



AREA OF EXISTING GDP

JUNCTION ROAD

W BELTLINE
Hwy 14 / 12

MINERAL POINT ROAD

NO ACCESS
VOL. 232 MISC. P204
DOC #802720

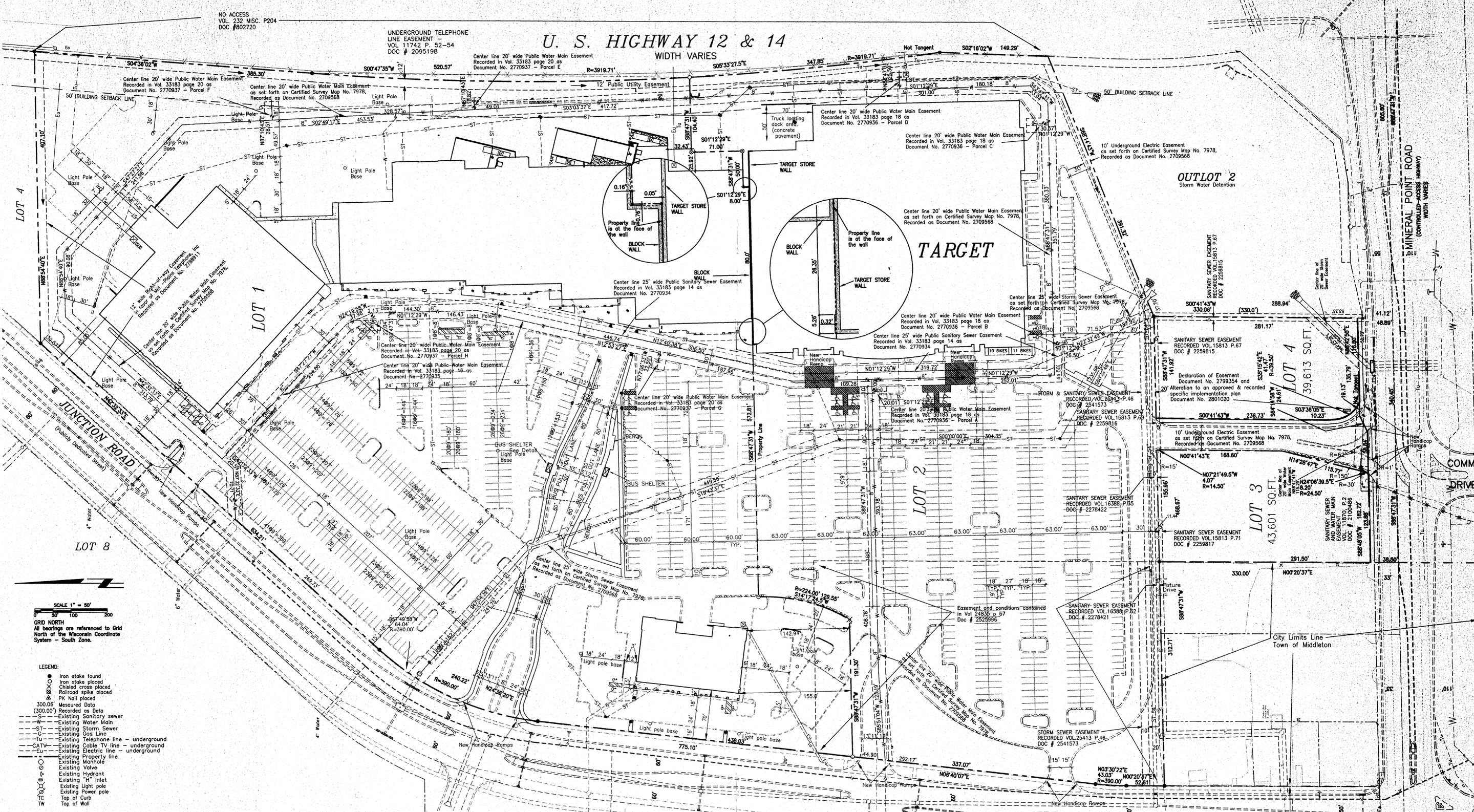
UNDERGROUND TELEPHONE
LINE EASEMENT
VOL. 11742 P. 52-54
DOC # 2095198

U. S. HIGHWAY 12 & 14

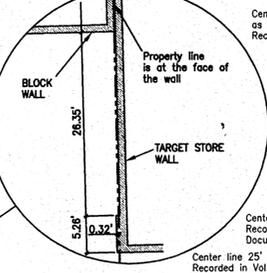
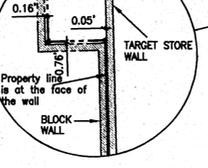
WIDTH VARIES

Center line 20' wide Public Water Main Easement
Recorded in Vol. 33183 page 20 as
Document No. 2770937 - Parcel E

Not Tangent
S02°16'02"W 149.25'
R=3019.71'



TARGET



SCALE 1" = 50'
GRID NORTH
All bearings are referenced to Grid
North of the Wisconsin Coordinate
System - South Zone.

- LEGEND:
- Iron stake found
 - Iron stake placed
 - ⊕ Chiseled cross placed
 - ⊗ Railroad spike placed
 - ⊠ PK Nail placed
 - 300.06' Measured Data
 - (300.00') Recorded as Data
 - S- Existing Sanitary sewer
 - W- Existing Water Main
 - ST- Existing Storm Sewer
 - G- Existing Gas Line
 - TU- Existing Telephone line - underground
 - CATV- Existing Cable TV line - underground
 - E- Existing Electric line - underground
 - - - Existing Property line
 - Existing Manhole
 - Existing Valve
 - Existing Hydrant
 - Existing "H" Inlet
 - Existing Light pole
 - Existing Power pole
 - Top of Curb
 - Top of Wall

Surveyor's Certificate:
The undersigned, being a registered surveyor of the State of Wisconsin certifies to (i) Allianz Life Insurance Company of North America, and (ii) Dane County Title Company, Inc., as follows:
1. This map or plat and survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by the American Land Title Association and the American Congress on Surveying and Mapping in 1992, and meets the accuracy requirements of an Urban Survey as defined therein.
2. This survey was made on the ground on March 20, 1997 and correctly shows the size and location of the subject property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, utilities, recorded and apparent easements, roadways and visible encroachments, if any, as well as any other matters situated on the Subject Property.
3. The location of each easement, right of way, servitude, and other matter affecting the subject property and listed in the title insurance commitment dated April 04, 1997, issued by Dane County Title Company, Inc. with respect to the Subject Property (the "Title Commitment"), has been shown on this survey, together with appropriate recording references to the extent that such matters can be located. The property shown on this survey is the property described in the Title Commitment. The location of all improvements on the Subject Property is in accord with applicable minimum set back provisions and restrictions of records referenced in the Title Commitment.
4. The Subject Property has access to and from a duly dedicated and accepted public street or highway.
5. The Subject Property does not serve any adjoining property for drainage, utilities, or ingress or egress.
6. The record description of the Subject Property forms a mathematically closed figure.
7. The Subject Property has a total of parking spaces and handicapped spaces which is in accord with parking requirements of applicable zoning ordinances and restrictions of record referenced in the Title Commitment.
8. No portion of the subject property shown on this Survey lies within a 100 year flood plain or a special hazard area, as described on the Flood Insurance Rate Map for the Community in which the Subject Property is located. This Survey correctly indicates the Zone Designation of any area shown as being within a Special Hazard area.

The survey attached is identified as follows:
Dated: April 9, 1997
Description:
Lot 1, of Certified Survey Map No. 7978 recorded in the Dane County Register of Deeds Office in Volume 42 of Certified Survey Maps, pages 195,199,200,201,202 and 203, as Document No. 2706568, in the City of Madison, Dane County, Wisconsin, and corrected by Affidavit recorded on October 19, 1995, in Volume 31117 of Records, page 44, as Document No. 2712543.
Madison, Wisconsin
Francis R. Thousand
Land Surveyor S-1363



Flood Development
& Investment Corp.
Oakbridge Commons
7842 Mineral Point Road
Madison, Wisconsin 53717

NO.	DATE	REVISION	BY
4	4/18/97	Updated survey	FRT
3	4/15/97	Updated survey	FRT
2	4/9/97	Updated survey	FRT
1	7/29/96	Comments from review of survey.	FRT

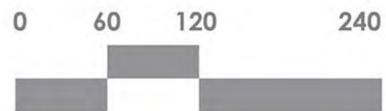


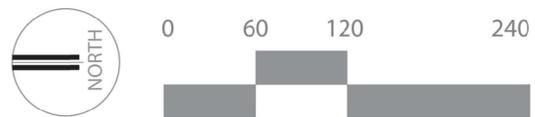
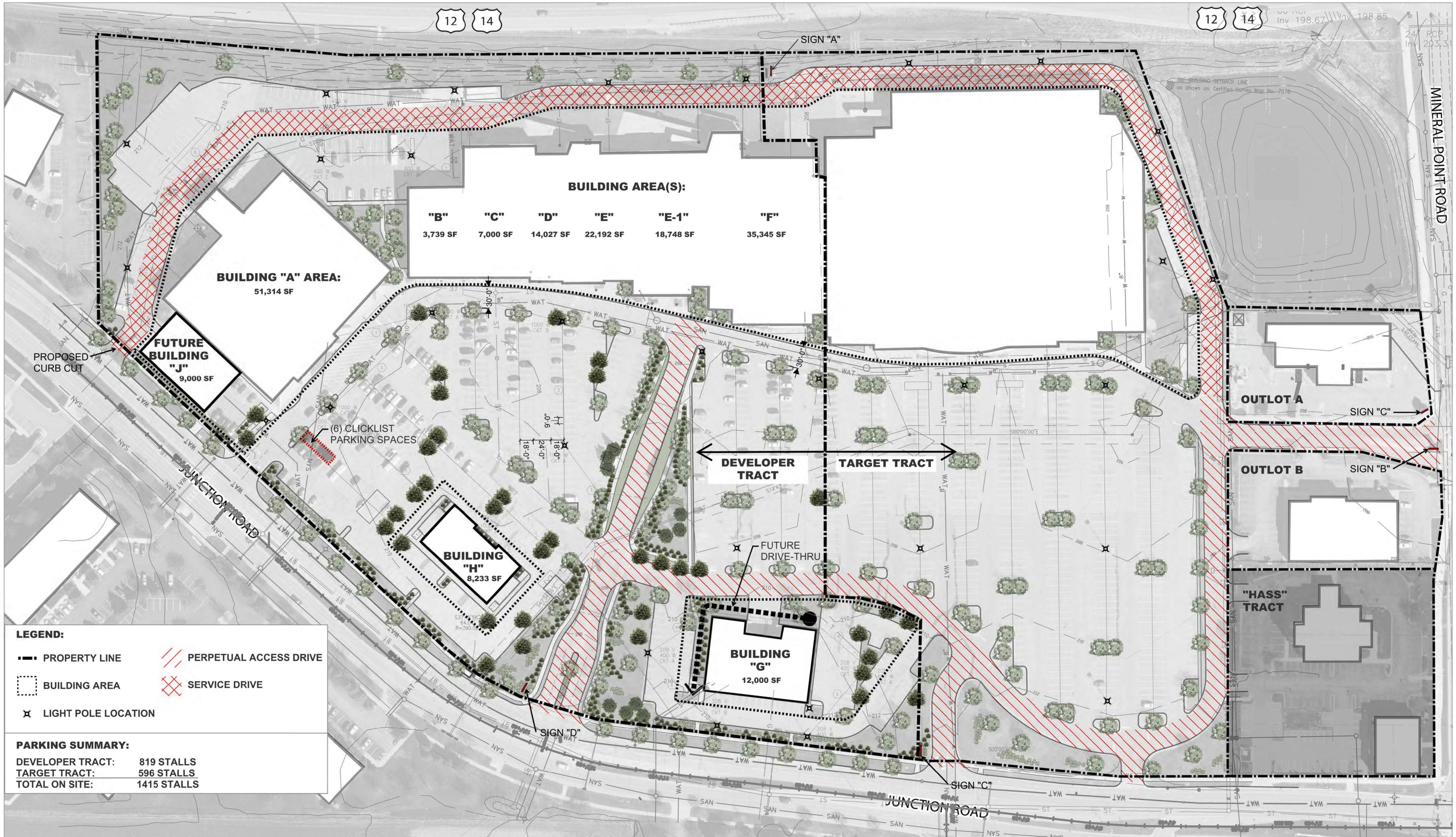
ARNOLD AND SHERIDAN INC.

115 FOREST DRIVE, MADISON, WISCONSIN 53711 PHONE (608) 271-8001 FAX (608) 271-7284
LOT 1, CERTIFIED SURVEY MAP NO. 7978,
CITY OF MADISON,
DANE COUNTY, WISCONSIN
DATE 7/22/96 JOB NO. 95337-C

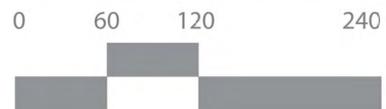






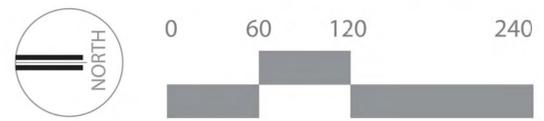


- EXISTING PEDESTRIAN CONNECTION
- PROPOSED PEDESTRIAN CONNECTION

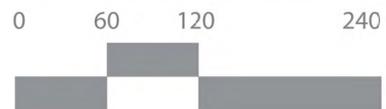


- EXISTING PEDESTRIAN CONNECTION
- PROPOSED PEDESTRIAN CONNECTION

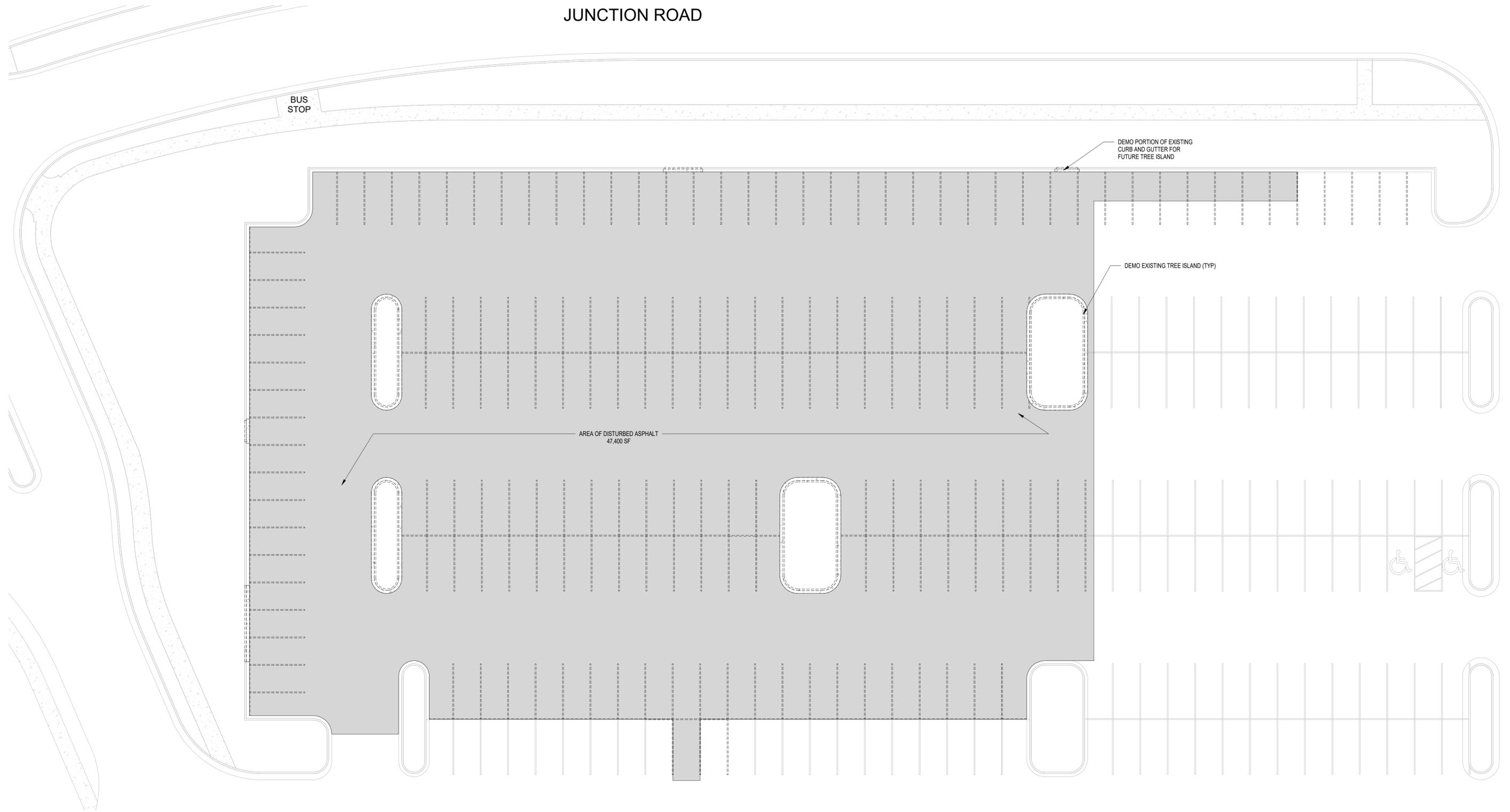




-  FIRE ACCESS LANE
-  FIRE HYDRANT LOCATION



JUNCTION ROAD



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

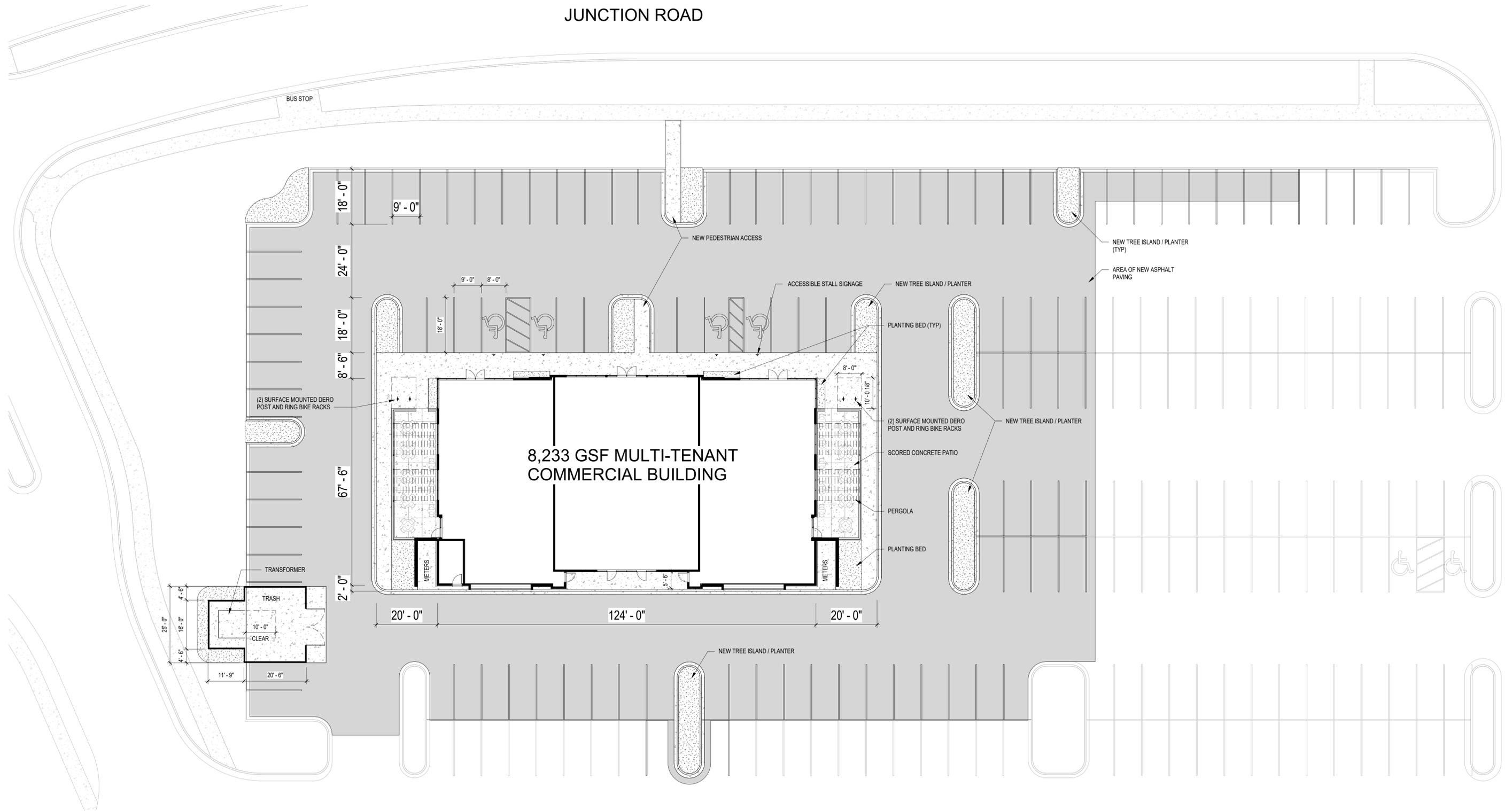
241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 12
05/30/2018

DEMO SITE PLAN
278 PARKING STALLS AS SHOWN



JUNCTION ROAD



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

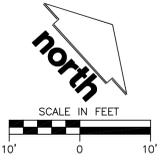
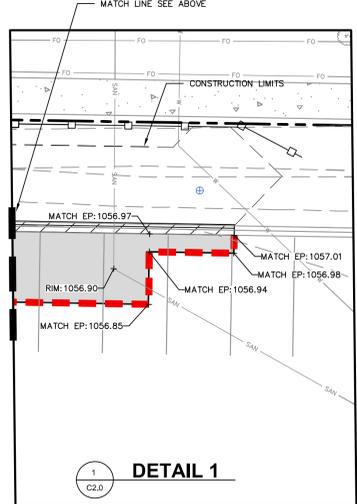
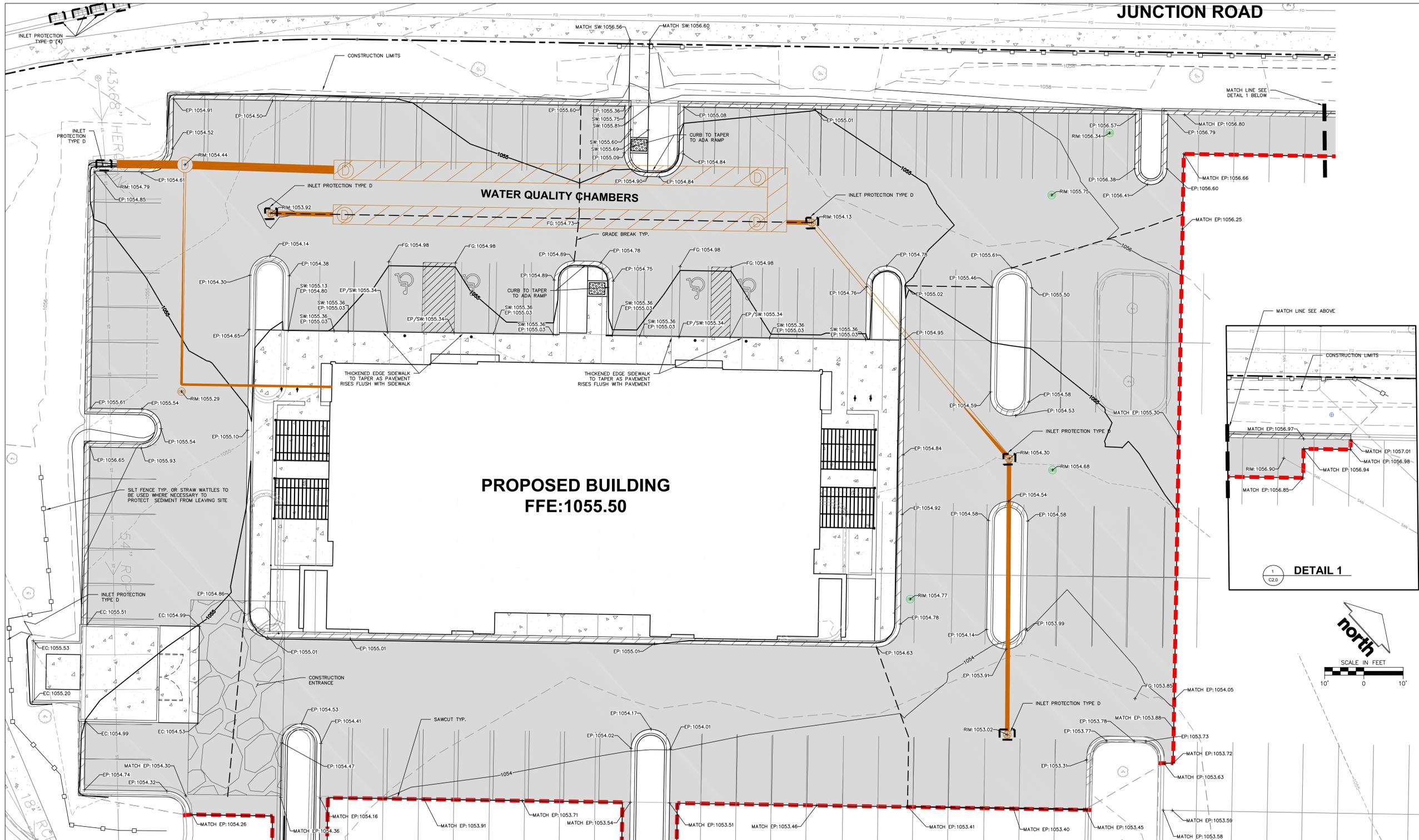
241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 13
05/30/2018

SITE PLAN
208 PARKING STALLS AS SHOWN



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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/ForestWater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL TEMPORARY SEDIMENT TRAPS PER LATEST EDITION OF WDR STORM WATER CONSTRUCTION TECHNICAL CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS NOTE 1063. SEDIMENT TRAPS SHALL BE SIZED BASED ON MEDIUM SOIL TEXTURAL CLASS. SEDIMENT TRAPS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EVERY RAIN EVENT PRODUCING 0.5

INCHES OF RAIN OR MORE AND AT A MINIMUM SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 1 FOOT OR WHEN OUTLET BECOMES CLOGGED. SEDIMENT TRAPS SHALL BE REMOVED AND THE LOCATION STABILIZED AFTER THE DISTURBED AREA DRAINING TO THE SEDIMENT TRAP IS STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION. ALL SEDIMENT SHALL BE PROPERLY DISPOSED.

- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, OR/ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. SIXTEEN (16) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDR REQUIREMENTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDR TECHNICAL STANDARD 1068.

- SILT FENCE LOCATION REPRESENTED ON SHEET C2.0 INDICATES DISTURBANCE LIMITS.
- STABILIZATION PRACTICES:**
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS/GOULES/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDR WRAPP PERMIT APPLICATION STANDARDS.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADIES SHOWN ARE FINISHED GRADIES. CONTRACTOR SHALL VERIFY ALL GRADIES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PEROUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

LEGEND (GRADING AND EROSION CONTROL PLAN)

- PROPERTY LINE
- BUILDING LINE
- - - SAWCUT
- - - CONSTRUCTION LIMITS
- - - EXISTING 1" CONTOUR
- - - EXISTING 5' CONTOUR
- - - PROPOSED 1" CONTOUR
- - - PROPOSED 5' CONTOUR
- - - STORM SEWER
- - - GRADE BREAK
- EP - SPOT ELEVATION
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- BC - BACK OF CURB
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- RM - RIM ELEVATION
- SILT FENCE OR STRAW WATTLE
- INLET PROTECTION, TYPE D



PRAIRIE TOWNE CENTER - NORTH OUTLOT

241 JUNCTION ROAD, MADISON, WI

UBS GLOBAL RE
2515 McKinney Avenue
Dallas, TX 75201

ISSUE DATES:

Issue	Description	Date
1	UDC INITIAL/FINAL	05/29/2018

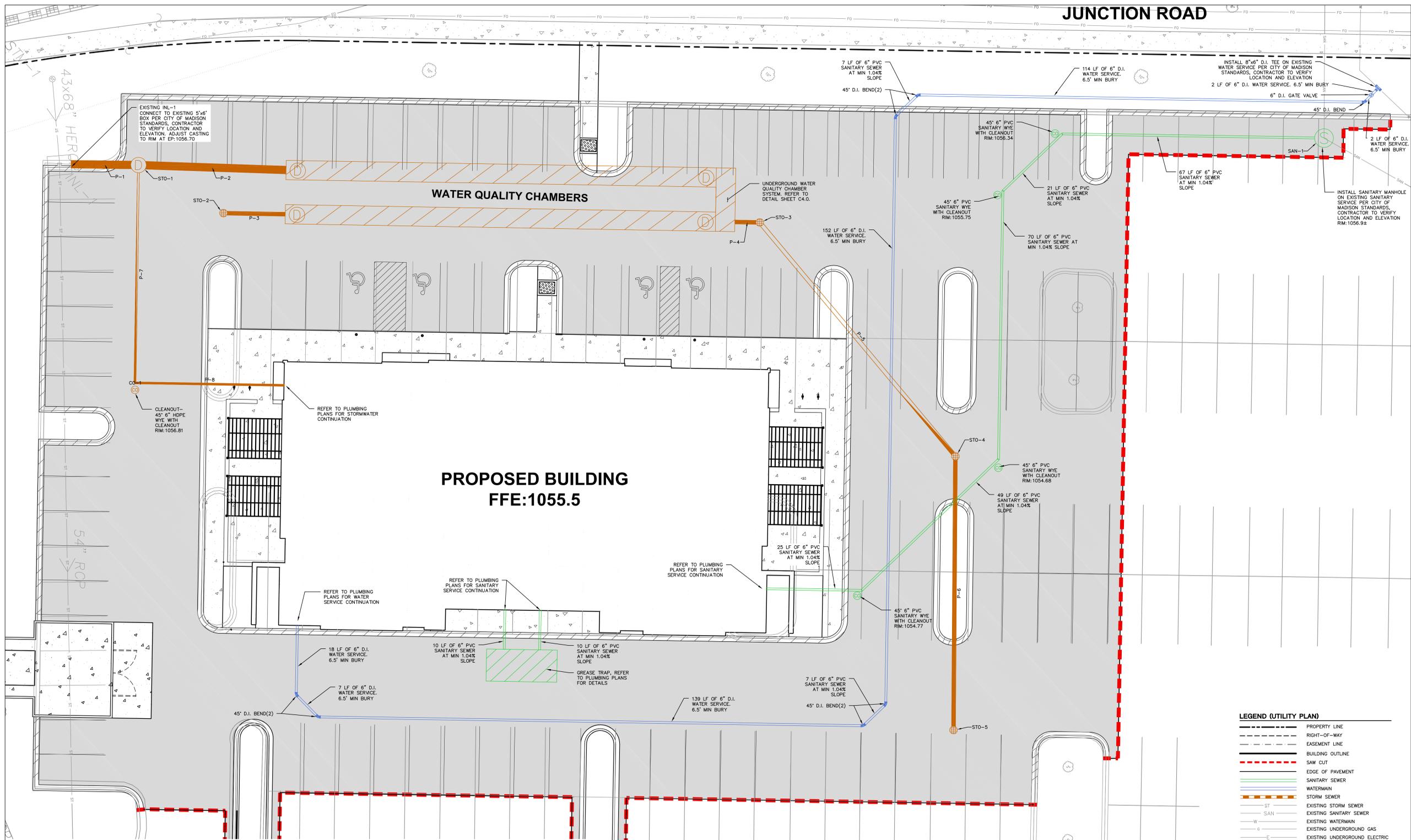
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Sheet Title
GRADING AND EROSION CONTROL PLAN

Project Number: Project Number
Sheet Number

C2.0



UTILITY NOTES:

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WOSPS, AND WDMR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.

- CONTRACTOR SHALL CONTACT THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITY OF MADISON WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4-A.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.

GENERAL NOTES

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LEGEND (UTILITY PLAN)

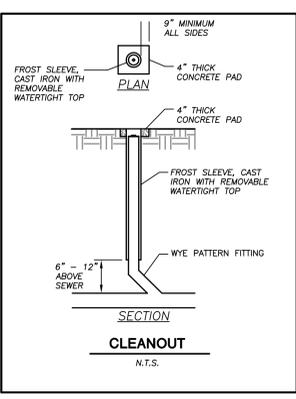
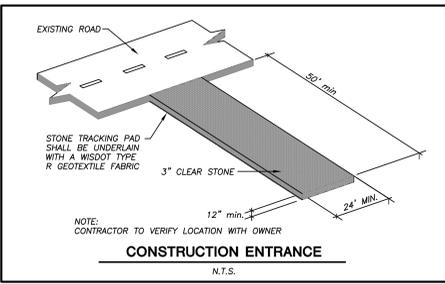
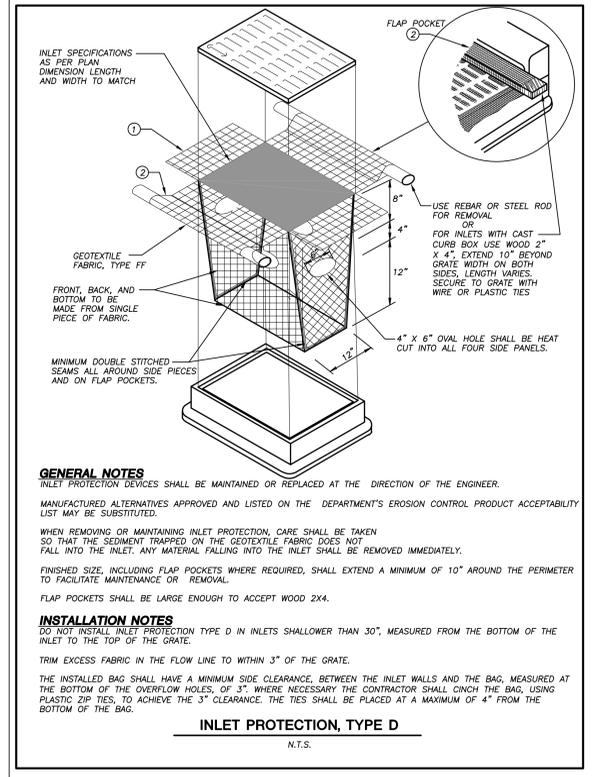
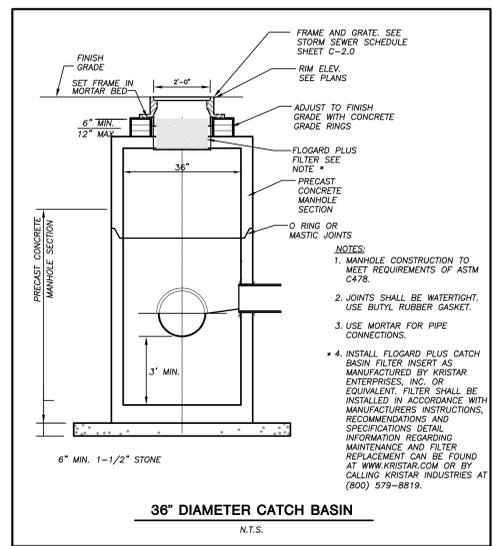
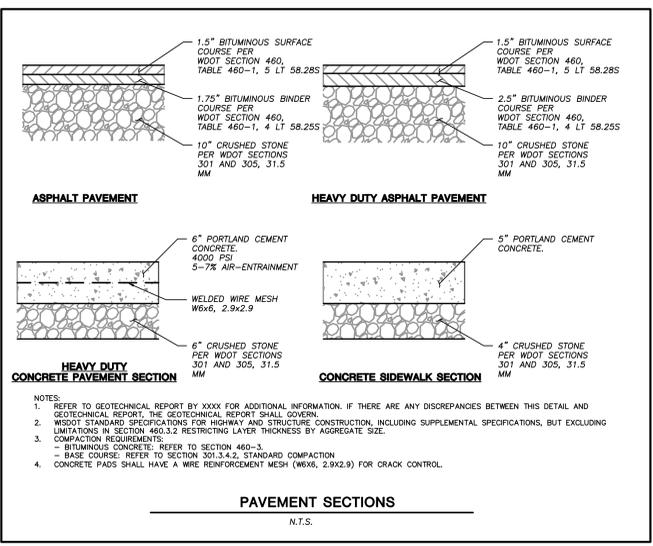
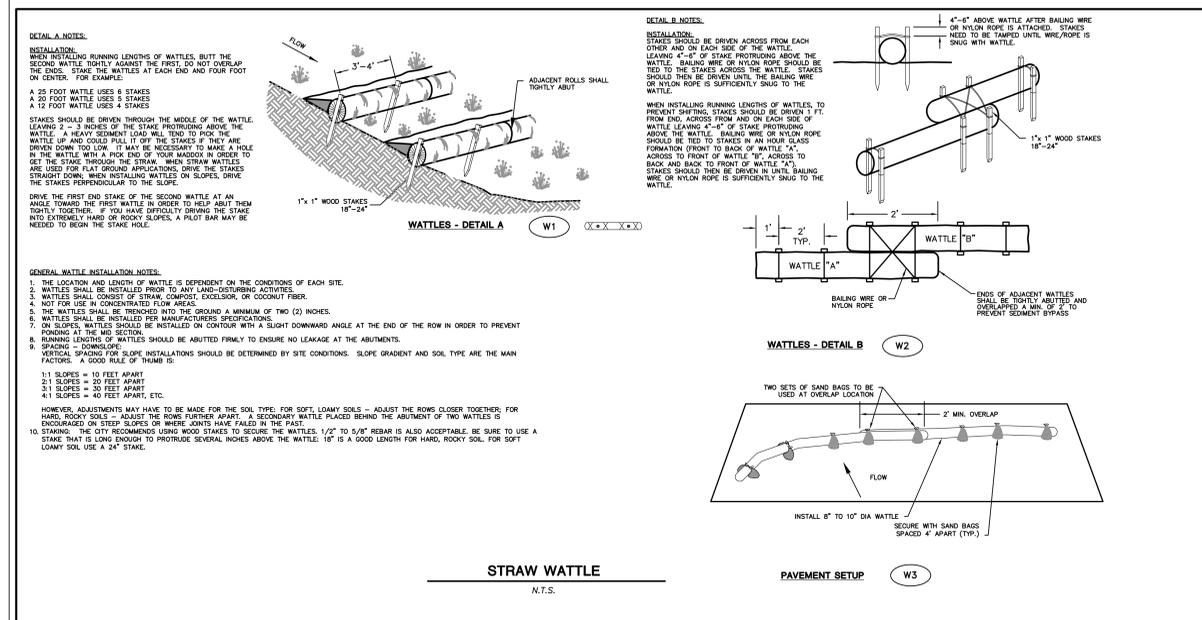
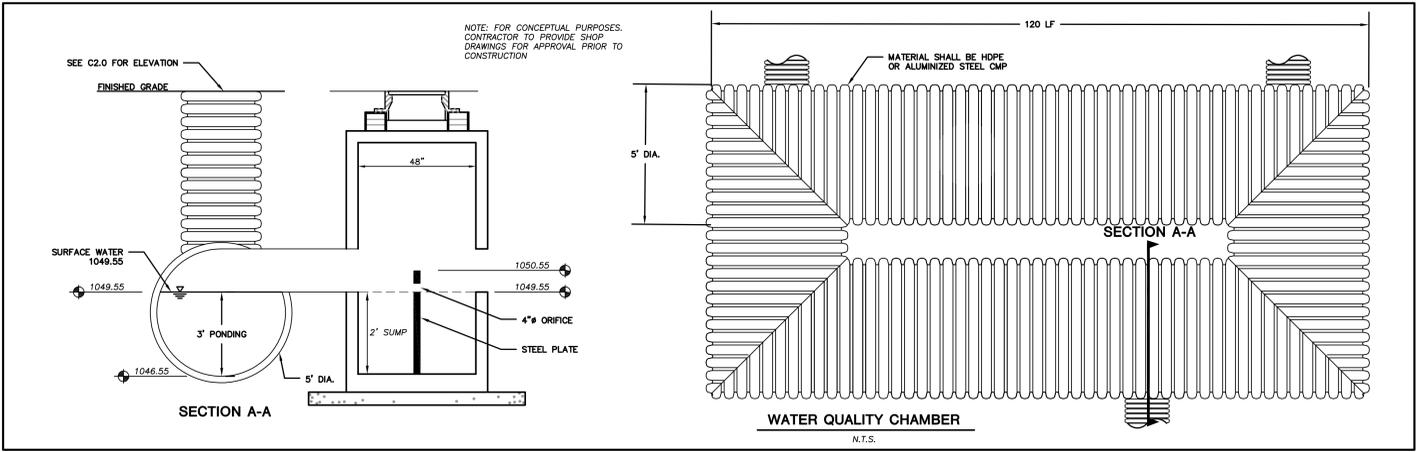
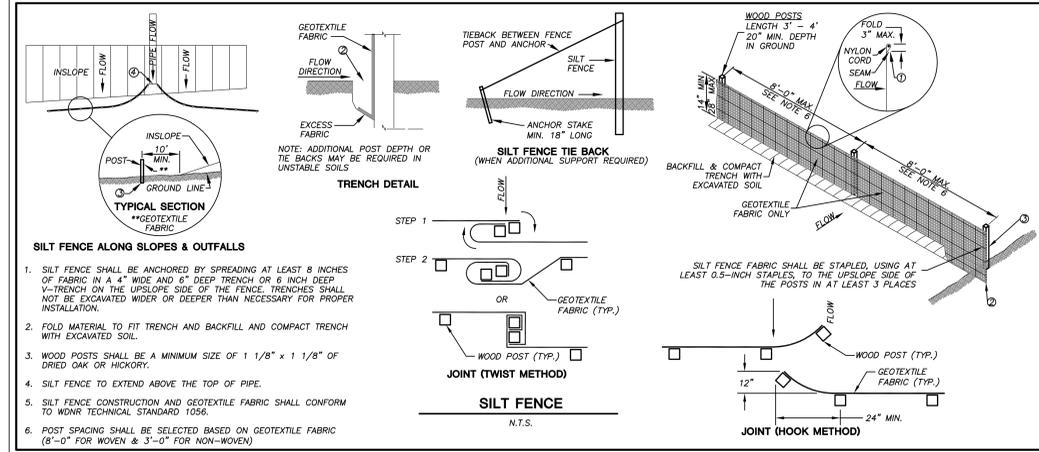
---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	SAW CUT
---	EDGE OF PAVEMENT
---	SANITARY SEWER
---	WATERMAIN
---	STORM SEWER
---	EXISTING STORM SEWER
---	EXISTING SANITARY SEWER
---	EXISTING WATERMAIN
---	EXISTING UNDERGROUND GAS
---	EXISTING UNDERGROUND ELECTRIC

PROPOSED STRUCTURES TABLE

LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
CO-1	1050.30	NW INV: 1049.73 (6") NE INV: 1049.73 (6")	-	-	-
STO-1	1054.44	SW INV: 1049.07 (24") NE INV: 1049.17 (24") SE INV: 1049.17 (6")	7.4	48 IN MH (FLAT)	R-1550 SOLID LID
STO-2	1053.92	NE INV: 1049.87 (12")	6.1	48 IN MH (FLAT)	R-2050 TYPE D
STO-3	1054.13	SW INV: 1049.61 (12") E INV: 1049.71 (12")	6.5	48 IN MH (FLAT)	R-1550 TYPE D
STO-4	1054.30	W INV: 1050.10 (12") SE INV: 1050.20 (12")	6.2	48 IN MH (FLAT)	R-2050 TYPE D
STO-5	1053.02	NW INV: 1050.55 (12")	4.5	48 IN MH (FLAT)	R-2050 TYPE D

PROPOSED PIPES TABLE

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
P-1	STO-1	EXISTING INL-1	17'	1049.07	1048.90	1.00%	24 IN HDPE
P-2	WATER QUALITY CHAMBER	STO-1	38'	1049.55	1049.17	1.00%	24 IN HDPE
P-3	STO-2	WATER QUALITY CHAMBER	16'	1049.87	1049.55	2.00%	12 IN HDPE
P-4	STO-3	WATER QUALITY CHAMBER	6'	1049.61	1049.55	1.00%	12 IN HDPE
P-5	STO-4	STO-3	79'	1050.10	1049.71	0.50%	12 IN HDPE
P-6	STO-5	STO-4	71'	1050.55	1050.20	0.50%	12 IN HDPE
P-7	CO-1	STO-1	56'	1049.73	1049.17	1.00%	6 IN HDPE
P-8	BUILDING	CO-1	38'	1050.50	1049.73	2.00%	6 IN HDPE



PRAIRIE TOWNE CENTER - NORTH OUTLOT

241 JUNCTION ROAD, MADISON, WI

UBS GLOBAL RE
 2515 McKinney Avenue
 Dallas, TX 75201

ISSUE DATES:

Issue	Description	Date
1	UDC INITIAL/FINAL	05/29/2018

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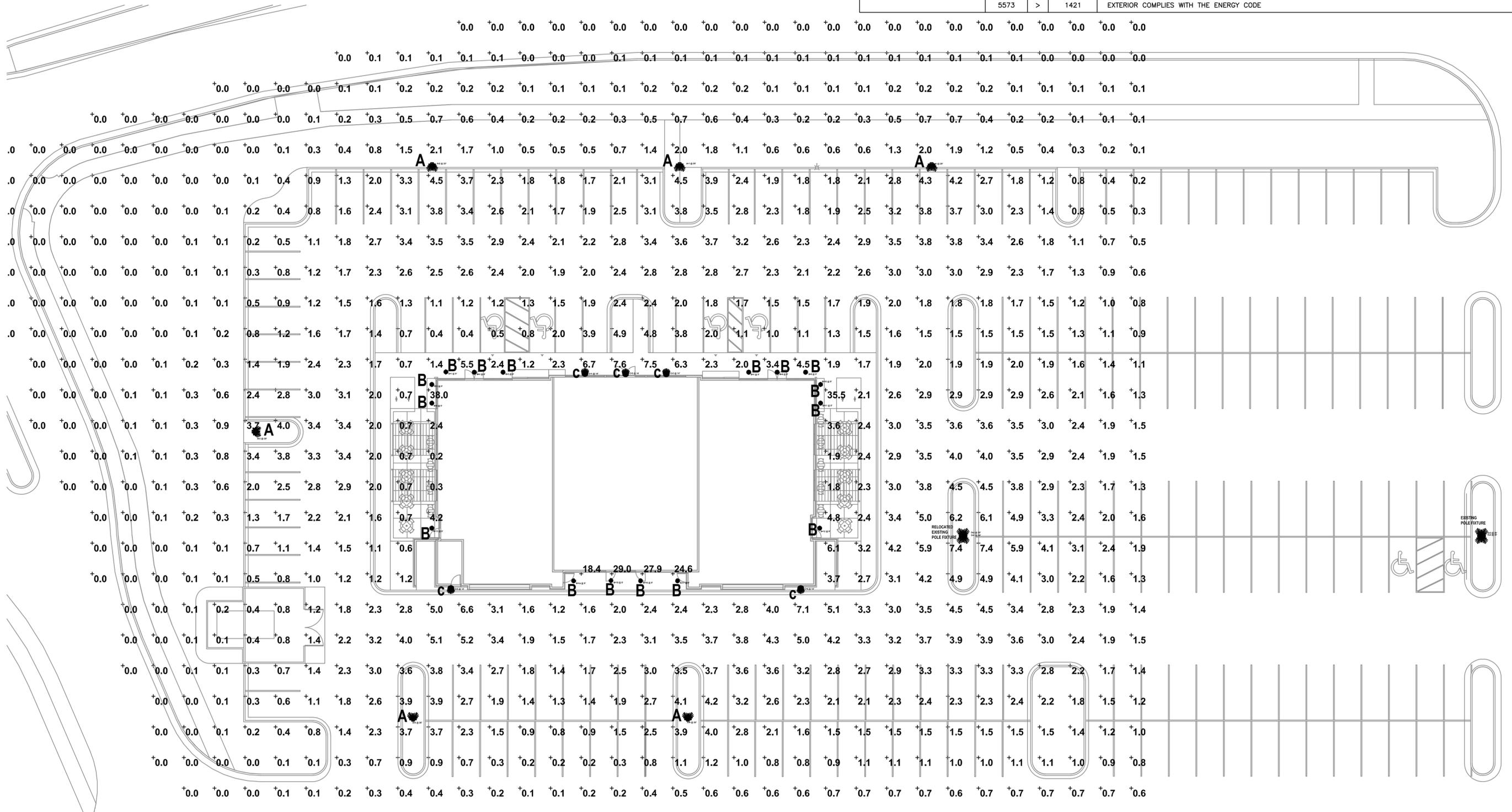
Sheet Title
DETAILS

Project Number: Project Number
 Sheet Number

C4.0

LIGHT FIXTURE SCHEDULE								
ID	Description	Size	Manufacturer	Model #	Voltage	Lamps	Mounting	Remarks
A	LED FULL CUTOFF POST MOUNTED AREA LIGHT	15"x40"	LITHONIA	DX2 LED P3 40K TFM MVOLT RPA HS DBLXD	120	LED, 4000K, 13,449L, 125W, 70CRI	20' ROUND POLE	BLACK FINISH, HOUSESIDE SHIELD
B	RECESSED 4" LED CAN	4"	GOYHAM	EVO 40/15 4AR MD LSS MVOLT	120	LED, 4000K, 1500L, 17.3W, CRI 80	RECESSED	
C	SURFACE WALL MOUNT FULL CUTOFF LED	6.5"x8.75" x3.9"	RAB	SLIM 18N	120	LED, 4000K, 2560L, 18W, 71 CRI	WALL	CUSTOM COLOR - BLACK

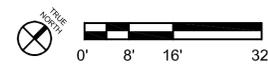
EXTERIOR LIGHTING POWER CALCULATION												
BUILDING TYPE: RETAIL ZONE: 3												
Description	Code	Area (sf)	Allowable (W)	Light Fixtures								
				ID	# Fixtures	Watts /Fixture	Total Watts	ID	# Fixtures	Watts /Fixture	Total Watts	
PARKING LOT & DRIVES	0.1000	W/SF	38,632	3863	A	5	125	625	-	0	0	0
MAIN ENTRY	30	W/LF	18	540	B	16	17	272	-	0	0	0
OTHER DOORS	20	W/LF	21	420	C	5	18	90	-	0	0	0
BASE ALLOWANCE	750	W		750	EXISTING	2	217	434				
TOTALS	LIGHTING ALLOWANCE			5573	DESIGN TOTAL			1421				
	5573	>	1421	EXTERIOR COMPLIES WITH THE ENERGY CODE								



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

241 JUNCTION ROAD, MADISON, WI 53717

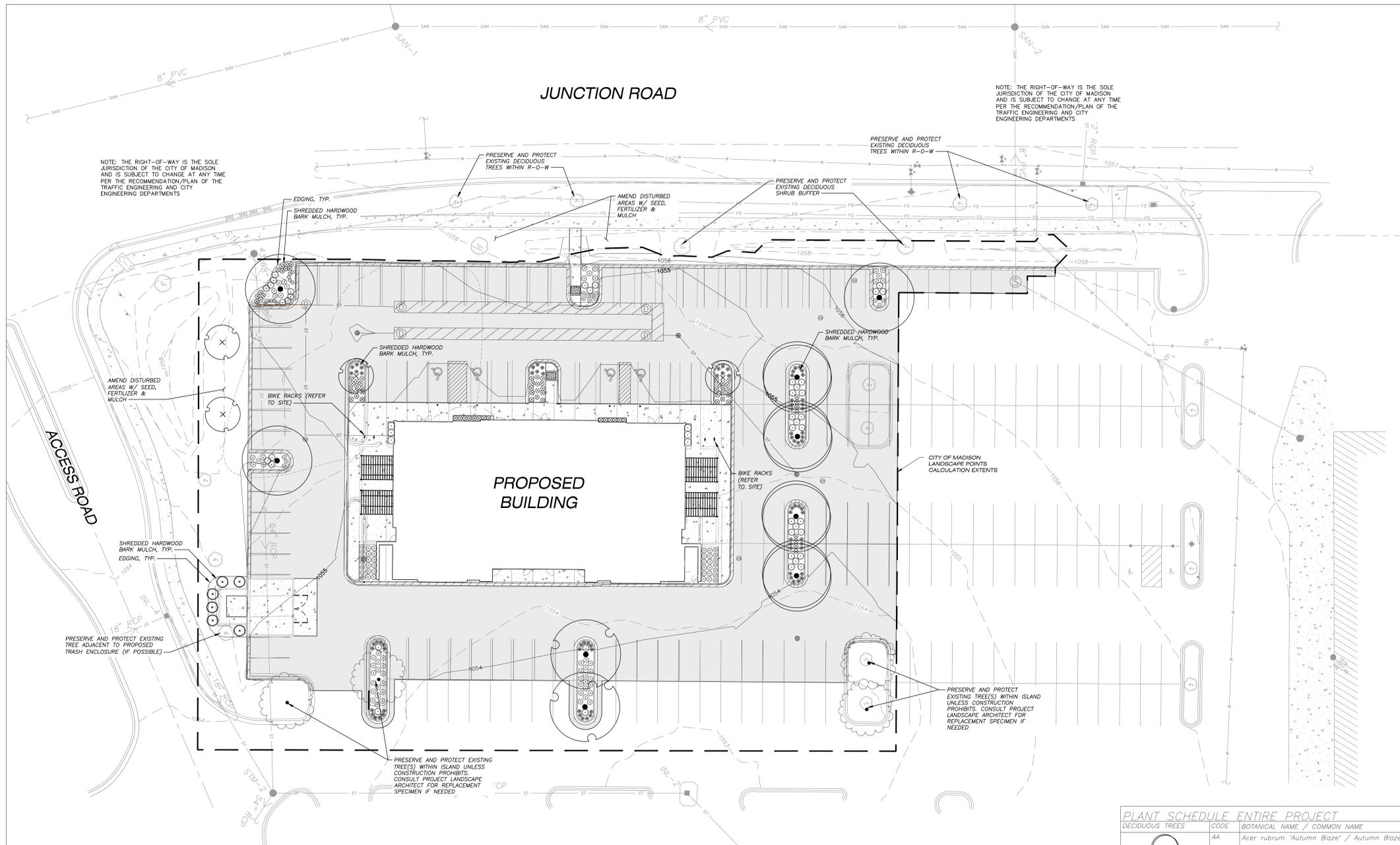
SHEET: 17
05/30/2018



SITE PLAN - PHOTOMETRICS



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LEGEND (LANDSCAPE PLAN)

---	PROPERTY LINE
---	BUILDING OUTLINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
ST	STORM SEWER
ST	EXISTING STORM SEWER
SAN	EXISTING SANITARY SEWER
W	EXISTING WATERMAIN
FO	EXISTING FIBER OPTIC
+	ADA PARKING BOLLARDS/SIGNS
I	BIKE RACK
---	LANDSCAPE EXTENTS

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
 - REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.



PRAIRIE TOWNE CENTER - NORTH OUTLOT

241 JUNCTION ROAD, MADISON, WI
 UBS GLOBAL RE
 2515 McKinney Avenue
 Dallas, TX 75201

PLANT SCHEDULE ENTIRE PROJECT

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	AA	Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple	B & B	2.5" Cal	4
	CO	Celtis occidentalis / Common Hackberry	B & B	2.5" Cal	2
	GD	Gleditsia triacanthos f. inermis 'Draves' / Streetkeeper Honey Locust	B & B	2.5" Cal	3
EVERGREEN TREES	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	TH	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	B & B	6 ft tall min.	6
ORNAMENTAL TREES	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	AP	Amelanchier x grandiflora 'Princess Diana' / Princess Diana Serviceberry	B & B	1.5" Cal	4
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	BG	Buxus x 'Green Velvet' / Boxwood	3 gal	24" Min. Ht.	6
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	BA	Baptisia australis / Blue Wild Indigo	1 Gal	18-12" Ht.	41
	EM	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	1 Gal	18-12" Ht.	18
	HO	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal	18-12" Ht.	49
	PA	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	1 Gal	18-12" Ht.	27
	RF	Rudbeckia fulgida 'Goldstrum' / Black-Eyed Susan Coneflower	1 gal	18-12" Ht.	27
	SH	Sedum x 'Herbstfreude' / Autumn Joy Sedum	1 gal	18-12" Ht.	38
ORNAMENTAL GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	18-12" Ht.	81
	SL	Schizachyrium scoparium / Little Bluestem Grass	1 gal	18-12" Ht.	49

ISSUE DATES:

Issue	Description	Date
1	UDC INITIAL/FINAL	05/29/2018

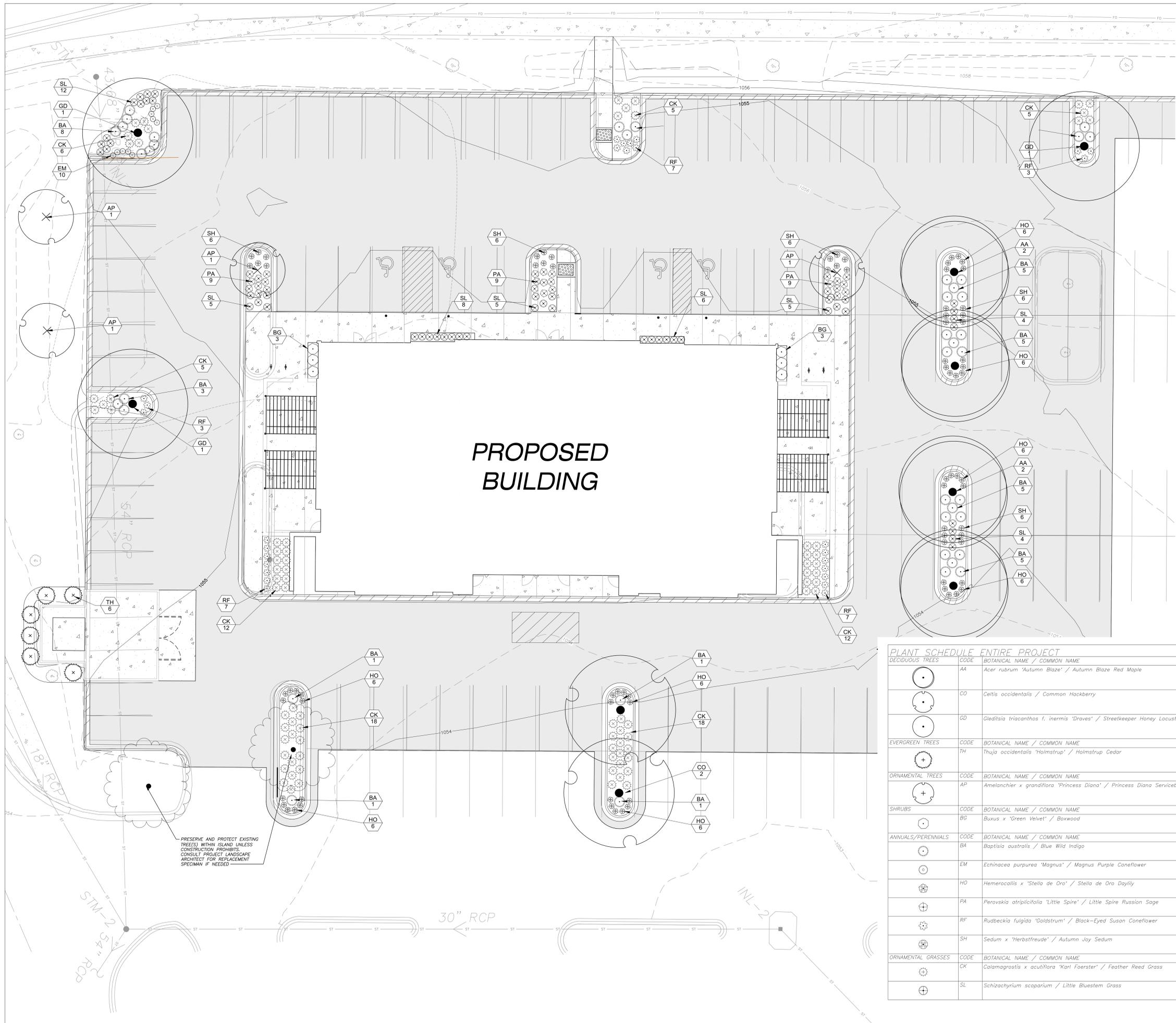
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Sheet Title
OVERALL LANDSCAPE PLAN

Project Number: Project Number
 Sheet Number

L1.0



LEGEND (LANDSCAPE PLAN)

---	PROPERTY LINE
---	BUILDING OUTLINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	STORM SEWER
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---	EXISTING SANITARY SEWER
---	EXISTING WATERMAIN
---	EXISTING FIBER OPTIC
---	ADA PARKING BOLLARDS/SIGNS
---	BIKE RACK
---	LANDSCAPE EXTENTS

**PROPOSED
BUILDING**

PLANT SCHEDULE ENTIRE PROJECT

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
•	AA	<i>Acer rubrum</i> 'Autumn Blaze' / Autumn Blaze Red Maple	B & B	2.5" Cal	4
•	CO	<i>Celtis occidentalis</i> / Common Hackberry	B & B	2.5" Cal	2
•	GD	<i>Gleditsia triacanthos f. inermis</i> 'Draves' / Streetkeeper Honey Locust	B & B	2.5" Cal	3
EVERGREEN TREES	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
+	TH	<i>Thuja occidentalis</i> 'Helmstrup' / Helmstrup Cedar	B & B	6 ft tall min.	6
ORNAMENTAL TREES	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
+	AP	<i>Amelanchier x grandiflora</i> 'Princess Diana' / Princess Diana Serviceberry	B & B	1.5" Cal	4
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
•	BG	<i>Buxus x 'Green Velvet'</i> / Boxwood	3 gal	24" Min. Ht.	6
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
•	BA	<i>Baptisia australis</i> / Blue Wild Indigo	1 Gal	10-12" Ht.	41
•	EM	<i>Echinacea purpurea</i> 'Magnus' / Magnus Purple Coneflower	1 Gal	10-12" Ht.	10
•	HO	<i>Hemerocallis x 'Stella de Oro'</i> / Stella de Oro Daylily	1 gal	10-12" Ht.	49
•	PA	<i>Perovskia atriplicifolia</i> 'Little Spire' / Little Spire Russian Sage	1 Gal	10-12" Ht.	27
•	RF	<i>Rudbeckia fulgida</i> 'Goldstrum' / Black-Eyed Susan Coneflower	1 gal	10-12" Ht.	27
•	SH	<i>Sedum x 'Herbstfreude'</i> / Autumn Joy Sedum	1 gal	10-12" Ht.	30
ORNAMENTAL GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
•	CK	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass	1 gal	10-12" Ht.	81
•	SL	<i>Schizachyrium scaparium</i> / Little Bluestem Grass	1 gal	10-12" Ht.	49

PRAIRIE TOWNE CENTER - NORTH OUTLOT
241 JUNCTION ROAD, MADISON, WI

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ISSUE DATES:

Issue	Description	Date
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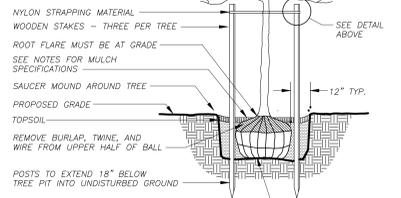
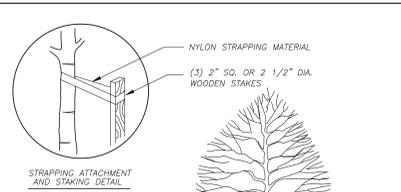
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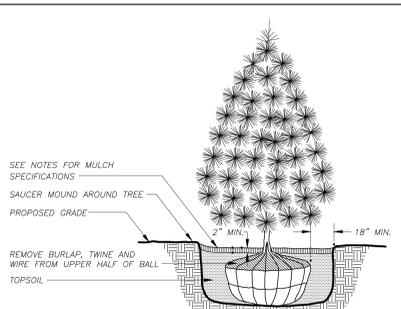
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**DETAILED
LANDSCAPE PLAN**

Project Number: Project Number
Sheet Number

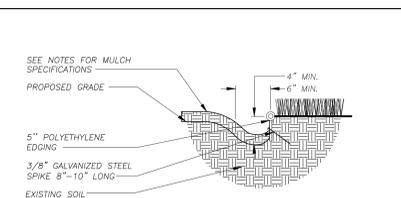
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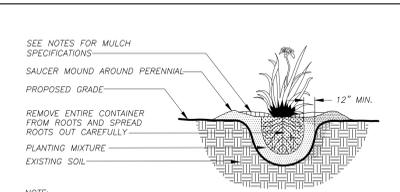
DECIDUOUS TREE PLANTING DETAIL
N.T.S.



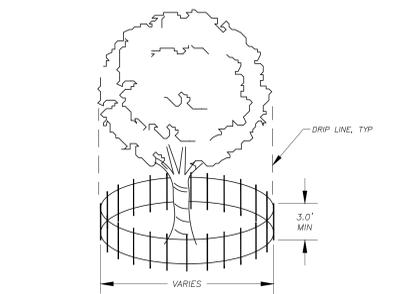
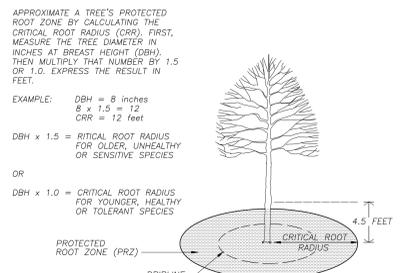
EVERGREEN TREE PLANTING DETAIL
N.T.S.



LANDSCAPE EDGING DETAIL
N.T.S.

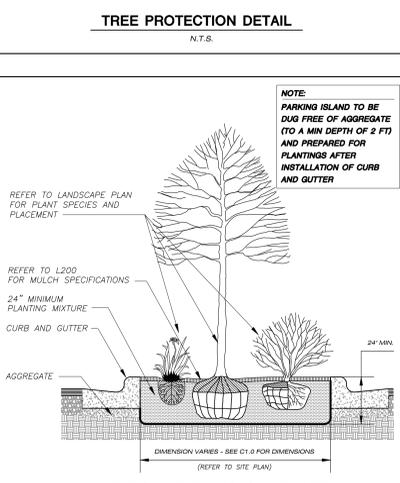


PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL
N.T.S.



TREE PROTECTION DETAIL
N.T.S.

TREE NOTES:
1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.



TYPICAL PARKING ISLAND DETAIL
N.T.S.

GENERAL NOTES

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5844 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MATERIALS. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEW OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE 'FRESHLY' DIG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP:** DISPOSAL OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

LANDSCAPE MATERIAL NOTES

- MATERIALS - SOIL:** PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
A. PLANTING AREAS - 24" TREE RITS - SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRINGE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT/DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.**
- MATERIALS - SHREDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED AS DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE. PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TYPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT, MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MAINTAINED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE 60 DAY CONTRACTOR GUARANTEE PERIOD.

CITY OF MADISON
LANDSCAPE WORKSHEET
Section 28.142 Madison General Ordinance

Project Location / Address: 241 JUNCTION ROAD, MADISON, WI
Name of Project: PRAIRIE TOWNE CENTER NORTH OUTLOT
Owner / Contact: UBS GLOBAL RE
Contact Phone: (608) 848-5060 Contact Email: KEVIN.YESKA@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
Total square footage of developed area = **44,523**
Total landscape points required = **743**
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
Total square footage of developed area _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area _____
Total landscape points required _____
- For the Industrial - Limited (I1) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
Total square footage of developed area _____
Total landscape points required _____

10/2013 1

Tabulation of Points and Credits
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			9	315
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			4	60
Upright evergreen shrub (i.e. arbutus)	3-4 feet tall	10			6	60
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			6	18
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			314	628
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	4	222		
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				222		1,081

Total Number of Points Provided = **1,303**

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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JSD Professional Services, Inc.
Engineers • Surveyors • Planners

PRAIRIE TOWNE CENTER - NORTH OUTLOT
241 JUNCTION ROAD, MADISON, WI

UBS GLOBAL RE
2515 McKinney Avenue
Dallas, TX 75201

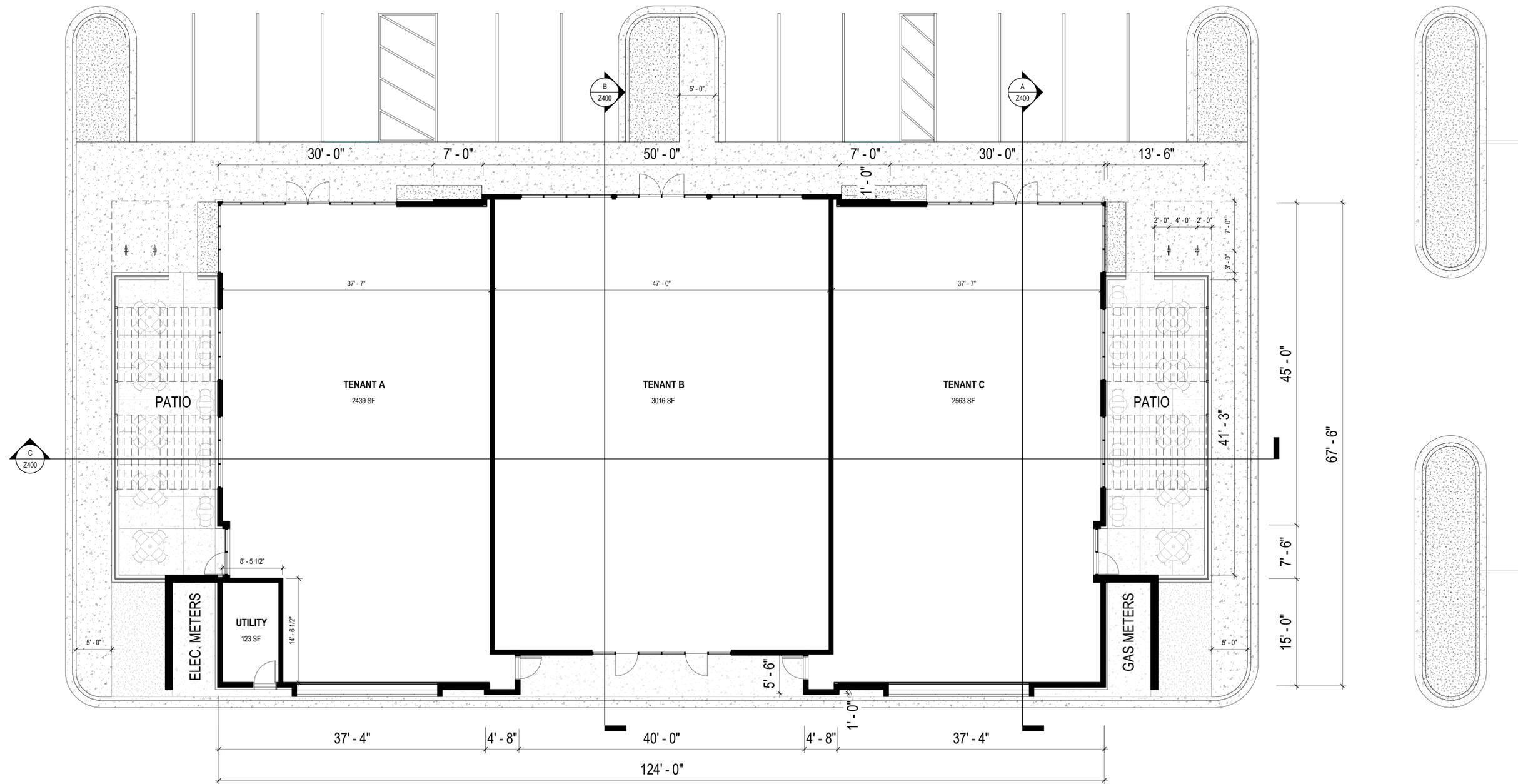
ISSUE DATES:

Issue	Description	Date
1	UDC INITIAL/FINAL	05/29/2018

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Sheet Title
LANDSCAPE DETAILS AND SPECIFICATIONS
Project Number: Project Number
Sheet Number
L2.0



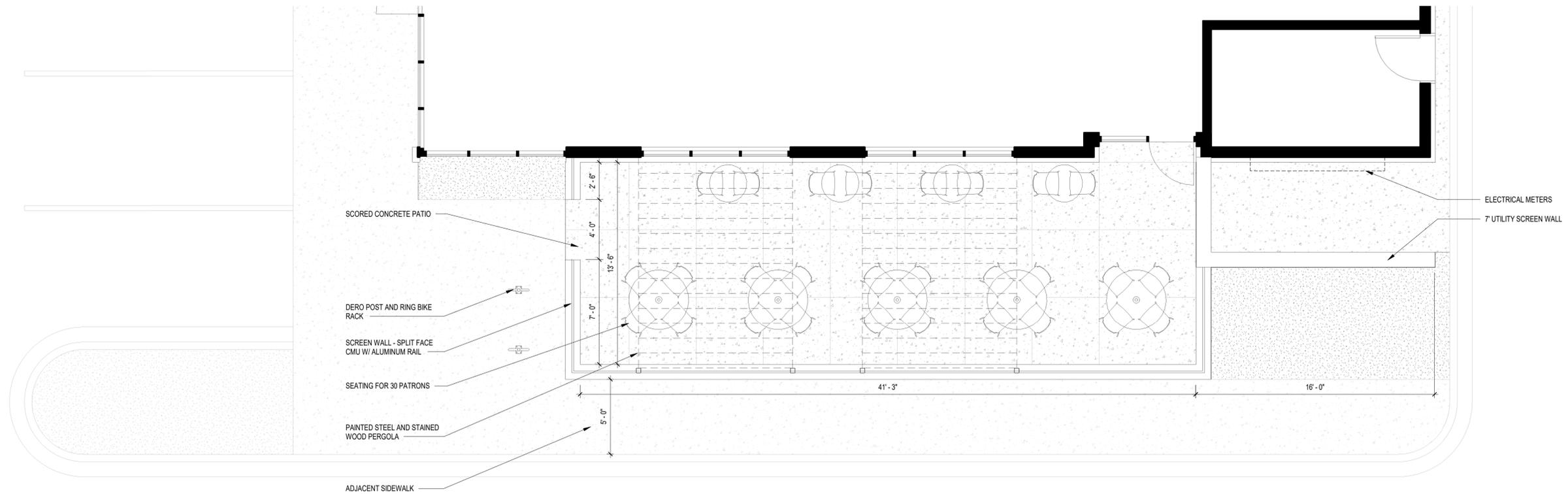
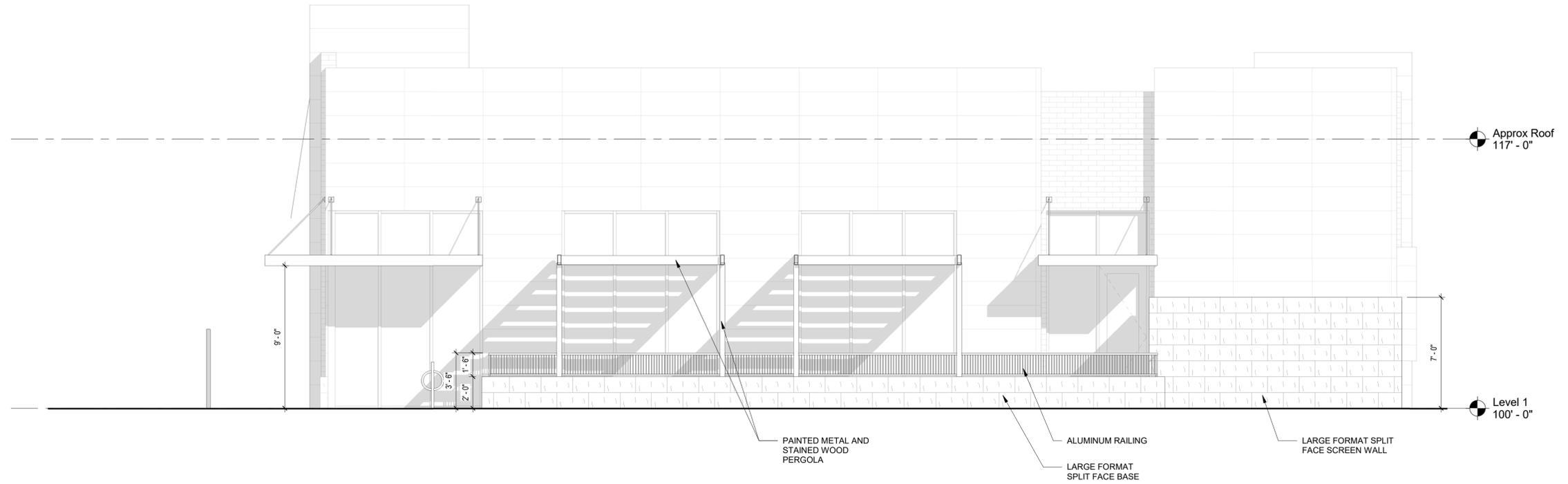
PRAIRIE TOWNE CENTER -
NORTH OUT LOT

241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 21
05/30/2018

FIRST FLOOR PLAN





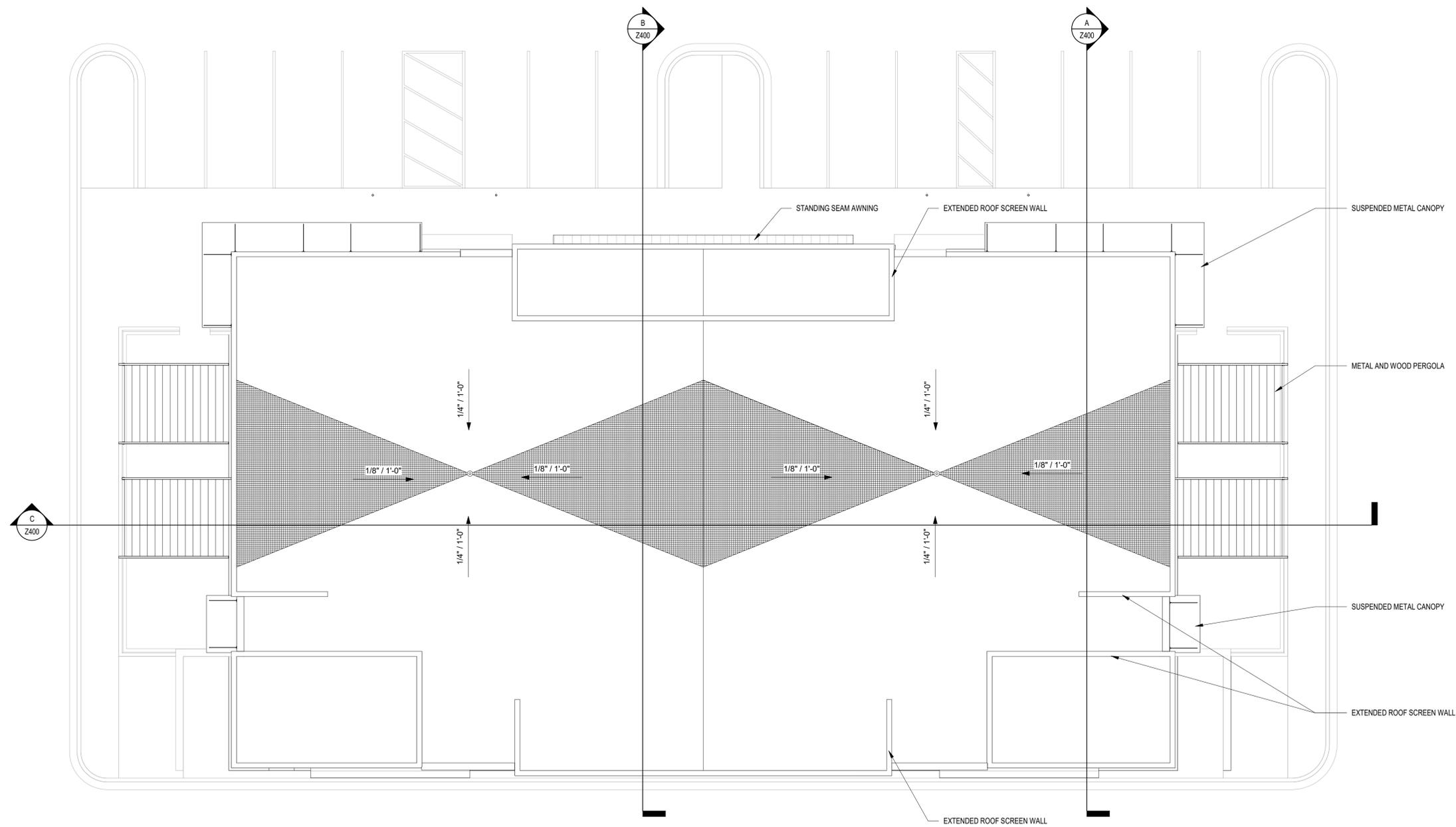
PRAIRIE TOWNE CENTER -
NORTH OUT LOT

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SHEET: 22
05/30/2018



OUTDOOR SEATING AREA PLAN



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

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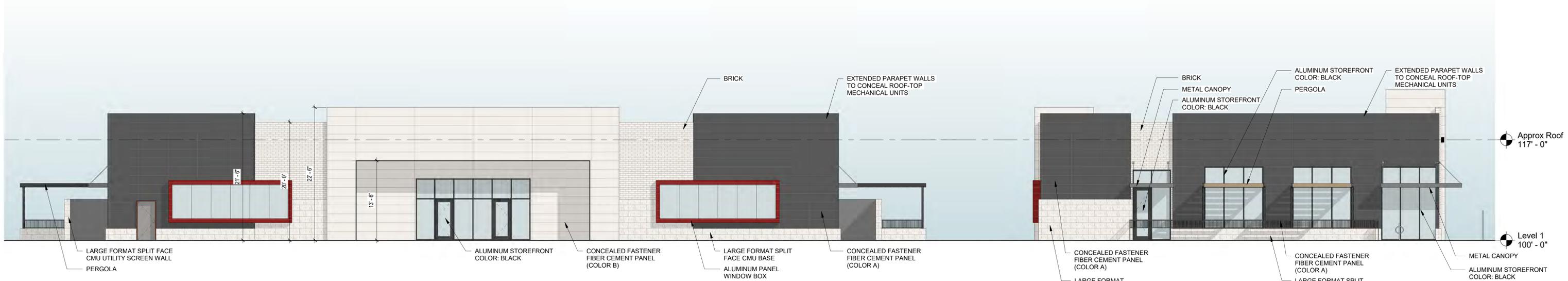
SHEET: 23
05/30/2018

ROOF PLAN



EXTERIOR MATERIAL LEGEND											
HATCH	SWATCH	MARK	DESCRIPTION	HATCH	SWATCH	MARK	DESCRIPTION	HATCH	SWATCH	MARK	DESCRIPTION
		BRICK	BELDEN UTILITY BRICK COLOR: ALASKA WHITE VELOUR			FIBER CEMENT COLOR A	CERACLAD CONTEMPORARY SMOOTH COLOR: SUMI 18" X 60"			METAL AWNING	STANDING SEAM METAL ROOF ON ALUMINUM FRAME COLOR: PAC-CLAD COLONIAL RED OR EQUIVALENT
		LARGE FORMAT CMU	COUNTY MATERIALS CMU 12" X 24" COLOR: WHITE FINISH: SPLIT FACE			FIBER CEMENT COLOR B	CERACLAD CONTEMPORARY SMOOTH COLOR: SILK 18" X 60"			METAL CANOPY	SUSPENDED METAL CANOPY COLOR: BLACK

NOTE: MATERIAL SWATCHES NOT TO SCALE - FOR REFERENCE ONLY

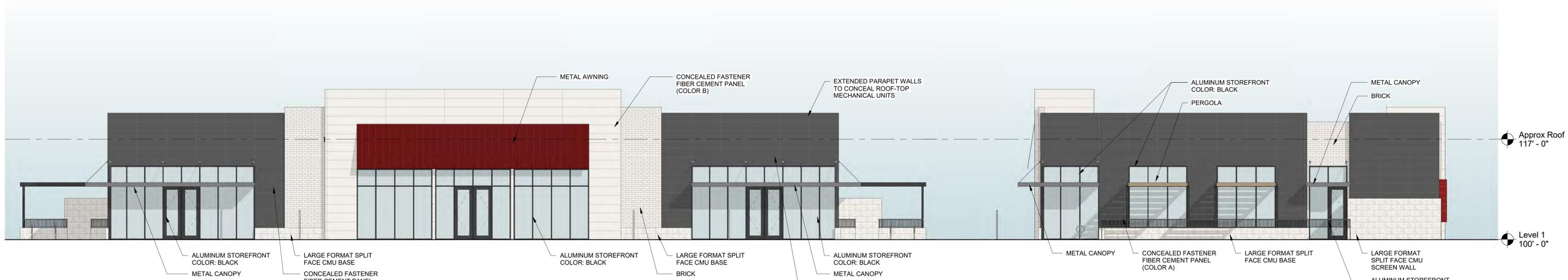


COLOR - SOUTHEAST ELEVATION

1/8" = 1'-0"

COLOR - NORTHEAST ELEVATION

1/8" = 1'-0"



**NORTHWEST ELEVATION
(VIEW FROM JUNCTION ROAD)**

1/8" = 1'-0"

COLOR - SOUTHWEST ELEVATION

1/8" = 1'-0"

**PRAIRIE TOWNE CENTER -
NORTH OUT LOT**

241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 24
05/30/2018

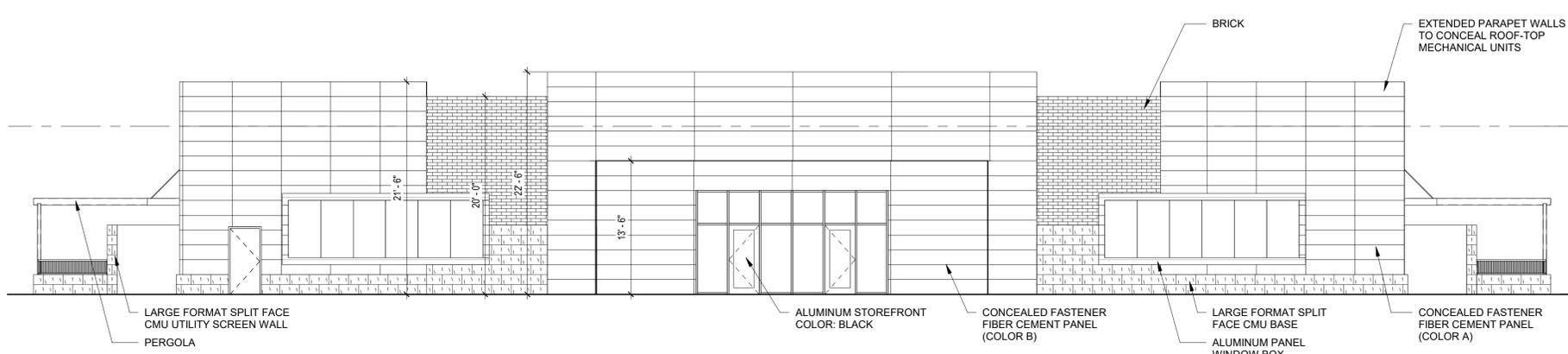
ELEVATIONS - COLOR



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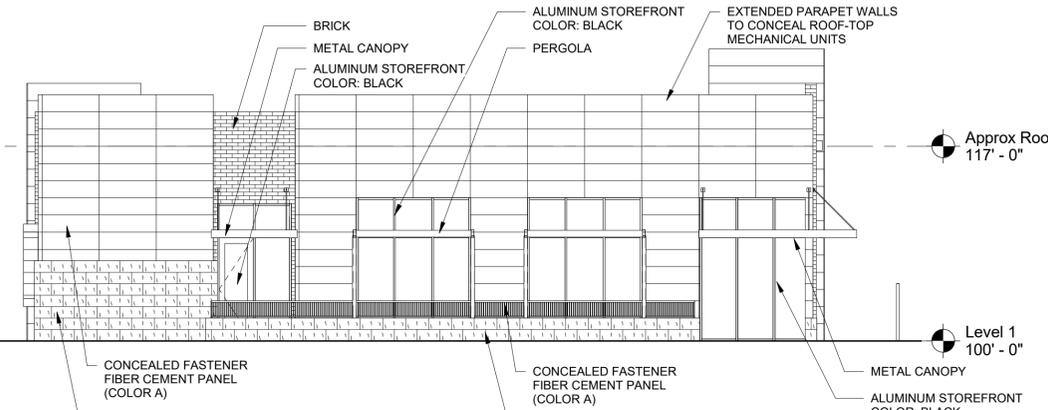
EXTERIOR MATERIAL LEGEND											
HATCH	SWATCH	MARK	DESCRIPTION	HATCH	SWATCH	MARK	DESCRIPTION	HATCH	SWATCH	MARK	DESCRIPTION
		BRICK	BELDEN UTILITY BRICK COLOR: ALASKA WHITE VELOUR			FIBER CEMENT COLOR A	CERACLAD CONTEMPORARY SMOOTH COLOR: SUMI 18" X 60"			METAL AWNING	STANDING SEAM METAL ROOF ON ALUMINUM FRAME PAC-CLAD COLONIAL RED OR EQUIVALENT
		LARGE FORMAT CMU	COUNTY MATERIALS CMU 12" X 24" COLOR: WHITE FINISH: SPLIT FACE			FIBER CEMENT COLOR B	CERACLAD CONTEMPORARY SMOOTH COLOR: SILK 18" X 60"			METAL CANOPY	SUSPENDED METAL CANOPY COLOR: BLACK

NOTE: MATERIAL SWATCHES NOT TO SCALE - FOR REFERENCE ONLY



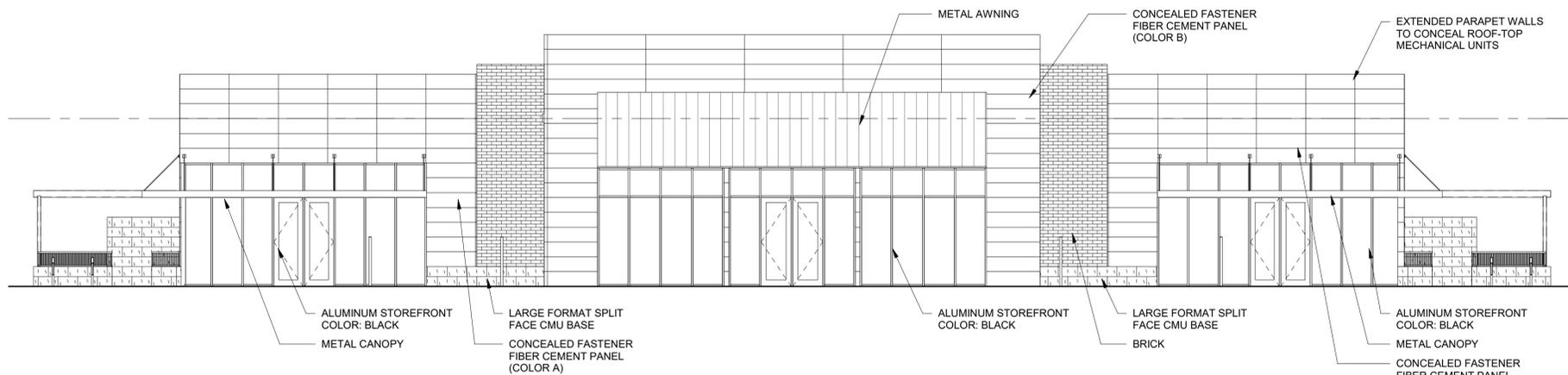
SOUTHEAST ELEVATION

1/8" = 1'-0"



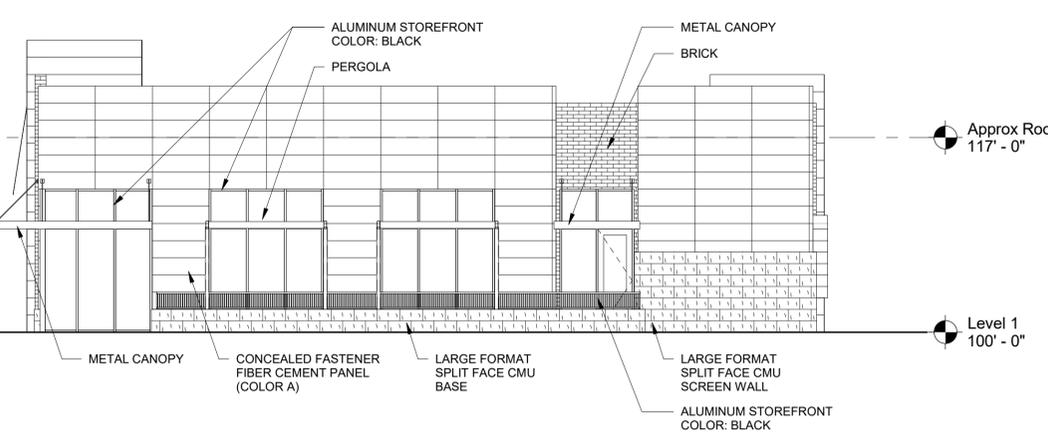
NORTHEAST ELEVATION

1/8" = 1'-0"



NORTHWEST ELEVATION

1/8" = 1'-0"



SOUTHWEST ELEVATION

1/8" = 1'-0"

**PRAIRIE TOWNE CENTER -
NORTH OUT LOT**

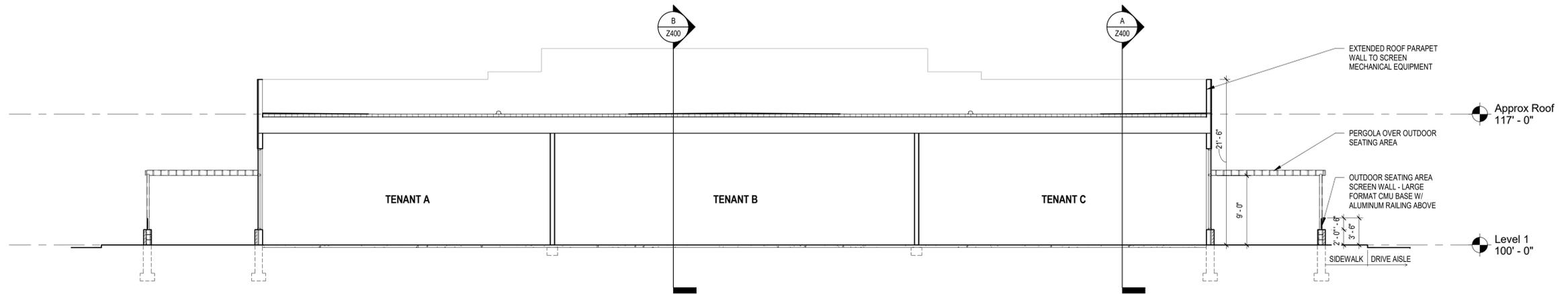
241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 25
05/30/2018

ELEVATIONS - B&W

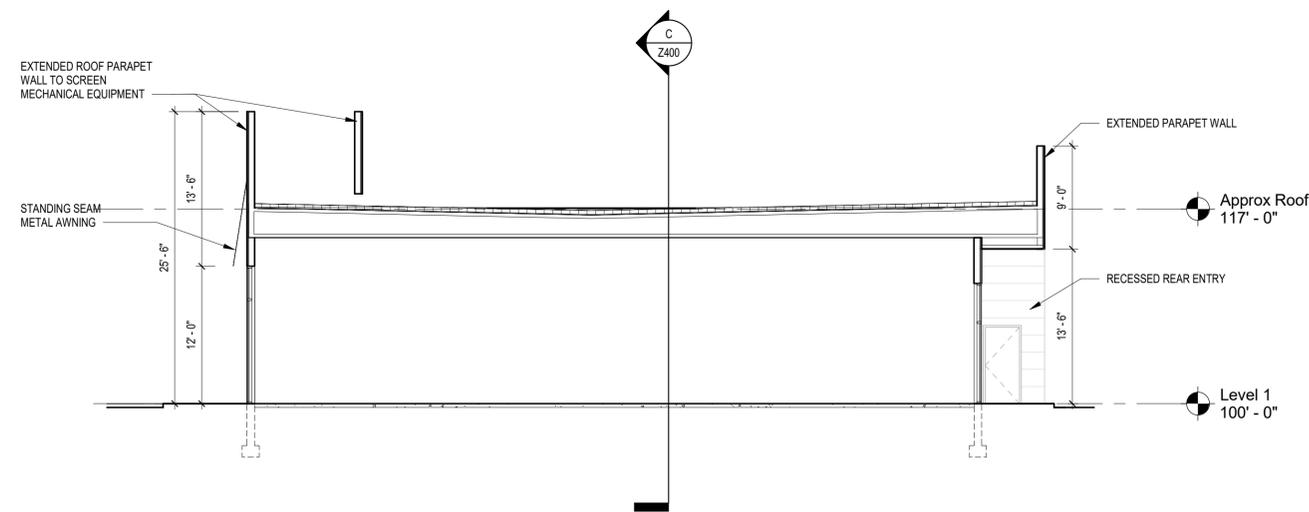


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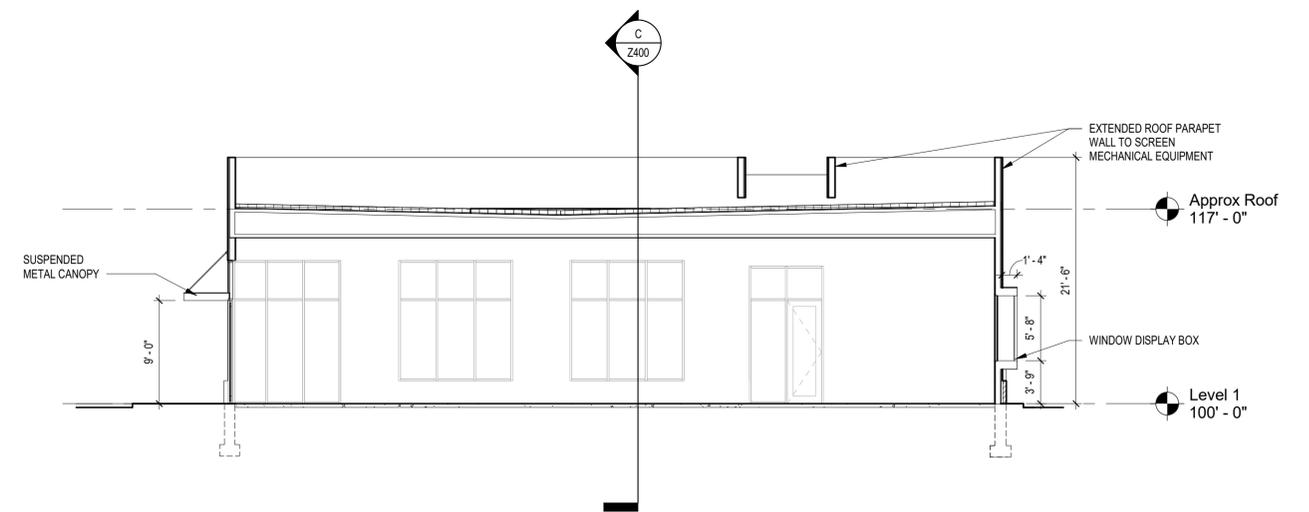
BUILDING SECTION C

1/8" = 1'-0"



BUILDING SECTION B

1/8" = 1'-0"



BUILDING SECTION A

1/8" = 1'-0"



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 27
05/30/2018

PERSPECTIVE



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 28
05/30/2018

PERSPECTIVE



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 29
05/30/2018

PERSPECTIVE



PRAIRIE TOWNE CENTER -
NORTH OUT LOT

241 JUNCTION ROAD, MADISON, WI 53717

SHEET: 30
05/30/2018

PERSPECTIVE



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