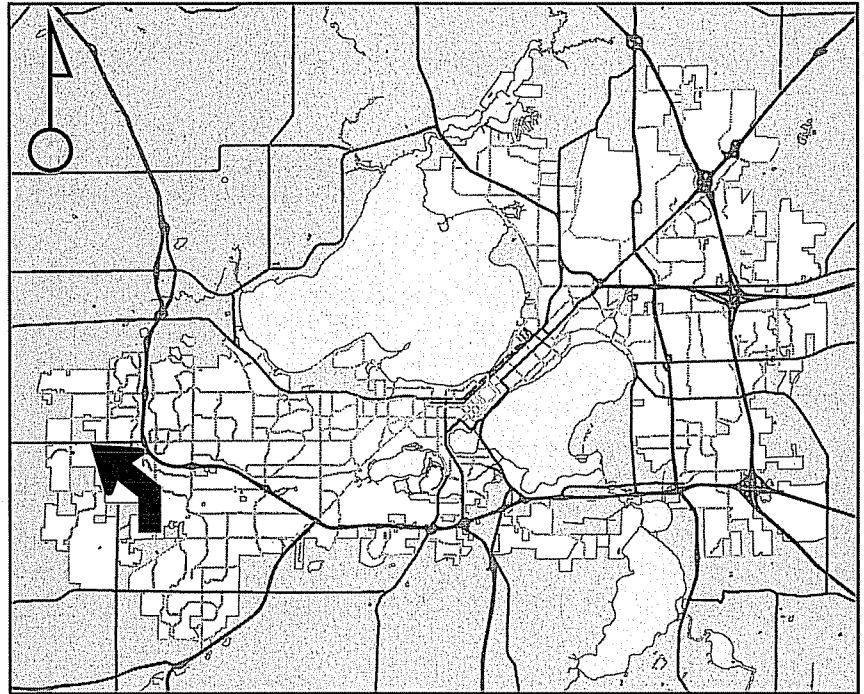
Sponsor  
Don Esposito - Great Neighborhoods West/  
Brian Munson - Vandewalle & Associates

From: PUD(GDP) To: PUD(SIP)

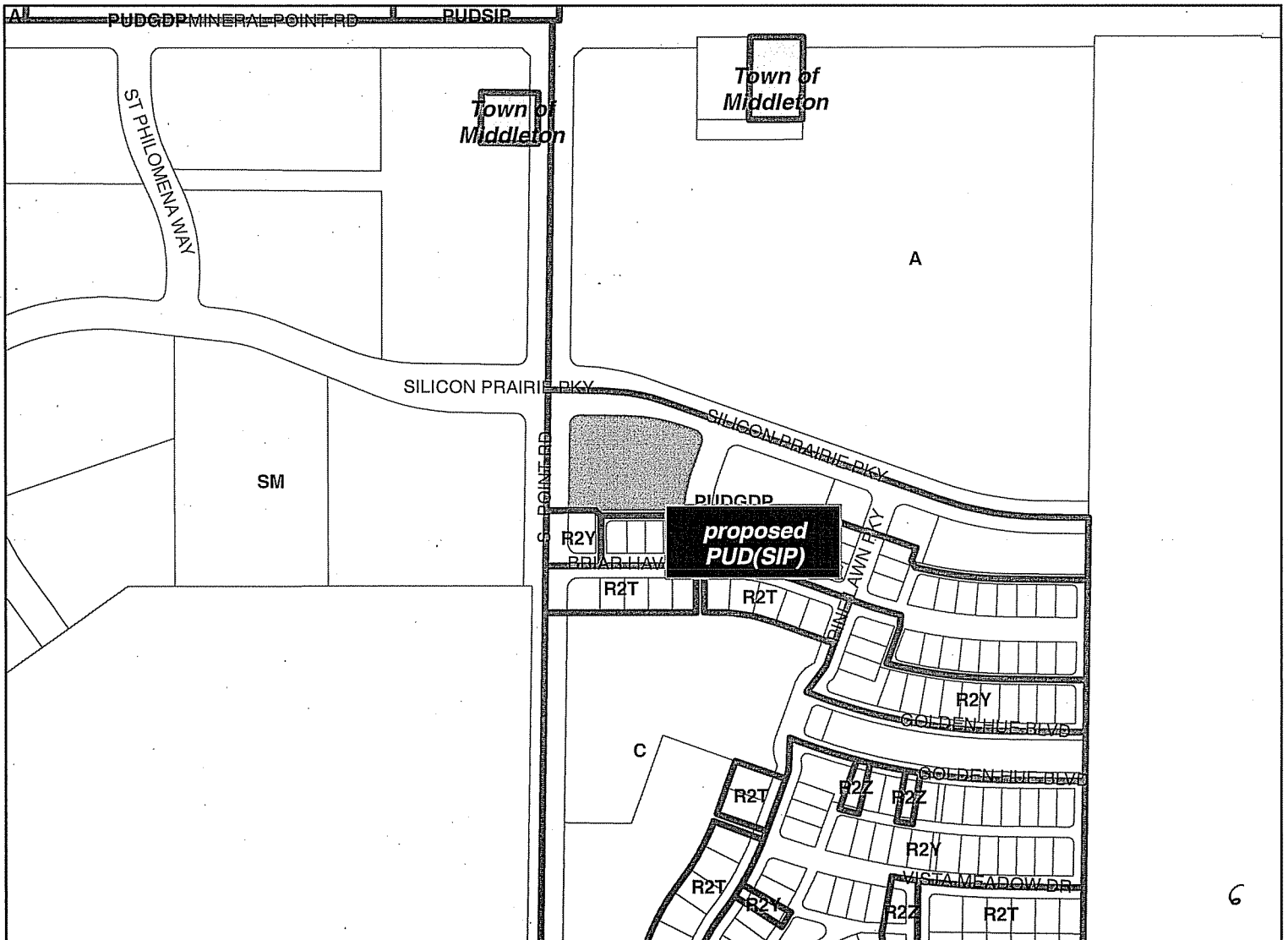
Existing Use  
Vacant Land

Proposed Use  
4 Building, 24-Unit  
Townhouse Development

Public Hearing Date  
Plan Commission  
21 May 2007  
Common Council  
05 June 2007



For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635





# LAND USE APPLICATION

## Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
 PO Box 2985; Madison, Wisconsin 53701-2985  
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:	
Amt. Paid	\$ <u>1450</u> Receipt No. <u>79595</u>
Date Received	<u>3-21-07</u>
Received By	<u>KAV</u>
Parcel No.	<u>0708-281-2002-5</u>
Aldermanic District	<u>09-Paul Skidmore</u>
GQ	<u>Eng. hold.</u>
Zoning District	<u>PUD(GPP)</u>
<b>For Complete Submittal</b>	
Application	<input checked="" type="checkbox"/> Letter of Intent <input checked="" type="checkbox"/>
IDUP	<input checked="" type="checkbox"/> Legal Descript. <input checked="" type="checkbox"/>
Plan Sets	<input checked="" type="checkbox"/> Zoning Text <input checked="" type="checkbox"/>
Alder Notification	<input checked="" type="checkbox"/> Waiver <input type="checkbox"/>
Nbrhd. Assn Not.	<u>N/A</u> Waiver <input type="checkbox"/>
Date Sign Issued	<input type="checkbox"/>

**1. Project Address:** 302 Cross Oak Drive (see attached) **Project Area in Acres:** 1.6 acres  
**Project Title (if any):** Cardinal Glenn - Lot 149 Townhomes

**2. This is an application for:** (check at least one)

<input checked="" type="checkbox"/> <b>Zoning Map Amendment</b> (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input checked="" type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests</b> (Specify): _____

**3. Applicant, Agent & Property Owner Information:**

Applicant's Name: Don Esposito Company: Great Neighborhoods West, LLC  
 Street Address: 6801 South Towne Drive City/State: Madison, WI Zip: 53713  
 Telephone: (608) 226-3100 Fax: (608) 226-0600 Email: desposito@veridianhomes.com  
 Project Contact Person: Chris Landerud or Brian Munson Company: Vandewalle & Associates  
 Street Address: 120 East Lakeside Street City/State: Madison, WI Zip: 53715  
 Telephone: (608) 255-3988 Fax: (608) 255-0814 Email: clanderud OR bmunson @vandewalle.com  
 Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

**4. Project Information:**

Provide a general description of the project and all proposed uses of the site: On this 1.6 acre multifamily site we are proposing the development of two 7-unit townhome buildings, one 6-unit townhome building, and one 4-unit townhome building; a total of 24 units. Within the project there is visitor parking and a common green space.

Development Schedule: Commencement Summer 2007 Completion January 2008

CONTINUE →

**5. Required Submittals:**

**Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

**Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

**Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.

**Filing Fee:** \$ 1450 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

**Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:  
→ *The site is located within the limits of* Pioneer Neighborhood *Plan, which recommends:*

Medium Density Residential *for this property.*

**Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*

Alderperson Paul Skidmore, District 9 - February 19, 2007

*If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*

**Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks Date 3.6.07 | Zoning Staff Matt Tucker Date 3.6.07

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name Chris Landerud Date 3.21.07

Signature *Chris Landerud* Relation to Property Owner Agent

Authorizing Signature of Property Owner *[Signature]* Date 3.21.07

RONALD K. ESPOSITO, Jr. ASST. SECTY



## SIP Zoning Text

Cardinal Glenn Neighborhood

Lot 149 Townhomes

Lot 455 – 610 Hercules Trail & 5818 Charon Lane

Lot 456 – 617 Jupiter Drive & 5802 Charon Lane

### Legal Description:

Lot 149, Cardinal Glenn, recorded in Volume 58-083A of plats on pages 421 through 425 as Document No. 4089593, Dane County Registry, located in the NW1/4 and SW1/4 of the NE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of 24 residential units: two 7-unit townhome buildings, a 6-unit townhome building, and a 4-unit townhome building
- B. **Permitted Uses:** Multi-Family Residential
- C. **Lot Area:** 1.6 Acres
- D. **Floor Area Ratio:** 0.83
  - 1. Maximum floor area ratio varies (set in the SIP).
  - 2. Maximum building height permitted is 45 feet.
- E. **Yard Requirements:** As shown on approved plans.
- F. **Landscaping:** As shown on approved plans.
- G. **Accessory Off-Street Parking & Loading:** As shown on approved plans.
- H. **Lighting:** As shown on approved plans.
- I. **Signage:** Not applicable
- J. **Family Definition:** The family definition of the PUD-SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison Ordinances for the R-4 zoning district.
- K. **Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alteration or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

March 21, 2007

Mr. Brad Murphy  
City of Madison - Department of Planning & Development  
215 Martin Luther King Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985

Re: Letter of Intent: Cardinal Glenn – Lot 149 Townhomes  
302 Cross Oak Drive, 9439 Silicon Prairie Parkway, 301 South Point Road

Dear Mr. Murphy:

On behalf of David Simon, Great Neighborhoods West, LLC, we are pleased to submit the SIP and attached packet of information for the Cardinal Glenn Lot 149 Townhomes. Included in this submittal is an inclusionary zoning application and plan. On this 1.6 acre site we are proposing development of 24 residential units: two 7-unit townhome buildings, a 6-unit townhome building, and a 4-unit townhome building. This land use transitions from single family residential located south, to higher density residential proposed to the north. The townhomes fronting onto Silicon Prairie Parkway continue the character of the townhomes planned to the east. Within the plan there are also visitor parking stalls.

Owners: Great Neighborhoods West, LLC.

Design Team:

Vandewalle & Associates  
120 East Lakeside Street  
Madison, Wisconsin 53715  
Tel/Fax: (608) 255-3988 / (608) 255-0814

Mr. Brian Munson  
Mr. Chris Landerud

D'Onofrio Kottke  
7530 Westward Way  
Madison, Wisconsin 53717  
Tel/Fax: (608) 833-7530 / (608) 833-1089

Mr. Dan Day

Eppstein Uhen Architects  
222 W. Washington Ave, Suite 650  
Madison, Wisconsin 53703  
Tel/Fax: (608) 442-5350 / (608) 442-6680

Mr. Bill Rusk

Engberg Anderson  
611 N. Broadway  
Milwaukee, WI 53202  
Tel/Fax: (414) 944-9000 / (414) 944-9100

Mr. John Fatica

Development Information:

Legal Description: Lot 149, Cardinal Glenn, recorded in Volume 58-083A of plats on pages 421 through 425 as Document No. 4089593, Dane County Registry, located in the NW1/4 and SW1/4 of the NE1/4 of Section 28, T7N, R8E, City of Madison, Dane County, Wisconsin.

Project Name: Cardinal Glenn – Lot 149 Townhomes

Addresses: 302 Cross Oak Dr, 9439 Silicon Prairie Parkway, 301 South Point Rd

Parcel Number: 0708-281-2002-5

Zoning: PUD-GDP Doc. # 4107395  
Cardinal Glenn – Adopted: January 18, 2005

Proposed Use: District III: Multi-Family Residential

Schedule: Commencement – Summer 2007  
Completion – January 2008

Lot Area: 69,532 sq. ft. (1.6 acres)

Total Dwelling Units: 24 units

Estimated Price: \$209,000 per unit (3 bedrooms)

Floor Area: 58,014 square feet  
Floor Area Ratio: 0.83

Impervious Area: 29,693 square feet  
Impervious Area Ratio: 0.61

Surface Parking: 7  
Garage Parking: 48  
Total Parking: 55

Thank you for your time in reviewing this project.

Sincerely,



Chris Landerud

## PUD:GDP Zoning Text

Final Plat Lot Numbers:

The following districts detail the yard requirements and lot characteristics for the Planned Unit Development: General Development Plan (PUD:GDP) sections of the neighborhood

- District I      Twin Homes
- District II     Townhomes
- District III   Multifamily Residential



### TERMS AND DEFINITIONS:

#### Definition of Family

The definition of family shall coincide with the definition in in Section 28.03(2) Madison General Ordinances as it applies to the R4 District.

#### Permitted Encroachments

Front porches, balconies, stoops, open porches and covered walkways may encroach a maximum of 6' into the front yard setback.

Rear yard decks and patios may encroach a maximum of 10' into rear yard setbacks (alley access lots excluded).

Front Yard Setbacks greater than 20' must utilize a 6-8' porch encroachment.

Corner lot porches, and bay windows may not encroach the vision triangle.

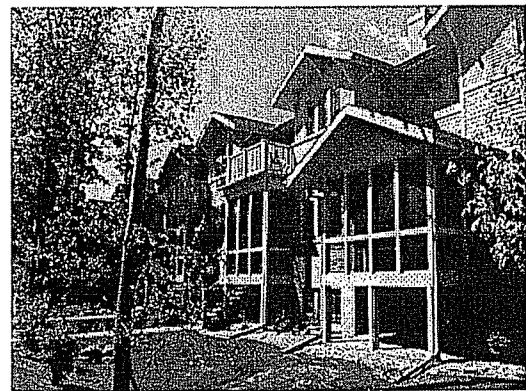
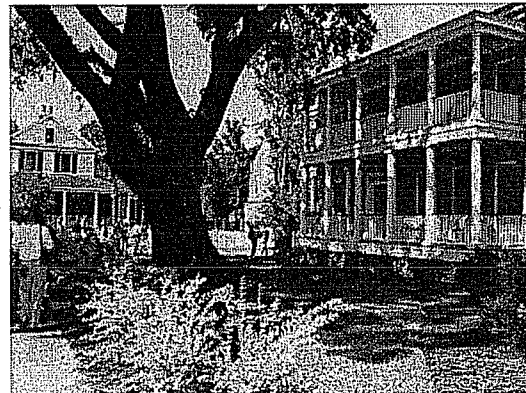
Roof eaves and overhangs may project into any required setback up to 24 inches. Roof eaves and overhangs may not extend over a property line.

Garden walls or fences shall be regulated by a separate fencing guideline packet and will require approval by the Architectural Control Committee. Walls and fences located within the vision triangle shall not exceed 30" in height.

Fences located in side yards of less than 20 feet between adjoining buildings (bridging building separations) are required to be perpendicular to the property line, and must include a 46" wide gate for fire accessibility. Such fences may span the property line where use easements are in place.

Plantings or fences installed may not block site drainage or impede fire access to the building sides or rear yard.

Trash enclosure fencing shall be no more than 8' in height and will require approval by the Architectural Control Committee.



6



**Bulk Mass**

Residential massing will offer a variety of pedestrian focused street environments and will vary within the neighborhood. Street facing garages shall not exceed 50% of the total structure width for single family homes and duplexes. Houses on corner lots with garage configurations such that the primary entrance to the house faces one street while the garage faces the intersecting street (separate facade) are exempt from this clause.



Building placement will be carefully regulated so as to encourage a pedestrian environment and reinforce the street edge through a combination of reduced setbacks and parking placement. Building placements shall also be carefully regulated to maintain a pedestrian streetscape and screened parking areas.

**Accessory Building Regulations**

Accessory uses within the townhomes, and multifamily districts will be determined on a case-by-case basis as part of the Specific Implementation Plan submittals.



**Building Heights**

Duplex units within this neighborhood shall not exceed 35' in height.

Townhome and multi-family building heights within the neighborhood shall be set as a component of Specific Implementation Plans.

**Off-Street Parking**

Two off-street parking stalls per unit will be required for each duplex home within the neighborhood.

Parking requirements for the townhomes and multifamily buildings will be set as a component of Specific Implementation Plans.



**Floor Area Ratio**

Floor Area Ratios for districts will be set as a component of Specific Implementation Plans.

**Impervious Surface Ratio**

Impervious Surface Ratios for all districts will be set as a component of Specific Implementation Plans.

**Usable Outdoor Open Space Requirement**

Usable Outdoor Open Space Requirement for the townhome and multifamily districts will be set as a component of Specific Implementation Plans.



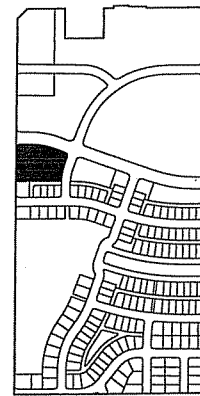
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### DISTRICT III: MULTI-FAMILY RESIDENTIAL

Final Plat Lot Numbers: 149

#### Description

The Multi-Family Residential district completes the housing options within the neighborhood and includes a full range of styles, densities, and configurations of attached housing options. Housing densities within this district will range from detached single family condominiums to town center multifamily buildings and will offer a wide range of housing options for residents of the neighborhood; as well as condominium and rental units.



**District III Locations**

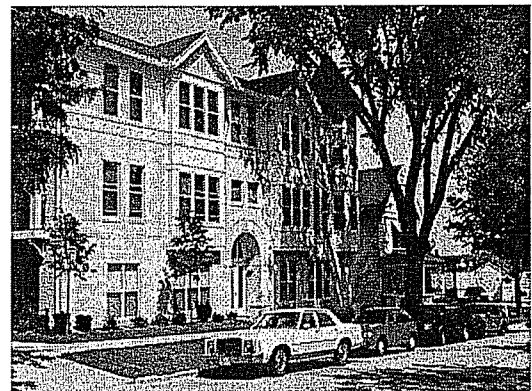
#### Permitted Uses

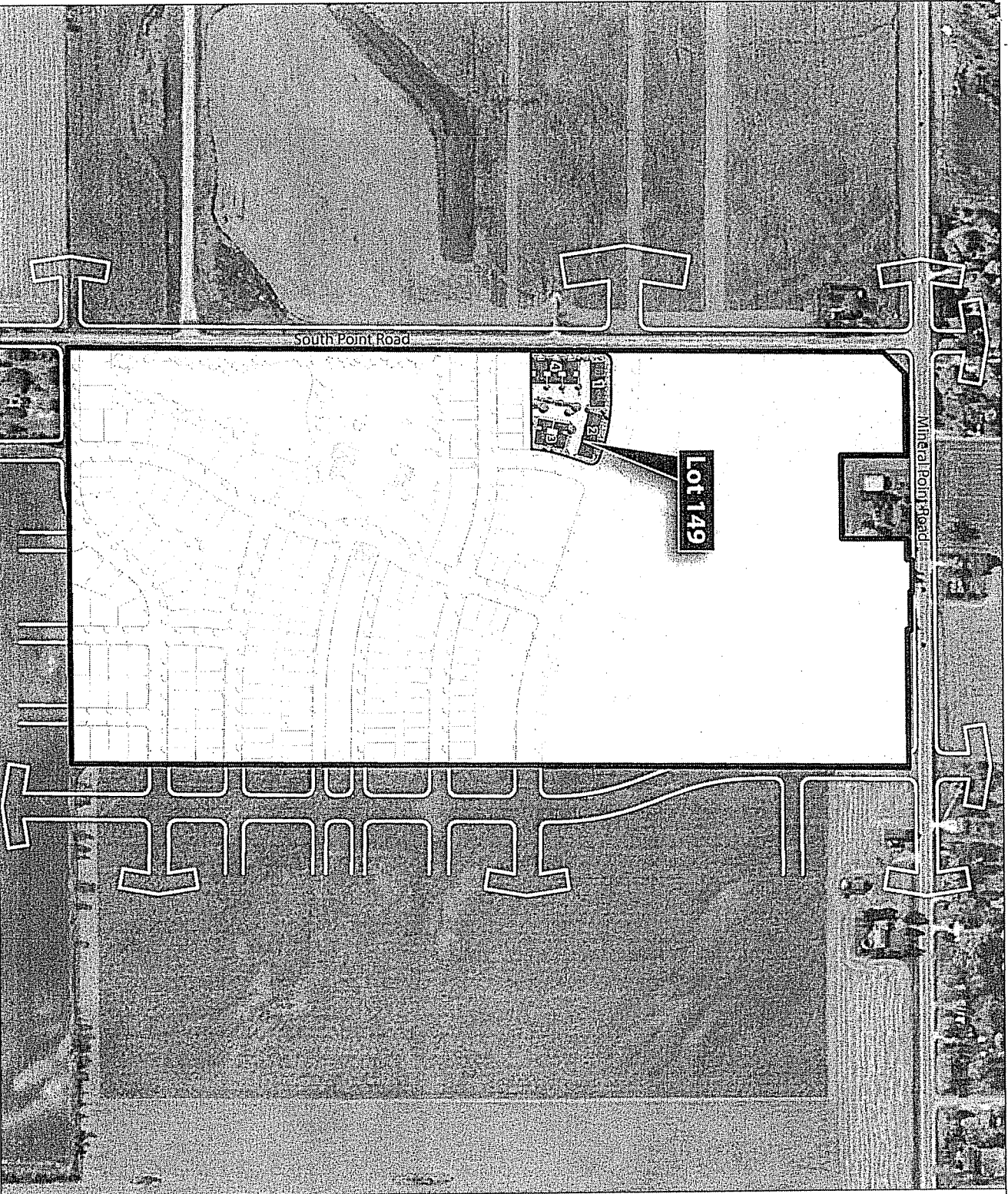
Multi-Family Residential

Detached, Attached, & Underground Parking

#### Lot Requirements

Minimum Lot Area	varies (will be set in SIP)
Minimum Lot Width	varies (will be set in SIP)
Minimum Corner Lot Width	varies (will be set in SIP)
Minimum Front Yard Setback	0 feet
Minimum Side Yard Setback	0 feet
Sum of Side Yard Setbacks	0 feet minimum
Minimum Building Separation	0 feet between adjoining lots
Minimum Paved Surface Setback	0 feet
Maximum Building Height	45 feet
Maximum Impervious Surface Ratio	varies (will be set in SIP)
Maximum Floor Area Ratio	varies (will be set in SIP)
Off-Street Parking and Loading	varies (will be set in SIP)





**CARDINAL GLENN  
NEIGHBORHOOD**

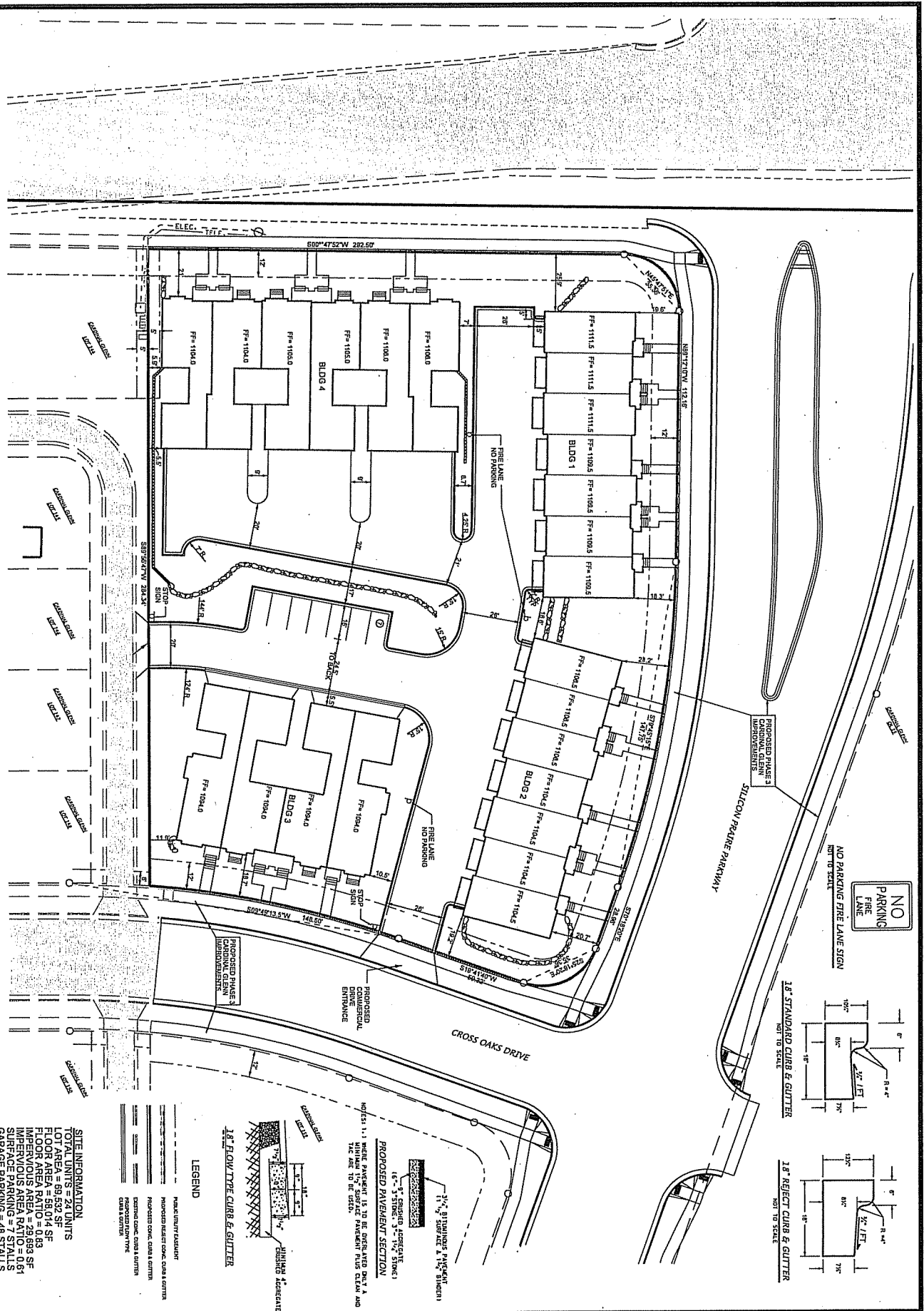
*Madison, Wisconsin*

**SIP SUBMITTAL**

**LOT 149 TOWNHOMES**

- Location Map/Cover Page
- Site Plan
- Site Grading Plan
- Site Utility Plan
- Townhome Buildings #1 & #2
  - Front, Rear, & Side Elevations
  - Garage Level & First Floor Plans
  - Second Floor Plan & Roof Plans
- Townhome Building #3
  - Front Elevation
  - Side & Rear Elevations
  - Lower Level Floor Plan
  - First Floor Plan
  - Second Floor Plan
  - Roof Plan
- Townhome Building #4
  - Front Elevation
  - Side & Rear Elevations
  - Lower Level Floor Plan
  - First Floor Plan
  - Second Floor Plan
  - Roof Plan
- Landscape Plan
- Lighting Plan
- Inclusionary Zoning Plan





**SITE INFORMATION**  
 TOTAL UNITS = 24 UNITS  
 LOT AREA = 69,532 SF  
 FLOOR AREA = 581,014 SF  
 IMPERVIOUS AREA = 26,893 SF  
 SURFACE PARKING = 7 STALLS  
 GARAGE PARKING = 48 STALLS

**LEGEND**  
 PROPOSED PAVEMENT SECTION  
 PROPOSED CURB & GUTTER  
 PROPOSED SIGNAGE

**18" STANDARD CURB & GUTTER**  
 NOT TO SCALE

**18" REFLECT CURB & GUTTER**  
 NOT TO SCALE

**PROPOSED PAVEMENT SECTION**  
 1" - 3" CHISEL AGGREGATE  
 (1" - 3" STONE, 1/2" - 1" STONE)  
 MINIMUM 1" SURFACE A 1/2" SLOPE  
 TAC ME TO BE USED.

**PROPOSED SIGNAGE**  
 NO PARKING FIRE LANE SIGN  
 NO PARKING FIRE LANE SIGN  
 NO TO SCALE

**SITE PLAN**

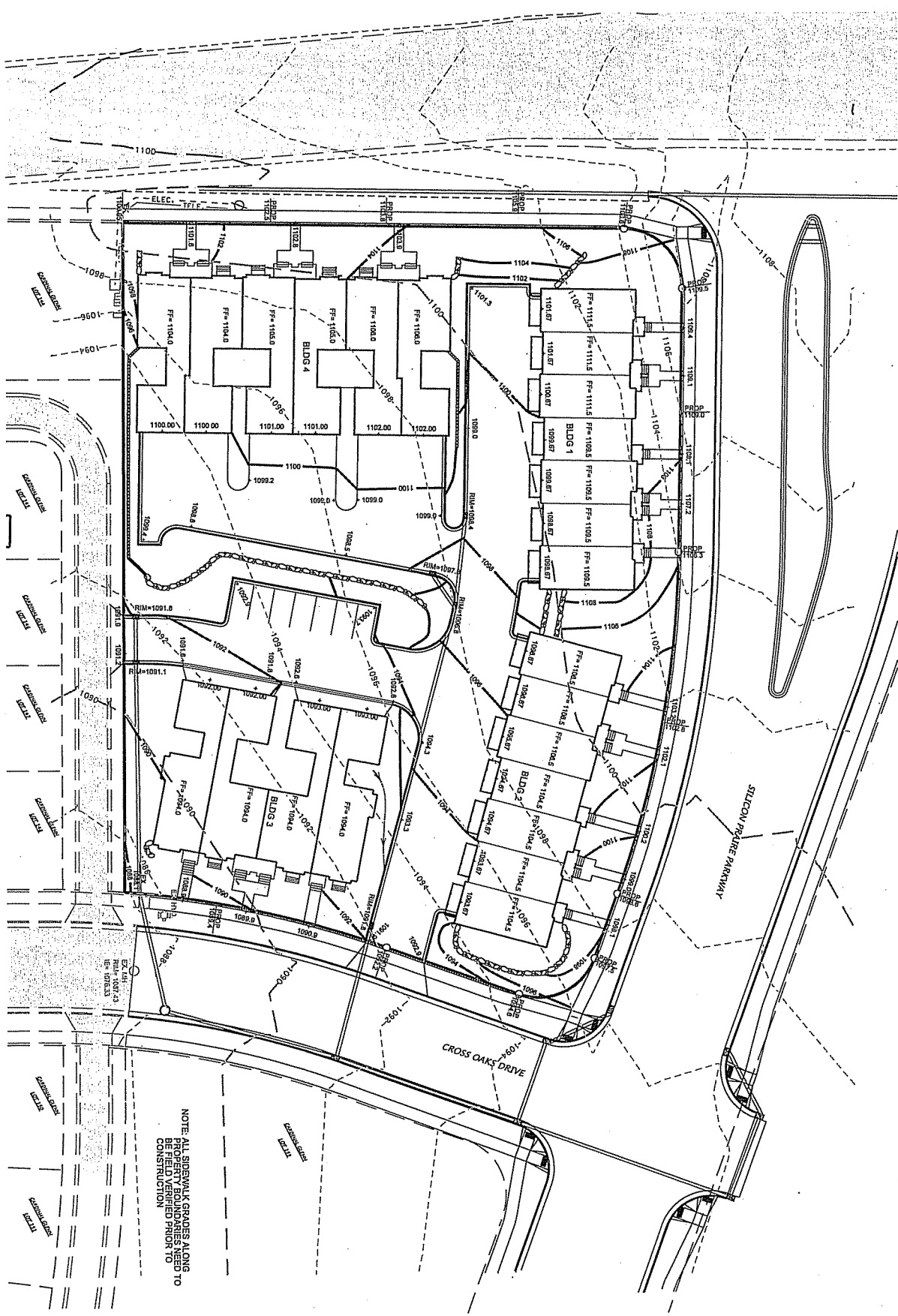
**LOT 149 - CARDINAL GLENN**

302 CROSS OAKS DRIVE  
 MADISON, WISCONSIN

DATE: 03-21-07  
 REV:

FN: 07-03-101  
 DRAWN BY: TLE





NOTE: ALL SPERNA K GARAGES ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

SITE GRADING PLAN

LOT 149 - CARDINAL GLENN

302 CROSS OAKS DRIVE  
MADISON, WISCONSIN

DATE: 03-21-07  
REV:

FN: 07-03-101  
DRAWN BY: JAM

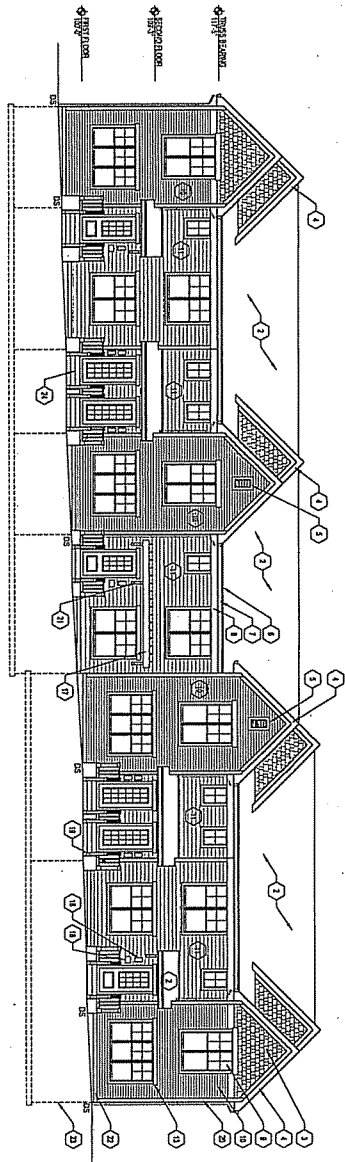


D'ONOFRIO KOTTKE AND ASSOCIATES, INC.  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

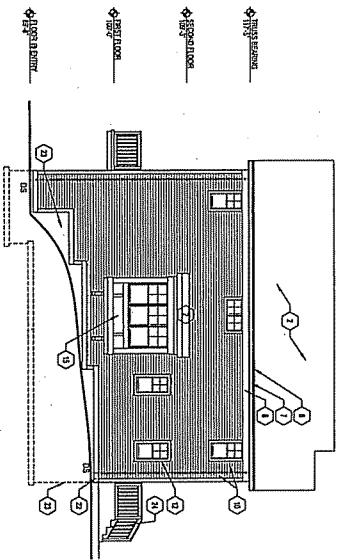
CL1

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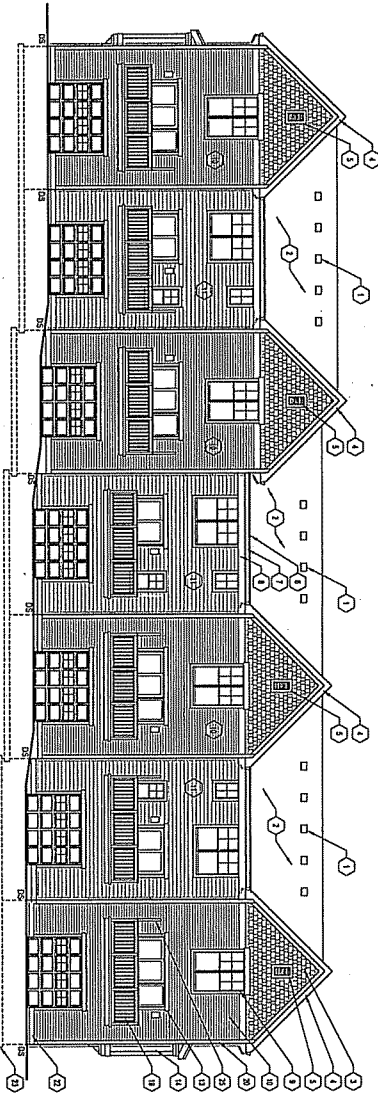




1 NORTH ELEVATION



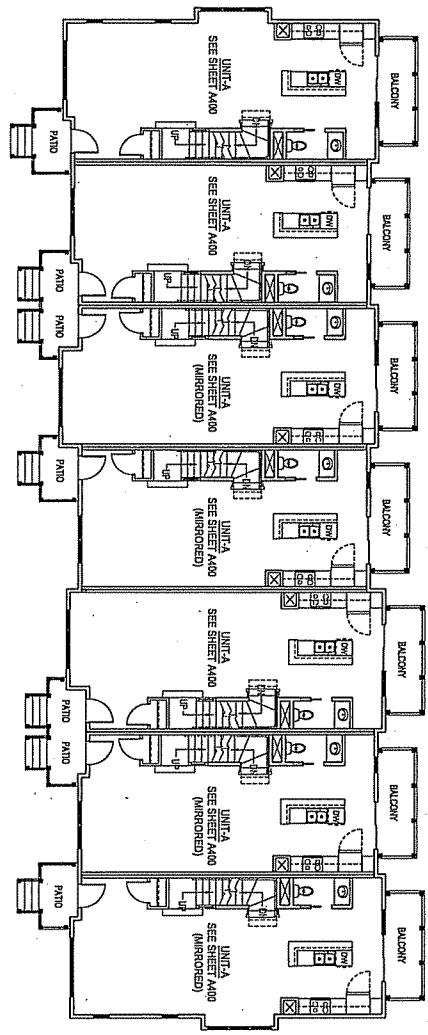
2 EAST ELEVATION



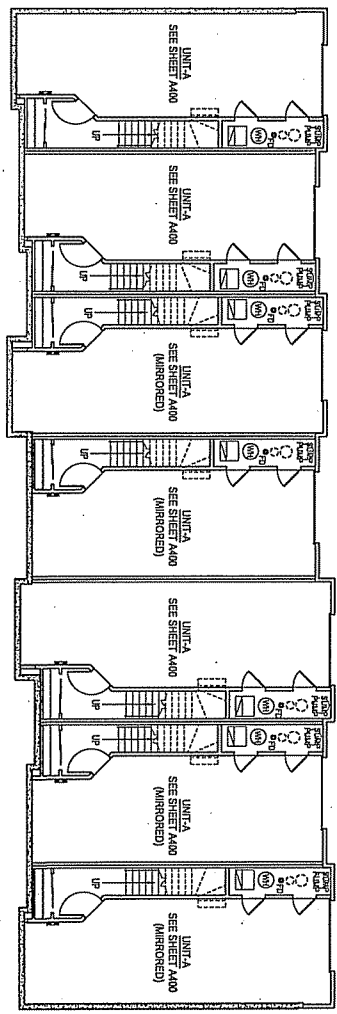
3 SOUTH ELEVATION

TOWNHOUSE MATERIAL KEY	
1 SHINGLED ROOF VENT	11 TYPICAL BRICK GABLED ROOFING (PLAN)
2 FINISHED CEILING	12 TYPICAL FINISH FLOOR
3 SHINGLED ROOF VENT	13 FINISHED FLOOR
4 TYPICAL LINE	14 1/2" WOOD TRIM
5 TYPICAL LINE	15 1" WOOD TRIM
6 TYPICAL LINE	16 3/4" WOOD TRIM
7 TYPICAL LINE	17 1" WOOD TRIM
8 TYPICAL LINE	18 1/2" WOOD TRIM
9 TYPICAL LINE	19 3/4" WOOD TRIM
10 TYPICAL LINE	20 1" WOOD TRIM
11 TYPICAL LINE	21 1/2" WOOD TRIM
12 TYPICAL LINE	22 3/4" WOOD TRIM
13 TYPICAL LINE	23 1" WOOD TRIM
14 TYPICAL LINE	24 1/2" WOOD TRIM
15 TYPICAL LINE	25 3/4" WOOD TRIM
16 TYPICAL LINE	26 1" WOOD TRIM
17 TYPICAL LINE	27 1/2" WOOD TRIM
18 TYPICAL LINE	28 3/4" WOOD TRIM
19 TYPICAL LINE	29 1" WOOD TRIM
20 TYPICAL LINE	30 1/2" WOOD TRIM
21 TYPICAL LINE	31 3/4" WOOD TRIM
22 TYPICAL LINE	32 1" WOOD TRIM
23 TYPICAL LINE	33 1/2" WOOD TRIM
24 TYPICAL LINE	34 3/4" WOOD TRIM
25 TYPICAL LINE	35 1" WOOD TRIM
26 TYPICAL LINE	36 1/2" WOOD TRIM
27 TYPICAL LINE	37 3/4" WOOD TRIM
28 TYPICAL LINE	38 1" WOOD TRIM
29 TYPICAL LINE	39 1/2" WOOD TRIM
30 TYPICAL LINE	40 3/4" WOOD TRIM
31 TYPICAL LINE	41 1" WOOD TRIM
32 TYPICAL LINE	42 1/2" WOOD TRIM
33 TYPICAL LINE	43 3/4" WOOD TRIM
34 TYPICAL LINE	44 1" WOOD TRIM
35 TYPICAL LINE	45 1/2" WOOD TRIM
36 TYPICAL LINE	46 3/4" WOOD TRIM
37 TYPICAL LINE	47 1" WOOD TRIM
38 TYPICAL LINE	48 1/2" WOOD TRIM
39 TYPICAL LINE	49 3/4" WOOD TRIM
40 TYPICAL LINE	50 1" WOOD TRIM
41 TYPICAL LINE	51 1/2" WOOD TRIM
42 TYPICAL LINE	52 3/4" WOOD TRIM
43 TYPICAL LINE	53 1" WOOD TRIM
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46 TYPICAL LINE	56 1" WOOD TRIM
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48 TYPICAL LINE	58 3/4" WOOD TRIM
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50 TYPICAL LINE	60 1/2" WOOD TRIM
51 TYPICAL LINE	61 3/4" WOOD TRIM
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53 TYPICAL LINE	63 1/2" WOOD TRIM
54 TYPICAL LINE	64 3/4" WOOD TRIM
55 TYPICAL LINE	65 1" WOOD TRIM
56 TYPICAL LINE	66 1/2" WOOD TRIM
57 TYPICAL LINE	67 3/4" WOOD TRIM
58 TYPICAL LINE	68 1" WOOD TRIM
59 TYPICAL LINE	69 1/2" WOOD TRIM
60 TYPICAL LINE	70 3/4" WOOD TRIM
61 TYPICAL LINE	71 1" WOOD TRIM
62 TYPICAL LINE	72 1/2" WOOD TRIM
63 TYPICAL LINE	73 3/4" WOOD TRIM
64 TYPICAL LINE	74 1" WOOD TRIM
65 TYPICAL LINE	75 1/2" WOOD TRIM
66 TYPICAL LINE	76 3/4" WOOD TRIM
67 TYPICAL LINE	77 1" WOOD TRIM
68 TYPICAL LINE	78 1/2" WOOD TRIM
69 TYPICAL LINE	79 3/4" WOOD TRIM
70 TYPICAL LINE	80 1" WOOD TRIM
71 TYPICAL LINE	81 1/2" WOOD TRIM
72 TYPICAL LINE	82 3/4" WOOD TRIM
73 TYPICAL LINE	83 1" WOOD TRIM
74 TYPICAL LINE	84 1/2" WOOD TRIM
75 TYPICAL LINE	85 3/4" WOOD TRIM
76 TYPICAL LINE	86 1" WOOD TRIM
77 TYPICAL LINE	87 1/2" WOOD TRIM
78 TYPICAL LINE	88 3/4" WOOD TRIM
79 TYPICAL LINE	89 1" WOOD TRIM
80 TYPICAL LINE	90 1/2" WOOD TRIM
81 TYPICAL LINE	91 3/4" WOOD TRIM
82 TYPICAL LINE	92 1" WOOD TRIM
83 TYPICAL LINE	93 1/2" WOOD TRIM
84 TYPICAL LINE	94 3/4" WOOD TRIM
85 TYPICAL LINE	95 1" WOOD TRIM
86 TYPICAL LINE	96 1/2" WOOD TRIM
87 TYPICAL LINE	97 3/4" WOOD TRIM
88 TYPICAL LINE	98 1" WOOD TRIM
89 TYPICAL LINE	99 1/2" WOOD TRIM
90 TYPICAL LINE	100 3/4" WOOD TRIM
91 TYPICAL LINE	101 1" WOOD TRIM
92 TYPICAL LINE	102 1/2" WOOD TRIM
93 TYPICAL LINE	103 3/4" WOOD TRIM
94 TYPICAL LINE	104 1" WOOD TRIM
95 TYPICAL LINE	105 1/2" WOOD TRIM
96 TYPICAL LINE	106 3/4" WOOD TRIM
97 TYPICAL LINE	107 1" WOOD TRIM
98 TYPICAL LINE	108 1/2" WOOD TRIM
99 TYPICAL LINE	109 3/4" WOOD TRIM
100 TYPICAL LINE	110 1" WOOD TRIM





2 FIRST FLOOR PLAN  
1/8"=1'-0"

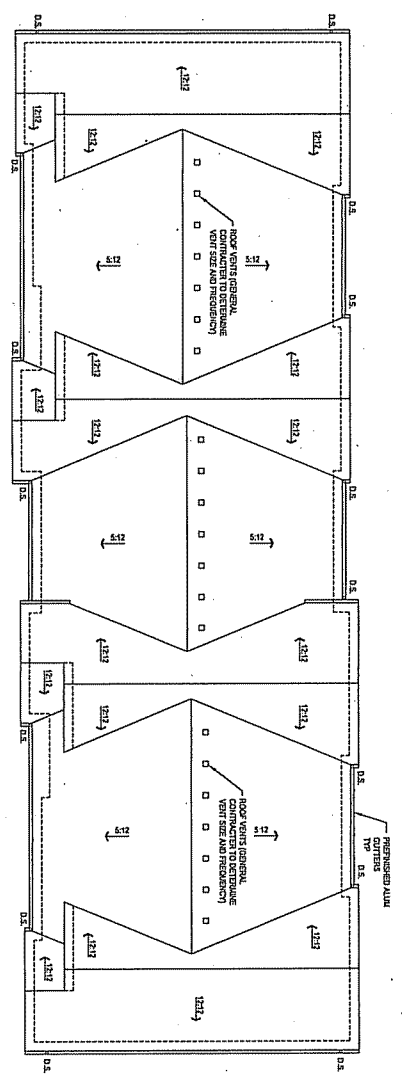


1 GARAGE LEVEL PLAN  
1/8"=1'-0"

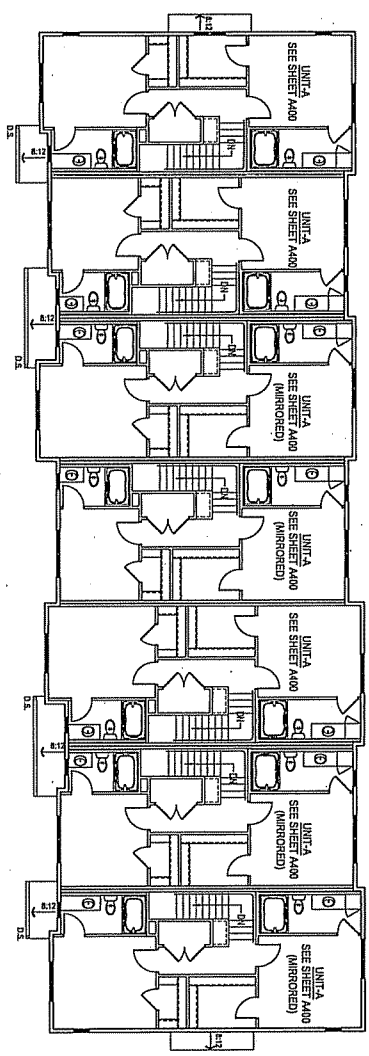


SCALE: 1/8" = 1'-0"





2 ROOF PLAN  
1/8"=1'-0"



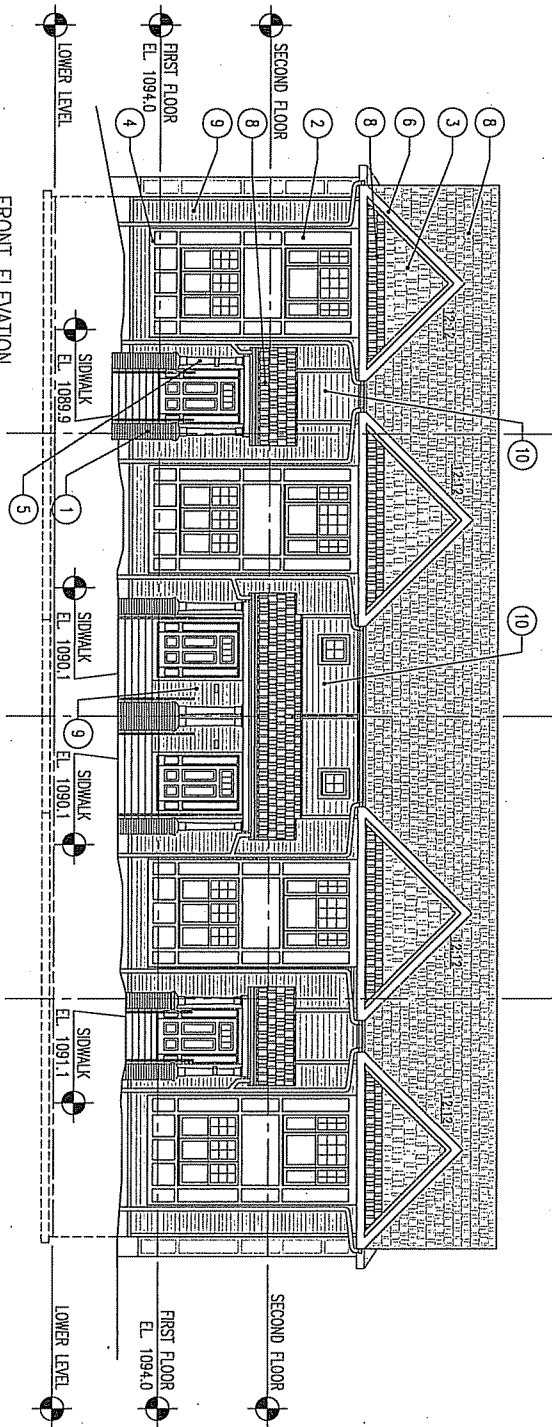
1 SECOND FLOOR PLAN  
1/8"=1'-0"



0 4 8  
SCALE: 1/8" = 1'-0"

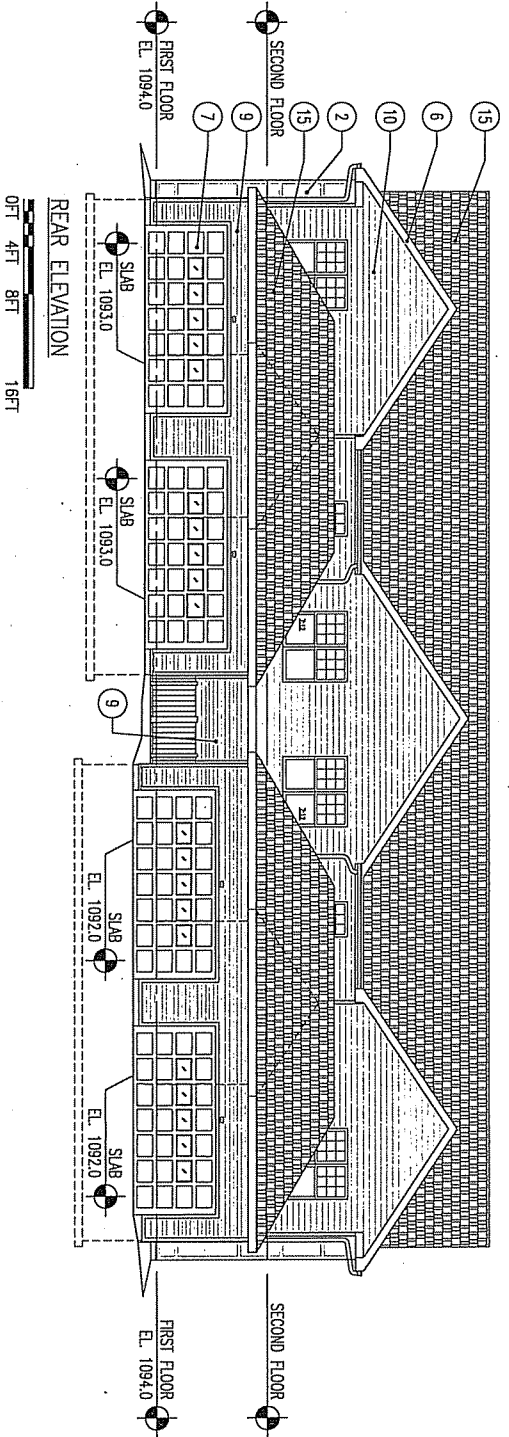


# CARDINAL GLEN - LOT 149 - BUILDING 3



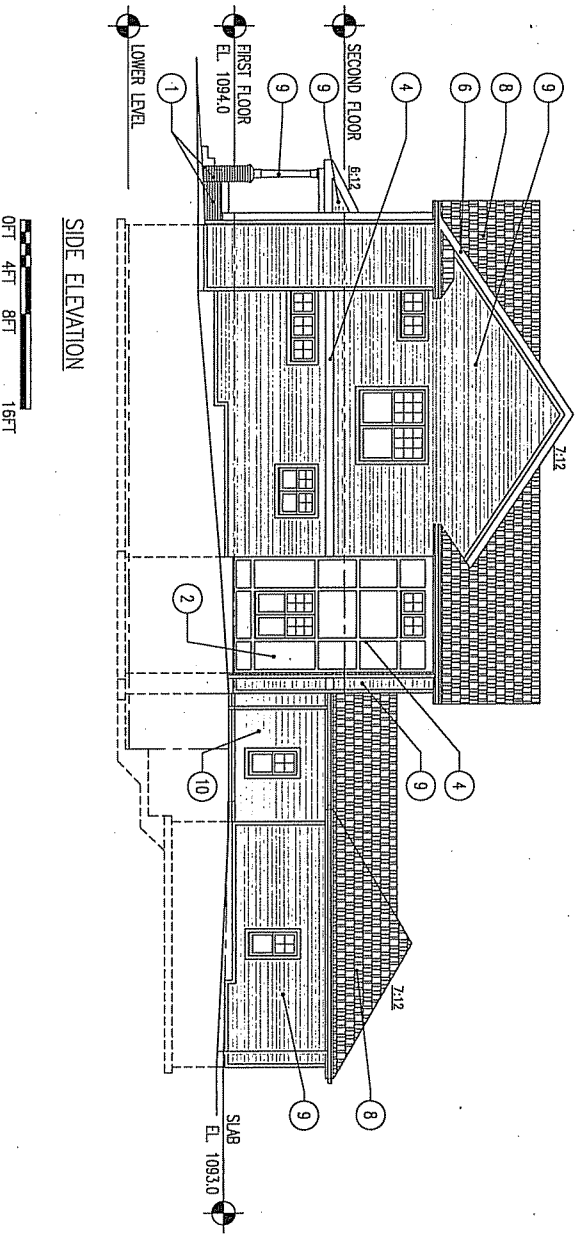
FRONT ELEVATION

EXTERIOR ELEVATION MATERIAL SCHEDULE	
1	BRICK
2	HARDPANEL SMOOTH CEMENT BOARD PANEL
3	HARDIE SHINGLE STAGGERED EDGE PANEL
4	COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
5	WOOD COLUMN PAINTED
6	WOOD FASCIA PAINTED
7	INSULATED GARAGE DOOR
8	ROOF SHINGLES
9	CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
10	CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT



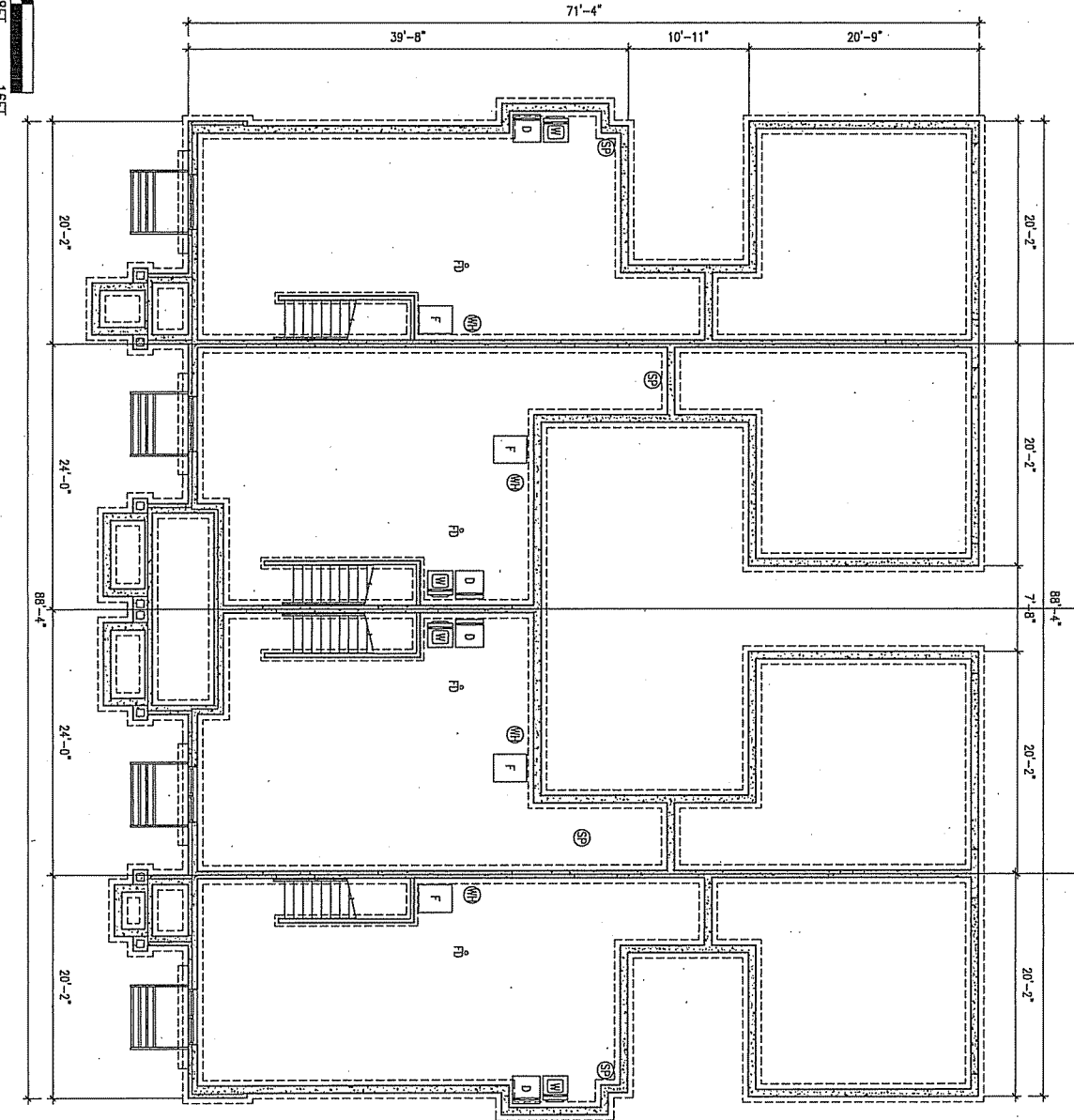
EXTERIOR ELEVATION MATERIAL SCHEDULE

- 1 BRICK
- 2 HARDIPANEL, SMOOTH CEMENT BOARD PANEL
- 3 HARDIE SHINGLE STAGGERED EDGE PANEL
- 4 COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
- 5 WOOD COLLUMN PAINTED
- 6 WOOD FASCIA PAINTED
- 7 INSULATED GARAGE DOOR
- 8 ROOF SHINGLES
- 9 CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
- 10 CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT

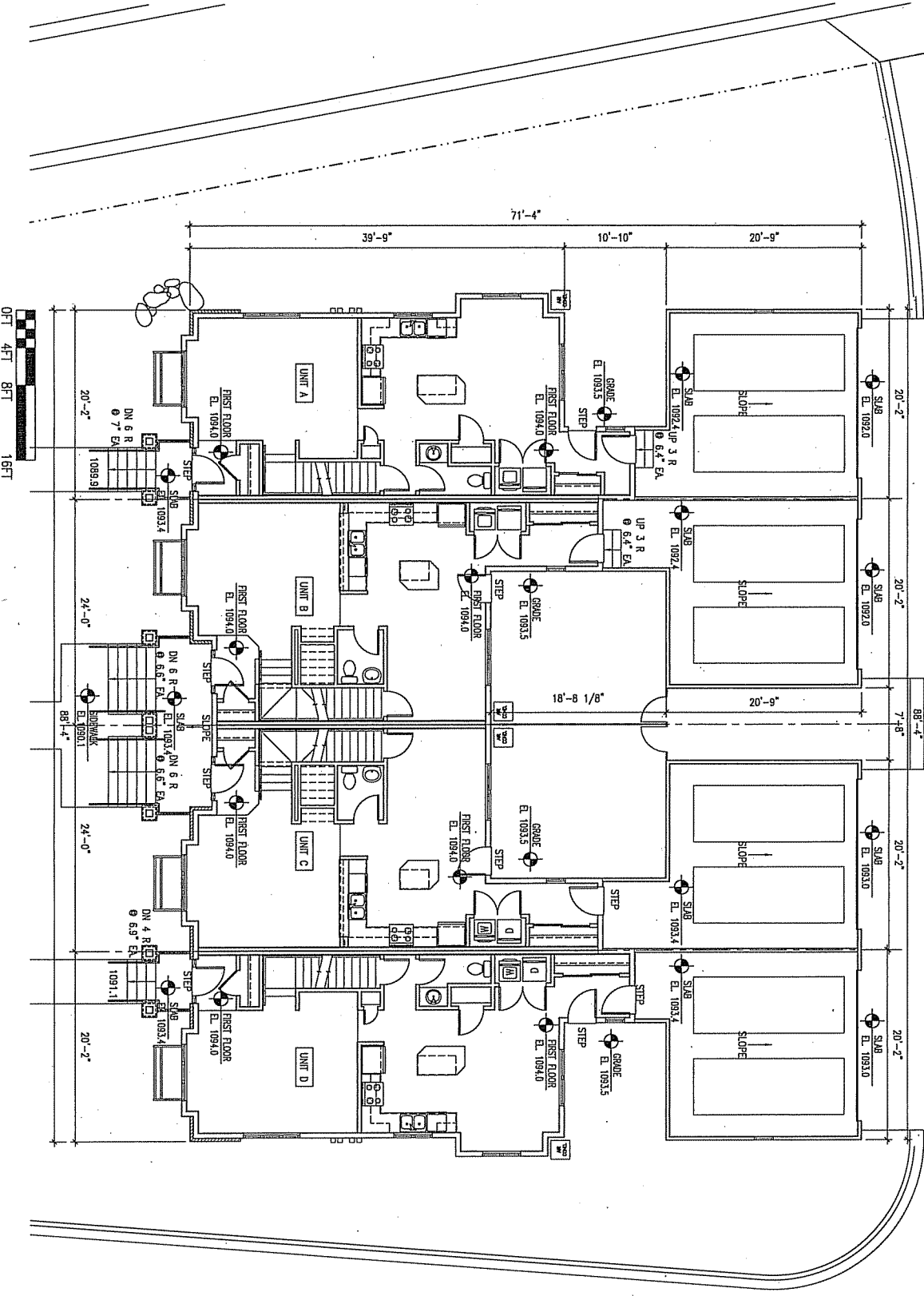


# CARDINAL GLEN - LOT 149 - BUILDING 3

# CARDINAL GLEN - LOT 149 - BUILDING 3

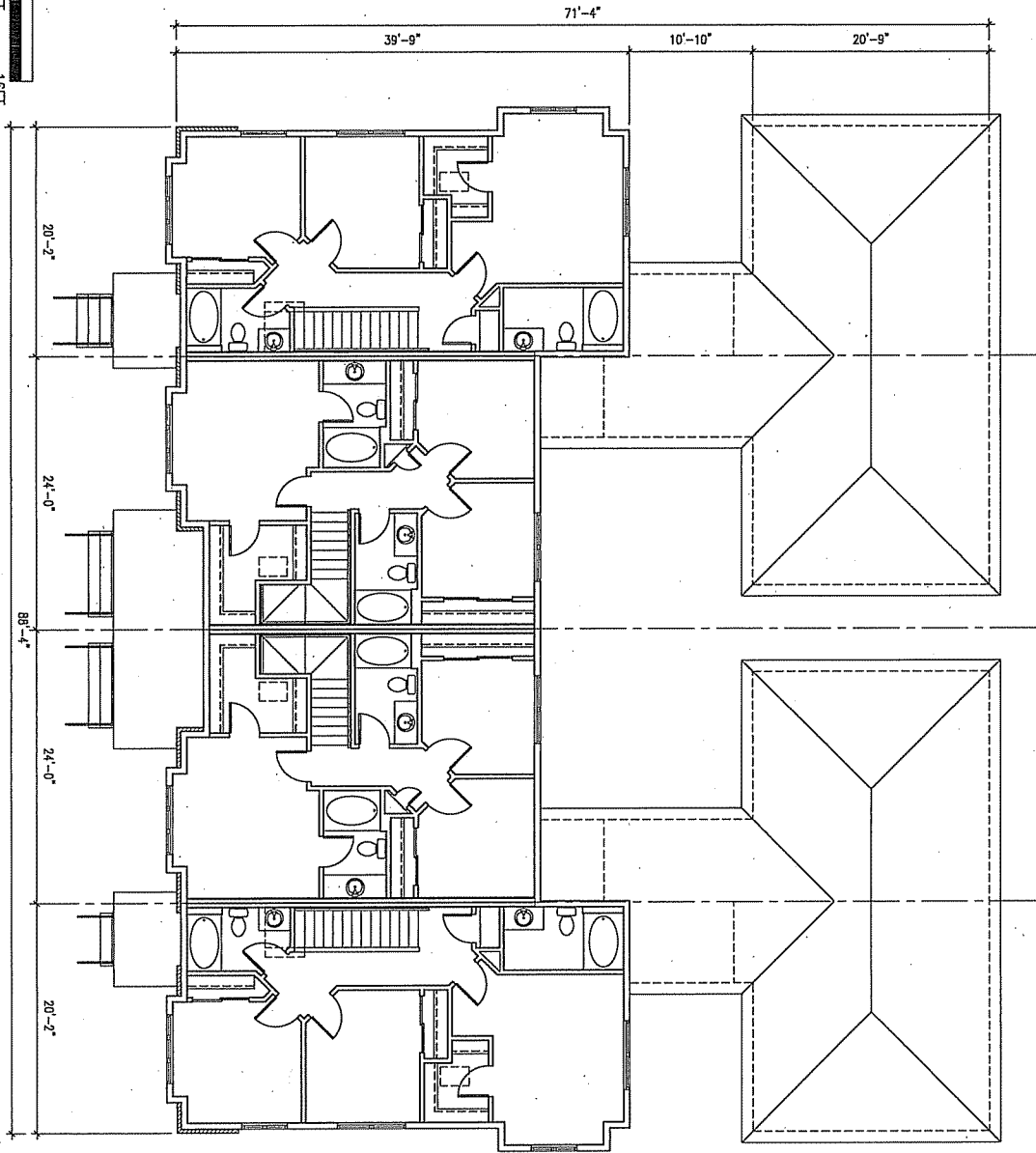


# CARDINAL GLEN - LOT 149 - BUILDING 3

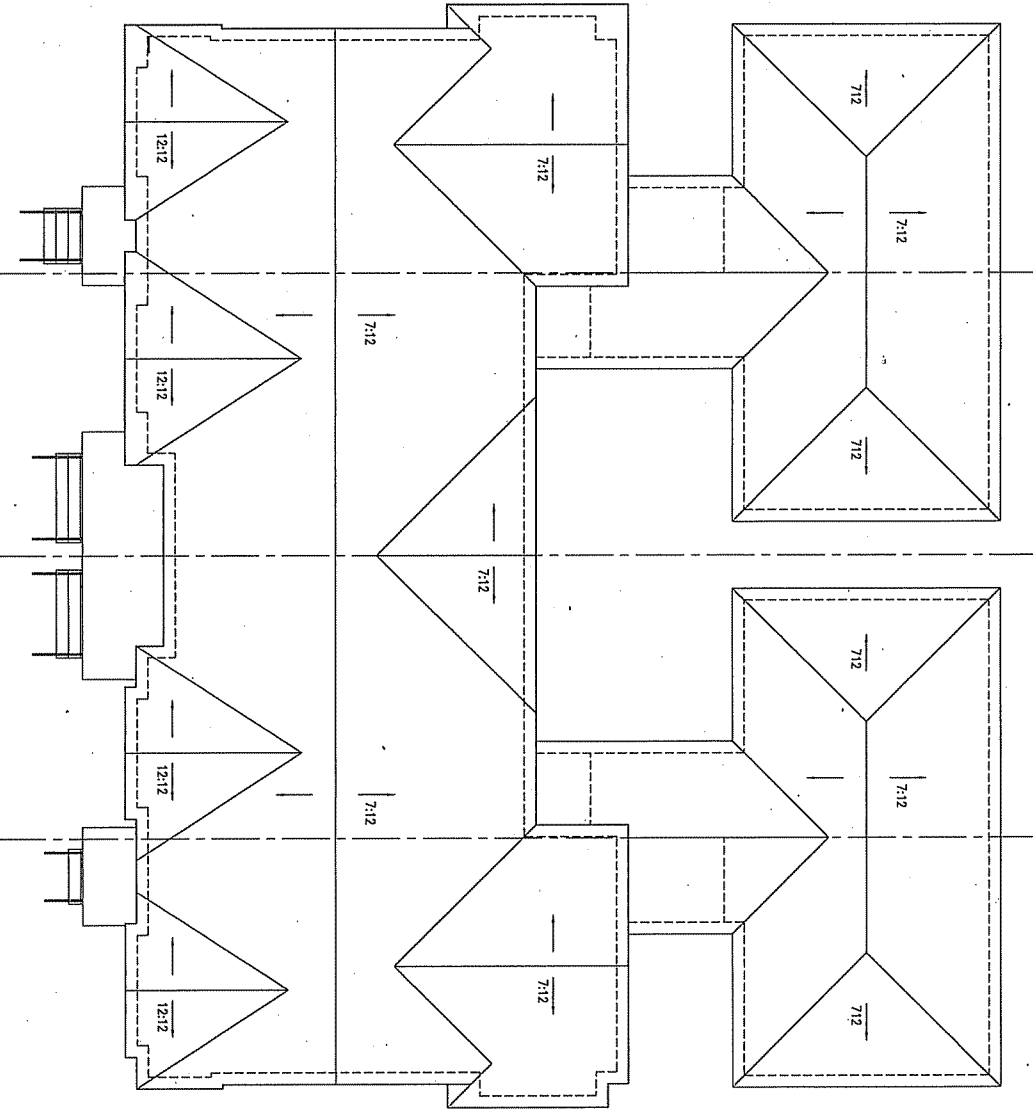




CARDINAL GLEN - LOT 149 - BUILDING 3



CARDINAL GLEN - LOT 149 - BUILDING 3

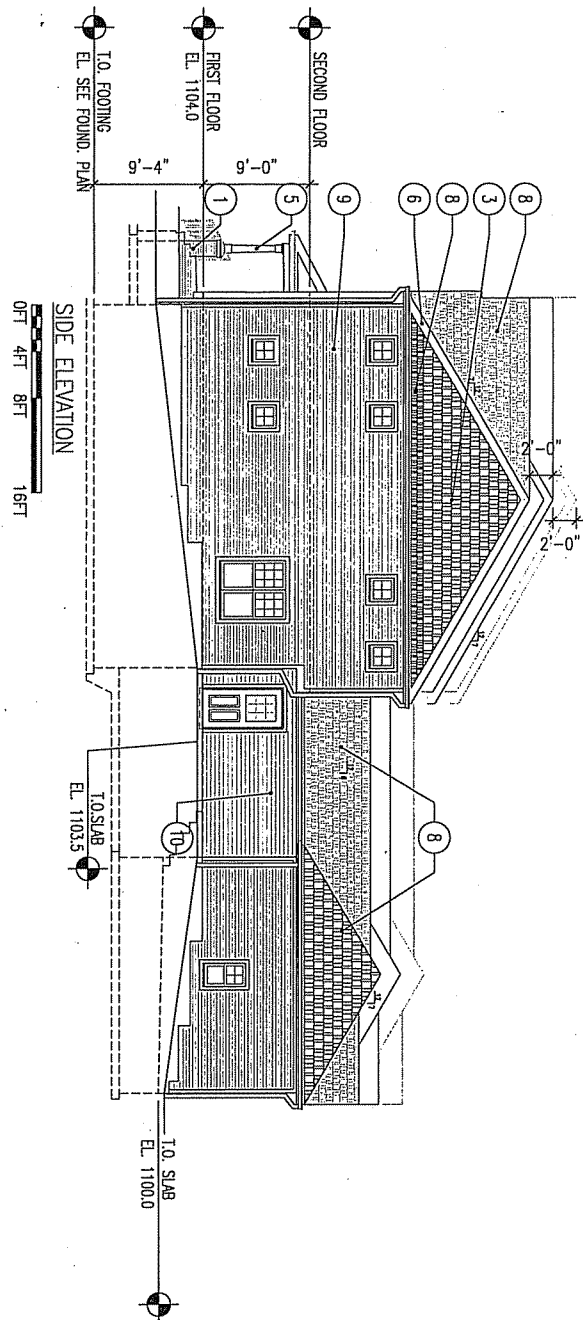
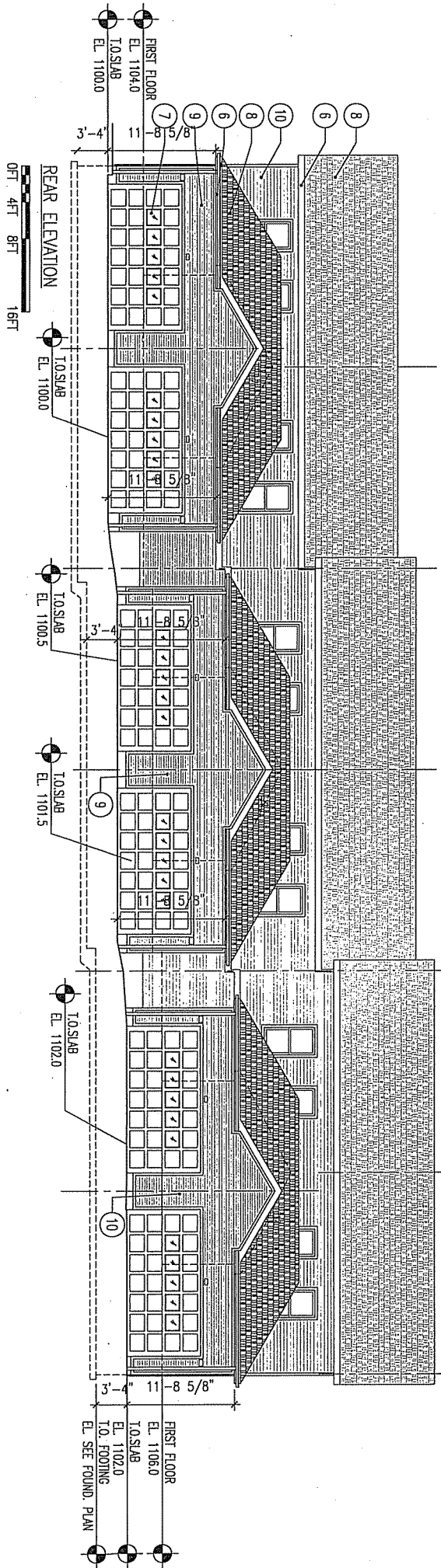


# CARDINAL GLEN - LOT 149 - BUILDING 4

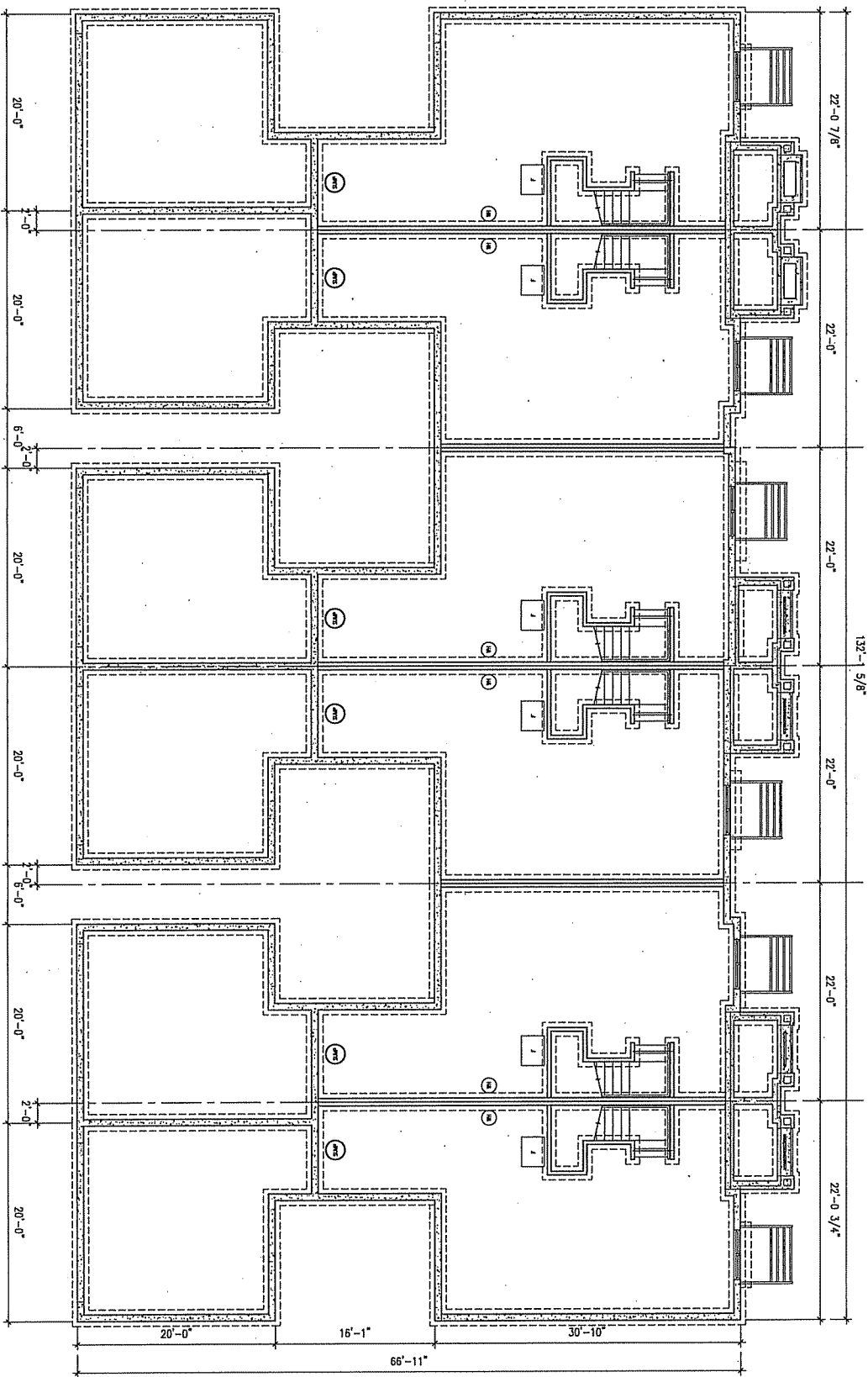


# CARDINAL GLEN - LOT 149 - BUILDING 4

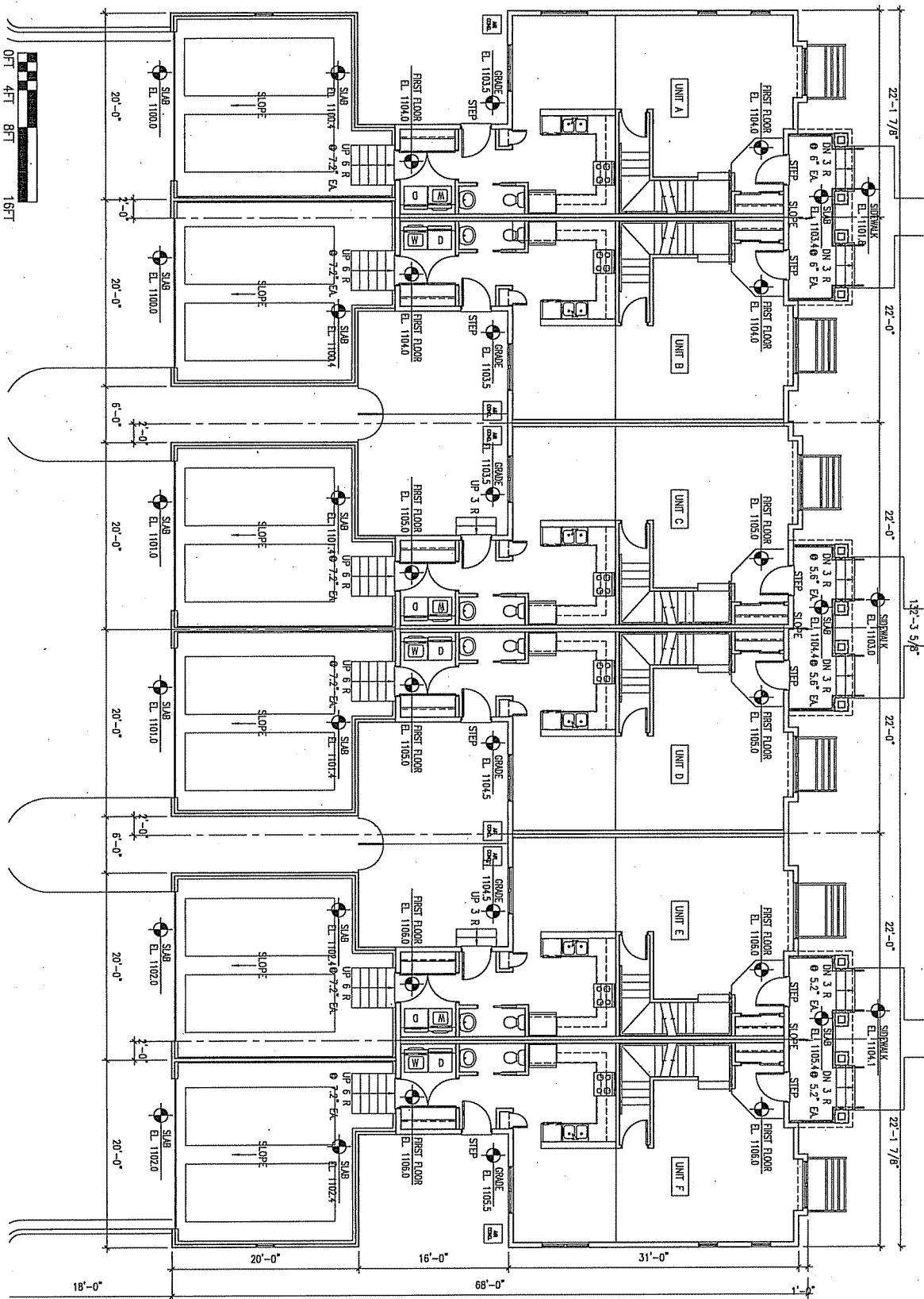
EXTERIOR ELEVATION MATERIAL SCHEDULE	
1	BRICK
2	HARDIPANEL, SMOOTH CEMENT BOARD PANEL
3	HARDIE SHINGLE STAGGERED EDGE PANEL
4	COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
5	WOOD COLUMN PAINTED
6	WOOD FASCIA PAINTED
7	INSULATED GARAGE DOOR
8	ROOF SHINGLES
9	CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
10	CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT



# CARDINAL GLEN - LOT 149 - BUILDING 4

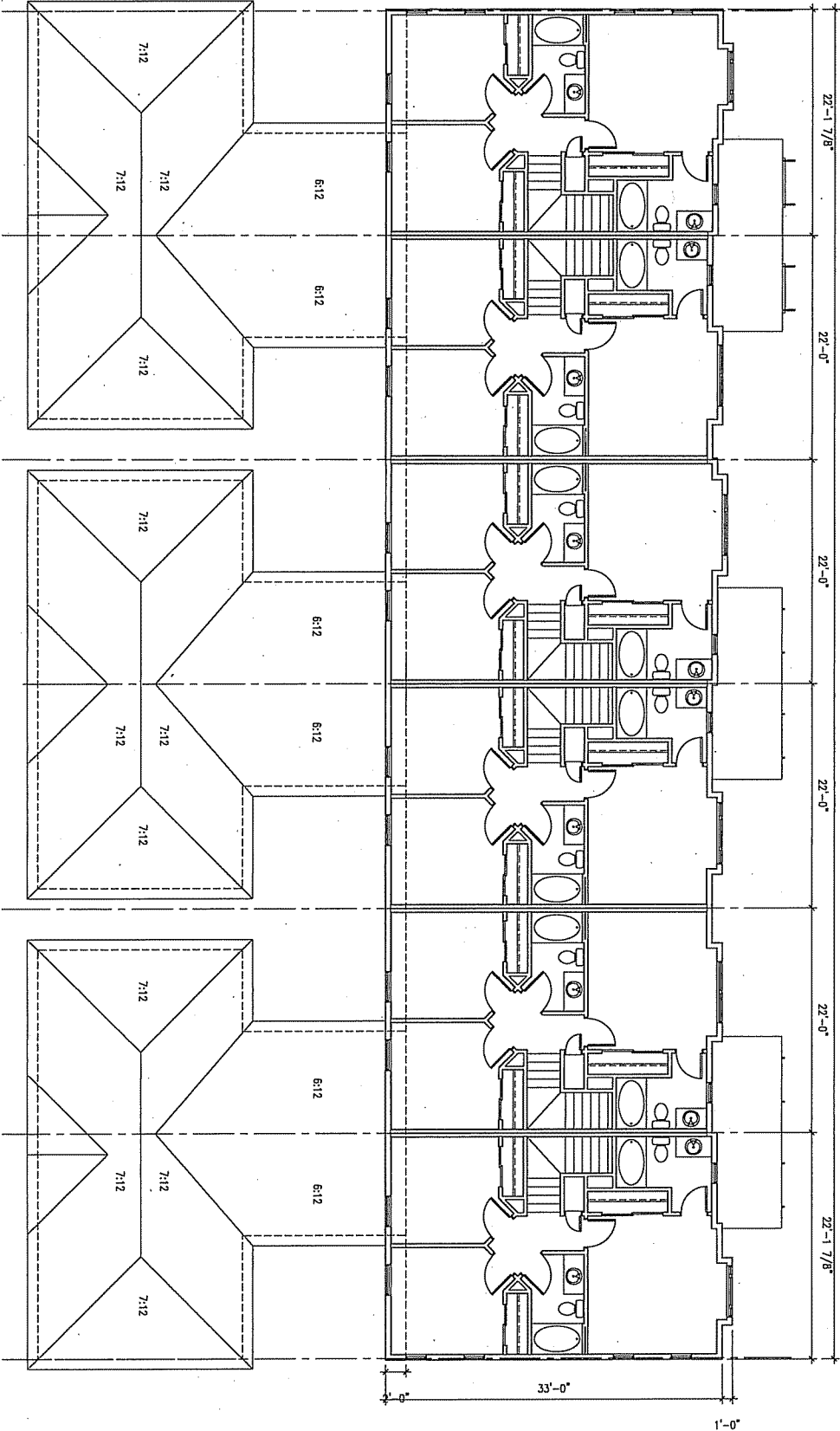


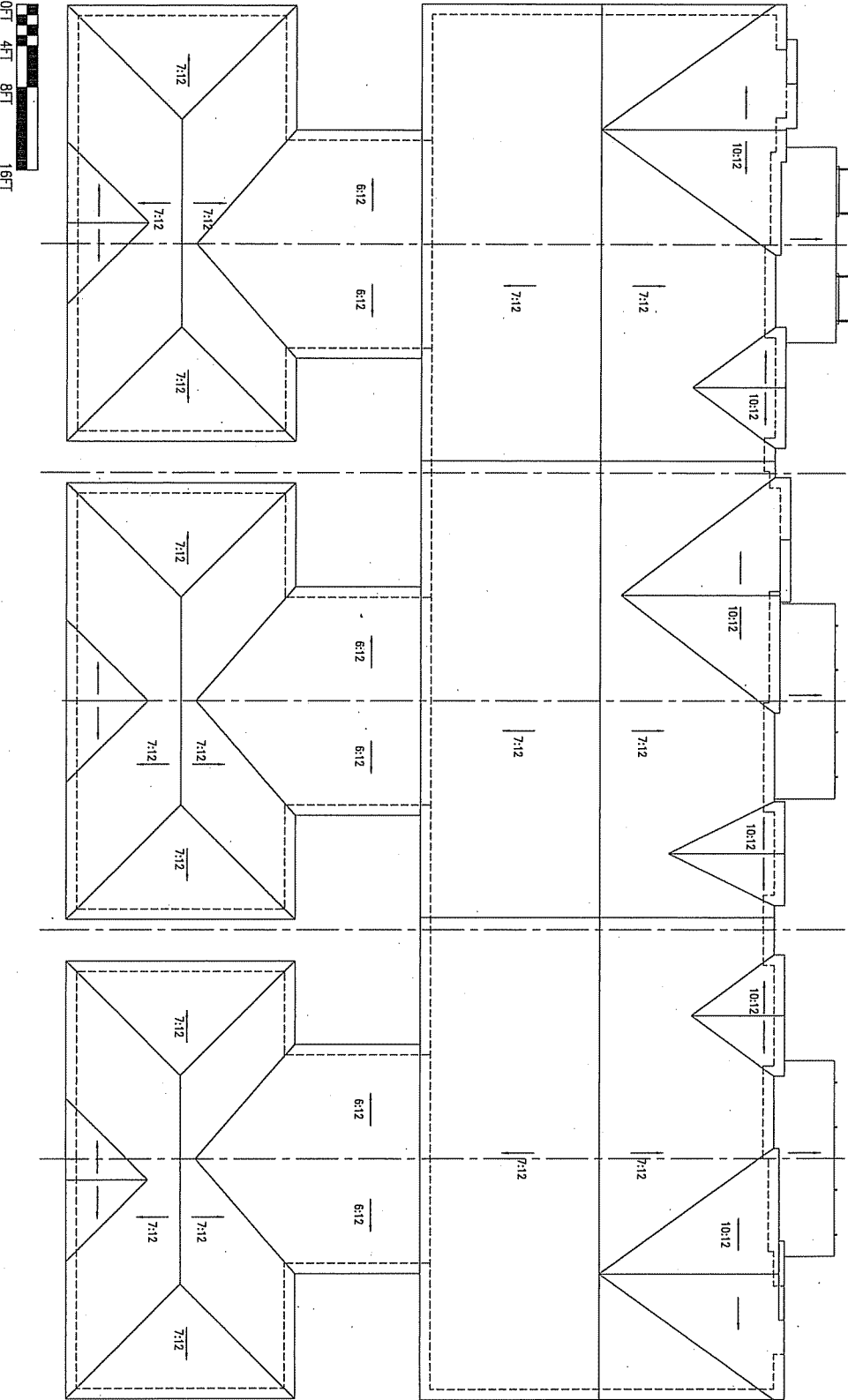
CARDINAL GLEN - LOT 149 - BUILDING 4





CARDINAL GLEN - LOT 149 - BUILDING 4





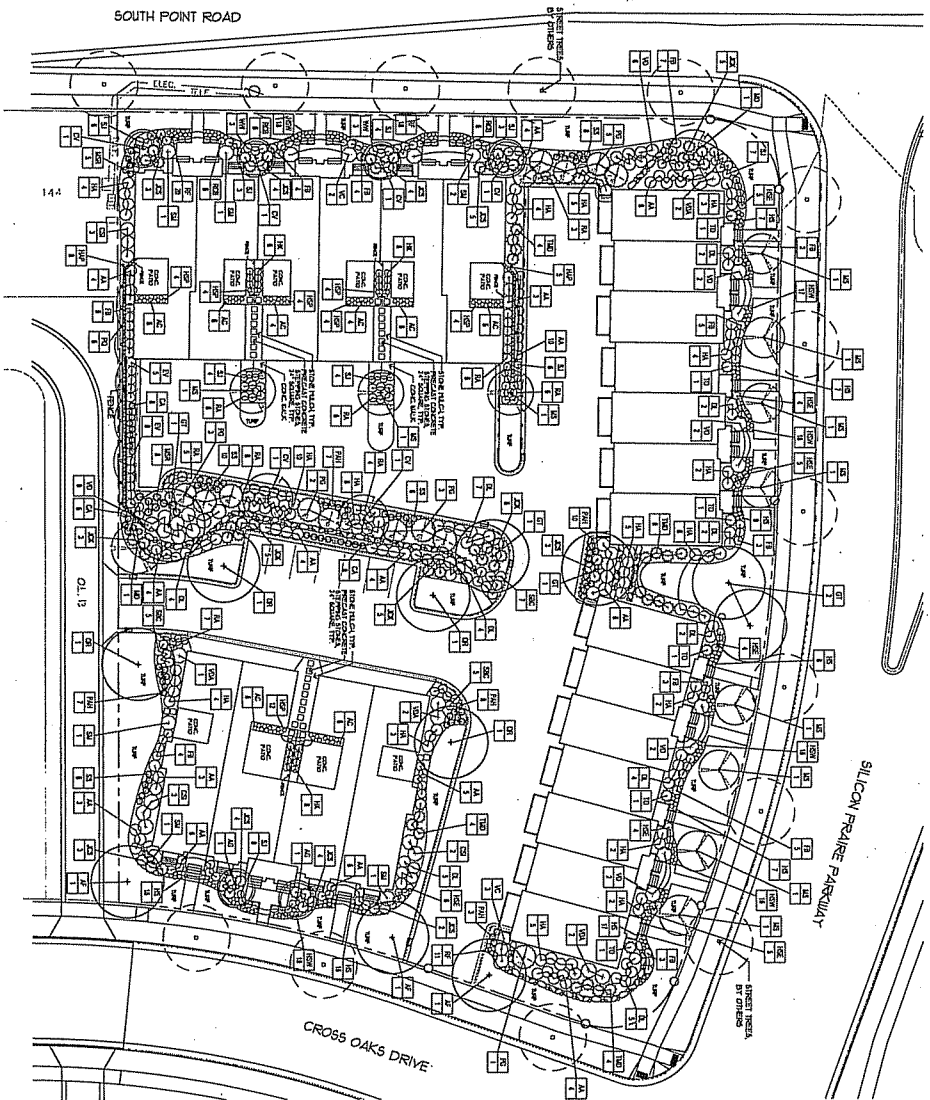
CARDINAL GLEN - LOT 149 - BUILDING 4

ROOF PLAN  
 EADP Project No. 071703.00

Engberg Anderson  
 Design Partnership, Inc.

Scale: 3/32" = 1'-0"  
 March 21, 2007





LANDSCAPE PLAN  
1" = 30'-0"

LANDSCAPE NOTES

**GENERAL NOTES:**  
 1. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 2. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 3. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 4. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 5. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 6. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 7. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 8. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 9. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.  
 10. All trees and shrubs to be planted in accordance with the specifications and quantities shown on this plan.

PLANTING SCHEDULE

PLANTING SCHEDULE	QUANTITY	PLANTING SCHEDULE	QUANTITY
1. 1" - 1 1/2" CALIBER	100	1. 1" - 1 1/2" CALIBER	100
2. 1 1/2" - 2" CALIBER	50	2. 1 1/2" - 2" CALIBER	50
3. 2" - 3" CALIBER	25	3. 2" - 3" CALIBER	25
4. 3" - 4" CALIBER	15	4. 3" - 4" CALIBER	15
5. 4" - 5" CALIBER	10	5. 4" - 5" CALIBER	10
6. 5" - 6" CALIBER	5	6. 5" - 6" CALIBER	5
7. 6" - 8" CALIBER	3	7. 6" - 8" CALIBER	3
8. 8" - 10" CALIBER	2	8. 8" - 10" CALIBER	2
9. 10" - 12" CALIBER	1	9. 10" - 12" CALIBER	1
10. 12" - 14" CALIBER	1	10. 12" - 14" CALIBER	1
11. 14" - 16" CALIBER	1	11. 14" - 16" CALIBER	1
12. 16" - 18" CALIBER	1	12. 16" - 18" CALIBER	1
13. 18" - 20" CALIBER	1	13. 18" - 20" CALIBER	1
14. 20" - 24" CALIBER	1	14. 20" - 24" CALIBER	1
15. 24" - 30" CALIBER	1	15. 24" - 30" CALIBER	1
16. 30" - 36" CALIBER	1	16. 30" - 36" CALIBER	1
17. 36" - 42" CALIBER	1	17. 36" - 42" CALIBER	1
18. 42" - 48" CALIBER	1	18. 42" - 48" CALIBER	1
19. 48" - 54" CALIBER	1	19. 48" - 54" CALIBER	1
20. 54" - 60" CALIBER	1	20. 54" - 60" CALIBER	1
21. 60" - 72" CALIBER	1	21. 60" - 72" CALIBER	1
22. 72" - 84" CALIBER	1	22. 72" - 84" CALIBER	1
23. 84" - 96" CALIBER	1	23. 84" - 96" CALIBER	1
24. 96" - 108" CALIBER	1	24. 96" - 108" CALIBER	1
25. 108" - 120" CALIBER	1	25. 108" - 120" CALIBER	1
26. 120" - 132" CALIBER	1	26. 120" - 132" CALIBER	1
27. 132" - 144" CALIBER	1	27. 132" - 144" CALIBER	1
28. 144" - 156" CALIBER	1	28. 144" - 156" CALIBER	1
29. 156" - 168" CALIBER	1	29. 156" - 168" CALIBER	1
30. 168" - 180" CALIBER	1	30. 168" - 180" CALIBER	1

PLANTING REQUIREMENTS  
 CALCULATED FROM WORKSHEET 1 (PARKING STALLS)  
 NO. OF CANOPY SHADE TREES REQUIRED 1  
 NO. OF POINTS REQUIRED 35



DATE: 1" = 30'-0"  
 SHEET: 155  
 PROJECT: 155  
 CONDO: 0801-10119

CARDINAL GLENN  
 LOT 149 TOWNHOMES - LANDSCAPE PLAN  
 MADISON, WISCONSIN

Wendell & Associates  
 1201 East Main Street  
 Madison, WI 53703  
 Phone: 608.261.1111  
 Fax: 608.261.1112  
 www.wendell.com  
 Planning Consulting & Architecture

**PART 1 - DEVELOPMENT INFORMATION:**



**Project or Plat** Cardinal Glenn Neighborhood - Lot 149 Townhomes

**Project Address:** 302 Cross Oak Dr, 9439 Silicon, 301 South Pt. Rd **Project Area** (Acres)

**Developer:** Great Neighborhoods West, LLC. **Representative:** Don Esposito

**Street Address:** 6801 South Towne Drive **City/State:** Madison, WI **Zip:** 53713

**Telephone:** ( ) 226-3100 **Fax:** ( ) 226-0600 **Email:** desposito@veridianhomes.com

**Agent, If Any:** Chris Landerud or Brian Munson **Company:** Vandewalle & Associates

**Street Address:** 120 East Lakeside Street **City/State:** Madison, WI **Zip:** 53715

**Telephone:** ( ) 255-3988 **Fax:** ( ) 255-0814 **Email:** clanderud@vandewalle.com

**PART 2 - PROJECT CONTENTS:**

Complete the following table as it pertains to this project:

Residential Use	MARKET-RATE UNITS		INCLUSIONARY UNITS		Total Units	Acres
	Owner-Occupied Units	Renter-Occupied Units	Owner-Occupied Units	Renter-Occupied Units		
Single-Family	--	--	--	--	--	--
Duplexes	--	--	--	--	--	--
Multi-Family	20	--	4	--	24	1.6
<b>TOTAL</b>	20	--	4	--	24	1.6

**PART 3 - AFFORDABLE HOUSING DATA:**

Number of Inclusionary Dwelling Units Proposed by Area Median Income (AMI) Level and Minimum Sale/Rent Price							
<b>Owner-Occupied Units</b>	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI			--	--	1	3	4
Anticipated Sale Price			--	--	\$140,180	\$185,154	--
<b>Rental Units</b>	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI	--	--	--	--			--
Maximum Monthly Rent Price	--	--	--	--			--

**PART 4 - DWELLING UNIT COMPARISON:**

Complete the following table as it pertains to this project:

	MARKET-RATE UNITS					INCLUSIONARY UNITS				
	Studio / Effic	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms	Studio / Effic	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms
<b>Owner-Occupied Units with:</b>	--	--	12	8	--	--	--	2	2	--
Minimum Floor Area:	--	--	1,331	1,425	--	--	--	1,331	1,425	--
<b>Rental Units With:</b>	--	--	--	--	--	--	--	--	--	--
Minimum Floor Area:	--	--	--	--	--	--	--	--	--	--

CONTINUE →

**PART 5 – INCENTIVES:** Section 28.04 (25) of the Zoning Ordinance provides the opportunity for applicants in projects where affordable dwelling units are required or where the developer has agreed to pay money in lieu of inclusionary dwelling units, to receive one or more incentives as compensation for complying with the Inclusionary Zoning requirements. Each of the eleven incentives listed below are affixed a point value. The incentive points available to an applicant is dependent upon the number of affordable dwelling units proposed at the various area median income (AMI) levels. The program rewards projects both for having a higher number of affordable dwelling units provided at lower AMI levels, and for having a higher percentage of affordable dwelling units incorporated into the development. The incentive and the corresponding number of points available are listed below. (MAP=Maximum Available Points) Please mark the box next to the incentives requested.

Incentive	MAP	Incentive	MAP
<input type="checkbox"/> Density Bonus (varies by project)	3	<input type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund up to \$10,000 per unit for up to 50% of the affordable units provided.	2
<input type="checkbox"/> Parkland Development Fee Reduction	1	<input checked="" type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund of \$5000 for up to 50% of on-site afford-able units in projects with 49 or fewer detached units or projects with four or more stories and 75% of parking provided underground.	2
<input type="checkbox"/> Parkland Dedication Reduction	1	<input type="checkbox"/> Neighborhood Plan preparation assistance	1
<input type="checkbox"/> Off-street Parking Reduction up to 25%	1	<input type="checkbox"/> Assistance obtaining housing funding information	1
<input type="checkbox"/> Non-City provision of street tree planting	1		
<input type="checkbox"/> One addl. story in Downtown Design Zones	1		
<input type="checkbox"/> Residential parking permits in a PUD/PCD	1		
<input type="checkbox"/> Incentives Not Assigned a Point Value by Ordinance (Explain): _____			

**PART 6 – WAIVER:** The Plan Commission may waive the requirement to provide inclusionary dwelling units in the development if the applicant can present clear and convincing financial evidence that providing the required number of inclusionary dwelling units on-site renders providing the required number of inclusionary units financially infeasible. In such a case, a developer may request a waiver to provide the units off-site, assign the obligation to provide the units to another party, or pay cash in lieu of the units, or any combination of the above. If the waiver is granted, the required units may be provided as new construction off-site in another development within **one mile** of the subject development; off-site units shall be provided at least 1.25 times the number of units if provided within the subject development. Off-site units must be constructed within one year of the time that they would have been constructed within the subject development. The applicant may opt to pay money into the Inclusionary Unit Reserve Fund based on contribution rates established in Section 28.04 (25) of the Zoning Ordinance. If provision of the inclusionary dwelling units through the waiver is still financially infeasible, the developer may seek a reduction in the percent of units to the point where the project becomes financially feasible. If such a waiver is requested, a detailed explanation shall be provided in the required project narrative demonstrating the financial infeasibility of complying with the ordinance requirements and the rationale for the alternative proposed.

- If a waiver is requested, please mark this box  and include all of the necessary information required by the Zoning Ordinance and IZ Program Policy & Protocols to support your request.

**PART 7 – APPLICANT’S DECLARATION:**

The signer shall attest that this application has been completed accurately and includes all requests for incentives or waivers; that they have attended both required pre-application staff meetings and given the required notice to the district alderperson and neighborhood association(s) prior to filing this application; and that all required information will be submitted on the corresponding application for zoning and/or subdivision approval by the Plan Commission. The applicant shall begin the declaration by stating below whether or not the project complies with the various requirements of the inclusionary zoning ordinance. Check the applicable box and provide any supporting

Standards for Inclusionary Dwelling Units (IDUs)	Will Comply	Will not comply	Additional comments
Exterior Appearance of IDUs are similar to Market rate.	✓		
Proportion of attached and detached IDU units is similar to Market rate.	✓		
Mix of IDUs by bedroom size is similar to market rate.	✓		

CONTINUE →

Standards for Inclusionary Dwelling Units (IDUs) [continued]	Will Comply	Will not comply	Additional comments
IDUs are dispersed throughout the project.	✓		
IDUs are to be built in <b>phasing</b> similar to market rate.	✓		
<b>Pricing</b> fits within Ordinance standards	✓		
Developer offers security during <b>construction phase</b> in form of deed restriction.	✓		
Developer offers <b>enforcement</b> for for-sale IDUs in form of option to purchase or for rental in form of deed restriction.	✓		
Developer describes marketing plan for IDUs.	✓		
Developer acknowledges need to inform buyers/renters of IDU status, responsibilities for notification.	✓		
Terms of sale or rent.	✓		
	<b>Yes</b>	<b>No</b>	<b>Additional comments</b>
Developer has arranged to sell/rent IDUs to non-profit or CDA to meet IDU expectations.		✓	
Developer has requested waiver for off-site or cash payment.		✓	
Developer has requested waiver for reduction of number of units.		✓	
Other:			

- The applicant discussed this development proposal with representatives from the Planning Unit, Zoning Administrator and Community Development Block Grant Office on: March 6, 2007 → \_\_\_\_\_
- The applicant presented a preliminary development plan for this project to the Interdepartmental Review Staff Team on: Paul Skidmore → \_\_\_\_\_
- The applicant notified Alderperson \_\_\_\_\_ of District 3 of this development proposal in writing on: February 19, 2007 → \_\_\_\_\_
- The applicant also notified \_\_\_\_\_ of the \_\_\_\_\_ neighborhood in writing on: NA → \_\_\_\_\_
- The Inclusionary Dwelling Unit Plan Application package contains ALL of the materials required as noted on this form. I, as the undersigned, acknowledge that incomplete or incorrect submittals may cause delays in the review of this project. I am also familiar with the ongoing developer responsibilities summarized on page #2 of this application and outlined in the Inclusionary Zoning Ordinance and Program Policy and Protocols.

**Applicant Signature** \_\_\_\_\_ **Date** 5/10/07  
**Printed Name** Chris Landerud **Phone** ( ) 255-3988



# CARDINAL GLENN NEIGHBORHOOD

*Madison, Wisconsin*

## Inclusionary Zoning Plan

### LOT 149 TOWNHOMES

#### 20 Market-Rate Units

- ~ Owner-Occupied
- ~ 2 & 3 Bedrooms
- ~ 2 Car Garage
- ~ Projected Sales: \$189,000 - \$209,000

#### 4 Inclusionary Units

- ~ Owner-Occupied
- ~ 2 & 3 Bedrooms
- ~ 2 Car Garage
- ~ Projected Sales: \$140,180 - \$185,154

- 3 Units at 80% AMI
- ② - 2 Bedrooms - \$160,235
- ③ - 3 Bedrooms - \$185,154

- 1 Unit at 70% AMI
- ② - 2 Bedrooms - \$140,180

#### 24 Total Units\*

\* The Cardinal Glenn General Development Plan set the maximum unit count for lot 149 at 36 units; resulting in 6 IZ units. The proposed plans show development of 24 townhome units; resulting in 4 IZ units. The net result to the Cardinal Glenn Neighborhood is a reduction of 12 units: 10 market rate units and 2 inclusionary units.



**VERIDIAN HOMES**

Madison, Wisconsin  
 10 May 2007

