



# Breese Stevens Field

## Tenant Office Improvements



in site  
architects  
1000 university ave. w. suite 130  
st. paul, minnesota 55104  
612-252-4820 insitearchitect.com

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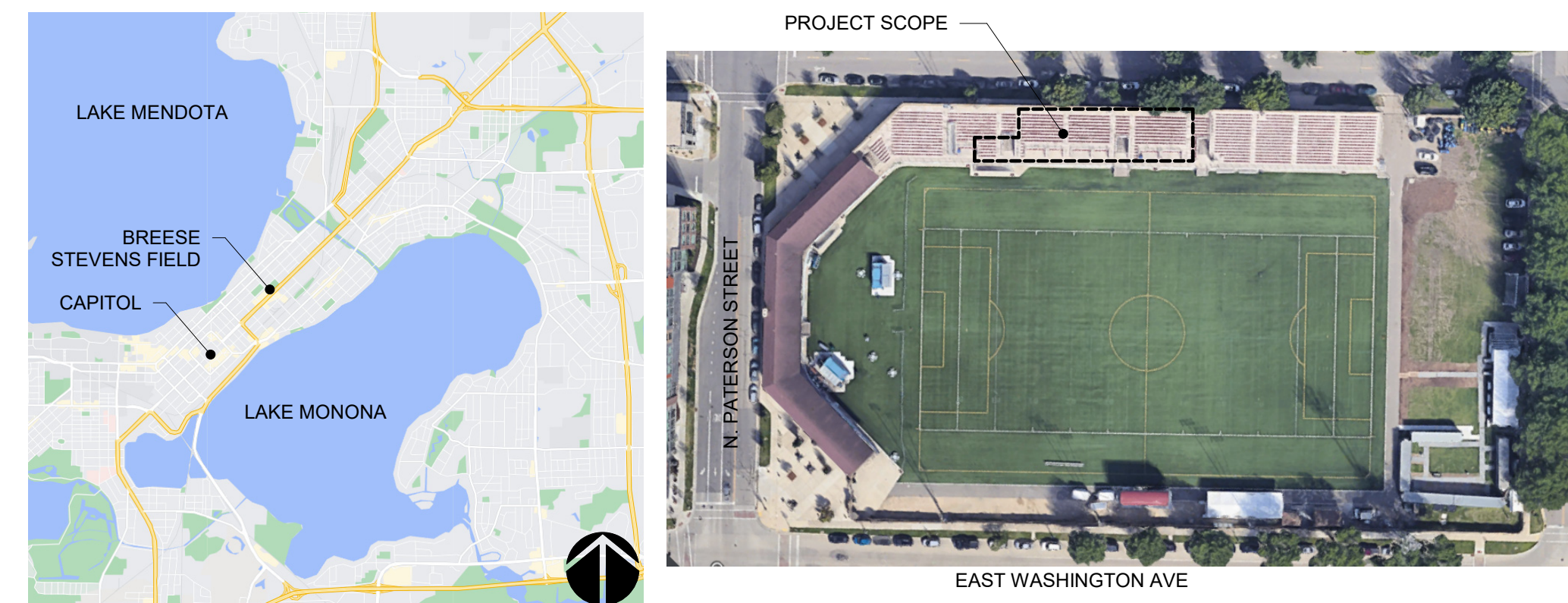
*Dawn Wieczorek*  
Signature

Dawn Wieczorek  
Typed or Printed Name

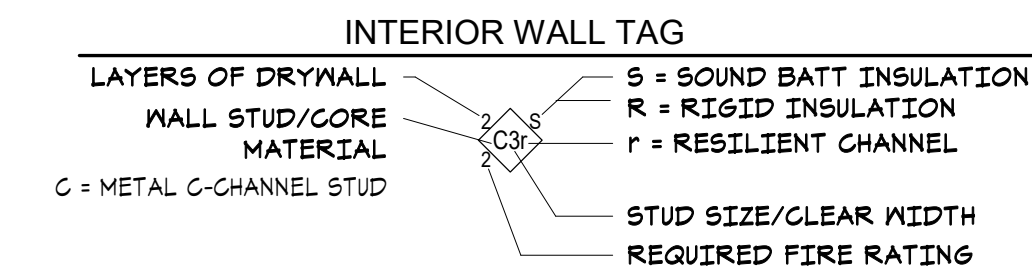
11785-5 17DEC2021  
License # Date



### PROJECT LOCATION



### WALL TAG LEGEND



### SYMBOL LEGEND

- DEMO PLAN NOTE
- PLAN NOTE
- WINDOW TAG  
SEE FLOOR PLANS
- DOOR TAG  
SEE FLOOR PLANS

### PROJECT TEAM

**Owner:** CITY OF MADISON - CITY PARKS  
210 Martin Luther King Jr Blvd, Rm 104  
Madison, WI 53701-2987  
Ph: 608-261-9688 - Mike Sturm

**Tenant:** Big Top Events  
2920 N. Sherman Avenue  
Madison, WI 53704  
Ph: 608.575.4267 - Vern Stenman

**Architect:** InSite Architects  
1000 University Ave. West, Suite 130  
St. Paul, MN 55104  
Ph: 612-252-4820

**Contractor:** TBD

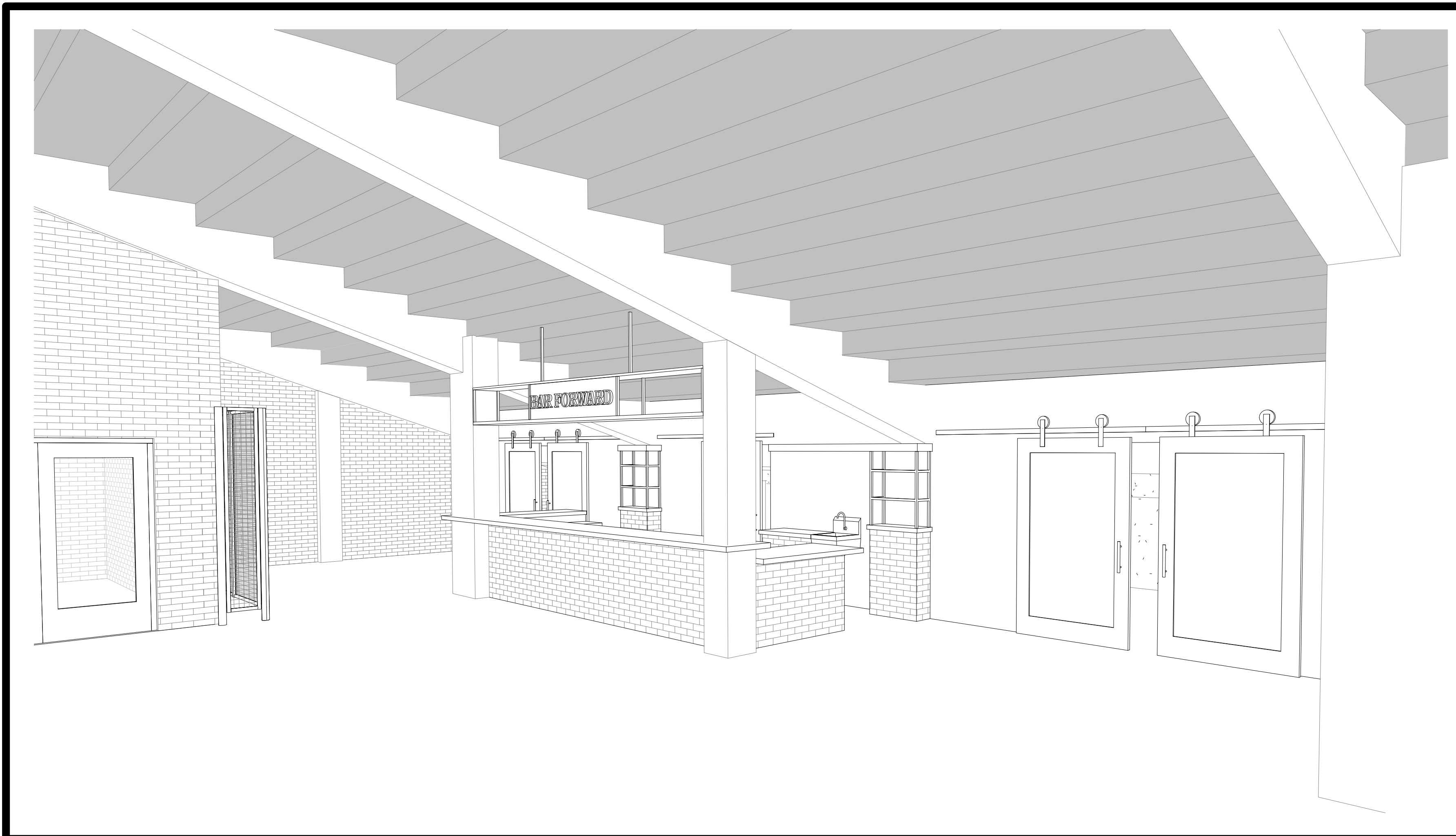
**MEP Engineer:** Design-Build

### SHEET INDEX

SHEET NO.	SHEET NAME	PERMIT SET 27DEC2021
T1.0	TITLE SHEET	•
A1.0	FLOOR PLANS	•
A2.0	DEMO PLAN	•
A3.0	SECTIONS & ELEVATIONS	•

### GENERAL NOTES

- CONTRACTOR & OWNER ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY REVIEWS, PERMITS & INSPECTIONS.
- ALL ELECTRICAL & PLUMBING UTILITIES THAT ARE TO BE CONNECTED TO OR MODIFIED, ARE TO BE FIELD VERIFIED.
- ALL DIMENSIONS SHOWN ARE TO BE FIELD VERIFIED BY CONTRACTOR. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY WORK RELATED BEGINS.
- ALL MATERIALS TO BE USED TO MATCH EXISTING INSTALLED ELSEWHERE IN THE FACILITY WHENEVER POSSIBLE.



**BRESE STEVENS FIELD**  
**OFFICE REMODEL**  
 917 East Mifflin Street  
 Madison, WI 53703

PERMIT SET  
 27 DEC 2021

REVISIONS

No.	Description	Date

PROJECT NUMBER: 2110  
BRESE STEVENS FIELD

TITLE SHEET  
**T1.0**



PLAN NOTES LEGEND	
NO.	DESCRIPTION
1	EXISTING UTILITY ROOM TO REMAIN. REPAIR EXISTING BRICK WALLS AS REQUIRED.
2	CHAINLINK FENCE IN FRONT OF EXISTING ELECTRICAL PANELS. PROVIDE TWO DOUBLE GATES @ MAIN PANELS & ONE @ 2ND PANELS AS REQUIRED TO PROVIDE ACCESS TO ALL ELECTRICAL PANELS. GATE HARDWARE TO ALLOW OWNER TO INSTALL KEYPAD LOCKS. FENCE TO RETURN ON END AS SHOWN IN PLAN.
3	CLEAN & REPAIR EXISTING OPENING FOR INSTALLATION OF NEW WINDOW. INSTALL WOOD BLOCKING AS REQUIRED FOR INSTALLATION. INSTALL TRIM AT INTERIOR TO COVER BLOCKING. TRIM TO BE FINISHED FOR A PAINT FINISH. INSTALL PAINTABLE SEALANT FULL PERIMETER OF WINDOW.
4	REPAIR EXISTING OPENING FOR INSTALLATION OF NEW HOLLOW METAL DOOR FRAME. REPLACE ANY WOOD FRAMING TO PROVIDE A SOLID WALL. REUSE EXISTING WOOD SIDING & PREPARE FOR NEW PAINT FINISH.
5	POUR NEW CONCRETE FLOOR TO LEVEL OF EXISTING FLOOR AROUND IT. DEPTH TO MATCH EXISTING. PROVIDE FINISHING INTO EXISTING SLAB @ 18" O.C.
6	REBUILD CAGE BELOW STAIR TO MATCH EXISTING LAYOUT & DESIGN. RE-USE SALVAGED DOORS & METAL MESH PANELS. CLEAN, REPAIR & REPAINT DOORS & MESH PANELS.
7	PAINT EXISTING WALL PER OWNERS DIRECTION. CLEAN EXISTING WALL PRIOR TO PAINTING.
8	CLEAN, REPAIR EXISTING METAL COLUMNS AND PAINT. COORDINATE WITH OWNER FOR COLOR.
9	ADD PIPE HANDRAILS ON BOTH SIDES OF RAMP @ 3" AFF.
10	LEVEL BROKEN CONCRETE FLOOR PIECES AS MUCH AS POSSIBLE. INSTALL CONCRETE SLAB WITH INFLOOR HYDRONIC HEATING. MINIMUM 3" RIGID INSULATION ABOVE EXISTING SLAB. 1" TUBING TRAY LAYER & 2" CONCRETE TOP LAYER. MAXIMUM DEPTH OF 6" FOR ENTIRE FLOOR.
11	GYP LAYER TO EXTEND BEHIND COLUMN. METAL FRAMING SHOULD NOT TOUCH CONCRETE COLUMN.
12	PROVIDE CONTINUOUS PLM DESK/COUNTER WITH REQUIRED WALL SUPPORTS AS SHOWN ON PLAN. DESK TO BE 30" AFF WITH GROMMETS PER OWNER.
13	WALLS FOR OFFICE SHOULD BE FRAMED TO 10' - 6" AFF. THE CEILING TO BE FRAMED USING 2x8 PAINT GRADE WOOD WITH 1x8 PAINT GRADE BOARDS @ THE BOTTOM.
14	INSTALL PADDED CORNER GUARDS @ EDGES OF CONCRETE BEAM WHERE PEOPLE WILL WALK UNDER. GUARDS TO BE PAINTABLE OR COORDINATE COLOR WITH OWNER. COLOR OF GUARDS TO BE BRIGHT & NOTICEABLE.
15	PAINTED METAL RAILING TO MATCH EXISTING METAL RAILINGS @ STAIRS. DIAMETER OF RAILINGS TO BE 1 1/2". EXTEND RAILING 12" PAST STEP OR END OF RAMP & RETURN TO FLOOR.

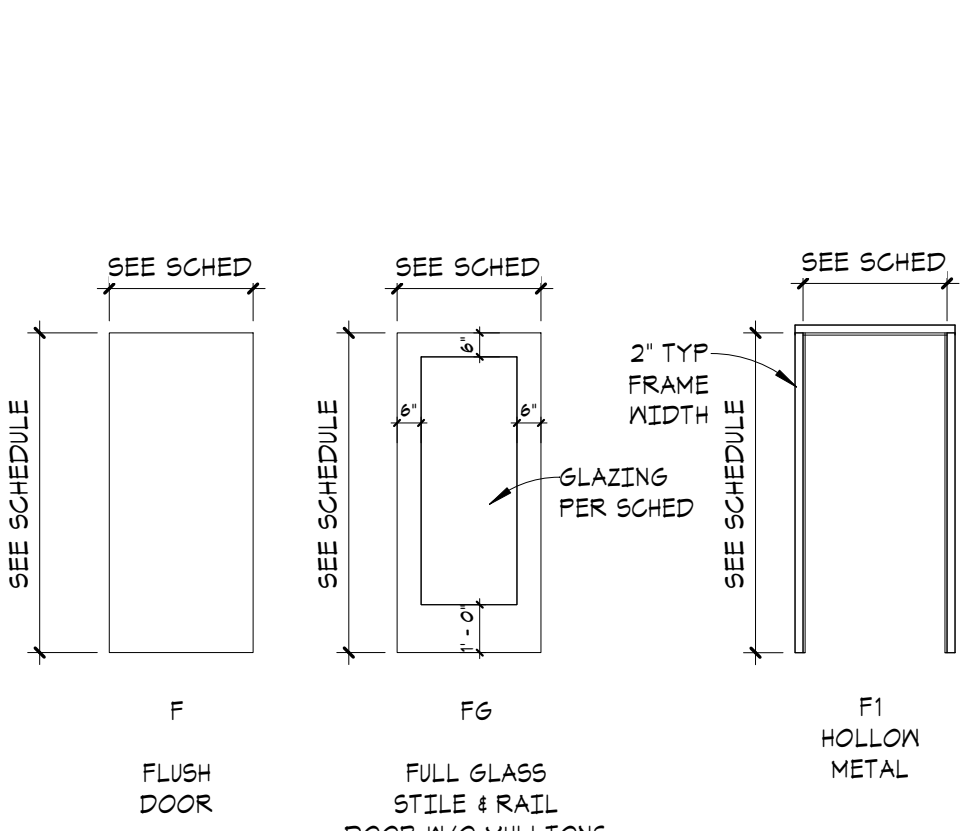
DOOR SCHEDULE													
NO.	ROOM	DOOR			FRAME			GLASS	Comments				
		W	H	T	Type	MATL	FIN			Type	MATL	FIN	HDWR
100	OPEN CLUB	3'-0"	6'-8"	1 1/2"	FG	HM	PT	F1	HM	PT	1, 4, 6, 7, 8, 9	TG-3	INSTALL EXIT SIGN ABOVE DR
100A	OPEN CLUB	3'-0"	6'-8"	1 1/2"	FG	HM	PT	F1	HM	PT	1, 4, 6, 7, 8, 9	TG-3	INSTALL EXIT SIGN ABOVE DR
100B	OPEN CLUB	10'-0"	10'-0"	1 1/2"	F	WD	PT	F1	HM	PT	5		OVERHEAD DOOR
100C	OPEN CLUB	3'-0"	6'-8"	1 3/4"	FG	WD	PT	F1	HM	PT	1, 3, 6, 6	TG-2	
101	TOILET-1	3'-0"	6'-8"	1 1/2"	F	WD	PT	F1	HM	PT	1, 8, 3		
102	TOILET-2	3'-0"	6'-8"	1 1/2"	F	WD	PT	F1	HM	PT	1, 8, 3		
103	MEETING	6'-0"	6'-8"	1 1/2"	FG	WD	PT	F1	HM	PT	1, 8, 3	TG-1	
104	OPEN OFFICE	3'-0"	6'-8"	1 1/2"	FG	HM	PT	F1	HM	PT	1, 4, 6, 7, 8, 9	TG-3	INSTALL EXIT SIGN ABOVE DR
104A	OPEN OFFICE	3'-0"	6'-8"	1 1/2"	FG	HM	PT	F1	HM	PT	1, 4, 6, 7, 8, 9	TG-3	INSTALL EXIT SIGN ABOVE DR
104B	OPEN OFFICE	10'-0"	10'-0"	1 1/2"	F	WD	PT	F1	HM	PT	5		OVERHEAD DOOR
105	OFFICE-1	3'-2"	6'-10"	1 1/2"	FG	WD	PT				8	TG-1	BARN DOOR
106	OFFICE-2	3'-2"	6'-10"	1 1/2"	FG	WD	PT				8	TG-1	BARN DOOR
107	OFFICE-3	3'-2"	6'-10"	1 1/2"	FG	WD	PT				8	TG-1	BARN DOOR
108	OFFICE-4	3'-2"	6'-10"	1 1/2"	FG	WD	PT				8	TG-1	BARN DOOR
109	OFFICE-5	3'-2"	6'-10"	1 1/2"	FG	WD	PT				8	TG-1	BARN DOOR
110	OFFICE-6	3'-2"	6'-10"	1 1/2"	FG	WD	PT				8	TG-1	BARN DOOR
111	UTILITY	2'-6"	7'-0"	1 1/2"	F	WD	PT	F1	HM	PT	1, 8, 4	TG-3	
112A	SUITE/CONFERENCE	7'-0"	6'-8"	1 1/2"	FG	HM	PT	F1	HM	PT	1, 4, 6, 7, 8, 9	TG-3	INSTALL EXIT SIGN ABOVE DR
112B	SUITE/CONFERENCE	7'-0"	6'-8"	1 1/2"	FG	HM	PT	F1	HM	PT	1, 4, 6, 7, 8, 9	TG-3	INSTALL EXIT SIGN ABOVE DR
113	UTILITY	3'-0"	6'-10"	1 1/2"	FG	WD	PT				8	TG-2	BARN DOOR - DOUBLE
113A	UTILITY	3'-0"	6'-10"	1 1/2"	FG	WD	PT				8	TG-2	BARN DOOR - DOUBLE
113B	UTILITY	4'-0"	6'-10"	1 1/2"	FG	WD	PT				8	TG-2	BARN DOOR
114	UTILITY	3'-0"	5'-0"	1 1/2"	F	WD	PT	F1	HM	PT	1, 8, 4	TG-2	BARN DOOR

DOOR NOTES	
1.	RE-USE EXISTING HM DOOR FRAMES WHEN POSSIBLE. CLEAN & REPAIR AS REQUIRED & REPAINT.
2.	INSULATE HM FRAMES USED IN EXTERIOR LOCATIONS & PROVIDE FULL WEATHER STRIP & THRESHOLD.
3.	VERIFY ALL EXISTING OPENINGS & FRAMES TO BE RE-USED AND SIZE NEW DOOR PANEL ACCORDINGLY.
4.	REPAIR EXISTING WALLS AS REQUIRED WHERE NEW FRAMES WILL BE USED ADJUST FRAME & DOOR TO MATCH EXISTING MASONRY COARSING AS NEEDED.
5.	PRIME & PAINT FRAMES WITH SATIN ENAMEL PAINT TO INCLUDE RE-USED FRAMES. MATCH EXISTING COLORS OR COORDINATE WITH OWNER.
6.	MANUFACTURER & SPECS TO MATCH DOORS & HARDWARE USED IN PREVIOUS CONCESSION BUILDING ADDITION PROJECT.
7.	DOOR HARDWARE: <ul style="list-style-type: none"> <li>A. OVERHEAD DOORS: ALUMINUM SECTIONAL DOOR WITH CLEAR INSULATED GLAZING PANELS. BROWN POWDER COAT FINISH WITH FULL WEATHER SEAL PACKAGE. MANUAL OPERATION.</li> <li>B. BARN DOORS: STANDARD 'AG BARN GALVANIZED METAL TRACK SYSTEM. PROVIDE LIMIT STOP &amp; BOTTOM GUIDE.</li> </ul>

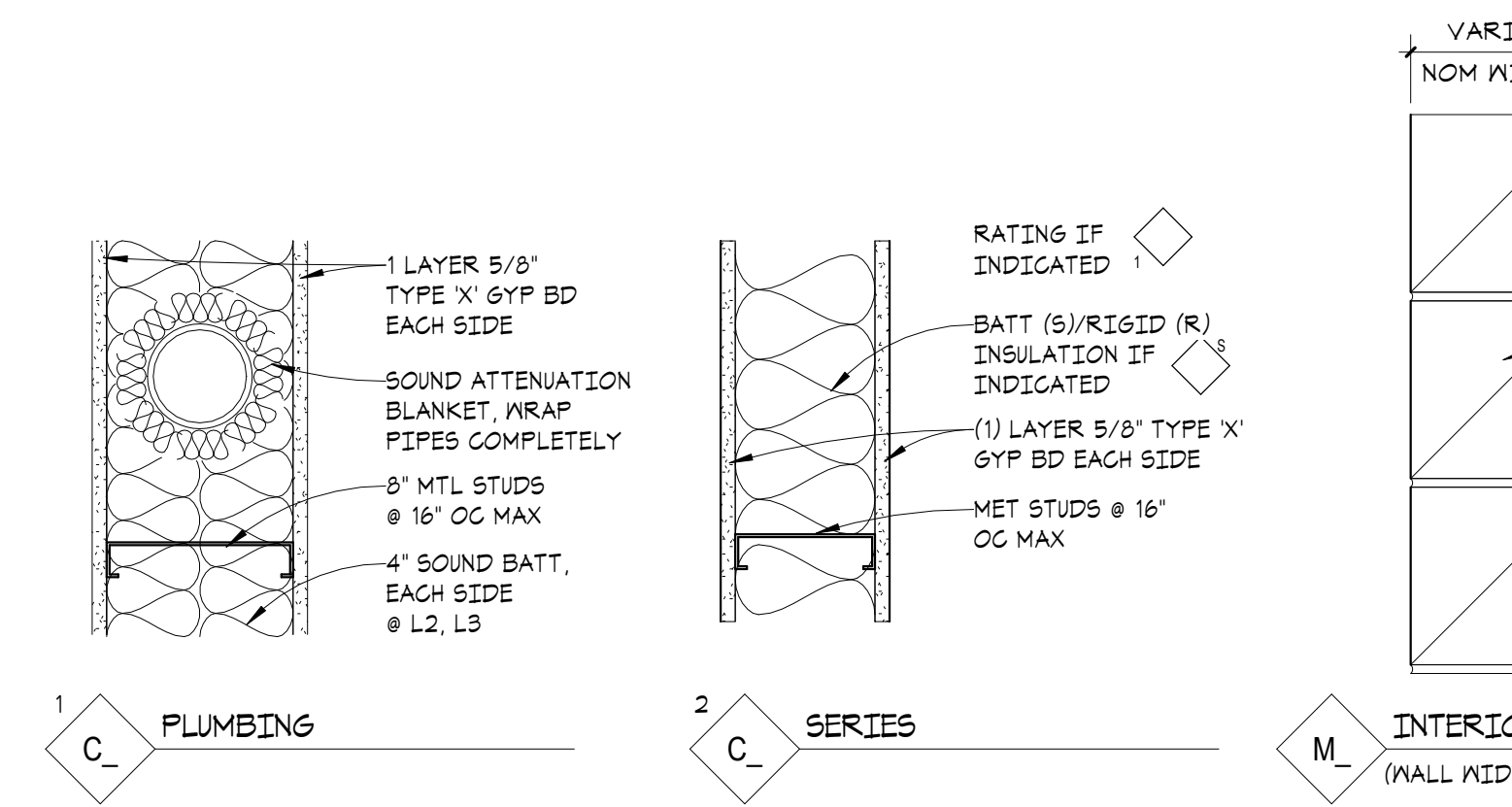
- GENERAL PLAN NOTES**
- TYPICAL INTERIOR DIMENSIONS FOR SINGLE STUD WALLS ARE TO CENTER OF STUD, FOR EXISTING WALLS DIMENSIONS ARE TO FACE OF WALL, AND MASONRY DIMENSIONS ARE TO FACE OF WALL.
  - ALL MECHANICAL, PLUMBING & ELECTRICAL TO BE DESIGN-BUILD. PROVIDE ACCESS PANELS WHEREVER REQUIRED FOR ACCESS TO MECHANICAL AND/OR ELECTRICAL ITEMS. VERIFY WITH MECHANICAL & ELECTRICAL, AND COORDINATE EXACT LOCATION WITH ARCHITECT IF LOCATED IN FINISHED SPACES.
  - INSPECT EXISTING EPOXY COATING ON EXTERIOR SEATING/WALKING SURFACE FOR CRACKS, SPALLS OR ANY OTHER FAILURE & REPAIR AS REQUIRED. CONTRACTOR IS REQUIRED TO INSPECT ALL EXPOSED AREAS - LOCATIONS FOR REPAIRS WILL NOT BE INCLUDED IN DRAWINGS.
  - POWER SPRAY/CLEAN THE INTERIOR OF THE EXISTING EXTERIOR STONE WALL. MONITOR CLEANING TO REDUCE DAMAGE/SPALLING TO THE STONE & GROUT. PROVIDE OPTION FOR SEALING SURFACE WITH A MATTE CLEAR FINISH.
  - POWER SPRAY/CLEAN ALL EXPOSED INTERIOR CONCRETE SURFACES TO INCLUDE BUT NOT LIMITED TO: COLUMNS, CEILINGS, WALLS & FLOORS.
  - GRIND ALL EXISTING CONCRETE FLOORS THAT ARE NOT NOTED TO BE REMOVED OR BROKEN UP. PROVIDE SMOOTH SURFACE SUITABLE FOR STAINING AND/OR SEALING. FILL ALL OPEN CRACKS WITH CONCRETE CRACK FILLER PRIOR TO GRINDING & FINISHING.
  - REPLACE ANYWALL WOOD THAT IS DECAYING OR NOT SUITABLE FOR NEW PAINT/STAIN FINISH.
  - ALL DATA & PHONE REQUIREMENTS & LOCATIONS TO BE COORDINATED WITH OWNER.
  - LIGHTING LAYOUT & FIXTURE SELECTION TO BE DESIGN-BUILD AND COORDINATED BY OWNER.
  - CLEAN & REPAIR BRICK & GROUT JOINTS IN EXISTING BRICK WALLS THAT ARE REMAINING AS REQUIRED WHERE CRACKS ARE VISIBLE IN PUBLIC AREAS.
  - OWNER TO ADD MINIMUM OF ONE FIRE EXTINGUISHER IN OPEN OFFICE AREA & OPEN CLUB THAT IS EASILY ACCESSIBLE AND VISIBLE.

ROOM FINISH SCHEDULE									
NO.	NAME	FLOORS		WALLS		CEILING		COMMENTS	
		MATL	FINISH	BASE	MATL	FINISH	MATL		
100	OPEN CLUB	CONC	SEALED			PAINT		PAINT NEW GYP WALLS ONLY	
101	TOILET-1	CONC	SEALED			PAINT		PAINT NEW GYP WALLS ONLY	
102	TOILET-2	CONC	SEALED			PAINT		PAINT NEW GYP WALLS ONLY	
103	MEETING	CONC	SEALED			PAINT		PAINT NEW GYP WALLS ONLY	
104	OPEN OFFICE	CONC	CPT	V.B.	GYP	PAINT			
105	OFFICE-1	CONC	CPT	V.B.	GYP	PAINT			
106	OFFICE-2	CONC	CPT	V.B.	GYP	PAINT			
107	OFFICE-3	CONC	CPT	V.B.	GYP	PAINT			
108	OFFICE-4	CONC	CPT	V.B.	GYP	PAINT			
109	OFFICE-5	CONC	CPT	V.B.	GYP	PAINT			
110	OFFICE-6	CONC	CPT	V.B.	GYP	PAINT			
111	UTILITY	CONC	SEALED						
112	SUITE/CONFERENCE	CONC	SEALED						
113	UTILITY	CONC							
114	UTILITY	CONC							

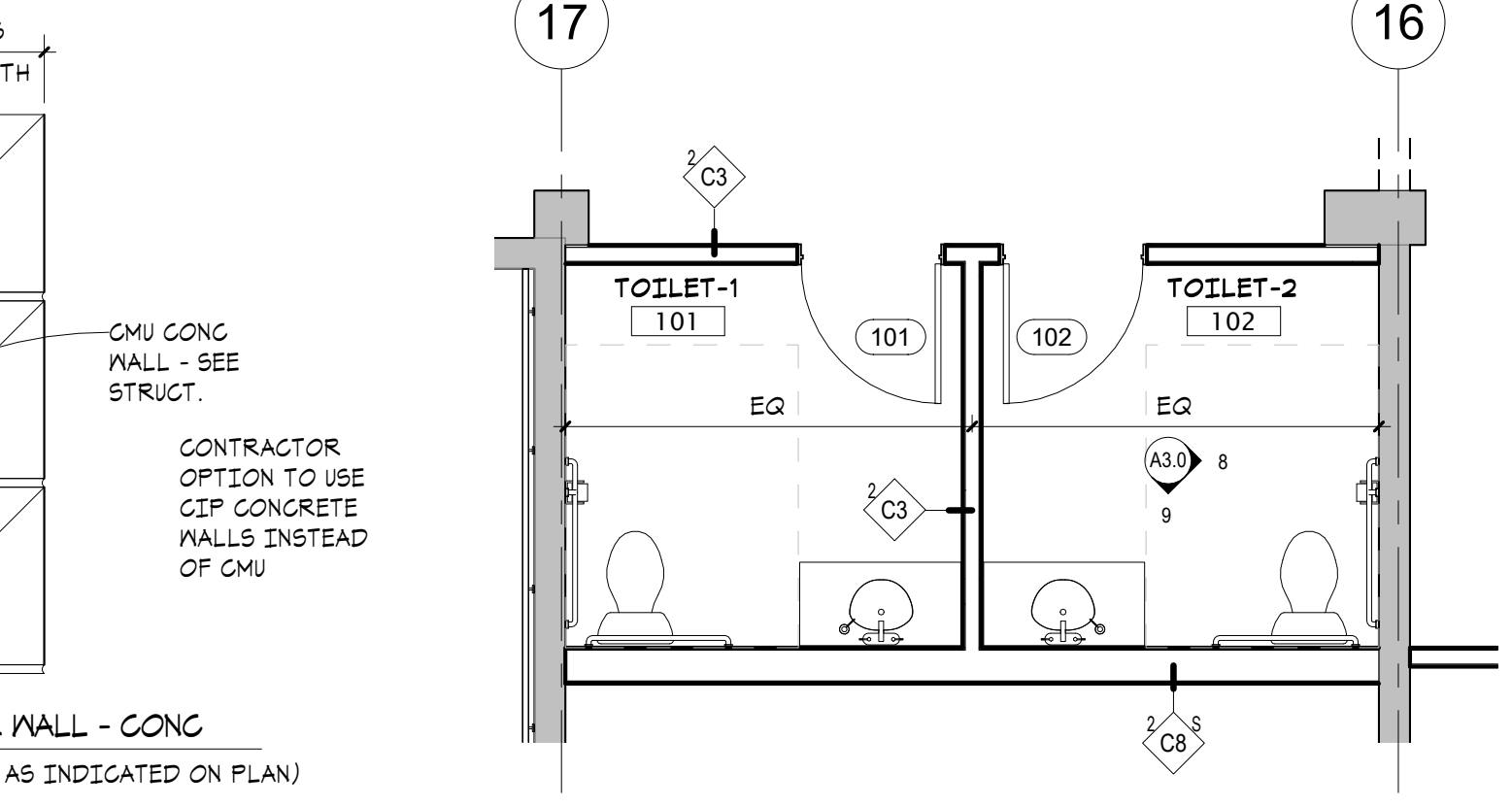
Window Schedule		
NO.	OPENING SIZE	Comments
1	FIELD VERIFY	ALUMINUM CLAD SLIDING. EXTERIOR COLOR TO MATCH EXISTING WINDOWS
2	FIELD VERIFY	INSULATED BOTTOM OPERABLE SINGLE-HUNG STORM PANEL. INSTALL @ INTERIOR OF EXISTING METAL GRATING.
3	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING.
4	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING.
5	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING.
6	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING.
7	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING.
8	FIELD VERIFY	INSULATED BOTTOM OPERABLE SINGLE-HUNG STORM PANEL. INSTALL @ INTERIOR OF EXISTING METAL GRATING.
9	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING. WEATHER STRIP/SEAL FULL PERIMETER
10	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING. WEATHER STRIP/SEAL FULL PERIMETER
11	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING. WEATHER STRIP/SEAL FULL PERIMETER
12	FIELD VERIFY	INSULATED FIXED STORM PANEL INSTALLED @ INTERIOR OF EXISTING WINDOW. COLOR TO MATCH EXISTING. WEATHER STRIP/SEAL FULL PERIMETER



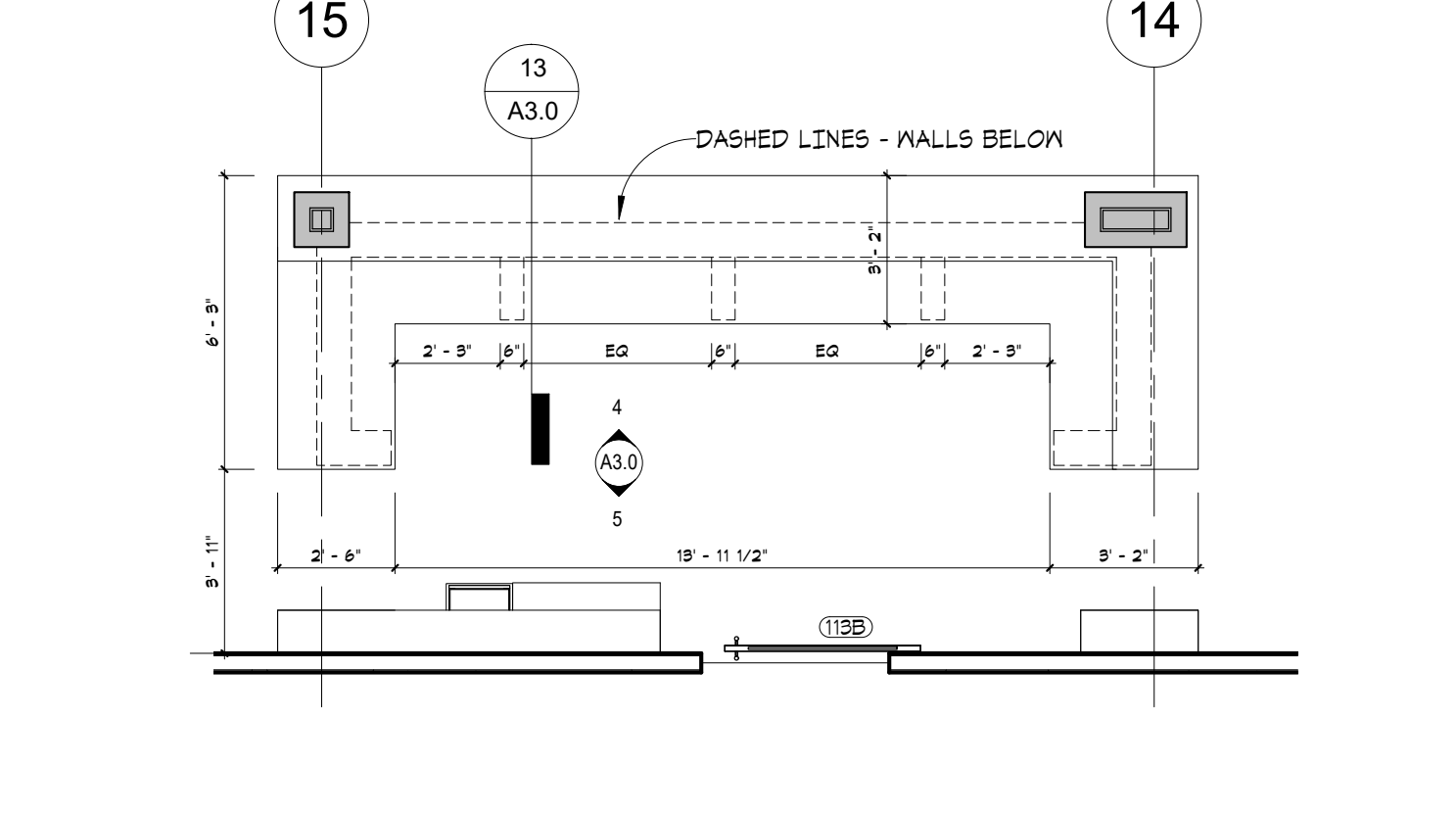
**DOOR & FRAME TYPES**  
1/4" = 1'-0"



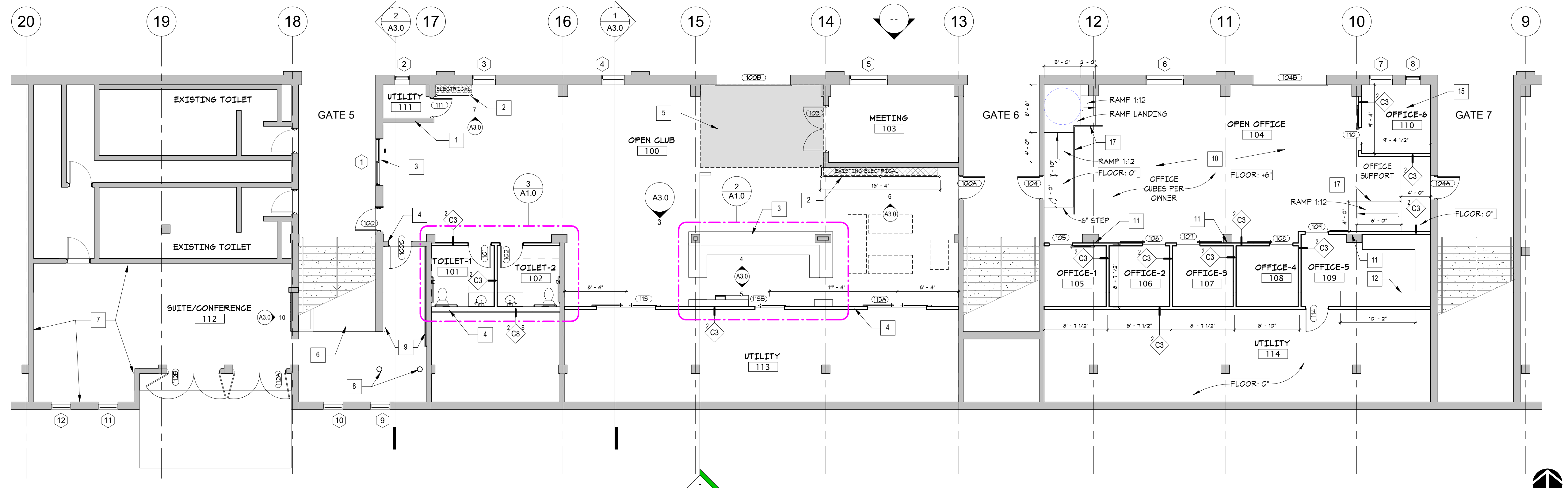
**WALL TYPES**  
1 1/2" = 1'-0"



**3 TOILETS PLAN**  
A1.0 1/4" = 1'-0"



**2 BAR PLAN**  
A1.0 1/4" = 1'-0"



**1 MAIN LEVEL**  
A1.0 1/8" = 1'-0"



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**BREESE STEVENS FIELD OFFICE REMODEL**  
917 East Mifflin Street  
Madison, WI 53703

PERMIT SET  
27 DEC 2021

REVISIONS		
No.	Description	Date

PROJECT NUMBER: 2110  
BREESE STEVENS FIELD

FLOOR PLANS  
**A1.0**





in site architects

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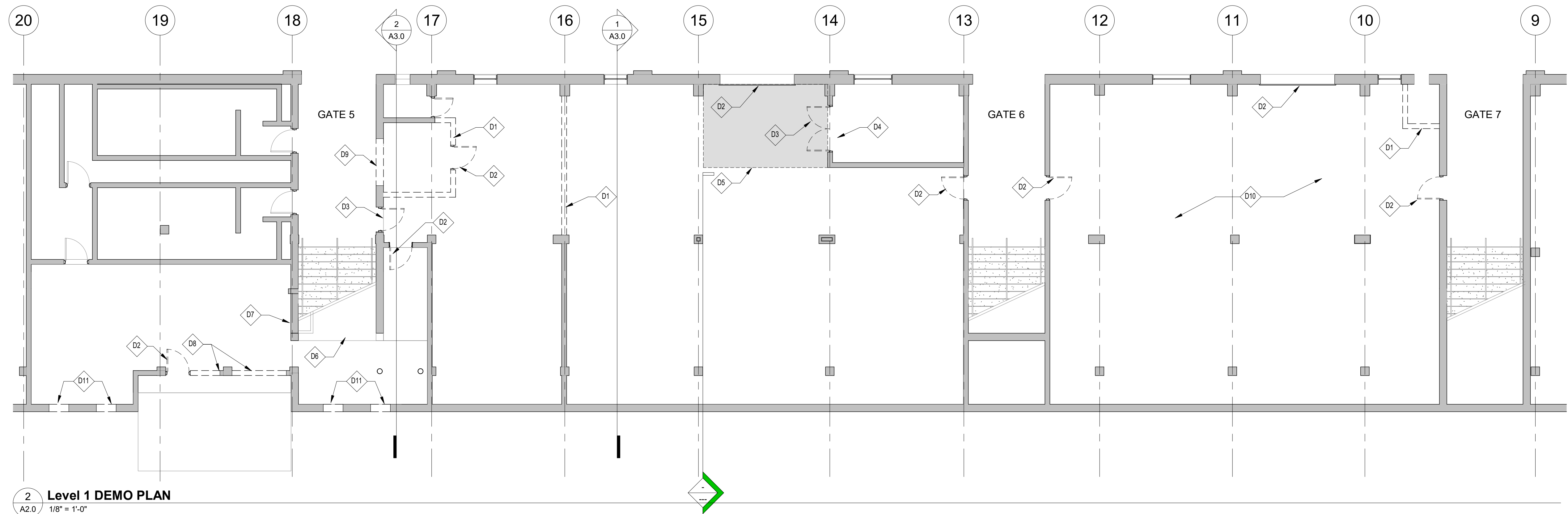
No. Description Date

PROJECT NUMBER: 2110  
BREESE STEVENS FIELD

DEMO PLAN

**A2.0**

DEMO PLAN LEGEND	
NO.	DESCRIPTION
D1	REMOVE EXISTING WALL FLOOR TO CEILING. PATCH CEILING TO MATCH EXISTING FINISH AS REQ'D.
D2	REMOVE EXISTING DOOR & FRAME.
D3	REMOVE EXISTING DOOR PANELS.
D4	REMOVE EXISTING CONCRETE CURB @ FLOOR. REPAIR FLOOR SURFACE AS REQUIRED TO PROVIDE A SMOOTH SURFACE
D5	REMOVE EXISTING CONCRETE FLOOR IN AREA NOTED
D6	REMOVE EXISTING WOOD FRAMING, DOOR & METAL MESH PANELS. SAVE DOOR & MESH PANELS FOR RE-USE.
D7	INSPECT & REMOVE ANY DAMAGED OR UNPAINTABLE WOOD TRIM AROUND OPENING IN BRICK WALL.
D8	REMOVE EXISTING CMU IN OPENING AS REQUIRED FOR INSTALLATION OF NEW DOORS. SEE DOOR SCHEDULE FOR SIZE.
D9	REMOVE EXISTING WINDOW & CLEAN OPENING FOR NEW WINDOW.
D10	BREAK-UP EXISTING CONCRETE FLOOR - LEAVE BROKEN CHUNKS IN-PLACE..
D11	REMOVE EXISTING CMU IN OPENING. CLEAN PERIMETER OF OPENING FOR INSTALLATION OF NEW WINDOW. VERIFY LOCATION & SIZE OF OPENINGS.



2 Level 1 DEMO PLAN  
A2.0 1/8" = 1'-0"

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Wisconsin

Signature  
**Dawn Wiczorek**  
 Typed or Printed Name  
 11785-5 17DEC2021  
 License # Date



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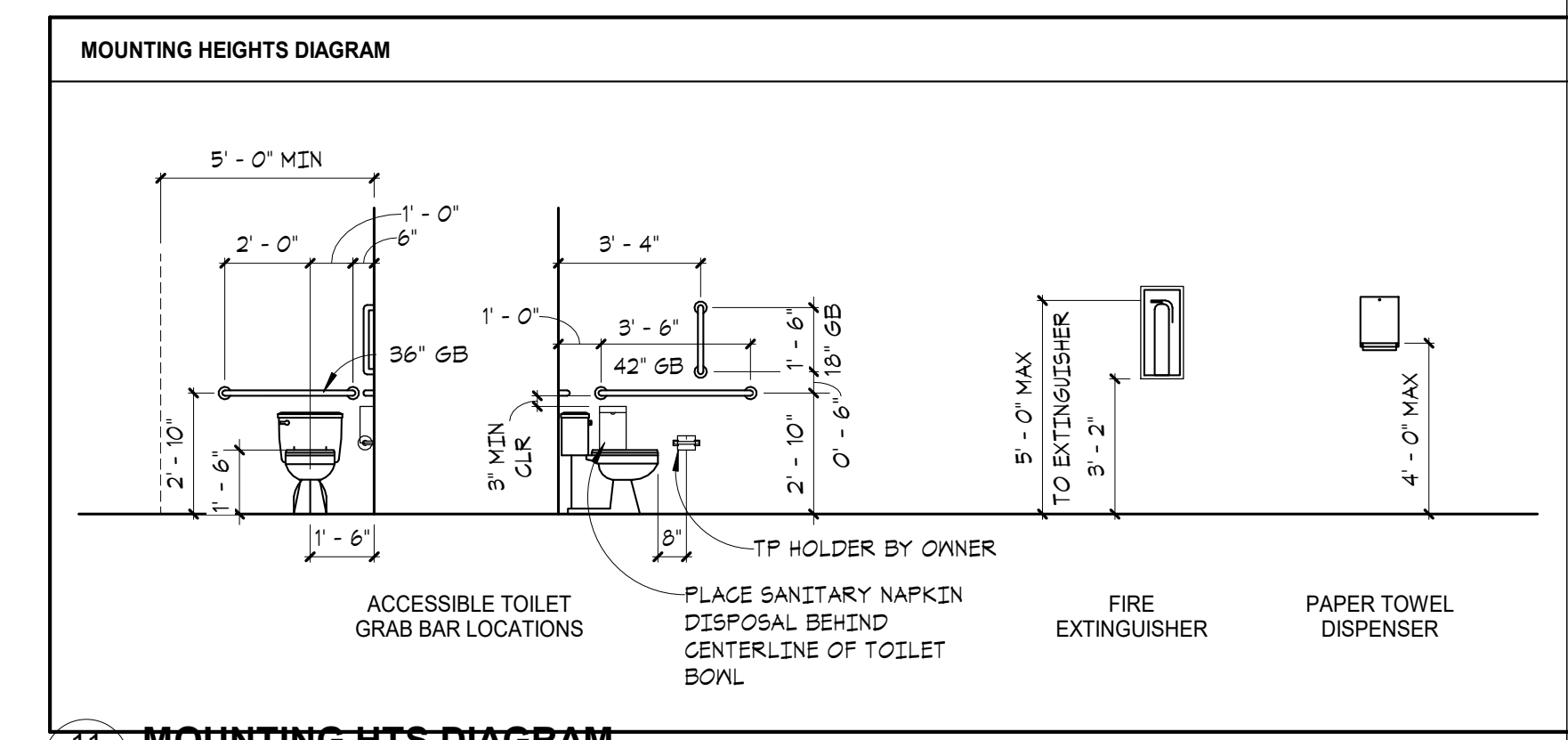
PERMIT SET  
 27 DEC 2021

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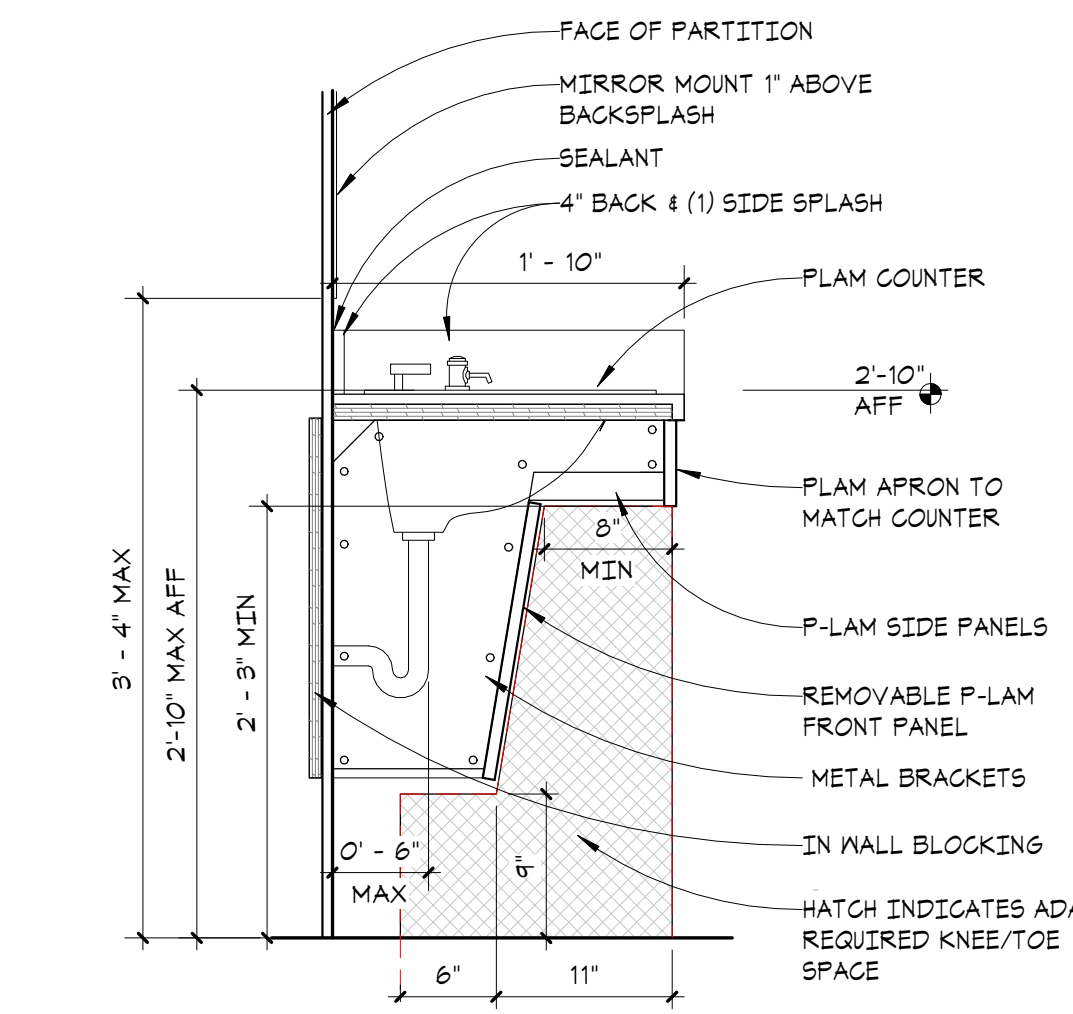
No.	Description	Date

PROJECT NUMBER: 2110  
 BREESE STEVENS FIELD

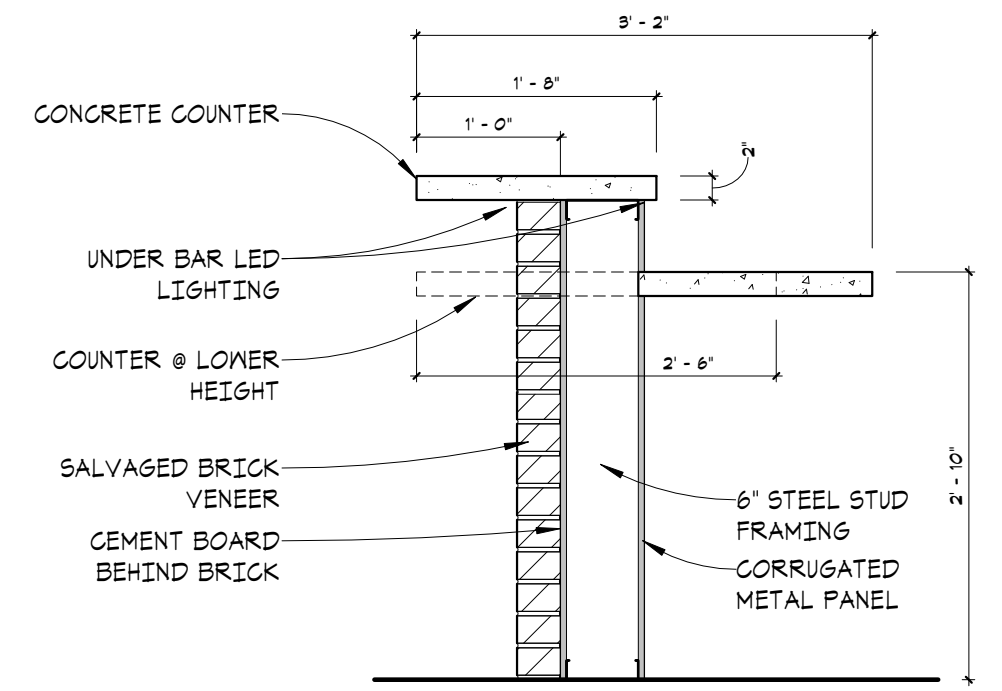
SECTIONS & ELEVATIONS  
**A3.0**



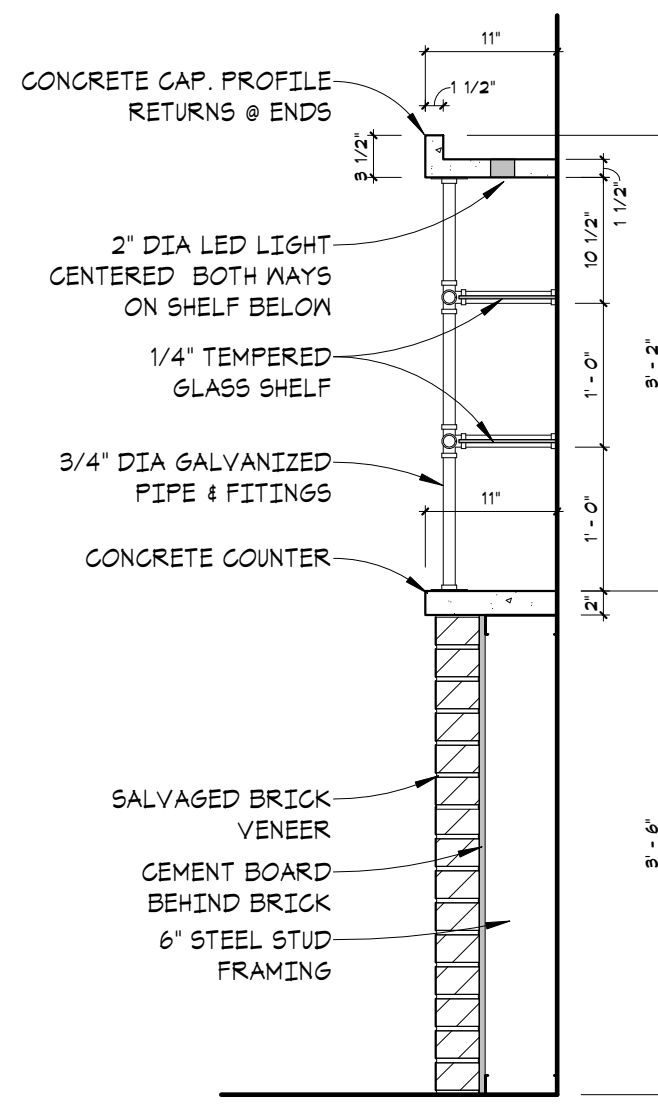
11 MOUNTING HTS DIAGRAM  
 A3.0 1/4" = 1'-0"



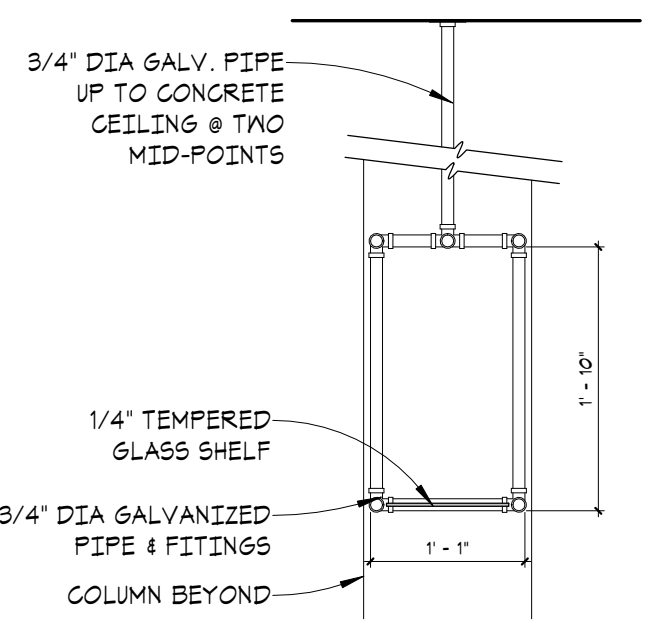
12 PUBLIC VANITY SECTION  
 A3.0 1" = 1'-0"



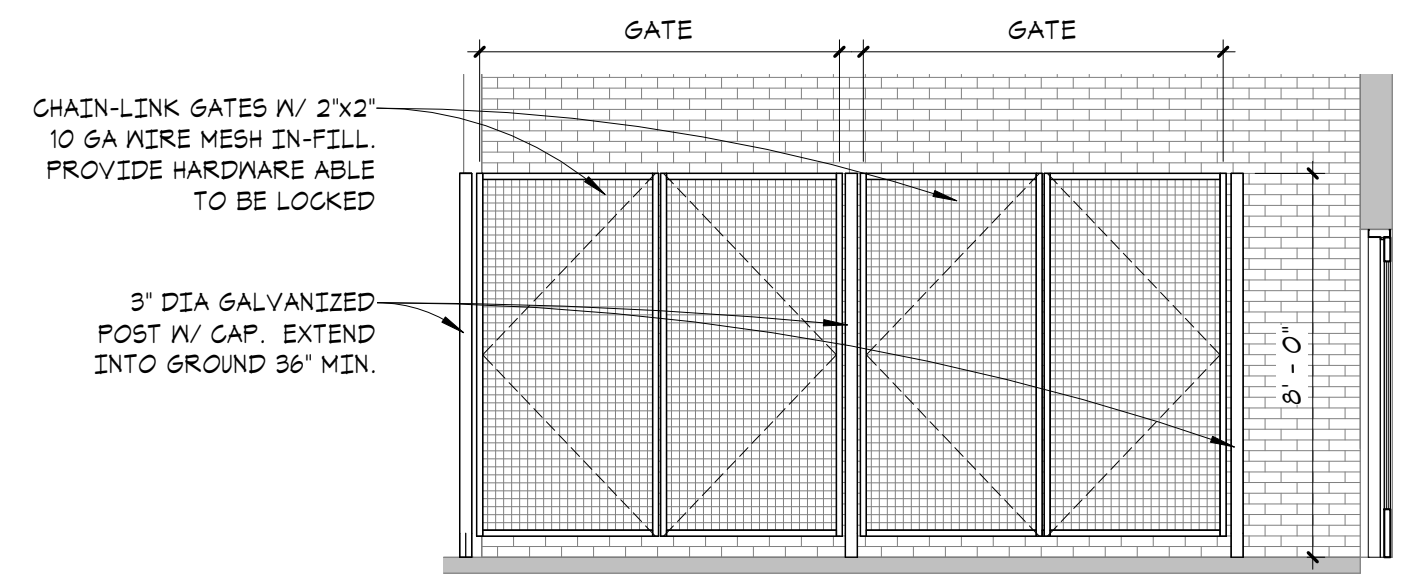
13 BAR SECTION  
 A3.0 3/4" = 1'-0"



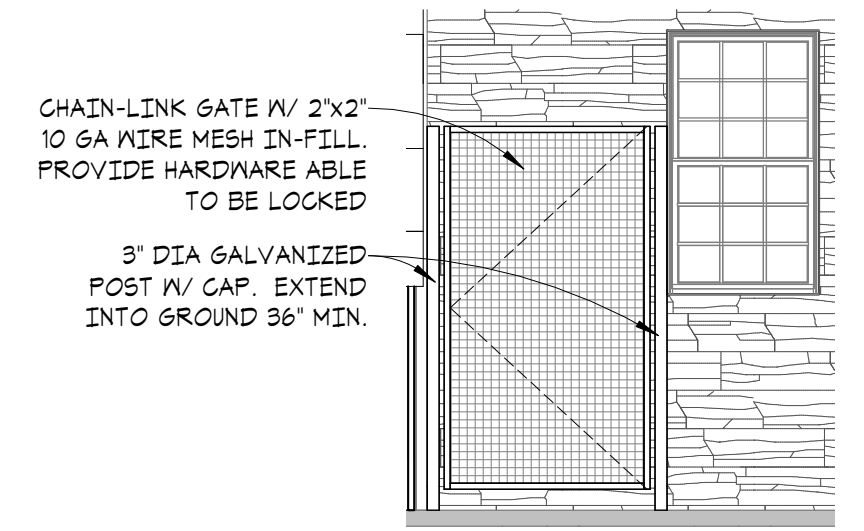
14 BAR SHELF SECTION  
 A3.0 3/4" = 1'-0"



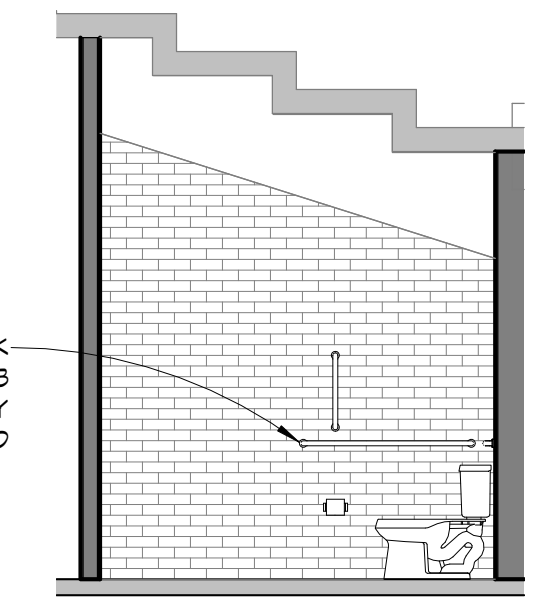
15 PIPE SHELF SECTION  
 A3.0 3/4" = 1'-0"



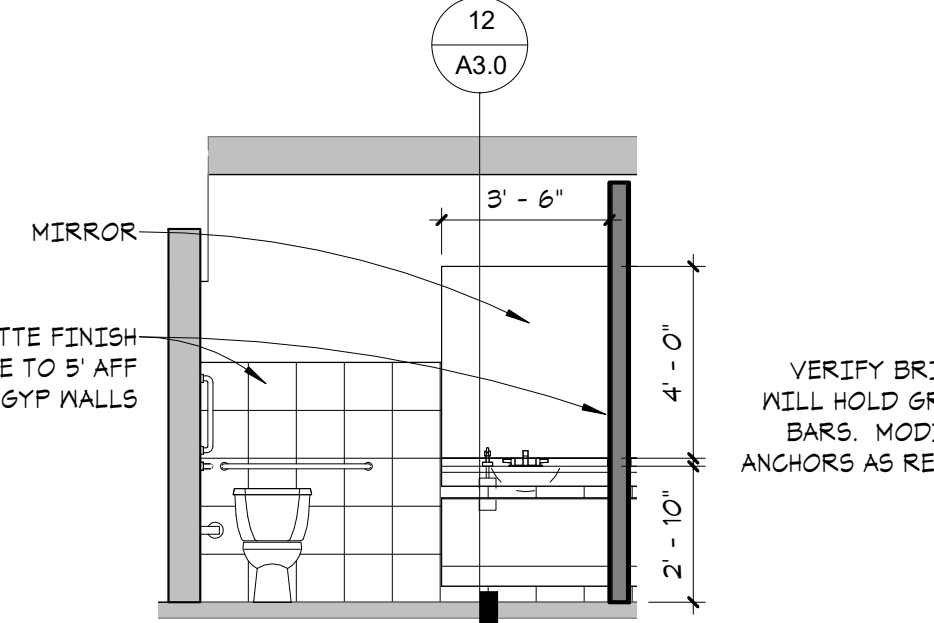
6 ELECT PANEL FENCE ELEVATION - MAIN  
 A3.0 1/4" = 1'-0"



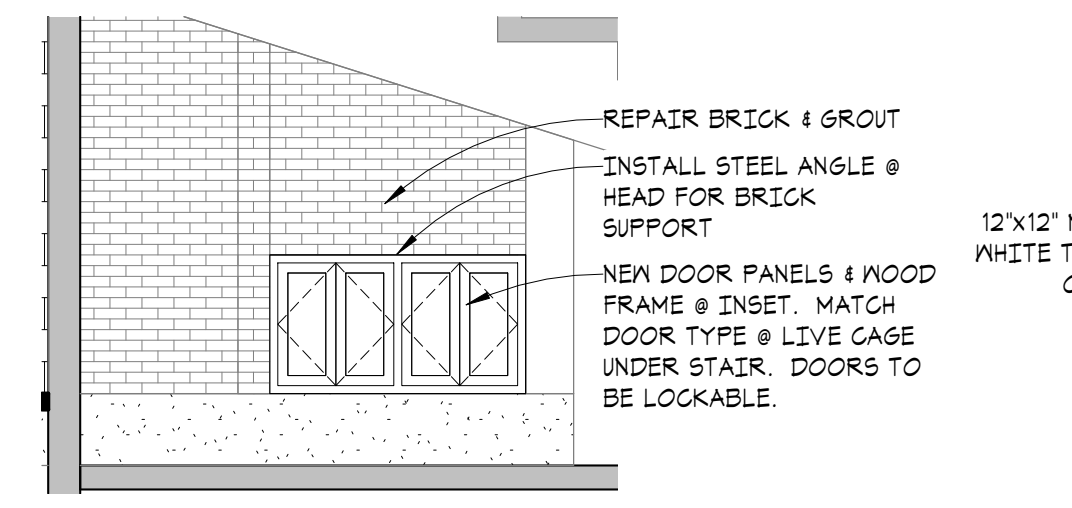
7 ELECT PANEL FENCE ELEVATION - 2ND  
 A3.0 1/4" = 1'-0"



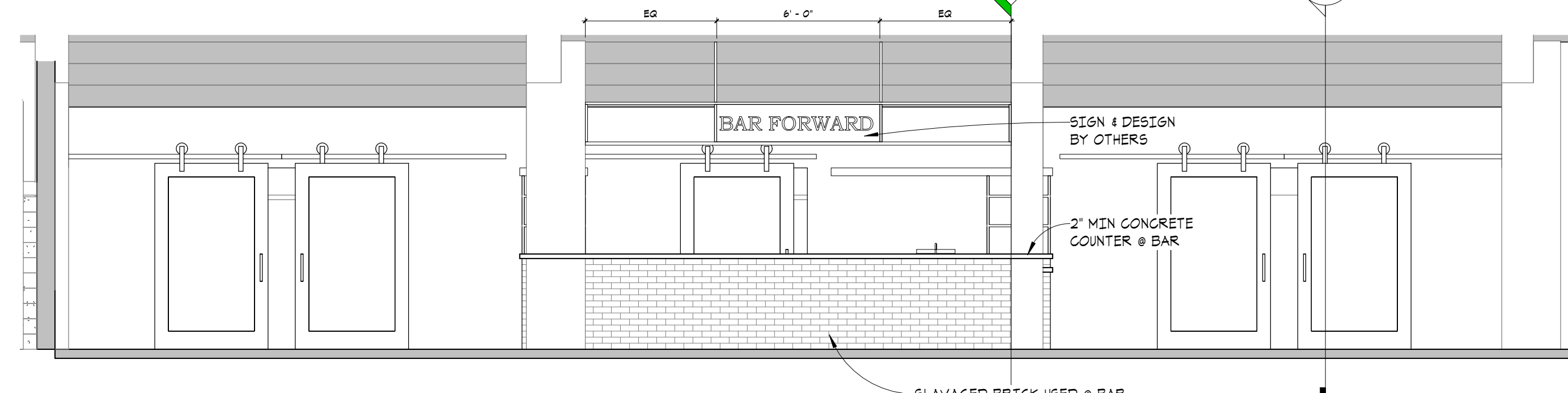
8 TOILET SIDE ELEV  
 A3.0 1/4" = 1'-0"



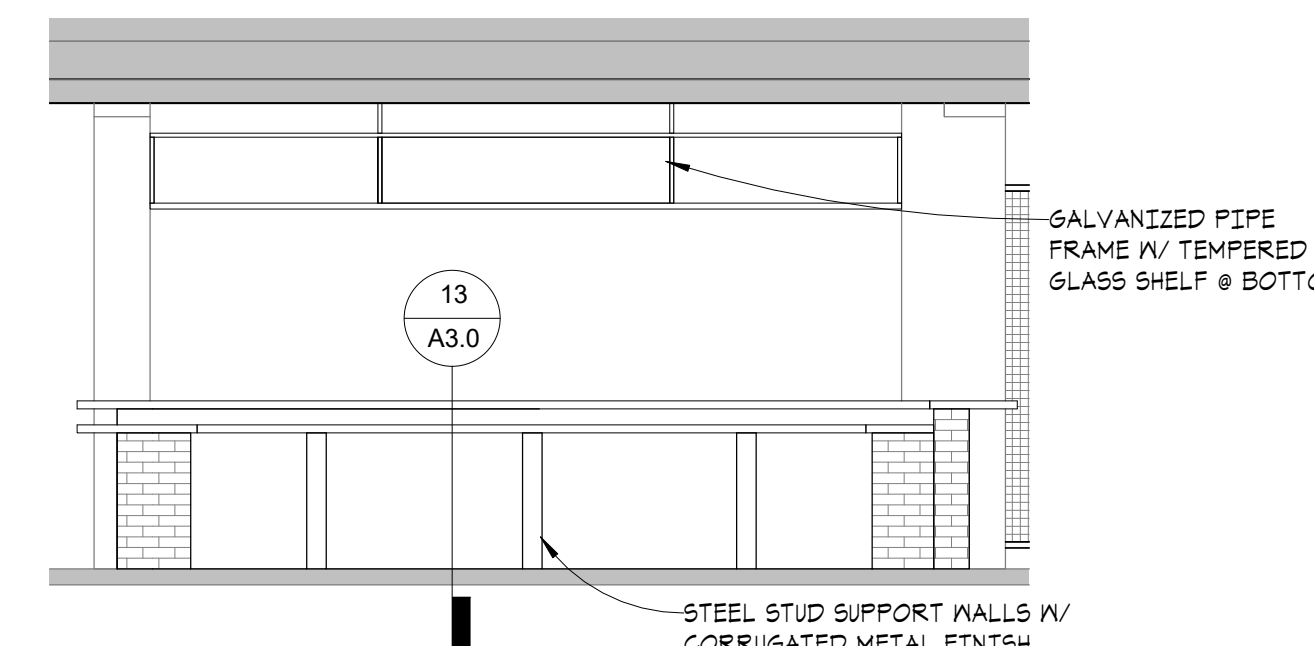
9 TOILET FRONT ELEV  
 A3.0 1/4" = 1'-0"



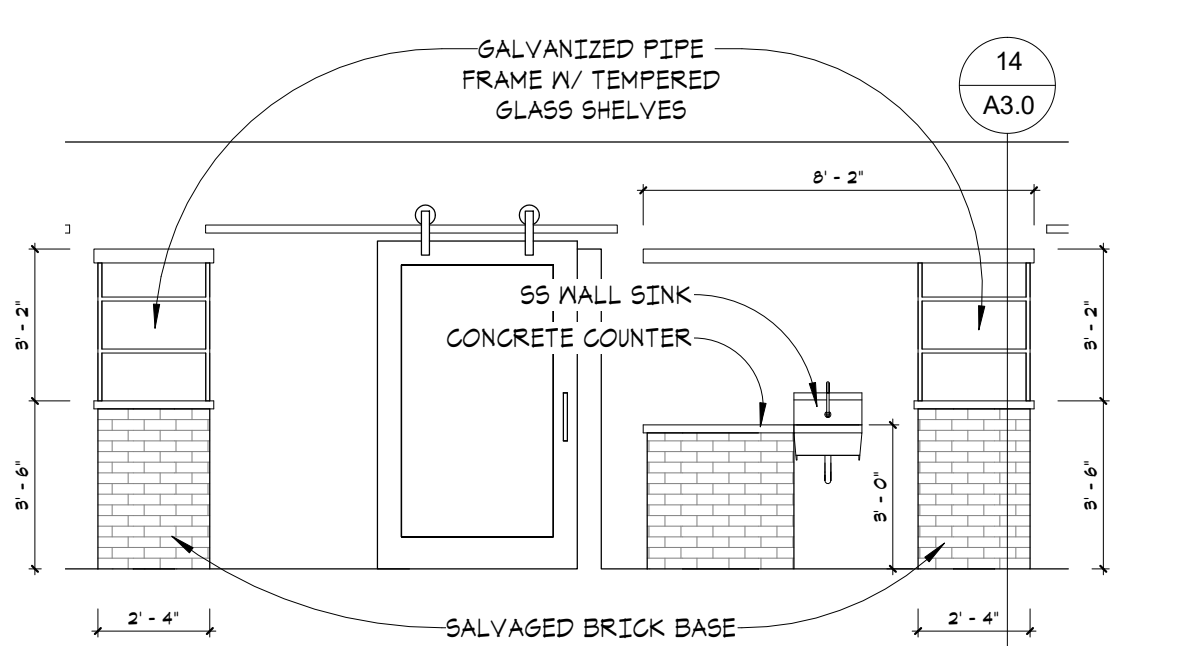
10 SUITE/CONFERENCE CABINET ELEV  
 A3.0 1/4" = 1'-0"



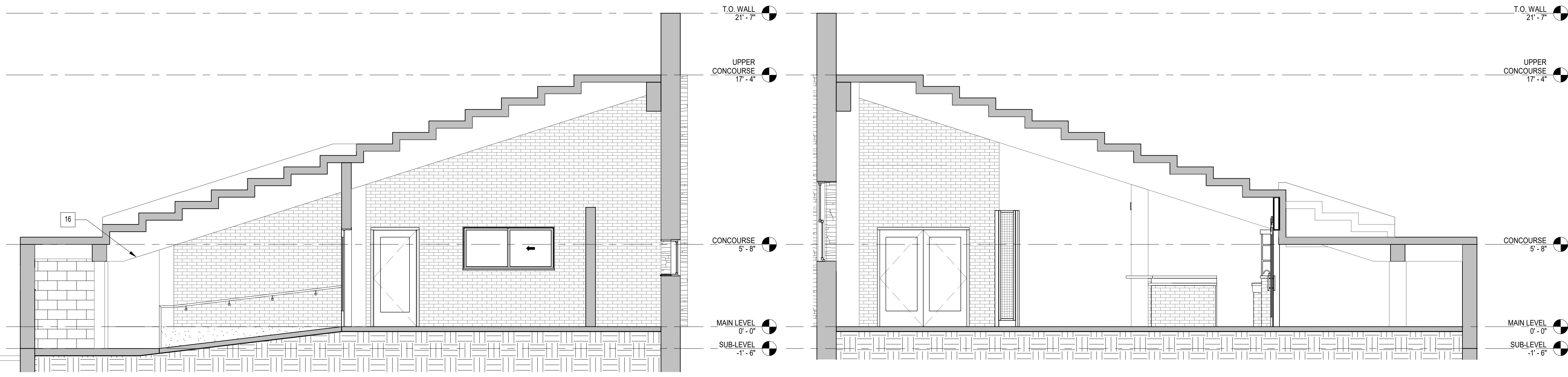
3 BAR WALL ELEVATION  
 A3.0 1/4" = 1'-0"



4 BACK OF BAR ELEVATION  
 A3.0 1/4" = 1'-0"



5 BACK WALL OF BAR ELEVATION  
 A3.0 1/4" = 1'-0"



2 Section 2  
 A3.0 1/4" = 1'-0"

1 Section 1  
 A3.0 1/4" = 1'-0"