

231 S Pinckney St – Block 105
Contract: 9077
Project: 13804
Developer: MDI Judge Doyle Square Hotel, LLC

Summary of Improvements:

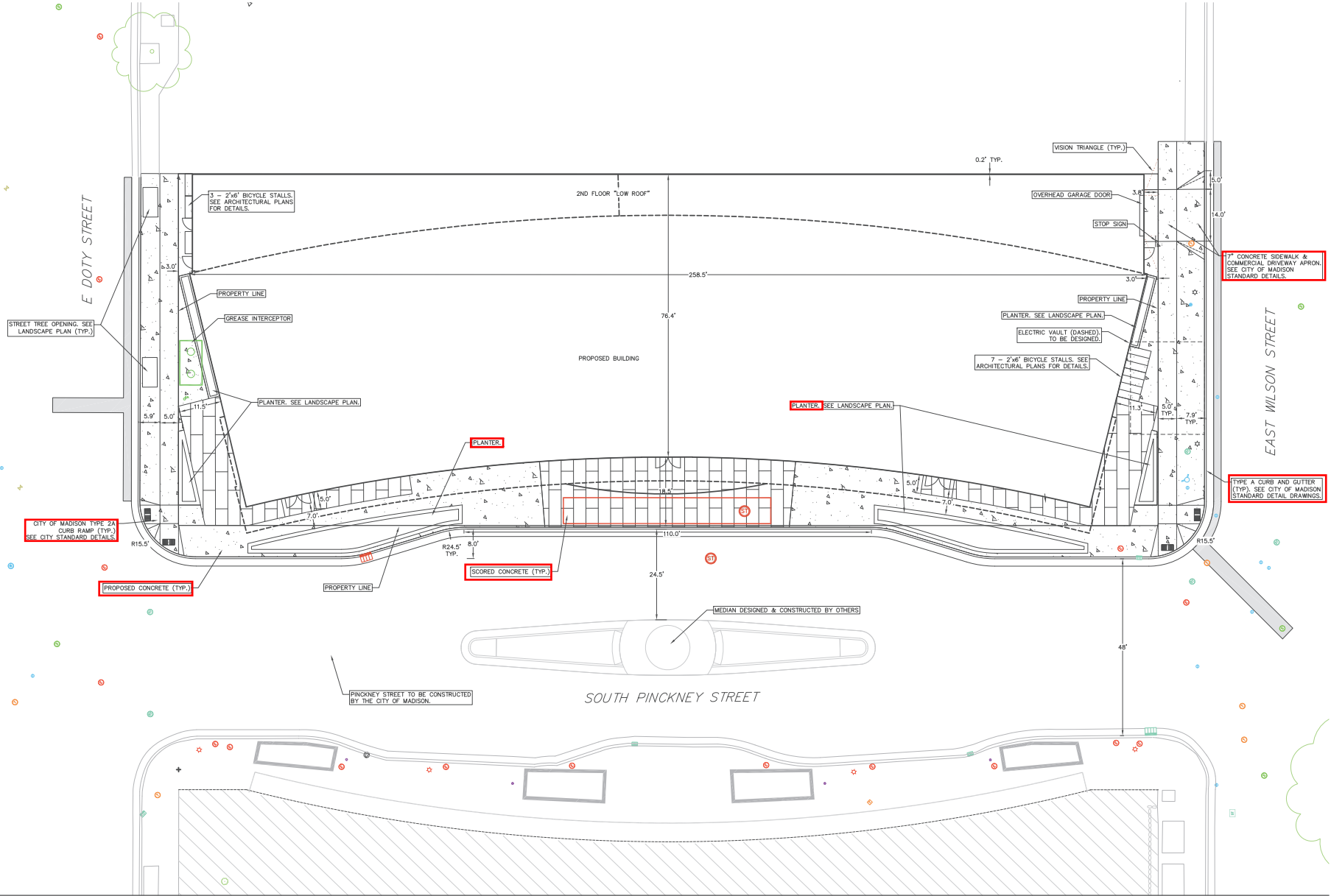
- Provide new sidewalk easement via proposed CSM.
- Construct new driveway entrance on E Wilson Street
- Reconstruct sidewalk adjacent to project on E Doty St, S Pinckney St, and E Wilson St.
- Construct private sanitary, storm, and water service laterals to serve the development.
- Salvage and/or construct storm sewer curb inlet and storm pipe on S Pinckney St.
- Trees and tree grates as required by the City Forester.
- Signing, marking and lighting as required by the City Traffic Engineer.
- Maintenance Agreement required for proposed planters, decorative sidewalk and all other nonstandard improvements in the City right of way and sidewalk easement.
- The City will reconstruct E Doty St, S Pinckney St, and E Wilson St with a future Public Works Project.

PARKING LOT SITE INFORMATION BLOCK
 SITE ADDRESS: 231 S. PINKNEY ST.
 SITE ACRES: (TOTAL), 0.59 ACRES
 NUMBER OF BUILDING STORES (ABOVE GRADE): 9 STORES
 BUILDING HEIGHT: 100'-0"
 DLHR TYPE OF CONSTRUCTION (NEW STRUCTURES): B
 USE OF PROPERTY: HOTEL WITH APPROXIMATELY 260 GUESTROOMS.
 GROSS SQUARE FEET OF BUILDING: 100,000 SF
 GROSS SQUARE FEET OF RETAIL AREA: N/A
 NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
 CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY: 300 TOTAL
 NUMBER OF BICYCLE STALLS SHOWN: 10 EXTERIOR, 16 INTERIOR
 NUMBER OF PARKING STALLS: ALL REQUIRED VEHICLE PARKING IS OFF SITE.
 NUMBER OF TREES SHOWN: SEE LANDSCAPE PLAN.

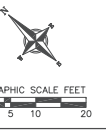
SITE PLAN LEGEND

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	DECORATIVE CONCRETE
	PROPOSED SIGN
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED ADA DETECTABLE WARNING FIELD

- SITE PLAN NOTES**
1. SITE PLAN SUBJECT TO CHANGE FOLLOWING TOPOGRAPHIC SURVEY.
 2. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
 3. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
 4. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
 5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



NOT FOR CONSTRUCTION



BID SET SUBMITTAL
SCOPE DOCUMENTS
 Drawing Date: 08/02/2021
JUDGE DOYLE SQUARE - SECTION 3 - BLOCK 105
 231 S. Pinkney Street
 Project No. 220033.00
 Project Number 000123
 Sheet Title: **SITE PLAN**
 Copyright © 2021 Kahler Slater, Inc. All rights reserved.
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 111 West Wisconsin Avenue, Madison, Wisconsin 53703
 Telephone 414.272.2000 Fax 414.272.2001
 722 W. Main Street, Madison, Wisconsin 53703
 Telephone 608.261.0300 Fax 608.261.0317
 Sheet No. **C300**

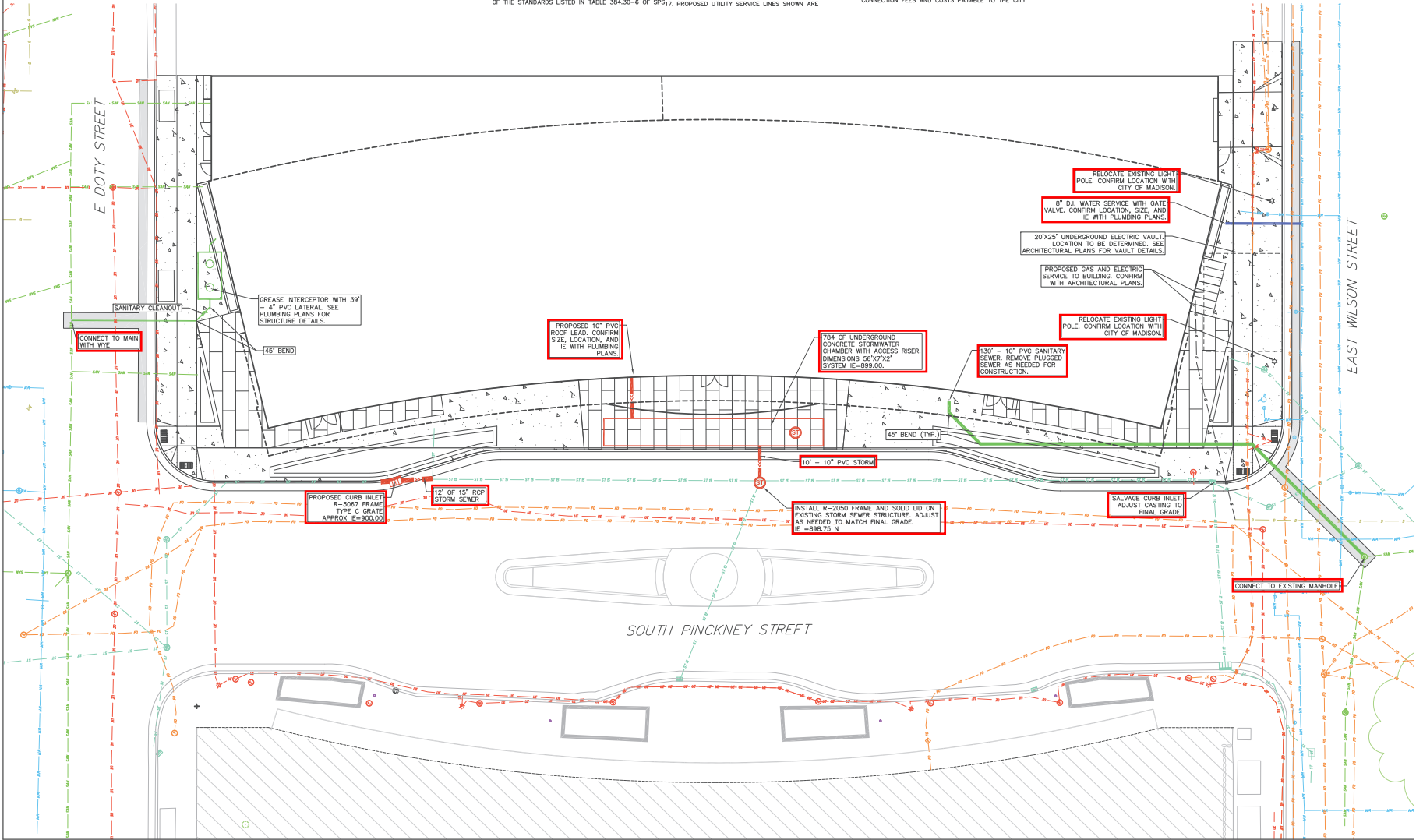
- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER ENDWALL
 - STORM SEWER CURB INLET
 - STORM SEWER CURB INLET W/MANHOLE
 - STORM SEWER FIELD INLET
 - ROOF DRAIN CLEANOUT
 - SANITARY SEWER PIPE (GRAVITY)
 - SANITARY SEWER PIPE (FORCE MAIN)
 - SANITARY SEWER LATERAL PIPE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER MAIN
 - WATER SERVICE LATERAL PIPE
 - FIRE HYDRANT
 - WATER VALVE
 - CURB STOP
 - WATER VALVE MANHOLE
 - PROPOSED PIPE INSULATION
 - GAS MAIN
 - ELECTRIC SERVICE

ABBREVIATIONS

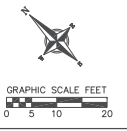
SM	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
SB	SIGNAL BASIN
SM	SANITARY MANHOLE

- UTILITY NOTES:**
- UTILITY DESIGN IS SUBJECT TO CHANGE FOLLOWING SURVEY OF THE SITE.
 - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
 - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - FOR ALL SEWER AND WATER MAIN CROSSINGS PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
 - IF DEWATERING OPERATIONS EXCEED TO GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-9 OF SPS 384.30(3)(c).
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(3)(c).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(b) AND SPS 382.40(9)(c).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(9)(c).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND RISE/ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITH THESE PLANS.
 - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-9 OF SPS 384.30(3)(c).

- APPROXIMATE, COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- FOR WATER SERVICES AND HYDRANT LEADS, ALL MECHANICAL JOINTS TO BE RESTRAINED WITH MEGALUG 1100 OR APPROVED EQUAL. PIPE JOINTS TO BE RESTRAINED AS INDICATED WITH MEGALUG 1100 HARNESS OR APPROVED EQUAL.
- CONNECTIONS TO EXISTING WATER MAIN TO BE BY LIVE TAPPING. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES AND COSTS PAYABLE TO THE CITY OF MADISON FOR LIVE TAPPING, AND ALL OTHER WORK AND COSTS ASSOCIATED WITH LIVE TAPPING.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.



NOT FOR CONSTRUCTION



Revisions

BID SET SUBMITTAL
SCOPE DOCUMENTS
 Drawing Date: 08/02/2021
JUDGE DOYLE SQUARE - SECTION 3 - BLOCK 105
 231 S. Pinckney Street
 Project No. 200033.00
 Project Number 001123
 Short Title: **UTILITY PLAN**

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 Sheet No. **C500**

9-1-21

PLANT SCHEDULE

NEW STREET TREES	BOTANICAL / COMMON NAME	ROOT COOD.	SIZE	QTY
ca	Castanopsis / Common Honeylocust	B & B	2.5" Cal	2
sh	Shorea robusta / Common Honeylocust	B & B	2" Cal	2

PLANTING	BOTANICAL / COMMON NAME	ROOT COOD.	SIZE	QTY
pr	Prunella / 2" cal Princeton Sentry Ginkgo	Cor.	1.5" Cal	32
st	Styrax / 2" cal Street Keeper Honeylocust	Cor.	1.5" Cal	32
ne	Nerium / 2" cal New Horizon Elm	Cor.	1.5" Cal	32
ca	Castanopsis / Common Honeylocust	Cor.	1.5" Cal	26
sh	Shorea robusta / Common Honeylocust	Cor.	1.5" Cal	26
pr	Prunella / 2" cal Princeton Sentry Ginkgo	Cor.	1.5" Cal	13
st	Styrax / 2" cal Street Keeper Honeylocust	Cor.	1.5" Cal	13
ne	Nerium / 2" cal New Horizon Elm	Cor.	1.5" Cal	13

City of Madison Landscape Worksheet

Address:	Project Name/Block ID#	Date:	08.06.21
Total Square Footage of Developed Area:	25,137	Site Area:	20,074
Total Landscape Points Required (L.S. #):	5053	Points at Grade:	5053
Landscape Points Required (S.S. #):	0	Points at Grade:	5053

Plant Type/Element	Min. Dist at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35	0	0	0	0
Tall Evergreen Tree	5.6 feet tall	35	0	0	0	0
Overstory tree	1.5" cal	15	0	30	30	30
Overstory evergreen shrub	1.4 feet tall	10	0	0	0	0
Shrub, deciduous	1.5 gallon container min. Min. 12" dia	3	0	0	0	0
Shrub, evergreen	1.5 gallon container min. Min. 12" dia	2	0	0	0	0
Ornamental grass/groundcover	1.5 gallon container min. Min. 8" dia	4	0	183	356	356
Ornamental/Decorative fencing wall	n/a	4 per 10 LF	0	0	0	0
Rating sign/cant sign/meter box	14 per 100 sq ft	14 per 100 sq ft	0	0	0	0
Landscape Furniture for public seating or for transit connections	5 points per "seat"	5 points per "seat"	0	0	0	0
S&S Totals			0	356	356	356
		Total Points Provided:	356			

PLANT MATERIAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under domestic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request any plant material substitutions due to availability issues.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.

LANDSCAPE MATERIAL NOTES:

- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 021211 of the Standard Specifications for Highway Construction. Provide a minimum of 18" of topsoil in all planting areas and 4" of topsoil in areas to be seeded/grassed.
- Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min.

CITY OF MADISON FORESTRY NOTES:

- Contractor shall contact City Forestry (608) 266-4814 at least one week prior to street tree planting to schedule inspection and approval of nursery tree stock and review planting specifications with the landscape architect.
- Contractor shall use a street tree removal permit for trees (10" dia) removed from along city streets for soil retention.
- Contractor shall contact City Forestry no later than five business days prior to forming concrete and conducting tree grate sites to identify and locate underground conflicts (utilities, vaults, conduits) or other underground obstructions and determine grate locations. Tree grate type: Heenah 4/8 (R-881-2-A). Tree guard Heenah (R-820-40-B).
- Contractor shall contact City Forestry to schedule delivery of salvaged tree grates to City Forestry facility.

Delete notes # 2 + 4.

GREEN ROOF AREAS

FINISH	DESCRIPTION	AREA
Grid	PER-VEGETATED GREEN ROOF TRAYS - 4" DEPTH	2,349 sf

2" cal Princeton Sentry Ginkgo

2" cal Street Keeper Honeylocust

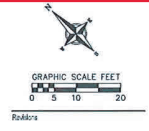
2" cal New Horizon Elm

2" cal New Horizon Elm

Add tree grate site and 2" cal Princeton Sentry Ginkgo if possible.

Adjustments may be needed to the tree location and/or streetlight location to make tree grate fit.

NOT FOR CONSTRUCTION



BID SET SUBMITTAL

SCOPE DOCUMENTS

Drawing Date: 05/20/21

JUDGE DOYLE SQUARE - SECTION 3 - BLOCK 105

211 S. Pinckney Street

Project No.: 22003.00
 Project Number: 000123

Sheet Title:
LANDSCAPE PLAN

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Sheet Title:
L100