

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>9-14-11</u>	<input type="checkbox"/> Action Requested Informational Presentation
UDC MEETING DATE: <u>9-21-11</u>	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation <input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 8301 OLD SAUK ROAD

ALDERMANIC DISTRICT: 9

OWNER/DEVELOPER (Partners and/or Principals)

ATTIC ANGEL PLACES, INC.
690 JUNCTION ROAD
MAIDISON, WI 53717

ARCHITECT/DESIGNER/OR AGENT:

COMMUNITY LIVING SOLUTIONS, LLC
2801 E. ENTERPRISE AVE. #202
APPLETION, WI 54913

CONTACT PERSON: DWANE HAWKINS

Address: CLS - SAME AS ABOVE

Phone: 920.209.7514

Fax: 920.209.9345

E-mail address: DHawkins@CommunityLivingSolutions.Com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Community Development (PCD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Residential Development (PRD)
 New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 School, Public Building or Space (Fee may be required)
 New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

August 3, 2011

Plan Commission
City of Madison
215 Martin Luther King Jr. Boulevard
Room LL-110
Madison, Wisconsin 53701-2985

RE: Letter of Intent, Attic Angel Place Addition

To Whom It My Concern:

The following information is submitted as required for an application of an amendment to a PUD-GDP/SIP zoning for Attic Angel Place, Inc., a development that provides services for elderly residents. Currently, Attic Angel Place and the neighboring assisted living facility titled, The Haven, provides continuum of care services for elders including apartments with services, assisted living, memory care and skilled nursing.

The existing Attic Angel Place facility consists of 74 apartments, 36 assisted household units and 36 individual skilled nursing suites in a combination of private and semi-private living arrangements accommodating 44 licensed beds. Adjacent to Attic Angel Place, The Haven is an existing community-based-residential-facility consisting of 20 units/22 beds providing memory care in an assisted living environment.

The proposed addition to Attic Angel Place will be comprised of an additional 24 assisted household units, 14 private skilled nursing suites and an inpatient/outpatient physical therapy center. As part of connecting the addition to the existing building a total of 6 existing skilled nursing suites and 4 assisted household units will be converted to common living space resulting in a net gain of 8 skilled nursing suites and 20 assisted household units. The addition of the 8 nursing suites will result in all 44 beds within the Health Center being private units.

Construction Schedule:

The construction of the addition is anticipated to begin in the Fall of 2011 with completion by Fall of 2012.

List of Individuals and Firms Involved in the Project:

Architect and Construction Manager:

Community Living Solutions, LLC
Contact: Duane Helwig, AIA
2801 East Enterprise Avenue, Suite 202
Appleton, Wisconsin 54913
920-969-9344 x7514
920-969-9345 (fax)
dhelwig@communitylivingsolutions.com

Civil Engineer:

Snyder and Associates
Contact: Michael Calkins, P.E.
5010 Voges Road
Madison, Wisconsin 53718
608-838-0444 x223
mcalkins@snyder-associates.com

Landscape Architect:

The Bruce Company
Contact: Rich Carlson
2830 Parmenter Street
Middleton, Wisconsin 53562
608-836-7041 x253
608-831-6266 (fax)
RCarlson@brucecompany.com

Mechanical, Electrical and Plumbing Engineer:

Muermann Engineering
Contact: Curt Krupp
116 Fremont Street
Kiel, Wisconsin 53042
920-894-7800
920-894-7916 (fax)
curt@me-pe.com

Building and Property Information:

Total Site Area: 401,703 square feet (9.22 acres)

Total Proposed Project Areas: 41,818 square feet (0.96 acre)

Total Combined Existing Building Area (all floor levels): 199,329 square feet

Total Addition Building Area (all floor levels): 42,380 square feet

Existing Attic Angel Place: 184,025 square feet

- Licensed RCAC one and two bedroom apartments: 74
- Licensed assisted living one bedroom household apartments: 36 (4 apartments will be removed as part of addition)
- Licensed skilled nursing facility: 36 suites, 44 beds. (6 suites, 8 beds will be removed as part of addition)

Existing Haven Assisted Living: 15,304 square feet

- Licensed CBRF dedicated to memory care: 20 units/22 beds

Proposed Addition:

- Skilled Nursing Facility: 14 units; 9,664 square feet (first floor)
- Physical Therapy Center: 2,000 square feet (first floor)
- Licensed assisted living, one bedroom household apartments: 12 apartments; 10,336 square feet (second floor)
- Licensed assisted living, one bedroom household apartments: 12 apartments; 10,336 square feet (third floor)
- Campus and Resident Storage: 10,044 square feet (lower level)

Parking:

EXISTING REQUIRED:

SKILLED NURSING

36 UNITS X .5 CARS/UNIT 18 CARS

HOUSEHOLDS (ASSISTED LIVING)

36 UNITS X .75 CARS/UNIT 27 CARS

APARTMENTS (RCAC)

74 UNITS X 1 CARS/UNIT	74 CARS
HAVEN ASSISTED LIVING	
22 UNITS X .5 CARS/UNIT	11 CARS

PROPOSED ADDITIONS (REQUIRED)

SKILLED NURSING	
8 UNITS (NET) X .5 CARS/UNIT	4 CARS
HOUSEHOLDS	
20 UNITS (NET) X .75 CARS/UNIT	15 CARS
TOTAL PARKING ADDITION (REQUIRED)	19 CARS
CAMPUS TOTAL (REQUIRED)	149 CARS

EXISTING (ACTUAL)

SURFACE PARKING	121 CARS
UNDERGROUND PARKING	30 CARS
TOTAL PARKING (ACTUAL)	151 CARS

PROPOSED ADDITION (ACTUAL)

SURFACE PARKING	25 CARS NET
CAMPUS TOTAL PARKING (ACTUAL)	176 CARS

HANDICAPPED ACCESSIBLE STALLS

STALLS REQUIRED	7 CARS
STALLS PROVIDED (as part of total)	9 CARS

Number of Employees:

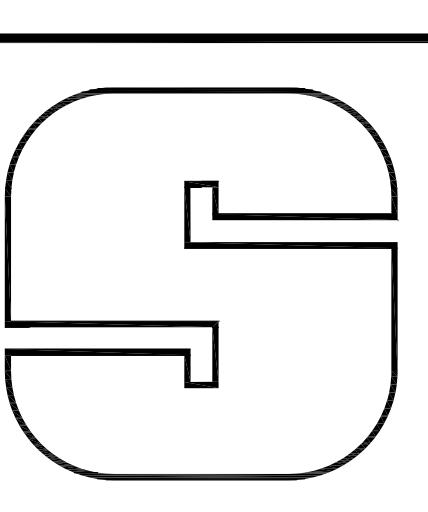
- Existing Health Center and Assisted Living Uses: 245
- Proposed Physical Therapy Addition: Contracted
- Proposed Assisted Living Addition: 7

The hours of operation are: 24 hours per day

Trash removal and storage, snow removal and maintenance: The Association will provide for their own trash compactor, storage and removal as well as snow removal. Road maintenance will be provided per previously approved agreement.

EROSION CONTROL DETAILS

Name.dwg



ATTIC ANGEL PLACE - ADDITION & RENOVATION

EROSION CONTROL DETAILS

SNYDER & ASSOCIATES

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444

SOUTH DAKOTA | IOWA | WISCONSIN
NEBRASKA | MISSOURI

CL503

Sheet C7

Project No: CLS03

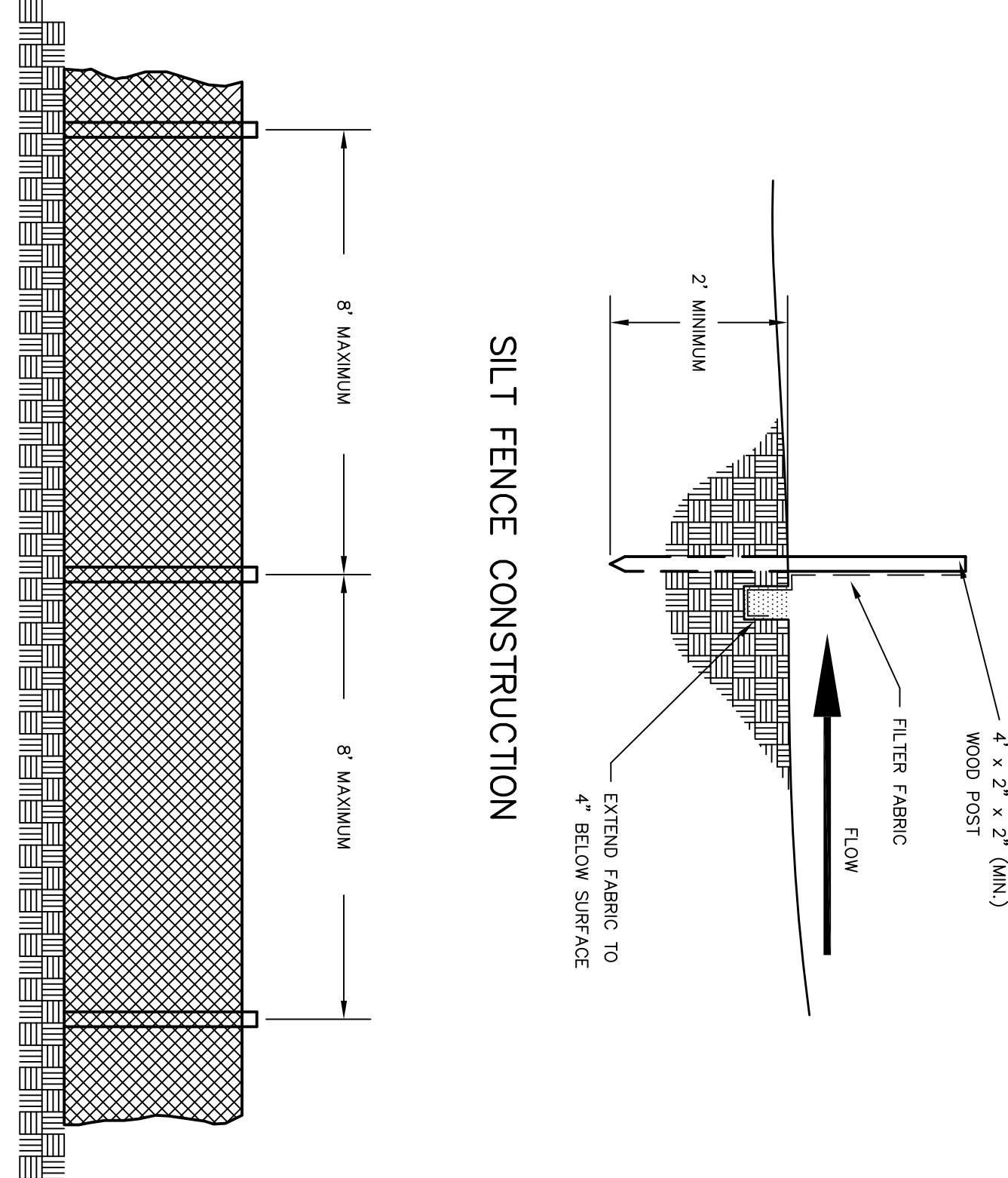
Technician: Date: 09-14-2011

Field Bk: Pg:

Mark Revision Date By

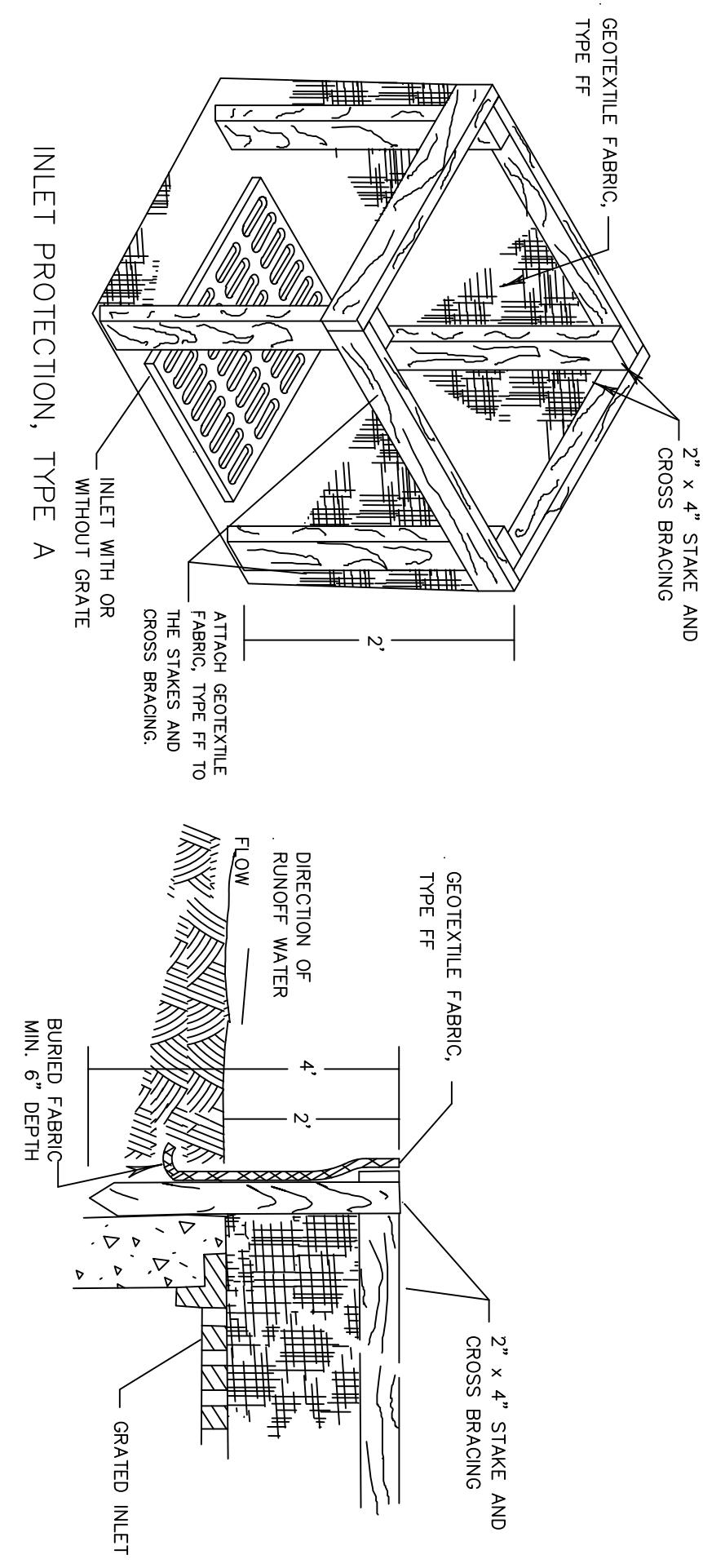
Engineer: Checked By: Scale: NTS

③ SILT FENCE
NOT TO SCALE



SILT FENCE CONSTRUCTION

① INLET PROTECTION, TYPE A
NOT TO SCALE

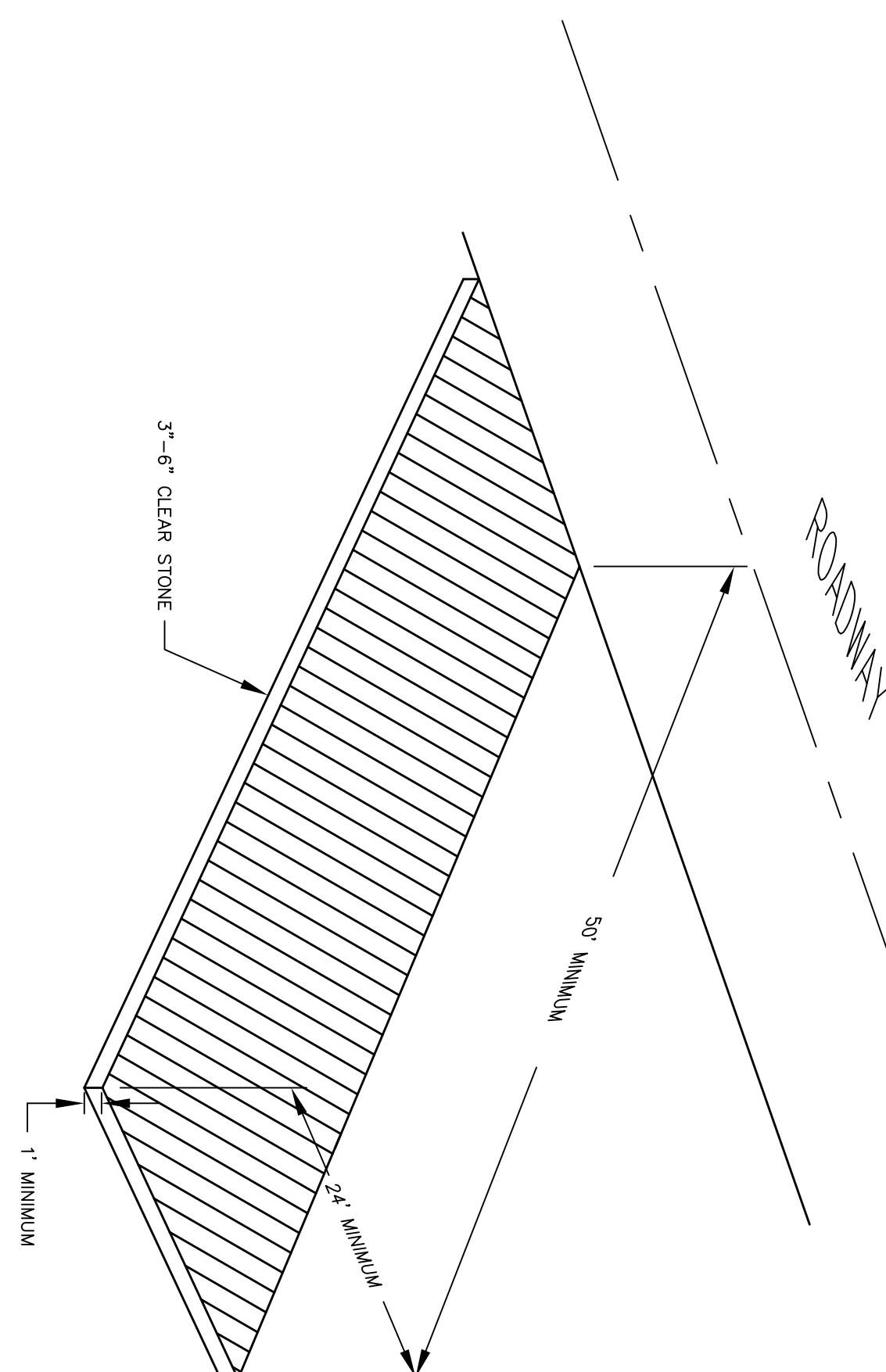


INLET PROTECTION, TYPE A
WITHOUT GRATE

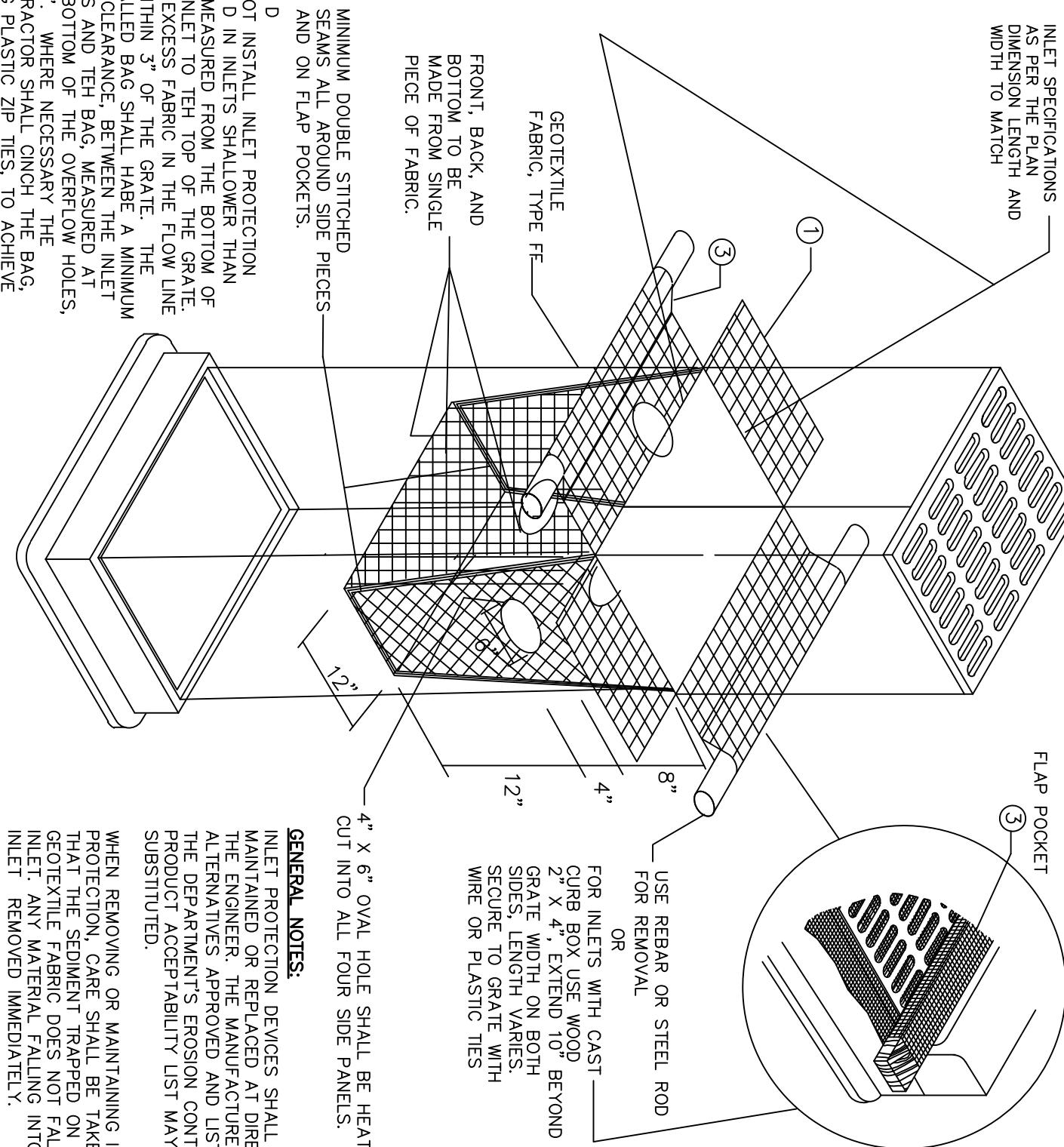
ATTIC GEOTEXTILE FABRIC TYPE FF TO THE STAKES AND CROSS BRACING

2" X 4" STAKE AND CROSS BRACING

② STONE CONSTRUCTION ENTRANCE
NOT TO SCALE

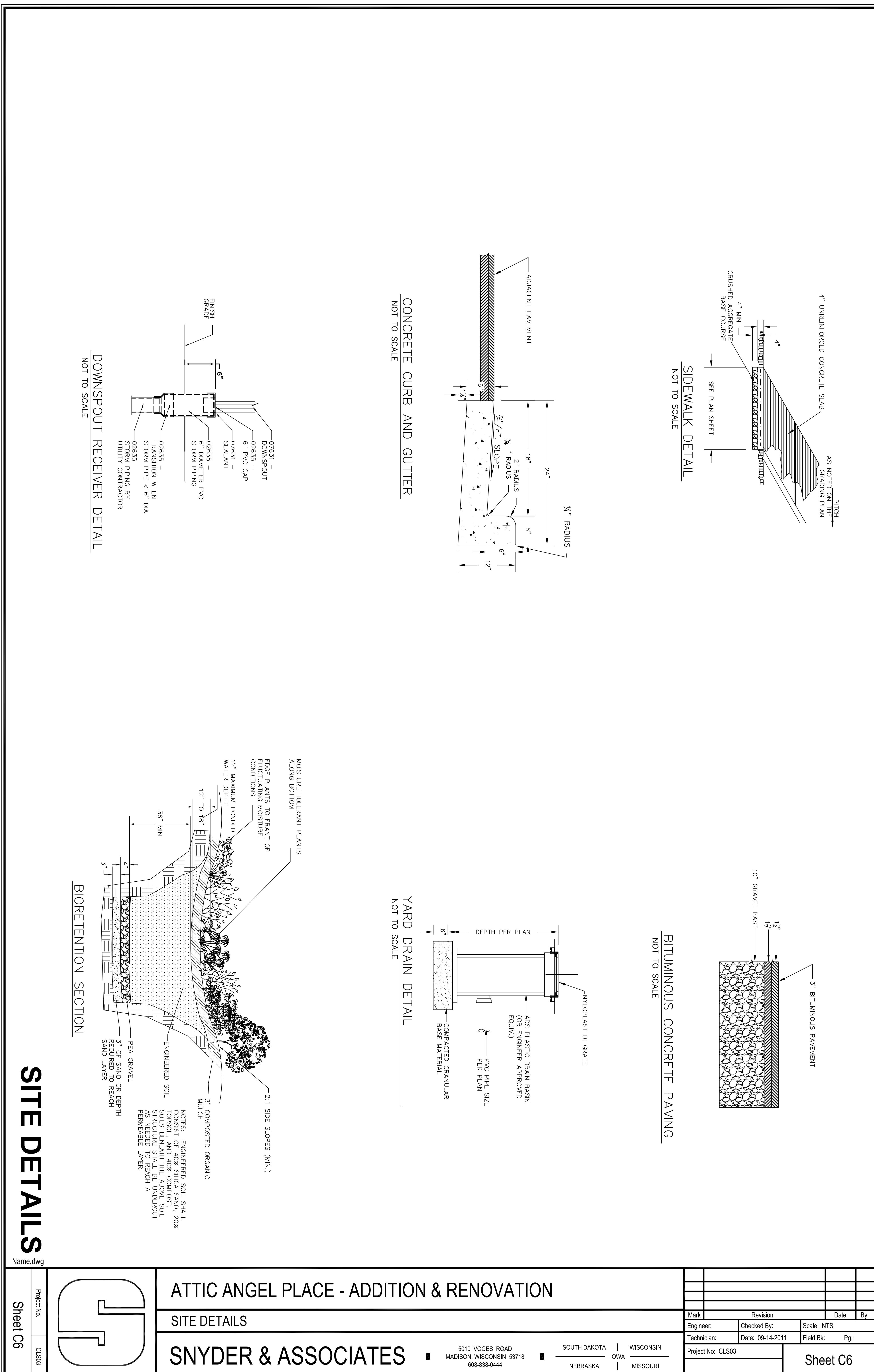


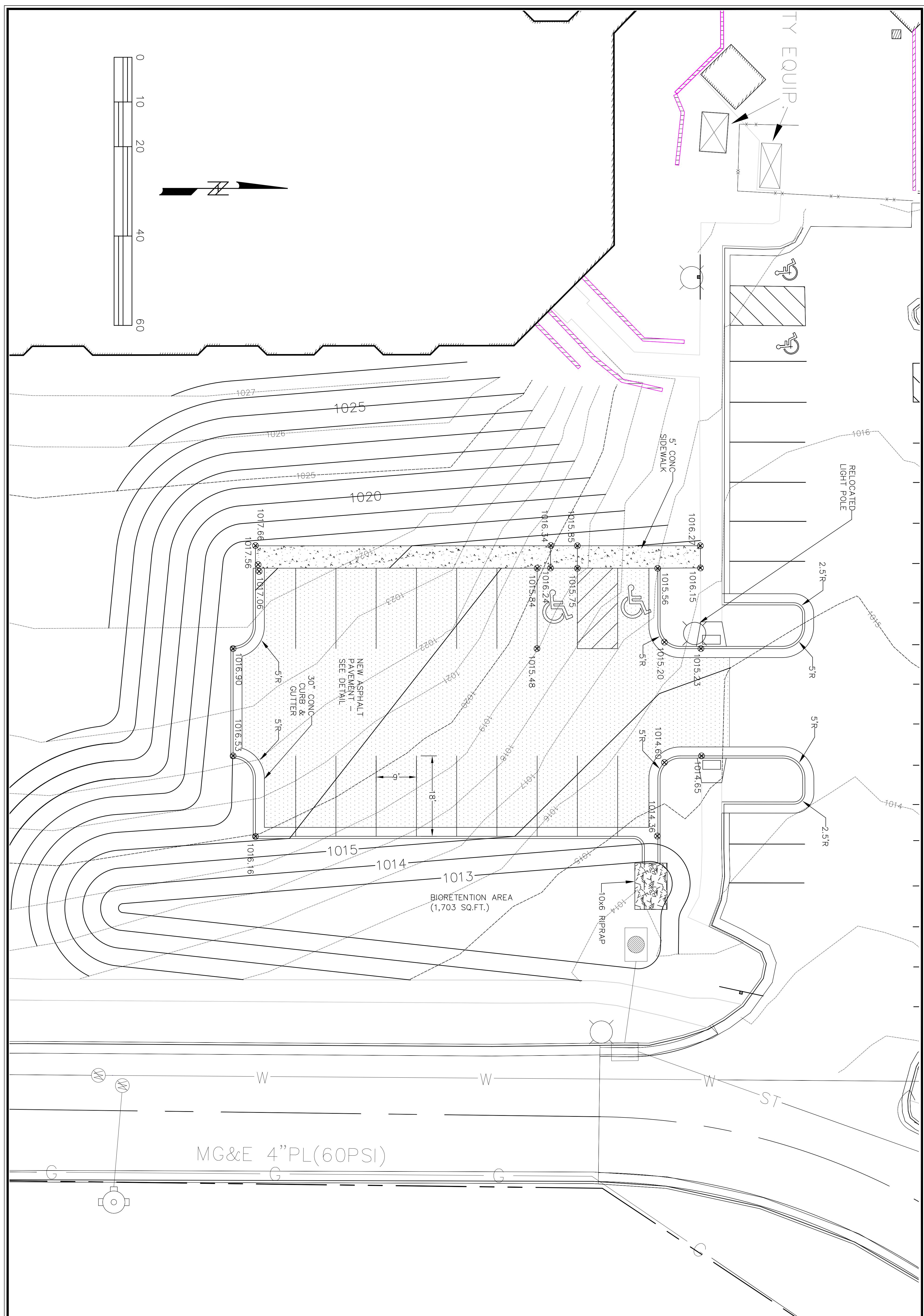
④ INLET PROTECTION, TYPE D
NOT TO SCALE



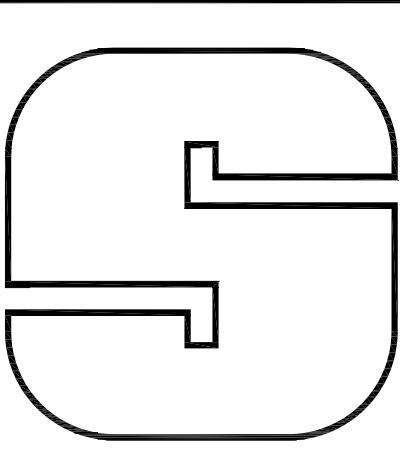
GENERAL NOTES

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALL DEEPER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SLOPE ALONG THE BAG WALLS AND THE BAG MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3" WHERE NECESSARY THE BAG CONTRACTOR SHALL CINCH THE BAG USING PLASTIC CUFF TIES TO ACHIEVE THE CLEARANCE. THE TIES SHALL BE ACCORDING TO THE SIZE OF 4" FROM THE BOTTOM OF THE BAG.





Name.dwg



ATTIC ANGEL PLACE - ADDITION & RENOVATION

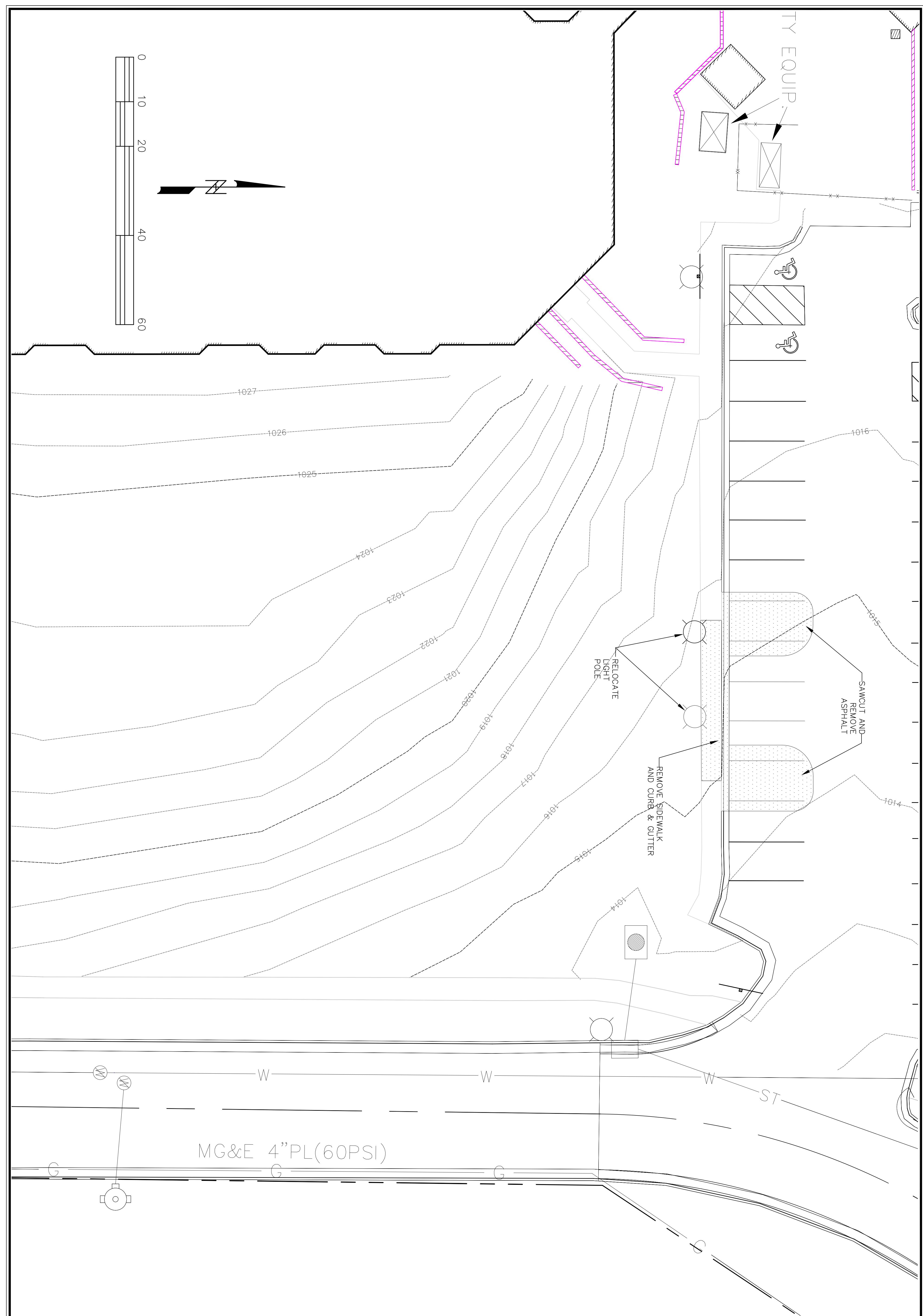
SITE & GRADING PLAN

SNYDER & ASSOCIATES

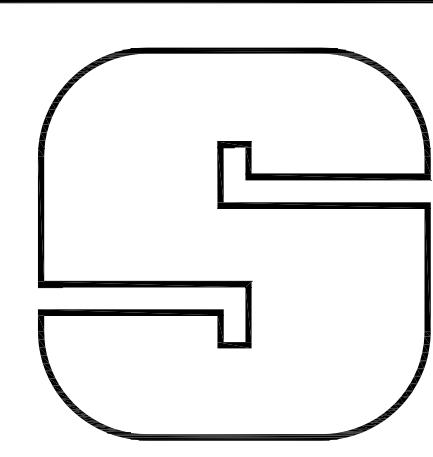
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444

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IOWA
NEBRASKA | MISSOURI

Mark	Revision	Date	By
Engineer:	Checked By:	Scale: 1" = 20'	
Technician:	Date: 09-14-2011	Field Bk:	Pg:
Project No: CLS03		Sheet C5	



Name.dwg



Project No. CLS03
Sheet C4

ATTIC ANGEL PLACE - ADDITION & RENOVATION

DEMOLITION PLAN

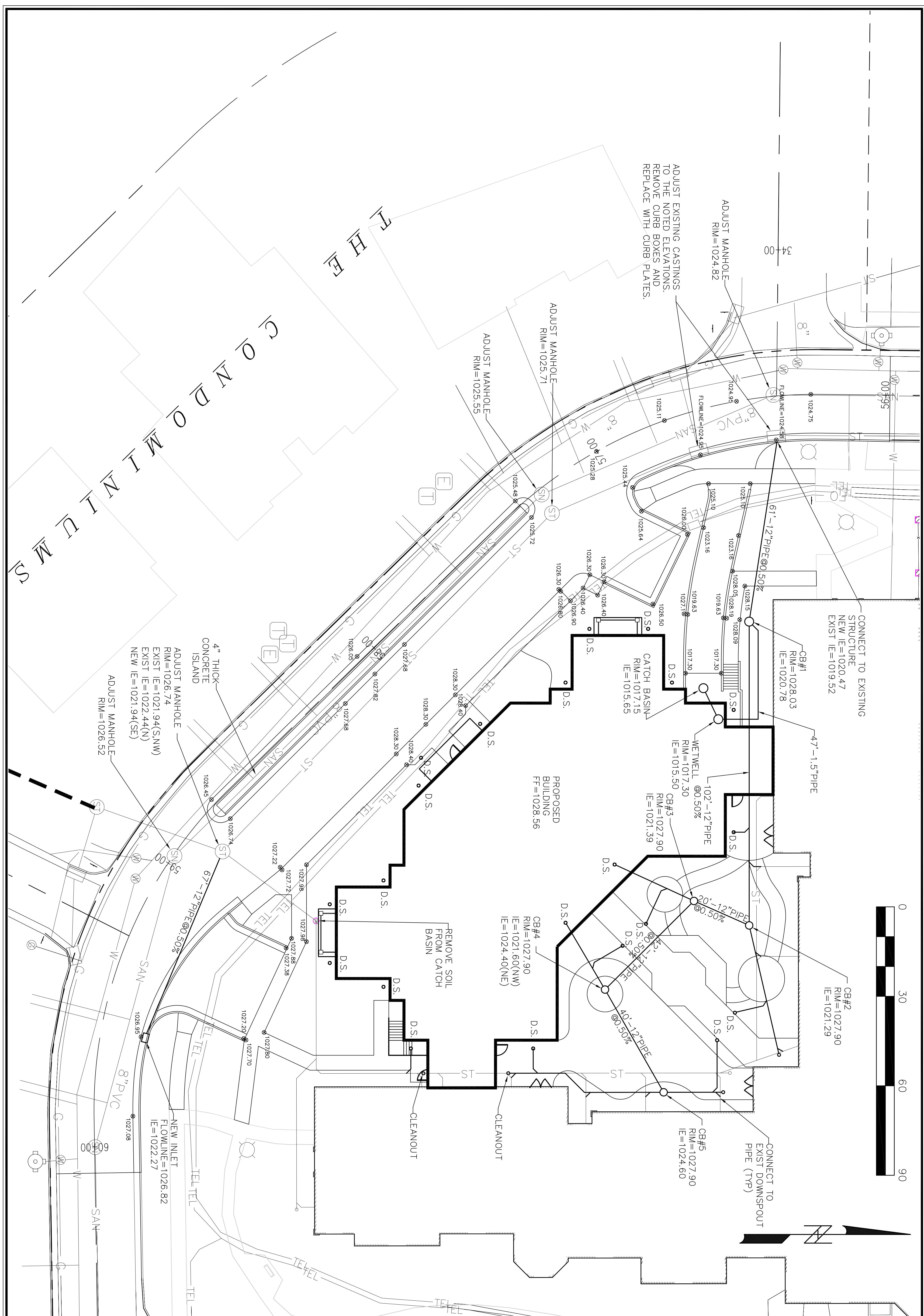
SNYDER & ASSOCIATES

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MADISON, WISCONSIN 53718
608-838-0444

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NEBRASKA | MISSOURI

Mark	Revision	Date	By
Engineer:	Checked By:	Scale: 1" = 20'	
Technician:	Date: 09-14-2011	Field Bk:	Pg:
Project No: CLS03			

Sheet C4



Name.dwg

A large, stylized letter 'S' logo, rendered in a thick black outline. The letter has rounded ends and a central vertical line with horizontal bars extending from the top and bottom, giving it a three-dimensional appearance.

ATTIC ANGEL PLACE - ADDITION & RENOVATION

GRADING & UTILITY PLAN

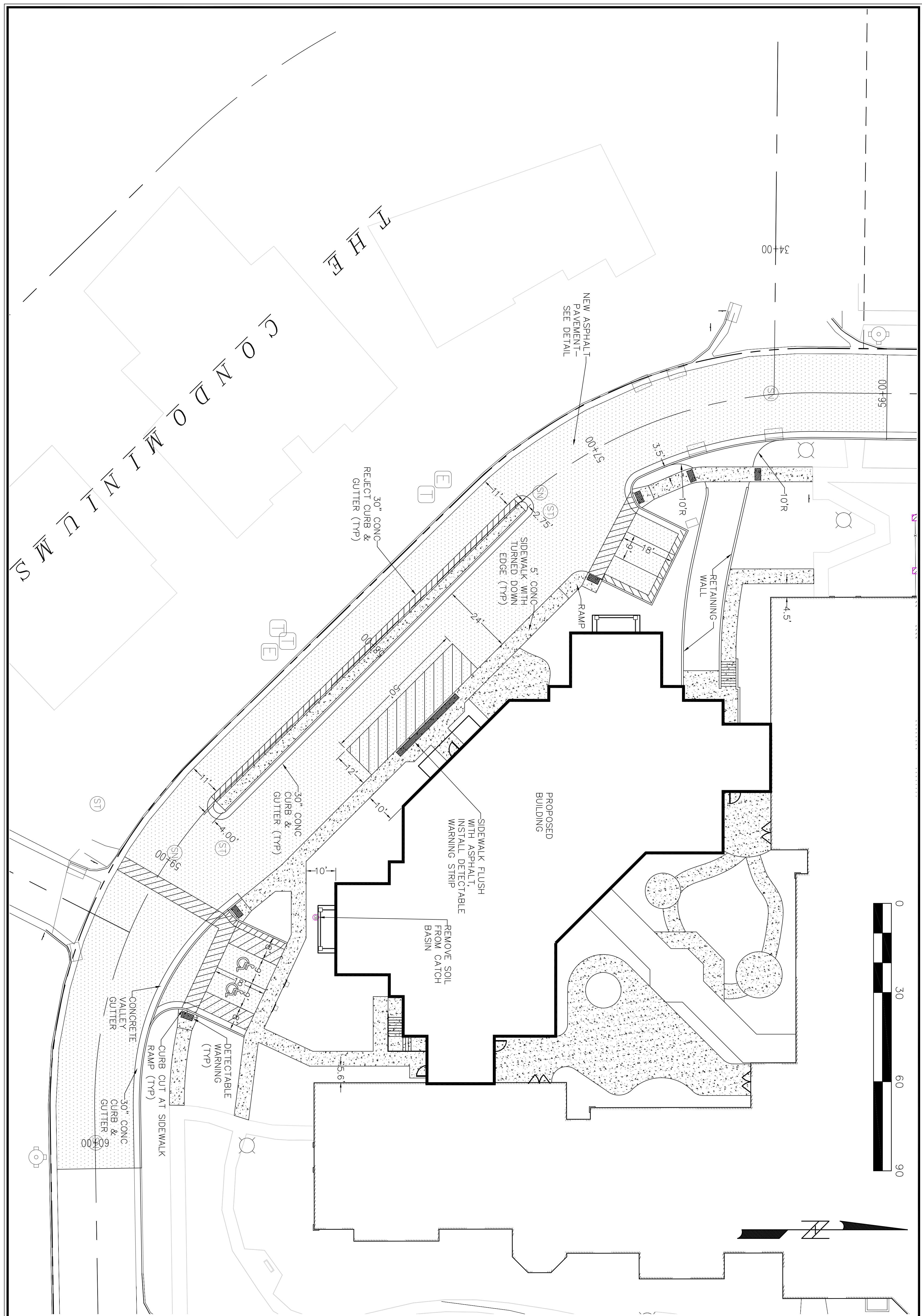
SNYDER & ASSOCIATES

5010 VOGES ROAD
MADISON, WISCONSIN 53719
608-838-0444

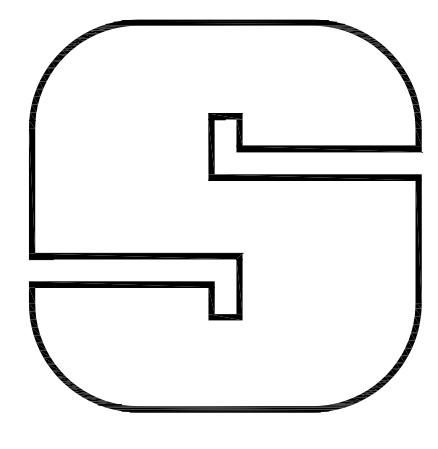
SOUTH DAKOTA | WISCONSIN
IOWA
NEBRASKA | MISSOURI

Mark	Revision		Date	By
Engineer:	Checked By:		Scale: 1" = 30'	
Technician:	Date: 09-14-2011		Field Bk:	Pg:
Project No: CLS03				

Sheet C3



Name.dwg



ATTIC ANGEL PLACE - ADDITION & RENOVATION

SITE PLAN

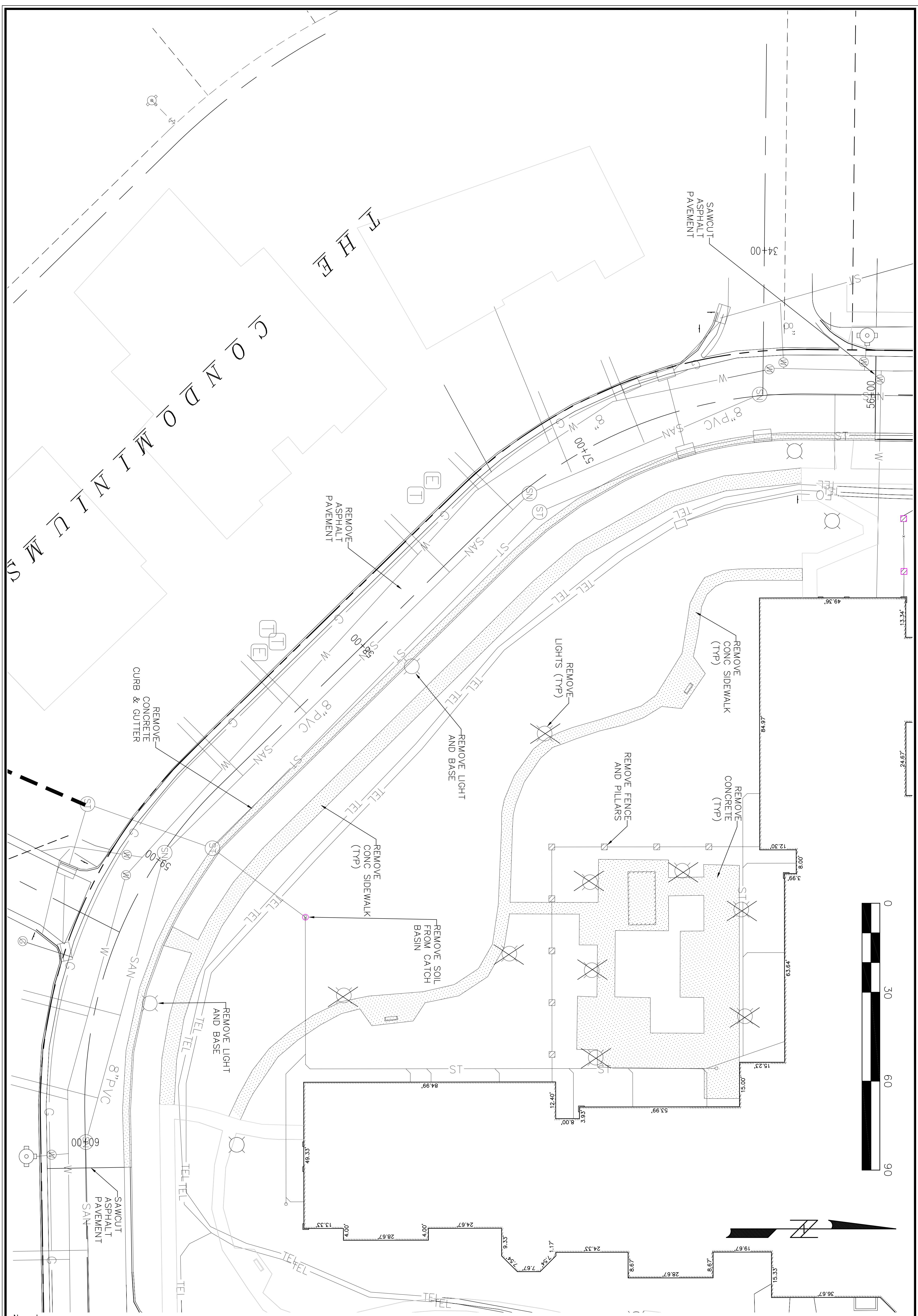
SNYDER & ASSOCIATES

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MADISON, WISCONSIN 53718
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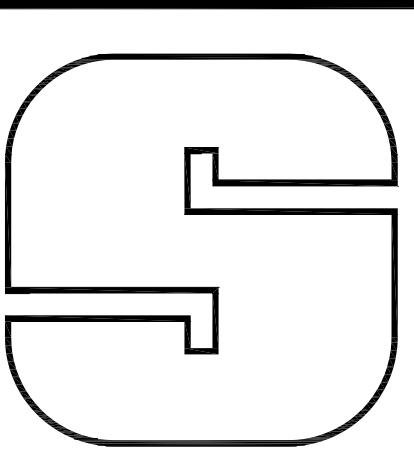
SOUTH DAKOTA | WISCONSIN
NEBRASKA | IOWA | MISSOURI

Mark	Revision	Date	By
Engineer:	Checked By:	Scale: 1" = 30'	
Technician:	Date: 09-14-2011	Field Bk:	Pg:
Project No: CLS03			

Sheet C2



Name.dwg



ATTIC ANGEL PLACE - ADDITION & RENOVATION

DEMOLITION PLAN

SNYDER & ASSOCIATES

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444

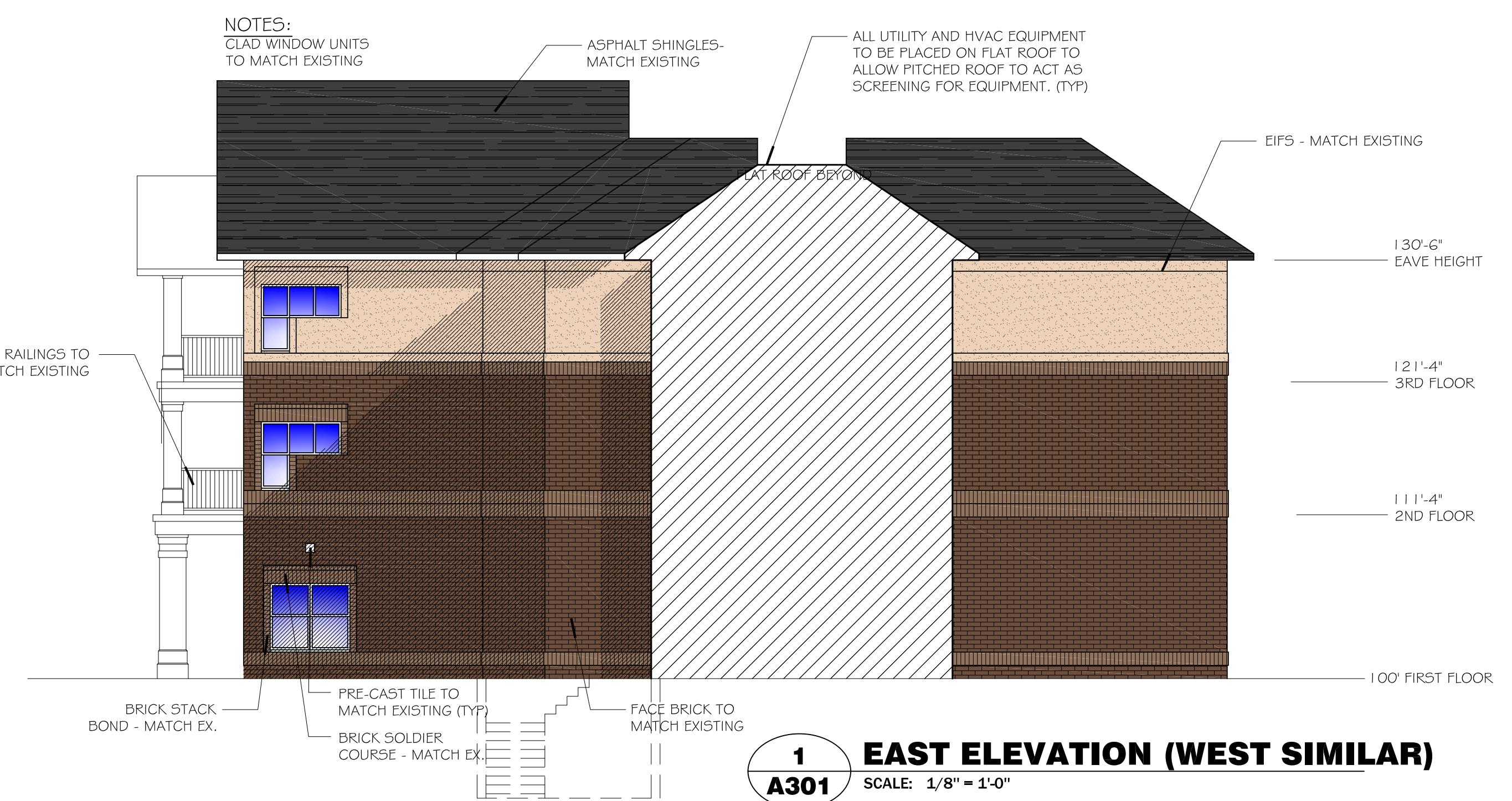
SOUTH DAKOTA | WISCONSIN
IOWA
NEBRASKA | MISSOURI

Mark	Revision		Date	By
Engineer:	Checked By:		Scale: 1" = 30'	
Technician:	Date: 09-14-2011		Field Bk:	Pg:
Project No: CLS03		Sheet C1		



2 **WEST COURT YARD ELEVATION**
A301 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



EAST ELEVATION (WEST SIMILAR)

1/8" = 1'-0"

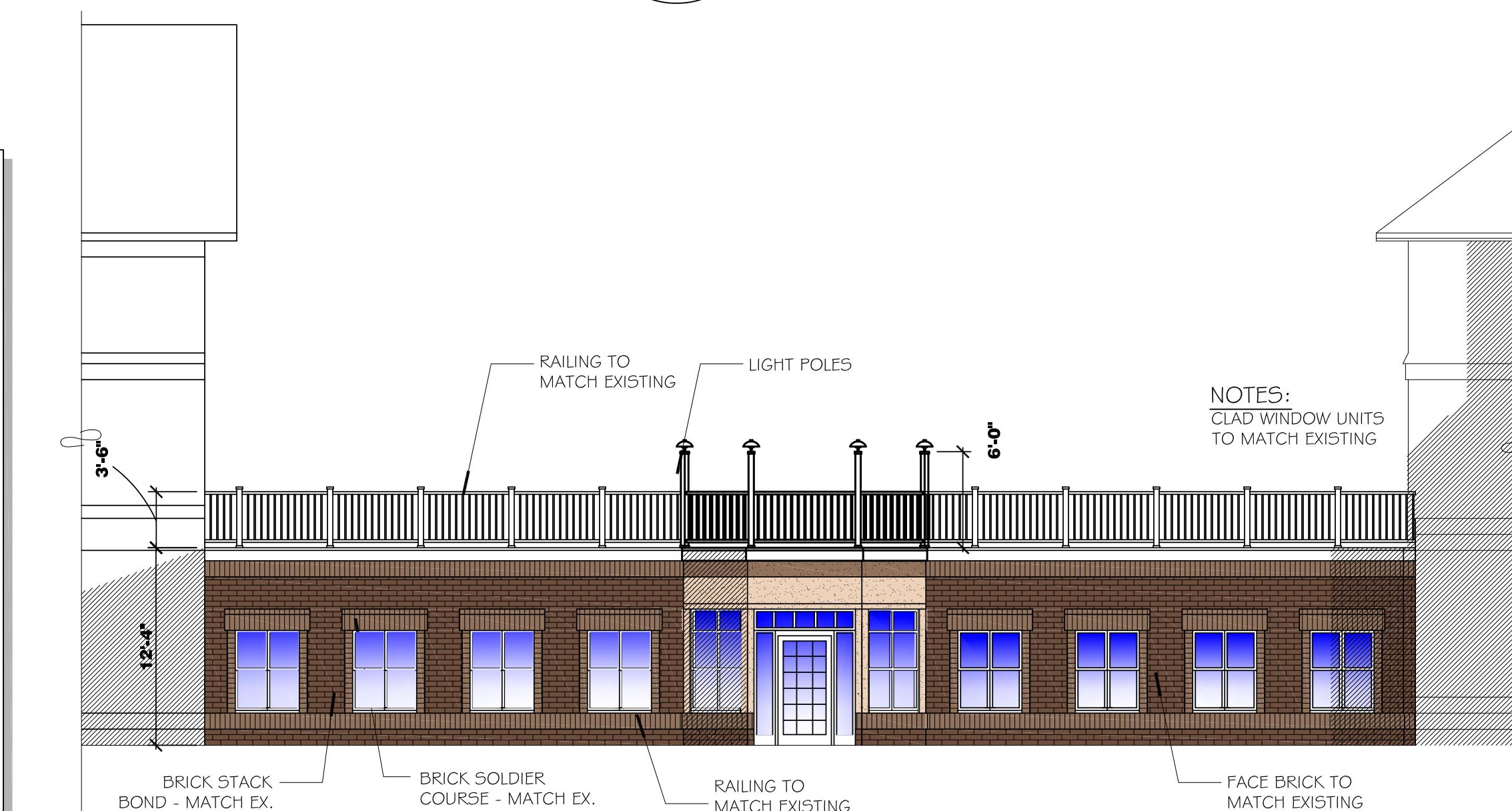


4 **NORTH ELEVATION (EAST SIMILAR)**

SCALE: 1/8" = 1'-0"



-  EIFS - COLOR MATCH TO EXISTING
 -  SIOUX CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING
 -  4" FACE BRICK; ROWLOCK -
SIOUX CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING.
 -  4" FACE BRICK; STACK -
SIOUX CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING.
 -  1 2" FACE BRICK; SOLDIER COURSE -
SIOUX CITY BRICK "GRAND CANYON VELOUR" TO MATCH EXISTING.
 -  1 2X24 & 4X24 (AS SHOWN) BURNISHED CMU VENEER -
PREMIER BLOCK CORP. "LIGHT FROST"
 -  CERTAINTEED "WEATHERWOOD" TO MATCH EXISTING
 -  WALL MOUNT LIGHT FIXTURE TO MATCH EXISTING
 -  ALUMINUM CLADDING - ROLLEX "CANVAS" TO MATCH EXISTING



WALKWAY SOUTH ELEVATION (NORTH SIMILAR)

301 SCALE: 1/8"

301) SCALE: 1/8" =



5 **WEST ELEVATION**
A301 SCALE: 1/8" = 1'-0"

A301 SCALE: 1/8" = 1'-0"



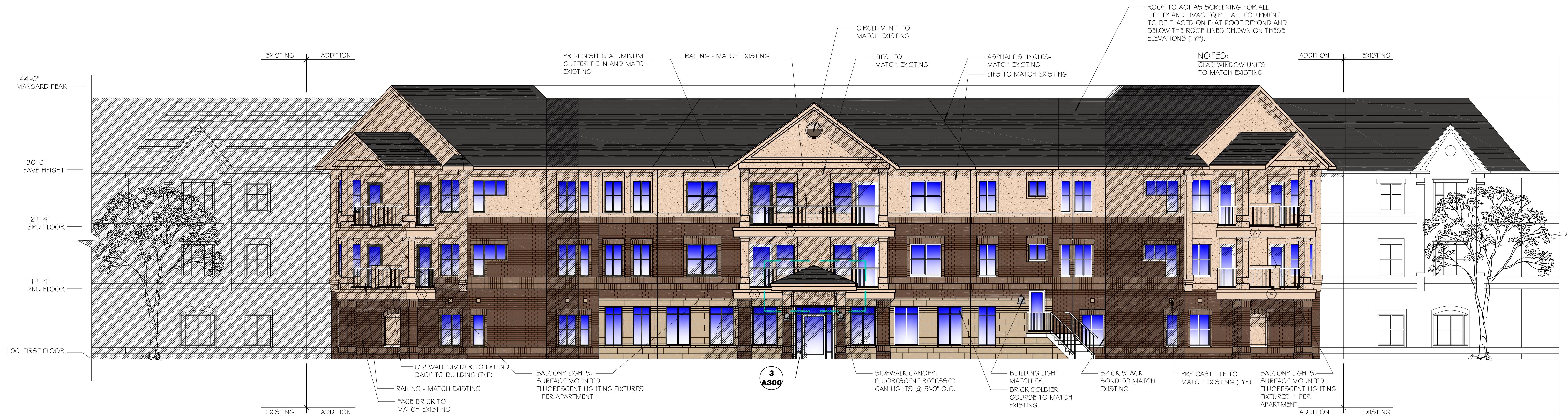


WEST ELEVATION

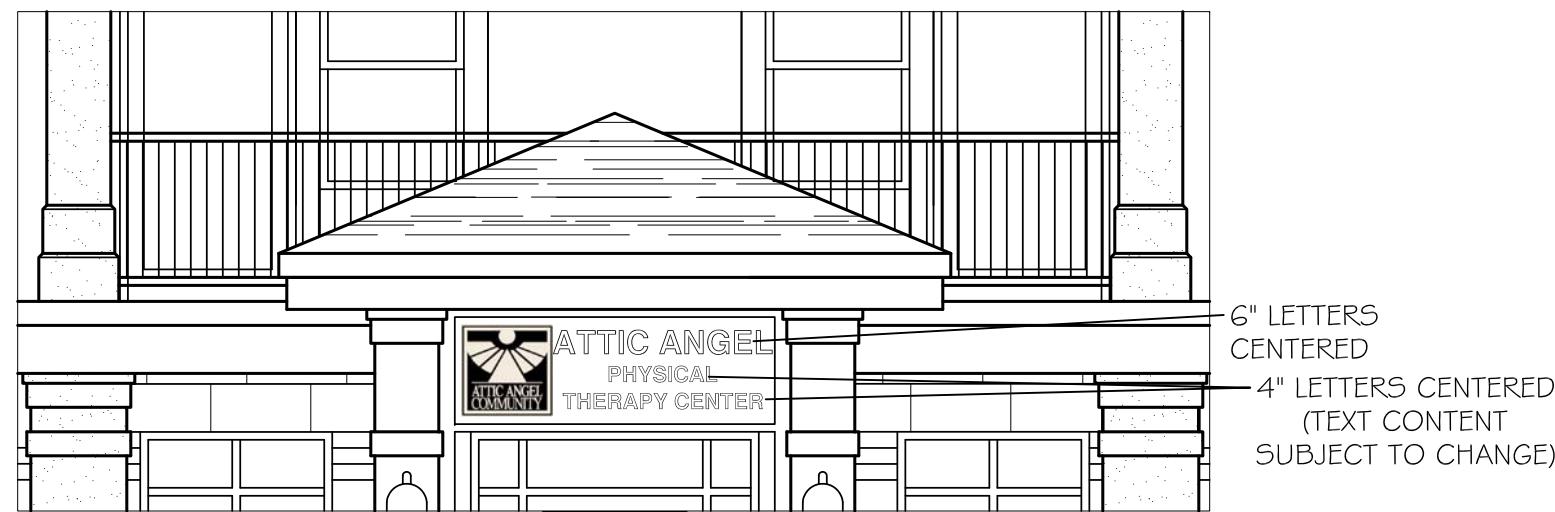
5
A301

SCALE: 1/8" = 1'-0"

A301 SCALE: 1/8" = 1'-0"



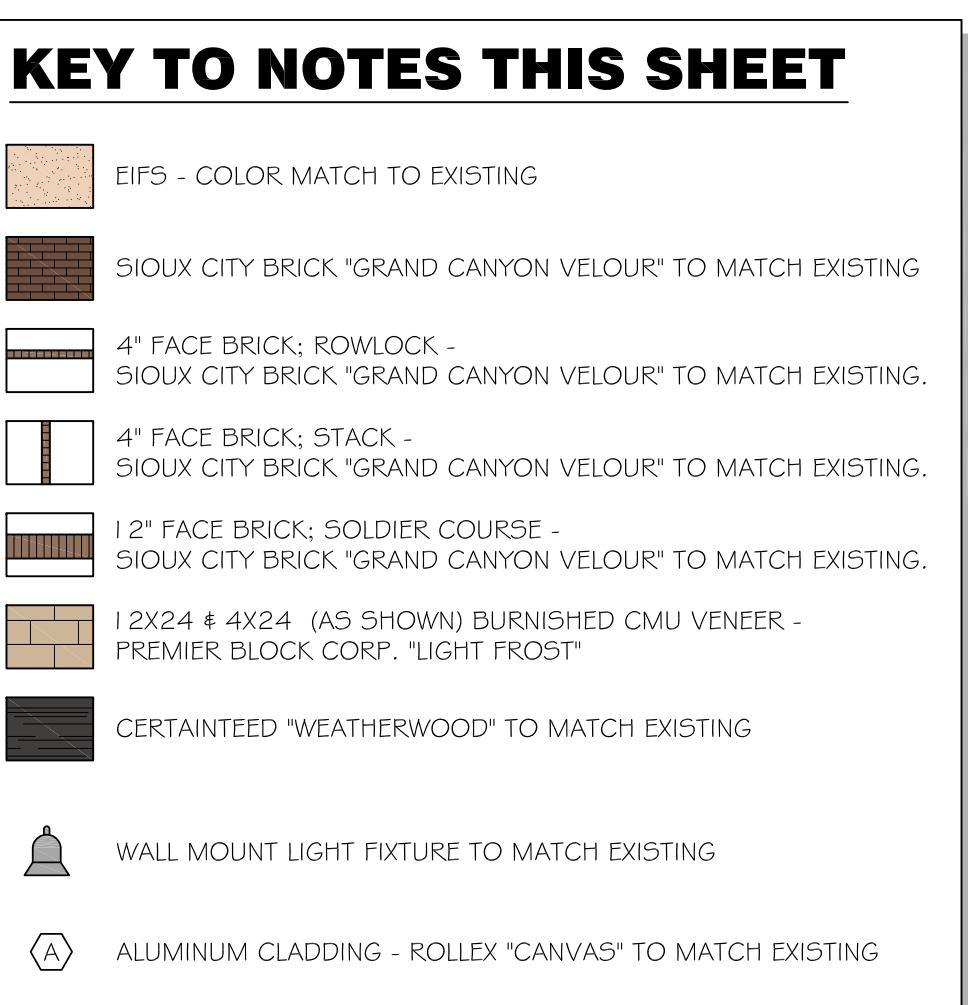
1
A300 **SOUTH WEST ELEVATION**
SCALE: 1/8" = 1'-0"



ENLARGED BUILDING SIGN



2 **SOUTH ELEVATION**
A300 **SCALE: 1/8" = 1'-0"**



REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE
8301 OLD SAUK ROAD,
MADISON WISCONSIN 53562

PLAN COMMISSION APPLICATION

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ROOF PLAN

SCALE: 3/32" = 1'-0"

ROOF PLAN

SCALE: 3/32" = 1'-0"

**REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE
8301 OLD SAUK ROAD,
MADISON WISCONSIN 53562**

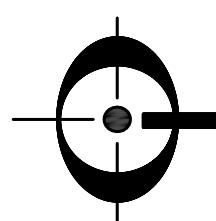


The logo for Community Living Solutions features a stylized human figure in a circle composed of yellow, green, and blue dots. The figure is in a dynamic pose, with one arm raised and one leg bent. Below the figure, the text 'COMMUNITY LIVING SOLUTIONS' is written in a large, sans-serif font. Underneath that, the tagline 'Expert Knowledge • Enlightening Results' is written in a smaller, sans-serif font.

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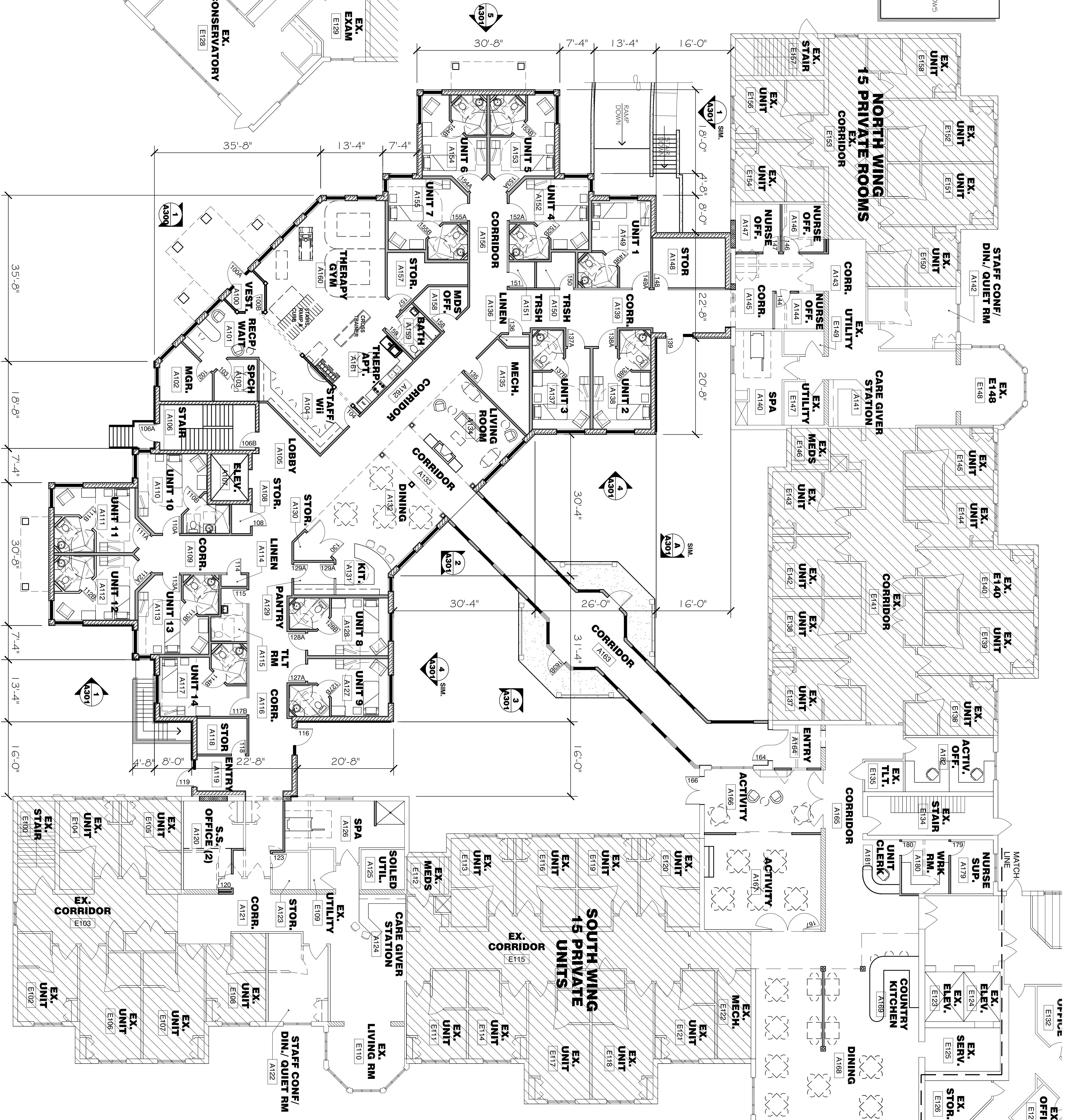
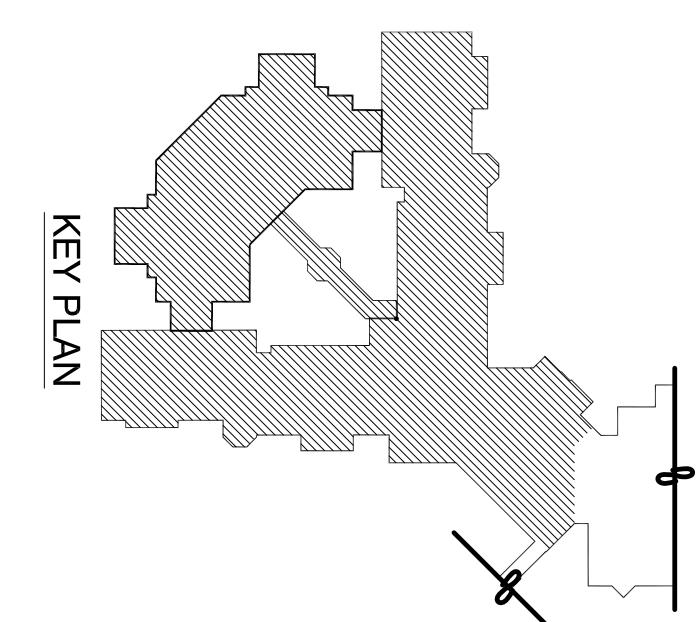
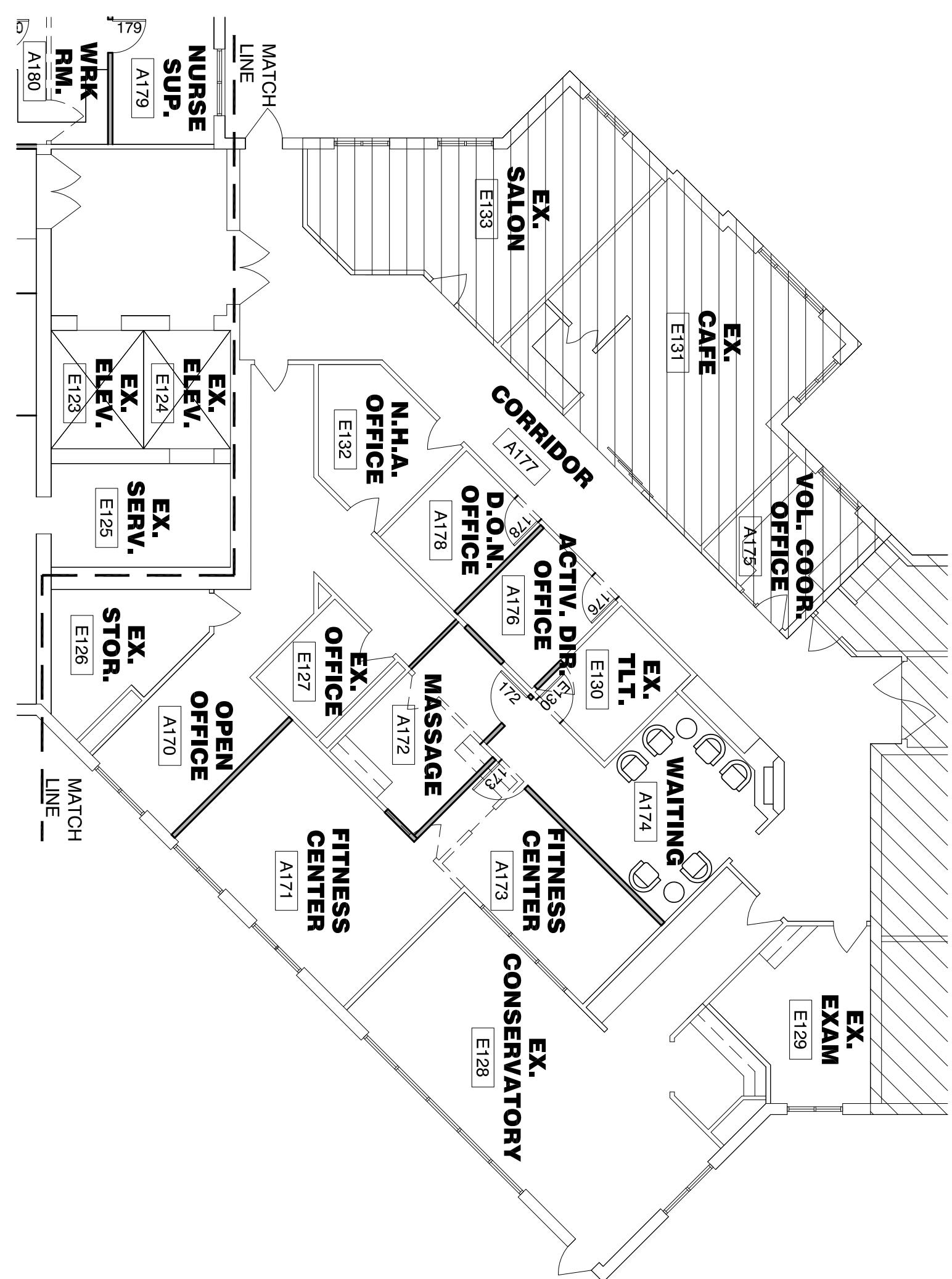
09/13/11 UDC UPDATE

PROJECT
11-101
08-03-1
DATE



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



PLAN COMMISSION APPLICATION

- 2 -

PROJECT
11-101
DATE
08-31-11

REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE
8301 OLD SAUK ROAD,
MADISON . WISCONSIN 53562



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REVISIONS

09/13/11 UDC UPDATES

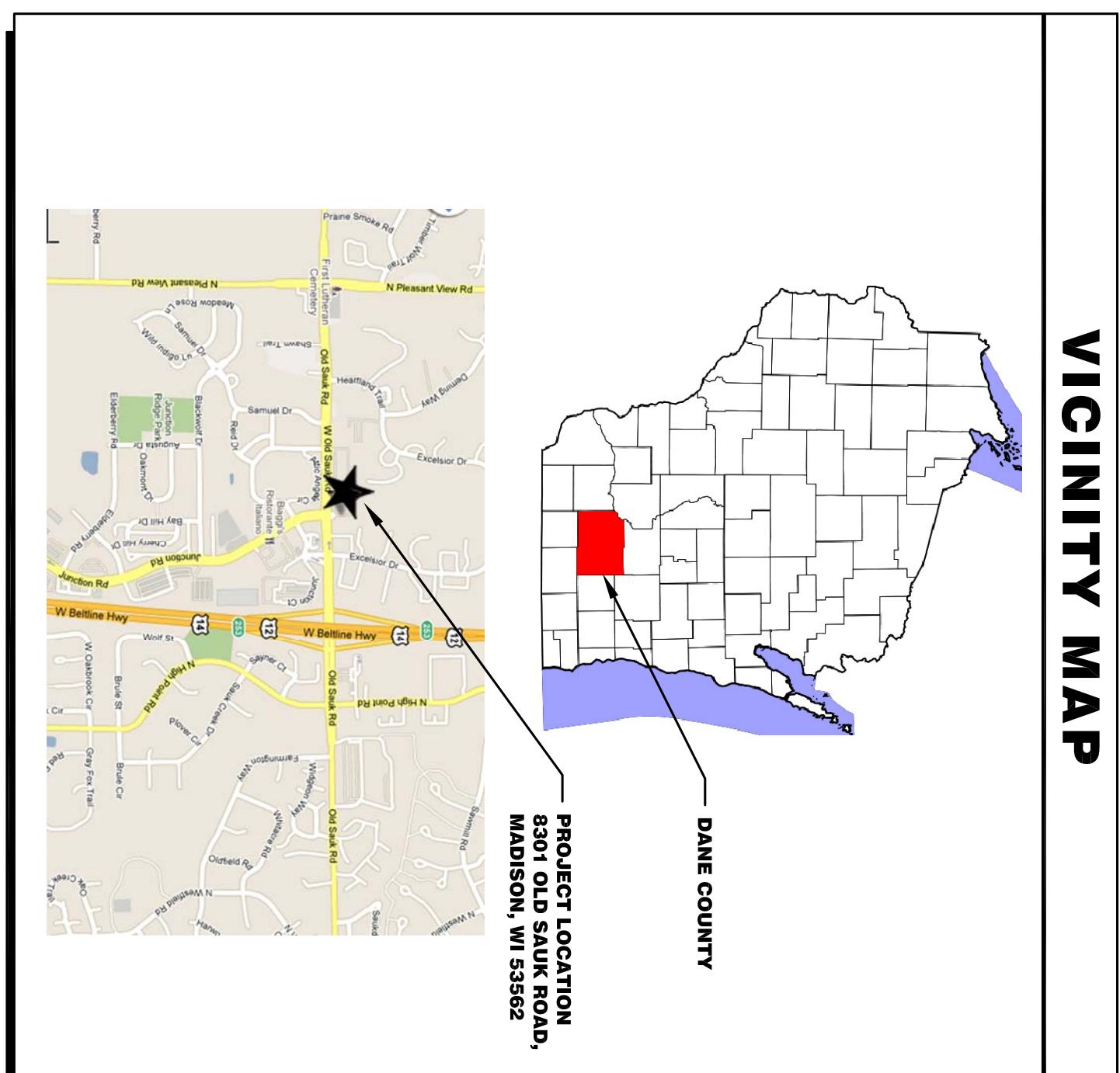
ADDITION AND REMODEL TO:

ATTIC ANGEL PLACE

8301 OLD SAUK ROAD,
MADISON, WISCONSIN



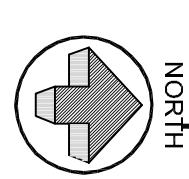
VICINITY MAP



SHEET INDEX

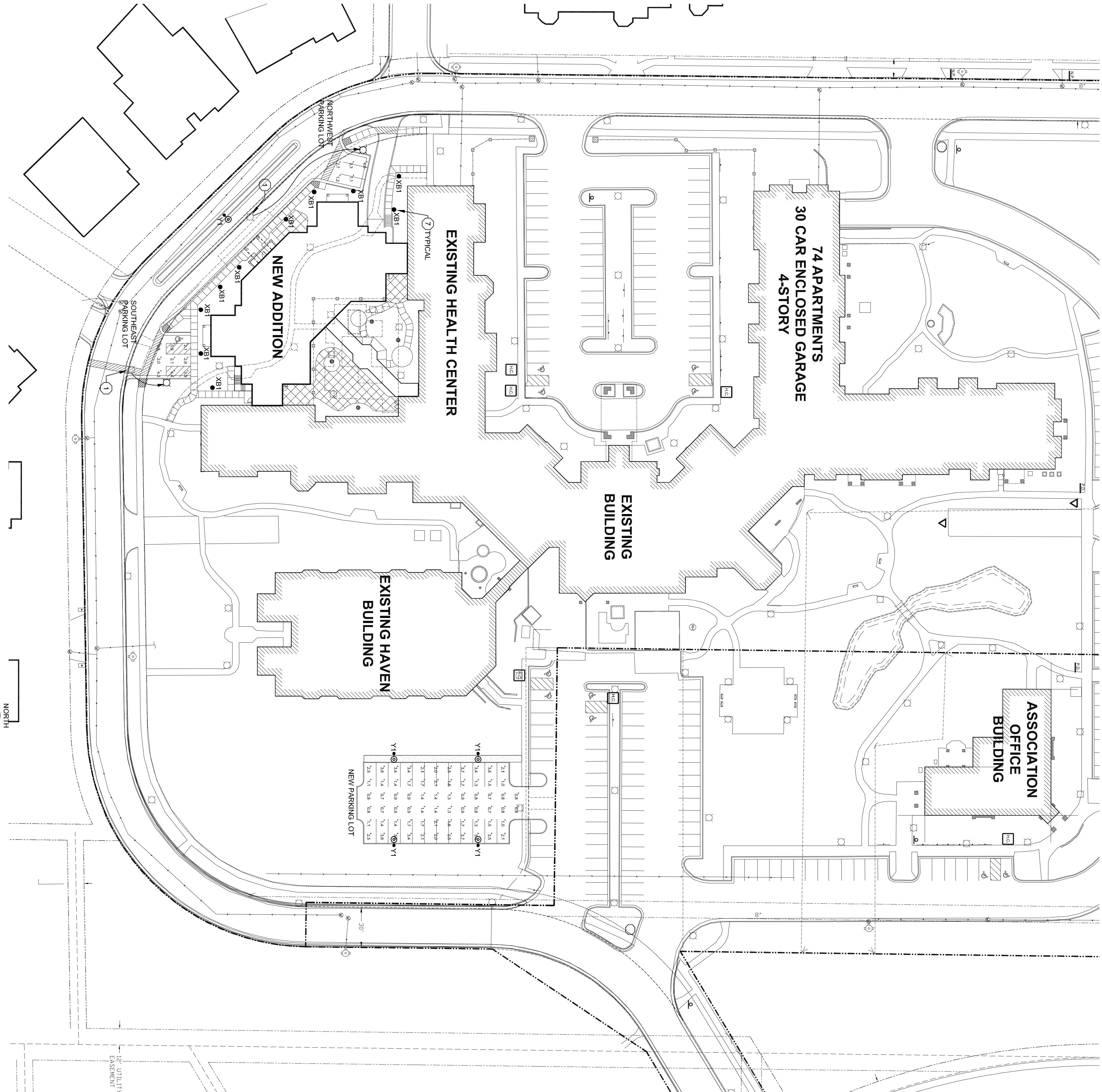
CERTIFIED SURVEY MAP	
A100	ARCHITECTURAL CAMPUS SITE PLAN
A101	ENLARGED BUILDING ADDITION SITE PLAN
L1	LANDSCAPE PLAN
C1	SITE DEMOLITION PLAN
C2	SITE PLAN
C3	SITE GRADING AND UTILITY PLAN
C4	PARKING LOT DEMOLITION PLAN
C5	PARKING LOT SITE AND GRADING PLAN
C6	SITE DETAILS
C7	SITE EROSION CONTROL DETAILS
E101	SITE PLAN ELECTRICAL
E101C	SITE PLAN LIGHTING PHOTOMETRICS
A200	BASEMENT PLAN
A201	FIRST FLOOR PLAN AND DEMO
A202	SECOND FLOOR PLAN / THIRD FLOOR PLAN
A203	ROOF PLAN
A300	EXTERIOR BUILDING ELEVATIONS
A301	EXTERIOR BUILDING ELEVATIONS

SITE PLAN LIGHTING PHOTOMETRICS



NORTH

1" = 40'-0"



PLAN NOTES: (X)

1. EXISTING FIXTURE TO BE RELOCATE TO WHERE SHOWN, EXTEND ALL CIRCUITS AND CONTROLS TO NEW LOCATIONS. NEW CONCRETE BASE, CLEAN AND RELAMP FIXTURES AS REQUIRED. THESE FIXTURES ARE NO LONGER MANUFACTURED. THE FIXTURE USED IN CALCULATIONS IS SIMILAR IN STYLE, SHAPE, PERFORMANCE, LAMPING, ETC.

2. TYPE XB1 FIXTURES ARE EXISTING RELAMP FIXTURES REMOVED FROM COURTYARD AREA AND REUSED WHERE SHOWN. CLEAN AND RELAMP FIXTURES AS REQUIRED. THESE FIXTURES ARE NO LONGER MANUFACTURED. THE FIXTURE USED IN CALCULATION IS SIMILAR IN STYLE, SHAPE, PERFORMANCE, LAMPING, ETC.

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
NEW PARKING LOT	+	1.8 c	3.7 c	0.7 c	5.3:1	2.6:1
NORTHWEST PARKING STALLS	+	2.5 c	4.0 c	1.1 c	3.6:1	2.3:1
SOUTHEAST PARKING STALLS	+	2.5 c	4.4 c	0.8 c	5.5:1	3.1:1

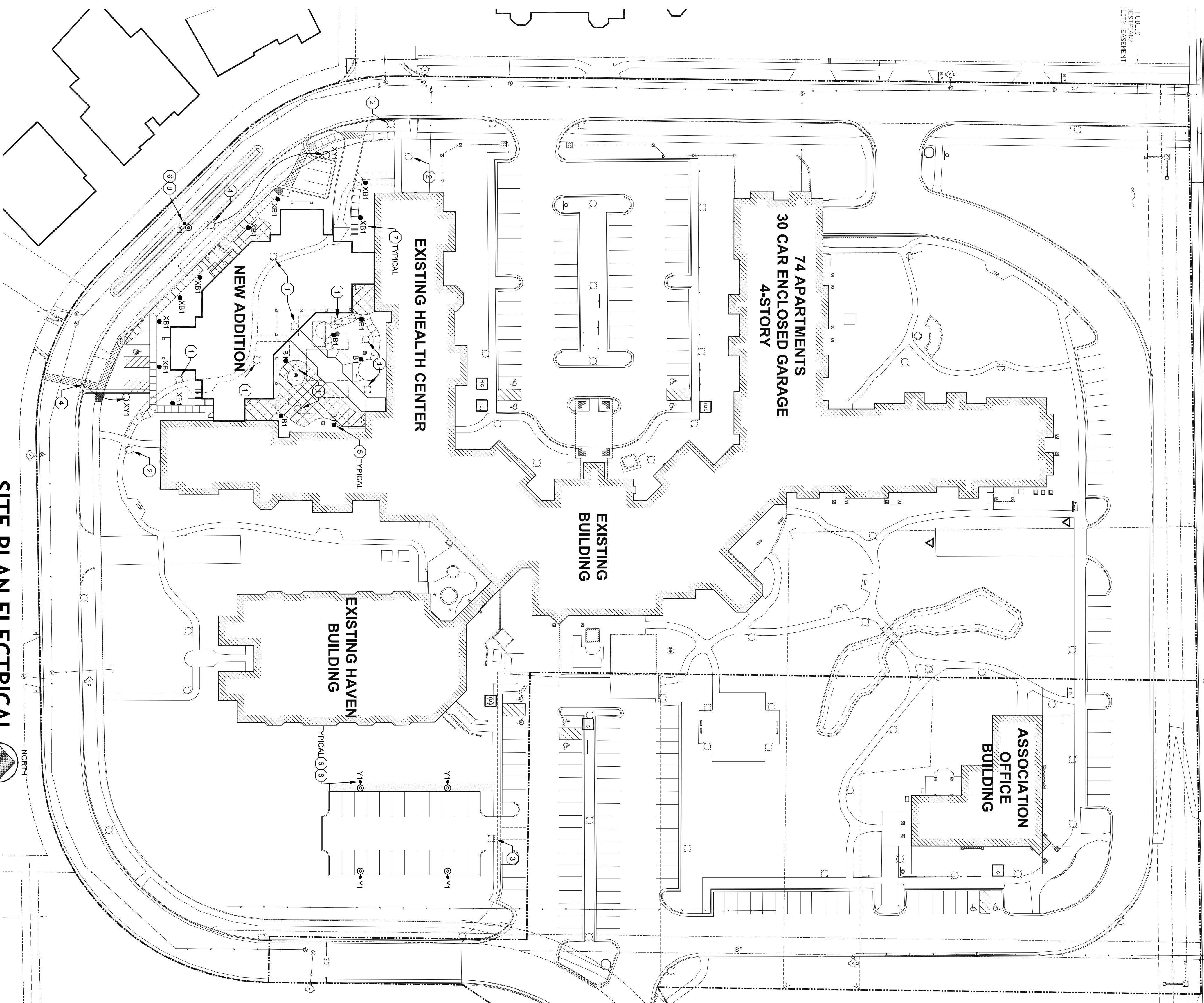
REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE
8301 OLD SAUK ROAD,
MIDDLETON, WISCONSIN 53562

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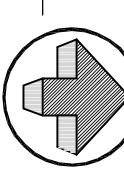
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REVISIONS

PROJECT
11-101
DATE
8-3-11



SITE PLAN ELECTRICAL

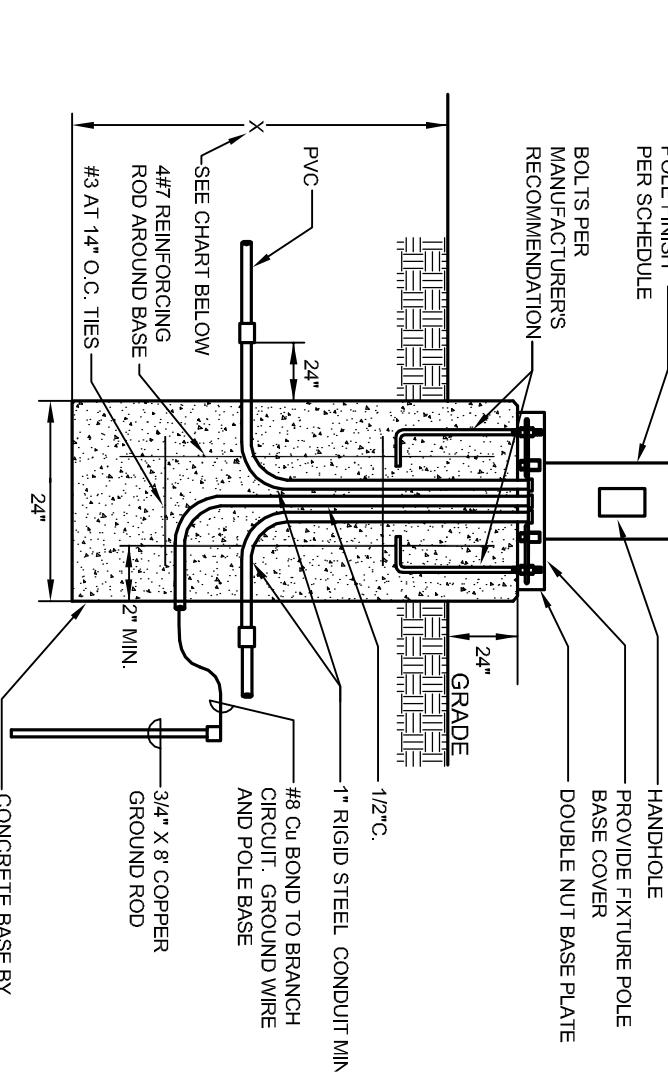


PLAN NOTES:
 1. EXISTING BOLLARD FIXTURE TO BE REMOVED AND REUSED AT MAIN ENTRANCE AND SIDEWALK.
 2. EXISTING FIXTURE TO REMAIN REFEED CIRCUIT IF REQUIRED.
 3. EXISTING POLE AND FIXTURE TO BE REMOVED. REFEED ANY EXISTING LIGHTING ON SAME CIRCUIT SCHEDULED TO REMAIN.
 4. EXISTING FIXTURE TO BE RELOCATE TO WHERE SHOWN. EXTEND ALL CIRCUITS AND CONTROLS TO NEW LOCATION PROVIDED NEW BASE PER DETAIL (16530-05).
 5. PROVIDE CONCRETE BASE FOR TYPE B1 BOLLARD FIXTURES PER DETAIL (16530-05).
 6. PROVIDE CONCRETE BASE FOR TYPE Y1 FIXTURE PER DETAIL (16530-05).
 7. TYPE XB1 FIXTURES ARE EXISTING BOLLARDS REMOVED FROM COURTYARD AREA AND REUSED WHERE SHOWN.
 8. POLE HEIGHT FOR Y1 FIXTURES TO BE 16'-0" WITH A 2'-0" CONCRETE BASE. TYPICAL FOR ALL Y1 FIXTURES.

ATTIC ANGELS FIXTURE SCHEDULE					
TYPE	DESCRIPTION	LAMP TYPE	LAMP QTY.	MANUFACTURER	CATALOG NUMBER
B1	42" DECORATIVE BOLLARD	70MH	1	AAL	VBN-L70MH-XX
Y1	EXTERIOR POLE MOUNTED SINGLE HEAD FIXTURE	150PSH	1	AAL	UCN-SR-STR-H-150PSH-XX-FTG
16" ROUND POLE				AAL	PR4-4R16-226-XX-WSLA4 BRACKET
XB1	EXISTING BOLLARD				
YX1	EXISTING POLE MOUNTED SINGLE HEAD FIXTURE				

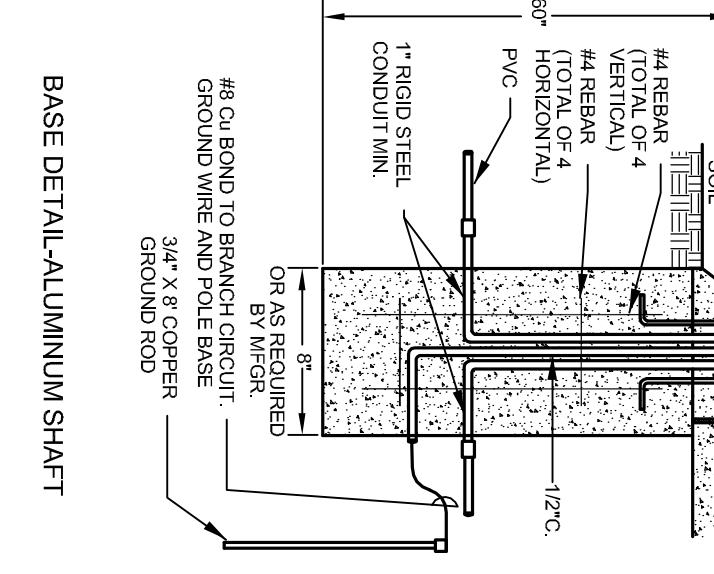
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NOTES:
 1. USE CONCRETE BASE FOR NEW BOLLARD. A 2'-0" CONCRETE BASE SHALL BE PROVIDED FOR THE EXISTING BOLLARD WHICH SHALL BE MATERIAL BACKFILLED AROUND CONCRETE BASE WITH COMPACTED GRANULAR BACKFILL. A MIN OF 2'-0" IN ALL DIRECTIONS.
 2. USE CONCRETE BASE FOR NEW BOLLARD. A 2'-0" CONCRETE BASE SHALL BE PROVIDED FOR THE EXISTING BOLLARD WHICH SHALL BE MATERIAL BACKFILLED AROUND CONCRETE BASE WITH COMPACTED GRANULAR BACKFILL. A MIN OF 2'-0" IN ALL DIRECTIONS.



16530-05 24" EXTERIOR LIGHTING CONCRETE BASE DETAIL
NIS

16530-06 BOLLARD FIXTURE BASE DETAIL
NIS



BOLLARD
FIXTURE

PUBLIC
JEWELRY
EASEMENT

REVISIONS

REHABILITATION & PHYSICAL THERAPY
ADDITION AND REMODEL TO:
ATTIC ANGEL PLACE
8301 OLD SAUK ROAD,
MIDDLETON, WISCONSIN 53562

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SUGGESTED ZONING TEXT GDP/SIP

Zoning: PUD-GDP/SIP, Amended

Project Name: Attic Angel Place Addition

Address: 8301 Old Sauk Road

Legal Description: The lands subject to this planned unit development shall include those described in Exhibit A, attached hereto.

A. Statement of Purpose: This zoning district is established to allow for the construction of an addition to the existing Attic Angel Place Facility consisting of 14 new skilled nursing resident rooms (8 net), 24 new RCAC licensed household apartments (20 net) and a Physical Therapy Inpatient and Outpatient Rehabilitation Center. The addition will allow the Health Center to provide each skilled nursing resident, both elderly long term care residents and short term rehabilitation patients with a private room during their stay at Attic Angel while also providing a solution for the demand of additional RCAC apartments for elderly residents and a new Therapy Center expansion. Attic Angel Place provides continuum of care services for elders including apartments with services, assisted living, memory care and skilled nursing.

B. Permitted Uses:

1. Those uses that are existing per the previously approved PUD submittals.
2. Those uses that are part of this building phase consisting of an additional 8 private skilled nursing units (no increase in number of beds) and a net additional 20 assisted household apartment units.
3. Uses accessory to existing approved uses and those uses listed above consisting of an inpatient/outpatient physical therapy center.

C. Lot Area: As stated on architectural plans, attached hereto.

D. Floor Area Ratio:

1. Maximum floor area ratio permitted shall be as shown on the approved plans.
2. Maximum building height shall be 4 stories as shown on approved plans.

E. Yard Requirements: Yard areas will be provided as shown on approved plans.

F. Landscaping: Site landscaping will be provided as shown on the approved plans.

G. Accessory Off-Street Parking & Loading: Accessory off-street parking and loading will be provided as shown on approved plans.

H. Lighting: Site lighting will be provided as shown on approved plans.

I. Signage: Signage will be allowed as per Chapter 31 of the Madison General Ordinances and as approved on the recorded plans.

J. Family Definition: The family definition of this PUD-GDP/SIP shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances for the R4 zoning district.

K. Alterations and Revisions: No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.