



City of Madison

Proposed Rezoning

Location
8133 Mansion Hill Avenue

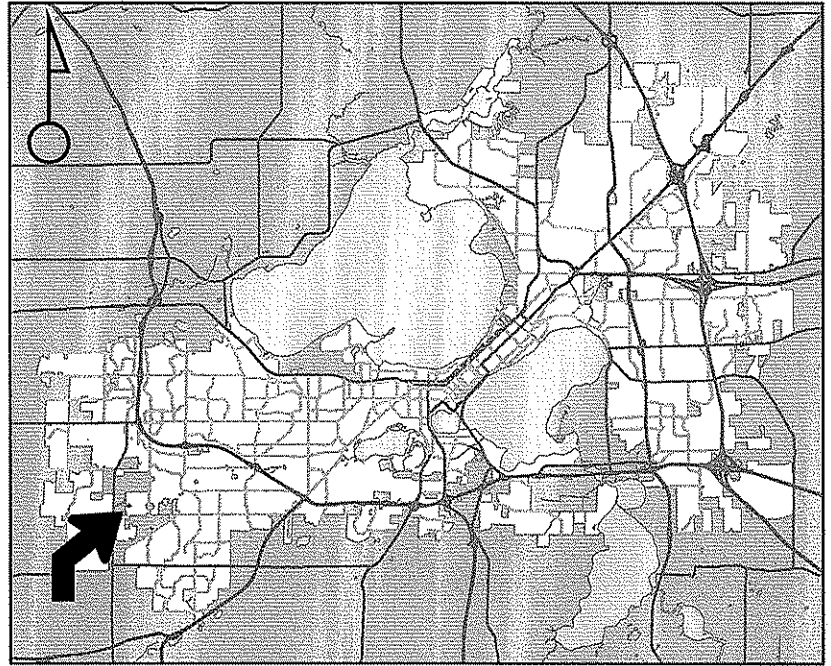
Applicant
WC Development/
Karyl Rice – Project Solutions, Inc.

From: PUD(GDP) To: PUD(SIP)

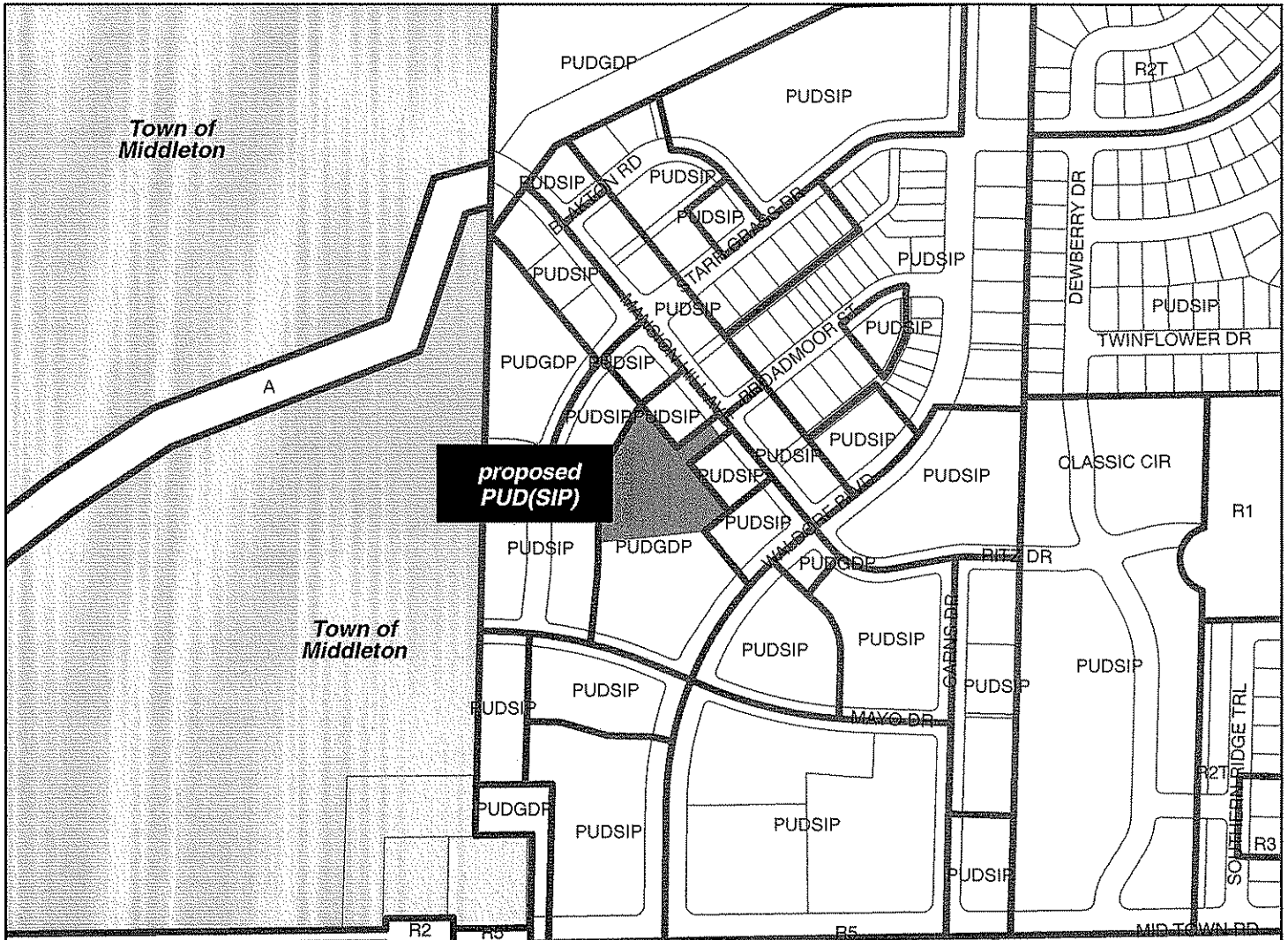
Existing Use
Vacant Land

Proposed Use
Construct Daycare Center

Public Hearing Date
Plan Commission
01 December 2008
Common Council
06 January 2009

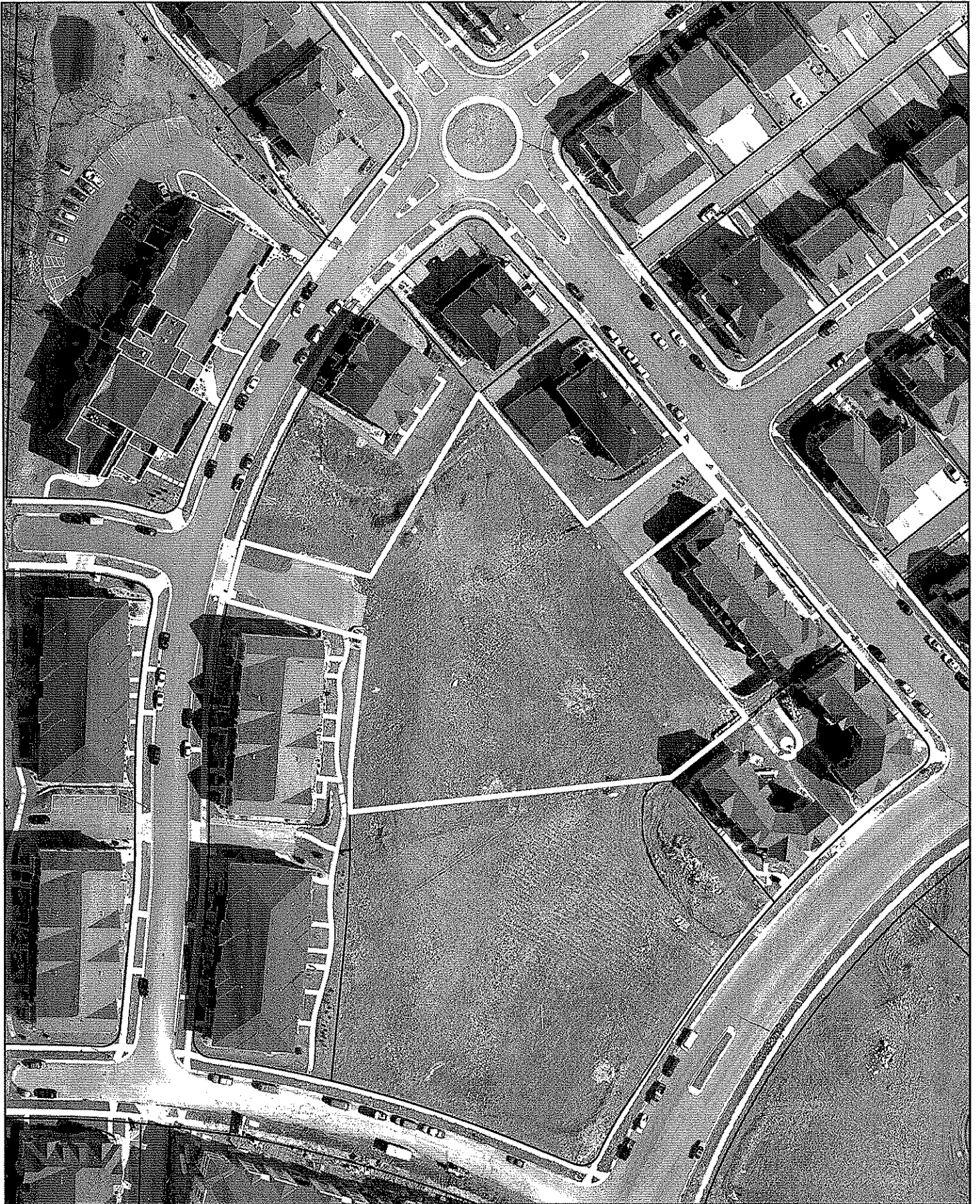


For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 18 November 2008



8

theARCHITECTS Ltd

September 25, 2008, October 22, 2008, November 12, 2008, **November 19, 2008**

Mr. Brad Murphy
Director of Planning and Development
City of Madison
215 Martin Luther King Jr. Blvd.
PO Box 2985
Madison, WI 53701

RE: Letter of Intent
Lot 87, Midtown Commons Plat
Madison, WI
SIP Submittal

Dear Mr. Murphy,
The following is submitted together with the plans, application, and zoning text for staff, Plan Commission and Common Council consideration of approval:

Organizational Structure:

Owner: L87, LLC
c/o Community By Design, Inc.
625 North Segoe Road
Madison, WI 53705
608.310.8133
Contact: Karyl Rice
rice@mailbag.com

Architect:
the **ARCHITECTS** Ltd
701 Ridge St.
Madison, WI 53705
Contact: Steve Rice
steve@thearchitectsltd.com

Engineer: Calkins Engineering LLC
David Glusick
5010 Voges Rd
Madison, WI 53718.
838-0444/ fax 838-0445
dglusick@calkinsengineering.com

Landscape Design: Kittleson Landscape, Inc.
Kirk Zimpel
10486 CTH ID
Blue Mounds, WI
437-8845
kzimpel@mhtc.net

Introduction and Project Description:

Midtown Commons is a 79-acre development on the north side of Midtown Road east of Highway M on the City's far west side. The development has been designed to create a Town Center within the larger Highpoint/Raymond neighborhood plan. A mix of uses and densities was planned including retail and office, residential, civic and institutional uses, parking and dedicated parkland. A PUD-GDP for this particular site was previously approved, which provided for a range of potential institutional type uses, including a daycare.

The proposed day care facility will be a one-story building containing approximately 10,650 s.f. The daycare will be operated by Prairie Life Learning Center, Lake Mills Wisconsin. The wood frame building, designed to blend into the existing neighborhood character, will care for not more than 163 children.

theARCHITECTS Ltd

Response to committees 10/22 comments:

The **signage** on the south side of the building is **withdrawn** pending an application for signage.

A cross section through the site will be presented at that time

Planting has been **increased** and more **native species** have been included, including playground shading. A bio retention basin will be planted at the North of the site. Spreading Euonymus, a hardy ground cover, will be utilized under trees in the islands. 11/19/08

Vinyl siding has been changed to **cementitious siding**.

Additional windows have been added to some classrooms and others have been moved to obtain **cross ventilation**.

Concrete **paving areas** will be provided for handicapped students in the **playground**.

~~An access from the park to the Daycare's sidewalk has been developed at the SE corner of the site.~~

Rotating the building toward the park, conflicted with the pedestrian and drop off access.

The SE parking against the curb has been made a **drop off area** and stalls widened to 10', the staff parking moved across the drive. The **sidewalk widths** have been increased to 7' to accommodate vehicle overhangs.

The 10 **bike racks** for twenty bikes will be "Sentry" model by Madrax.

~~The City Parks Department is contemplating our request to do some grading on their property to mitigate some of the issues caused by the stone wall and some misplaced utilities.~~

Parking lot **tree islands** have been added per the requirements. The parking total has been reduced to 47 as a result.

~~**Angular parking** was investigated and restricted the owner desired number of stalls and may have caused cars to circle the block until a stall opened up.~~

The **pedestrian access** from the NE has been made shorter and clearer by moving the walks on either side of the drive.

Response to the committees comments - second visit: Nov 12, 2008

The **bike parking** area has been redesigned to accommodate trailers and meets the committee's suggestion on North to South dimension.

The **stall sizes** have been modified to reflect the vehicle overhang and the walk width.

The **small sod triangles** East of the building and next to the walk have been eliminated.

A **grade change** in the playground area (bump) has been accommodated with consideration for drainage and the Owners expressed safety concerns.

The suggested future **handicapped access** to the future park was not furthered at a meeting with the Parks Department staff. Park access is possible by using existing city street sidewalks. 11/19/08

theARCHITECTS Ltd

Site Development Data

The previous SIP submittal for the neighboring housing units can be reviewed in the April 2, 2008 Letter of Intent. To refine the suggested Daycare Center, we submit a site plan of 63,227 square feet which contains the following.

- The parking consists of 25 stalls for staff and 22 for parent/visitors. One parking stall per 190 sqft of building approximately. Lot coverage with building and parking is 45 percent.
- Space for twenty bikes has been designated for the occupants use for a ratio of .8 stall per staff.
- A playground with significant mulch areas and the balance of sod is provided at 9,350 sq ft.
- A retention basin shown on the grading plan will assist in keeping silt and chemical runoff from entering the storm system and consequentially the lakes.

Site and Building Architecture

The surrounding residential buildings are a combination of 2 and 3 story simulated stone and vinyl siding. This infill project aims, with its siding and low asphalt roof, for a more single family residential feel to assuage small fears. With the larger overhangs, cementitious siding and face brick, Prairie Life aspires to be the neighborhood institution. The light from the upper windows over the central space will serve as a beacon and a location element as well as a daylighting feature.

Project Schedule

The developer intends to start construction in October or November of this year and complete the project by June of 2009.

Social and Economic Impact:

The construction of a daycare will have a positive social and economic impact. There is a high demand for a quality daycare in this booming area.

Hours of operation will be from 6am to 6pm

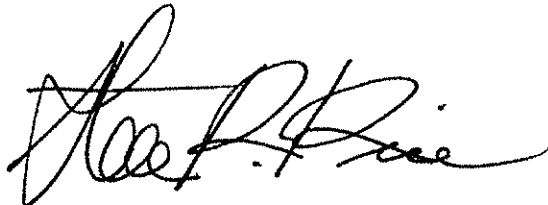
Hours of operation of the outdoor **playground** are from **8am to 5pm**

Peak times for **drop off / pickup** will be approximately **6am to 9am / 11am to 1pm / 3pm to 6pm**

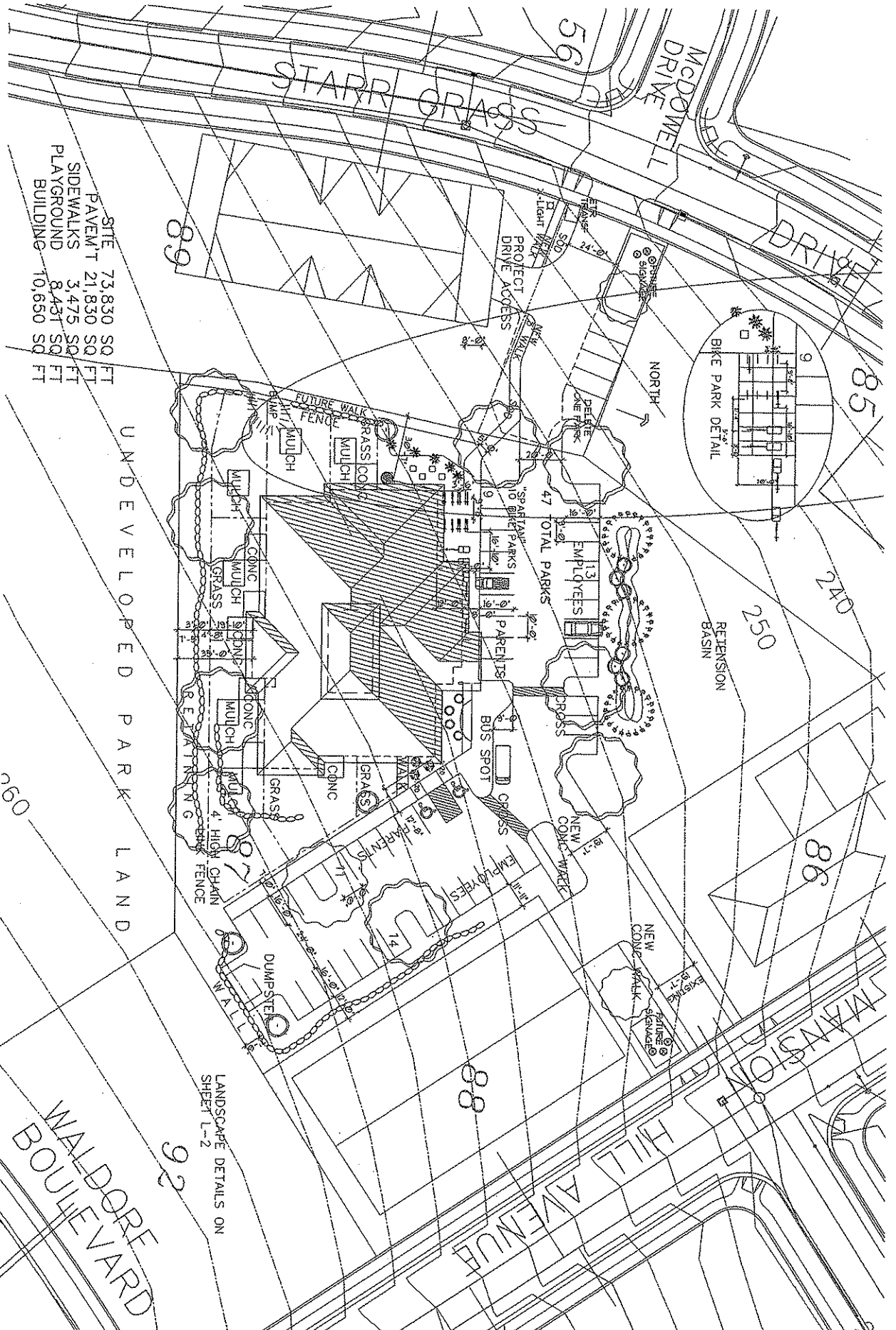
In operating similar sized facilities for years, the Operator has rarely witnessed 20 cars present at one time.

Please review the attached proposal and contact me with any questions or comments.

Respectfully,
theARCHITECTS Ltd



Steven R. Rice
architect.ceo



SITE 73,830 SQ FT
 PAVEMENT 21,830 SQ FT
 SIDEWALKS 3,475 SQ FT
 PLAYGROUND 8,431 SQ FT
 BUILDING 10,650 SQ FT

UNDEVELOPED PARK LAND

LANDSCAPE DETAILS ON SHEET L-2

WALDORE BOULEVARD

DATE 11/20/08
 JOB NO. 115208
 SHEET L-1

Site Plan
 SCALE: 1" = 20' - 0"

Midtown Commons Daycare
 Lot 87
 8133 Manston Hill Avenue
 Madison Wisconsin 53711

Owner: L87, LLC.
 625 North Segoe Road
 Suite 101
 Madison Wisconsin 53705

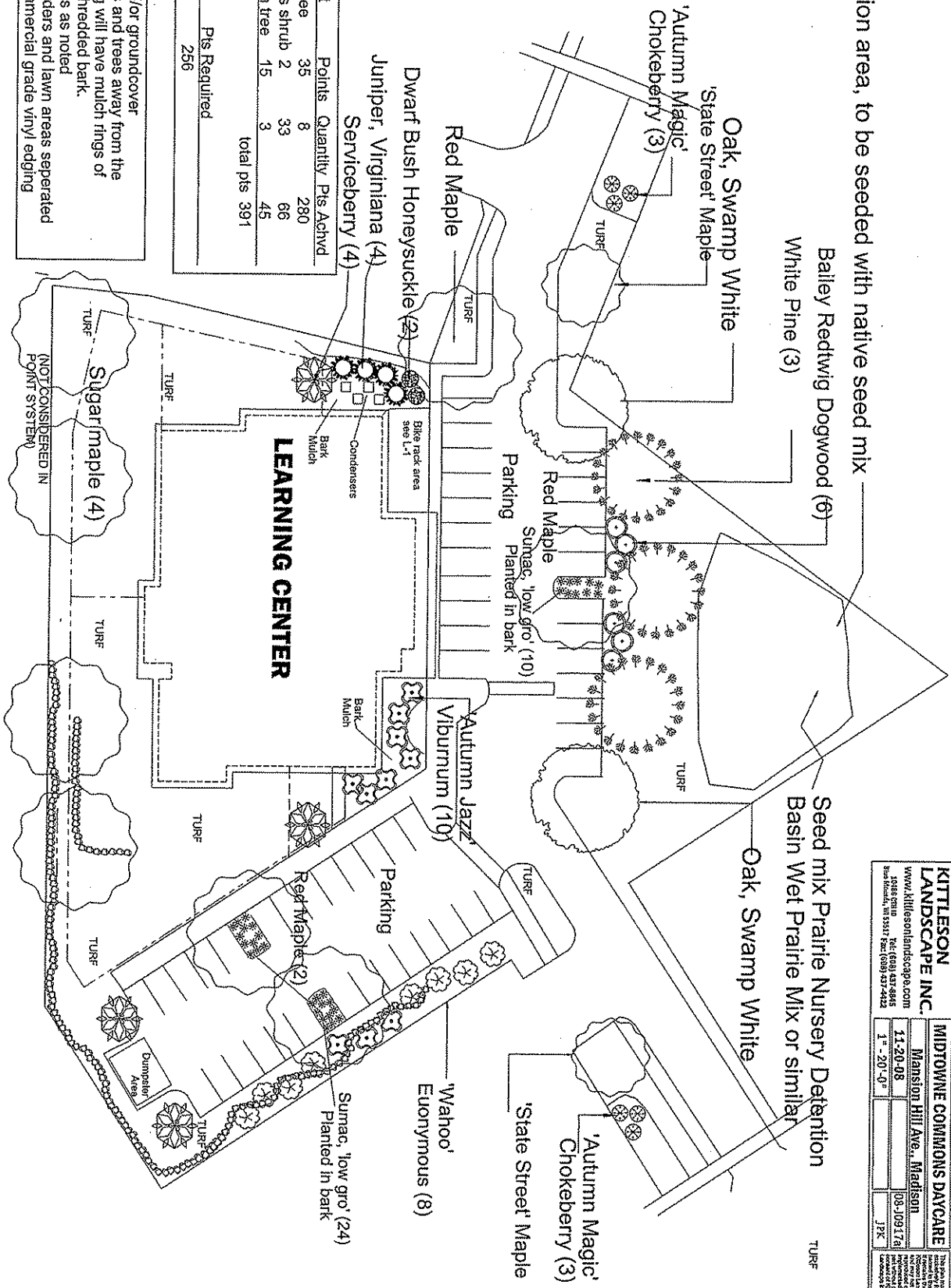


701 746-6242 madison.wi.53705
 5025

Bioretention area, to be seeded with native seed mix

Bailey Redtwig Dogwood (6)
White Pine (3)

Seed mix Prairie Nursery Detention
Basin Wet Prairie Mix or similar



Element	Points	Quantity	Pts Achvd
Canopy tree	35	8	280
Deciduous shrub	2	33	66
Evergreen tree	15	3	45
			total pts 391

Mulch and/or groundcover
-All plants and trees away from the building will have mulch rings of twice shredded bark.
-Bark beds as noted
-Plant borders and lawn areas separated by Commercial grade vinyl edging

LEARNING CENTER

KITTLESON LANDSCAPE INC.
www.kittlesonlandscape.com
KILLS PRIN 761.659.4324
Madison, WI 53712 Fax: (608) 537-4422

MIDTOWNE COMMONS DAYCARE
Mansion Hill Ave., Madison
11.29.08
1 - 20'-0"

JKR

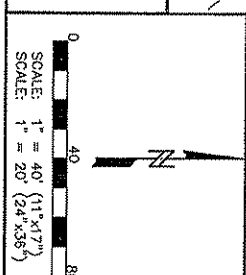
D A T E
11.29.08
JOB NO.
5104
SHEET
L-2

Landscape Plan
SCALE: 1" = 30' - 0"

Midtowne Commons Daycare
Lot 87
8133 Mansion Hill Avenue
Madison Wisconsin 53711

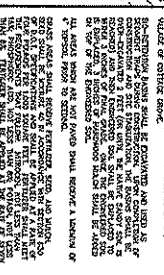
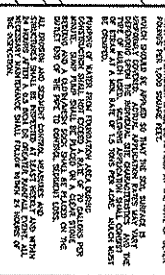
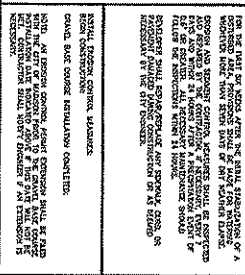
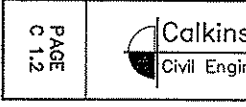
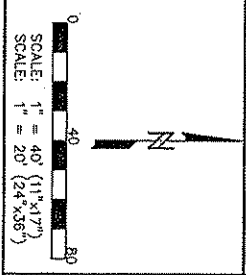
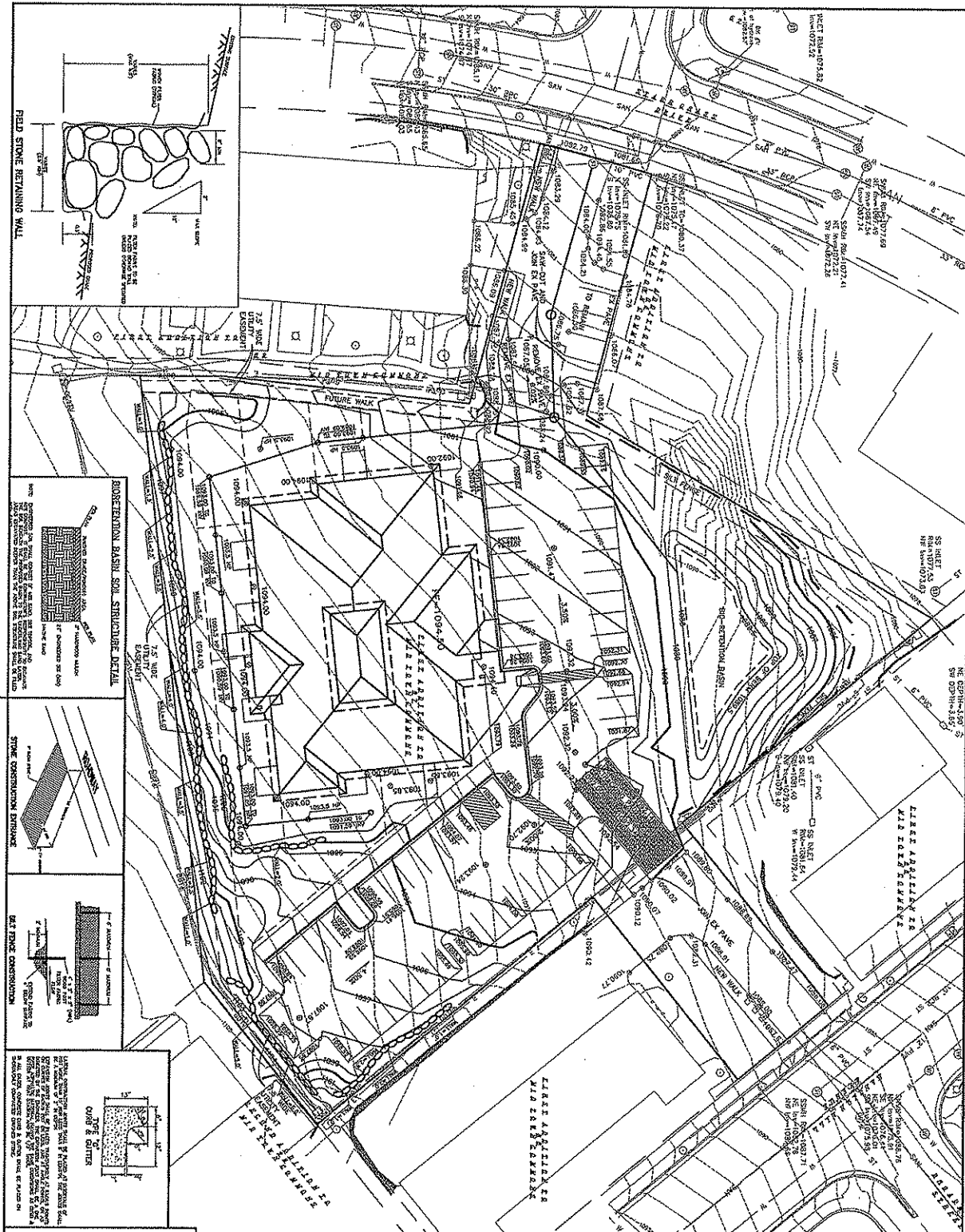
Owner: L87, LLC.
825 North Segoe Road
Suite 101
Madison Wisconsin 53705

2008
800.253.6363



DATE: 09-20-06
REVISION:

8



GENERAL NOTES:
 1. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 2. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 3. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 4. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 5. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 6. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 7. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 8. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 9. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.
 10. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GRADING REGULATIONS AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) GRADING MANUAL.

LEGEND:

- 900.00 = PROPOSED SPOT ELEVATION
- 900.0 = EXISTING SPOT ELEVATION
- RETAINING WALL
- STONE CONSTRUCTION DETAIL
- SET FENCE
- DIRECTION OF FLOW

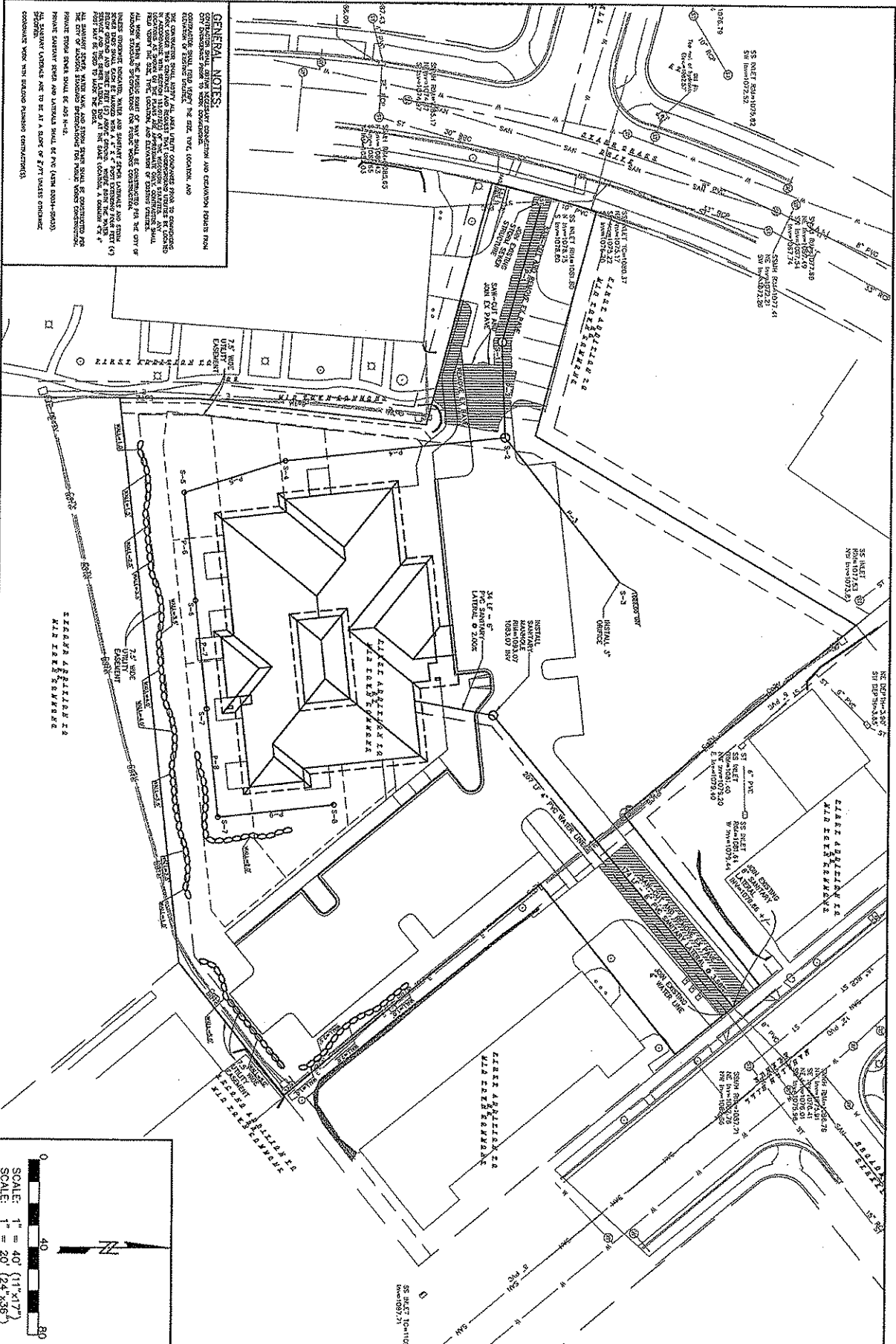
SCALE: 1" = 40' (11"x17")
 SCALE: 1" = 20' (24"x36")

**PRAIRIE LIFE LEARNING CENTER
 ALTERNATE 4 GRADING PLAN**

DATE: 04-20-08
 REVISIONS:
 10-20-08
 11-11-08

Calkins Engineering, LLC
 3000 Wood Road
 Madison, WI 53718
 (608) 830-0444

PAGE C 1.2



GENERAL NOTES:

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) SPECIFICATIONS FOR THE DESIGN, LOCATION AND CONSTRUCTION OF SEWERAGE SYSTEMS.

THE CONTRACTOR SHALL VERIFY ALL DATA AND UTILITY LOCATIONS FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) AND THE ILLINOIS STATE BOARD OF WATER CONTROL (ISBC) PRIOR TO CONSTRUCTION.

ALL UTILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED PER THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) SPECIFICATIONS FOR THE DESIGN, LOCATION AND CONSTRUCTION OF SEWERAGE SYSTEMS.

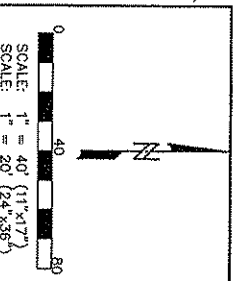
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) AND THE ILLINOIS STATE BOARD OF WATER CONTROL (ISBC) PRIOR TO CONSTRUCTION.

ALL UTILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED PER THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) SPECIFICATIONS FOR THE DESIGN, LOCATION AND CONSTRUCTION OF SEWERAGE SYSTEMS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) AND THE ILLINOIS STATE BOARD OF WATER CONTROL (ISBC) PRIOR TO CONSTRUCTION.

ALL UTILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED PER THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) SPECIFICATIONS FOR THE DESIGN, LOCATION AND CONSTRUCTION OF SEWERAGE SYSTEMS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING (DPW&E) AND THE ILLINOIS STATE BOARD OF WATER CONTROL (ISBC) PRIOR TO CONSTRUCTION.



PAGE
C 1.3

Calkins Engineering, LLC
Civil Engineers & Land Surveyors

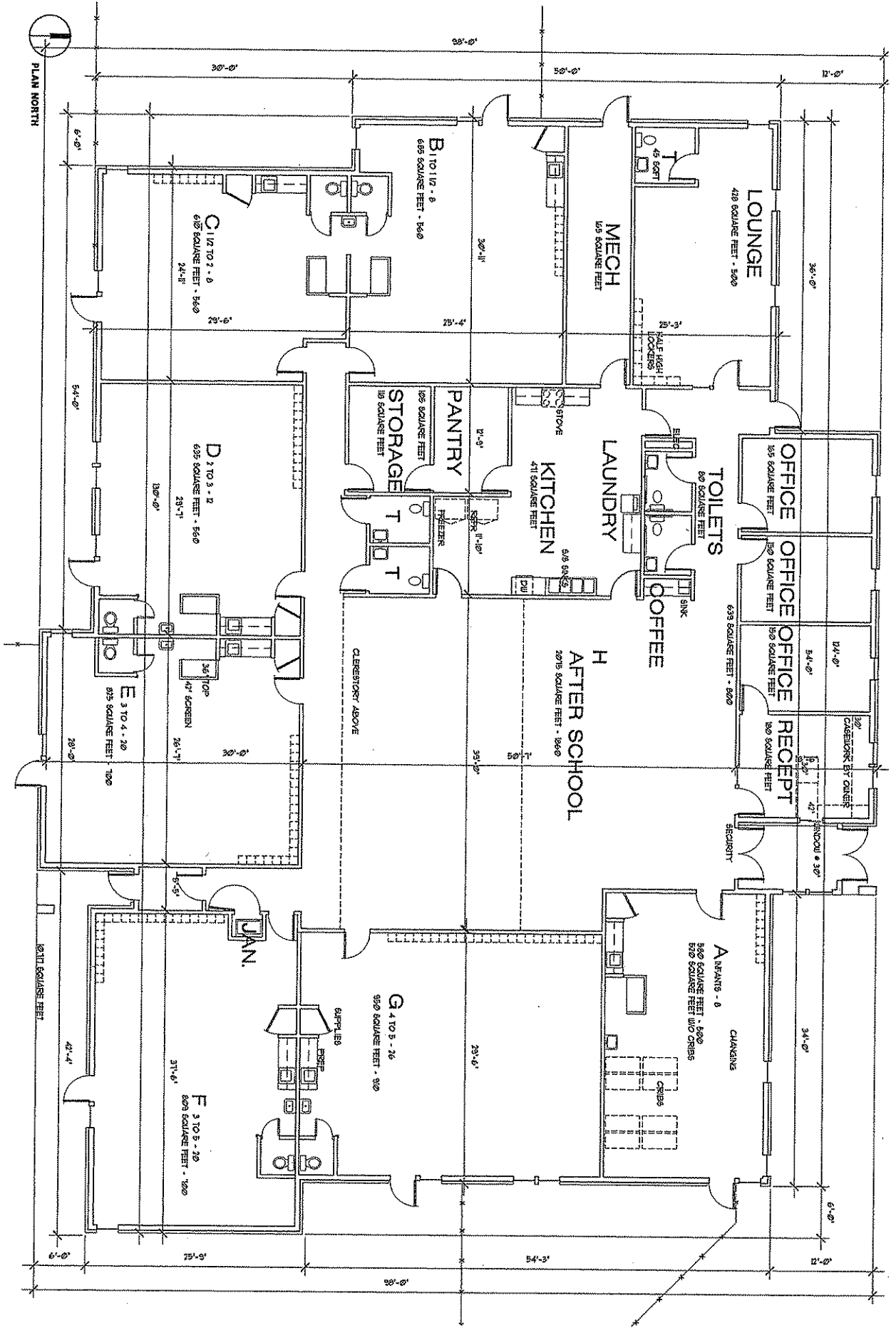
**PRAIRIE LIFE LEARNING CENTER
UTILITY PLAN**

DATE: 09-20-08
REVISIONS:
10-20-08
11-11-08
11-20-08

Calkins Engineering, LLC
5500 York Road
Morton, IL 62570
(608) 838-0444

DR: R024 DRAWING NAME: P:\PROJECTS\10-01\PLANES

8



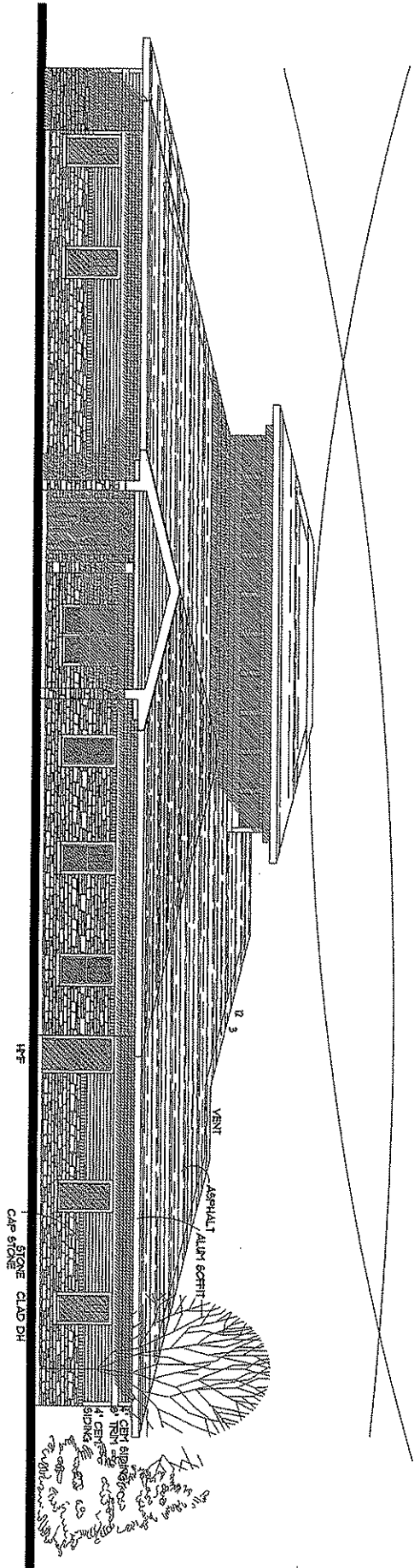
DATE
10.26.08
JOB NO.
SHEET
A-1

Floor Plan
SCALE: 1" = 10' - 0"

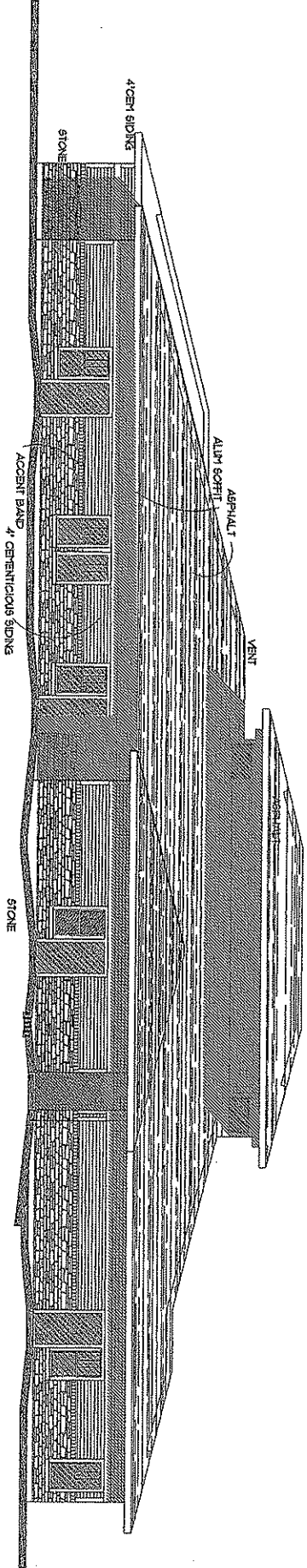
Midtowne Commons Daycare
Lot 87
8133 Manson Hill Avenue
Madison Wisconsin 53711

Owner: L87, LLC.
625 North Segoe Road
Suite 101
Madison Wisconsin 53705

FRONT ELEVATION



REAR ELEVATION



DATE
10.28.08
JOB NO.
SHEET
A-3

Elevation
SCALE: 1" = 10' - 0"

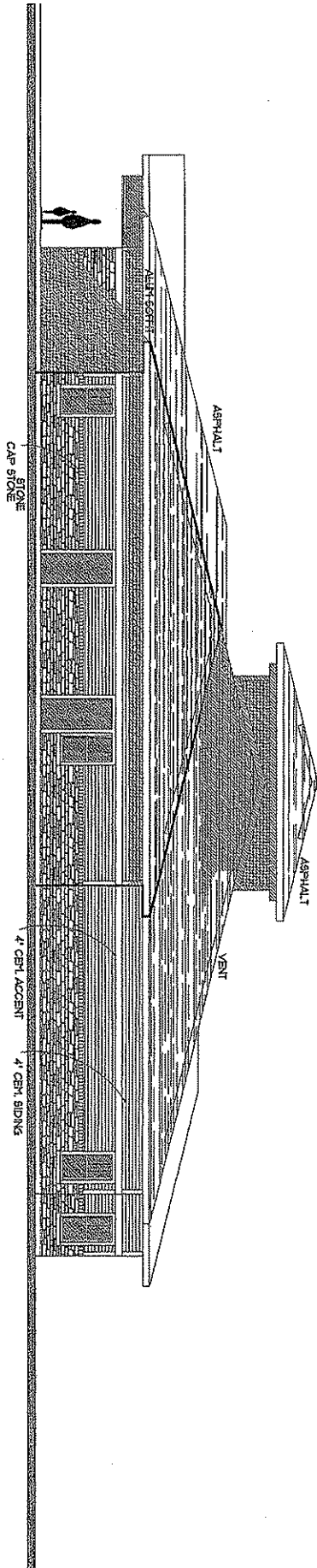
Midtowne Commons Daycare
Lot 87
5133 Mansion Hill Avenue
Madison Wisconsin 53711

Owner: L87, LLC.
625 North Segoe Road
Suite 101
Madison Wisconsin 53705

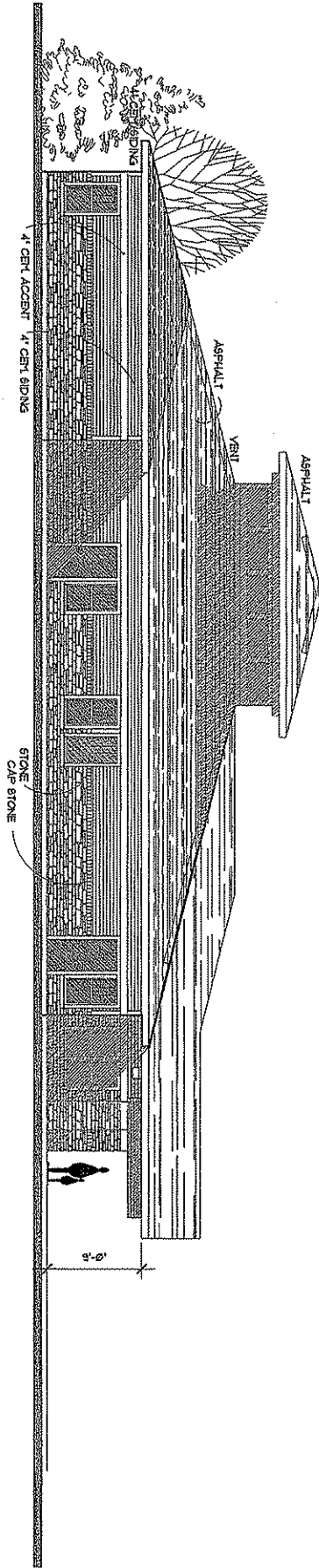


8

RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



DATE
10.3.08
JOB NO.
101
SHEET
A-4

Side Elevation
SCALE: 1" = 10' - 0"

Midtown Commons Daycare
Lot 67
8133 Menalon Hill Avenue
Madison Wisconsin 53711

Owner: L87, LLC.
625 North Segoe Road
Suite 101
Madison Wisconsin 53705

