



Location

5010 Lake Mendota Drive

Project Name

Price Demo and Construct

Applicant

Roderick Price / Jason Franzen, Hart Denoble Builders

Existing Use

Single Family Home

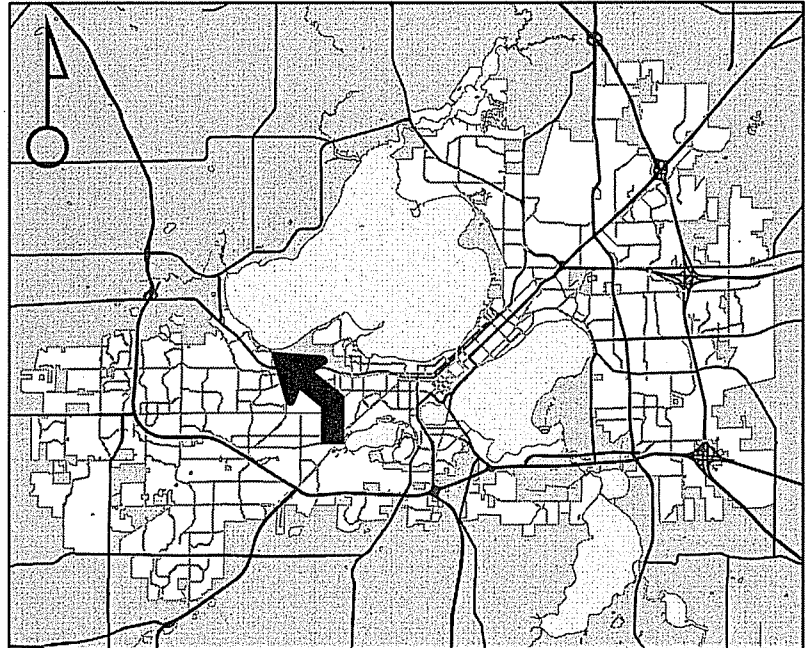
Proposed Use

Demolish single-family residence and construct new residence on lakefront parcel

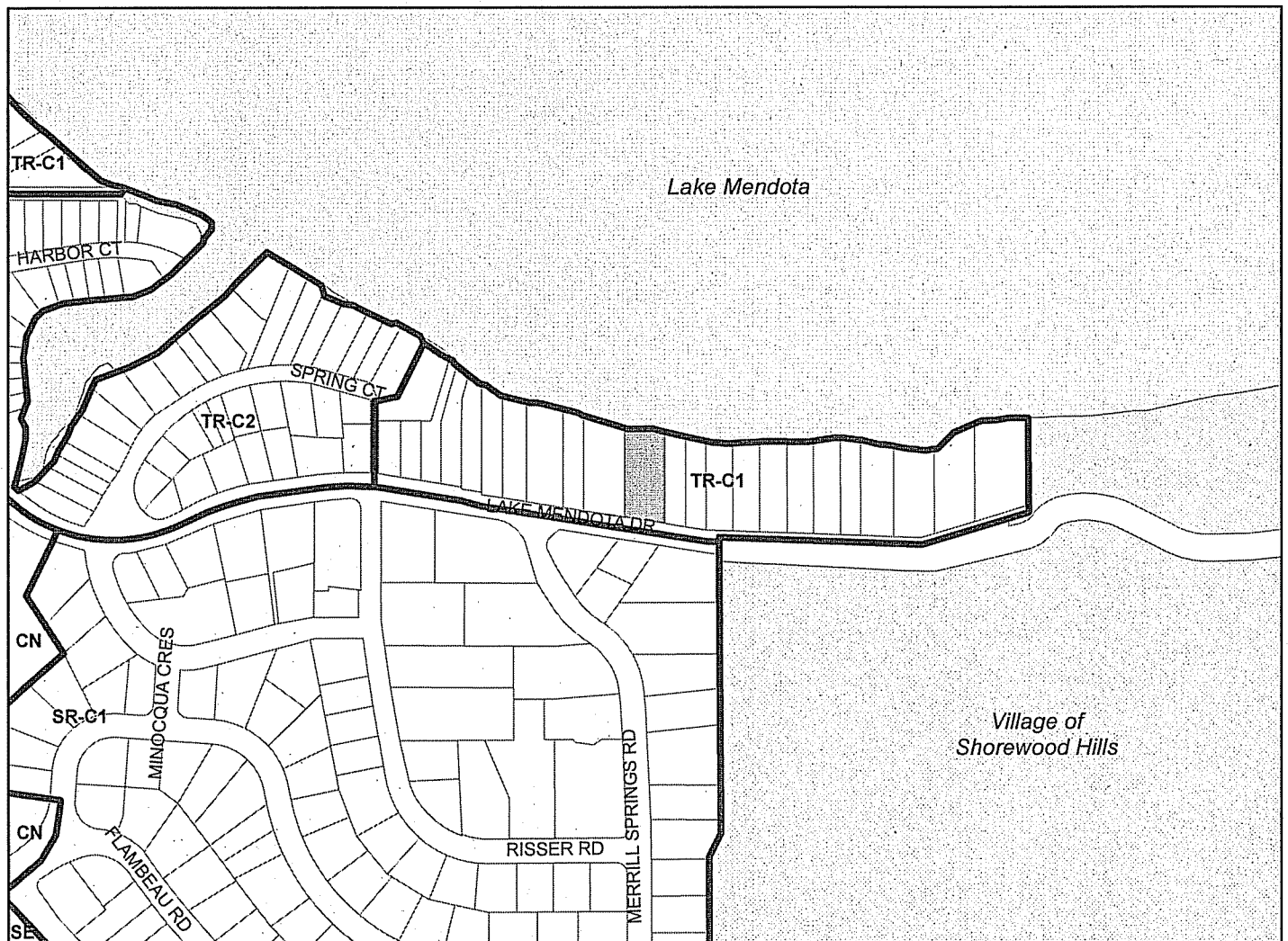
Public Hearing Date

Plan Commission

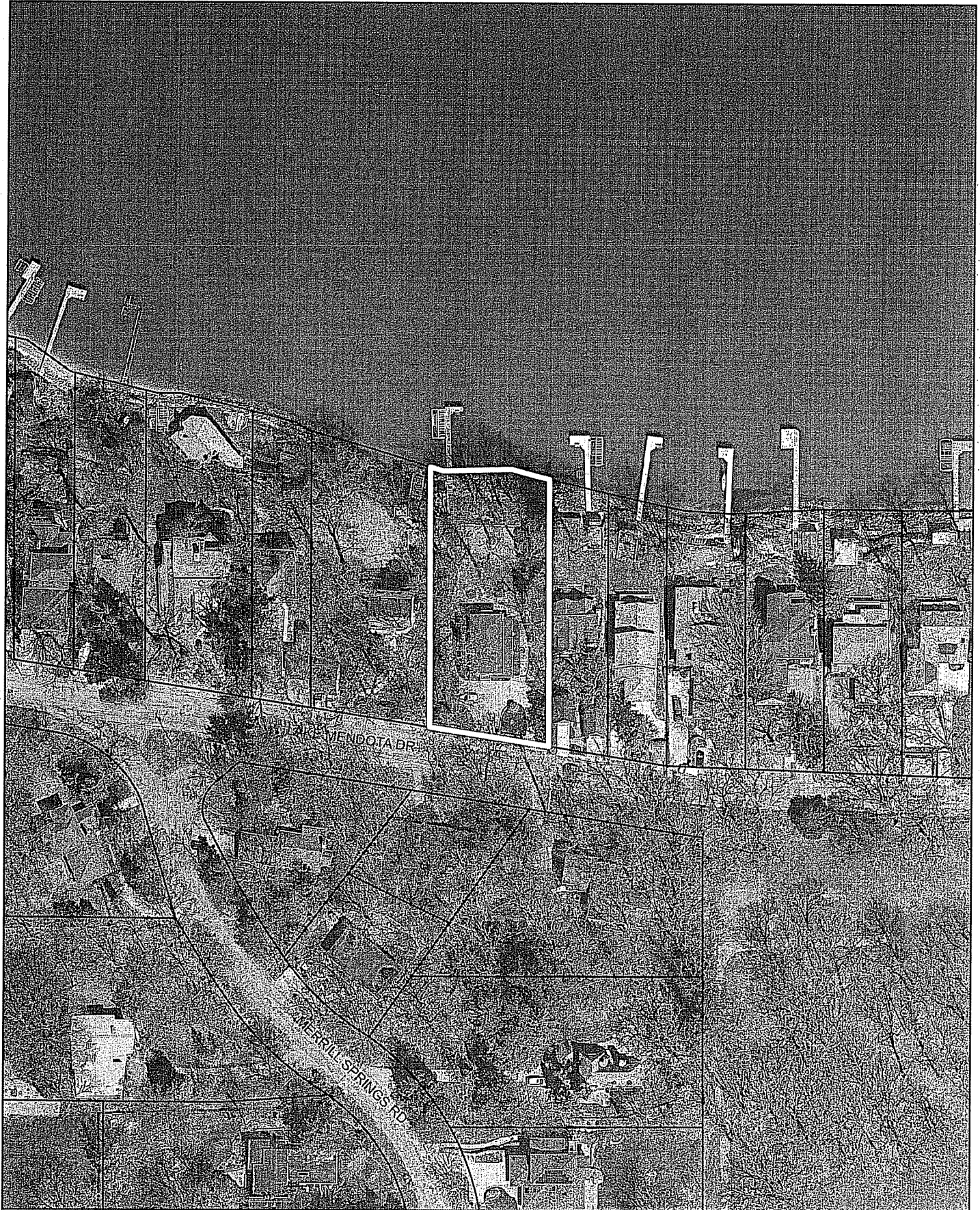
6 November 2017



For Questions Contact: Chris Wells at: 261-9135 or cwells@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'



LAND USE APPLICATION

LND-B

City of Madison
 Planning Division
 126 S. Hamilton St.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635



FOR OFFICE USE ONLY:

Paid 600- Receipt # 035186-0004
 Date received 9/20/17
 Received by MSF
 Parcel # 0709-184-0134-3
 Aldermanic district 19-CLEAR
 Zoning district TR-C1
 Special requirements EXCU; FLOODPLAIN, W/P
 Review required by _____
 UDC PC
 Common Council Other _____
 Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 5010 LAKE MENAOTA DRIVE
 Title: PRICE RESIDENCE

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from _____ to _____
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name RODERICK PRICE Company _____
Street address 5010 LAKE MENAOTA DR. City/State/Zip MADISON, WI 53705
Telephone 239-989-5305 Email PRICE.RODERICK@GMAIL.COM
Project contact person JASON FRANZEN Company HART DENOBLE BUILDERS, INC.
Street address 7923 AIRPORT RD. City/State/Zip MIDDLETON, WI 53562
Telephone 608-831-4422 Email JFRANZEN@DENOBLEBUILDERS.COM
Property owner (if not applicant) _____
 Street address _____ City/State/Zip _____
 Telephone _____ Email _____

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

RAZE EXISTING HOME AND CONSTRUCT A NEW SINGLE FAMILY RESIDENCE

Scheduled start date AS SOON AS APPROVED/ PERMITTED Planned completion date TBD-BY START DATE

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Filing fee 600
- Land Use Application
- Letter of intent
- Legal description
- Pre-application notification
- Vicinity map
- Survey or existing conditions site plan
- Development plans
- Land Use Application Checklist (LND-C)
- Supplemental Requirements
- Electronic Submittal*

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to papplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udcapplications@cityofmadison.com.

6. Applicant Declarations

Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff MR. CHRIS WELLS, MS. SYDNEY PRUSAK Date 9-18-17

Zoning staff MS. JENNY KIRCHGATTER Date 9-18-17

Demolition Listserv

Public subsidy is being requested (indicate in letter of intent)

Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices:

ALDER MARK CLEAR WAS NOTIFIED VIA EMAIL ON 9/8/17
HOMEOWNER EMAIL EXCHANGE WITH HOMEOWNER ASSOCIATION 8/6/17

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Roderick C Price Relationship to property Owner

Authorizing signature of property owner Roderick C. Price Date 9-19-17

September 19, 2017

City of Madison Plan Commission
210 Martin Luther King, Jr. Blvd.
Madison, WI 53710

RE: Letter of Intent for Demolition Permit, new home construction at 5010 Lake Mendota Drive.

Dear Plan Commission Members:

This submittal is for a demolition permit of existing residence and construction of a new residence for the property located at 5010 Lake Mendota Drive in the City of Madison. The existing boathouse would have a new façade applied to blend with the new home construction. The parcel is currently occupied by a residential dwelling and detached garage. The planned new dwelling is a 5-bedroom home, with an attached two car garage. The home sits on a double lot.

Existing Conditions:

The current dwelling is a home that was constructed in 1927, per the City's records. The current home based off of when it was built, is not up to code in many areas including electrically as well as other interior details. The current home would not allow for handicap access in any way. Most doors are 2'6" and the main hall is extremely narrow not allowing for handicap accessibility. The new home, as designed, has 3' doors, large wide halls, a zero threshold shower, and an elevator allowing for wheelchair access throughout. In addition, the energy efficiency of the current home is far below current energy efficiency standards and a new home even larger in size, will outperform the current home. The existing home has no runoff capturing devices in place, whereas the new home and landscaping will include rain capturing areas as noted on the landscape plans included with this submittal. The land is currently assessed at \$809,100 and the improvements are at \$382,300.

Development Schedule:

Subject to the receipt of the necessary and appropriate approvals, the intent is to complete demolition of the existing dwelling this winter, followed by construction of the new single family residence. The new dwelling, once started, will take 7 to 9 months to complete. There is no intent to disturb any areas within 35' of the OHM.

Parties involved:

The following parties are involved in the redevelopment of the site:

Owner: Roderick and Sue Price
5010 Lake Mendota Drive, Madison WI 53705

Builder/Designer: Hart DeNoble Builders, Inc., 7923 Airport Road, Middleton, WI 53562
Office Phone (608)-831-4422

Lot size: 20,525 square feet
New Home Finish space info: Main level 3,365 sqft, upper level 1,511 sqft, lower level finished 2,499
New home Gross Sq Footage: 9,850 GSF (including garage, stoops and all interior footage)
Garage stalls: Two

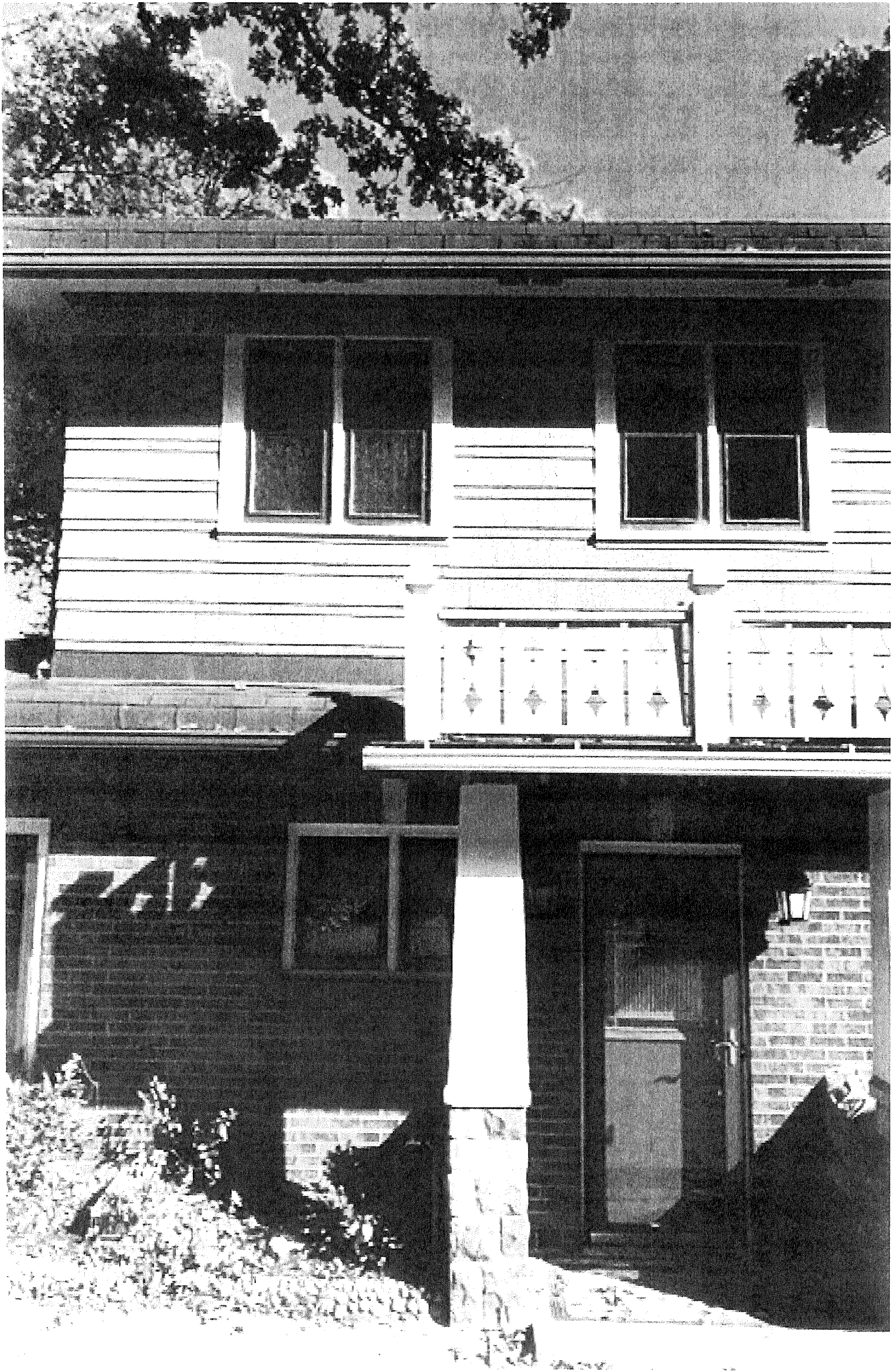
Parcel Number: 251/0709-184-0134-3
Legal Description: SPRING PARK, BLK 1, LOTS 3 & 4

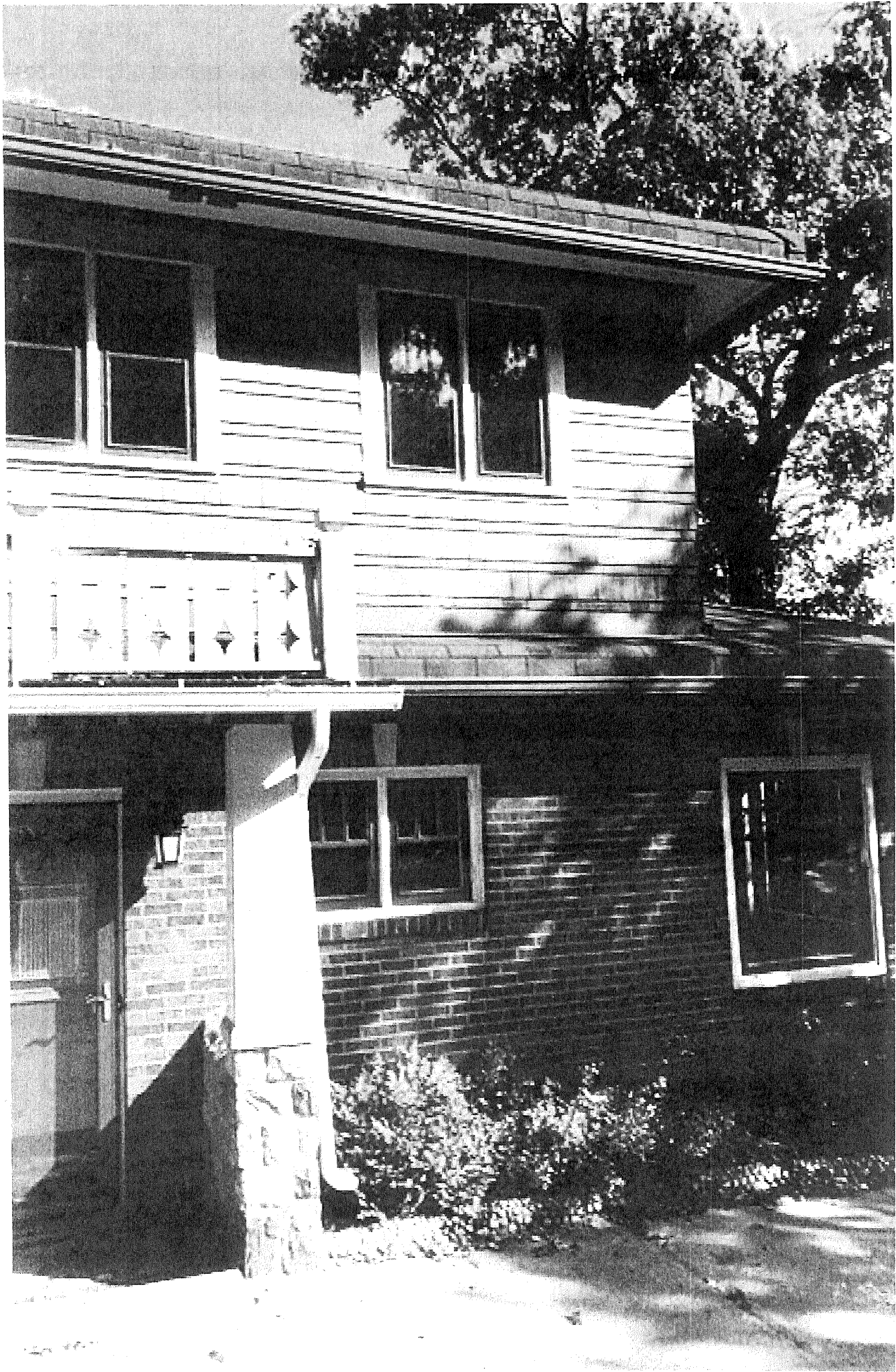
Thank you for your consideration,

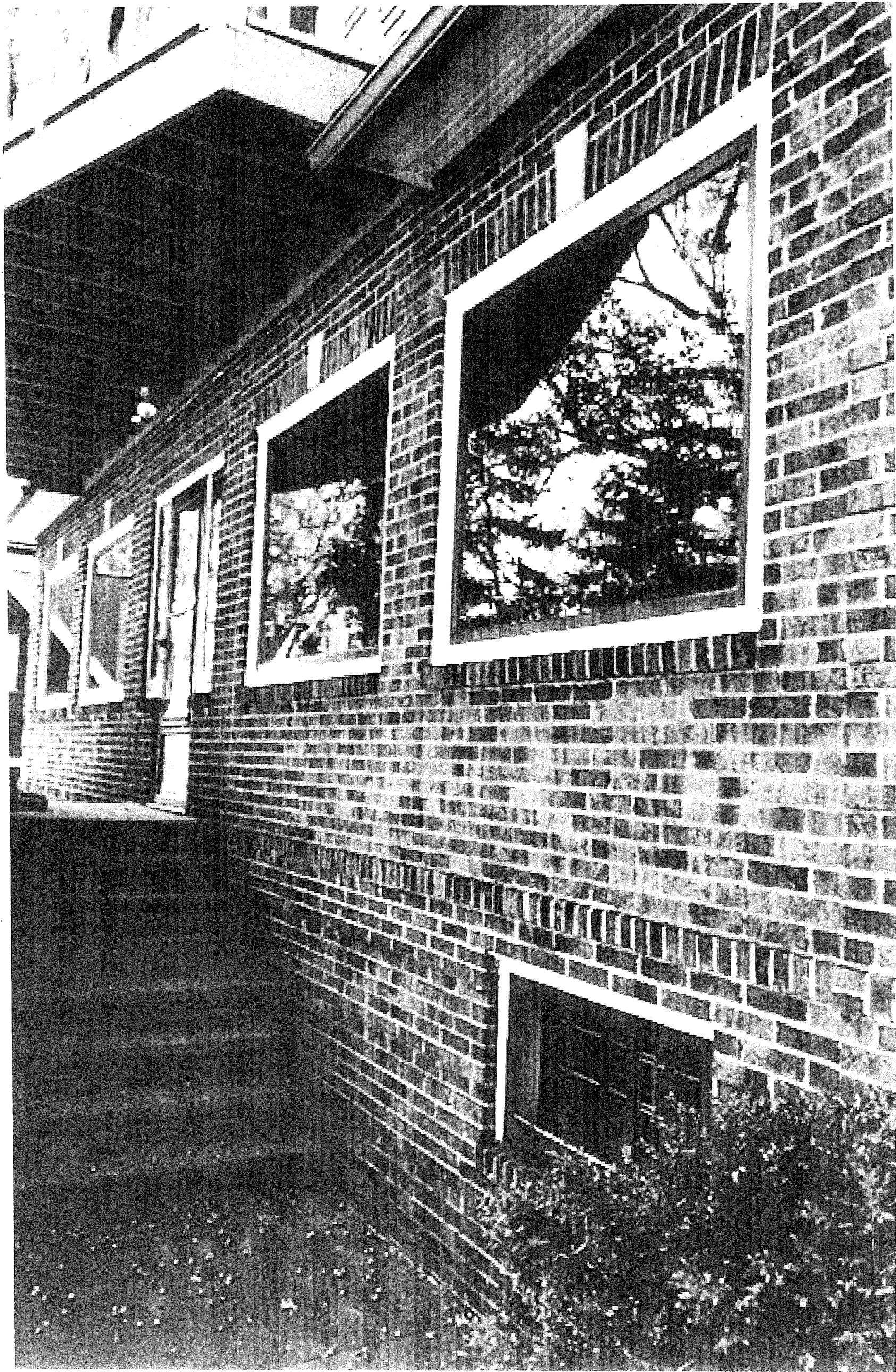
Respectfully Submitted,

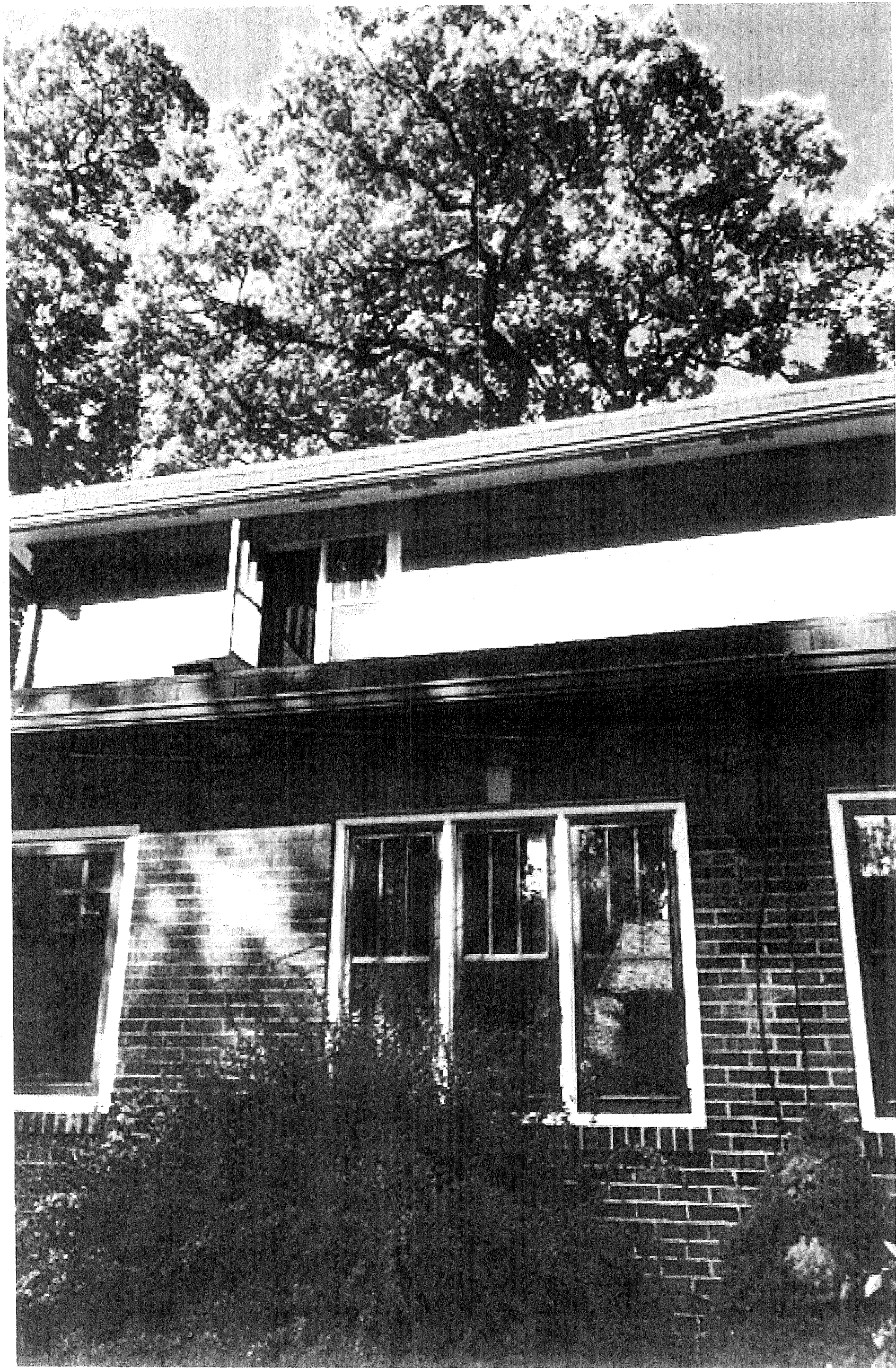
A handwritten signature in black ink, appearing to read "Jason Franzen", with a long horizontal line extending to the right.

Jason Franzen
Hart DeNoble Builders, Inc
Roderick & Sue Price
Property Owners









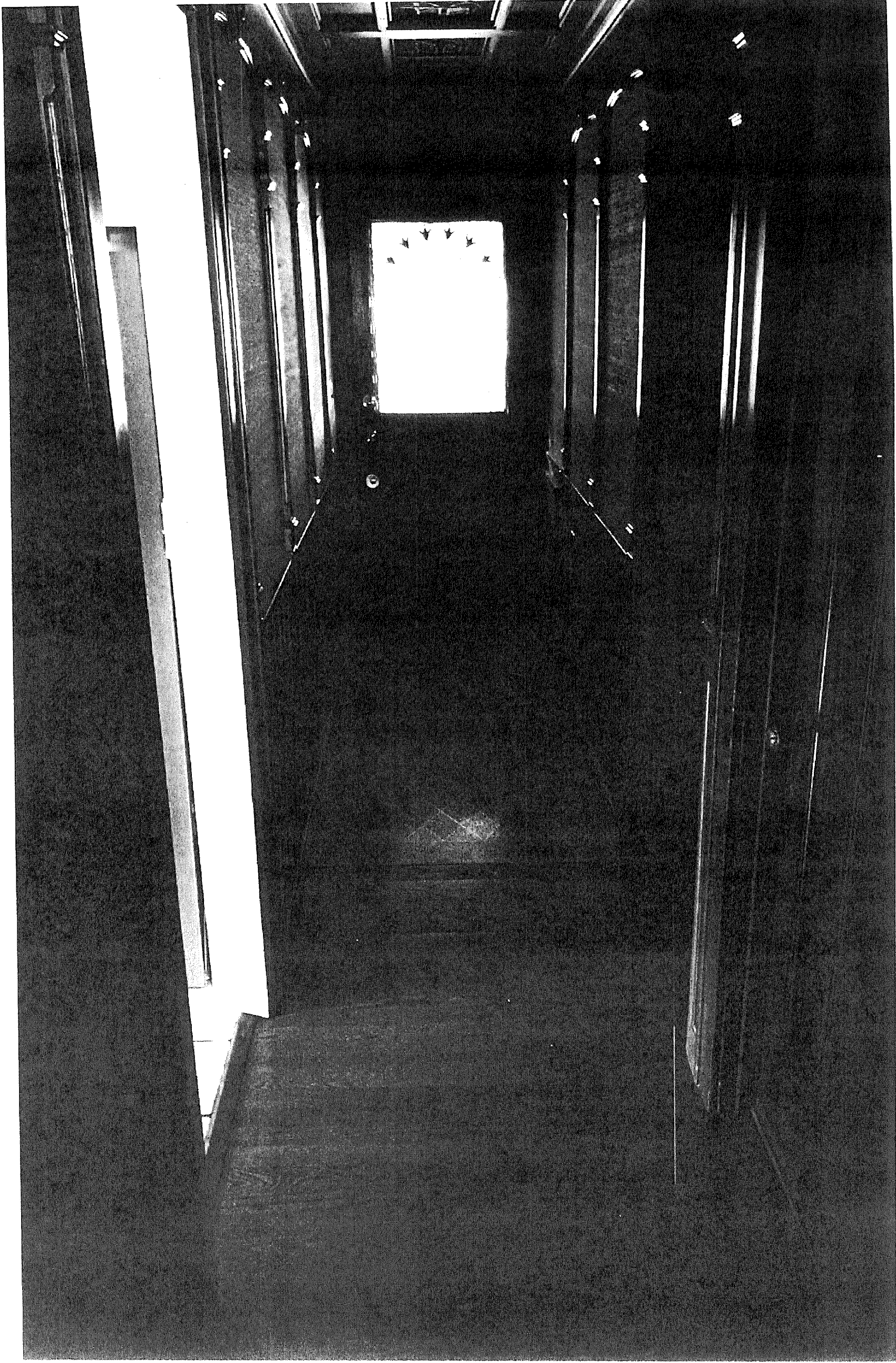




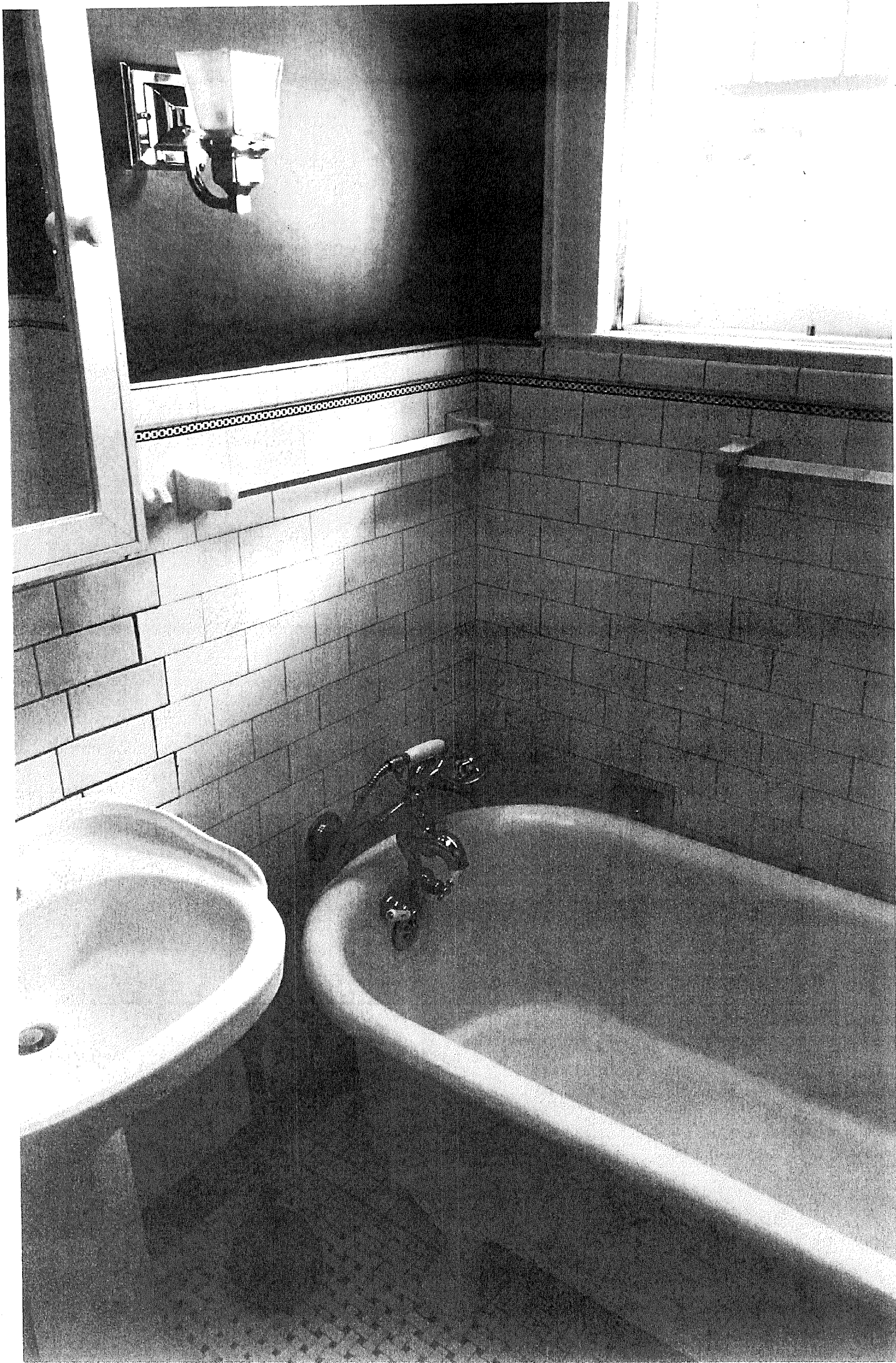
NARROW 2'6" OPENINGS



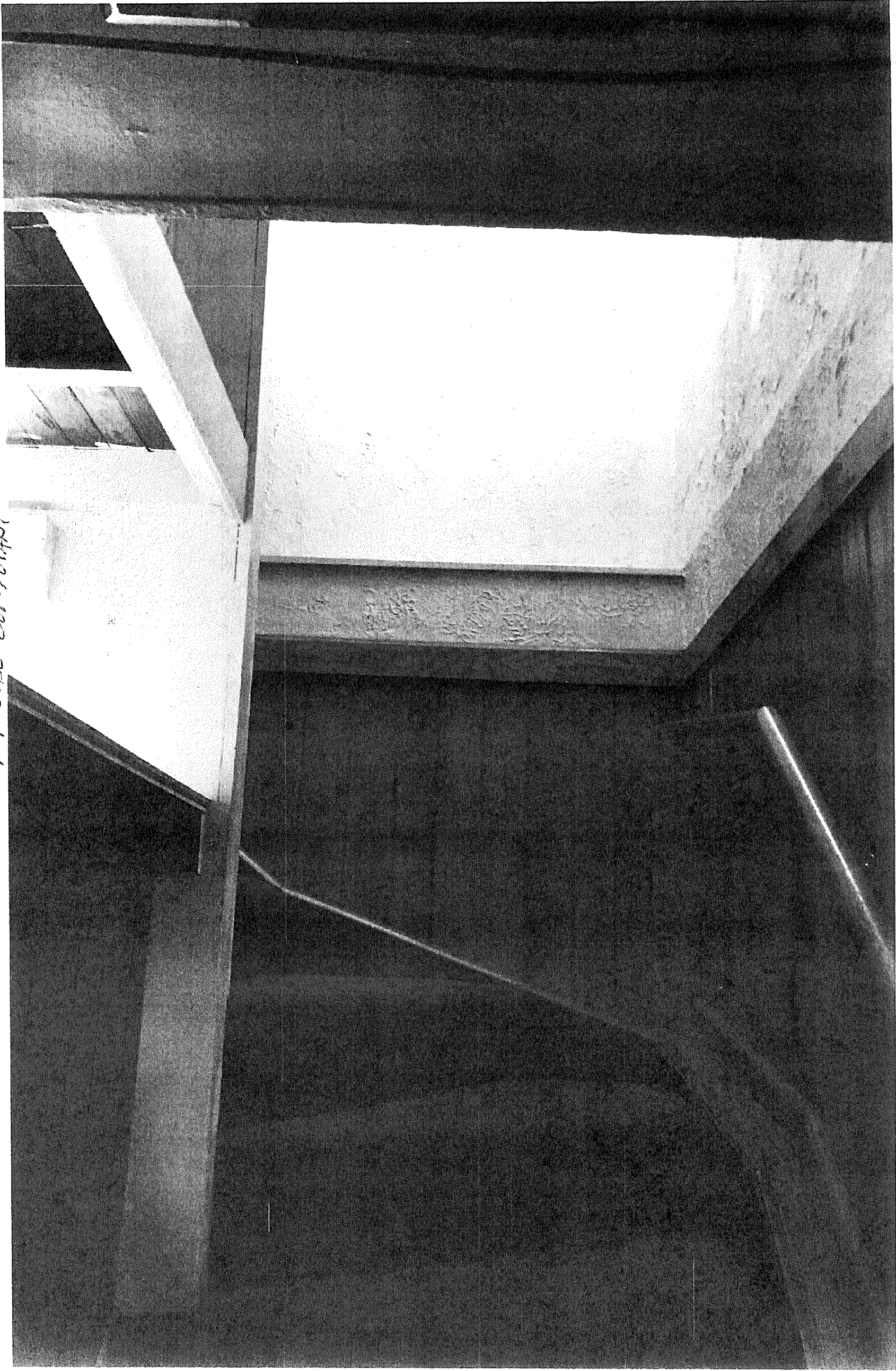
MAIN ENTRY & HALL



MAIN BATH



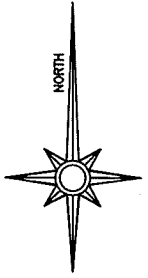
STAIRS TO 2ND FLOOR & BED ROOMS
NON CODE COMPLIANT



PLAT OF SURVEY
 WALKER SURVEYING INC.
 5964 LINDA CT. MAZOMANIE WI. 53560

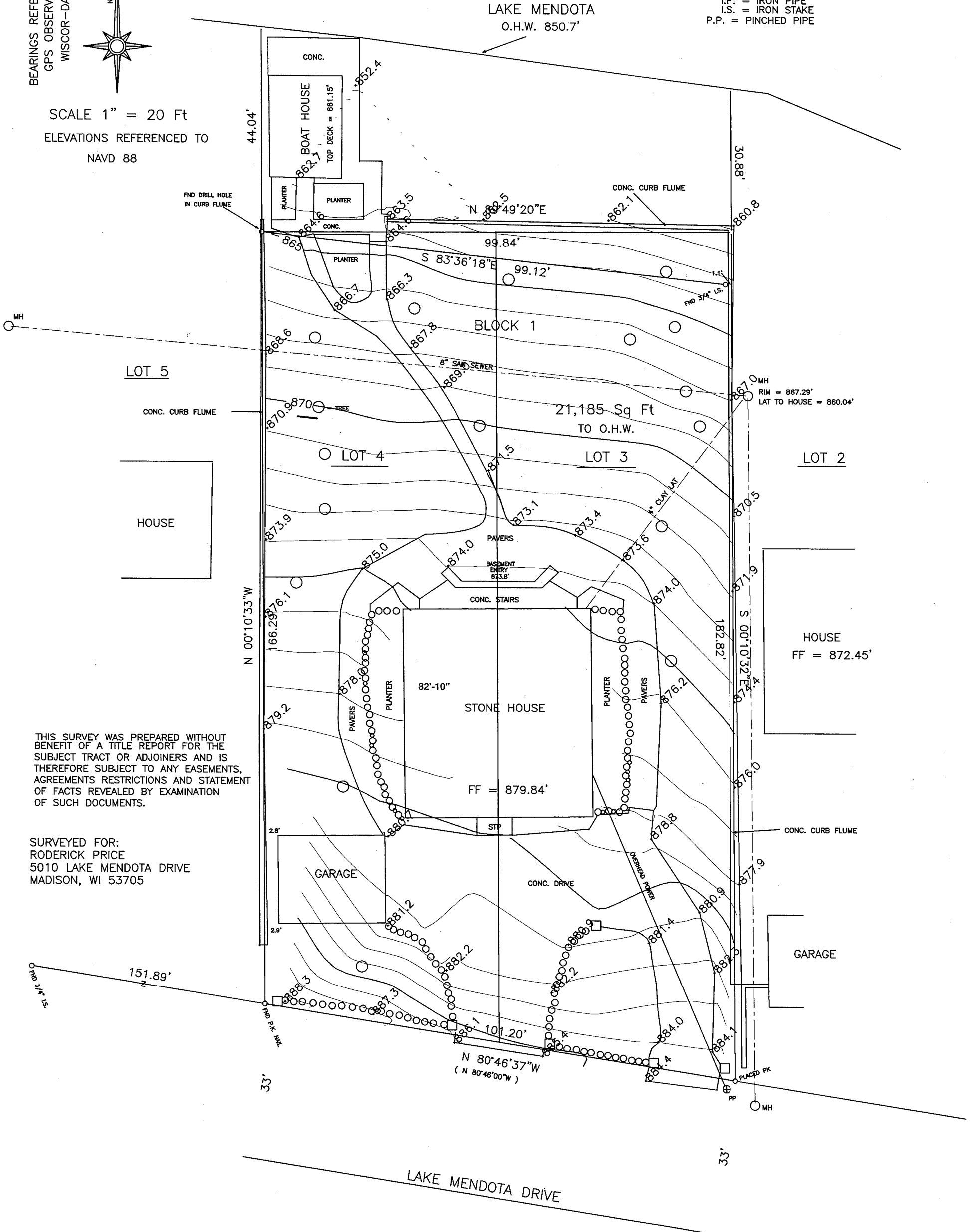
LOT 3 AND 4, BLOCK 1, SPRING PARK, CITY OF MADISON, DANE COUNTY, WISCONSIN.

BEARINGS REFERENCED TO
 GPS OBSERVATIONS
 WISCONSIN-DANE



SCALE 1" = 20 Ft
 ELEVATIONS REFERENCED TO
 NAVD 88

LEGEND
 O = 3/4" * 24" SOLID IRON ROD SET
 1.50 LBS./FT. MINIMUM WEIGHT
 UNLESS OTHERWISE STATED
 () = RECORDED INFORMATION
 I.P. = IRON PIPE
 I.S. = IRON STAKE
 P.P. = PINCHED PIPE



THIS SURVEY WAS PREPARED WITHOUT
 BENEFIT OF A TITLE REPORT FOR THE
 SUBJECT TRACT OR ADJOINERS AND IS
 THEREFORE SUBJECT TO ANY EASEMENTS,
 AGREEMENTS RESTRICTIONS AND STATEMENT
 OF FACTS REVEALED BY EXAMINATION
 OF SUCH DOCUMENTS.

SURVEYED FOR:
 RODERICK PRICE
 5010 LAKE MENDOTA DRIVE
 MADISON, WI 53705

SITE PLAN	
DATE REV	9/18/2017
SCALE	1"=20'-0"
REVISION	SHEET 1
VER. 4	1

**PROPOSED
SITE PLAN**

PLANS DRAWN BY:
STEVEN T. HUNTER
THIS DOCUMENT IS THE EXCLUSIVE
PROPERTY OF
Hart DeNoble Builders, Inc.
NO PART OF THESE PLANS MAY BE REPRODUCED,
COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF
Hart DeNoble Builders, Inc.
AND VIOLATORS WILL BE PROSECUTED BY LAW.

Property Of:
**HART
DENOBLE**
7923 Airport Road Office (608) 831-4422
Middleton, WI 53562 Fax (608) 831-8272
www.denoblebuilders.com

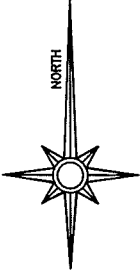
**NEW HOME FOR:
RODERICK AND SUE PRICE
5010 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN**

LOT 3 AND 4, BLOCK 1, SPRING PARK, CITY OF MADISON, DANE COUNTY, WISCONSIN.

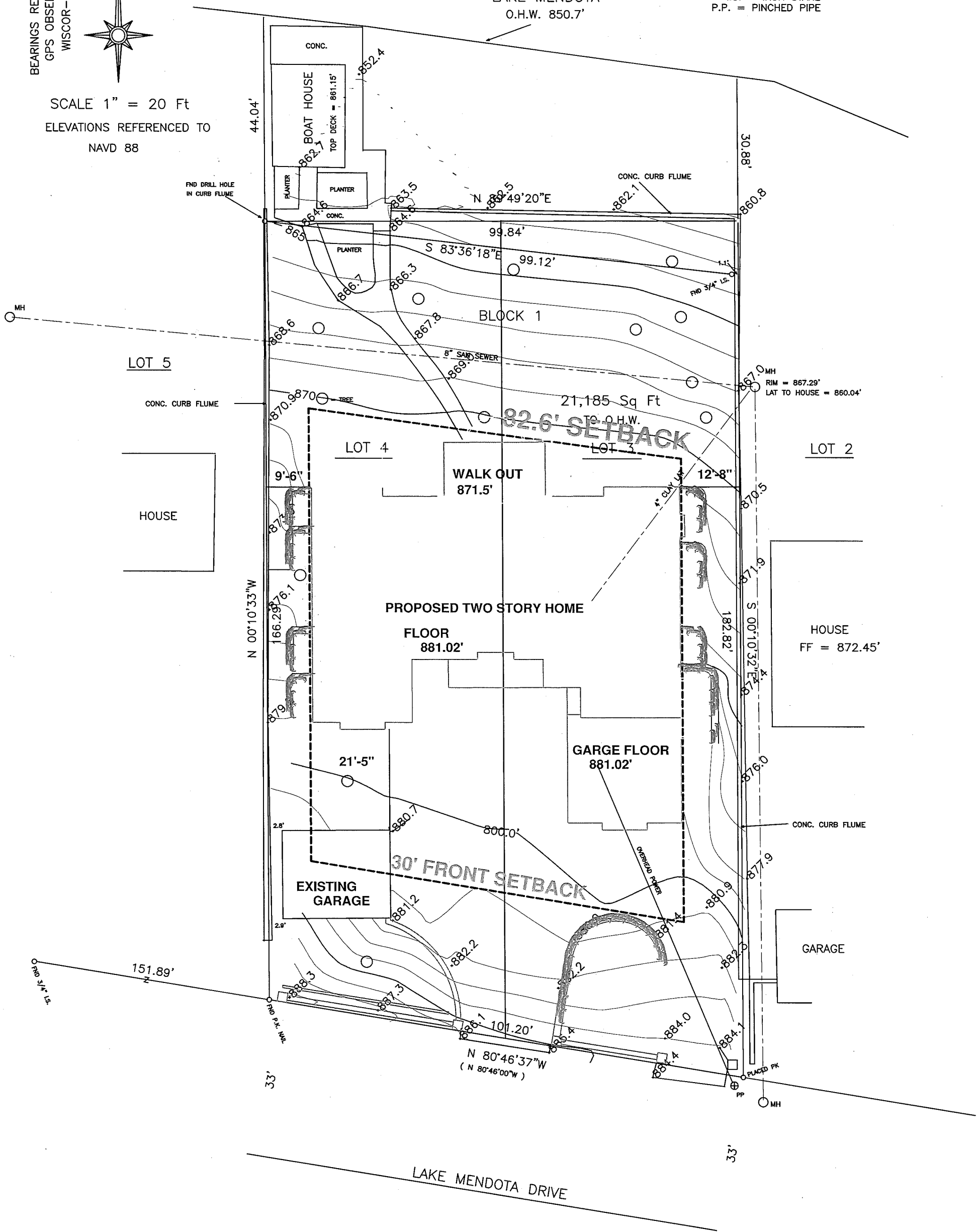
LOT 20,525 SQ. FT
IMPERVIOUS SURFACE 8,458 SQ. FT
41.2%

- LEGEND**
- = 3/4" * 24" SOLID IRON ROD SET
1.50 LBS./FT. MINIMUM WEIGHT
UNLESS OTHERWISE STATED
 - () = RECORDED INFORMATION
 - I.P. = IRON PIPE
 - I.S. = IRON STAKE
 - P.P. = PINCHED PIPE

BEARINGS REFERENCED TO
GPS OBSERVATIONS
WISCONSIN-DANE



SCALE 1" = 20 Ft
ELEVATIONS REFERENCED TO
NAVD 88

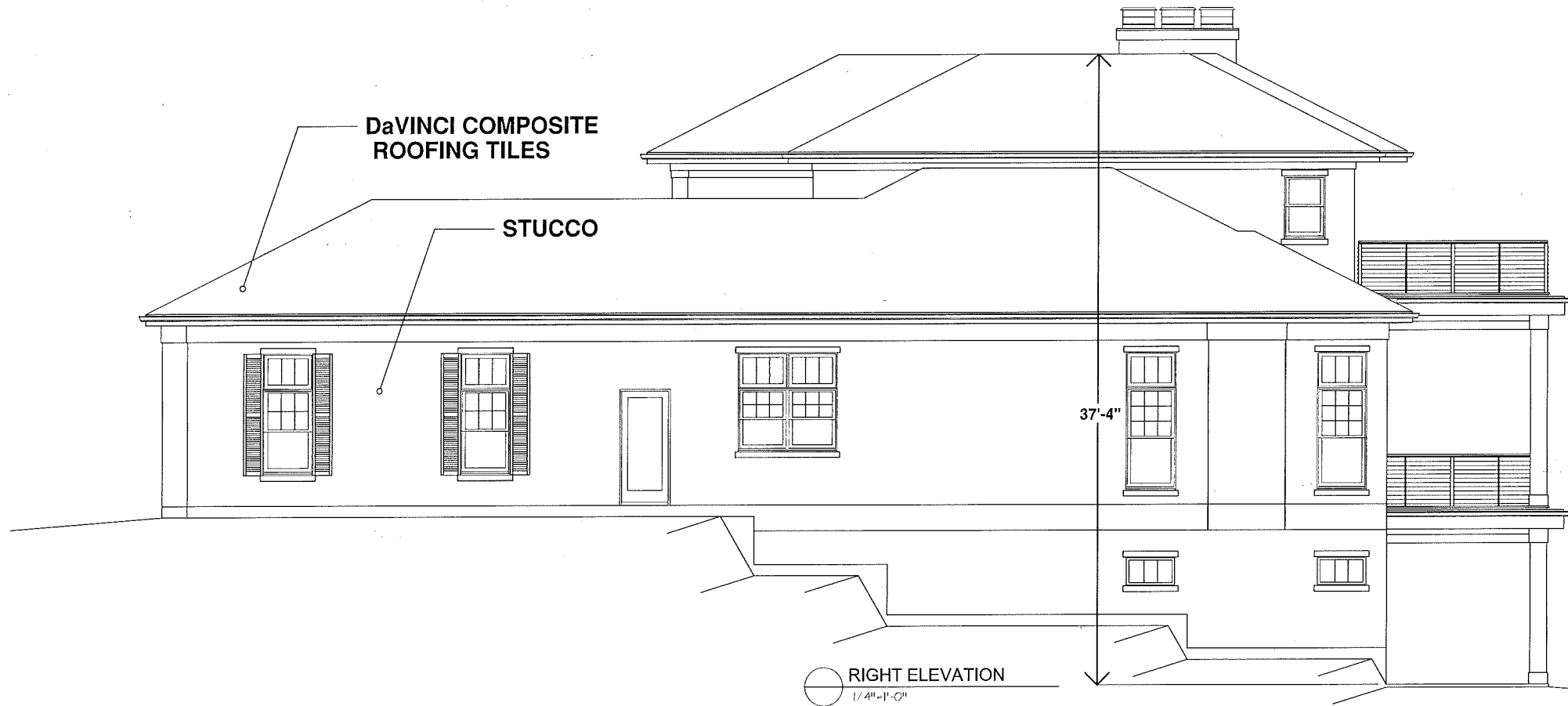


SP34RP

VER 4 FLOOR PLAN 9/18/17



FRONT ELEVATION
1/4"=1'-0"



RIGHT ELEVATION
1/4"=1'-0"

LOWER LEVEL FINISHED=	2499 SQ. FT.
MAIN LEVEL FLOOR PLAN=	3365 SQ. FT.
UPPER LEVEL FINISHED=	1511 SQ. FT.
TOTAL FINISHED=	7375 SQ. FT.
LOWER LEVEL UNFINISHED=	866 SQ. FT.

LOWER LEVEL LOGGIA=	275 SQ. FT.
MAIN LEVEL LOGGIA=	275 SQ. FT.
UPPER LEVEL TERRACE=	246 SQ. FT.
GARAGE =	556 SQ. FT.
FRONT COVERED PORCH=	120 SQ. FT.
GARAGE COVERED PORCH=	17 SQ. FT.
UPPER LEVEL COVERED PORCH=	120 SQ. FT.

NEW HOME FOR:
RODERICK AND SUE PRICE
5010 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN

Property Of:
HART DENOBLE BUILDERS
7923 Airport Road
Madison, WI 53502
Office (608) 831-4422
Fax (608) 831-8272
www.fleynoblebuilders.com

IN WISCONSIN BY:
STEVEN T. HANTER
PROPERTY OF
Hart Denoble Builders, Inc.
HART DENOBLE BUILDERS, INC.
1000 WISCONSIN AVENUE, SUITE 100
MADISON, WI 53703
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WITHOUT PERMISSION BY WRITTEN AGREEMENT.
Hart Denoble Builders, Inc.
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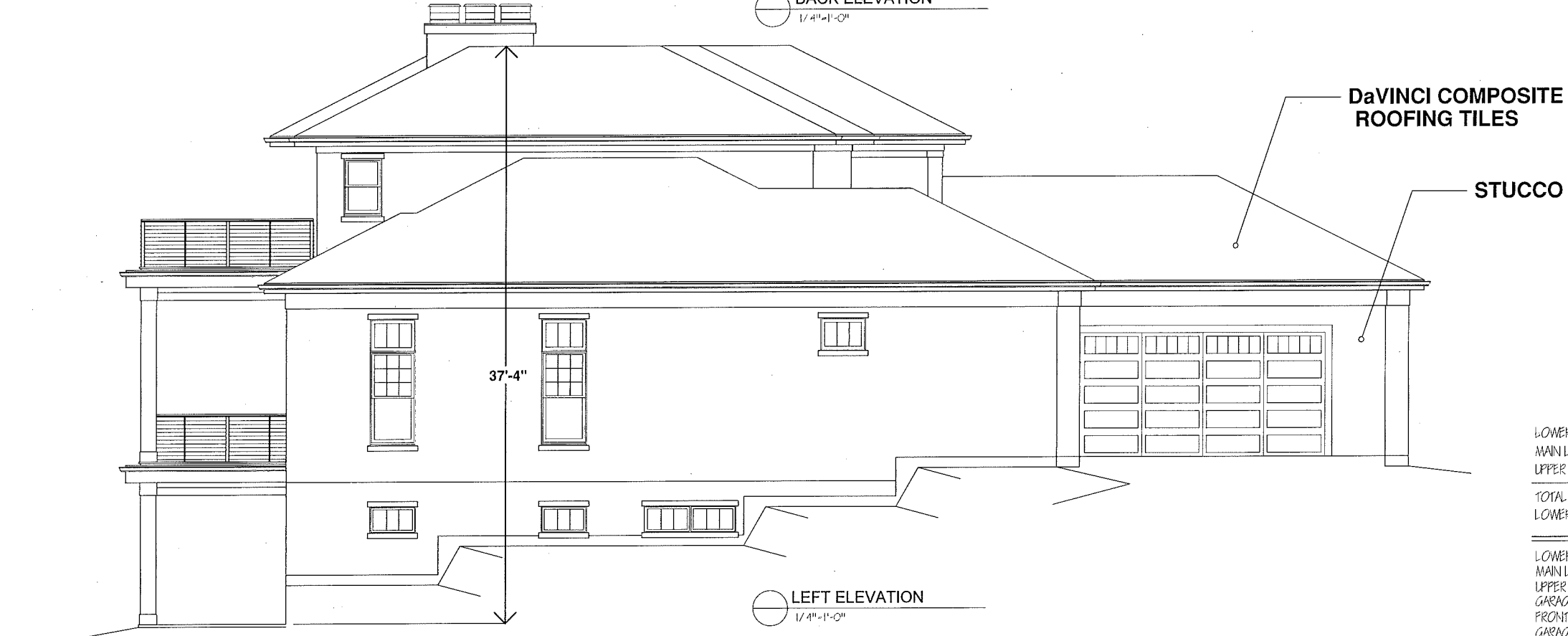
**PROPOSED
NEW RESIDENCE**

ELEVATIONS	
DATE	REV 9/18/2017
SCALE	1/4"=1'-0"
REVISION	SHEET
VER. 4	1 8

VER 4 FLOOR PLAN 9/18/17



BACK ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

LOWER LEVEL FINISHED=	2499 SQ. FT.
MAIN LEVEL FLOOR PLAN=	3565 SQ. FT.
UPPER LEVEL FINISHED=	1911 SQ. FT.
TOTAL FINISHED=	7375 SQ. FT.
LOWER LEVEL UNFINISHED=	866 SQ. FT.

LOWER LEVEL LOGGIA=	275 SQ. FT.
MAIN LEVEL LOGGIA=	275 SQ. FT.
UPPER LEVEL TERRACE=	246 SQ. FT.
GARAGE =	556 SQ. FT.
FRONT COVERED PORCH=	120 SQ. FT.
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5010 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN

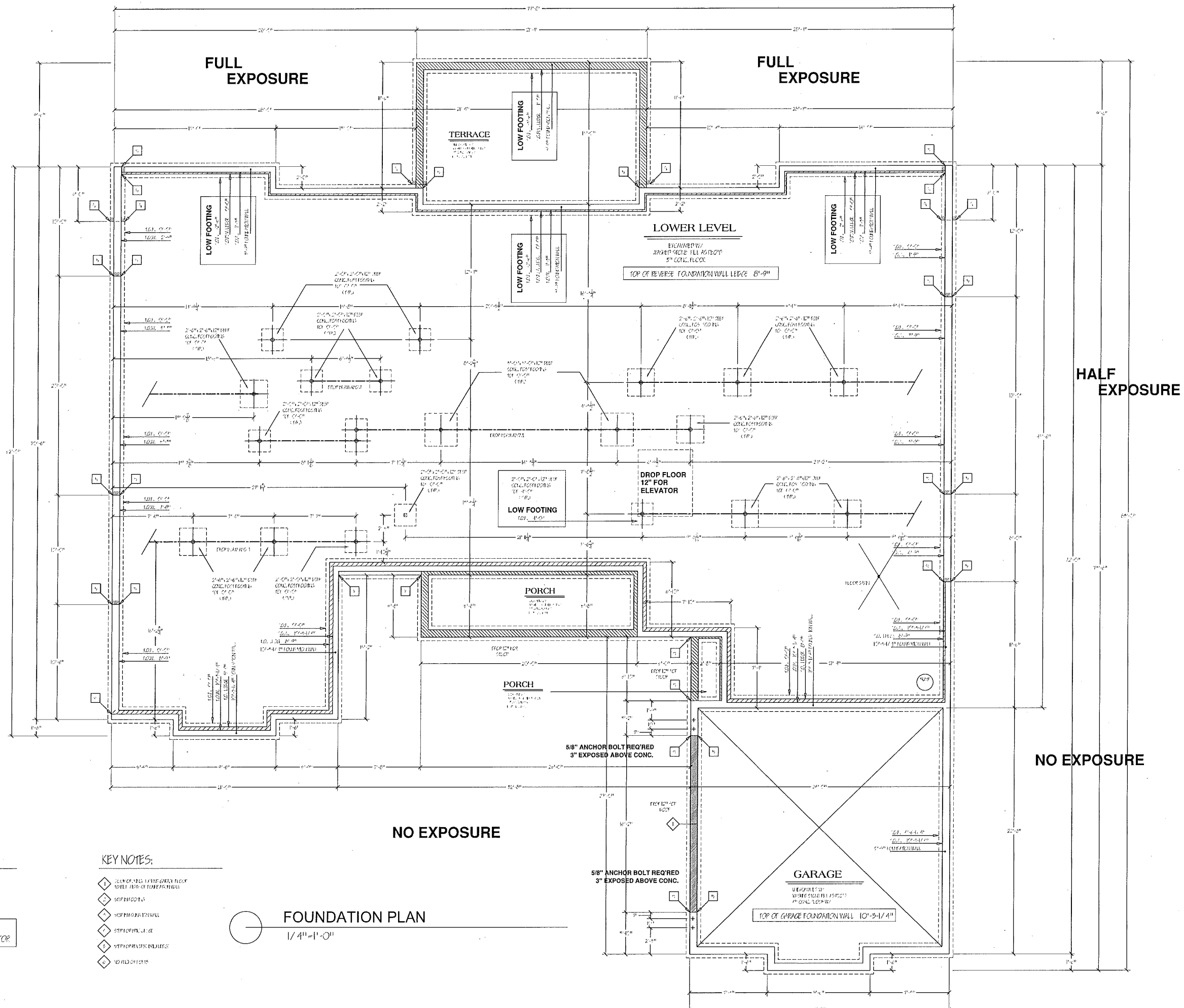
Property Of:
HART DENOBLE BUILDERS
7923 Airport Road
Madison, WI 53702
Office: (608) 831-4422
Fax: (608) 831-6872
www.hartdenoblebuilders.com

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**PROPOSED
NEW RESIDENCE**

ELEVATIONS	
DATE	REV 9/18/2017
SCALE	1/4" = 1'-0"
REVISION	SHEET
VER. 4	2 ⁸

VER 4 FLOOR PLAN 9/18/17



HALF EXPOSURE

FULL EXPOSURE

FULL EXPOSURE

HALF EXPOSURE

NO EXPOSURE

NO EXPOSURE

GARAGE

PORCH

LOW FOOTING

LOW FOOTING

LOW FOOTING

TERRACE

LOWER LEVEL

TOP OF REVERSE FOUNDATION WALL LEDGE 8'-0"

TOP OF GARAGE FOUNDATION WALL 10'-5-1/4"

5/8" ANCHOR BOLT REQ'D RED 3" EXPOSED ABOVE CONC.

5/8" ANCHOR BOLT REQ'D RED 3" EXPOSED ABOVE CONC.

DRAWING NOTES:
 ALL DIMENSIONS FROM 12" WIDE
 UNLESS OTHERWISE NOTED
 ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
 ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
 ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
 ** BASEMENT WALLS 8'-0" **
 DRAIN CROSSOVERS
 SUPPLIED BY FOUNDATION CONTRACTOR

KEY NOTES:
 1. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR EXTERIOR WALLS
 2. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR INTERIOR WALLS
 3. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR EXTERIOR WALLS
 4. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR INTERIOR WALLS
 5. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR EXTERIOR WALLS
 6. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR INTERIOR WALLS
 7. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR EXTERIOR WALLS
 8. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR INTERIOR WALLS
 9. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR EXTERIOR WALLS
 10. 2'-0" MIN. DEEP CONCRETE FOOTINGS FOR INTERIOR WALLS

FOUNDATION PLAN
 1/4" = 1'-0"

NEW HOME FOR:
RODERICK AND SUE PRICE
 5010 LAKE MENDOTA DRIVE
 CITY OF MADISON, DANE COUNTY, WISCONSIN

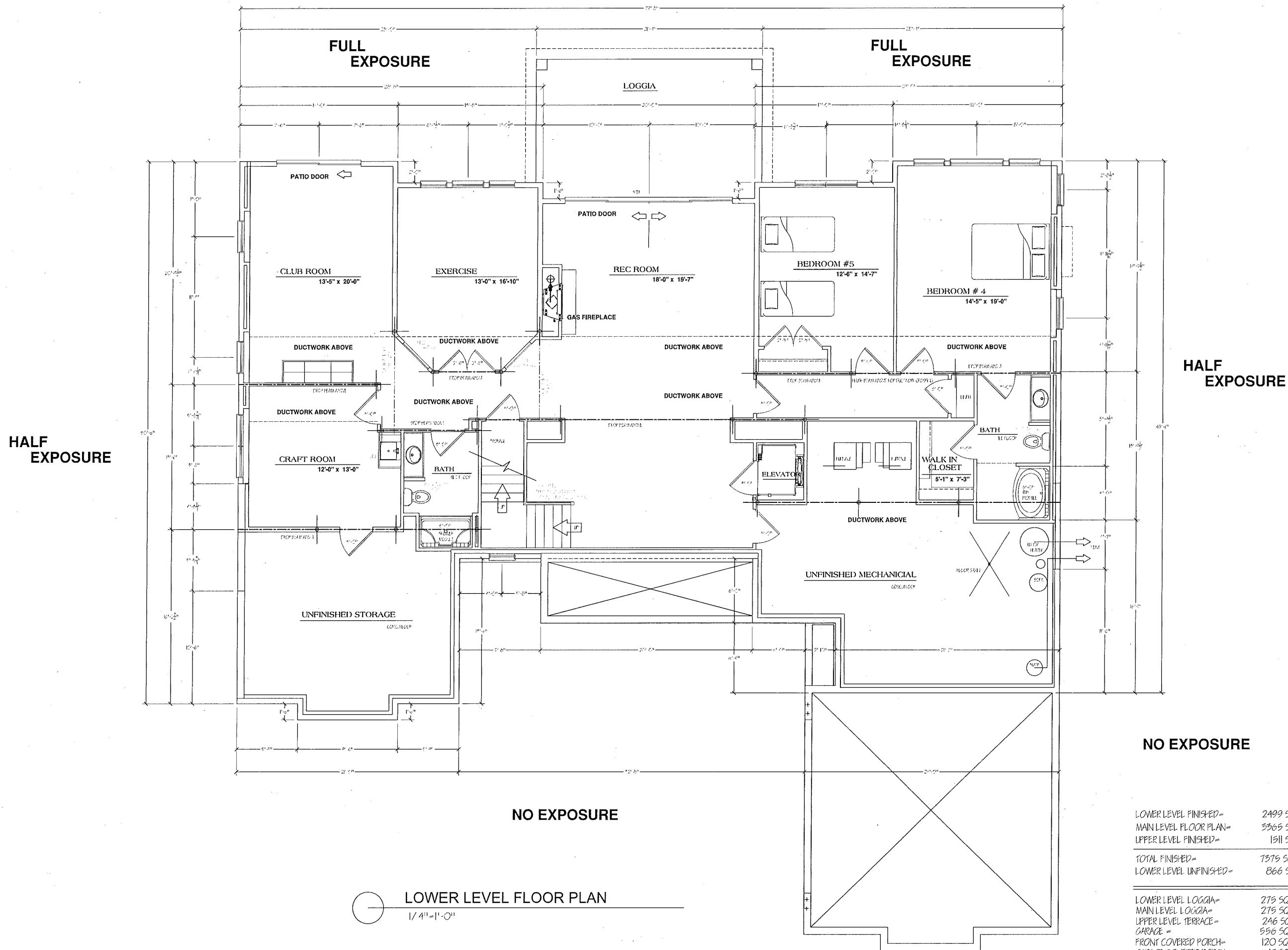
Property Of:
HART DENOBLE BUILDERS
 Office: (608) 831-4422
 Fax: (608) 831-4422
 7925 Airport Road
 Madison, WI 53702
 www.denoblebuilders.com

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**PROPOSED
 NEW RESIDENCE**

FOUNDATION PLAN	
DATE: REV 9/18/2017	
SCALE: 1/4" = 1'-0"	
REVISION	SHEET
VER. 4	3 8

VER 4 FLOOR PLAN 9/18/17



LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"

LOWER LEVEL FINISHED=	2499 SQ. FT.
MAIN LEVEL FLOOR PLAN=	3365 SQ. FT.
UPPER LEVEL FINISHED=	1511 SQ. FT.
TOTAL FINISHED=	7375 SQ. FT.
LOWER LEVEL UNFINISHED=	866 SQ. FT.

LOWER LEVEL LOGGIA=	275 SQ. FT.
MAIN LEVEL LOGGIA=	275 SQ. FT.
UPPER LEVEL TERRACE=	246 SQ. FT.
GARAGE =	556 SQ. FT.
FRONT COVERED PORCH=	120 SQ. FT.
GARAGE COVERED PORCH=	17 SQ. FT.
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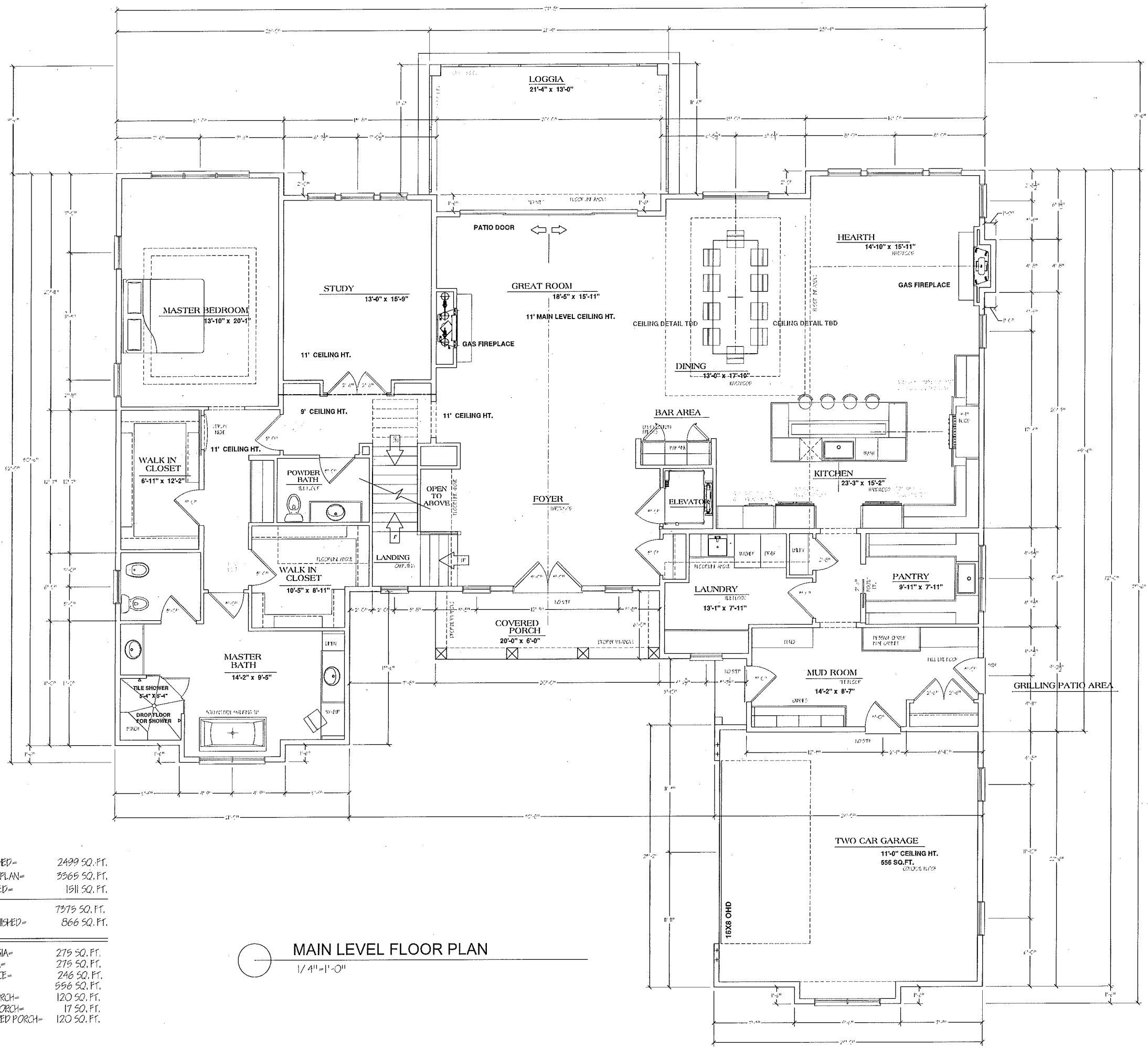
Property Of:
HART DENOBLE BUILDERS
Office (608) 831-4422
Fax (608) 831-8272
7923 Airport Road
Madison, WI 53702
www.dcnobuilders.com

DESIGNED BY:
STEVEN T. HINTER
THIS DOCUMENT IS THE EXCLUSIVE
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Hart Denoble Builders, Inc.
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FORM OR BY ANY MEANS, ELECTRONIC,
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OR BY ANY INFORMATION STORAGE AND
RETRIEVAL SYSTEM, WITHOUT THE WRITTEN
CONSENT OF HART DENOBLE BUILDERS, INC.
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**PROPOSED
NEW RESIDENCE**

LOWER LEVEL FLOOR PLAN	
DATE	REV 9/18/2017
SCALE	1/4" = 1'-0"
REVISION	SHEET 8
VER. 4	4

VER 4 FLOOR PLAN 9/18/17



LOWER LEVEL FINISHED=	2499 SQ. FT.
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○ MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

NEW HOME FOR:
RODERICK AND SUE PRICE
5010 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN

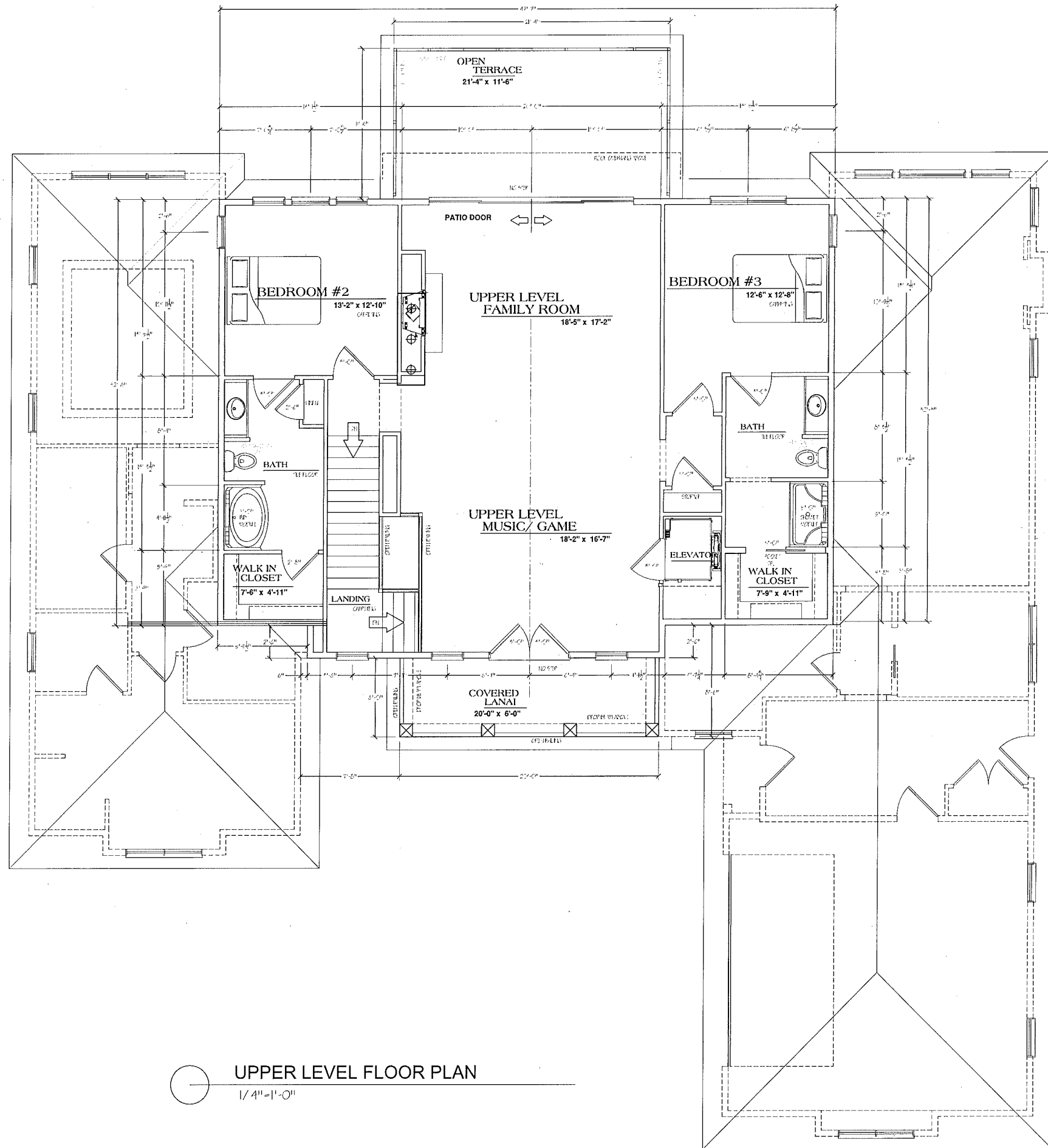
Property Of:
HART DENOBLE BUILDERS
Office: (608) 831-4422
7923 Airport Road Middleton, WI 53502 Fax: (608) 831-8272
www.hartdenoblebuilders.com

IN WISCONSIN:
STEVEN T. HUNTER
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**PROPOSED
NEW RESIDENCE**

MAIN LEVEL FLOOR PLAN	SHEET
DATE: REV 9/18/2017	5
SCALE: 1/4" = 1'-0"	8
REVISION	VER. 4

VER 4 FLOOR PLAN 9/18/17



UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

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5010 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN

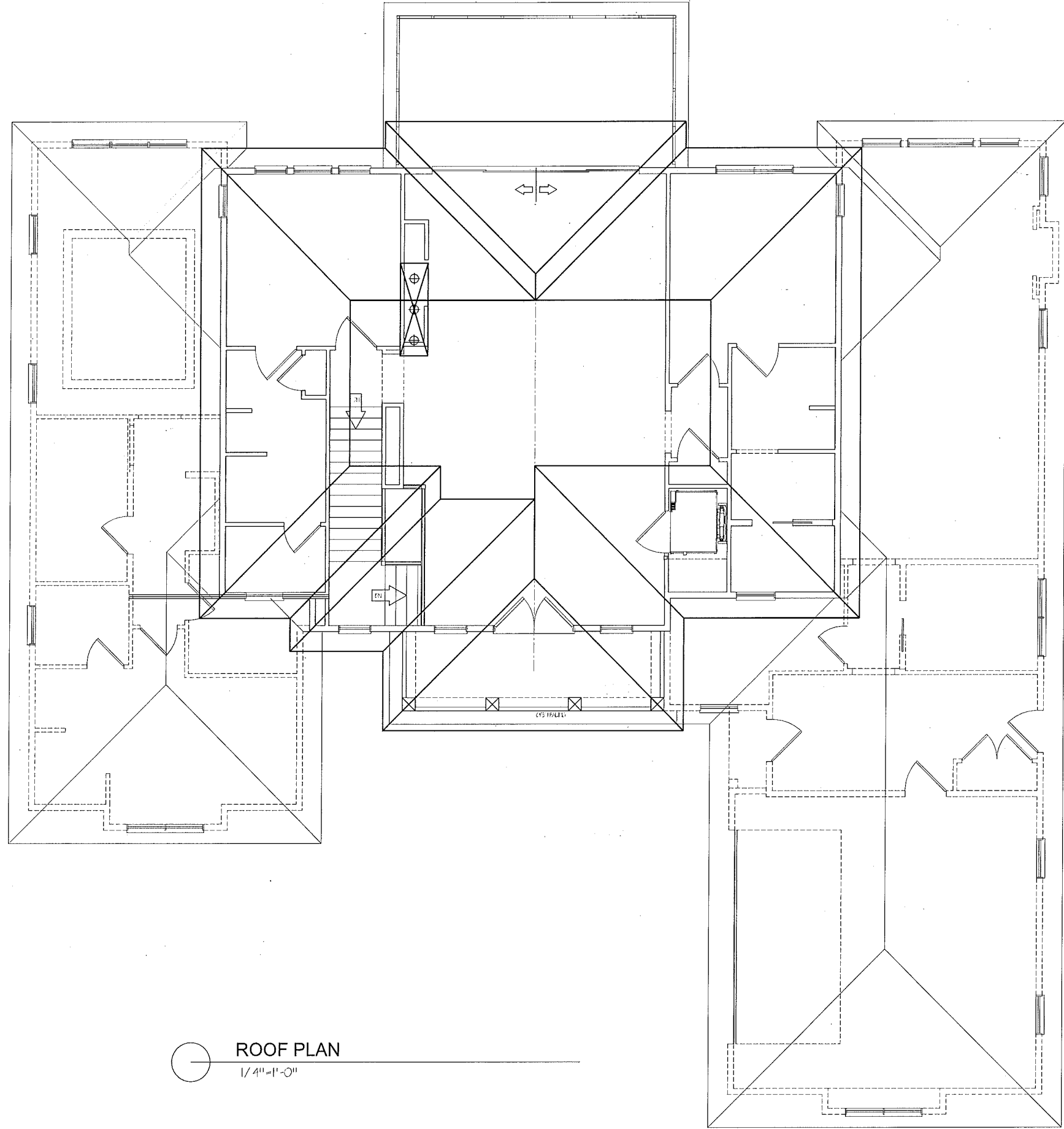
Property Of:
HART DENOBLE BUILDERS
Office: (608) 831-4422
Fax: (608) 831-6872
www.dcnobuilders.com
7523 Airport Road
Madison, WI 53702

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**PROPOSED
NEW RESIDENCE**

UPPER LEVEL FLOOR PLAN	
DATE: REV	9/18/2017
SCALE:	1/4" = 1'-0"
REVISION	SHEET
VER. 4	6 8

VER 4 FLOOR PLAN 9/18/17



ROOF PLAN
1/4" = 1'-0"

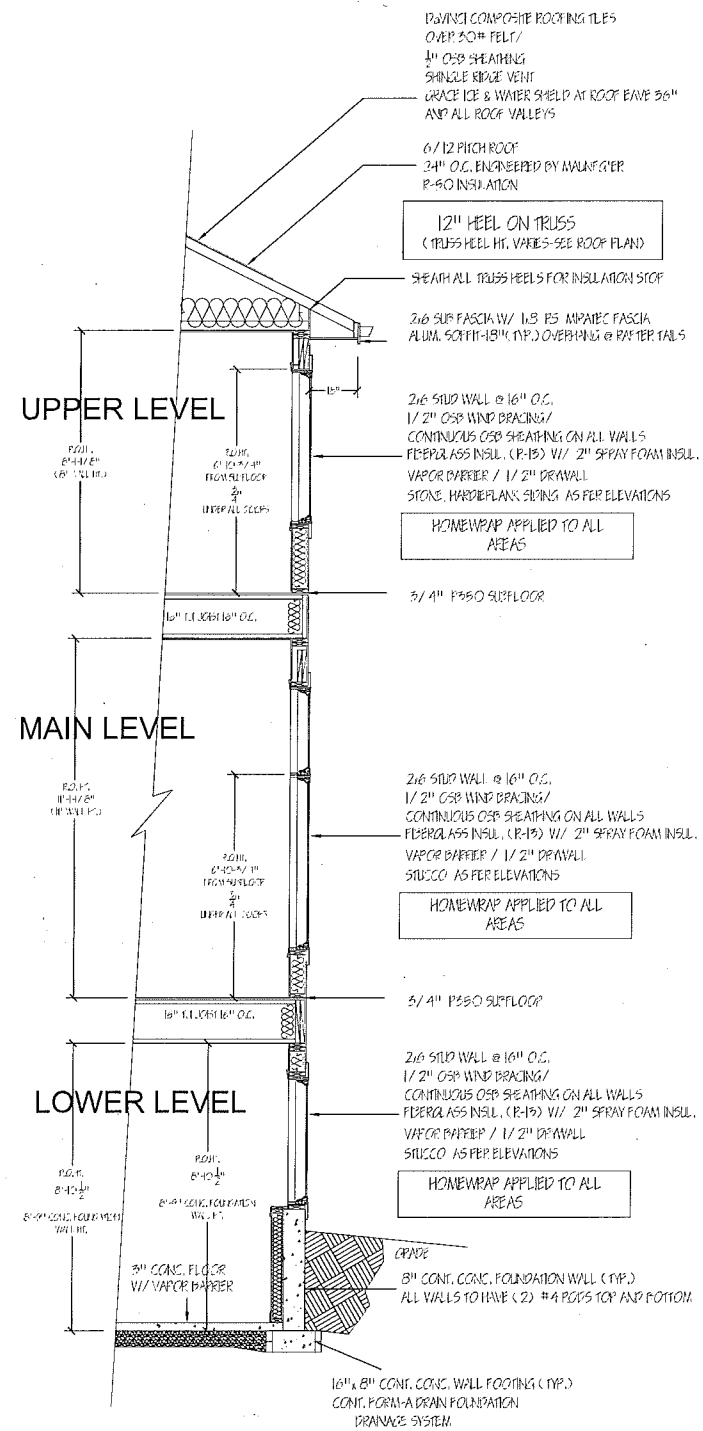
UPPER LEVEL FLOOR PLAN	
DATE:	REV 9/18/2017
SCALE:	1/4" = 1'-0"
REVISION	SHEET
VER. 4	7 ⁸

**PROPOSED
NEW RESIDENCE**

PREPARED BY:
STEVEN T. HINTER
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Property Of:
**HART
DENOBLEC
BUILDERS**
7933 Airport Road
Middleton, WI 53552
Office: (608) 831-4422
Fax: (608) 831-8272
www.denoblecbuilders.com

**NEW HOME FOR:
RODERICK AND SUE PRICE
5010 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN**



A SECTION
8 3/8" = 1'-0"

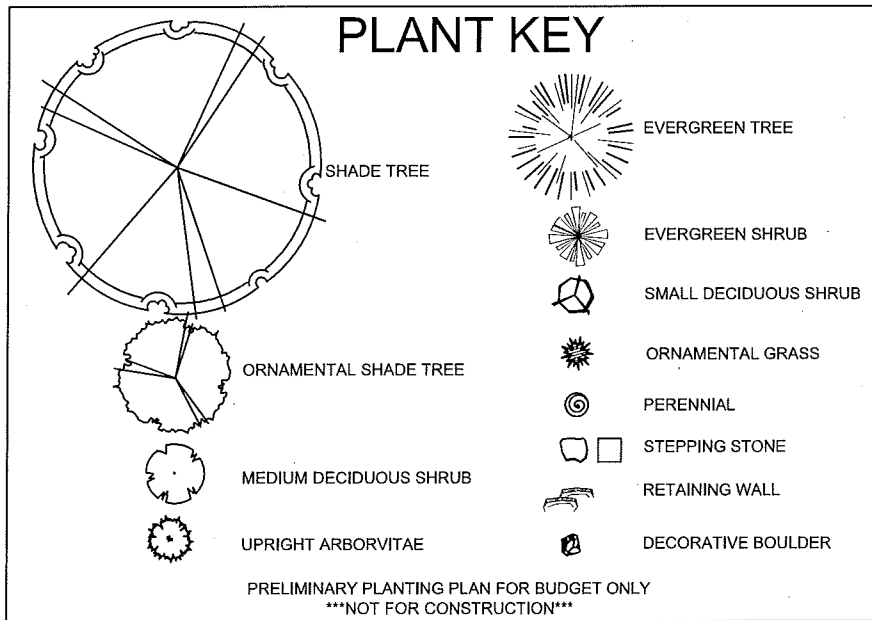
NEW HOME FOR:
RODERICK AND SUE PRICE
5010 LAKE MENDOTA DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN

HART DENOBLE BUILDERS
Property Of:
7623 Airport Road
Madison, WI 53702
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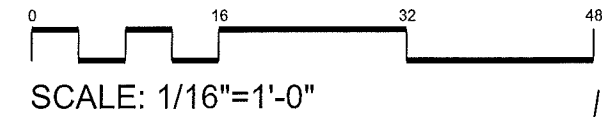
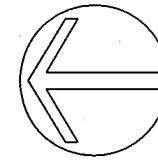
**PROPOSED
NEW RESIDENCE**

SECTION	
DATE: REV 9/18/2017	
SCALE: 1/4" = 1'-0"	
REVISION	SHEET
VER. 4	8 8

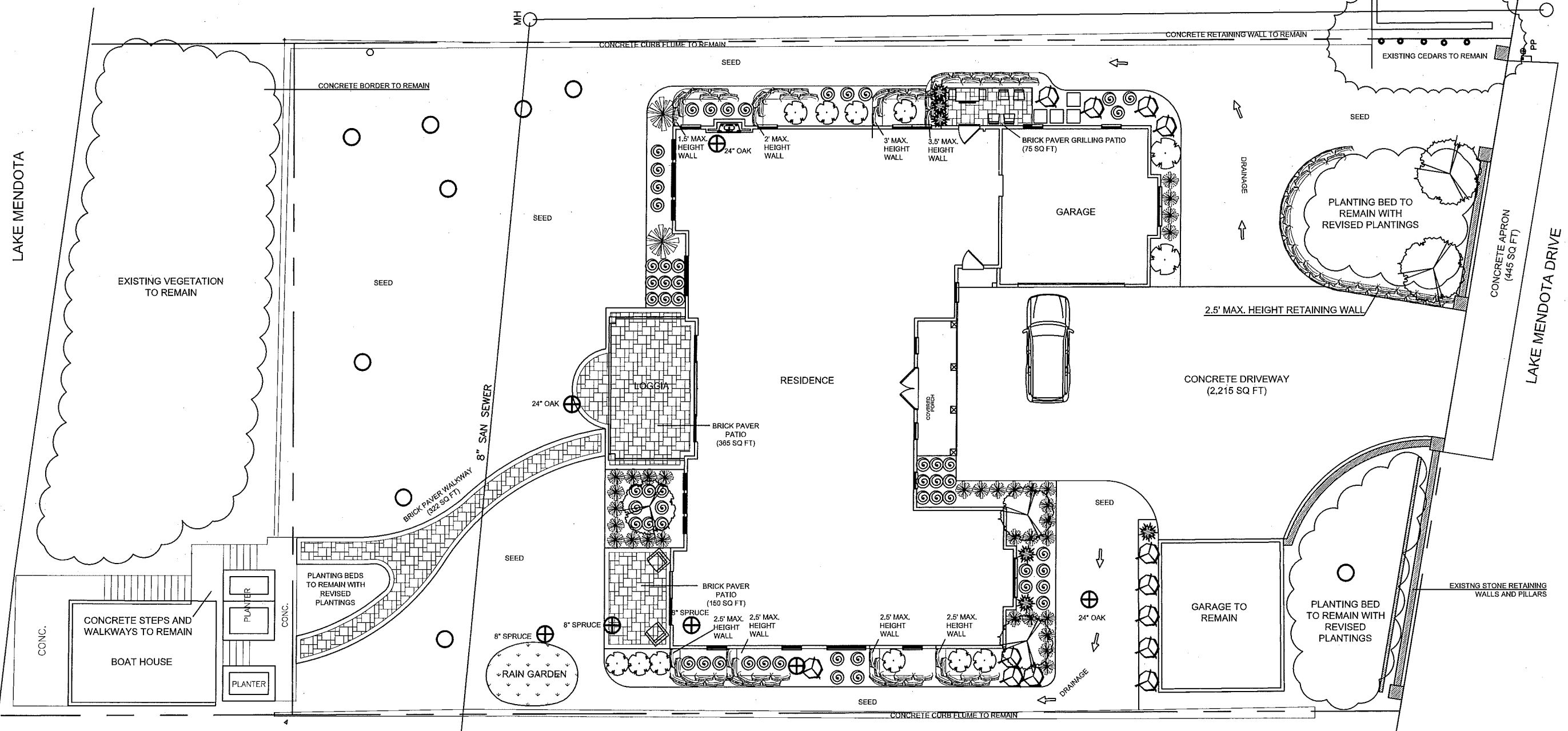


LANDSCAPE NOTES:

- ⊕ = TREE TO BE REMOVED
- = EXISTING TREE TO REMAIN
- RETAINING WALLS TO BE NATURAL LIMESTONE BOULDERS WITH FABRIC BACKING.
- ALL PLANTING BEDS TO HAVE DIMEX EDGEPRO BLACK POLYVINYL EDGING AND BROWN DYED WOOD MULCH
- LAWN TO BE GRASS SEED, WITH STRAW MULCH AND EROSION MAT (CLASS 1 TYPE B, STRAW MAT) ON STEEP SLOPES, AS NEEDED.



3570 Pioneer Road
Verona, WI 53593
PH: (608) 827-9401
FAX: (608) 827-9402
WEB: www.olsontoon.com



Landscape Development for
The PRICE Residence
5010 Lake Mendota Drive
Madison, Wisconsin

Date: 2017-09-19
Scale: 1/16"=1'-0"
Designer: BNF
Job # 7293

Seal:
To protect against legal liability,
the plans presented herein are
"schematic," and should not be
out-sourced as "bid-draw" or
"construction documents" unless
approved by the Landscape
Designer. This is not an original
document unless stamped in
red, as ORIGINAL.

Revisions:
2017-09-20

Reference Name:
DeNoble