

# FEMRITE FLEX BUILDING

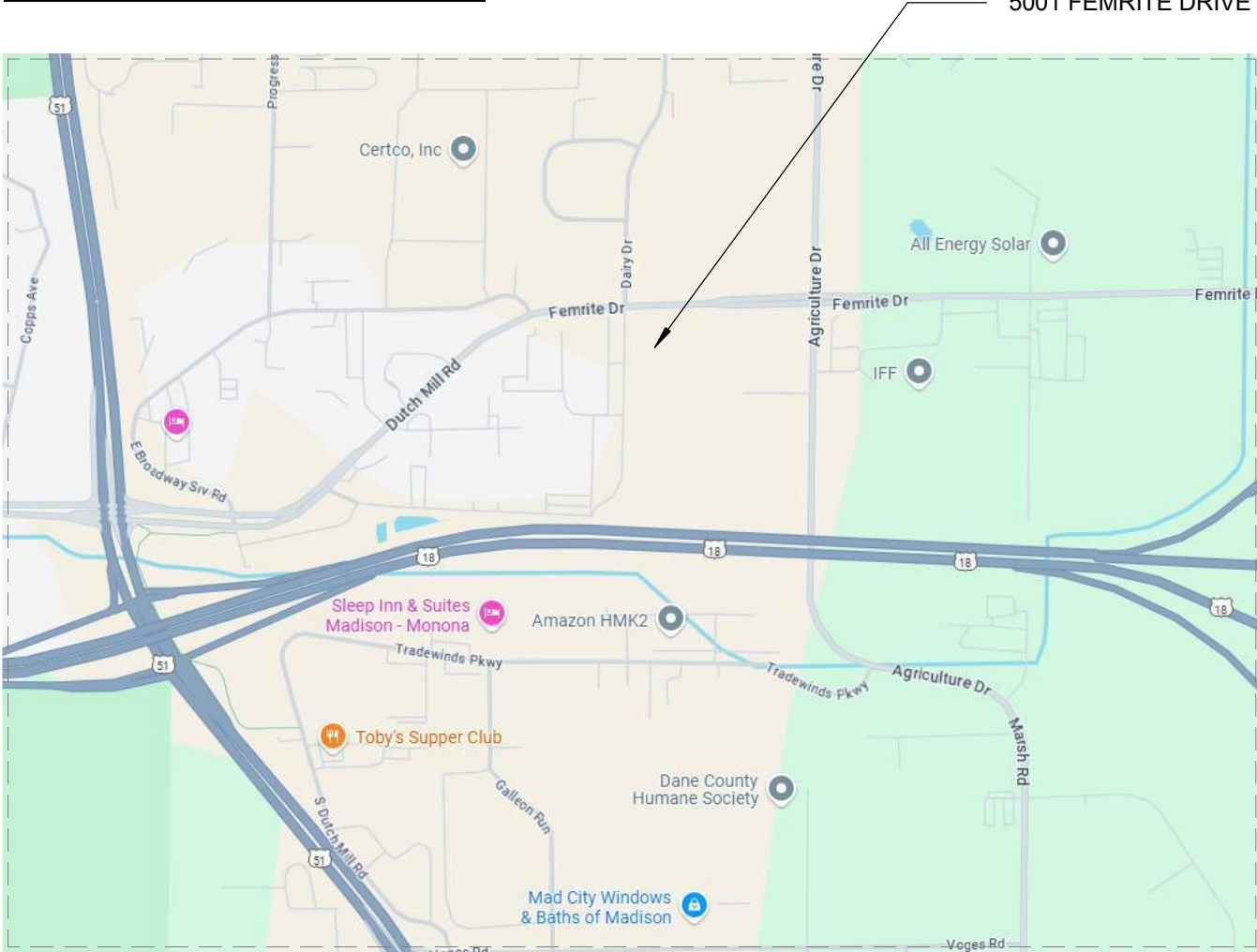
5001 FEMRITE DRIVE  
MADISON, WI

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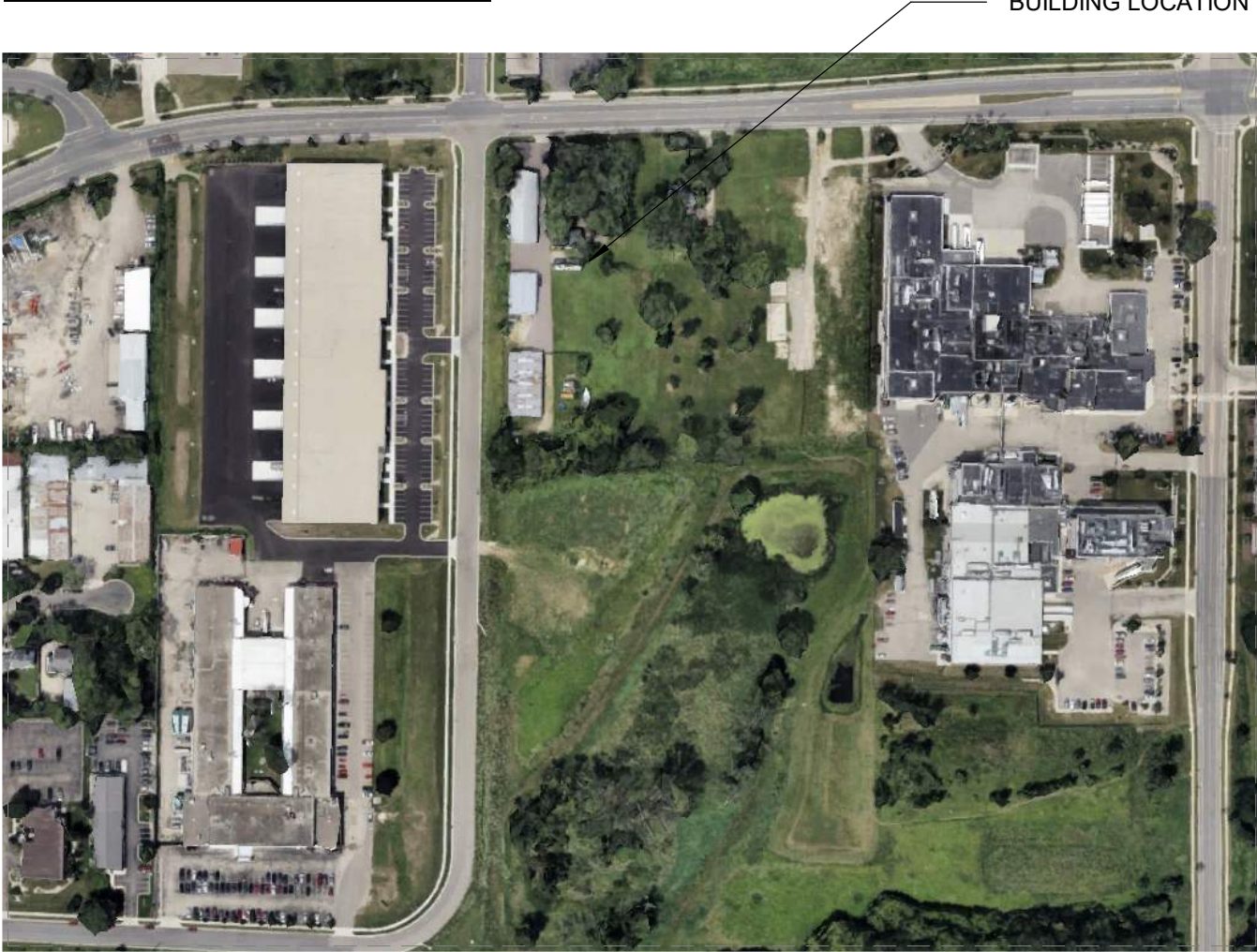
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## PROJECT LOCATION



## BUILDING LOCATION



FEMRITE FLEX BUILDING  
TENANT IMPROVEMENT  
5001 FEMRITE DRIVE  
MADISON, WI

## Project Status

2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL

PROJ. #:	24185-01
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COVER SHEET

G001

## PROJECT CONTACTS:

**OWNER:**  
WISCONSIN DEVELOPMENT PARTNERS  
3351 DAIRY DRIVE  
MADISON, WI 53716

**CONTACT:**  
TYLER MARKS (OWNER)  
866-432-1711

**ARCHITECT:**  
SKETCHWORKS ARCHITECTURE, LLC  
2501 PARMENTER STREET, SUITE 300A  
MIDDLETON, WI 53562

**CONTACT:**  
STEVE SHULFER (ARCHITECT)  
IAN LUECHT (DESIGNER / CONTACT)  
608-836-7570

**GENERAL CONTRACTOR:**  
LIONSHARE GROUP  
7818 BIG SKY DRIVE  
MADISON, WI 53719

**CONTACT:**  
JAMES SPAHR (OWNER)  
608-235-6499







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NEIGHBORING BUILDING AT 3351 DAIRY DRIVE



DANISCO INDUSTRIAL BUILDING FACING OUR SITE



DANISCO INDUSTRIAL BUILDING FACING FEMRITE



CAPITAL CITY SHEET METAL FACING FEMRITE



ECLIPSE BUILDING FACING FEMRITE



ECLIPSE BUILDING SIDE



EXISTING BUILDINGS AT 5001 FEMRITE DRIVE (TAKEN FROM DAIRY DRIVE)



INDUSTIRAL FLEX BUILDING FACING DAIRY DRIVE



INDUSTIRAL FLEX BUILDING FACING FEMRITE

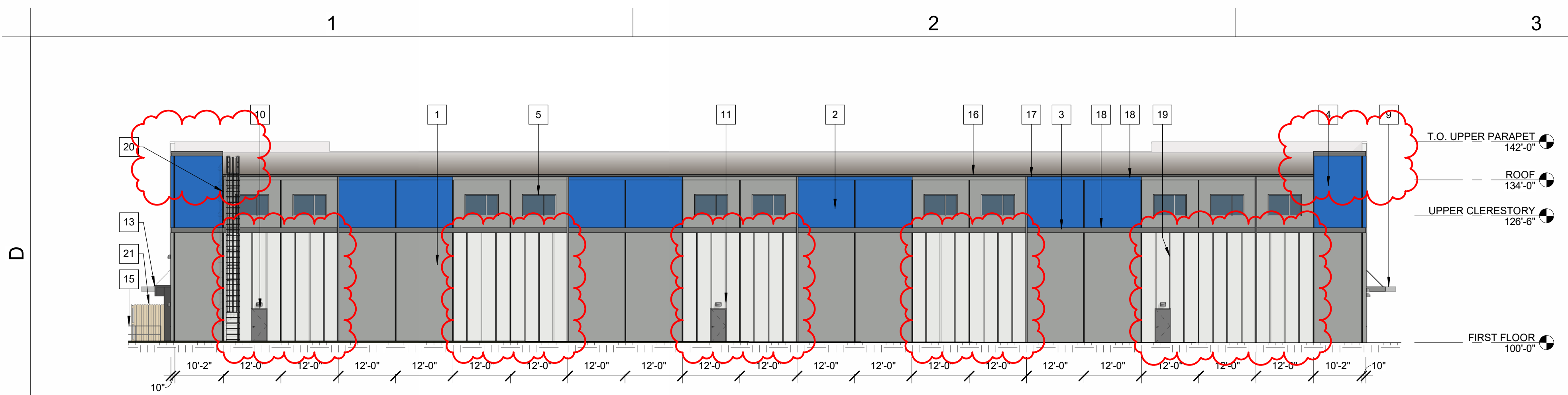
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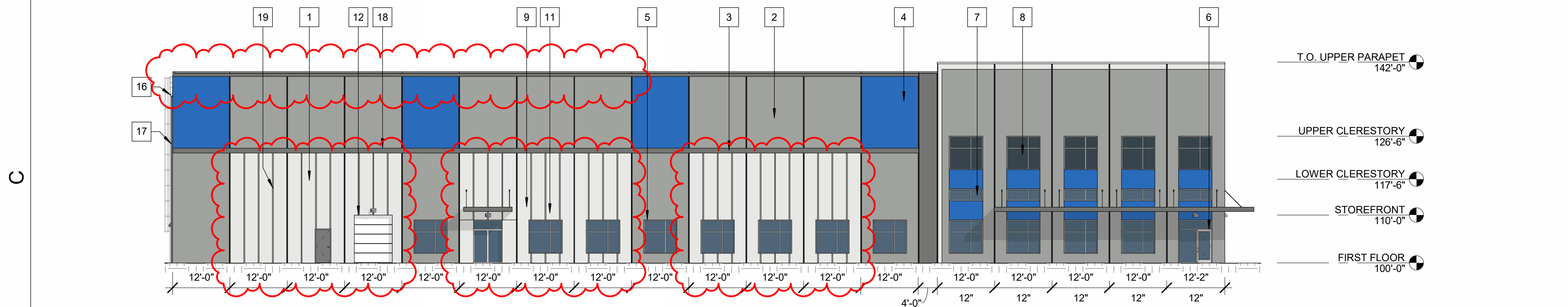
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CONTEXT  
PHOTOS

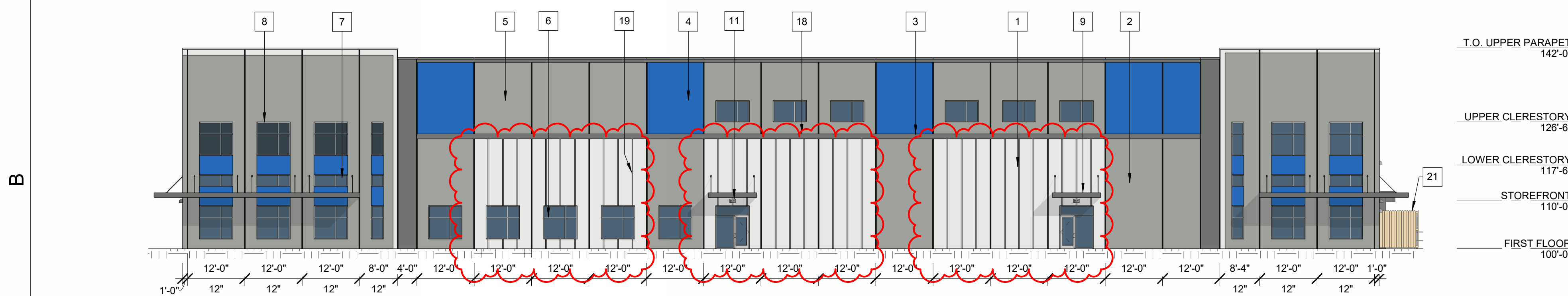




**D1** EAST ELEVATION - COLOR  
1/16" = 1'-0"



**C1** NORTH ELEVATION - COLOR  
1/16" = 1'-0"



**B1** WEST ELEVATION - COLOR  
1/16" = 1'-0"



**A1** SOUTH ELEVATION - COLOR  
1/16" = 1'-0"

EXTERIOR ELEVATIONS KEYNOTE SCHEDULE					
#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	COMMENTS
1	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW7063 NEBULOUS WHITE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
2	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW7674 TIN LIZZIE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
3	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
4	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW 6971 MORNING GLORY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
5	ALUMINUM STOREFRONT SYSTEM	KAWNEER OR EQUAL	451T OR EQUAL	CLEAR ANNODIZED	
6	ALUMINUM STOREFRONT DOOR	KAWNEER OR EQUAL	500T INSULPOUR OR EQUAL	CLEAR ANNODIZED	
7	VISION GLASS			CLEAR	
8	SPANDREL GLASS				
9	PREFABRICATED ALUMINUM CANOPY SYSTEM	MASA OR SIMILAR	EXTRUDECK OR SIMILAR	PAINTED - SW7063 NEBULOUS WHITE	WITH INTEGRATED GUTTER
10	INSULATED METAL DOOR			PAINTED TO MATCH ADJACENT WALL	
11	WALL SCOSCE				
12	INSULATED OVERHEAD DOOR				
13	DOCK SHELTER				
14	DOCK LEVER				
15	GUARD RAIL				
16	METAL GUTTER SYSTEM				
17	METAL DOWNSPOUT				
18	REVEAL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	1'-0" WIDE BY 1" DEEP
19	REVEAL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	2-1/2" WIDE BY 1" DEEP
20	SEVICE LADDER				
21	WOOD DUMPSTER ENCLOSURES				STEEL TUBE STRUCTURE

**PAINT SCHEME**

SW 9163  
Tin Lizzie

SW 7063  
Nebulous  
White

SW 7068  
Grizzle Gray

SW 6971  
Morning Glory

**WOOD DUMPSTER ENCLOSURE**



**Project Status**

2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL

PROJ. #: 24188-01

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ARCHITECTURE 2025

0' 4' 8' 16'  
0' 1/4" 1/2" 1"  
SCALE: 1/16" = 1'-0"

**EXTERIOR  
ELEVATIONS -  
COLOR**



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C

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**FEMRITE FLEX BUILDING**  
TENANT IMPROVEMENT  
5001 FEMRITE DRIVE  
MADISON, WI

**Project Status**

2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL

PROJ. #:	24185-01
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**EXTERIOR  
PERSPECTIVES**





**FEMRITE FLEX BUILDING**  
TENANT IMPROVEMENT  
5001 FEMRITE DRIVE  
MADISON, WI

**Project Status**

2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL

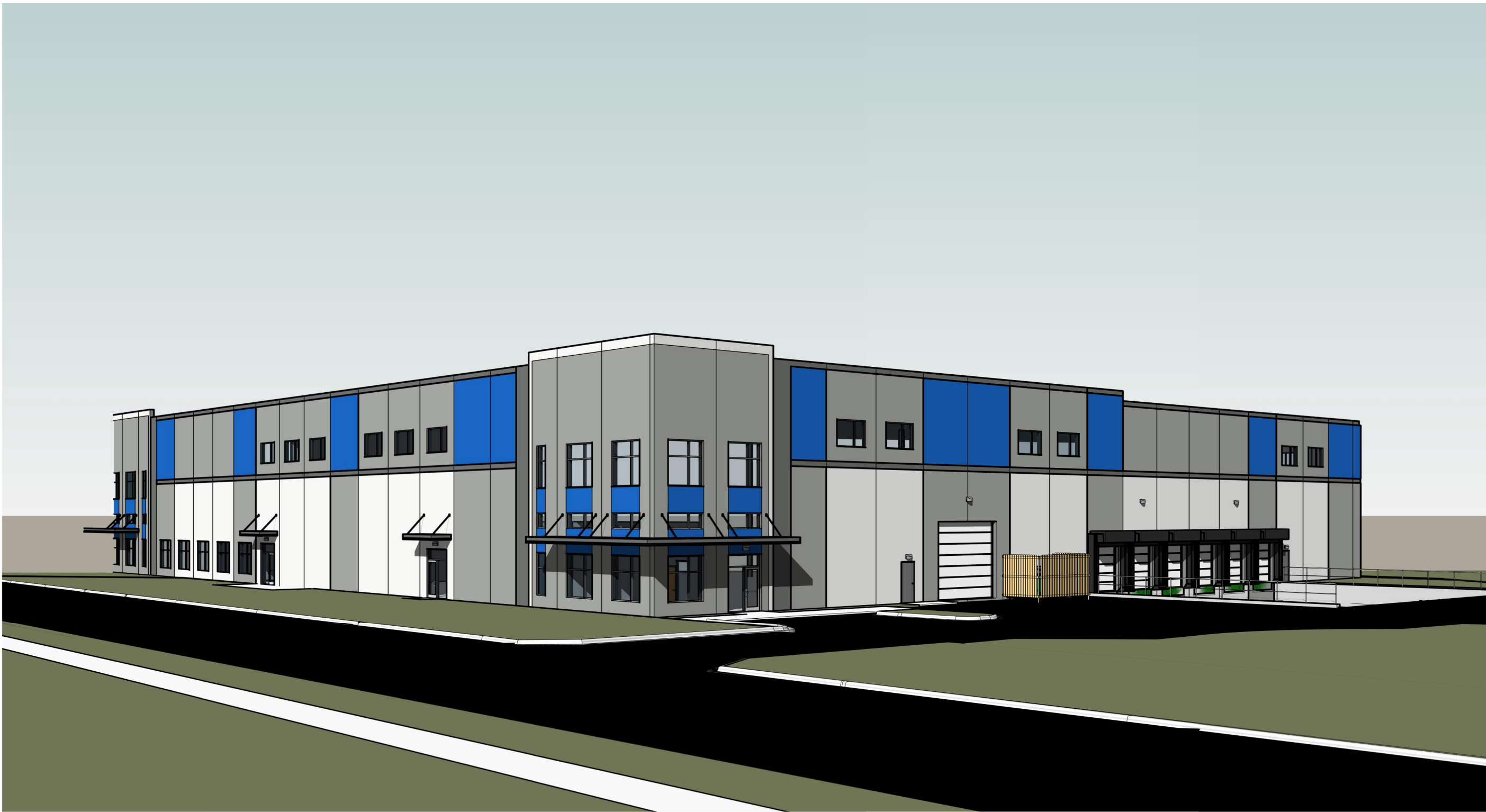
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**EXTERIOR  
PERSPECTIVES  
(BEFORE/AFTER)**



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**FEMRITE FLEX BUILDING**  
TENANT IMPROVEMENT  
5001 FEMRITE DRIVE  
MADISON, WI

**Project Status**

2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL

PROJ. #: 24188-01

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ARCHITECTURE 2025

**EXTERIOR  
PERSPECTIVES  
(BEFORE/AFTER)**

**A205**





**FEMRITE FLEX BUILDING**  
TENANT IMPROVEMENT  
5001 FEMRITE DRIVE  
MADISON, WI

**Project Status**

2025.02.03	UDC SUBMITTAL
2025.03.07	UDC SUBMITTAL - FINAL

PROJ. #:	24188-01
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**EXTERIOR  
PERSPECTIVES  
(BEFORE/AFTER)**



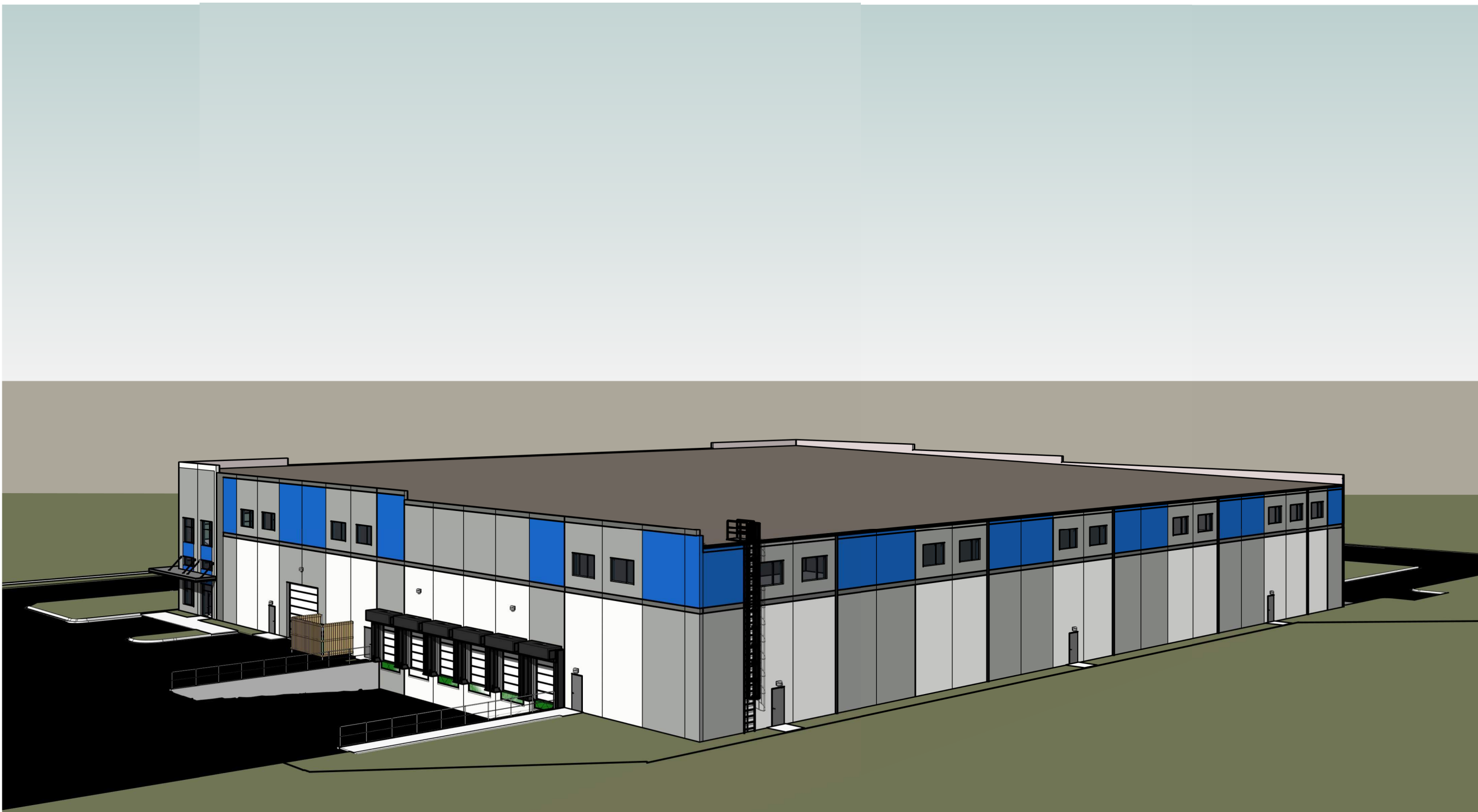
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**FEMRITE FLEX BUILDING**  
TENANT IMPROVEMENT  
5001 FEMRITE DRIVE  
MADISON, WI

**Project Status**

2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL

PROJ. #: 24188-01

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ARCHITECTURE 2025

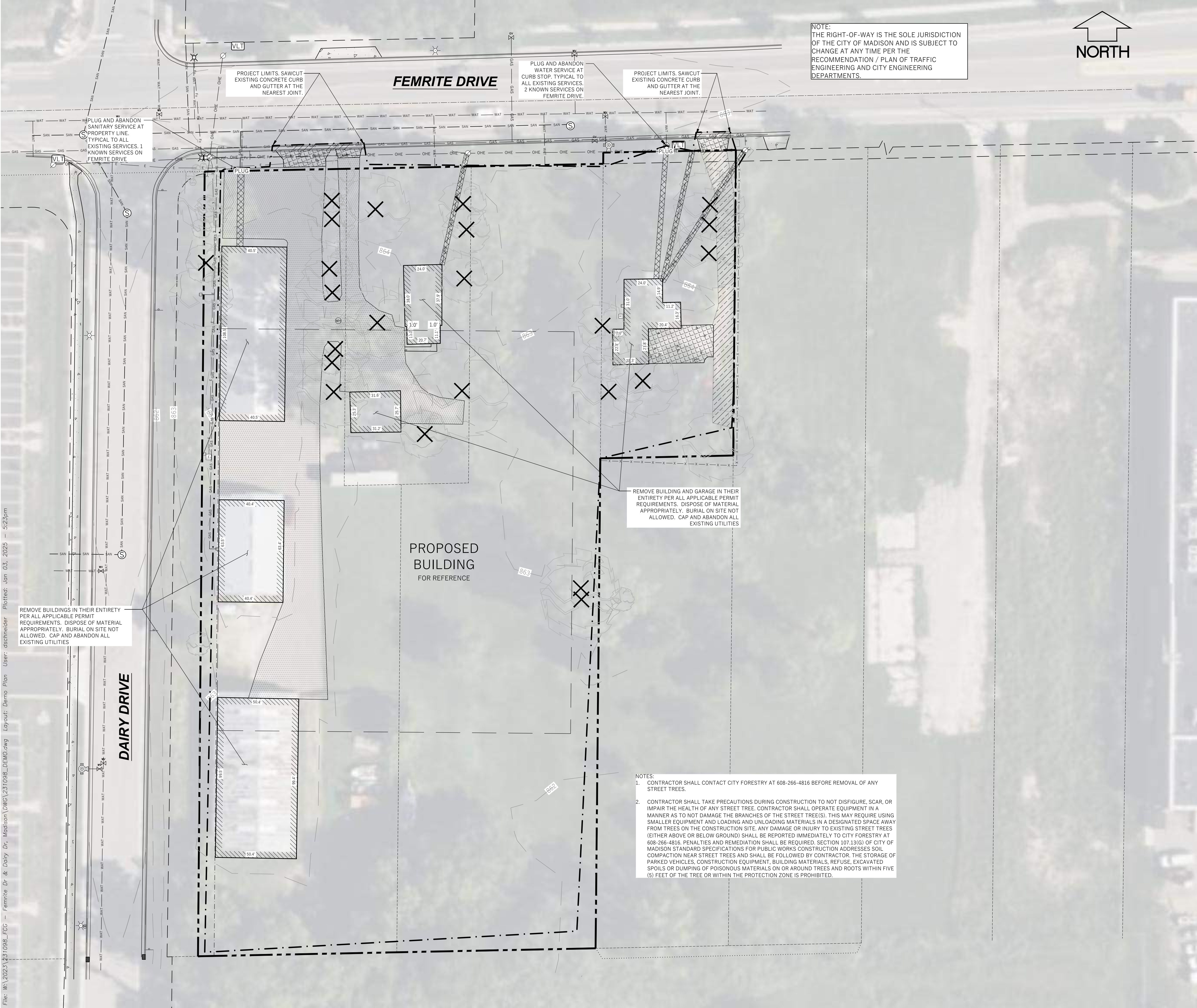
**EXTERIOR  
PERSPECTIVES  
(BEFORE/AFTER)**

**A207**









NOTE:  
THE RIGHT-OF-WAY IS THE SOLE JURISDICTION  
OF THE CITY OF MADISON AND IS SUBJECT TO  
CHANGE AT ANY TIME PER THE  
RECOMMENDATION / PLAN OF TRAFFIC  
ENGINEERING AND CITY ENGINEERING  
DEPARTMENTS.



LEGEND (PROPOSED)

- PROPOSED PROPERTY LINE
- CONSTRUCTION LIMIT LINE
- NEW BUILDING (FOR REFERENCE)
- FULL SECTION ASPHALT REMOVAL AREA
- CONCRETE REMOVAL AREA
- GRAVEL REMOVAL AREA
- CURB AND GUTTER REMOVAL
- UTILITY REMOVAL
- TREE REMOVAL

GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEKS OF SEPTEMBER 6 AND OCTOBER 29, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE SITE, NOT INCLUDING INTERNAL BUILDING DEMOLITION, INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE (BY OTHERS). "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, WHERE NOT INCLUDED WITHIN THE FIELD SURVEY, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S / BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR / BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE OWNER AND ENGINEER OF RECORD. WYSER ENGINEERING TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING OWNER AND ENGINEER OR ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFYING THE OWNER, DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR SHALL KEEP ALL STREETS AND ADJOINING SHARED ACCESS ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND / OR UTILITY INSTALLATION ENCR OACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND / OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATIONS WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ABANDONED / REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE AND BACKFILL WITH SELECT FILL OR PROVIDE PIPE BACK-FILLING WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE / FLOWABLE FILL".
- GRANULAR BACKFILL MATERIALS ARE REQUIRED FOR FILL UNDER PROPOSED PAVED AREAS.
- RESTORATION OF THE EXISTING RIGHT-OF-WAYS AS NEEDED ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES, BUT IS NOT LIMITED TO, CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

- NOTES:
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT 608-266-4816 BEFORE REMOVAL OF ANY STREET TREES.
  - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 608-266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

WYSER  
ENGINEERING

DAIRY DRIVE FLEX BUILDING

CITY OF MADISON, DANE COUNTY, WI

5001 FEMRITE DRIVE  
MADISON, WI 53716

Sheet Title:  
DEMOLITION PLAN

Revisions:

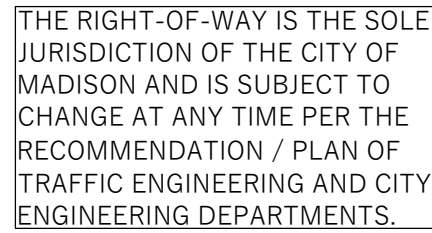
No.	Date:	Description:

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Wyser Number	23-1098
Set Type	UDC
Date Issued	01/06/2024
Sheet Number	C101

**DIGGERS HOTLINE**

Toll Free (800) 242-8511 -or- 811  
Hearing Impaired TDD (800) 542-2289  
[www.DiggersHotline.com](http://www.DiggersHotline.com)




$$FFE = 865.50$$

BIORETENTION BASIN 2.  
MIN. 3,750 SQ.FT. BOTTOM AREA.  
AT THE START OF CONSTRUCTION, EXCAVATE  
BASIN AREA TO 1-FOOT ABOVE THE PLANNED  
BOTTOM OF BASIN STORAGE LAYER (970.0) TO BE  
USED AS A TEMPORARY SEDIMENT BASIN DURING  
CONSTRUCTION.

BIORETENTION BASIN 1.  
MIN. 2,000 SQ.FT. BOTTOM AREA.  
AT THE START OF CONSTRUCTION, EXCAVATE  
BASIN AREA TO 1-FOOT ABOVE THE PLANNED  
BOTTOM OF BASIN STORAGE LAYER (970.0) TO BE  
USED AS A TEMPORARY SEDIMENT BASIN DURING  
CONSTRUCTION.

NOTE:  
SPOT GRADES ARE AS FOLLOWS:  
FFE - FINISHED FLOOR GRADE  
EP - EDGE OF ASPHALT PAVEMENT  
EC - EDGE OF CONCRETE PAVEMENT  
BC - BACK OF CURB  
SW - EDGE OF SIDEWALK  
FG - FINISH GRADE  
TW - FINISH GRADE ADJACENT TOP OF WALL  
BW - FINISH GRADE ADJACENT BOTTOM OF  
WALL (NOT FOOTING)

PROPERTY BOUNDARY  
EASEMENT  
BUILDING FOOTPRINT  
18" CURB AND GUTTER  
ASPHALT PAVEMENT  
CONCRETE PAVEMENT  
1180' PROPOSED MAJOR CONTOUR  
1181' PROPOSED MINOR CONTOUR  
STM  
PROPOSED STORM SEWER  
SILT FENCE  
INLET PROTECTION  
DITCH CHECK  
SPOT GRADE  
1181.25 EP  
DRAINAGE GRADE BREAK  
DRAINAGE ARROW

1.0"

NORTH

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
3. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
4. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
5. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

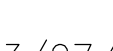
1. POST WDNR CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MADISON / WDNR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST SCHEDULE A SITE MEETING WITH THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.htm](http://dnr.wi.gov/topic/stormwater/standards/const_standards.htm).
9. INSTALL PERMITTER EROSION CONTROLS AND ROCK TRACKING PAD ENTRANCE/ EROSION ENTRANCES (E) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELLS APPROVAL. IF CUMULATIVE PUMP CAPACITY IS TO GPW OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE WATERSHED #1061.
15. CONSTRUCT AND PROTECT THE BIOFILTRATION BASIN AND VEGETATION FROM RUNOFF AND EROSION DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION #1004.
16. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCE AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR
17. REPAIR BARRIERS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
18. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MAINTENANCE PERMITTER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
19. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCING OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
20. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH/ TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
21. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
22. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
23. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
24. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
25. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERM).
26. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS 1 TYPE B EROSION CONTROL. MATTING, INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
27. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL. MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
28. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
29. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRTS) PUBLIC DATABASE AT: <http://dnr.wi.gov/bwbr/>.
30. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: <http://www.epa.gov/waters/pubs/concreteminibasin.pdf>. REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIQUID MAY BE REUSED IN CONCRETE MIXING, EVAPORATED, OR DISPOSED OF AS WASTEWATER.

1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014)
6. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
  - a. TEMPORARY SEEDING/STABILIZATION OF ANNUAL RICE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET,
  - b. WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.

DAIRY DRIVE FLEX BUILDING  
CITY OF MADISON, DANE COUNTY, WI

5001 FEMRITE DRIVE  
MADISON, WI 53716

Sheet Title: GRADING & EROSION CONTROL PLAN

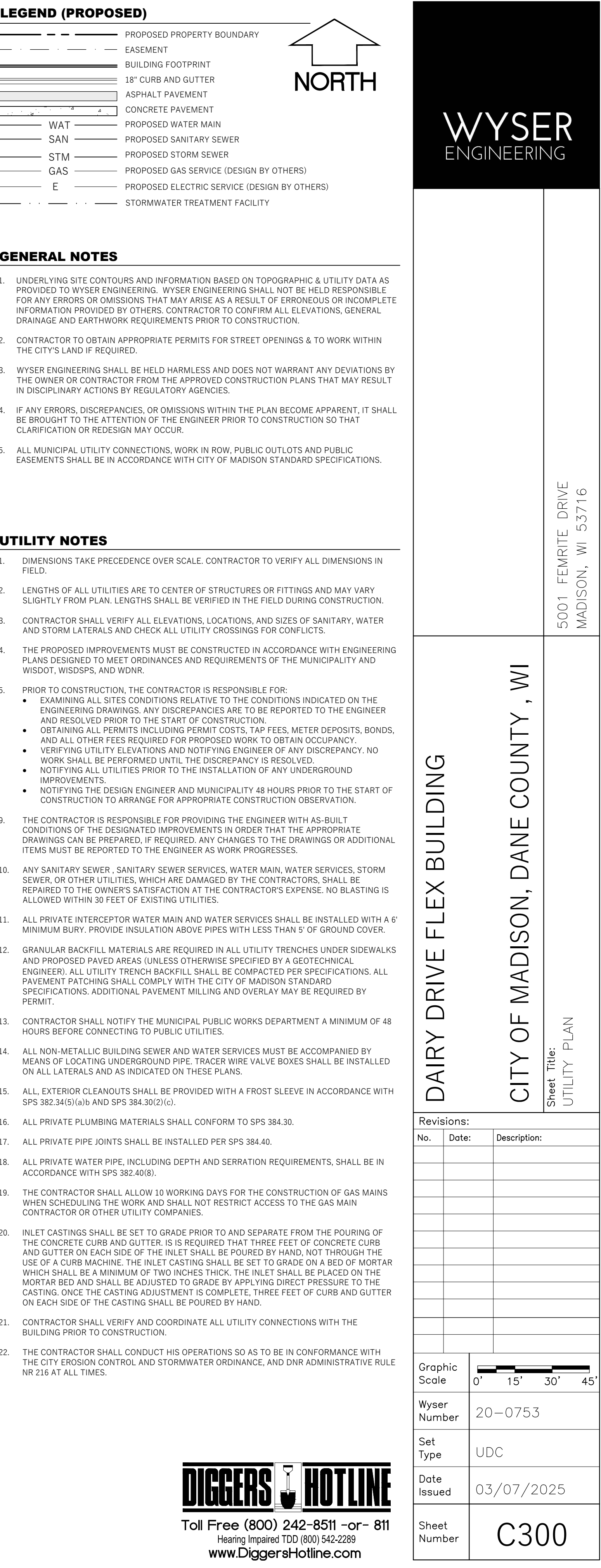
Revisions:		
No.	Date:	Description:
Graphic Scale		
Wysner Number	20-0753	
Set Type	UDC	
Date Issued	03/07/2025	
Sheet Number	C200	

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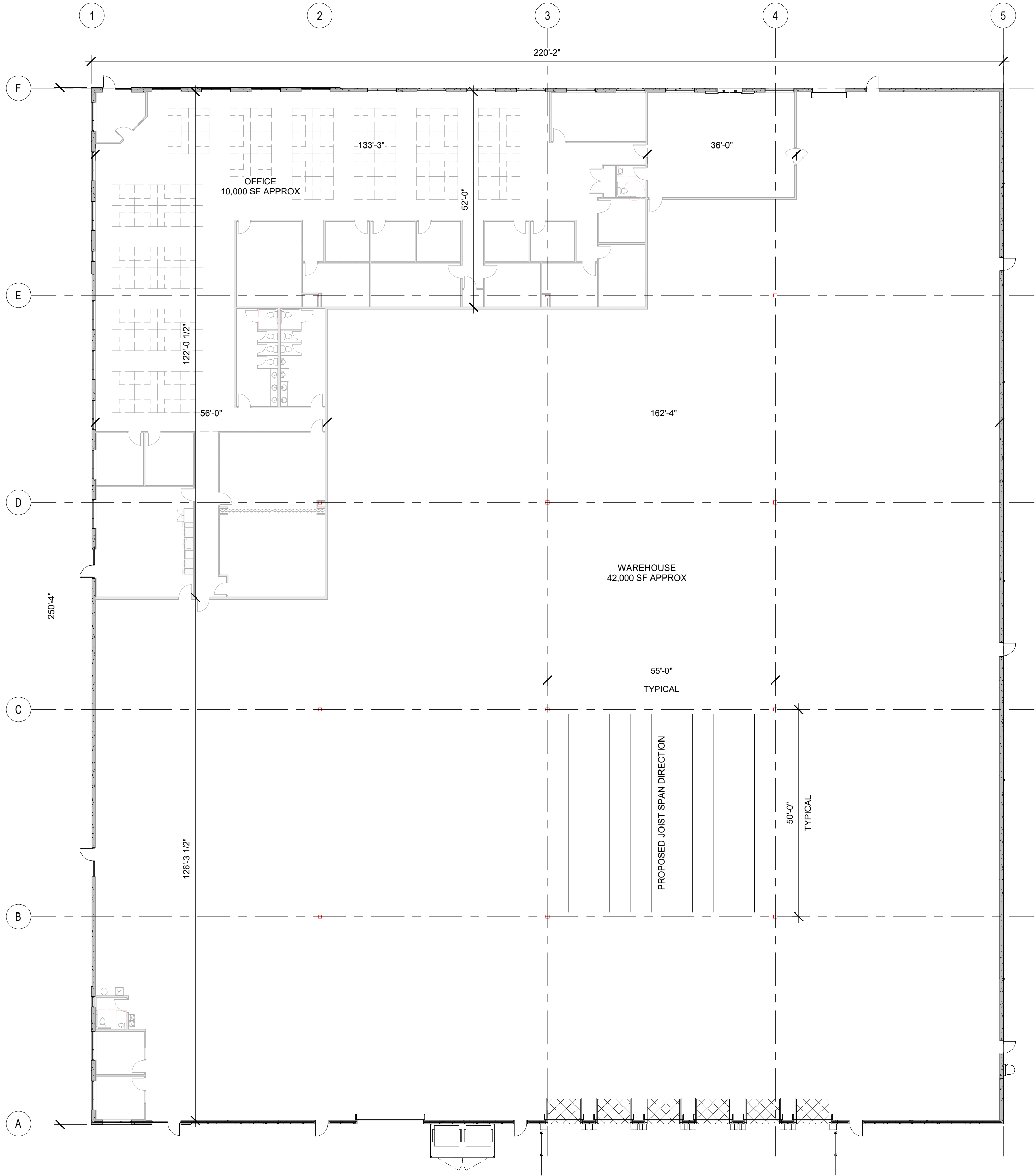








A  
B  
C  
D  
E  
F



**A1** FIRST FLOOR PLAN  
1/16" = 1'-0"

**FEMRITE FLEX BUILDING**

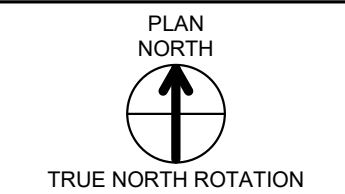
TENANT IMPROVEMENT  
5001 FEMRITE DRIVE  
MADISON, WI

**Project Status**

2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL

PROJ. # 24188-01

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ARCHITECTURE 2025



0' 4' 8' 16'  
0' 1/4" 1/2" 1"  
SCALE: 1/16" = 1'-0"

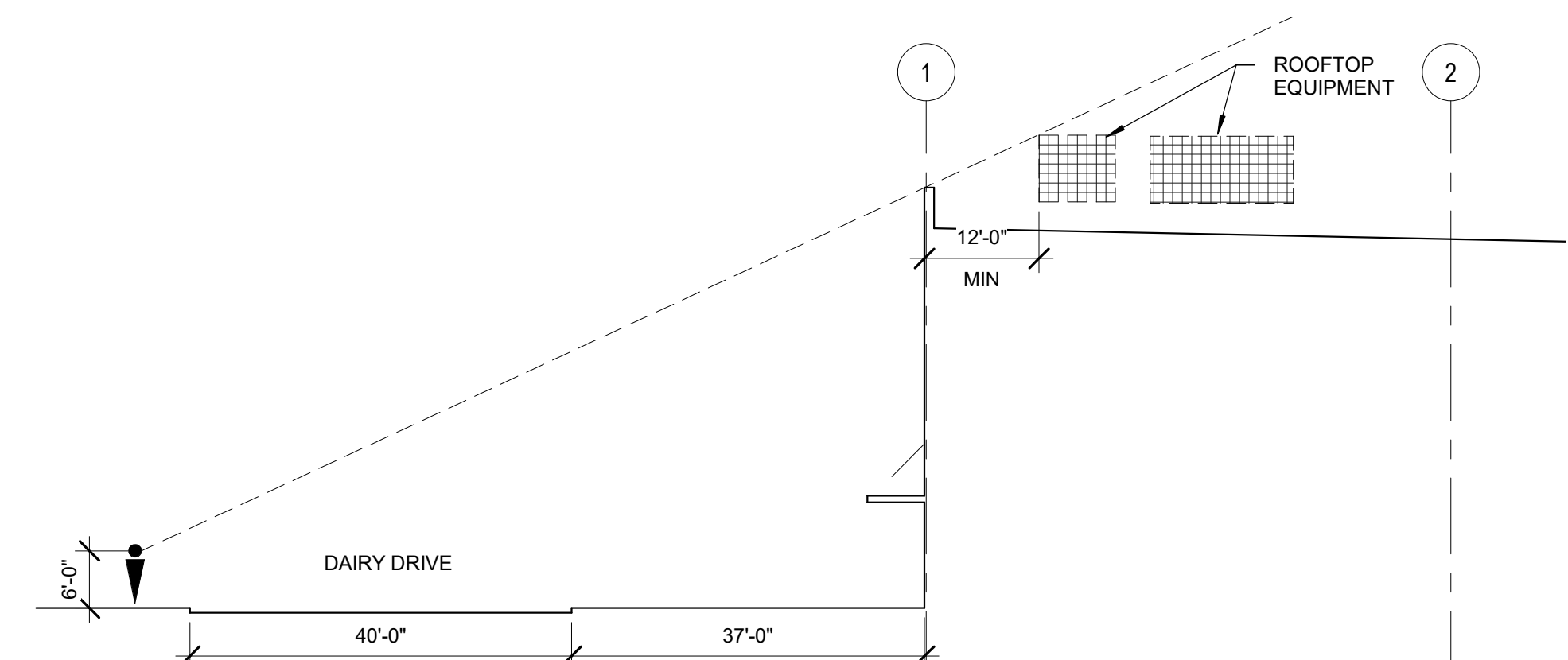
**FLOOR PLAN**

**A101**



Sketchworks  
architecture llc

- A. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL, UNLESS OTHERWISE NOTED. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- B. DIMENSIONS ARE TO FACE OF WALL UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- C. FINAL DOWNSPOUT / SCUPPER LOCATION(S) SHOULD BE COORDINATED BETWEEN THE ROOFING CONTRACTOR, THE ARCHITECT AND THE CIVIL ENGINEER. VERIFY LOCATION OF DOWNSPOUTS.



**A3** ROOFTOP EQUIPMENT SCREENING  
1/16" = 1'-0"

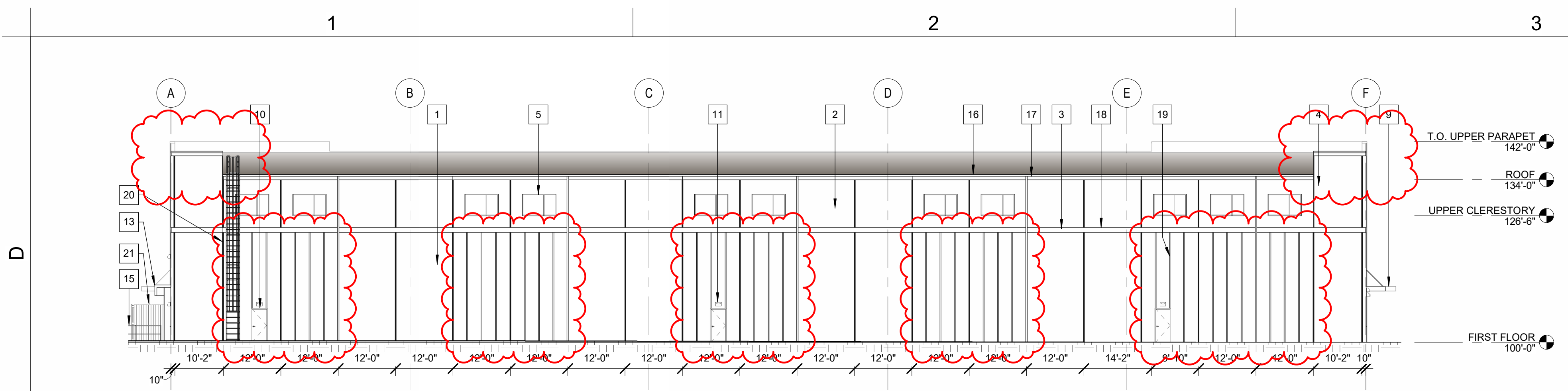
0' 4' 8' 16'

0' 1/4" 1/2" 1"

SCALE: 1/16" = 1'-0"

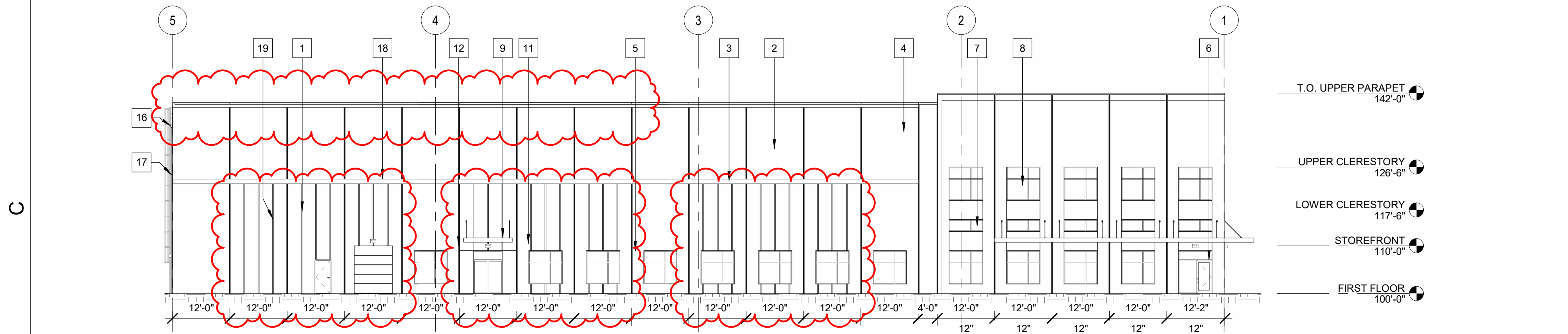
## A104





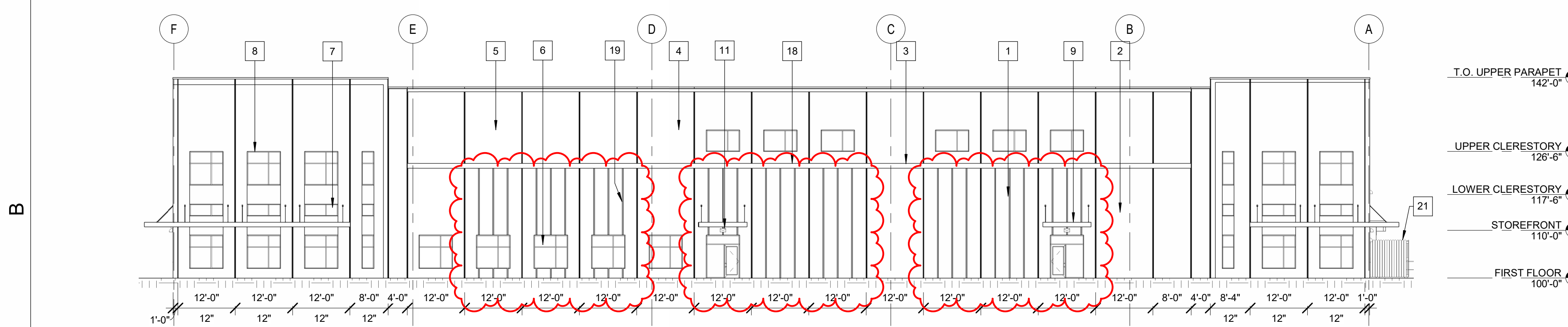
**D1 EAST ELEVATION**

1/16" = 1'-0"



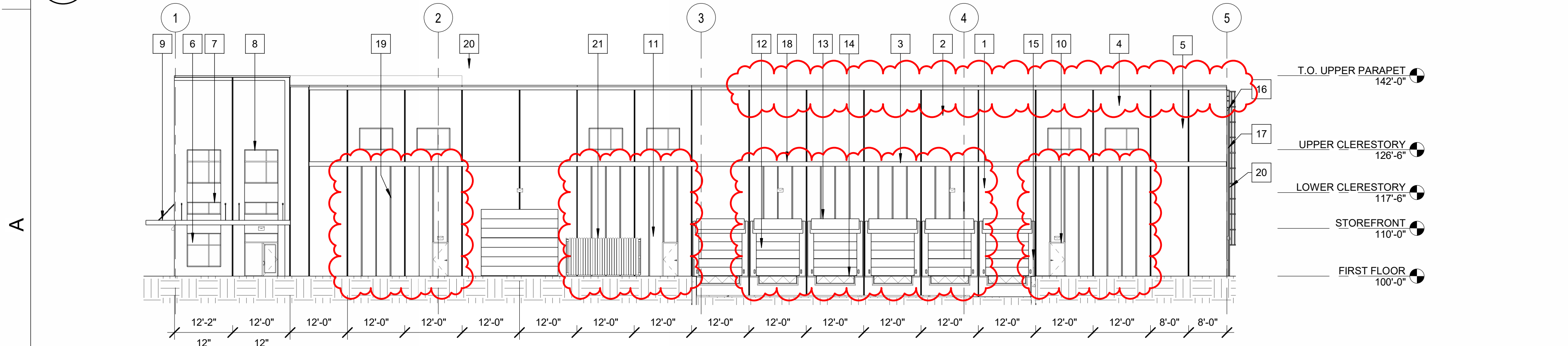
**C1 NORTH ELEVATION**

1/16" = 1'-0"



**B1 WEST ELEVATION**

1/16" = 1'-0"



**A1 SOUTH ELEVATION**

1/16" = 1'-0"

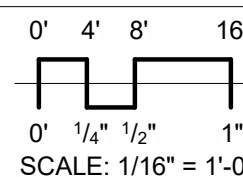
EXTERIOR ELEVATIONS KEYNOTE SCHEDULE					
#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	COMMENTS
1	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW7063 NEBULOUS WHITE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
2	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW7674 TIN LIZZIE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
3	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
4	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW 6971 MORNING GLORY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE
5	ALUMINUM STOREFRONT SYSTEM	KAWNEER OR EQUAL	451T OR EQUAL	CLEAR ANNODIZED	
6	ALUMINUM STOREFRONT DOOR	KAWNEER OR EQUAL	500T INSULPOUR OR EQUAL	CLEAR ANNODIZED	
7	VISION GLASS			CLEAR	
8	SPANDREL GLASS				
9	PREFABRICATED ALUMINUM CANOPY SYSTEM	MASA OR SIMILAR	EXTRUDECK OR SIMILAR	PAINTED - SW7063 NEBULOUS WHITE	WITH INTEGRATED GUTTER
10	INSULATED METAL DOOR			PAINTED TO MATCH ADJACENT WALL	
11	WALL SCONCE				
12	INSULATED OVERHEAD DOOR				
13	DOCK SHELTER				
14	DOCK LEVER				
15	GUARD RAIL				
16	METAL GUTTER SYSTEM				
17	METAL DOWNSPOUT				
18	REVEAL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	1'-0" WIDE BY 1" DEEP
19	REVEAL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	2-1/2" WIDE BY 1" DEEP
20	SEVICE LADDER				
21	WOOD DUMPSTER ENCLOSURES				STEEL TUBE STRUCTURE

Project Status

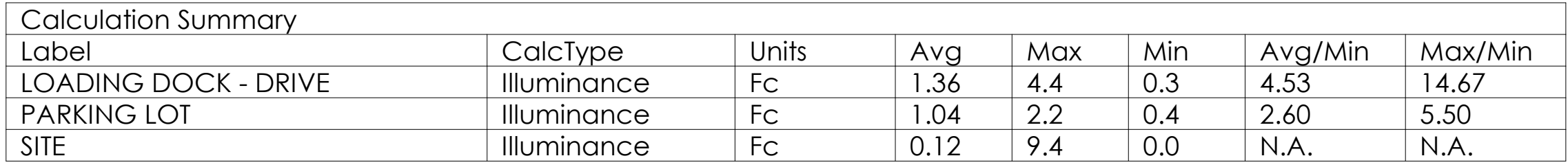
2025.02.03	UDC SUBMITTAL
2025.03.26	UDC SUBMITTAL - FINAL



PROJ. #: 24185-01

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ARCHITECTURE 2025







Luminaire Schedule								
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
	16	OA	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR2B	Single	2135	18.2	0.900
	8	OB	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PA1B-740-U-T4W-HSS	Single	6423	74	0.900

1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. Egress calc points @ 0' A.F.F.
6. Malzagr Associates assumes no responsibility for installed light levels due to field conditions, etc.





## DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

## SPECIFICATION FEATURES

### Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

### Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

### Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming. 120-277V 50/60Hz or 347V 60Hz models.

### Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

### Warranty

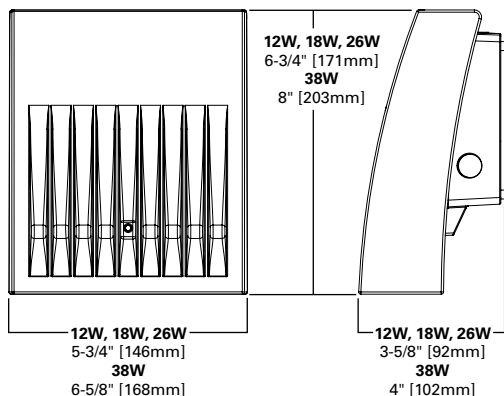
Five-year warranty.



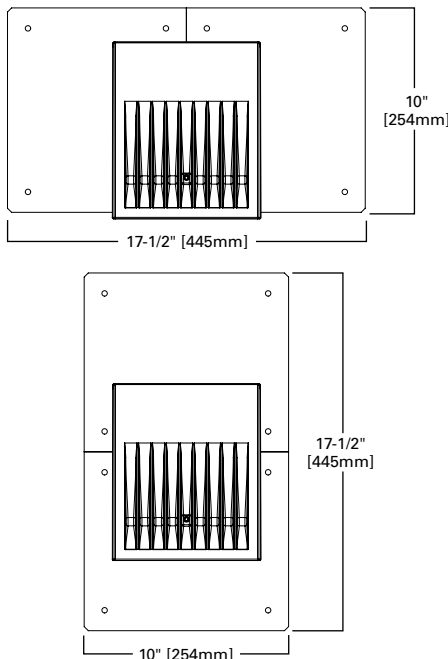
## XTOR CROSSTOUR LED

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

## DIMENSIONS



## ESCUTCHEON PLATES



## CERTIFICATION DATA

Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)  
UL/cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP66 Ingress Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified\*

## TECHNICAL DATA

40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

## EPA

Effective Projected Area (Sq. Ft.):  
XTOR1B, XTOR2B, XTOR3B=0.34  
XTOR4B=0.45

## SHIPPING DATA:

Approximate Net Weight:  
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]



Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark

## Prevail Discrete LED

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3, 4](#)
- Optical Configurations [page 5](#)
- Product Specifications [page 5](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 8](#)

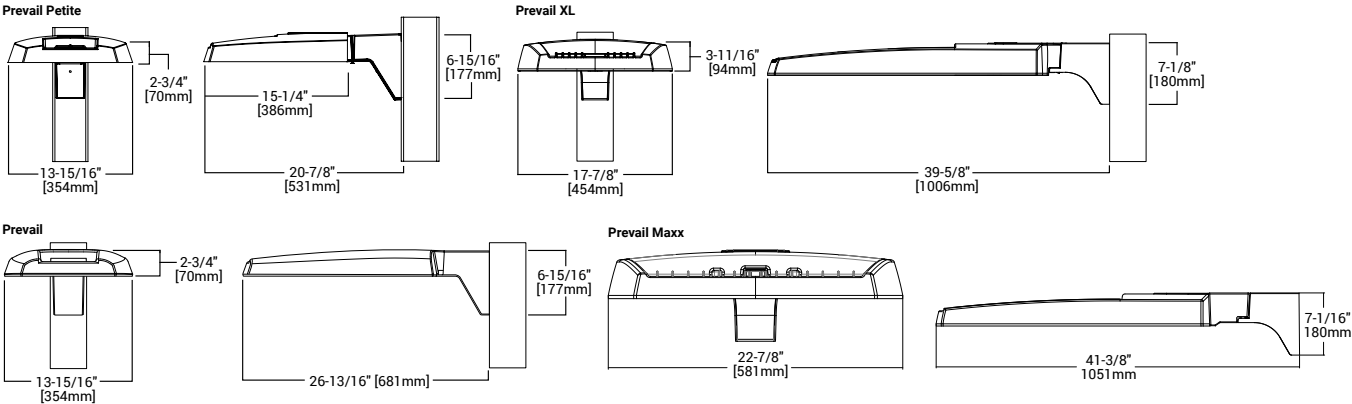
### Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

### Connected Systems

- WaveLinX PRO Wireless
- WaveLinX LITE Wireless

### Dimensional Details



NOTES:  
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
2. IDA Certified for 3000K CCT and warmer only.