2

SHEET INDEX REVISIONS SHEET NUMBER SHEET NAME MARK DATE GENERAL G001 COVER SHEET CONTEXT PHOTOS G003 CIVIL C100 SITE PLAN C101 DEMOLITION PLAN C200 GRADING AND EROSION CONTROL PLAN C201 DETAILED GRADING C300 UTILITY PLAN LANDSCAPE L100 LANDSCAPING PLAN ARCHITECTURAL FLOOR PLAN A101 ROOF PLAN A104 A201 EXTERIOR ELEVATIONS A202 **EXTERIOR ELEVATIONS - COLOR** EXTERIOR PERSPECTIVES A203 A204 EXTERIOR PERSPECTIVES (BEFORE/AFTER) A205 EXTERIOR PERSPECTIVES (BEFORE/AFTER) A206 EXTERIOR PERSPECTIVES (BEFORE/AFTER) A207 EXTERIOR PERSPECTIVES (BEFORE/AFTER) \mathbf{O} Ш

PROJECT CONTACTS:

<u>OWNER:</u> WISCONSIN DEVELOPMENT PARTNERS **3351 DAIRY DRIVE** MADISON, WI 53716

CONTACT: TYLER MARKS (OWNER) 866-432-1711

ARCHITECT: SKETCHWORKS ARCHITECTURE, LLC **2501 PARMENTER STREET, SUITE 300A** MIDDLETON, WI 53562

CONTACT: **STEVE SHULFER (ARCHITECT)** IAN LUECHT (DESIGNER / CONTACT) 608-836-7570

<u>GENERAL CONTRACTOR:</u> LIONSHARE GROUP 7818 BIG SKY DRIVE MADISON, WI 53719

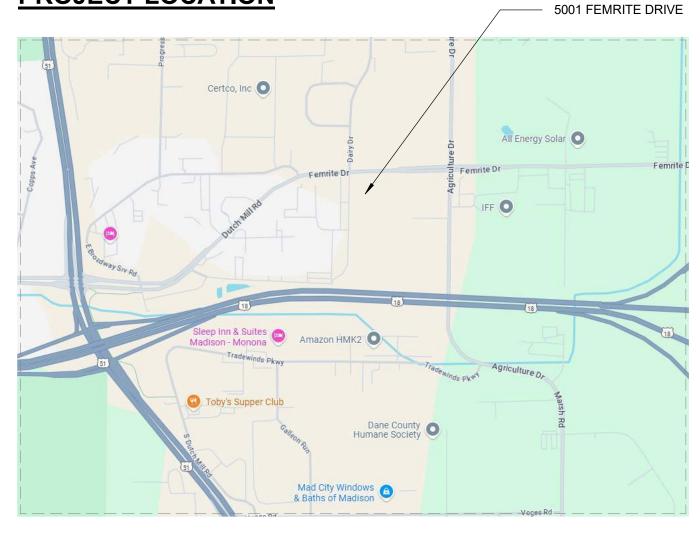
CONTACT: JAMES SPAHR (OWNER) 608-235-6499

FEMRITE FLEX BUILDING 5001 FEMRITE DRIVE MADISON, WI





PROJECT LOCATION



BUILDING LOCATION

BUILDING LOCATION

BUILDING

FLEX

SITE

FEMR

TENANT IMPROVEMEN

Project Status

 2025.02.03
 UDC SUBMITTAL

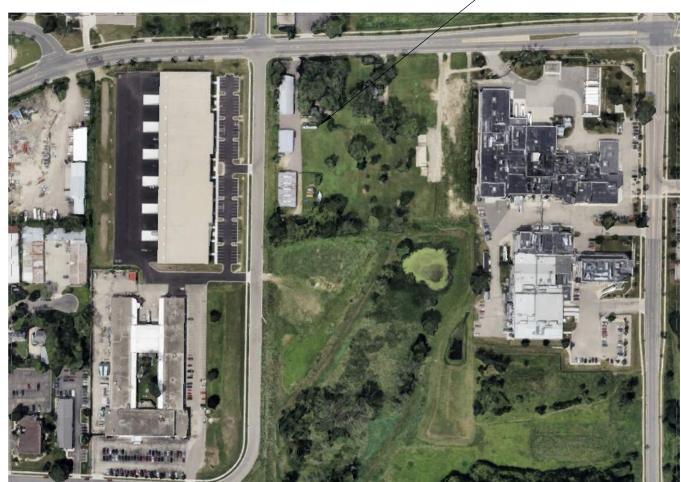
 2025.03.26
 UDC SUBMITTAL -FINAL

© SKETCHWORKS **ARCHITECTURE 2025**

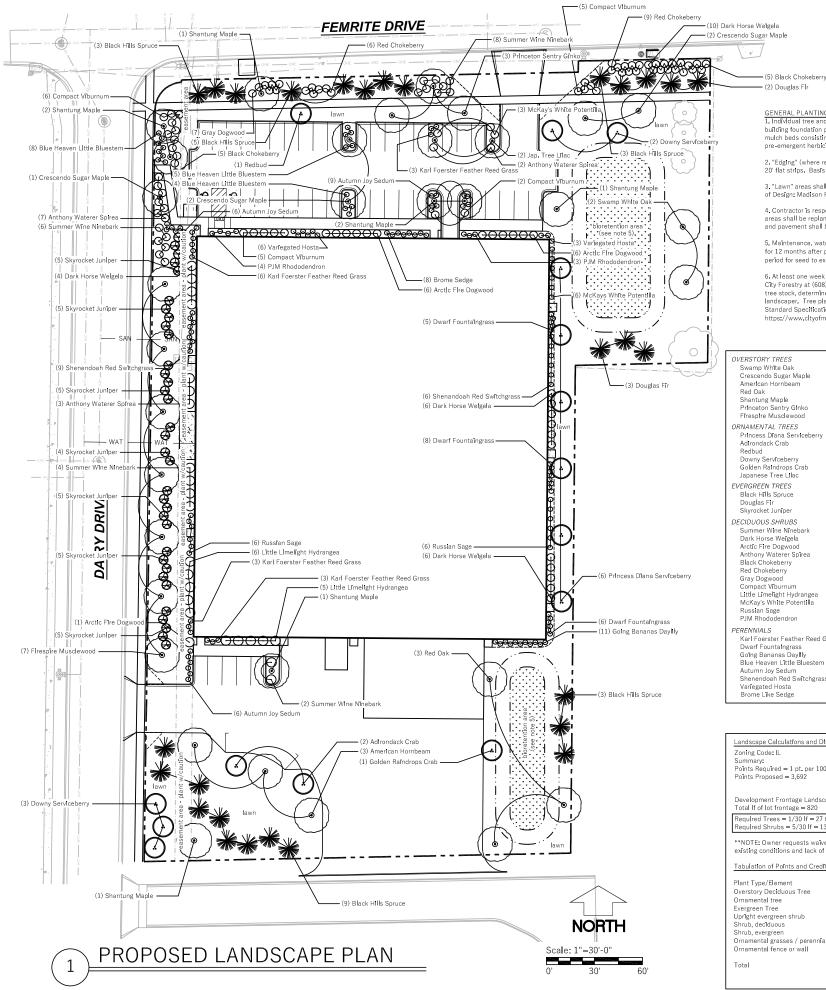
PROJ. #:

24185-01

5001 FEMRITE DRIVE Madison, wi



COVER SHEET



GENERAL PLANTING NOTES: 1. Individual tree and shrub groupings found within lawn areas, along parking areas, and building foundation plant beds are to receive organic, hardwood mulch rings and/or wood mulch beds consisting of a natural hardwood mulch spread to a 3" min. depth over a pre-emergent herbicide.

2. "Edging" (where required) to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries.

3. "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation.

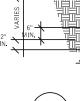
4. Contractor is responsible for repairing any and all damage to the adj. properties. Planted areas shall be replanted, damaged lawn areas shall be repaired with sod and adjacent curbs and pavement shall be re-paved.

5. Maintenance, watering and warranty of all plants (including bioinfiltration areas) to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

6. At least one week prior to street tree planting. Contractor shall contact leff Helnecke with City Forestry at (608) 444-2673 or (608) 266-4816 to schedule inspection, approve nursery tree stock, determine final planting location, and review planting specifications with the landscaper. Tree planting specifications can be found in section 209 of City of Madison Standard Specifications for Public Works Construction (website: https://www.citvofmadison.com/business/pw/specs.cfm)

ERSTORY TREES Swamp White Oak	Quercus bicolor	2 1/2" cal.	Qty. 2
Crescendo Sugar Maple	Acer saccharum 'Morton'	2 1/2" cal.	5
American Hornbeam	Carpinus caroliniana	2 1/2" cal.	3
Red Oak	Quercus rubra	2 1/2" cal.	3
Shantung Maple	Acer truncatum	2 1/2" cal.	8
Princeton Sentry Ginko	Ginkgo biloba 'PNI 2720'	2 1/2" cal.	3
Firespire Musclewood	Carpinus caroliniana 'J.N. Upright'	2 1/2" cal.	7
	Carpinus caroninana 3.14. oprigrit	2 1/2 Cal.	'
NAMENTAL TREES			
Princess Diana Serviceberry	Amel. × grandiflora 'Princess Diana'	1 1/2" cal.	6
Adlrondack Crab	Malus 'Adirondack'	1 1/2" cal.	2
Redbud	Cercis canadensis 'Columbus'	1 1/2" cal.	1
Downy Serviceberry	Amelanchier arborea	1 1/2" cal.	5
Golden Raindrops Crab	Malus transitoria 'Schmidtcutleaf'	1 1/2" cal.	1
lapanese Tree Lilac	Syringa amurensis	1 1/2" cal.	2
RGREEN TREES	., .		
	Binne al constal	CL LA	00
Black Hills Spruce	Picea glauca 'Densata'	6' ht.	23
Douglas Fir	Pseudotsuga menziesii	6' ht.	5
Skyrocket Juniper	Juniperus scopulorum 'Skyrocket'	5' ht.	31
CIDUOUS SHRUBS			
Summer Wine Ninebark	Physocarpus opul. 'Summer Wine'	18" ht.	13
Dark Horse Weigela	Weigela florida 'Dark Horse'	18" ht.	10
Arctic Fire Dogwood	Cornus stolonifera 'Farrow'	18" ht.	13
Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Waterer'	18" ht.	12
Black Chokeberry	Aronia melanocarpa Iroquois Beauty	18" ht.	10
Red Chokeberry	Aronia arbutifolia	18" ht.	15
Gray Dogwood	Cornus racemosa		7
Compact Viburnum	Viburnum carlesii 'Compactum'	18" ht.	18
		18" ht.	
_ittle Limelight Hydrangea	Hydrangea paniculata	18" ht.	11
VicKay's White Potentilla	Potentilla fruticosa 'McKay's White'	18" ht.	6
Russian Sage	Perovskia atriplicifolia	18" ht.	12
PJM Rhododendron	Rhododendron 'P J M '	18" ht.	6
RENNIALS			
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'K. Foerster'	1 gal.	19
Dwarf Fountaingrass	Pennisetum alopecuroides 'Hameln'	1 gal.	19
Going Bananas Dayilly	Hemerocallis 'Going Bananas'	1 gal.	11
Blue Heaven Little Bluestem	Schizachyrium scoparium BLUE HEAVEN	1 gal.	17
Autumn Joy Sedum	Sedum spectabile 'Autumn Joy'	1 gal.	21
			15
Shenendoah Red Switchgrass	Panicum virgatum 'Shenandoah'	1 gal	
/ariegated Hosta	Hosta 'Undulata Albomarginata'	1 gal	9
Brome Like Sedge	Carex bromoides	1 gal.	8

Landscape Calculations and Distrib	ution			
Zoning Code: IL Summary: Points Required = 1 pt. per 100 sf d Points Proposed = 3,692	eveloped area (39	,000 sf /100) = 390 pts.		
Development Frontage Landscaping Total If of lot frontage = 820	ž			
Required Trees = 1/30 If = 27 trees Required Shrubs = 5/30 If = 135 sh		vided Trees = 27 vided Shrubs = ** 93		
Tabulation of Points and Credits (in	cludes Developme	ent Frontage Landscaping)	Prop	osed
Plant Type/Element	Min. size	Points	Oty.	
Overstory Deciduous Tree	2 1/2" cal.	35	31	1.085
Ornamental tree	1 1/2" cal.	15	17	255
Evergreen Tree	5'-6'	35	49	1,715
Upright evergreen shrub	3-4 feet tall	10	-	-
Shrub, declduous	18" or 3 gal.	3	133	399
Shrub, evergreen	18" or 3 gal.	4	-	-
	18" or 3 gal.	2	119	238
Ornamental grasses / perennials				
Ornamental grasses / perennials Ornamental fence or wall	na	4 per 10 lf	-	-
	па	4 per 10 lf	-	- 3,692



ORGANIC, HARDWOOD

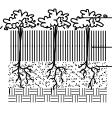
MULCH FORM SAUCER



OVERLAND FLOW/DOWNSPOLITS CONTRIBUTE WATER







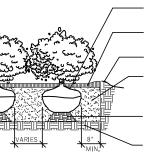
PLANT SPACING AS SHOWN ON PLAN

- ORGANIC, HARDWOOD MULCH

PLANTING MIX W/NO LARGE STONES-50-80% MEDIUM AND COARSE SAND, 5-20% CLAY, 5-35% SILT

PERENNIAL PLANTING

2



 REMOVE BURLAP FROM UPPER 1/3 OF BALL.

- MULCH

ORM SAUCER WITH CONTINUOUS RIM

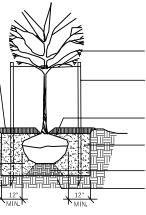
PLANTING MIX W/NO LARGE STONES-50-80% MEDIUM AND COARSE SAND, 5-20% CLAY, 5-35% SILT

COMPACTED SOIL MIX TO FORM PEDESTAL AS SHOWN

BREAK SUBGRADE WITH PICK

SHRUB PLANTING

3



2 STRAND TWISTED 12 GUAGE GAL. WIRE ENCASED IN 1" DIA. RUBBER HOSE

2" X 2" X 8' CEDAR STAKES 2 REQUIRED FOR 1 1/2"CAL AND LARGER, 3 REQ. FOR 3" CAL. AND LARGER TREE

- ROLL BACK TOP HALF OF BURLAP WRAP

PLANTING MIX W/NO LARGE STONES-- 50-80% MEDIUM AND COARSE SAND, 5-20% CLAY, 5-35% SILT

COMPACTED SOIL MIX TO FORM PEDESTAL AS SHOWN

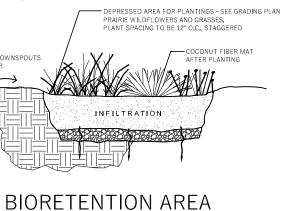
BREAK SUBGRADE WITH PICK IF NECESSARY

TREE PLANTING

NTS

PLANT LIST: EOUAL MIX. 2 1/2" PLUGS, RANDOM PLANT.

Butterfly Weed, Blue False Indigo, White False Indigo, Purple Coneflower, Blue Flag Ins, Cardinal Flower, Marsh Blazingstar, Brown Eyed Susan, Stiff Goldenrod, Bottlebrush Sedge, Fox Sedge, Torrey's Rush, Switch Grass



			5001 FEMRITE DRIVE MADISON, WI 53716	
DAIRY DRIVE FLEX BUILDING		CITY OF MADISON, DANE COUNTY , WI	Sheet Title: LANDSCAPE PLAN	
Revisions: No. Date	:	Description		
Graphic Scale				
Wyser Number Set	23–1098			
Type Date		VIEW P		
Issued	^{03/02/2025}			

WYSER



NEIGHBORING BUILDING AT 3351 DAIRY DRIVE



CAPITAL CITY SHEET METAL FACING FEMRITE



EXISTING BUILDINGS AT 5001 FEMRITE DRIVE (TAKEN FROM DAIRY DRIVE)

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DANISCO INDUSTRIAL BUILDING FACING OUR SITE



ECLIPSE BUILDING FACING FEMRITE



INDUSTIRAL FLEX BUILDING FACING DAIRY DRIVE





ECLIPSE BUILDING SIDE



DANISCO INDUSTRIAL BUILDING FACING FEMRITE

INDUSTIRAL FLEX BUILDING FACING FEMRITE

UDC SUBMITTAL - FINAL



BUILDING

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Project Status

2025.02.03 UDC SUBMITTAL 2025.03.26 UDC SUBMITTAL -FINAL

© SKETCHWORKS ARCHITECTURE 2025

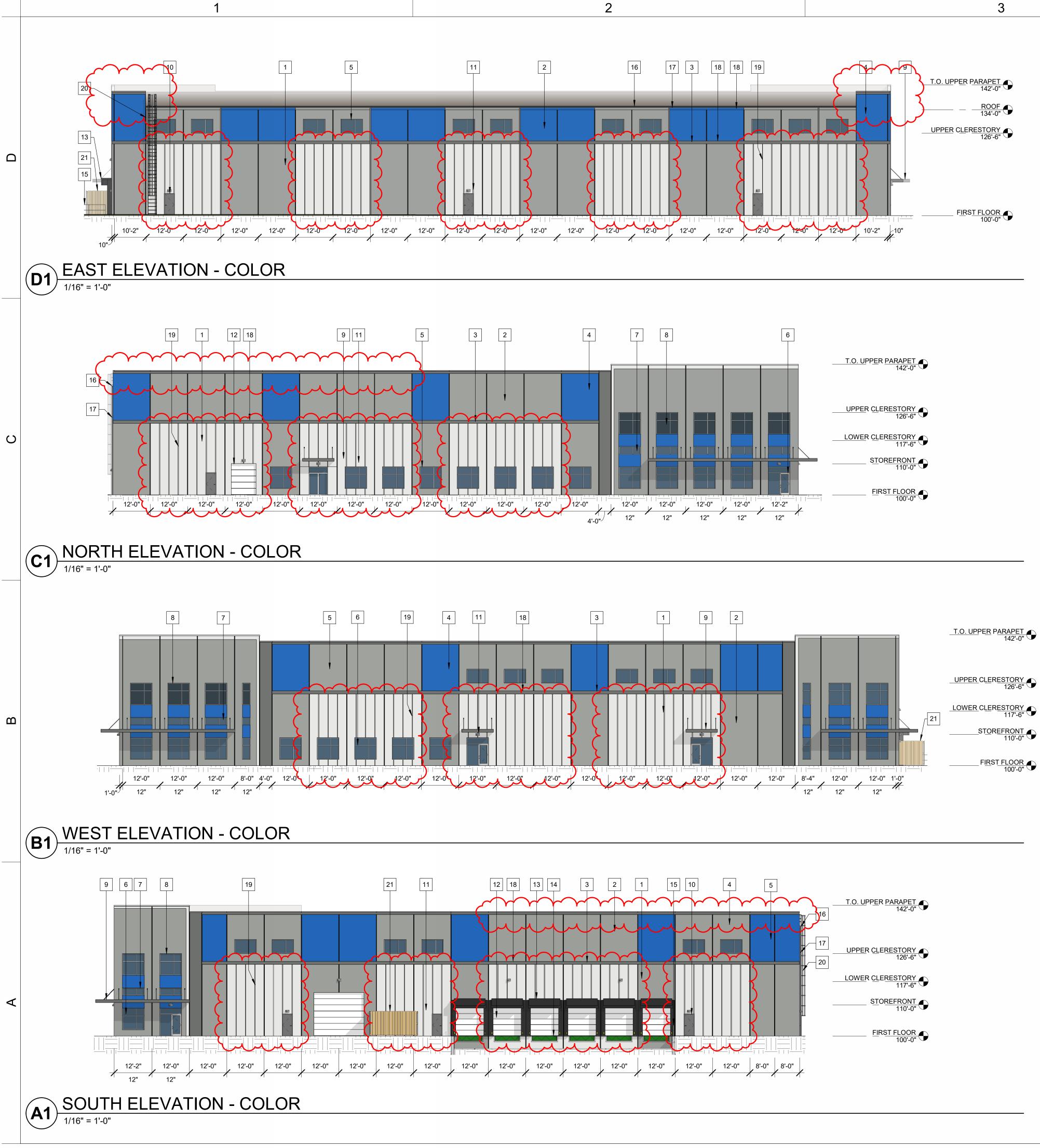
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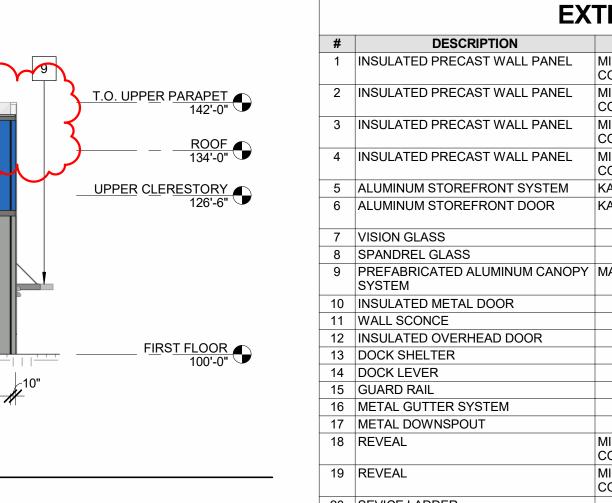
PHOTOS

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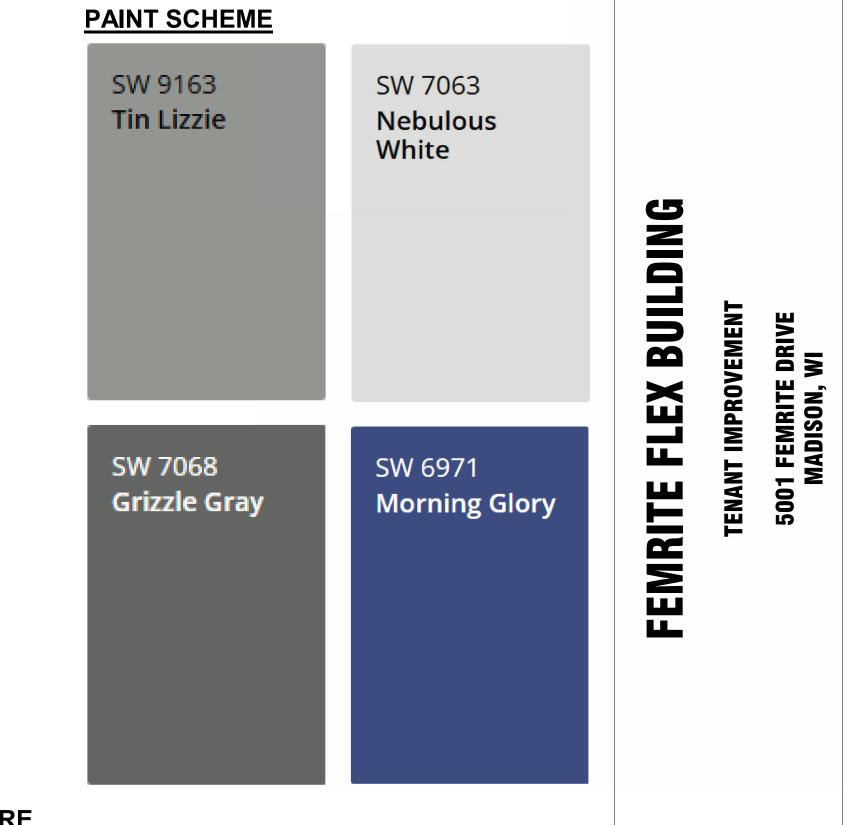




20 SEVICE LADDER 21 WOOD DUMPSTER ENCLOSURES

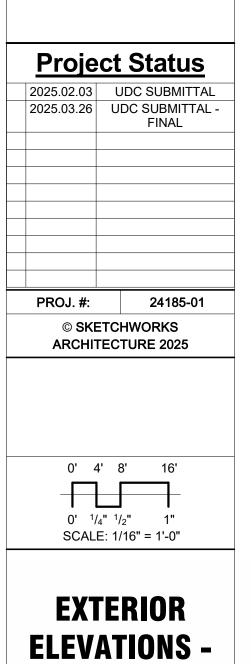


	MANUFACTURER	TYPE/STYLE	COLOR	COMMENTS	Sketch works
	MID-STATES CONCRETE		PAINTED - SW7063 NEBULOUS WHITE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	architecture
	MID-STATES CONCRETE		PAINTED - SW7674 TIN LIZZIE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	
	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	
	MID-STATES CONCRETE		PAINTED - SW 6971 MORNING GLORY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	
	KAWNEER OR EQUAL	451T OR EQUAL	CLEAR ANNODIZED		
	KAWNEER OR EQUAL	500T INSULPOUR OR EQUAL	CLEAR ANNODIZED		
			CLEAR		
Ϋ́	MASA OR SIMILAR	EXTRUDECK OR SIMILAR	PAINTED - SW7063 NEBULOUS WHITE	WITH INTEGRATED GUTTER	
			PAINTED TO MATCH ADJACENT WALL		
	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	1'-0" WIDE BY 1" DEEP	
	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	2-1/2" WIDE BY 1" DEEP	
				STEEL TUBE STRUCTURE	



WOOD DUMPSTER ENCLOSURE

UDC SUBMITTAL - FINAL



COLOR

A202



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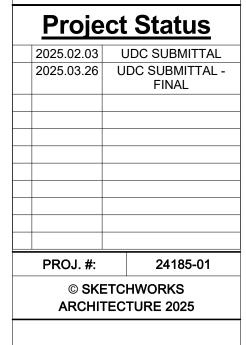
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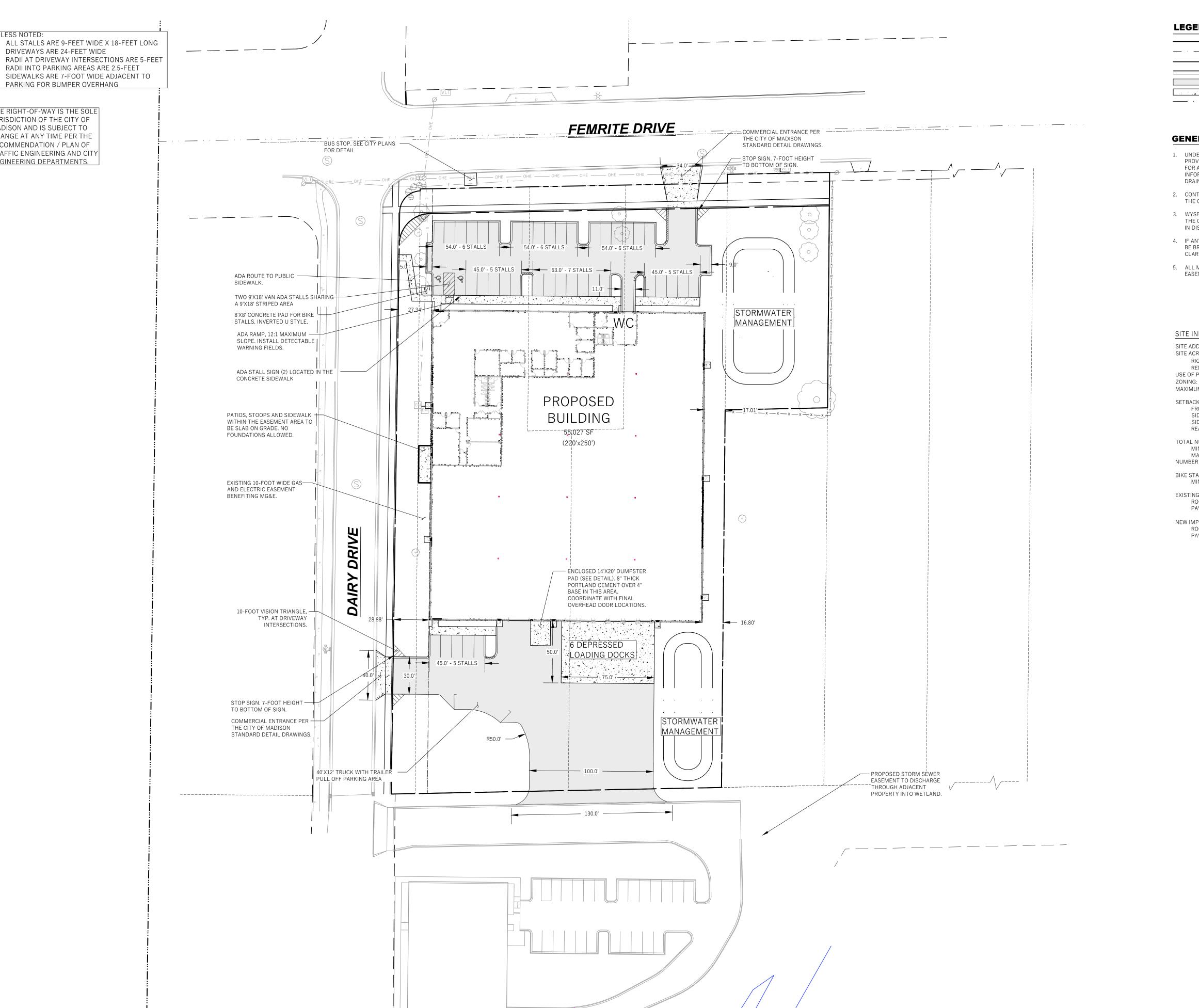
EXTERIOR PERSPECTIVES











THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

UNLESS NOTED:

LEGEND (PROPOSED)

	PROPOSED PROPERTY BOUNDARY
· ·	EASEMENT
	BUILDING FOOTPRINT
	18" CURB AND GUTTER
	ASPHALT PAVEMENT
, <u> </u>	CONCRETE PAVEMENT
· · · ·	STORMWATER TREATMENT FACILITY





GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.

2. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.

3. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.

IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

5. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

SITE INFORMATION BLOCK:

- SITE ADDRESS (LOT 1, CSM _____ ____): 5001 - 5013 FEMRITE DRIVE SITE ACREAGE: 145,110 SQ.FT. (3.33 AC) RIGHT-OF-WAY TAKING: 7,554 SQ.FT. (0.17 AC) REMAINING DEVELOPABLE LOT AREA: 137,556 SQ.FT. (3.16 AC) USE OF PROPERTY: INDUSTRIAL ZONING: INDUSTRIAL LIMITED (IL) MAXIMUM LOT COVERAGE: 75% (103,167 SQ.FT.) SETBACKS: FRONT YARD - FEMRITE DRIVE: 0-FEET
 - SIDE YARD WEST: 0-FEET SIDE YARD - EAST: 0-FEET REAR YARD - SOUTH: 30-FEET
- TOTAL NUMBER OF PARKING STALLS: 42 MINIMUM: NONE MAXIMUM: 1 PER 2 EMPLOYEES ON LARGEST SHIFT = 80 NUMBER OF STALLS DESIGNATED ACCESSIBLE: 2
- BIKE STALLS: 4 MINIMUM: 1 PER 10 EMPLOYEES ON LARGEST SHIFT = 4
- EXISTING IMPERVIOUS SURFACE AREA: 33,919 SQ.FT. ROOFTOP: 15,319 SQ.FT. PAVED: 18,600 SQ.FT.
- NEW IMPERVIOUS SURFACE AREA: 89,843 SQ.FT. (65.3%) ROOFTOP: 55,027 SQ.FT. PAVED: 34,816 SQ.FT.
 - SIDEWALK: 2,328 SQ.FT DRIVEWAY: 32,488 SQ.FT



Toll Free (800) 242-8511 -or- 811 Hearing Impaired TDD (800) 542-2289 www.DiggersHotline.com

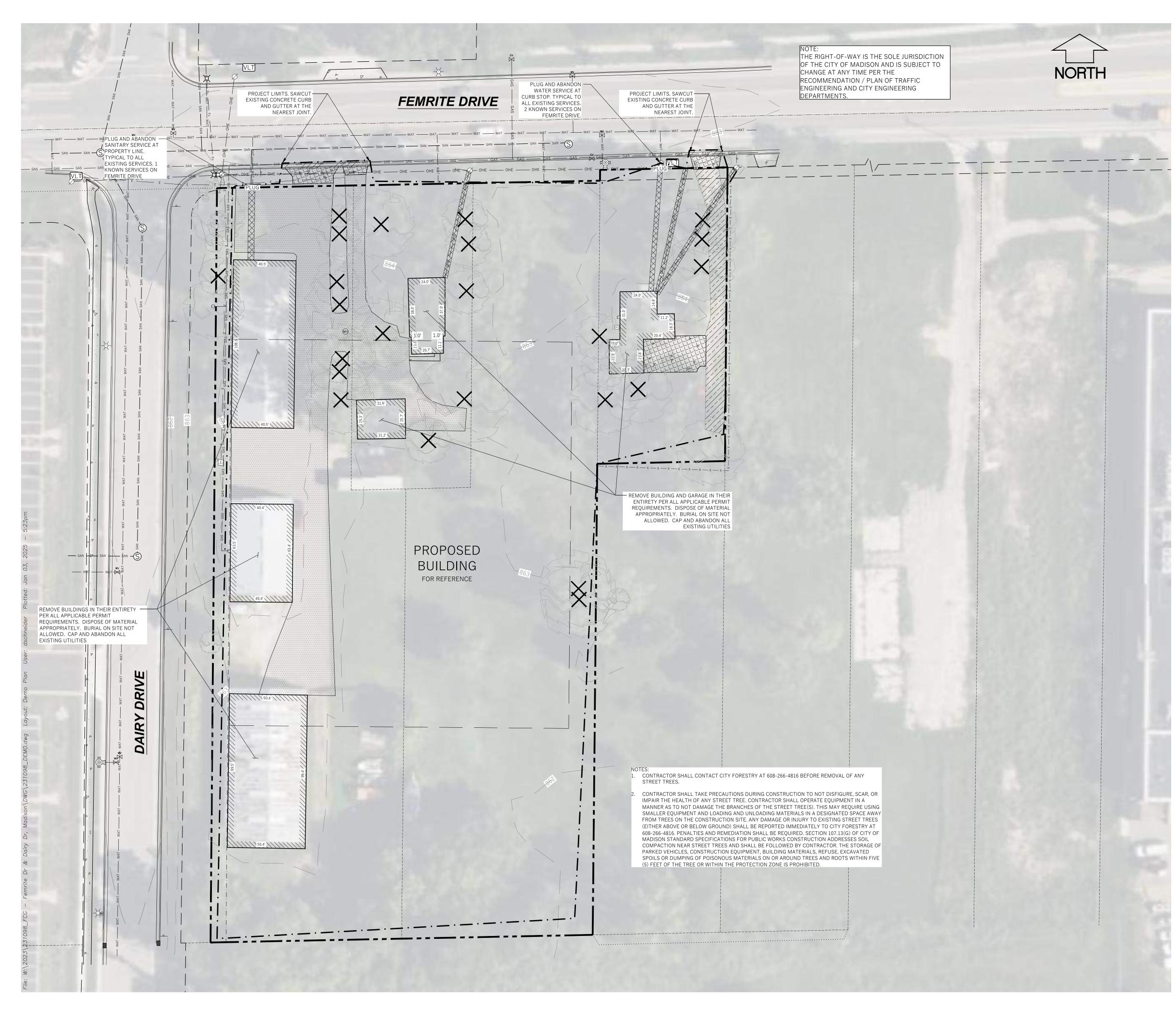
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			5001 FEMRITE DRIVE MADISON, WI 53716
DAIRY DRIVE FLEX BUILDING		CITY OF MADISON, DANE COUNTY , WI	Sheet Title: SITE PLAN
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Graphic			
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03/07/2025

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Sheet Number



LEGEND (PROPOSED)

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<u> </u>
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PROPOSED PROPERTY LINE
 CONSTRUCTION LIMIT LINE
 NEW BUILDING (FOR REFERENCE)
 FULL SECTION ASPHALT REMOVAL AREA
 CONCRETE REMOVAL AREA
 GRAVEL REMOVAL AREA
 CURB AND GUTTER REMOVAL
 UTILITY REMOVAL

TREE REMOVAL



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Revisions:

Graphic Scale

Wyser Number

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GENERAL NOTES

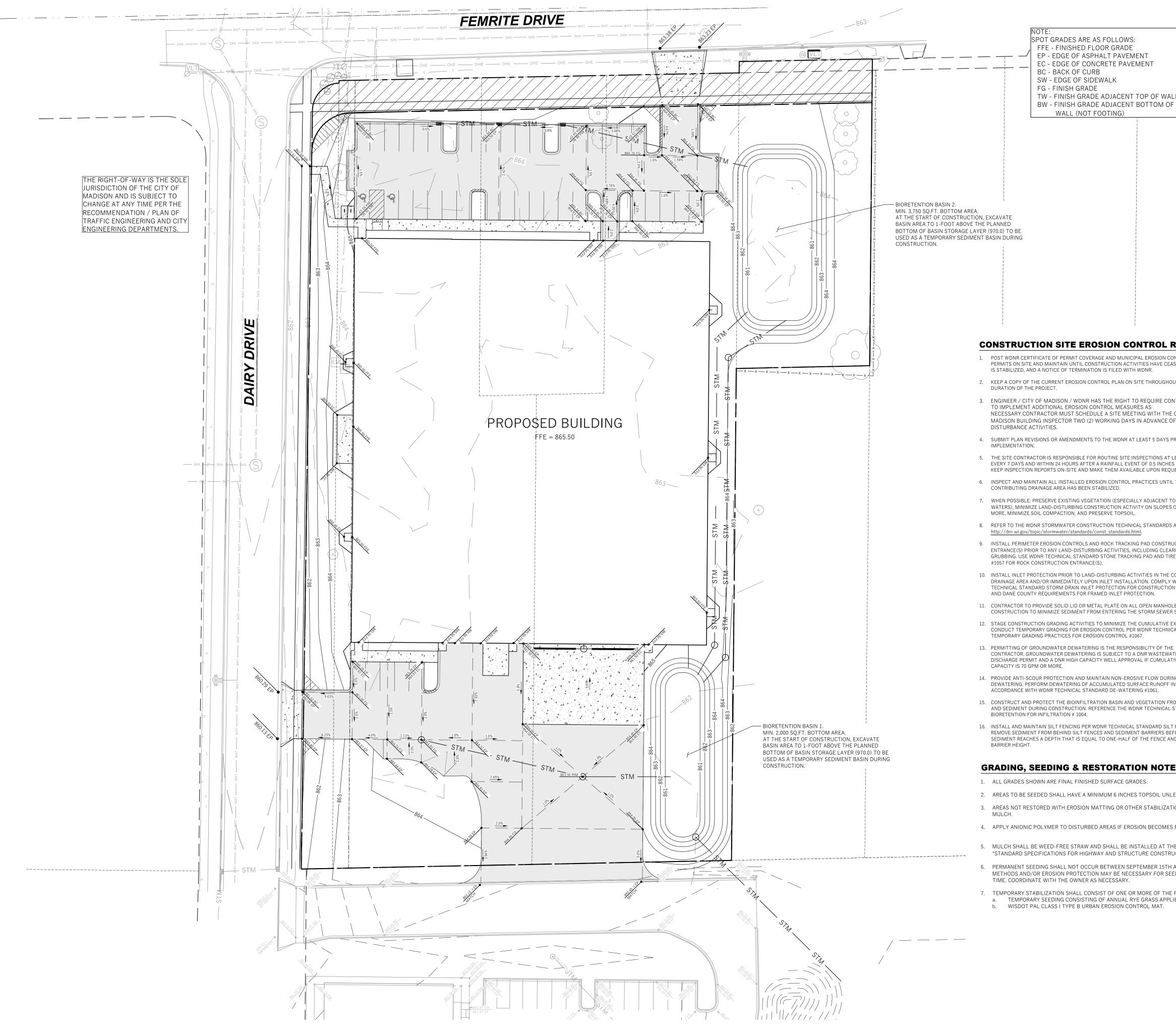
- 1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEKS OF SEPTEMBER 6 AND OCTOBER 29, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- 3. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- 4. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- 5. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE SITE, NOT INCLUDING INTERNAL BUILDING DEMOLITION, INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE (BY OTHERS), "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, WHERE NOT INCLUDED WITHIN THE FIELD SURVEY, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S / BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR / BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE OWNER AND ENGINEER OF RECORD. WYSER ENGINEERING TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
- EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 VERIFYING UTILITY ELEVATIONS AND NOTIFYING OWNER AND ENGINEER OR ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
- 2.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 2.4. NOTIFYING THE OWNER, DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- 3. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- 4. CONTRACTOR SHALL KEEP ALL STREETS AND ADJOINING SHARED ACCESS ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- 6. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND / OR UTILITY INSTALLATION ENCROACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
- 7. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND / OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATIONS WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- 9. ABANDONED / REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- 10. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- 11. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE AND BACKFILL WITH SELECT FILL OR PROVIDE PIPE BACK-FILLING WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE / FLOWABLE FILL".
- 12. GRANULAR BACKFILL MATERIALS ARE REQUIRED FOR FILL UNDER PROPOSED PAVED AREAS.
- 13. RESTORATION OF THE EXISTING RIGHT-OF-WAYS AS NEEDED ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES, BUT IS NOT LIMITED TO, CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- 14. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

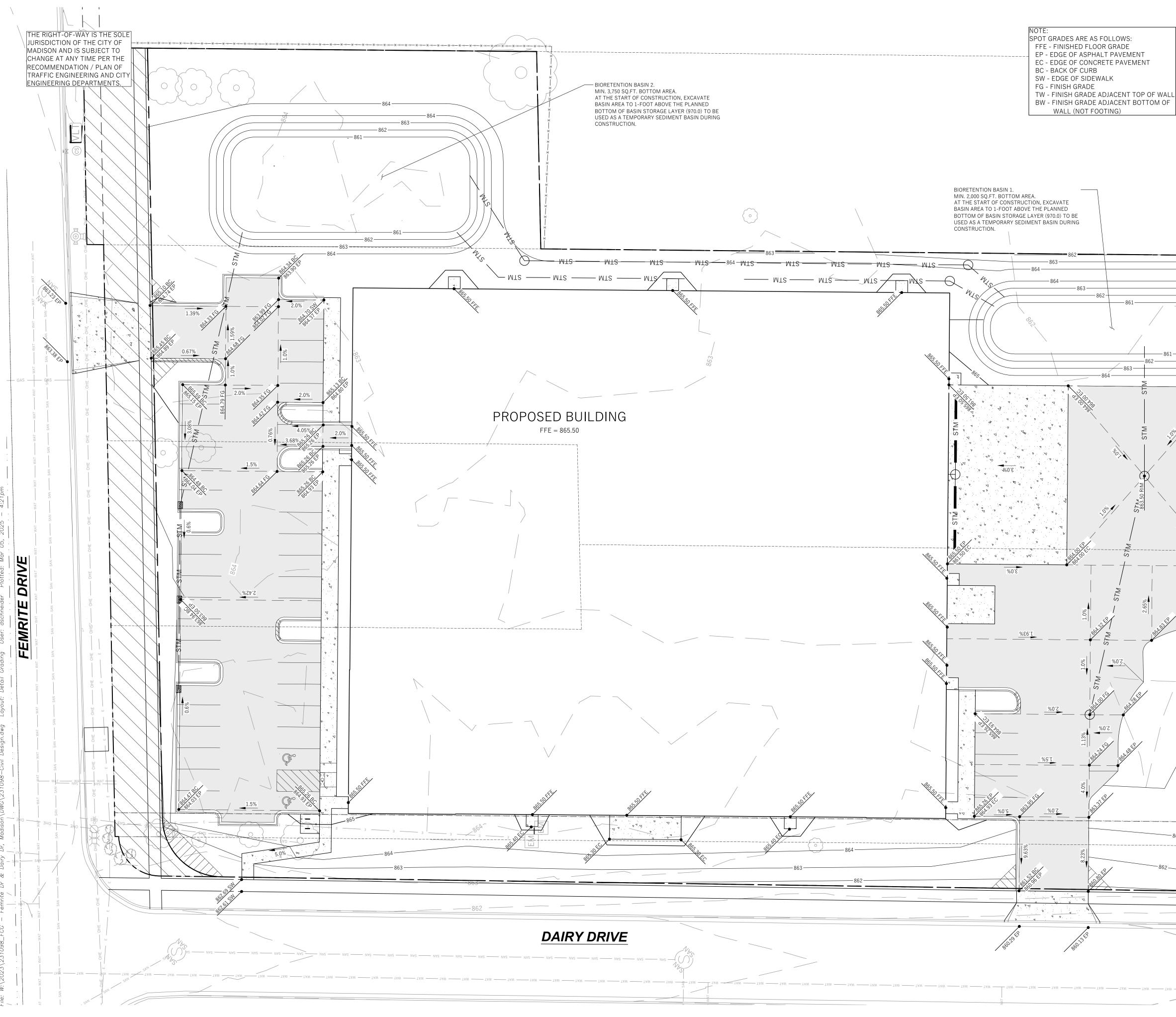


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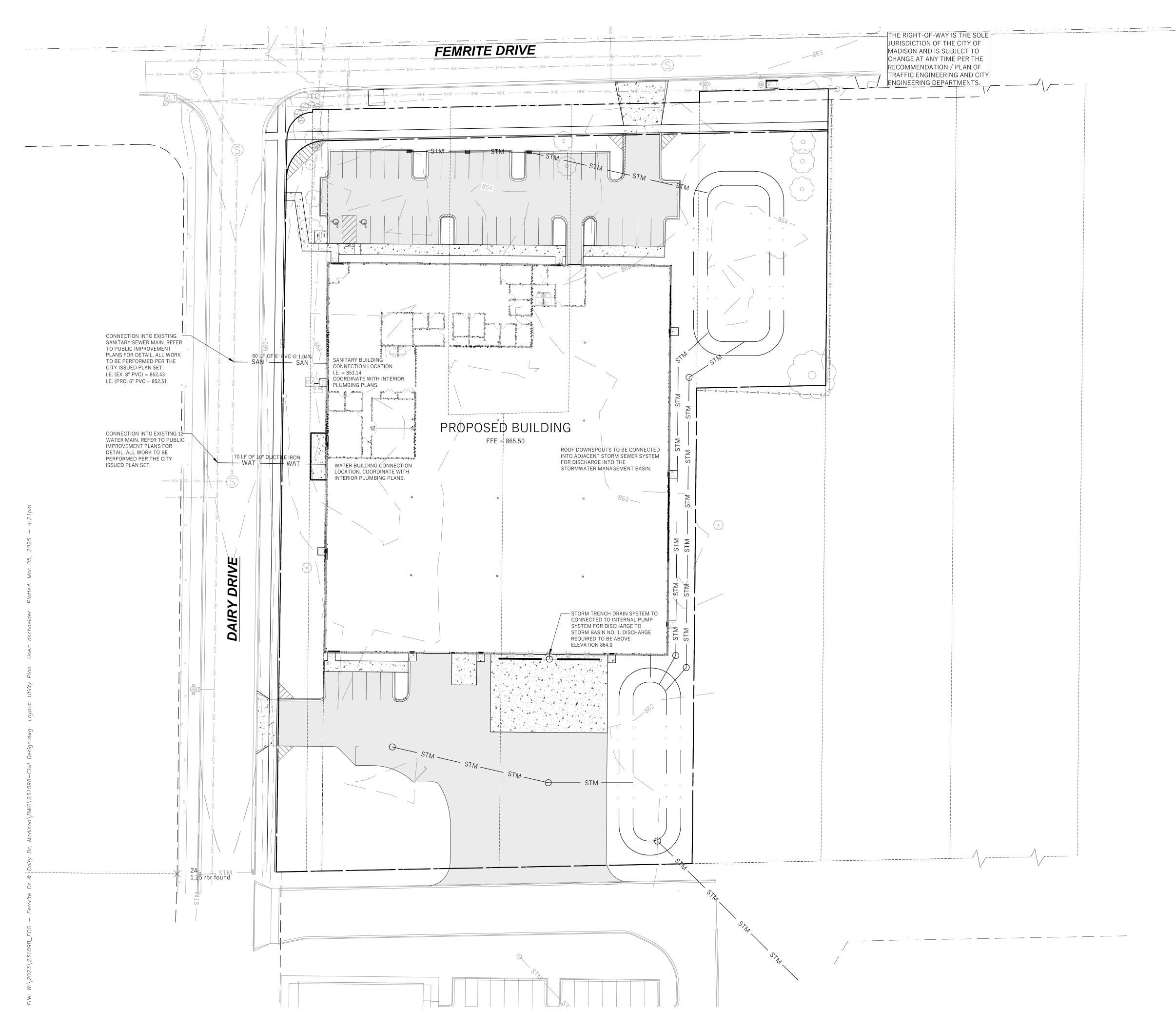


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www.DiggersHotline.com



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LEGEND (PROPOSED)

 	
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PROPOSED PROPERTY BOUNDARY EASEMENT BUILDING FOOTPRINT 18" CURB AND GUTTER ASPHALT PAVEMENT CONCRETE PAVEMENT PROPOSED WATER MAIN PROPOSED SANITARY SEWER PROPOSED STORM SEWER

PROPOSED GAS SERVICE (DESIGN BY OTHERS) PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)





GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.

STORMWATER TREATMENT FACILITY

- 2. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- 3. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- 5. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.

UTILITY NOTES

- 1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- 2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- 3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDSPS, AND WDNR.
- 5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER
 - AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS,
 - AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO
 - WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- 10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
- 11. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6' MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
- 12. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
- 13. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- 14. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
- 15. ALL, EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a)b AND SPS 384.30(2)(c).
- 16. ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
- 17. ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
- 18. ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
- 19. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
- 20. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
- 21. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
- 22. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.



Toll Free (800) 242-8511 -or- 811 Hearing Impaired TDD (800) 542-2289 www.DiggersHotline.com

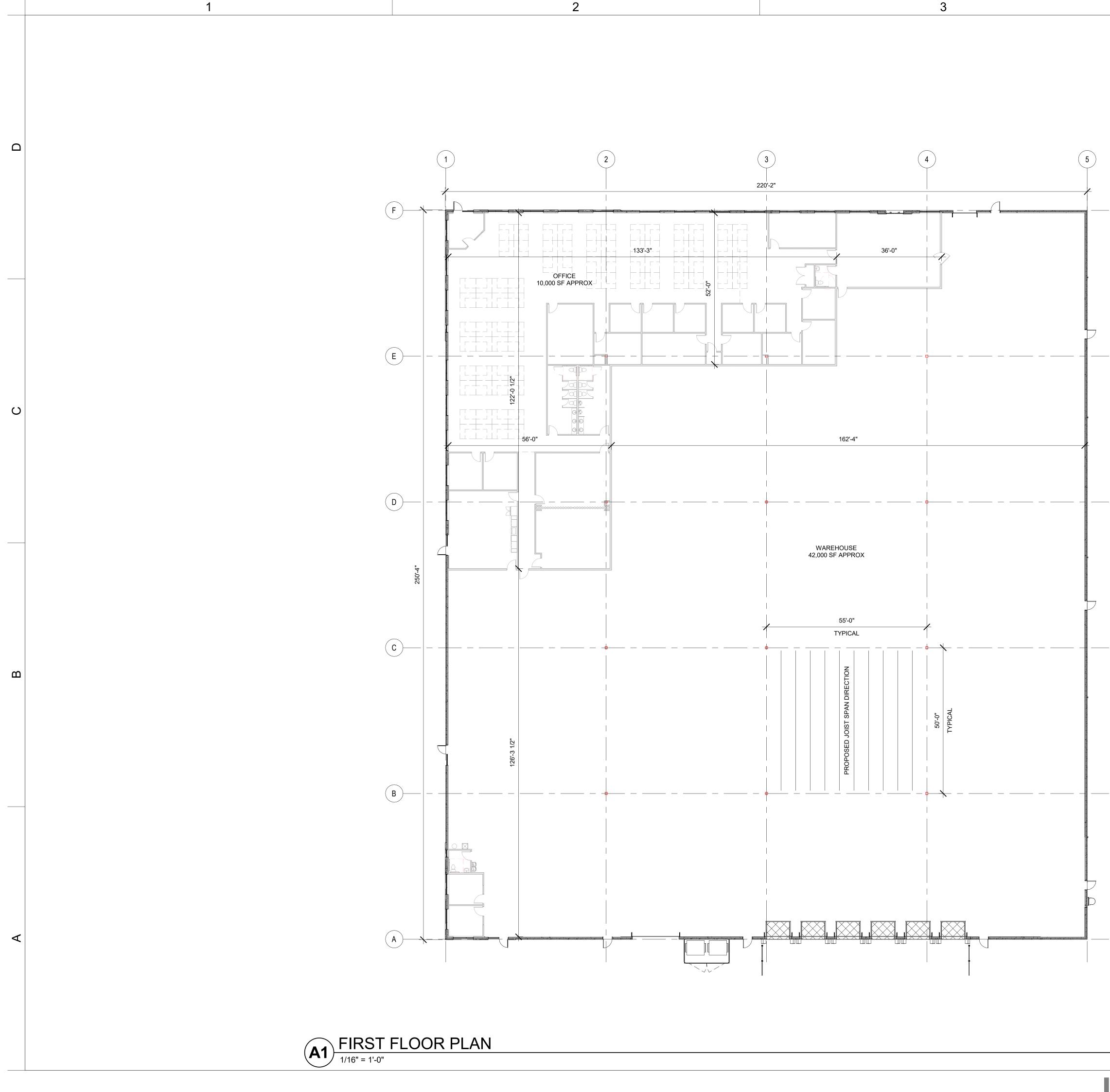
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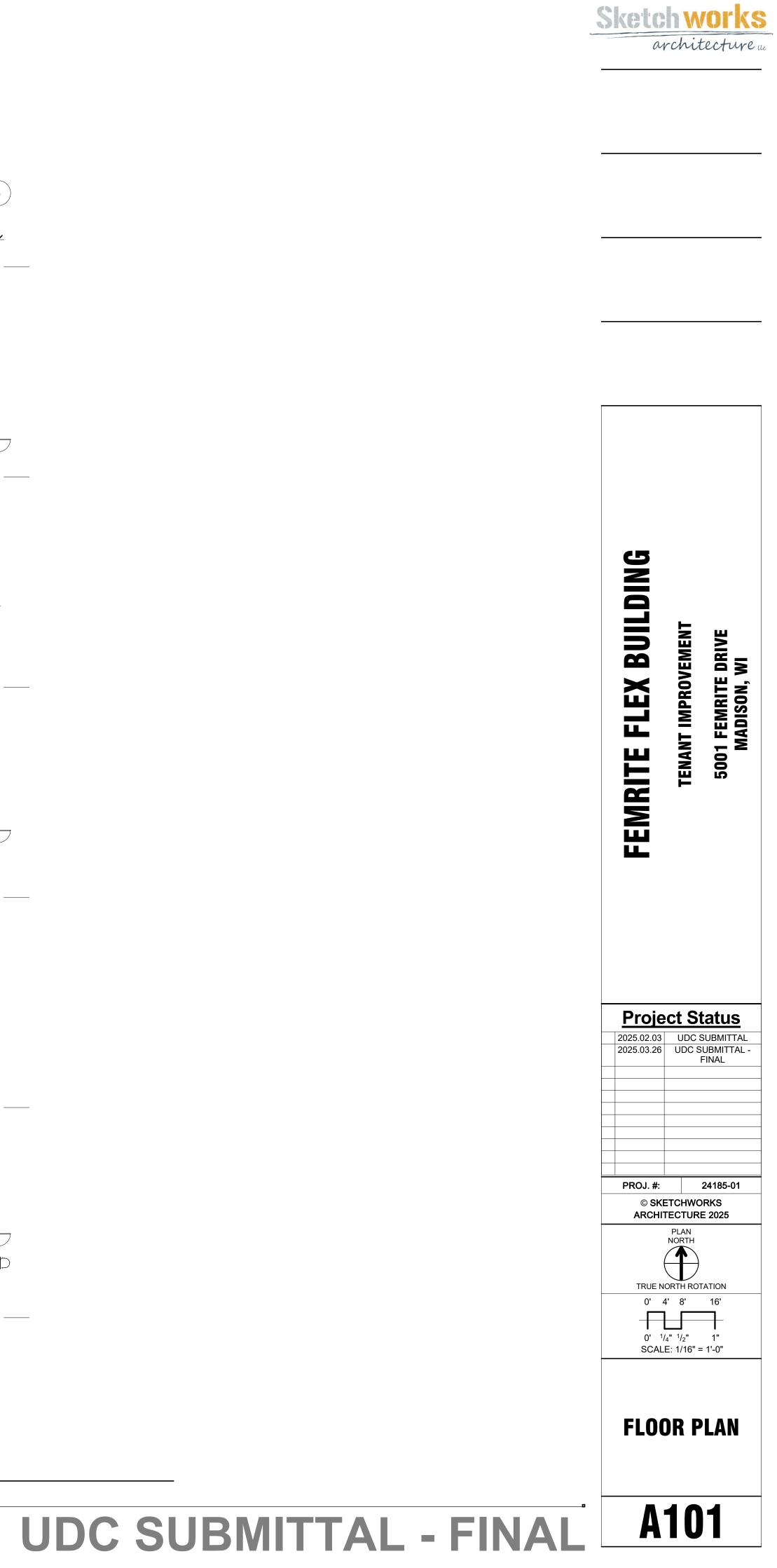
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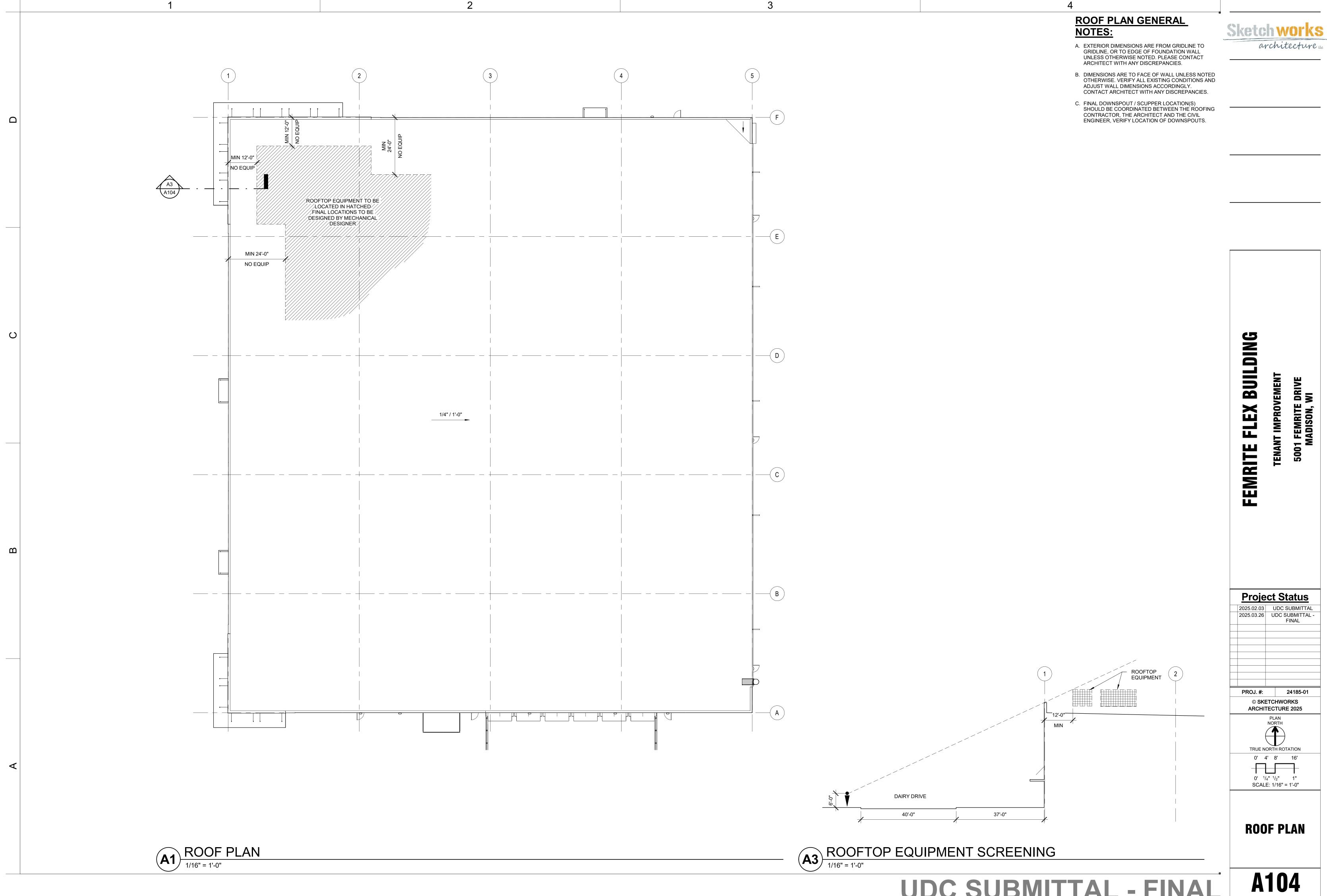
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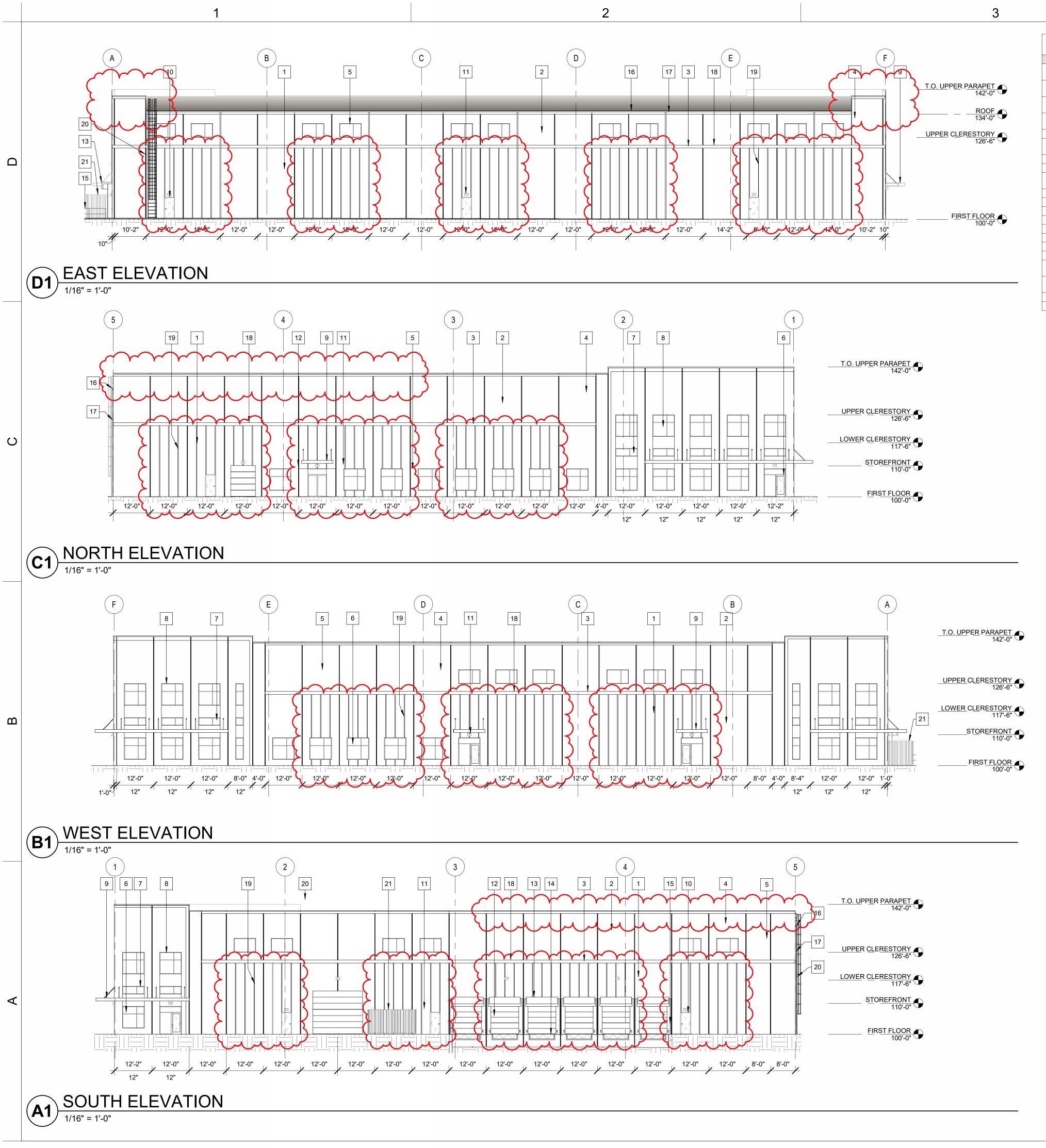
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#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	COMMENTS	Sketch works
1	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE	TIPE/STILL	PAINTED - SW7063 NEBULOUS WHITE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	architecture uc
2	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW7674 TIN LIZZIE	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	· · · · · · · · · · · · · · · · · · ·
3	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	
4	INSULATED PRECAST WALL PANEL	MID-STATES CONCRETE		PAINTED - SW 6971 MORNING GLORY	10" THICK SANDWICH PANEL UNLESS NOTED OTHERWISE	
5	ALUMINUM STOREFRONT SYSTEM	KAWNEER OR EQUAL	451T OR EQUAL	CLEAR ANNODIZED		
6	ALUMINUM STOREFRONT DOOR	KAWNEER OR EQUAL	500T INSULPOUR OR EQUAL	CLEAR ANNODIZED		· · · · · · · · · · · · · · · · · · ·
7	VISION GLASS			CLEAR		
8	SPANDREL GLASS					
9	PREFABRICATED ALUMINUM CANOPY SYSTEM	MASA OR SIMILAR	EXTRUDECK OR SIMILAR	PAINTED - SW7063 NEBULOUS WHITE	WITH INTEGRATED GUTTER	
10	INSULATED METAL DOOR			PAINTED TO MATCH ADJACENT WALL		
11	WALL SCONCE					
12	INSULATED OVERHEAD DOOR					
13	DOCK SHELTER					
14	DOCK LEVER					
15	GUARD RAIL					
16	METAL GUTTER SYSTEM					
17	METAL DOWNSPOUT					
18	REVEAL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	1'-0" WIDE BY 1" DEEP	
19	REVEAL	MID-STATES CONCRETE		PAINTED - SW6258 GRIZZLE GRAY	2-1/2" WIDE BY 1" DEEP	
20	SEVICE LADDER					
21	WOOD DUMPSTER ENCLOSURES				STEEL TUBE STRUCTURE	

FLEX BUILDING TENANT IMPROVEMENT 5001 FEMRITE DRIVE Madison, wi FEMRITE Project Status
 2025.02.03
 UDC SUBMITTAL

 2025.03.26
 UDC SUBMITTAL -FINAL
 PROJ. #: 24185-01 © SKETCHWORKS ARCHITECTURE 2025 0' 4' 8' 16' 0' 1/4" 1/2" 1" SCALE: 1/16" = 1'-0" EXTERIOR **ELEVATIONS** A201

Calculation Summary Label LOADING DOCK - DRIVE PARKING LOT SITE

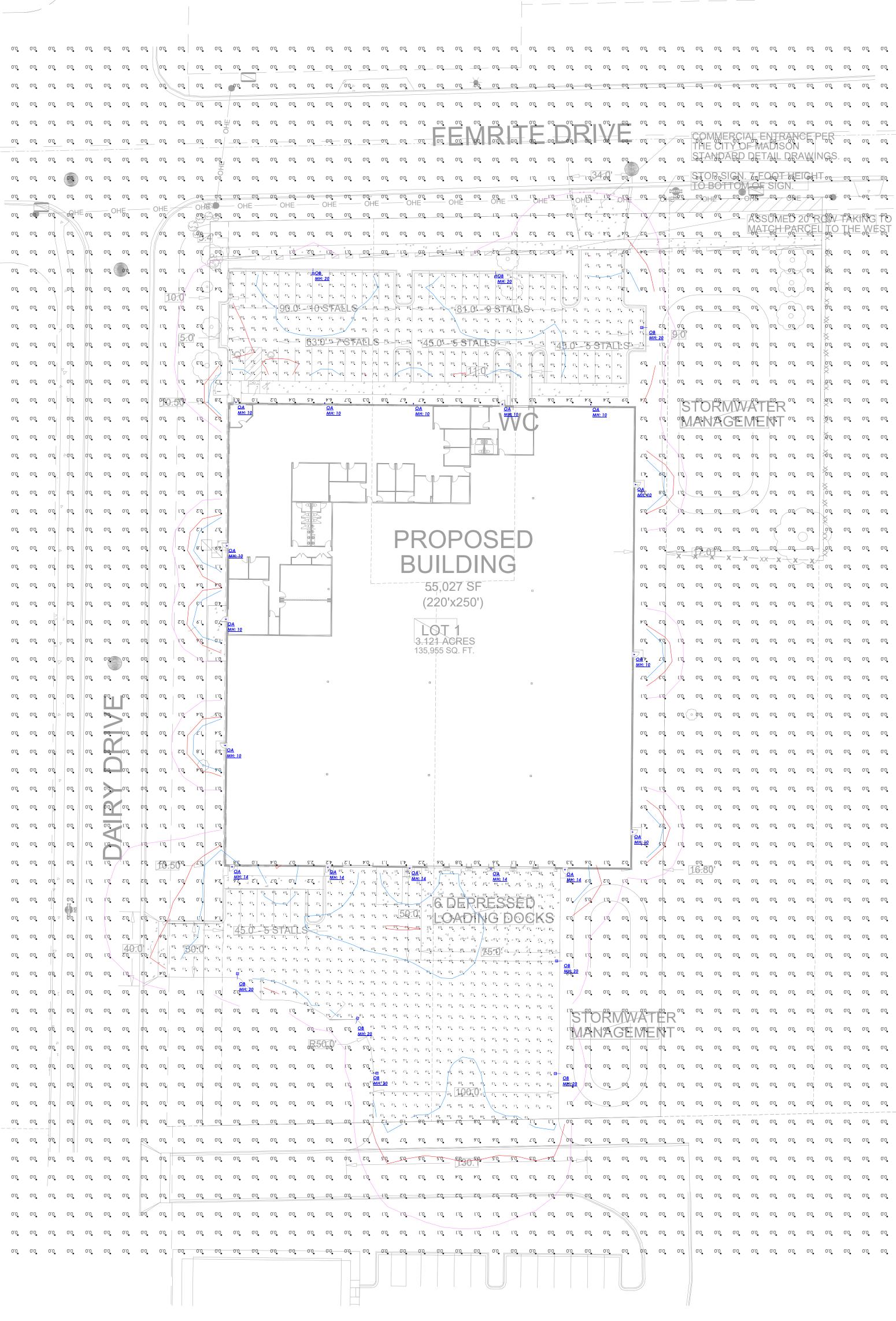
1. Standard Reflectance of 80/50/20 unless noted otherwise

2. Not a Construction Document, for Design purposes only

3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise

4. Standard outdoor calc points @ Grade unless noted otherwise 5. Egress calc points @ 0" A.F.F.

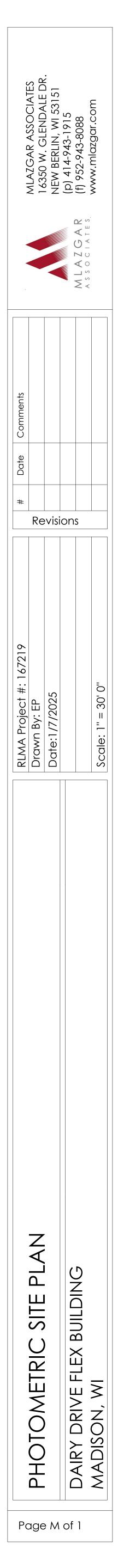
6. Mlazgar Associates assumes no responsibility for installed light levels due to field conditions, etc.

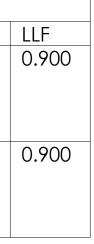


CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Illuminance	Fc	1.36	4.4	0.3	4.53	14.67
Illuminance	Fc	1.04	2.2	0.4	2.60	5.50
Illuminance	Fc	0.12	9.4	0.0	N.A.	N.A.
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Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts
	16	OA	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR2B	Single	2135	18.2
	8	OB	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PA1B-740-U-T4W-HSS	Single	6423	74

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-						×		•	
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DESCRIPTION

The patented Lumark Crosstour[™] LED Wall Pack Series of luminaries provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

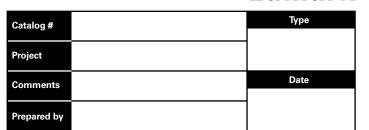
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. Onepiece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized



electrical wiring compartment. Integral LED electronic driver is standard 0-10V dimming. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

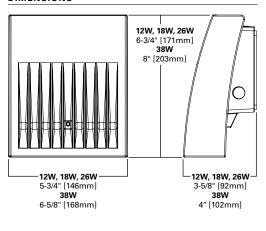
Warranty Five-year warranty.

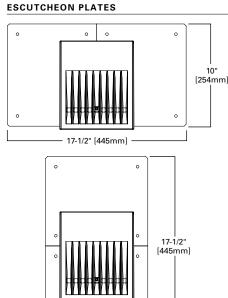


XTOR CROSSTOUR LED

APPLICATIONS: WALL / SURFACE POST / BOLLARD LOW LEVEL FLOODLIGHT INVERTED SITE LIGHTING

DIMENSIONS





— 10" [254mm] —



CERTIFICATION DATA

Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only) UL/cUL Wet Location Listed LM79 / LM80 Compliant ROHS Compliant ADA Compliant NOM Compliant Models IP66 Ingressed Protection Rated Title 24 Compliant DesignLights Consortium® Qualified*

TECHNICAL DATA

40°C Maximum Ambient Temperature External Supply Wiring 90°C Minimum

EPA Effective Projected Area (Sq. Ft.): XTOR1B, XTOR2B, XTOR3B=0.34 XTOR4B=0.45

SHIPPING DATA: Approximate Net Weight: 3.7 - 5.25 lbs. [1.7 - 2.4 kgs.]

Lumark

Project	Catalog #	Туре	
Prepared by	Notes	Date	



🖌 Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 8

Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 68,000 nominal lumens (30W 550W)
- · Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Lumark

Prevail Discrete LED

Area / Site Luminaire

Product Features



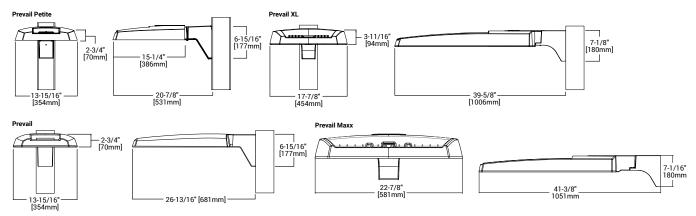
Product Certifications



Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details



NOTES: 1. Visit <u>https://www.designlights.org/search/</u> to confirm qualification. Not all product variations are DLC qualified. 2. IDA Certified for 3000K CCT and warmer only.

