

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

**AGENDA ITEM # _____
Project # _____
Legistar # _____**

DATE SUBMITTED: 14 October 2013

Action Requested

- Informational Presentation
- Initial Approval and/or Recommendation
- Final Approval and/or Recommendation

UDC MEETING DATE: 23 October 2013

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 702 South Randall Ave

ALDERMANIC DISTRICT: 13

OWNER/DEVELOPER (Partners and/or Principals)

Property- City of Madison Parks
Structures- Dane County/ Henry Vilas Zoo

ARCHITECT/DESIGNER/OR AGENT:

WDM Architects
105 N Washington, Wichita KS 67202

CONTACT PERSON: Ronda Schwetz, Zoo Director

Address: 702 S. Randall Ave
Madison WI 53713

Phone: (608) 266-4372

Fax: (608) 266-5923

E-mail address: schwetz.ronda@countyofdane.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

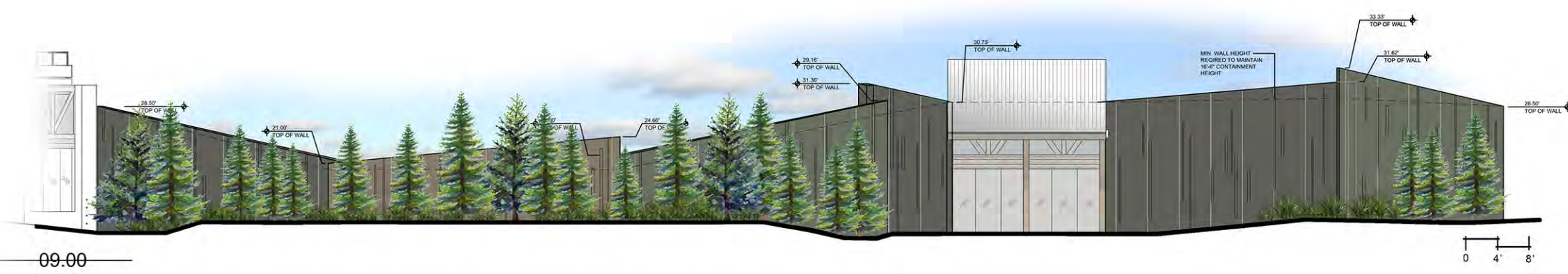
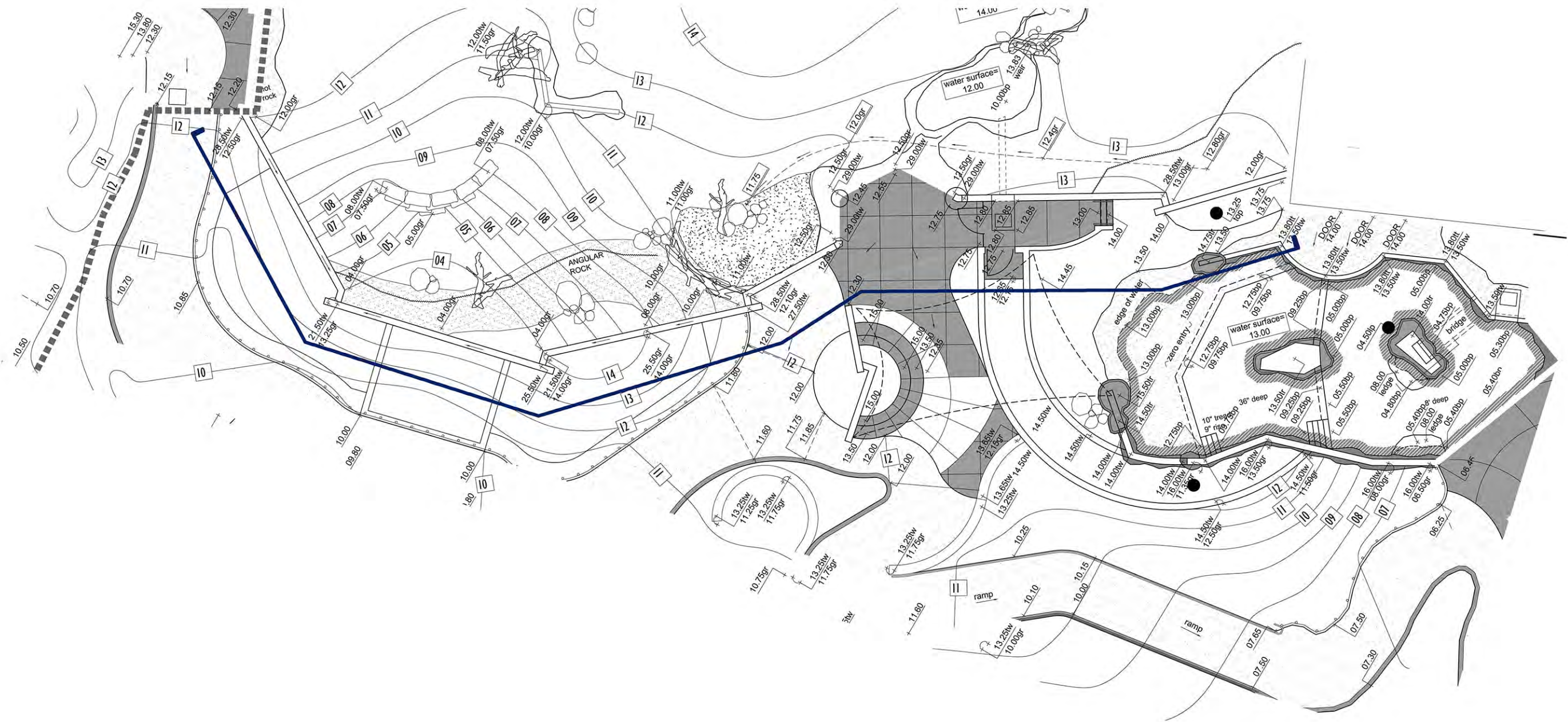
(See Section D for:)

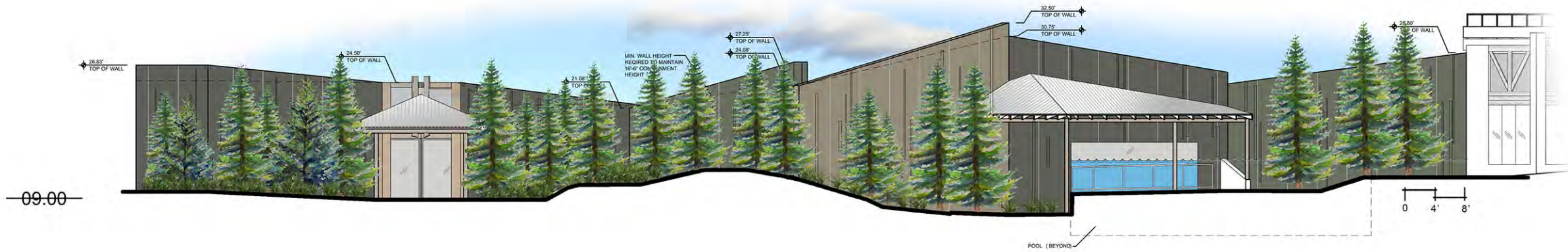
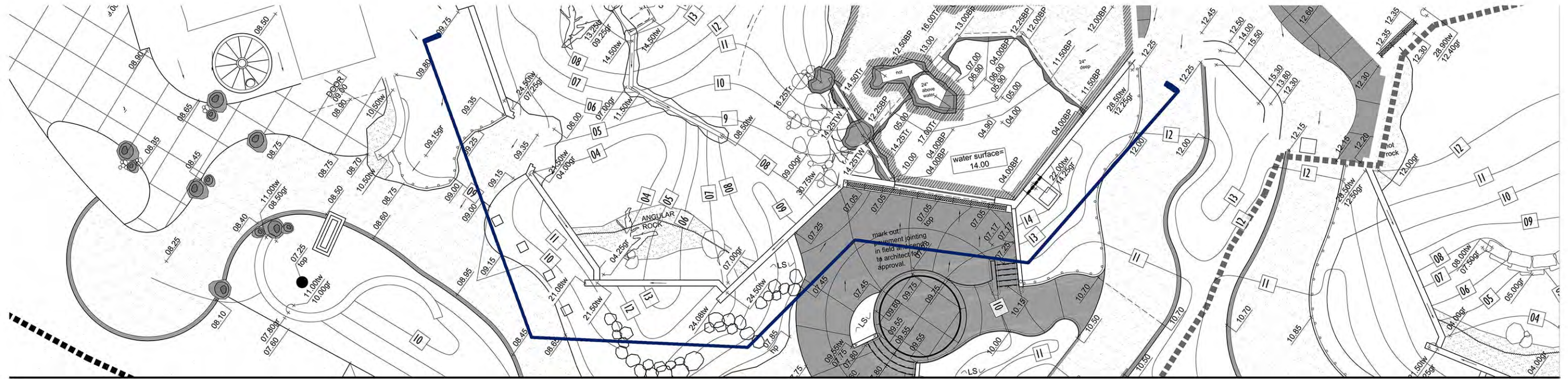
- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

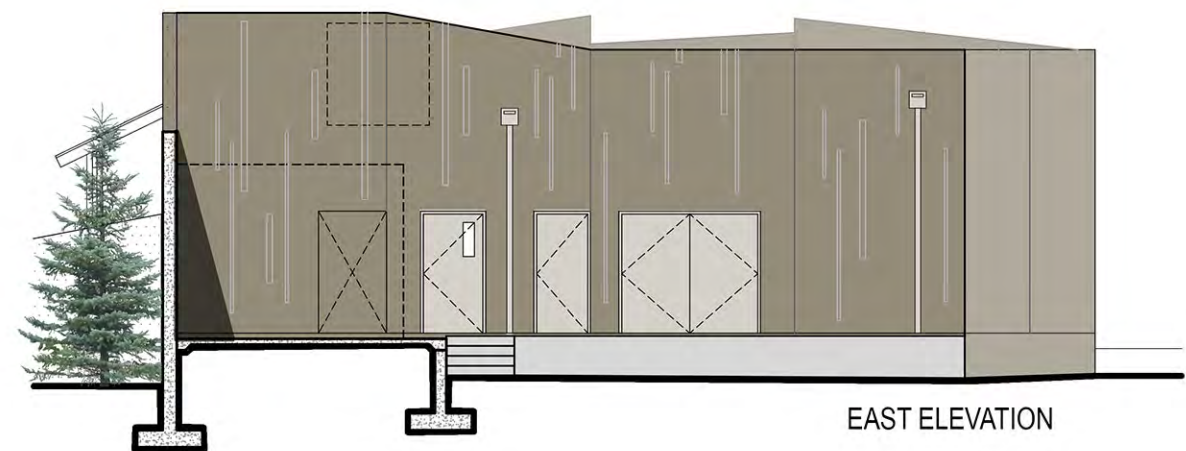




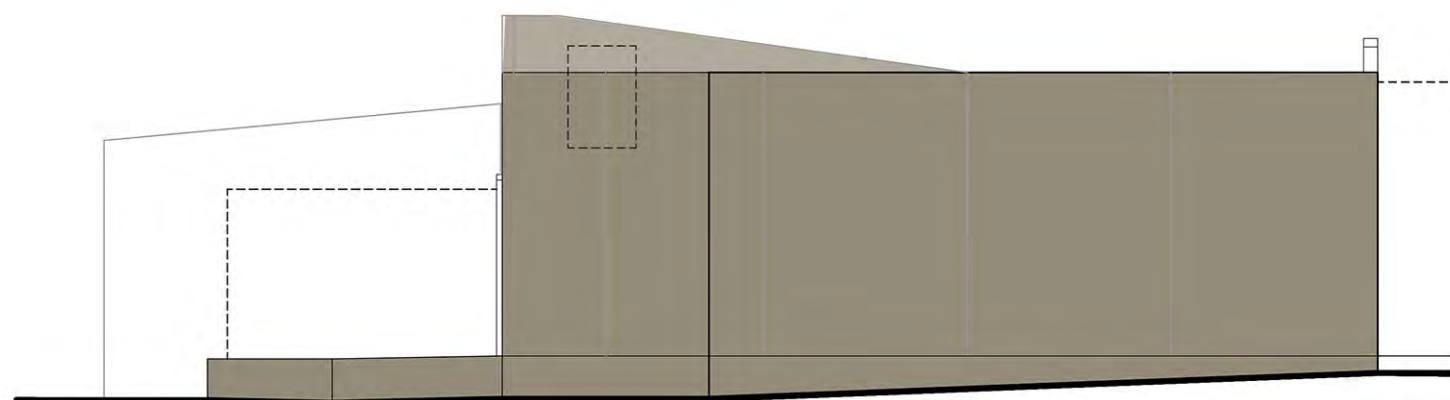




SOUTH ELEVATION



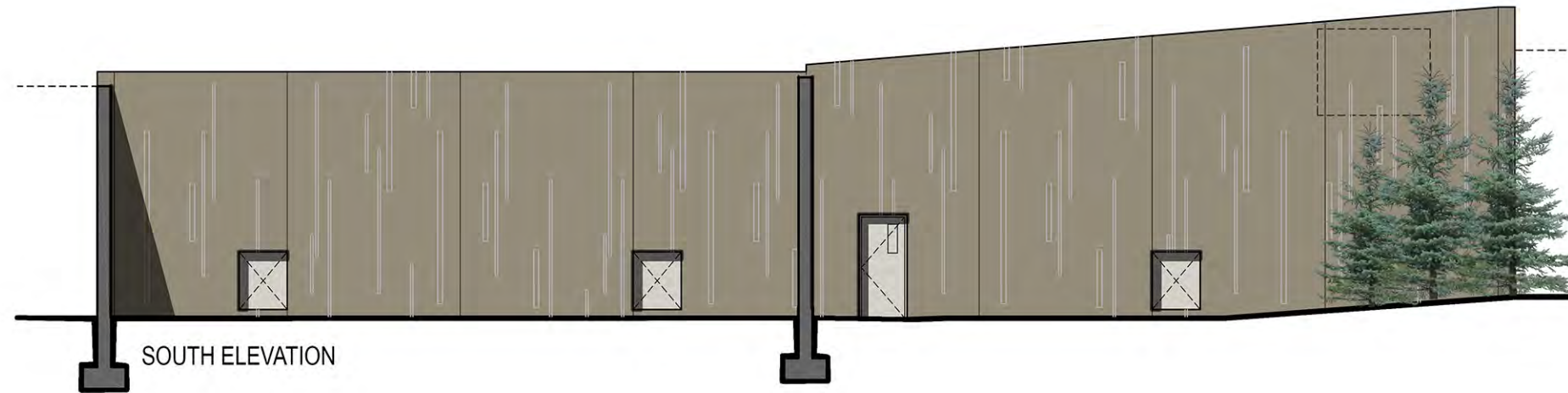
EAST ELEVATION



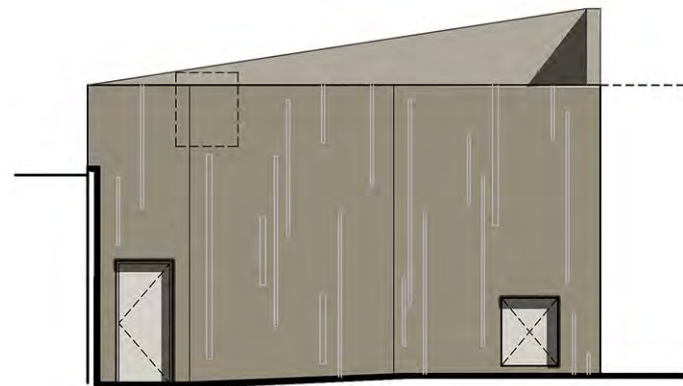
NORTH ELEVATION



WEST ELEVATION



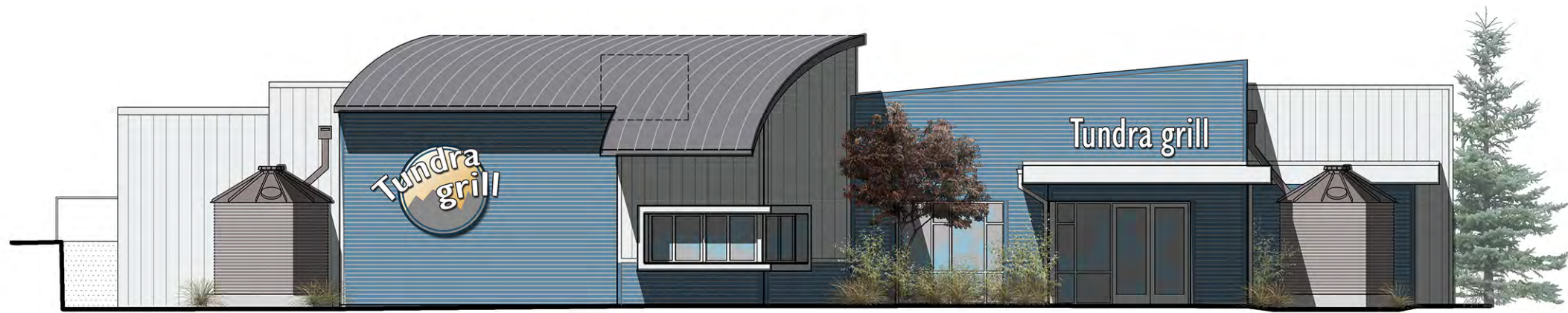
SOUTH ELEVATION



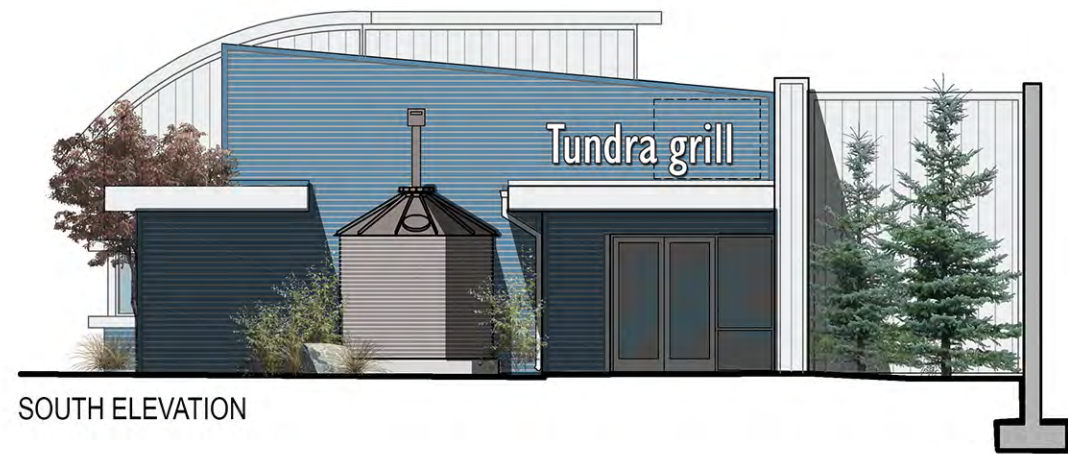
WEST ELEVATION



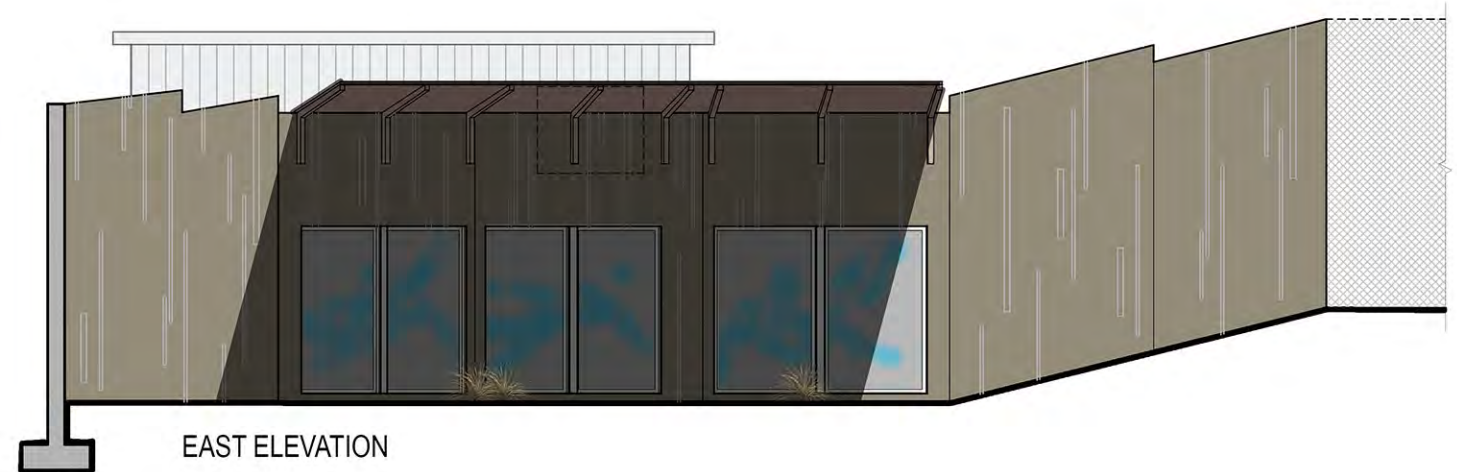
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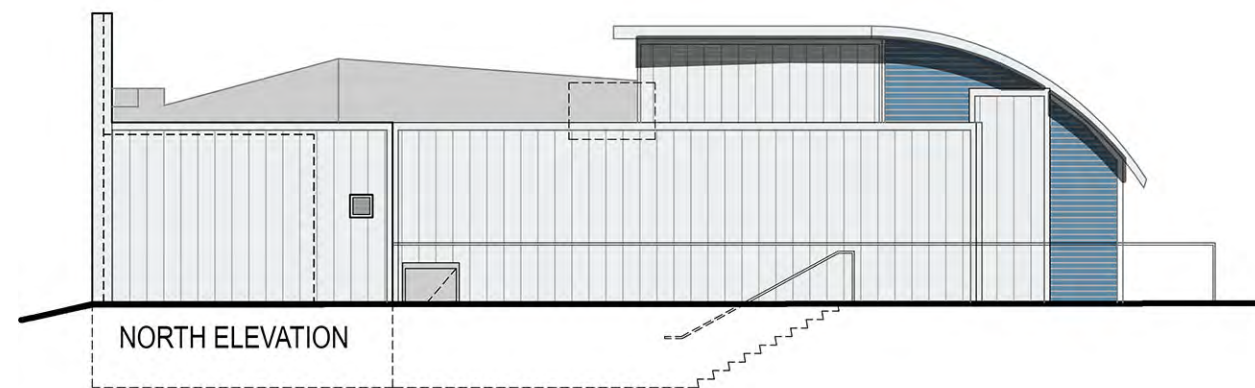
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

NOTE:
REMOVE FROM BASE BID
(3) - NORWAY SPRUCE
250 SF - WILDFLOWER SEED MIX



**ALTERNATE- BEAR DEN
SITE PLANTING PLAN**

0 5' 10' 20'
SCALE: 1" = 10'



NOTE:
REMOVE FROM BASE BID
4000 SF BUFFALO GRASS SEED
(2) - WHITE FIR
(3) - SERBIAN SPRUCE
(5) - DOUGLAS FIR

**SEAL ALTERNATE #X
SITE PLANTING PLAN**

0 5' 10' 20'
SCALE: 1" = 10'



**PROGRESS
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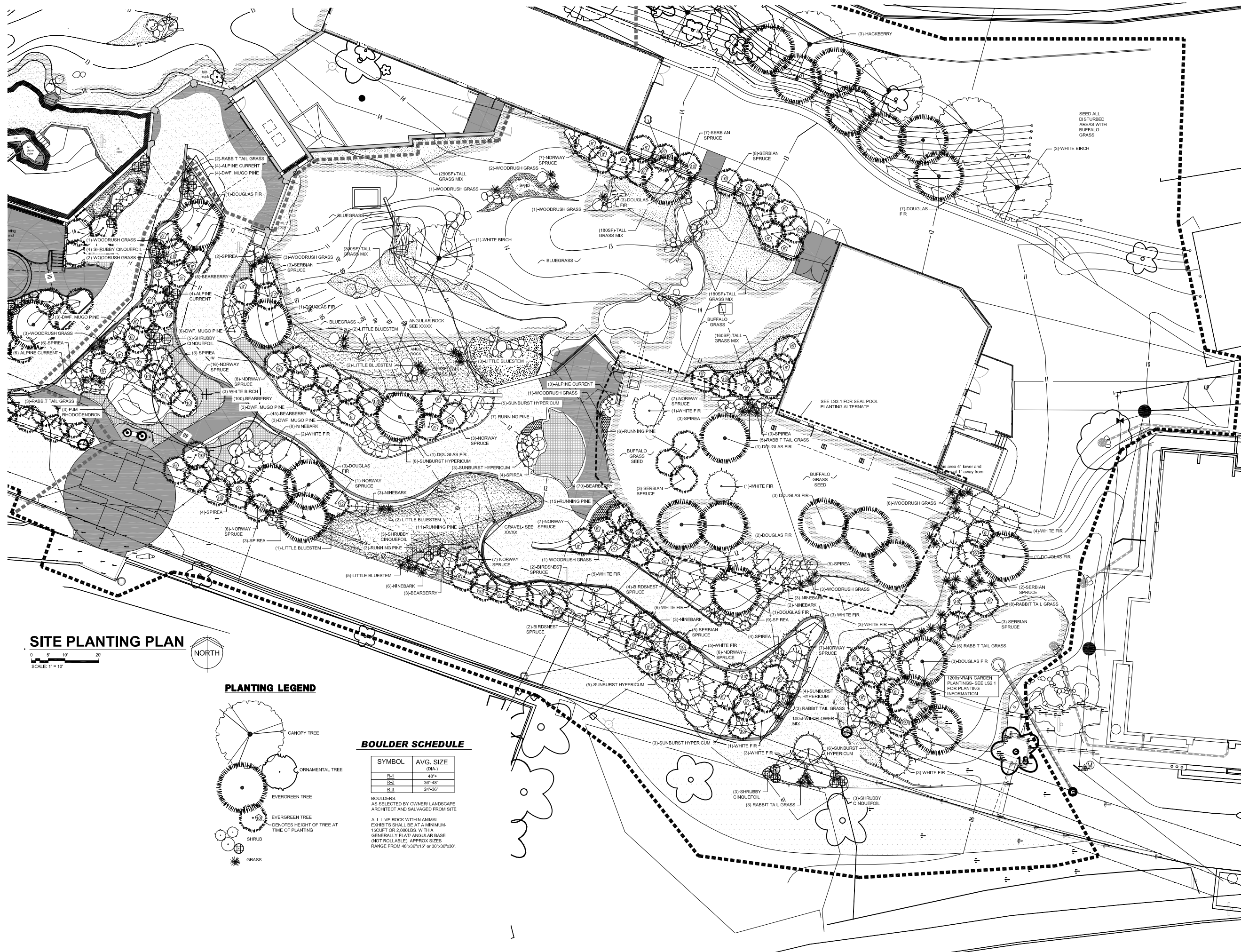


ARCTIC PASSAGE & TUNDRA GRILL
County of Dane
Department of Public Works
1919 Alliant Energy Center Way
Madison, Wisconsin

PRINTS ISSUED
07.26.2013 - Schematic Design
08.23.2013 - Design Development
09.23.2013 - 65% CD's
10.07.2013 - Paving Set

WDM No. 13046
drawn: NS
checked: SR
ALTERNATES PLANTING PLAN

LS3.1

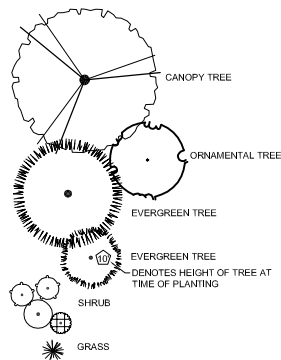


SITE PLANTING PLAN

0 5 10 20
SCALE: 1" = 10'



PLANTING LEGEND



BOULDER SCHEDULE

SYMBOL	AVG. SIZE (DIA.)
R-1	48"
R-2	36"-48"
R-3	24"-36"

BOULDERS: AS SELECTED BY OWNER'S LANDSCAPE ARCHITECT AND SALVAGED FROM SITE
ALL LIVE ROCK WITHIN ANIMAL EXHIBITS SHALL BE AT A MINIMUM 1-FOOT OR 2,000 LBS. WITH A GENERALLY FLAT/ ANGULAR BASE (NOT ROLLABLE). APPROX. SIZES RANGE FROM 48"X36"X18" OR 36"X30"X30".

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County of Dane

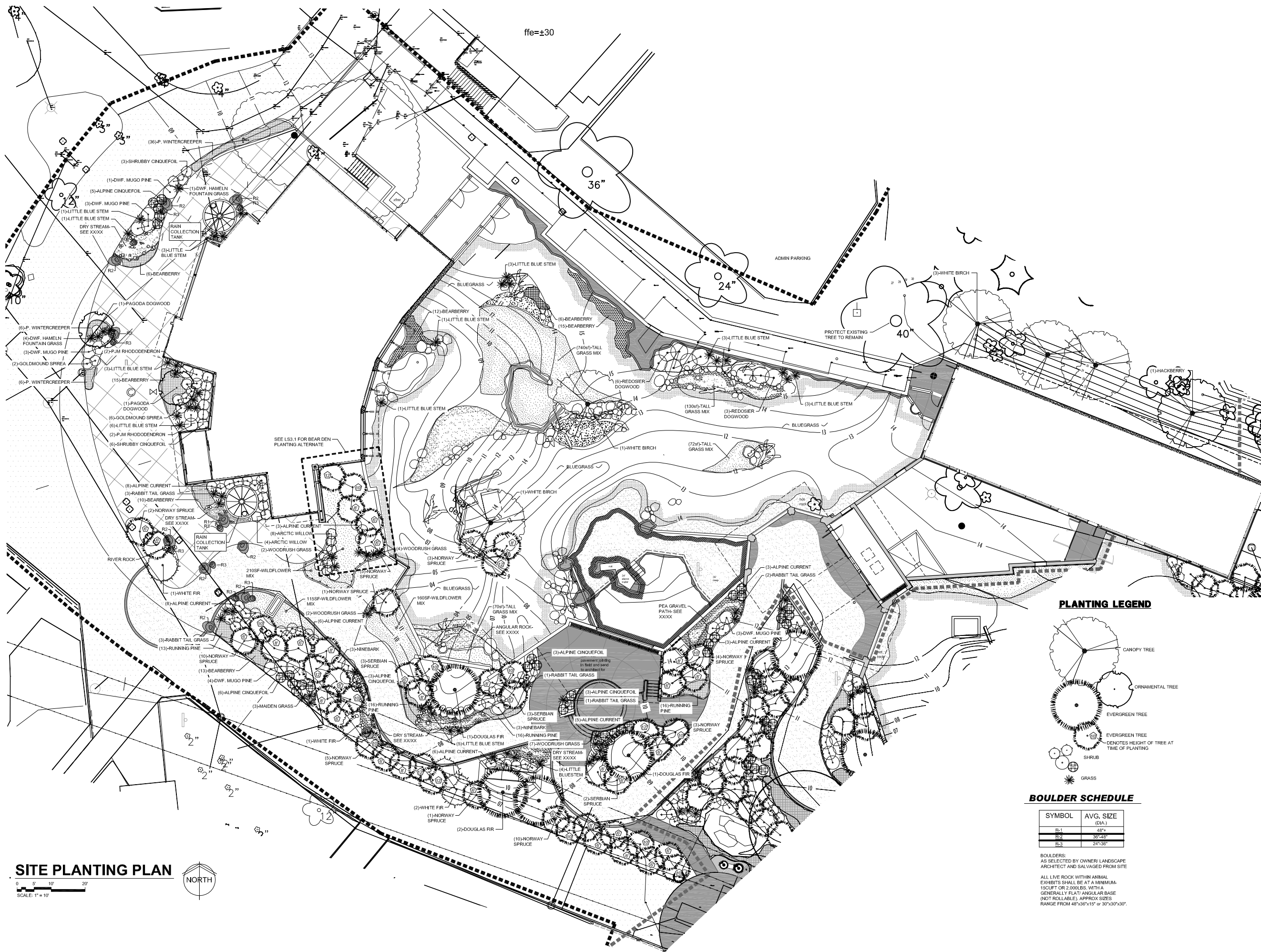
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SITE PLANTING PLAN

LS1.2

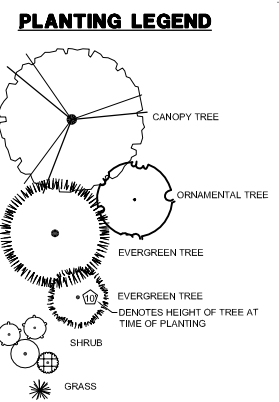


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we do more
henry vilas
700

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BOULDER SCHEDULE

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R-1	48"
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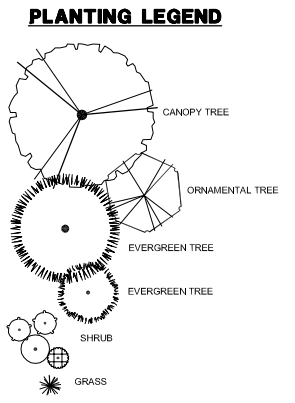
BOULDERS: AS SELECTED BY OWNER/ LANDSCAPE ARCHITECT AND SALVAGED FROM SITE
ALL LIVE ROCK WITHIN ANIMAL EXHIBITS SHALL BE AT A MINIMUM 150LBS OR 2,000LBS, WITH A GENERALLY FLAT/ ANGULAR BASE (NOT ROLLABLE). APPROX SIZES RANGE FROM 48"x36"x15" or 30"x30"x30".



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13046 checked: SR
SITE PLANTING PLAN

LS1.1



OVERALL SITE PLANTING PLAN

0 5' 10' 20'
SCALE: 1" = 10'



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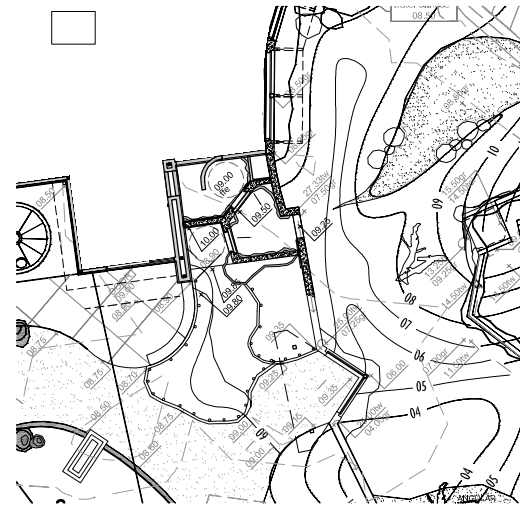
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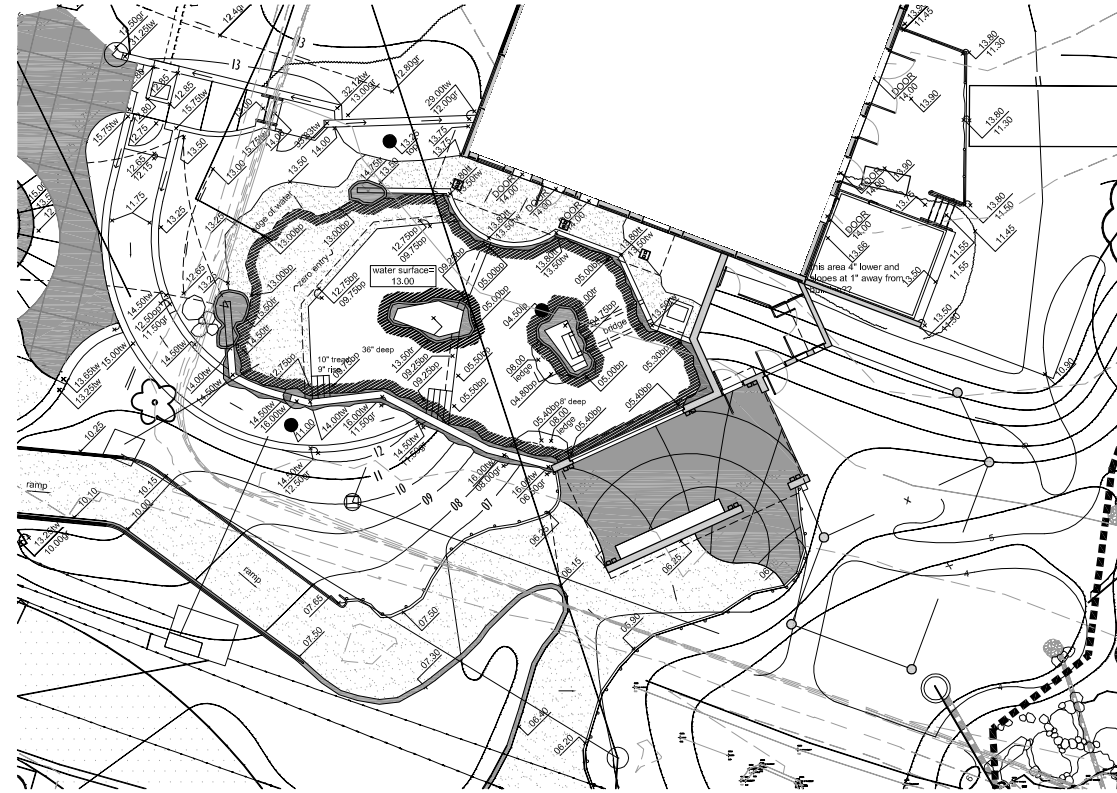
OVERALL SITE PLANTING PLAN

LS1.0



**BEAR DEN ALT #X
SITE GRADING PLAN**

0 5' 10' 20'
SCALE: 1" = 10'



**SEAL POOL ALT #X
SITE GRADING PLAN**

0 5' 10' 20'
SCALE: 1" = 10'



NOTES:

1. PROTECT ALL EXISTING UTILITIES TO REMAIN.
2. CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO EXCAVATION.
3. REMOVE TOP SOIL IN ALL AREAS TO BE DISTURBED AND STOCKPILE COORDINATE LOCATION WITH ARCHITECT.
4. CONTOUR INTERVAL FOR EXISTING AND PROPOSED CONTOUR LINES ARE 1'-0".
5. PROPOSED CONTOURS SHOW ARE FINISH GRADES AND READ TO TOP OF PAVEMENT AND FINISH DIRT GRADE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT GRADED AREAS FROM AND AS NECESSARY REPAIR TO GRADE ANY RIPS, WASHES OR OTHER CHANGES FROM THE DESIGN ELEVATIONS SHOWN HEREON. UNTIL GRADINGS WORK IS ACCEPTED BY THE OWNER AND ARCHITECT.
7. ALL GRADINGS SHALL BE DONE TO INSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
8. ALL SIDEWALKS SHALL BE GRADED TO SLOPES NO GREATER THAN 2% IN THE DIRECTION OF TRAVEL. GROUND SLOPES TO NO GREATER THAN 5.0%.
9. ALL LEAVES, TRASH, DEBRIS, RUBBLE, BROKEN ASPHALT, ORGANIC MATERIAL, ENCLOSURES, TOP SOIL AND REFUSE OR ANY OTHER MATERIAL WHICH WOULD BE HARMFUL AS FILL MATERIAL OR INCAPABLE OF SUPPORTING BUILDING, VEHICULAR AND/OR OVERHEAD LOADS TO BE CLEARED, GRUBBED OR ENCAVATED AS THE CASE MAY DICTATE. PRIOR TO GRADINGS AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF.
10. TOPOGRAPHIC SURVEY BY:
MSA PROFESSIONAL SERVICES
ADDRESS: 7501 INTERNATIONAL LANE
MADISON, WI 53754
608-448-8875
608-542-1175
1. TOP OF WALL DESIGNATION REFERS TO TOP OF CONCRETE RETAINING WALL ONLY.
2. SCREEN ATTACH GRATES TO ALL BUS CATCH BASINS.

LEGEND

TF	TOP OF FENCE
TW	TOP OF WALL
TR	TOP OF ROCK and/or THEME WORK
TP	TOP OF PAVEMENT
MT	TOP OF PAVEMENT (MOAT)
E	EXISTING GRADE TO BE MAINTAINED
EOP	EDGE OF PAVEMENT
BP	BOTTOM OF POOL
LP	LOW POINT
HP	HIGH POINT
GR	GRADE
FL	FLOW LINE
DB	DRAIN BASIN
FEE	FINISH FLOOR ELEVATION
WS	WATER SURFACE
TC	TOP OF COLUMN
POOL RET.	POOL RETURN
TT	TOP OF TUNNEL
EX	EXISTING
TOP	TOP OF INLET

□	DRAIN BASIN SYMBOL - (See Civil Dwg. for Underground Drain Piping)
X 12.22	NEW SPOT ELEVATION
— 10.0	PROPOSED CONTOUR
— 10.0	EXISTING CONTOUR
---	DRAINAGE SWALE
■	THEMED ROCKS
○	LIVEROCKS
■	NEW BUILDING
—	SIDEWALKS

RETAINING WALL RULES:

1. UNLESS NOTED OTHERWISE CONCRETE RETAINING WALLS ARE LEVEL ON TOP AT LOWER SPOT ELEVATION STEPPING UP AT LOCATION OF HIGHER ELEVATION.
2. AN ARROW ON TOP OF A RETAINING WALL INDICATES SLOPING TOP FROM ONE ELEVATION TO NEXT.
3. LINE ACROSS RETAINING WALL INDICATES LOCATION OF STEP WALL.



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checked: SR

SITE GRADING PLAN
-ALTERNATES-

SG2.1



SITE GRADING PLAN

0 5' 10' 20'
SCALE: 1" = 10'



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checked: SR
SITE GRADING PLAN

SG1.2



ffe=±30

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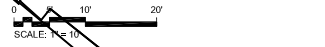
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SITE GRADING PLAN

SG1.1

SITE GRADING PLAN



FEATHER GRADE TO MATCH
EXISTING- MAINTAIN MAX 5%
RUNNING SLOPE AND 2% CROSS
SLOPE.

TOP OF WALL SLOPES-
SEE XXXXX, MAINTAIN MIN.
16\"/>

EXISTING STAIRS TO
REMAIN- FILL TO
ELEVATION 27.00'

RETAINING WALL WITH
THEMWORK

WALL IS NATURAL
STACKED ROCK AND
DEADFALL- SEE XXXXX

WARP POOL FLOOR TO
DRAIN TO POOL DRAIN

WARP POOL FLOOR TO
DRAIN TO POOL
DRAINS.

SLOPE TO DRAIN
DEN OUT

BEGIN SLOPING
WALL

RETAINING WALL WITH
THEMWORK

FINISH
FLOOR-
114.30

FINISH
FLOOR-
109.00

water surface
14.00

water surface
14.00

mark out
placement piling
to field and length
by architect for
approval

water surface
14.00

water surface
14.00

water surface
14.00

water surface
14.00

11/10/2013 10:42:29 AM

NOTES:

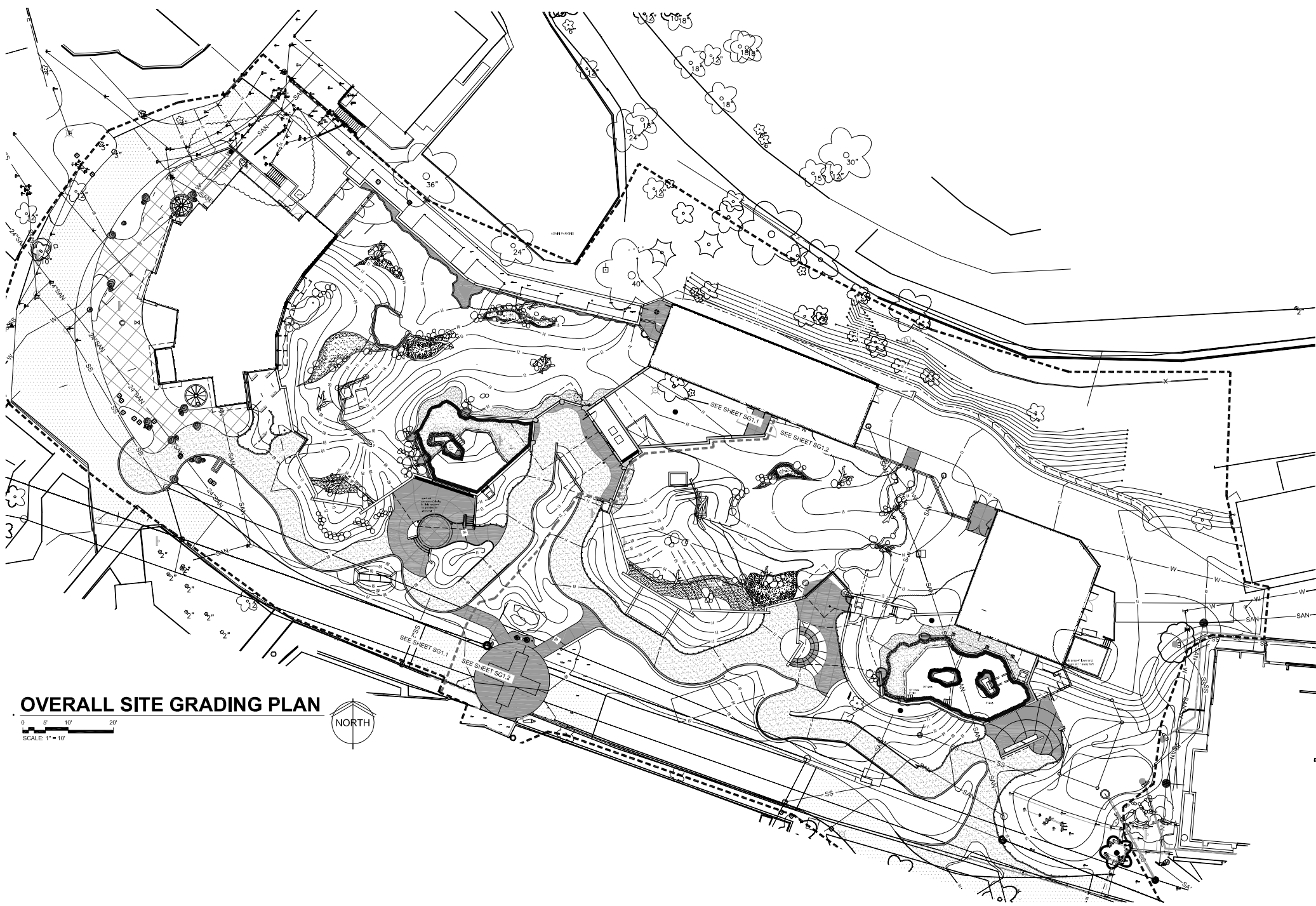
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2. CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO EXCAVATION.
3. REMOVE TOPSOIL IN ALL AREAS TO BE DISTURBED AND STOCKPILE. COORDINATE LOCATIONS WITH ARCHITECT.
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6. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT GRADED AREAS FROM AND AS NECESSARY RESTORE TO GRADE. ANY RUTS, WASHES OR OTHER CHANGES FROM THE DESIGN ELEVATIONS SHOWN HEREON UNTIL GRADING WORK IS ACCEPTED BY THE OWNER AND ARCHITECT.
7. ALL GRADING SHALL BE DONE TO INSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
8. ALL SIDEWALKS SHALL BE GRADED TO SLOPES NO GREATER 1:20 (5%) IN THE DIRECTION OF TRAVEL. CROSS SLOPES TO NO GREATER THAN 1:50 (2%).
9. ALL WEEDS, TRASH, DEBRIS, RUBBLE, BROKEN ASPHALT, ORGANIC MATERIAL (EXCLUDING TOP SOIL) AND REFUSE, OR ANY OTHER MATERIAL WHICH WOULD BE HARMFUL AS FILL MATERIAL OR INCAPABLE OF SUPPORTING BUILDING, VEHICULAR AND/OR OVERBURDEN LOADS TO BE CLEARED, GRUBBED OR EXCAVATED AS THE CASE MAY DICTATE. PRIOR TO GRADING AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF.
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NSA PROFESSIONAL SERVICES
ADDRESS: 2901 INTERNATIONAL LANE
MADISON, WI 53704
1-800-448-0679
608-242-7779
11. TOP OF WALL DESIGNATION REFERS TO TOP OF CONCRETE RETAINING WALL ONLY.
12. SCREW ATTACH GRATES TO ALL SWS CATCH BASINS.

LEGEND

TW	TOP OF FENCE
TW	TOP OF WALL
TR	TOP OF ROCK and/or THEME WORK
TP	TOP OF PAVEMENT
MT	TOP OF PAVEMENT (MOAT)
E	EXISTING GRADE TO BE MAINTAINED
EOP	EDGE OF PAVEMENT
BP	BOTTOM OF POOL
LP	LOW POINT
HP	HIGH POINT
GR	GRADE
FL	FLOW LINE
DB	DRAIN BASIN
FFE	FINISH FLOOR ELEVATION
WS	WATER SURFACE
TC	TOP OF COLUMN
POOL RET.	POOL RETURN
TT	TOP OF TUNNEL
EX	EXISTING
TOP	TOP OF INLET
□	DRAIN BASIN SYMBOL - (See Civil Dwg. for Underground Drain Piping)
X	NEW SPOT ELEVATION
—	PROPOSED CONTOUR
- - -	EXISTING CONTOUR
- - -	DRAINAGE SWALE
■	THEMED ROCKS
○	LIVEROCKS
■	NEW BUILDING
—	SIDEWALKS

RETAINING WALL RULES:

1. UNLESS NOTED OTHERWISE, CONCRETE RETAINING WALLS ARE LEVEL ON TOP AT LOWER SPOT ELEVATION, STEPPING UP AT LOCATION OF HIGHER ELEVATION.
2. AN ARROW ON TOP OF A RETAINING WALL INDICATES SLOPING TOP FROM ONE ELEVATION TO NEXT.
3. LINE ACROSS RETAINING WALL INDICATES LOCATION OF STEP IN WALL.



OVERALL SITE GRADING PLAN



wom
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SITE GRADING PLAN

SG1.0



ARCTIC PASSAGE CONCEPT

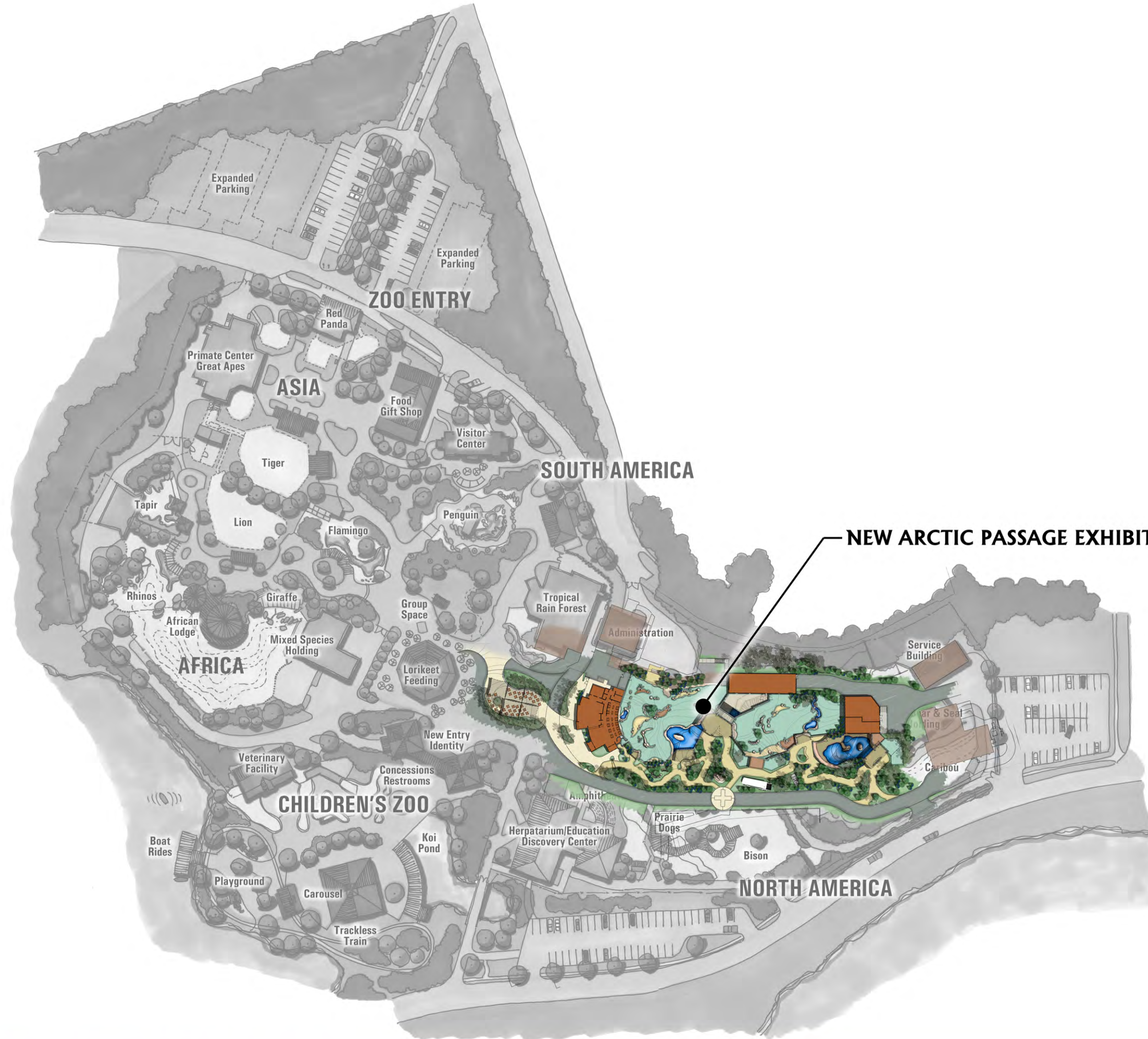
Henry Vilas Zoo

JULY 15, 2013





MASTER PLAN- ORIGINAL
Henry Vilas Zoo



MASTER PLAN- UPDATED
Henry Vilas Zoo



