



City of Madison

Conditional Use

Location
2921 Landmark Place

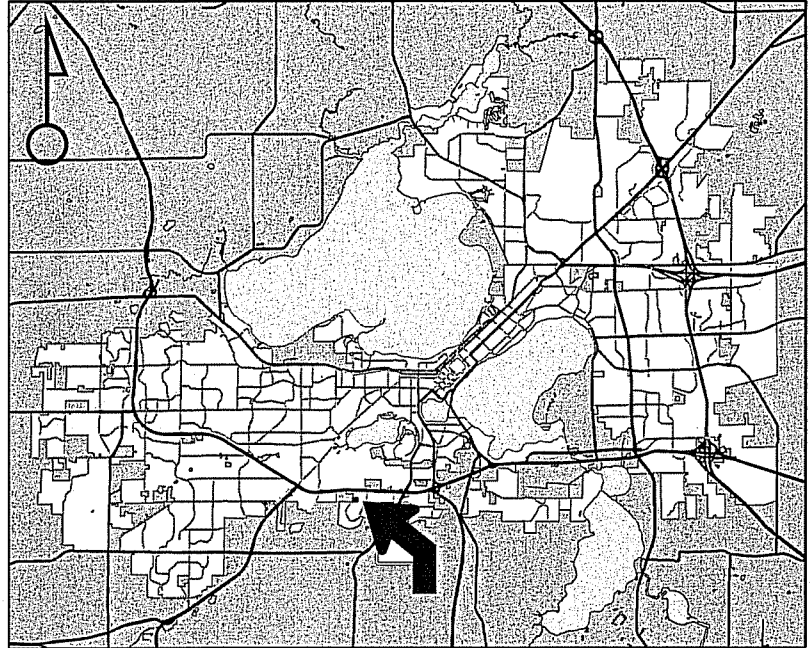
Project Name
Landmark Oaks

Applicant
Bradley Hutter-MIG Commercial Real Estate/
James Moravec-Potter Lawson, Inc.

Existing Use
Vacant land

Proposed Use
Construct office building exceeding
68 feet in height in SE zoning

Public Hearing Date
Plan Commission
13 June 2016



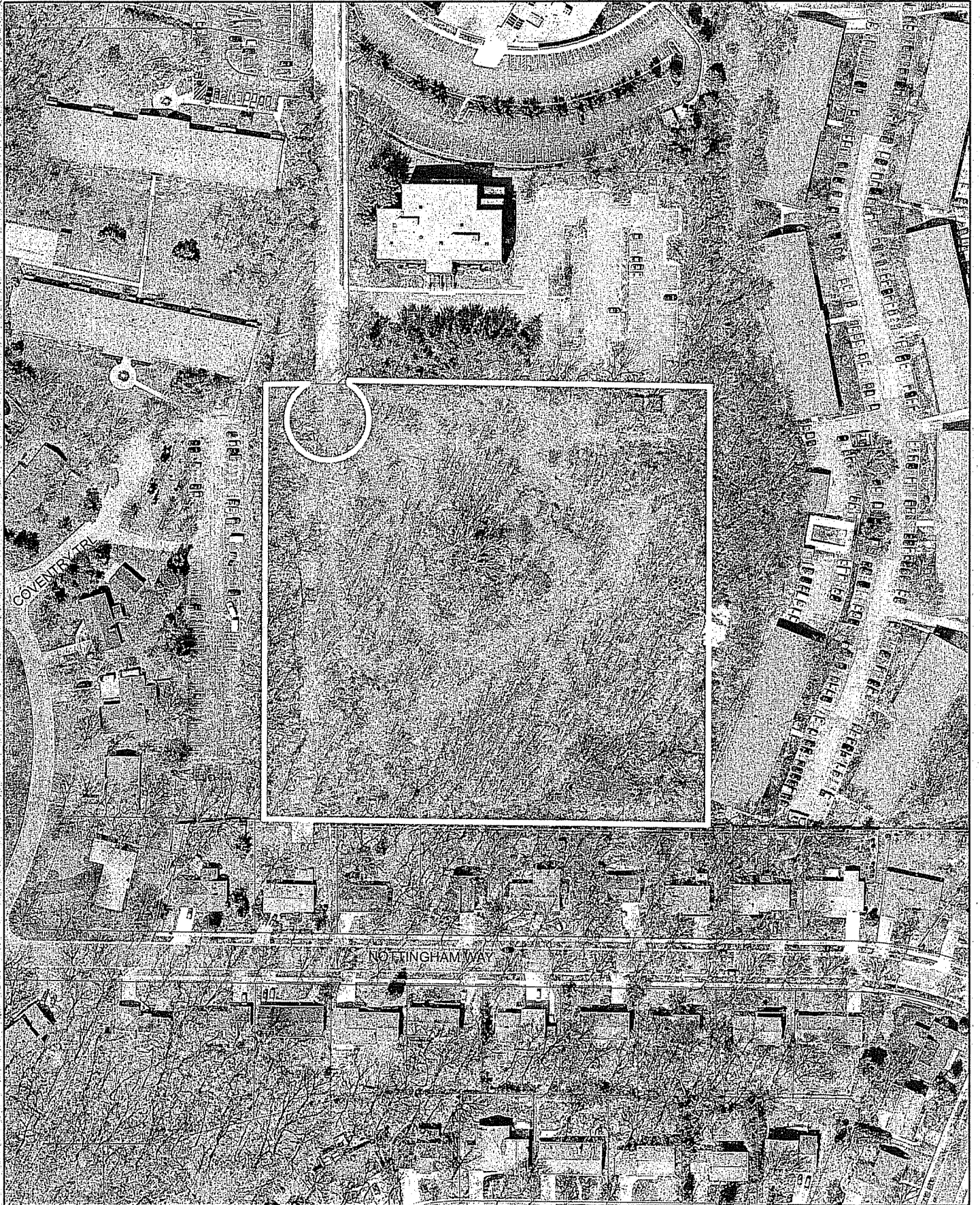
For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 07 June 2016

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LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid <u>1,200</u>	Receipt No. <u>15764-0005</u>
Date Received <u>4/27/16</u>	
Received By <u>JW</u>	
Parcel No. <u>0709-334-1103-8</u>	
Aldermanic District <u>14 Sheri Carter</u>	
Zoning District <u>SE</u>	
Special Requirements <u>OK</u>	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 2921 Landmark Place
Project Title (if any): Landmark Oaks

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Bradley Hutter **Company:** MIG Commercial Real Estate
Street Address: 3001 West Beltline Highway Ste 202 **City/State:** Madison/ WI **Zip:** 53713
Telephone: (608) 509-1000 **Fax:** () **Email:** Bradley.Hutter@migllc.biz

Project Contact Person: James Moravec **Company:** Potter Lawson Inc.
Street Address: 749 University Row Suite 300 **City/State:** Madison/ WI **Zip:** 53705
Telephone: (608) 274-2741 **Fax:** () **Email:** jimm@potterlawson.com

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Construct a new 5 story building for office use with one level of parking below.

Development Schedule: Commencement May 2016 Completion July 2017

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5. Required Submittal Information

All Land Use applications are required to include the following:

- Project Plans** including:*
 - Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
 - Grading and Utility Plans (existing and proposed)
 - Landscape Plan (including planting schedule depicting species name and planting size)
 - Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
 - Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Carol Harrison - Arbor Hills Neighborhood Association 2/9/16, Alder Sheri Carter 2/9/16

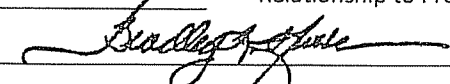
→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 2/11/16 Zoning Staff: Matt Tucker Date: 2/11/16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Bradley Hutter Relationship to Property: Owner

Authorizing Signature of Property Owner  Date 4/27/16

LETTER OF INTENT

Landmark Oaks Proposed Development

April 27, 2016

To: City of Madison Planning Department and Plan Commission
215 Martin Luther King Jr. Blvd. LL110
Madison, WI 53703

From: Bradley Hutter, President and CEO
MIG Commercial Real Estate

Re: Building Height Conditional Use Application

Owner/Developer – MIG Commercial Real Estate
Architect – Potter Lawson, Inc.

Project Address

2921 Landmark Place

Project Description

Development Team

Owner/Developer	MIG Commercial Real Estate	Bradley Hutter, Brandi Zander
Architect	Potter Lawson, Inc.	James Moravec, Doug Hursh
Structural Engineer	Pierce Engineers	Brian Riewestahl/ Seth Pfeil
Landscape Architect	Ken Saiki Design	Ken Saiki, Abbie Moilien
Civil Engineer	Vierbicher Associates Inc.	Matt Schreiner
General Contractor	Ideal Builders	Jason Bollig/ Jason Koziar

Project Schedule

Construction is anticipated to start in August 2016 and be completed by September 2017

Existing Conditions

The 6.09 acre site of the proposed development consists of a hilltop with extensive grade change and limited access to public streets. It currently is surrounded by existing development including commercial, multifamily and single family properties.

A farm house originally occupied the site, but the structure has been removed. Currently the site is wooded and includes a large grove of very large historic oak trees at the center of the property.

The site has never been developed commercially.

Approvals Requested

Per section 28.085(3) of the Madison Zoning Code, the maximum building height for a non-residential use within a Suburban Employment District is 68 feet. The proposed development has a height of 80 feet measured from existing grades. Additional building height is permitted as a Conditional Use.

Part of this requested additional height is due to the extreme grade change on the site and the need to elevate the site where the building is placed so that it can be accessed from the rest of the site. Also contributing to the requested additional building height is the floor to floor height of the proposed structure. The Suburban Employment District within the Madison Zoning code permits a five story building for non-residential buildings. However, with the maximum permitted height of 68 feet, the resulting floor to floor height is limited to 13.5 feet. In order to construct a flexible office building in today's market; additional floor to floor height is required.

Attached is a Shadow Study for the project that compares the amount of shadow cast by a building of the permitted height and by a building of the proposed height. As noted in the illustration the difference in shadow cast between the two heights is minimal.

Also attached is a Site Section that illustrates the proposed building height and its relationship to the property line and to the adjacent multi-family residential property to the East.

Proposed Development

The proposed project includes a 5 story office building with leasable office type space. Parking will be provided by a combination of surface stalls and one level of parking below the building. Both indoor and surface bike parking will be provided.

Construction cost of the project is estimated to be around \$15 million. It's anticipated that the proposed development will create 50 to 75 full time positions during construction. When complete, the building will provide work space for around 400 individuals, depending on final tenants.

Proposed Uses

The proposed development will create rental office space. Specific tenants will be confirmed as the project moves forward.

Compatibility with Approved Master Plans

Property is currently zoned Suburban Employment District and the proposed use is permitted within that district.

Neighborhood and City Process

Neighborhood groups and adjacent building owners have been contacted concerning the proposed development. The project will be submitted to the Madison Zoning Board for a review on May 26th concerning the building and parking placement on the site.

Lot Coverage

Lot Coverage for Phase 1	50.7%
Lot Coverage with Phase 2	54.4%

Building Area

Approximate total building areas and usage as listed below:

Fifth Floor	21,130
Fourth Floor	21,130
Third Floor	21,130
Second Floor	21,130
First Floor	<u>20,480</u>
	105,000 GSF of office space
Parking Level	<u>20,910</u>
	125,910 GSF total project area

Site Access

Site is accessed from a new cul-de-sac to be constructed at the end of Landmark Place.

Parking, Bike Parking and Loading Zones

Proposed passenger vehicle parking is provided by a combination of below grade enclosed parking, and surface level parking, summarized as follows:

Surface Parking – Phase 1	313 Stalls
Surface Parking – Phase 2	27
Below Building	<u>43</u>
Total site parking	383 Stalls

Of this passenger vehicle parking, 6 stalls will be designed as accessible within the surface parking areas and 2 stalls will be accessible below the building.

Bike parking: 34 stalls within the surface area, 18 stalls below the building

Two loading zones will be provided, one near the lower level parking entrance and one at the main building entry.

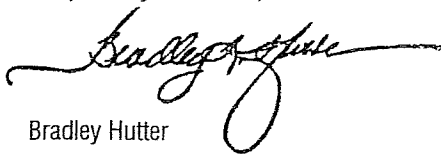
Trash, Recycling, and Snow Removal

Trash is stored in a screened area near the entrance to the lower level parking area. Recycling will be stored for pickup in the same enclosure. The above grade parking area has been planned to facilitate snow removal.

Public Subsidy Requested

Developer is requesting TIF from the City of Madison and is also applying for New Market Tax Credits to assist with the project.

Respectfully submitted,



Bradley Hutter
President and CEO
MIG Commercial Real Estate

Attachments:

Architectural floor plans
Building Elevations
Site plan
Site grading plan
Site utility plan
Site lighting plan with Fixture Cuts
Landscape plan
Traffic Study
Site shadow study
Site section
Building Rendering

Landmark Oaks

MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

Plan Commission Submittal

Drawing Index

ARCHITECTURAL	
DWG #	DRAWING TITLE

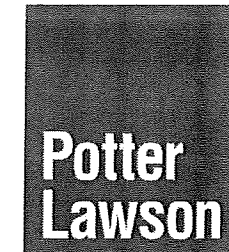
GENERAL	
CD01	COVER DRAWING
SD01	SHADOW STUDY
SD02	SITE SECTION
SD03	PERSPECTIVE VIEW

CIVIL	
C1	LEGENDS AND NOTES
C2	EXISTING CONDITIONS PLANS
C3	DEMOLITION AND TREE PROTECTION PLAN
C4	OVERALL SITE PLAN
C5	GRADING AND EROSION CONTROL PLAN
C6	UTILITY PLAN
C7	CONSTRUCTION DETAILS - 1
C8	CONSTRUCTION DETAILS - 2
C9	CONSTRUCTION DETAILS - 3
C10	CONSTRUCTION DETAILS - 4
C11	CONSTRUCTION DETAILS - 5
C12	CONSTRUCTION DETAILS - 6

LANDSCAPE	
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN

ARCHITECTURAL	
A201	BUILDING ELEVATIONS
A101	FIRST FLOOR PLAN
A100	PARKING FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	FOURTH FLOOR PLAN
A105	FIFTH FLOOR PLAN

ELECTRICAL	
E001	EXTERIOR LIGHT LEVEL AT GRADE
E002	EXTERIOR LIGHT LEVEL 4' ABOVE GRADE
E003	LIGHT FIXTURE SCHEDULE



Success by Design

Architect:
749 University Row Suite 300
Madison, WI 53705
608-274-2741

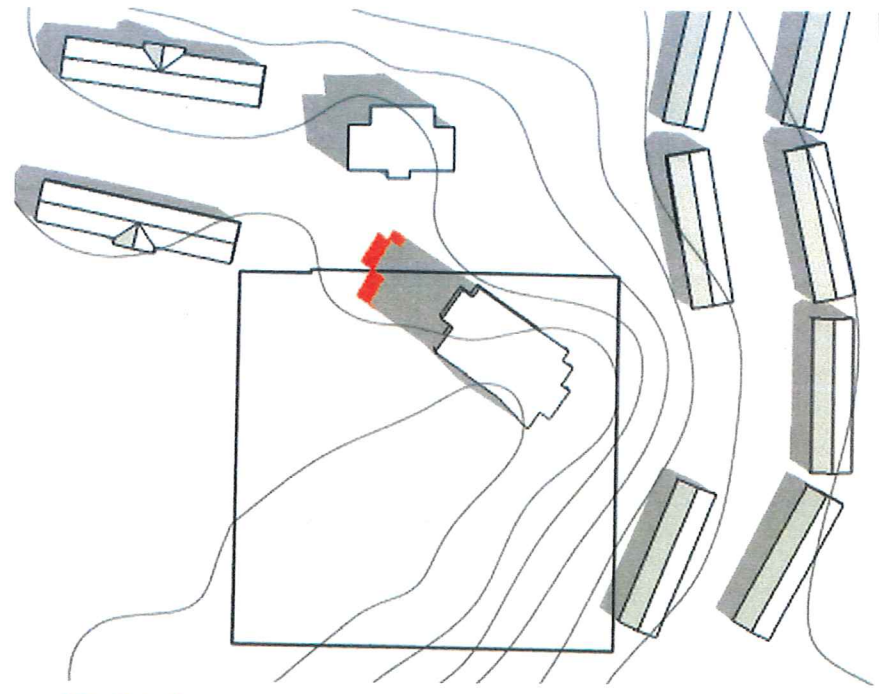
Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

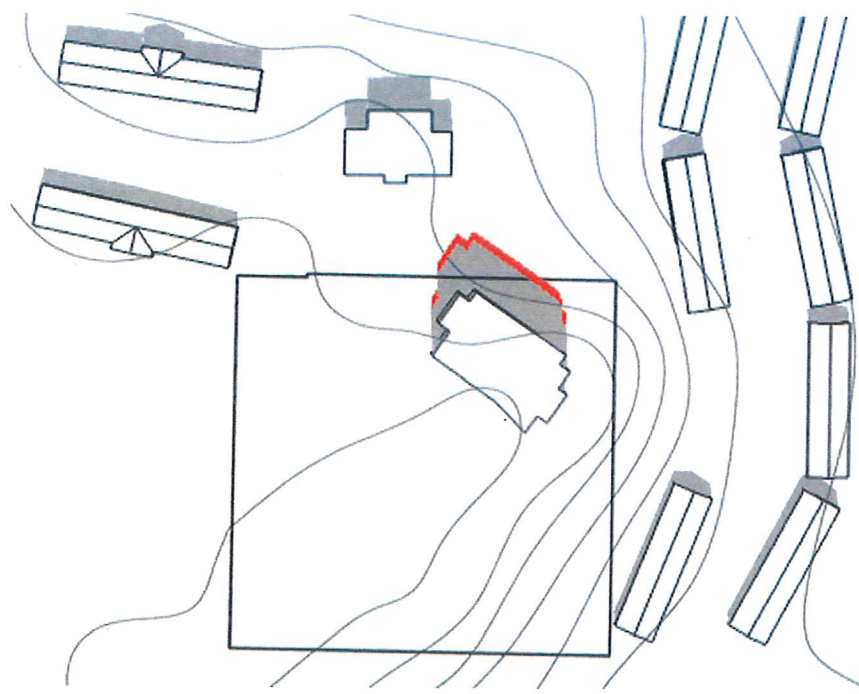
Date	Issuance/Revisions	Symbol
04/27/16	PLAN COMMISSION SUBMITTAL	

COVER DRAWING

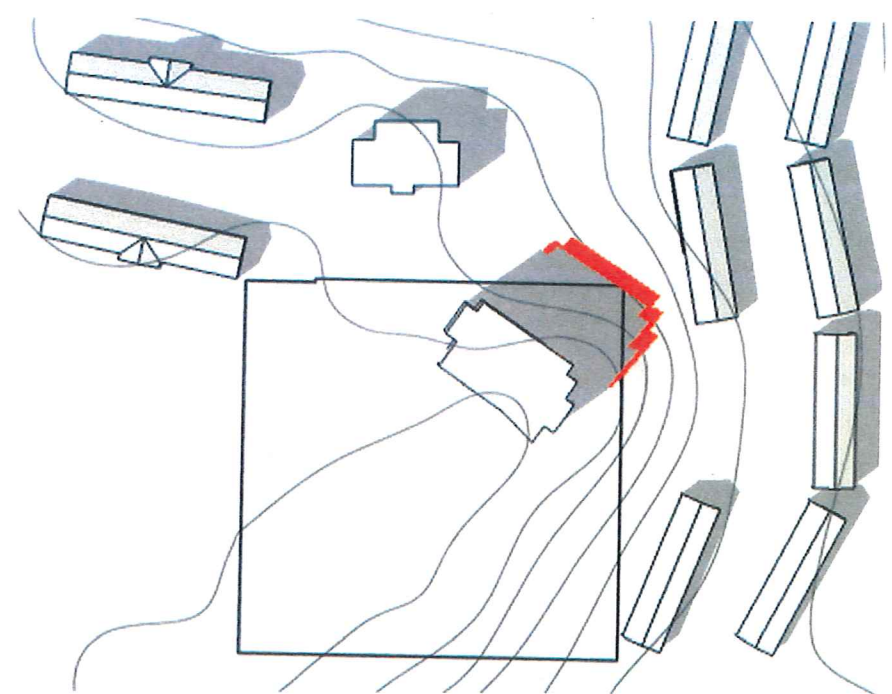
CD01



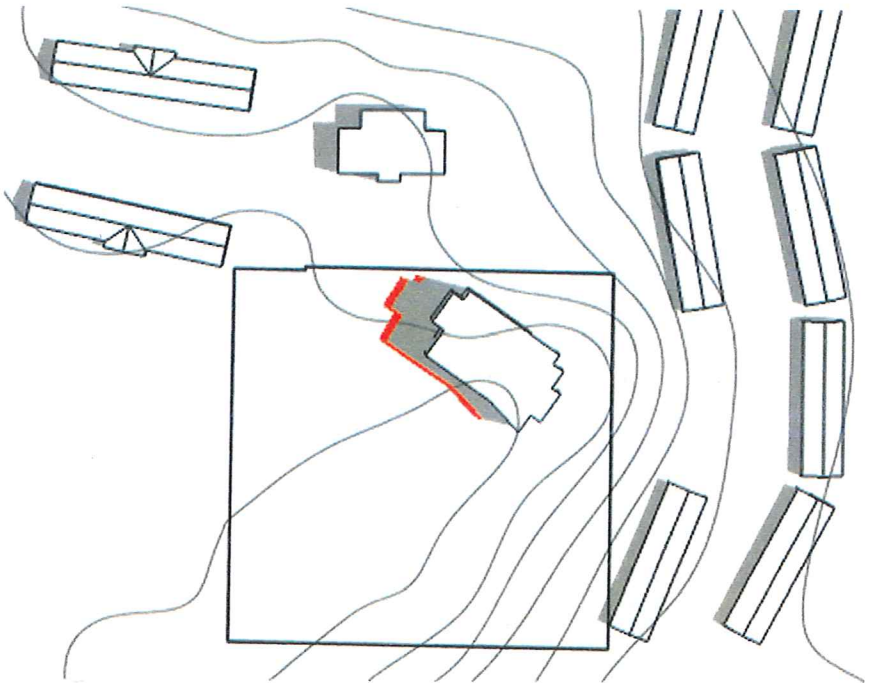
03.21 9am



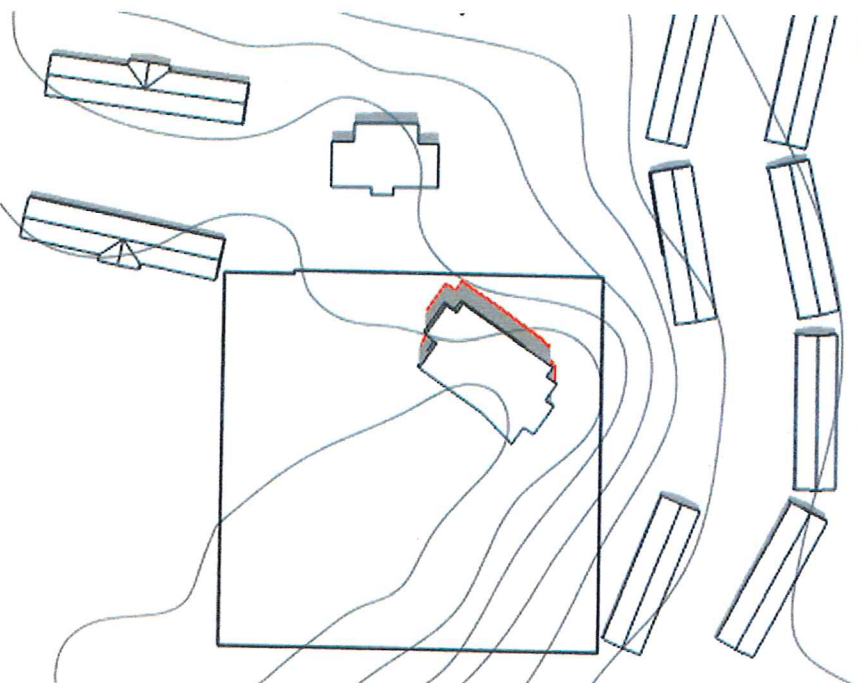
03.21 12pm



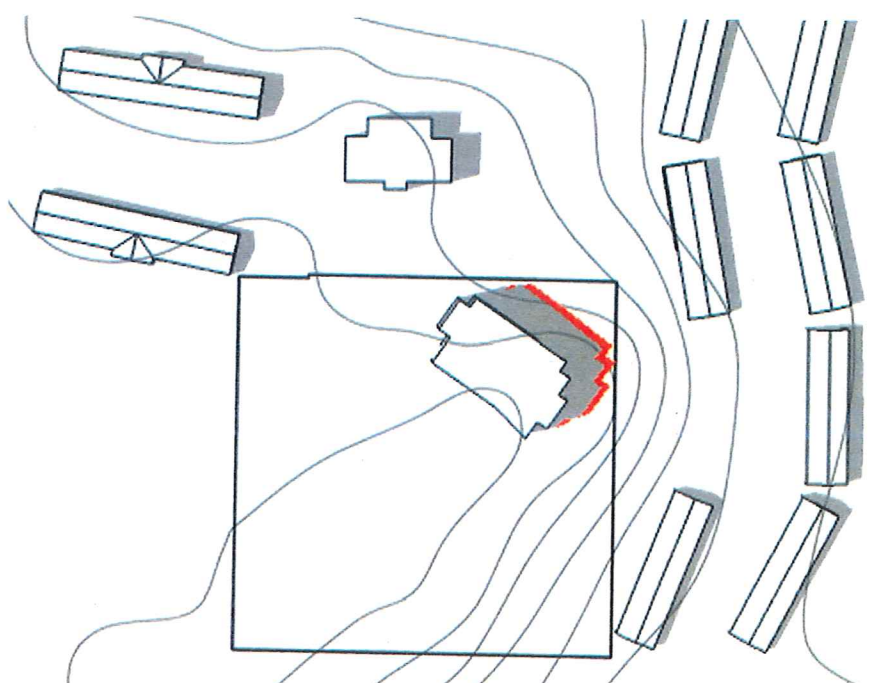
03.21 3pm



06.21 9am



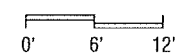
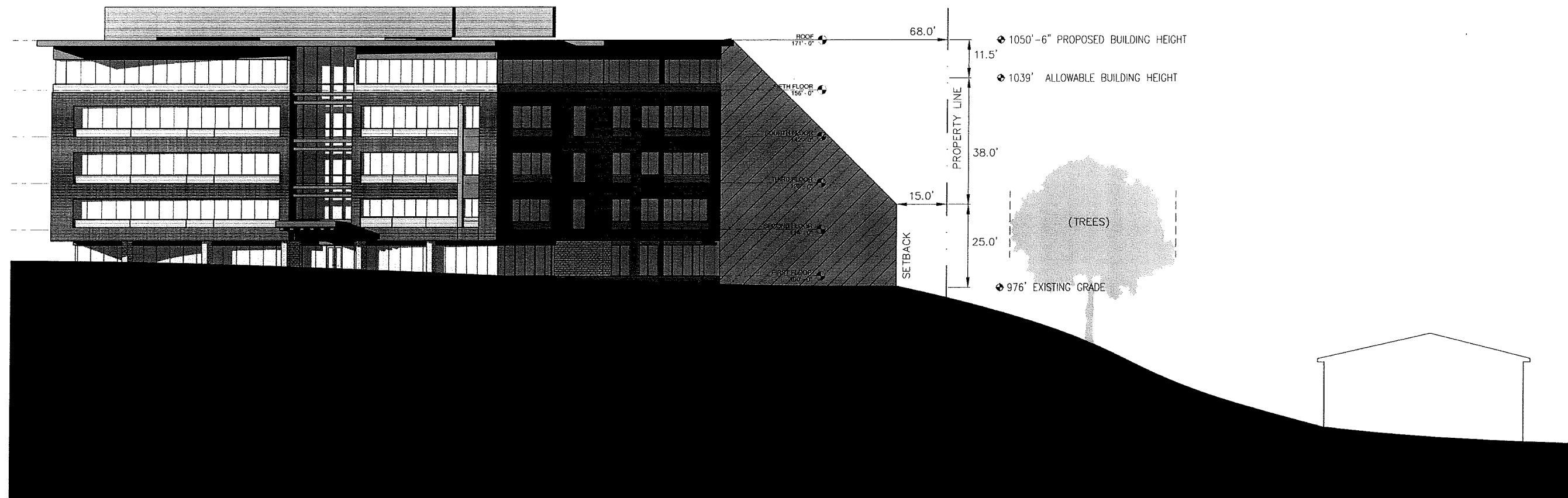
06.21 12pm



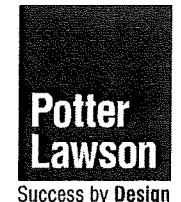
06.21 3pm

- 1050'-6" Proposed Building Height
- 1039'-0" Allowable Building Height





Site Section
 Landmark Oaks - 2011.27.02
 April 26, 2016





Landmark Oaks
2011.27.02
March 15, 2016



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING STANDPIPE
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING RECTANGULAR ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING BORING

TOPOGRAPHIC LINework LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GUY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING WETLAND DELINEATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK/GENERAL FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING
- PROPOSED LIGHT POLE
- PROPOSED LIGHT POLE
- PROPOSED LIGHT POLE
- PROPOSED LIGHT POLE

ABBREVIATIONS

TC	TOP OF CURB
FF	FINGERS FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL
EA	EDGE OF ASPHALT

SURVEY LEGEND

- BENCHMARK
- FOUND CHISELED "X"
- PUBLIC LAND CORNER AS NOTED
- FOUND NAIL
- FOUND 1" Ø IRON PIPE
- FOUND 2" Ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- FOUND RAILROAD SPIKE
- SET CHISELED "X"
- SET NAIL
- SET P.K. NAIL
- SET 1 1/4" Ø IRON ROD
- SET 3/4" Ø IRON ROD
- SET RAILROAD SPIKE
- GENERAL CONTROL POINT

GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- DITCH CENTERLINE
- SILT FENCE
- DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- PROPOSED SLOPE ARROWS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- STONE WEEPER

- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS I, TYPE A
- EROSION MAT CLASS I, TYPE B
- TRACKING PAD
- RIP RAP

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE

ABBREVIATIONS

SMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE

- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE
- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL

CONSTRUCTION AND GENERAL NOTES:

1. INSTALL A 50'L X 24'W X 1.0'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
3. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
6. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
7. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURING PROPER CLEARANCE OF NEW UTILITIES.
8. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY.
9. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANIES REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
11. INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR & DSPS STANDARDS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
13. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
14. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
15. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
16. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA/PROWAG REQUIREMENTS.
17. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE, WHICHEVER IS GREATER.
18. ADJUST ALL EXISTING MANHOLE AND VALVE RIMS TO FINAL GRADE.
19. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
20. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
22. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
23. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
24. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
25. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE REPAIR IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
26. ALL SPOT GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
27. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADE ONLY.
28. SANITARY LATERAL SHALL BE PVC SDR-35 OR SDSR-26.

AGENCIES:

- EMERGENCY - FIRE, RESCUE, AMBULANCE, POLICE DIAL 911
- UNITED STATES POST OFFICE
3902 MILWAUKEE ST
MADISON, WI 53714-9998
PHONE: 608-831-5501
- MADISON POLICE DEPARTMENT
211 S. CARROLL ST
MADISON, WI 53703
PHONE: 608-255-2345 NON-EMERGENCY
- MADISON FIRE DEPARTMENT
30 W. MIFFLIN ST.
MADISON, WI 53703
PHONE: 608-266-4420 NON-EMERGENCY
- MADISON METRO
1245 E. WASHINGTON AVE.
SUITE 201
MADISON, WI 53703
TIM SOBOTA
PHONE: 608-261-4289

UTILITIES:

- MG&E (GAS)
PO BOX 1231
MADISON WI 53701
SHAUN ENDRES
PHONE: 608-252-7224 (O)
608-516-7913 (C)
- MG&E (ELECTRIC)
PO BOX 1231
MADISON, WI 53701
CHRIS ERICKSON
PHONE: 608-252-5670 (O)
608-516-7940 (C)
- CHARTER COMMUNICATIONS (CABLE TV)
2701 DANIELS STREET
MADISON, WI 53718
JON MARSCHKE
PHONE: 608-225-2479
- TDS (TELEPHONE + FIBER)
1912 PARMENTER ST
MIDDLETON, WI 53562
JERRY MYERS
PHONE: 608-664-4404
- CITY OF MADISON - CITY ENGINEER
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING JR. BOULEVARD
MADISON, WI 53703
ROBERT F. PHILLIPS, P.E.
PHONE: 608-266-4090
- CITY OF MADISON - SANITARY AND STORM SEWER ENGINEER
CITY-COUNTY BUILDING, ROOM 115
210 MARTIN LUTHER KING JR. BOULEVARD
MADISON, WI 53703
GREG FRIES
PHONE: 608-267-1199
- CITY OF MADISON - WATER UTILITY, GENERAL MANAGER
119 EAST OLIN AVE.
MADISON, WI 53703
TOM HEIKKINENPHONE: 608-266-4651



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

vierbicher
planners | engineers | advisors
RESEARCH - MADISON - POWER QUALITY
999 Highland Drive, Suite 101 Madison, Wisconsin 53703
Phone: (608) 266-4420 Fax: (608) 266-4420

Legends and Notes

REVISIONS	NO.	DATE	REVISIONS	NO.	DATE

SCALE AS SHOWN

DATE: 4/27/16
DRAFTER: NSBOW/JJDL
CHECKED: MSCH
PROJECT NO. 150278.00

C
1



EXISTING STORM STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE TYPE	RM/TC	INVERT
S1	48" STMH	971.60	966.30 E 966.20 N 966.30 W
S2	2' x 3' CI	971.84	966.88 E
S3	2' x 3' CI	971.70	967.00 W
S4	48" STMH	952.20	948.05 S 947.72 W 947.90 E 947.70 N

EXISTING SANITARY STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE TYPE	RM/TC	INVERT
S1	48" SMH	956.85	949.25 N
S2	48" SMH	944.68	934.13 S 934.03 N

- TOPOGRAPHIC SYMBOL LEGEND**
- ⊕ EXISTING BOLLARD
 - ⊕ EXISTING FLAG POLE
 - ⊕ EXISTING MAILBOX
 - ⊕ EXISTING MONITORING WELL
 - ⊕ EXISTING POST
 - ⊕ EXISTING SIGN (TYPE NOTED)
 - ⊕ EXISTING CURB INLET
 - ⊕ EXISTING ENDWALL
 - ⊕ EXISTING FIELD INLET
 - ⊕ EXISTING ROOF DRAIN CLEANOUT
 - ⊕ EXISTING STORM MANHOLE
 - ⊕ EXISTING SANITARY CLEANOUT
 - ⊕ EXISTING SANITARY MANHOLE
 - ⊕ EXISTING SEPTIC VENT
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ EXISTING STANDPIPE
 - ⊕ EXISTING WATER MAIN VALVE
 - ⊕ EXISTING CURB STOP
 - ⊕ EXISTING WELL
 - ⊕ EXISTING WATER MANHOLE
 - ⊕ EXISTING GAS VALVE
 - ⊕ EXISTING AIR CONDITIONING PEDESTAL
 - ⊕ EXISTING DOWN GUY
 - ⊕ EXISTING ELECTRIC MANHOLE
 - ⊕ EXISTING RECTANGULAR ELECTRIC MANHOLE
 - ⊕ EXISTING ELECTRIC PEDESTAL
 - ⊕ EXISTING TRANSFORMER
 - ⊕ EXISTING GUY POLE
 - ⊕ EXISTING LIGHT POLE
 - ⊕ EXISTING GENERIC LIGHT
 - ⊕ EXISTING UTILITY POLE
 - ⊕ EXISTING TV PEDESTAL
 - ⊕ EXISTING TELEPHONE MANHOLE
 - ⊕ EXISTING TELEPHONE PEDESTAL
 - ⊕ EXISTING UNIDENTIFIED MANHOLE
 - ⊕ EXISTING HANDICAP PARKING
 - ⊕ EXISTING TRAFFIC SIGNAL
 - ⊕ EXISTING SHRUB
 - ⊕ EXISTING CONIFEROUS TREE
 - ⊕ EXISTING DECIDUOUS TREE
 - ⊕ EXISTING BORING AND TEST PITS

- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING UNDERGROUND CABLE TV
 - EXISTING OVERHEAD CABLE TV
 - EXISTING FIBER OPTIC LINE
 - EXISTING OVERHEAD TELEPHONE LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING RETAINING WALL
 - EXISTING CHAIN LINK FENCE
 - EXISTING GENERAL FENCE
 - EXISTING WIRE FENCE
 - EXISTING WOOD FENCE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING GUY LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING OVERHEAD GENERAL UTILITIES
 - EXISTING SANITARY FORCE MAIN (SIZE NOTED)
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING EDGE OF TREES
 - EXISTING WATER MAIN (SIZE NOTED)
 - EXISTING WETLAND DELINEATION
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR

- NOTES:**
- 1) This topographic map is not intended to be a property survey as defined by Chapter A-E 7 of the Wisconsin Administrative Code. Road right-of-ways and parcel lines are based on record information and are approximate.
 - 2) This map is referenced to The Wisconsin County Coordinate System - Dane 83/97. Field data was obtained using Robotic Total Station and GPS. Elevations are referenced to the North American Vertical Datum (NAVD) 88.07 as per City of Madison brass cap monument #20153002 of the monitor corner for the Southwest Corner of Section 34, T1N, R9E. Located on Todd Drive just south of Greenway Hill. Elevation = 898.84.
 - 3) All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and or their authorized representatives. Markings are as per Digger's Hotline tickets #20153009490, #2015488, and #2015500. Vierbicher does not warrant these locations marked or mapped by others.
 - 4) Field work for this map was completed by 2016-1-06. Any changes after this date are not reflected on this map.
 - 5) This topographic map was prepared at the request of Mortenson Investment Group, LLC.

REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	NO.	DATE

SCALE: AS SHOWN

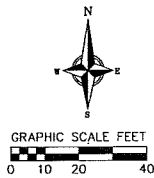
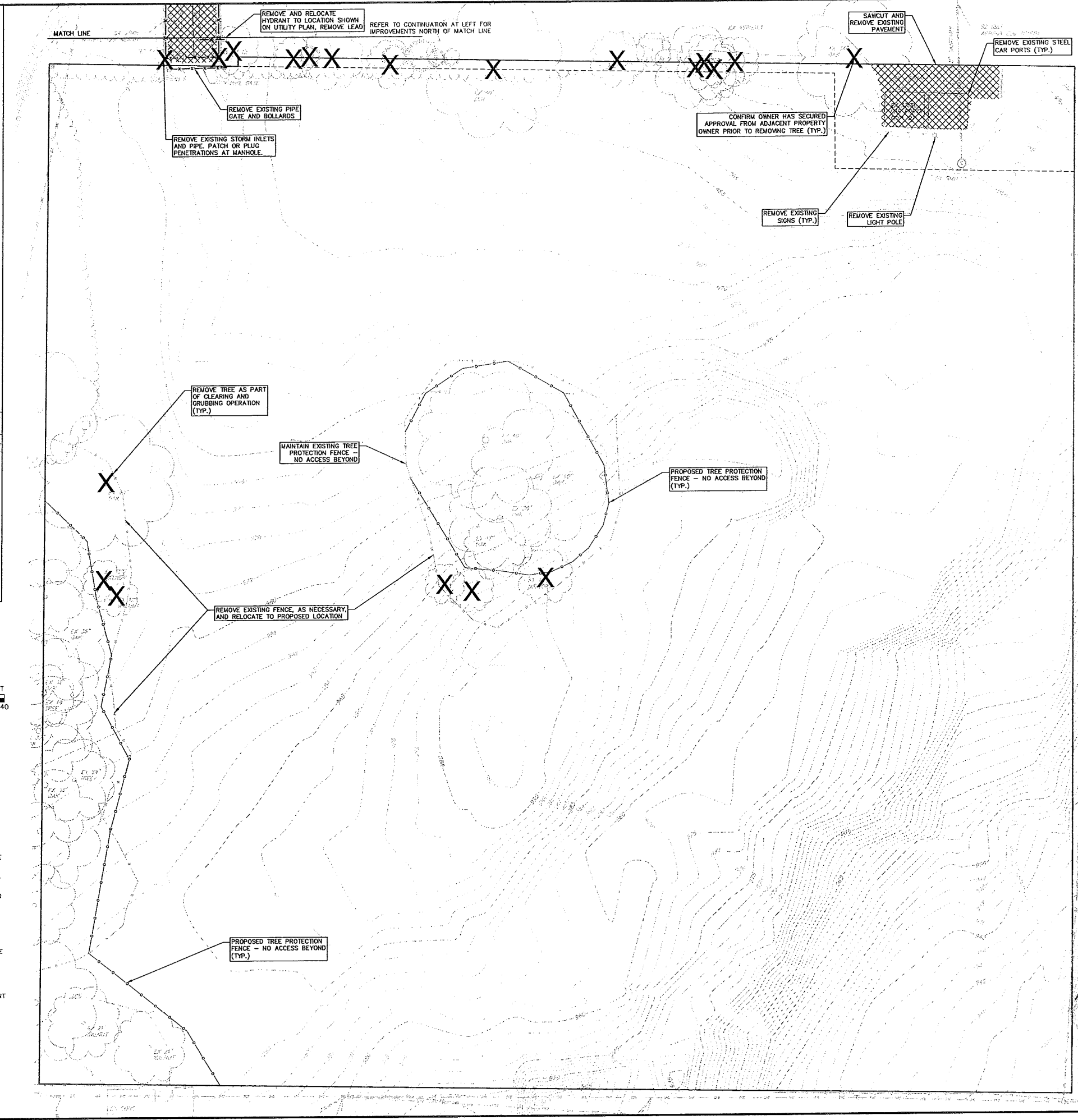
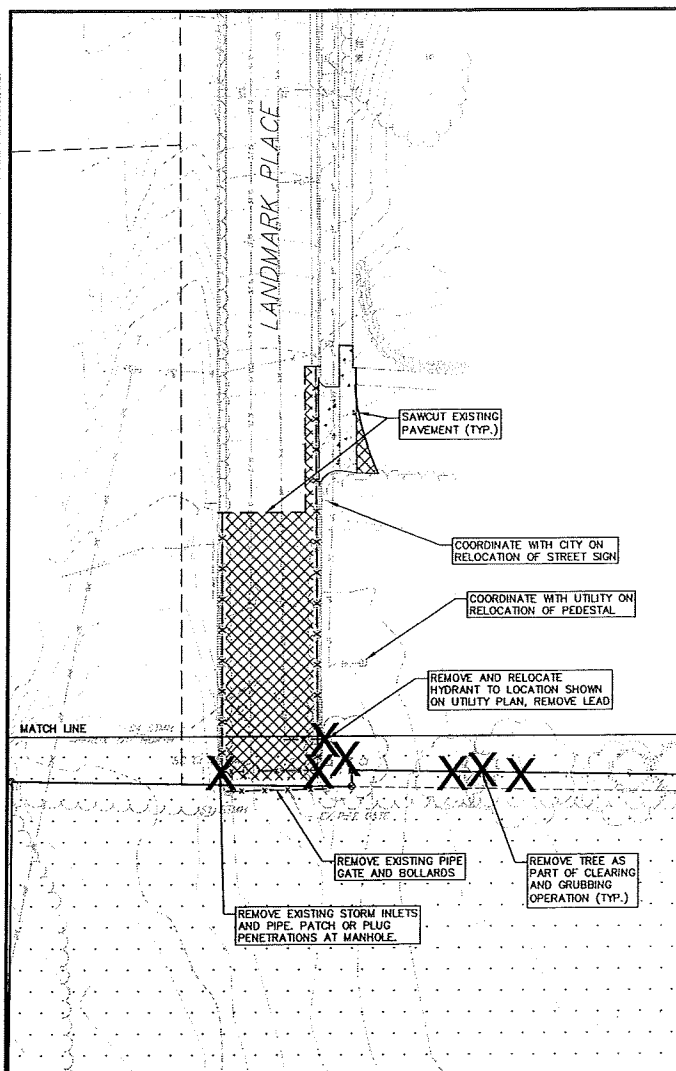
DATE: 4/27/16

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PROJECT NO.: 150278.00

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2



TREE PROTECTION NOTES:

1. CONTRACTOR TO RELOCATE EXISTING TREE PROTECTION FENCE TO THE PROPOSED LOCATION SHOWN, AND PROVIDE ADDITIONAL FENCE AS NEEDED. CONTRACTOR TO MAINTAIN ALL TREE PROTECTION FENCE THROUGHOUT CONSTRUCTION.
2. NO ACCESS, STORAGE, DISTURBANCE, OR OTHER ACTIVITY SHALL BE ALLOWED WITHIN THE LIMITS OF TREE PROTECTION AREAS, SUBJECT TO PENALTY BY OWNER.
3. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT AND OWNER. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
4. REMOVE TREES OUTSIDE OF PROPOSED TREE PROTECTION FENCE, AS NEEDED, AS PART OF CLEARING AND GRUBBING OPERATION. DO NOT REMOVE TREES ON ADJACENT PROPERTIES, UNLESS SPECIFICALLY CALLED FOR ON THIS PLAN.
5. REMOVE TREE PROTECTION FENCE AT COMPLETION OF PROJECT.
6. THIS MAP IS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM - DANE 83/97. FIELD DATA WAS OBTAINED USING ROBOTIC TOTAL STATION AND GPS. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) 88/07 AS PER CITY OF MADISON BRASS CAP MONUMENT #70183MCE AT THE MEANDER CORNER FOR THE SOUTHWEST CORNER OF SECTION 34, T7N, R9E. LOCATED ON TODD DRIVE JUST SOUTH OF GREENWAY HILL. ELEVATION = 898.84.
7. ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED PER MARKINGS PLACED ON THE GROUND OR MAPS PROVIDED BY THE UTILITIES (OWNERS) AND/OR THEIR AUTHORIZED REPRESENTATIVES. MARKINGS ARE AS PER DIGGER'S HOTLINE TICKETS #20155009490, #2015488, AND #2015500. VIERBICHER DOES NOT WARRANT THESE LOCATIONS MARKED OR MAPPED BY OTHERS.

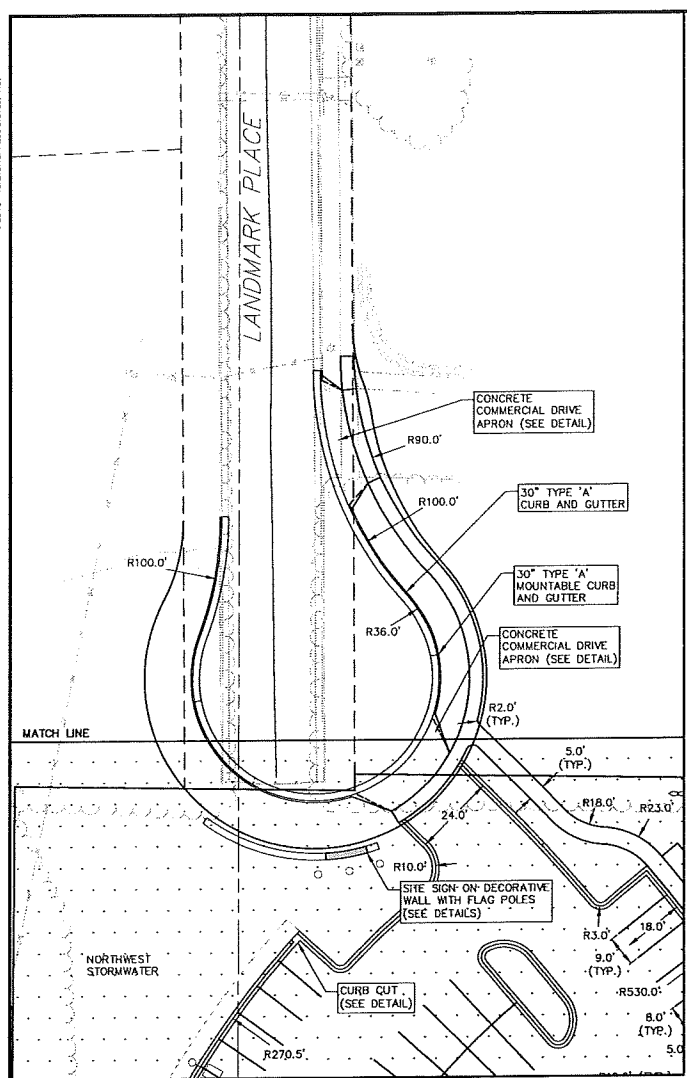
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN

DATE: 4/27/16
DRAWN: MBOW
CHECKED: MSCH

PROJECT NO.: 150279.00

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3



Parking Lot Plan Site Information Block

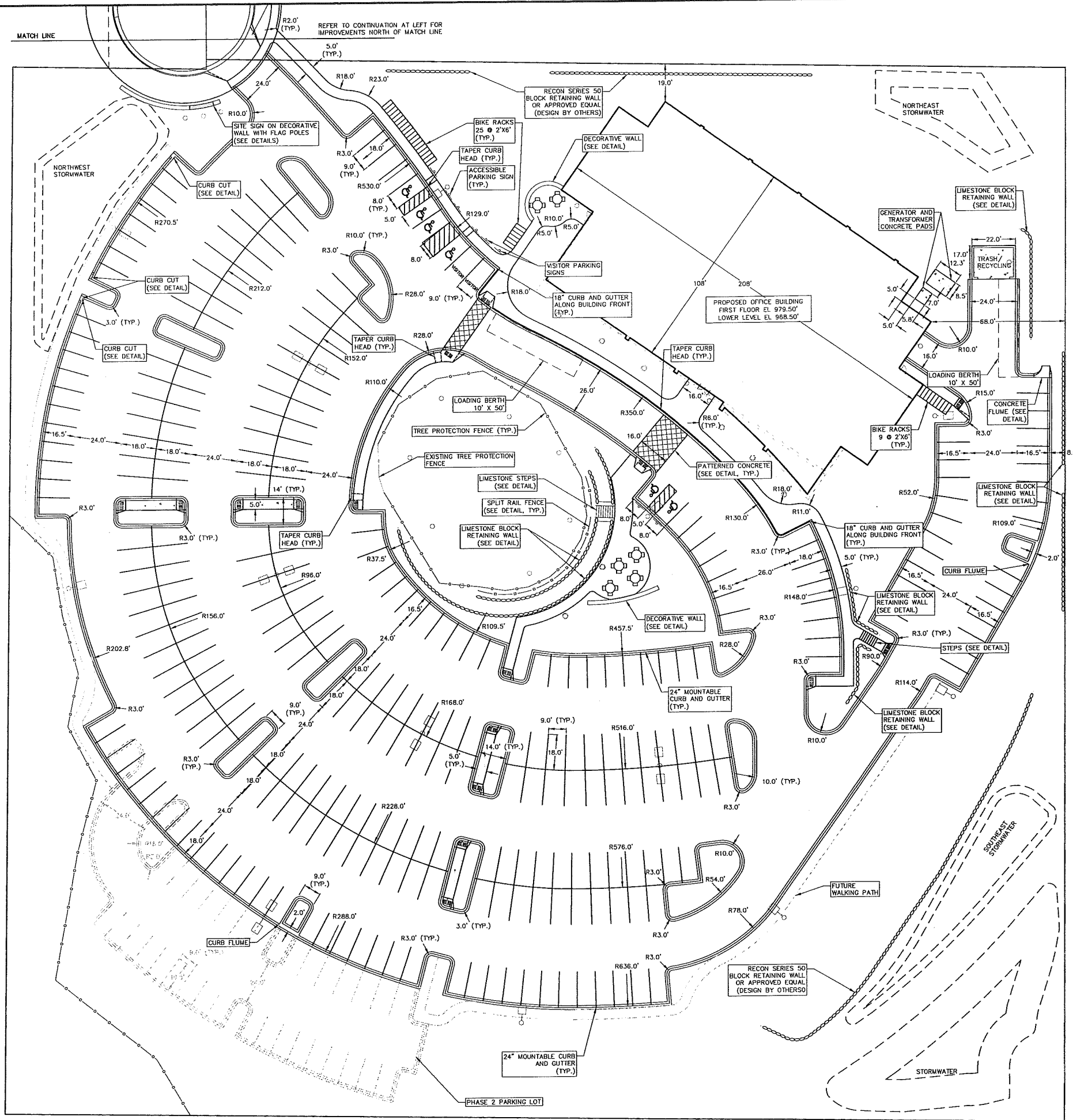
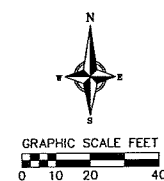
Site Address: 2921 Landmark Pl
 Site acreage (total) = 6.58 Acres
 Number of building stories (above grade): 5
 Building height: Approximately 71'
 DILHR type of construction (new structures):
 Lower Level: Protected, Type IA, Sprinklered, NFPA 13
 Floors 1-5: Protected, Type VA, Sprinklered, NFPA 13
 Total gross square footage of building: Approximately 105,005 SF above grade and 20,910 SF below grade parking, totaling approximately 125,915 SF
 Use of property: Commercial
 Gross square feet of office: 105,005 SF
 Gross square feet of retail area: 0 SF
 Number of employees in warehouse: NA
 Number of employees in production area: NA
 Capacity of restaurant/place of assembly: NA
 Number of bicycle stalls: 34 surface stalls shown (18 underground not shown)
 Number of parking stalls shown (Phase 1):

Large Car	43 underground, 307 surface
Accessible	2 underground, 5 surface
Total	358 stalls

Number of parking stalls shown (Phase 2):

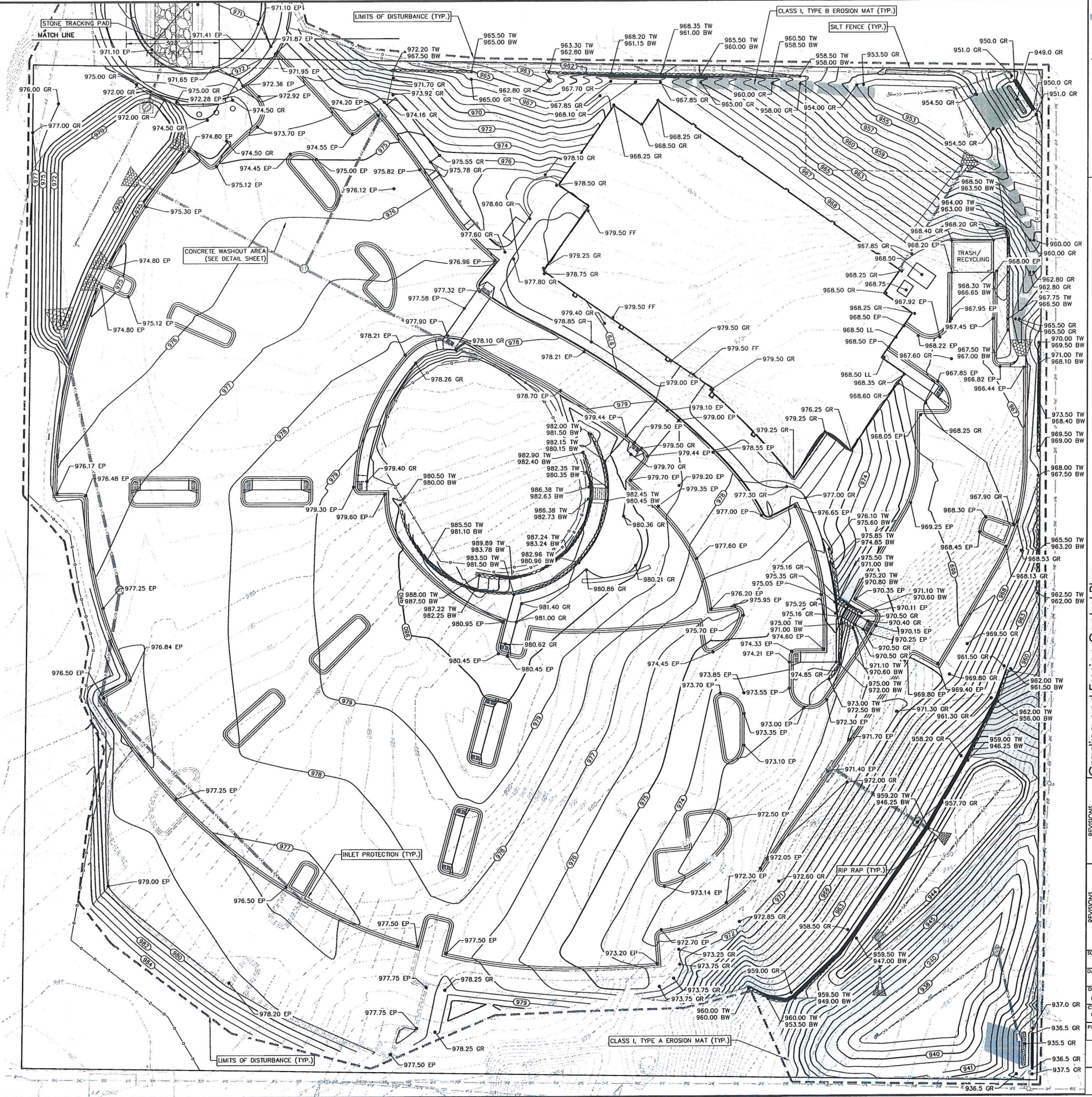
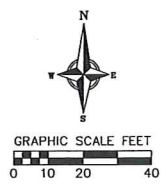
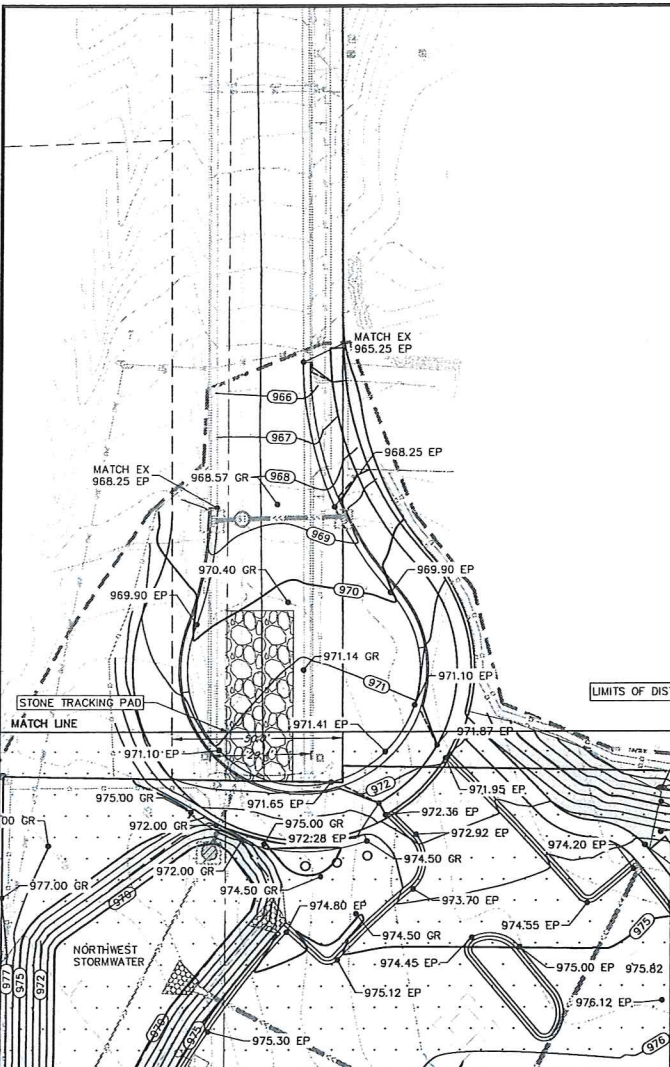
Large Car	43 underground, 334 surface
Accessible	2 underground, 5 surface
Total	385 stalls

Number of trees shown: See Landscape Plan



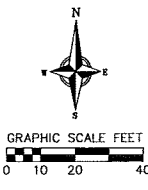
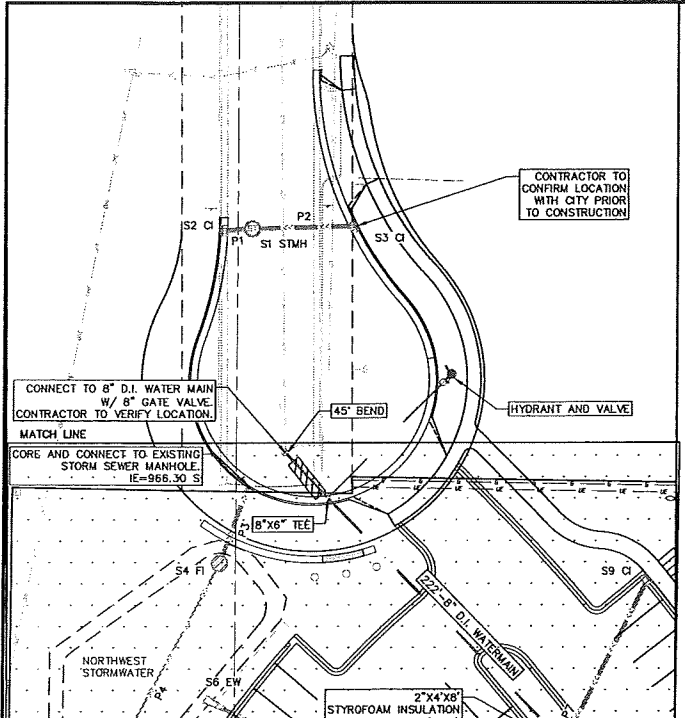
REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS

SCALE: AS SHOWN
 DATE: 4/27/16
 DRAFTER: NBOW/DGL
 CHECKED: USCH
 PROJECT NO.: 150279.00



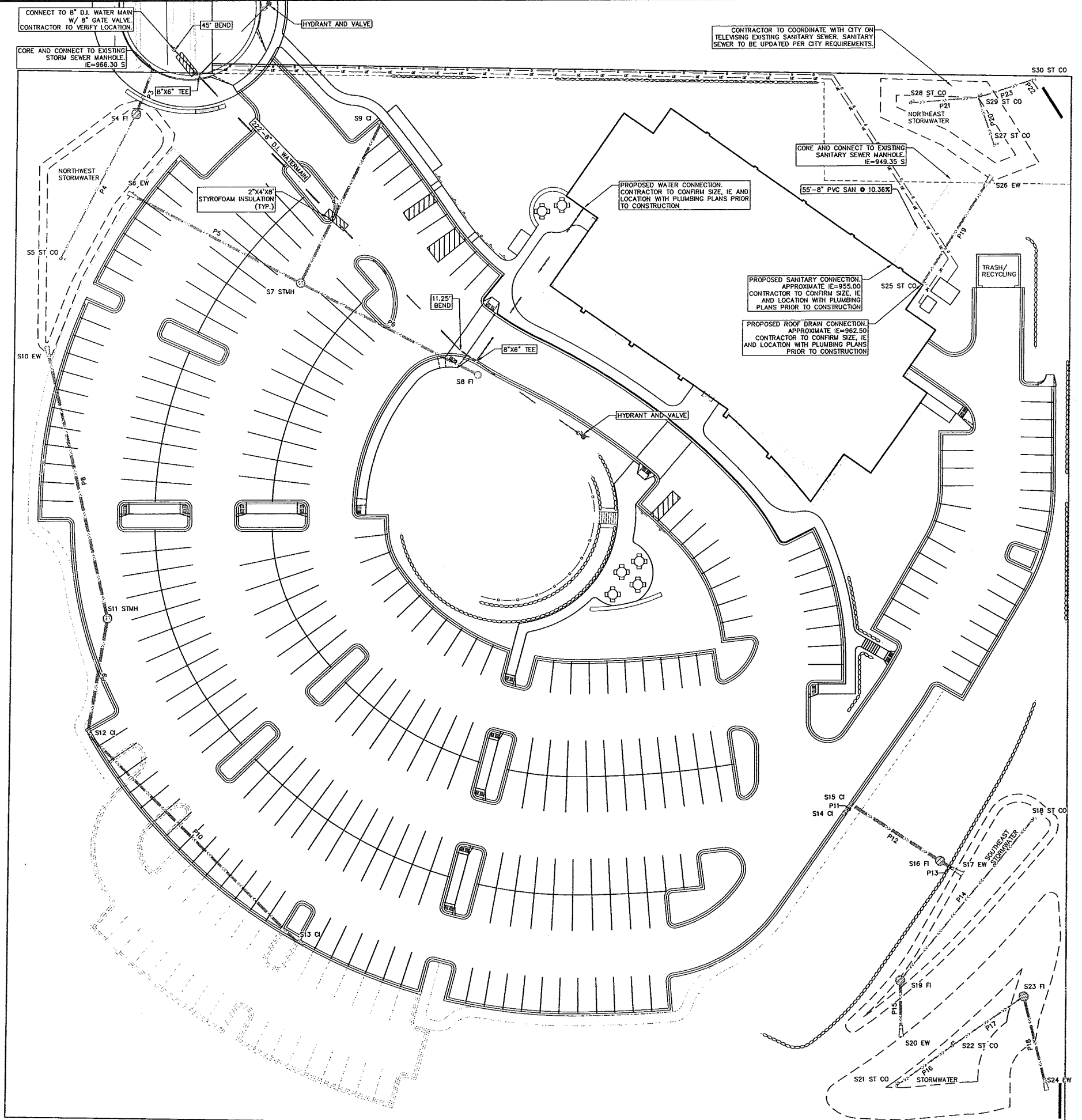
REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN
 DATE: 4/27/16
 DRAFTER: DCA
 CHECKED: MSJ
 PROJECT NO.: 150279.00
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5



STORM STRUCTURE TABLE						
STRUCTURE NAME	STRUCTURE TYPE	FRAME	COVER	#4/TC	RHRT	INVERT
S1	48" CONC STMH	R-1550	TYPE-B LID	988.75	960.83	
S2	2' x 3' CI	R-3067-L	VANE GRATE	988.81	962.00	
S3	2' x 3' CI	R-3067-L	VANE GRATE	988.92	963.00	
S4	48" CONC FI	R-2560-G	BEEHIVE GRATE	970.50	967.00	
S5	STORM CLEANOUT	N/A	N/A	970.00	967.00	
S6	12" RCP EW	N/A	N/A	972.17	971.00	
S7	48" CONC STMH	R-1550	TYPE-B LID	976.65	970.49	
S8	30" CONC FI	R-2560-E	BEEHIVE GRATE	973.38	971.00	
S9	2' x 3' CI	R-3067-R	TYPE-R GRATE	974.39	971.96	
S10	12" RCP EW	N/A	N/A	972.17	971.00	
S11	48" CONC STMH	R-1550	TYPE-B LID	977.33	971.71	
S12	2' x 3' CI	R-3067-R	TYPE-R GRATE	976.68	972.01	
S13	2' x 3' CI	R-3067-R	TYPE-R GRATE	976.68	973.02	
S14	2' x 3' CI	R-3067-R	TYPE-R GRATE	971.59	967.60	
S15	2' x 3' CI	R-3067-R	TYPE-R GRATE	971.81	969.00	
S16	48" CONC FI	R-2560-G	BEEHIVE GRATE	960.47	944.50	
S17	12" RCP EW	N/A	N/A	945.05	944.00	
S18	STORM CLEANOUT	N/A	N/A	944.00	941.50	
S19	48" CONC FI	R-2560-G	BEEHIVE GRATE	944.00	941.50	
S20	12" RCP EW	N/A	N/A	941.34	938.00	
S21	STORM CLEANOUT	N/A	N/A	937.51	936.50	
S22	STORM CLEANOUT	N/A	N/A	937.51	936.50	
S23	48" CONC FI	R-2560-G	BEEHIVE GRATE	939.12	936.50	
S24	12" RCP EW	N/A	N/A	937.67	936.50	
S25	STORM CLEANOUT	N/A	N/A	968.23	962.50	
S26	12" RCP EW	N/A	N/A	956.02	955.00	
S27	STORM CLEANOUT	N/A	N/A	953.00	950.50	
S28	STORM CLEANOUT	N/A	N/A	953.00	950.50	
S29	STORM CLEANOUT	N/A	N/A	953.00	950.50	
S30	STORM CLEANOUT	N/A	N/A	951.04	950.50	

STORM PIPE TABLE									
PIPE NAME	PIPE TYPE	SIZE (IN)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE	REMARKS
P1	RCP	12	S1	S2	9	961.08	962.00	0.91%	
P2	RCP	12	S1	S3	31	961.08	963.00	6.26%	
P3	RCP	12	S4	S5	27	968.30	967.00	2.61%	
P4	HDPE	6	S4	S5	82	967.00	967.00	0.00%	
P5	RCP	12	S5	S7	100	971.00	971.50	0.50%	
P6	RCP	12	S7	S8	102	970.49	971.00	0.50%	
P7	RCP	12	S7	S9	91	971.50	971.96	0.50%	
P8	RCP	15	S10	S11	142	971.00	971.71	0.50%	
P9	RCP	15	S11	S12	59	971.71	972.01	0.50%	
P10	RCP	12	S12	S13	153	972.26	973.02	0.50%	
P11	HDPE	12	S14	S15	5	967.60	967.50	2.00%	
P12	HDPE	18	S16	S15	53	967.00	960.00	13.27%	
P13	HDPE	18	S17	S16	13	944.00	944.50	3.76%	
P14	HDPE	6	S19	S18	109	941.50	941.50	0.00%	
P15	RCP	12	S20	S19	28	939.00	941.50	8.87%	
P16	HDPE	6	S22	S21	35	936.50	936.50	0.00%	
P17	HDPE	6	S23	S22	44	936.50	936.50	0.00%	
P18	RCP	12	S24	S23	48	936.50	936.50	0.00%	
P19	PVC	12	S26	S25	65	955.00	962.50	11.63%	
P20	HDPE	6	S28	S27	28	950.50	950.50	0.00%	
P21	HDPE	6	S29	S28	34	950.50	950.50	0.00%	
P22	HDPE	6	S30	S29	6	950.50	950.50	0.00%	
P23	HDPE	6	S30	S29	28	950.50	950.50	0.00%	



Utility Plan
 Landmark Oaks
 City of Madison
 Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS

SCALE: AS SHOWN
 DATE: 4/27/16
 DRAFTER: DPH/ABW
 CHECKED: WSH
 PROJECT NO.: 150278.00

C
6

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wisconsin.gov/runoff/fstormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY WISCONSIN DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDING AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DESIGN ENGINEER AND PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- CLEAR AND GRUB SITE PER DEMOLITION PLAN
- STRIP TOPSOIL-DETENTION BASINS
- ROUGH GRADE DETENTION BASINS (TO BE USED AS SEDIMENT TRAPS DURING CONSTRUCTION)
- STRIP TOPSOIL-STREETS & LOTS
- ROUGH GRADE STREETS & LOTS
- SEED LOT AREAS
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ROADS AND PARKING LOT (STONE BASE, CURB & GUTTER, AND SIDEWALK).
- RESTORE TERRACES AND CONSTRUCT BIORETENTION AND INFILTRATION BASINS PER DETAILS.
- REMOVE TRACKING PAD AND SILT FENCE

SEEDING RATES:

- TEMPORARY:**
- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 - USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

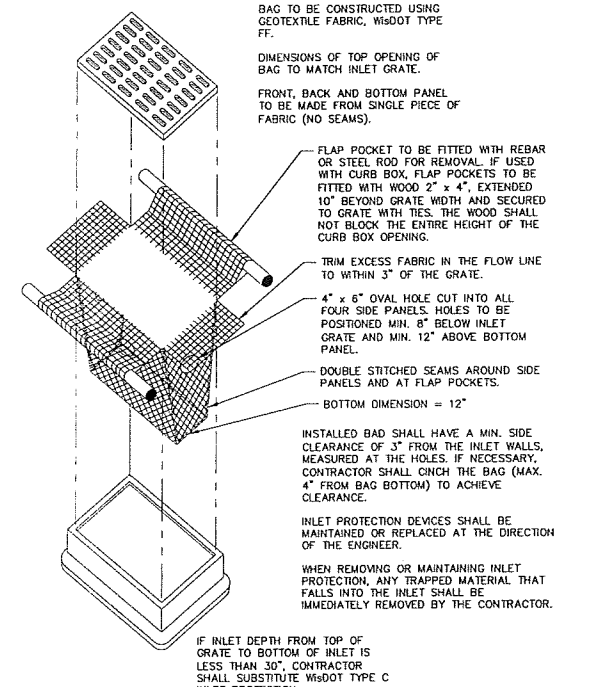
- PERMANENT:**
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

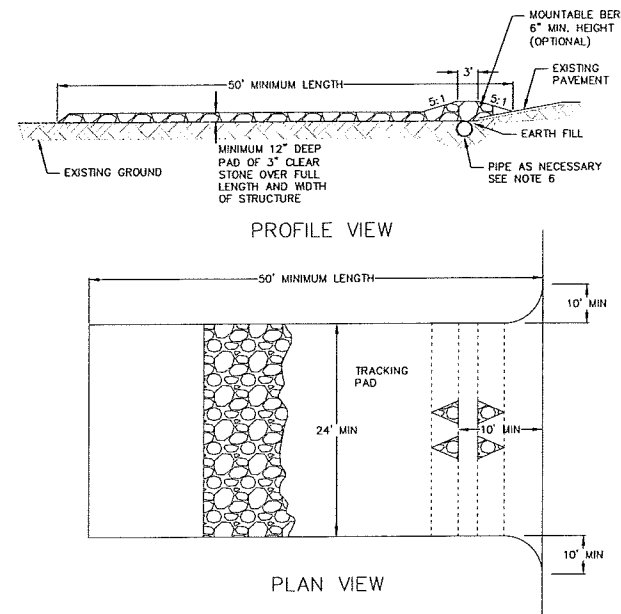
- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

- TEMPORARY AND PERMANENT:**
- USE 2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

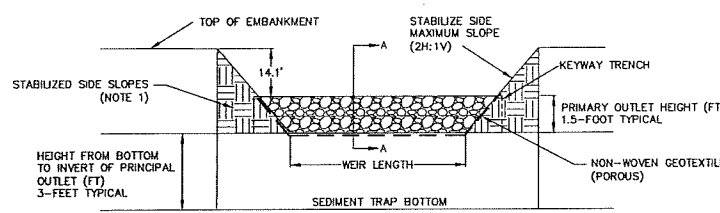


1 INLET PROTECTION TYPE D
NOT TO SCALE

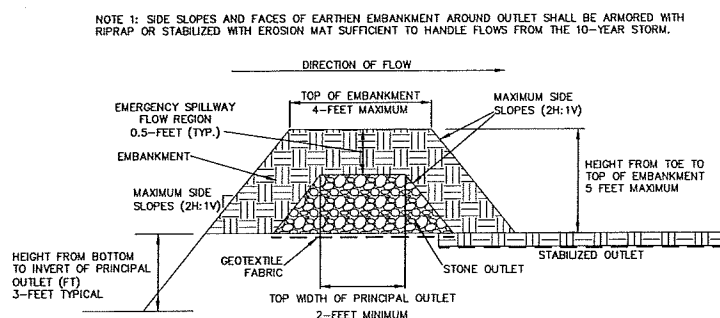


- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE, SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD
NOT TO SCALE

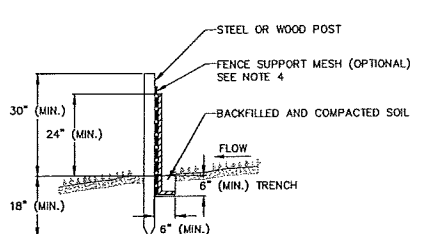


CROSS SECTION OF PRINCIPAL OUTLET

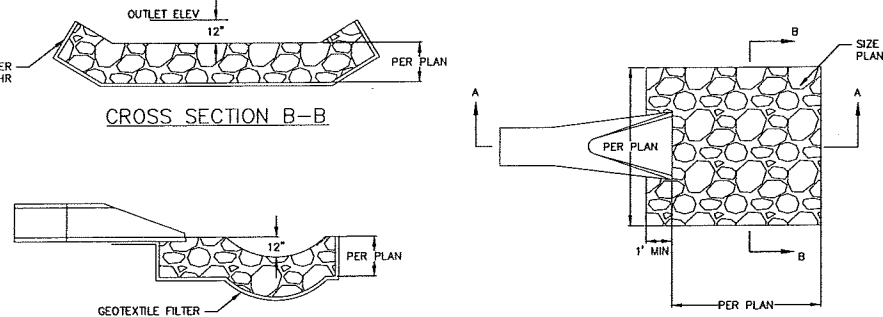


1 VIEW A-A OF PRINCIPAL OUTLET
NOT TO SCALE

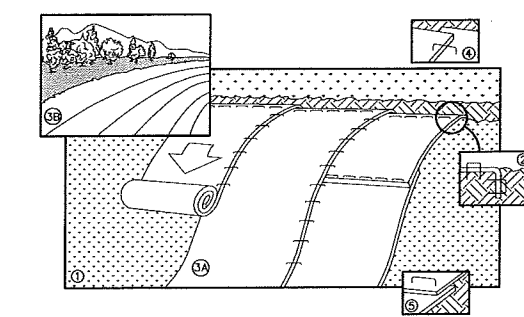
1 SEDIMENT TRAP
NOT TO SCALE



1 SILT FENCE
NOT TO SCALE



1 RIP-RAP OUTLET
NOT TO SCALE



- NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL THE BLANKETS <A> DOWN, OR HORIZONTALLY ACROSS THE SLOPE.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 - WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
 - ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 EROSION MAT
NOT TO SCALE

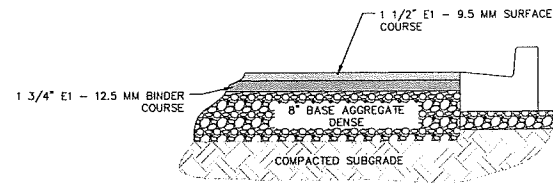
vierbicher engineers | advisors
 PLANNING | DESIGN | CONSTRUCTION
 1000 W. MONROE ST. SUITE 200
 MADISON, WI 53703
 TEL: 608.261.1234 FAX: 608.261.1235

Construction Details - 1
 Landmark Oaks
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

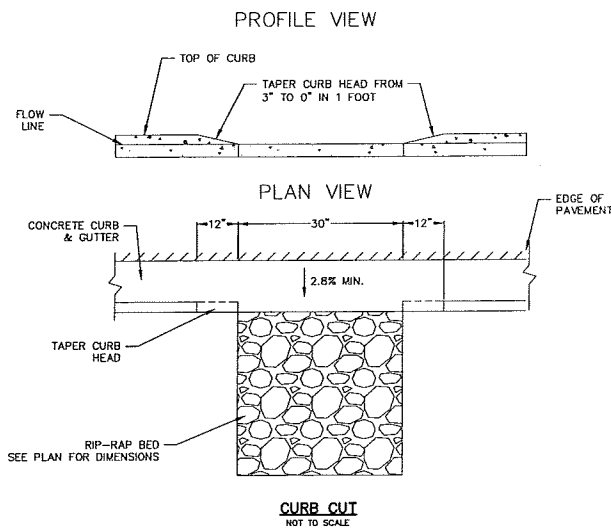
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 DRAFTER DDM/MBW
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 PROJECT NO. 150279.00

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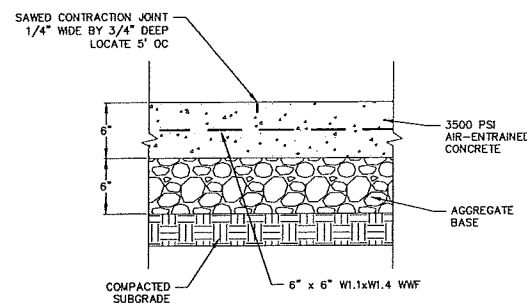


BITUMINOUS PAVEMENT
PARKING LOT

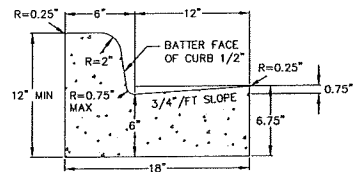
1 SITE PAVEMENT
1 NOT TO SCALE



1 CURB CUT
1 NOT TO SCALE



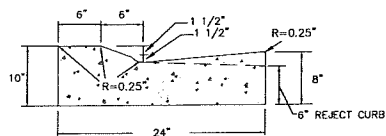
1 GENERATOR AND TRANSFORMER CONCRETE PAD
1 NOT TO SCALE



CURB AND GUTTER
CROSS SECTION

NOTE: ALL CURB AND GUTTER SHALL BE PLACED ON 6" OF COMPACTED, CRUSHED AGGREGATE BASE COURSE
EXTENDING 1' MINIMUM BEYOND BACK OF CURB.

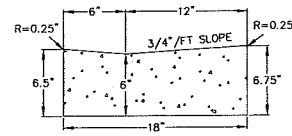
1 18" CONCRETE CURB AND GUTTER
1 NOT TO SCALE



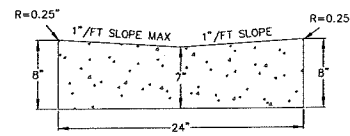
MOUNTABLE CURB AND GUTTER
CROSS SECTION

NOTE: ALL CURB AND GUTTER SHALL BE PLACED ON 6" OF COMPACTED, CRUSHED AGGREGATE BASE COURSE
EXTENDING 1' MINIMUM BEYOND BACK OF CURB.

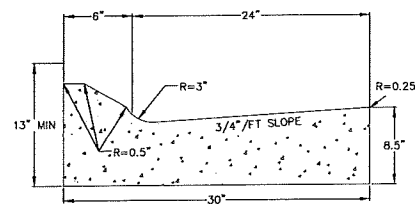
1 24" CONCRETE CURB AND GUTTER
1 NOT TO SCALE



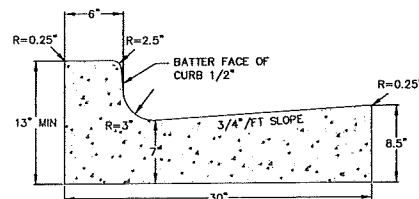
ACCESSIBLE RAMP
GUTTER CROSS SECTION



ACCESSIBLE RAMP
GUTTER CROSS SECTION



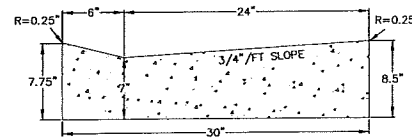
TYPE 'A' MOUNTABLE CURB AND
GUTTER CROSS SECTION



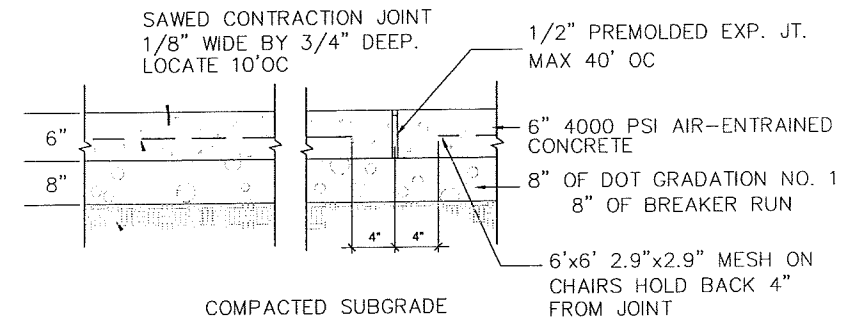
TYPE 'A' CURB AND GUTTER
CROSS SECTION

NOTE: ALL CURB AND GUTTER SHALL BE PLACED ON 6" OF COMPACTED, CRUSHED AGGREGATE BASE COURSE
EXTENDING 1' MINIMUM BEYOND BACK OF CURB.

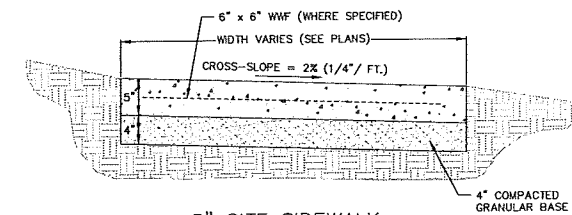
1 30" CONCRETE CURB AND GUTTER
1 NOT TO SCALE



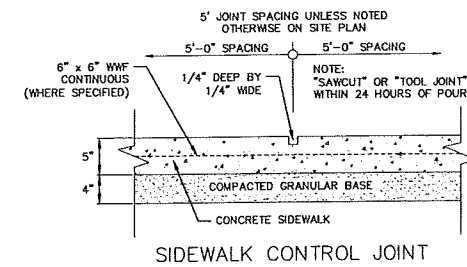
DRIVEWAY GUTTER
CROSS SECTION



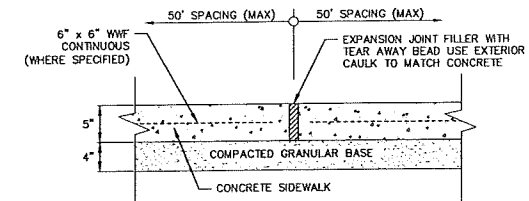
1 TRASH ENCLOSURE CONCRETE PAD
1 NOT TO SCALE



5" SITE SIDEWALK



SIDEWALK CONTROL JOINT

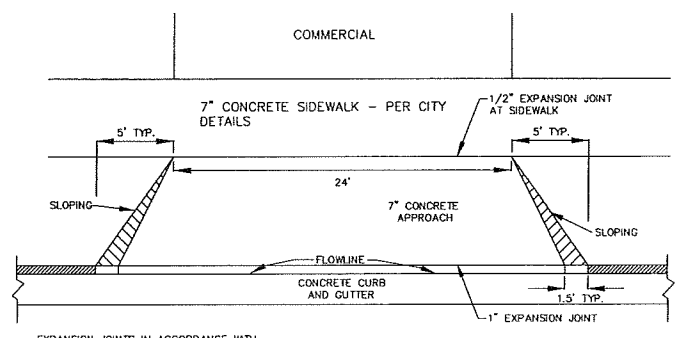


SIDEWALK EXPANSION JOINT

1 5" SIDEWALK
1 NOT TO SCALE

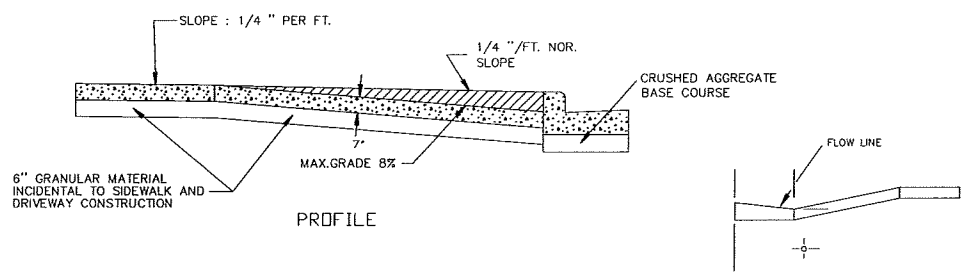
REVISIONS	NO.	DATE	REMARKS

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DATE	4/21/16
DRAWER	DDA/ANOW
CHECKED	
PROJECT NO.	150278.00



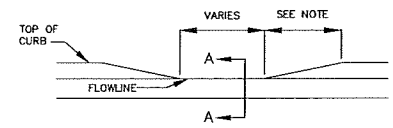
EXPANSION JOINTS IN ACCORDANCE WITH REQUIREMENTS OF 302.2d, 303.2d, & 303.2k

PLAN

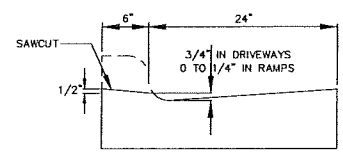


PROFILE

CONDUIT DETAIL



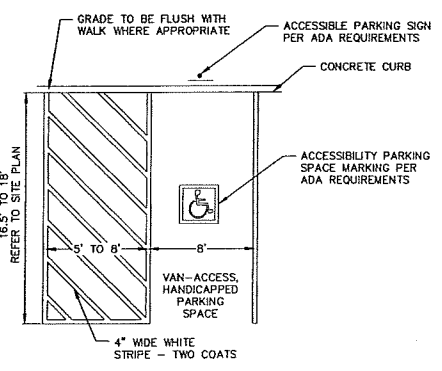
TYPICAL CURB CUT TAPER



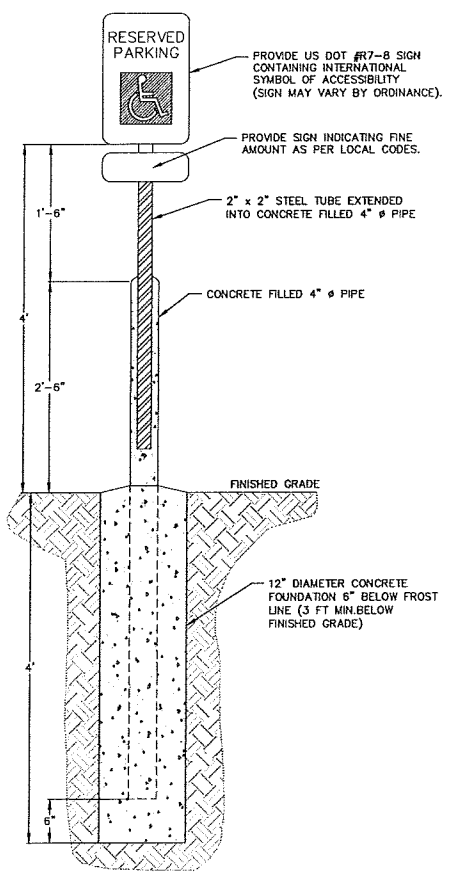
SECTION A-A

GENERAL NOTE:
IF THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION, THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

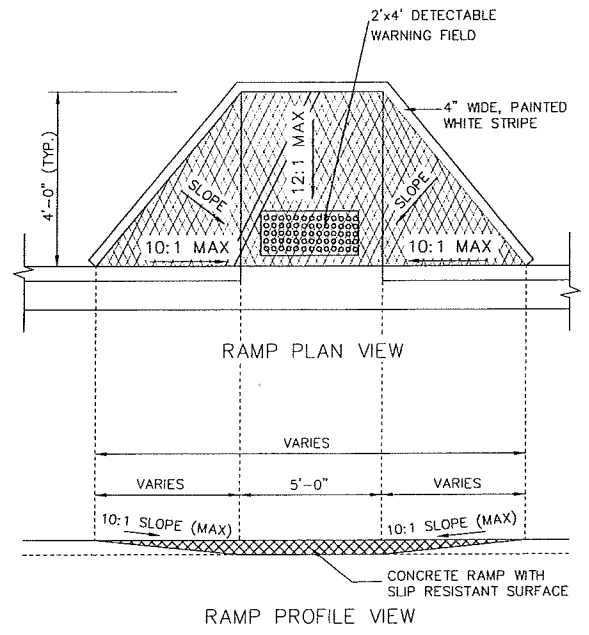
1 DRIVEWAY APRON
1 NOT TO SCALE



1 HANDICAP STRIPING
1 NOT TO SCALE



1 ACCESSIBLE PARKING SIGN
1 NOT TO SCALE



RAMP PLAN VIEW

RAMP PROFILE VIEW

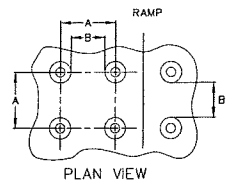
GENERAL NOTES
RAMPS SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

THE RAMP SHALL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4 INCH WIDE YELLOW STRIPE OR WITH BRICK OF A CONTRASTING COLOR. NORMALLY THE PAINT STRIPE ALTERNATE WILL BE USED. THE CONTRACTOR WILL APPLY THIS STRIPING UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.

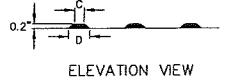
IF THE OWNER REQUIRES THE BRICK ALTERNATE, SPECIAL DETAILS AND PROVISIONS ARE SHOWN ELSEWHERE IN THE PLANS.

	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

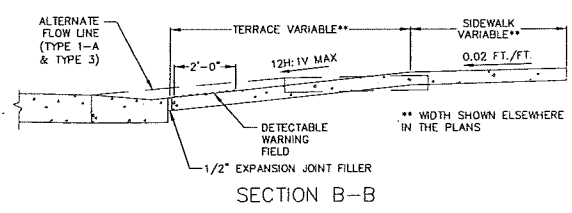
* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION



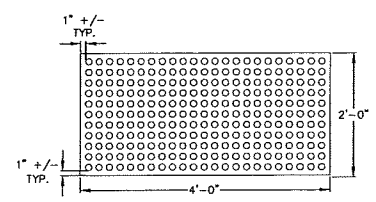
TRUNCATED DOMES
DETECTABLE WARNING
PATTERN DETAIL



ELEVATION VIEW



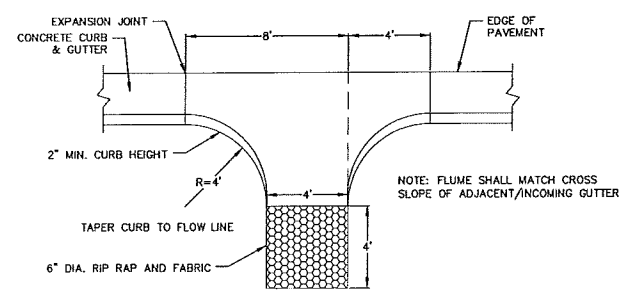
SECTION B-B



DETECTABLE WARNING
FIELD (TYPICAL)

NOTE: MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE CITY ENGINEER

1 SITE HANDICAP ACCESSIBLE RAMP
1 NOT TO SCALE



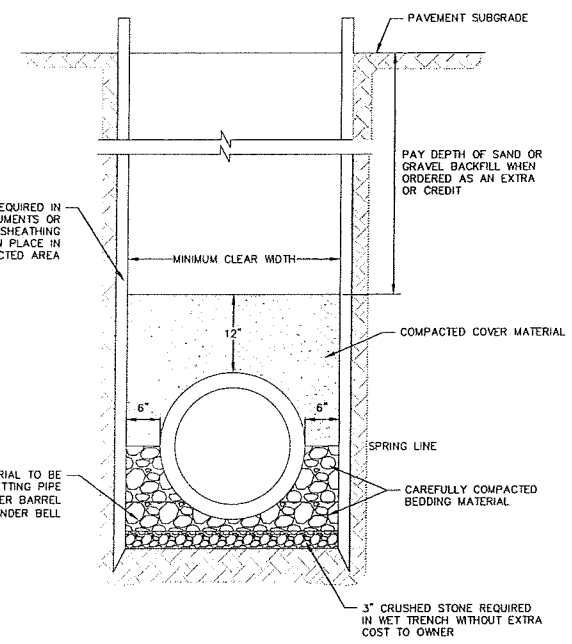
1 CONCRETE FLUME
1 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS

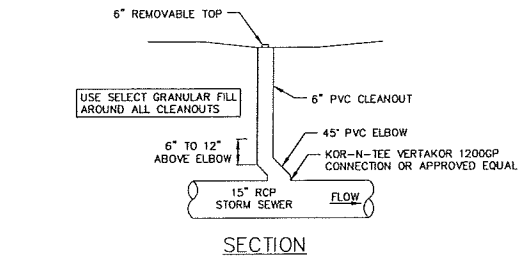
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DRAWER	DCH/ABW
CHECKED	
PROJECT NO.	150278.00

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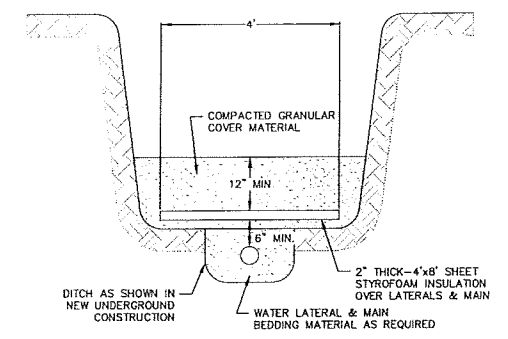
24-Apr-2016 - 1:25p. M:\Workstation In-CAD\150279_Landmark Oak\150279 - Detail.dwg by: dnt



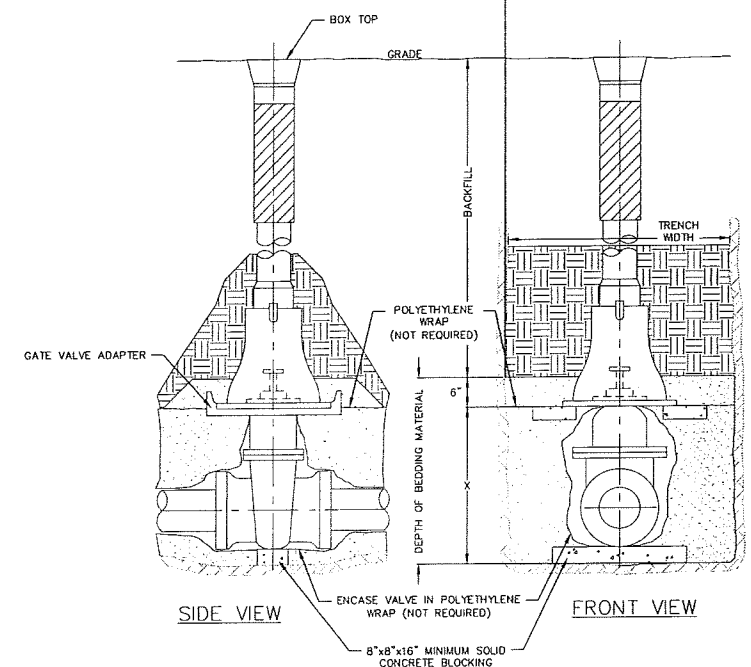
1 CLASS B BEDDING COMPACTED SECTION
1 NOT TO SCALE



1 STORM SEWER CLEANOUT
1 NOT TO SCALE

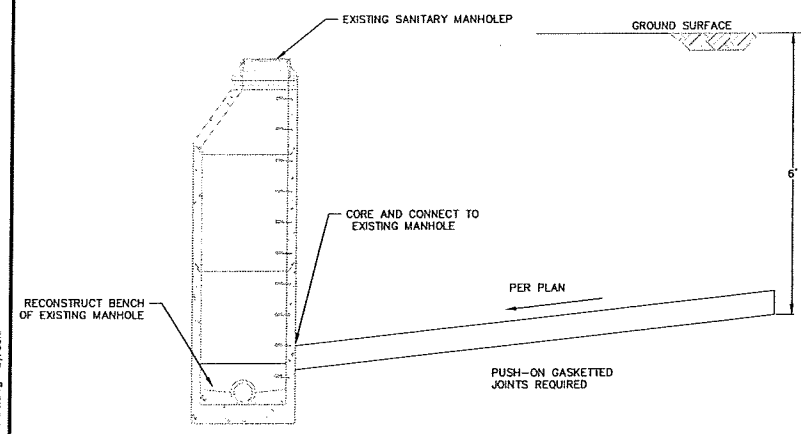


1 INSULATION DETAIL
1 NOT TO SCALE



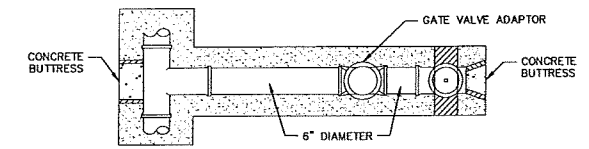
PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
12	21
16	30

1 STANDARD GATE VALVE BOX SETTING
1 NOT TO SCALE

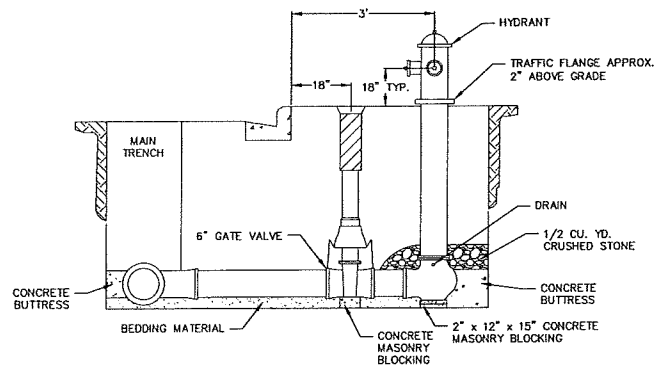


1 SANITARY SEWER LATERAL
1 NOT TO SCALE

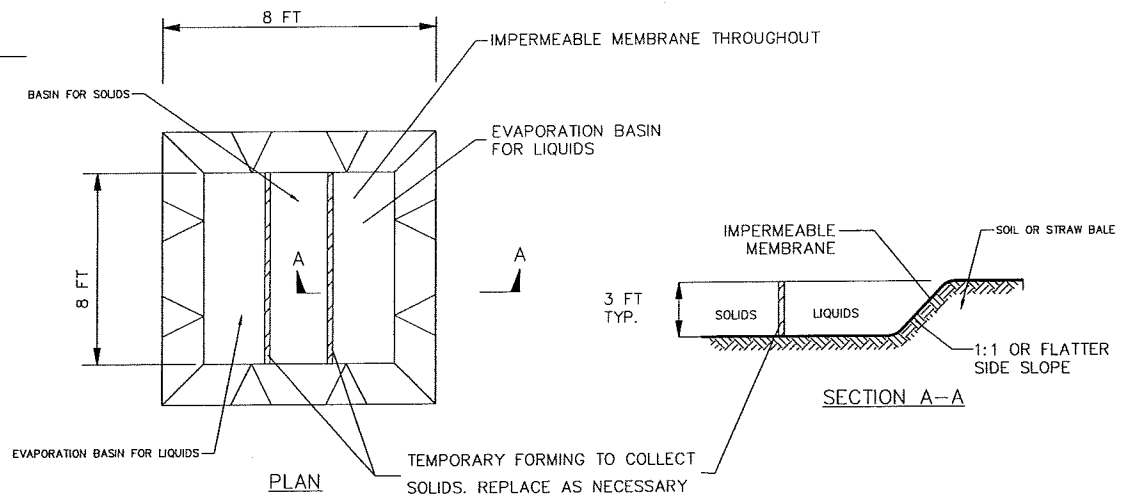
NOTE: CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE LENGTH OF LATERAL REQUIRED FOR INSTALLATION AND THE REQUIRED TERMINATION POINT.



1 STANDARD HYDRANT SETTING
1 NOT TO SCALE



1 TEMPORARY EXCAVATED WASHOUT STRUCTURE
1 NOT TO SCALE



EXCAVATED WASHOUT STRUCTURE

CONSTRUCTION SPECIFICATIONS

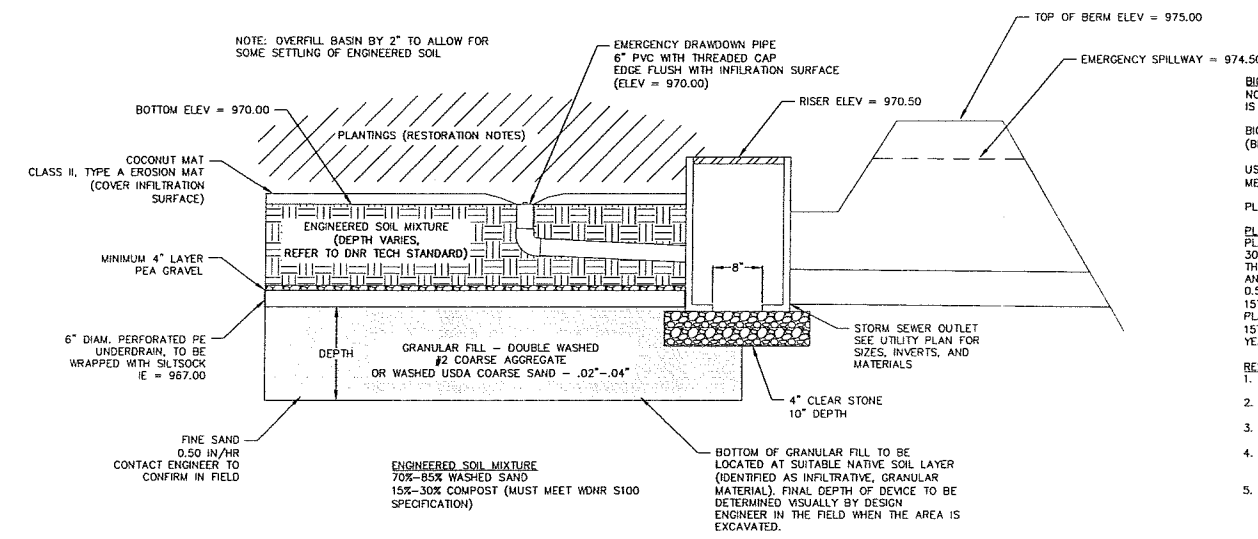
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

REVISIONS	NO.	DATE	REMARKS

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DATE: 4/25/16
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CHECKED: USCH
PROJECT NO.: 150279.00

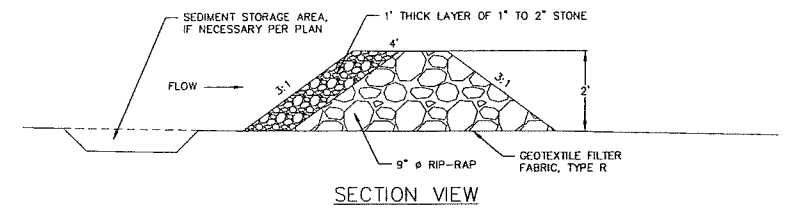
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10

24 Apr 2016 - 12:09 Mr. Vancampen (rev 05) 150275 Landmark Oaks (CADD) 150275 - Details.dwg by: dch

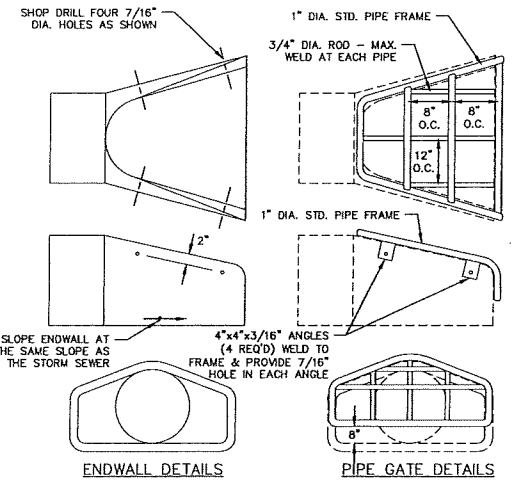


1 BIO-RETENTION BASIN - NORTHWEST
 1 NOT TO SCALE

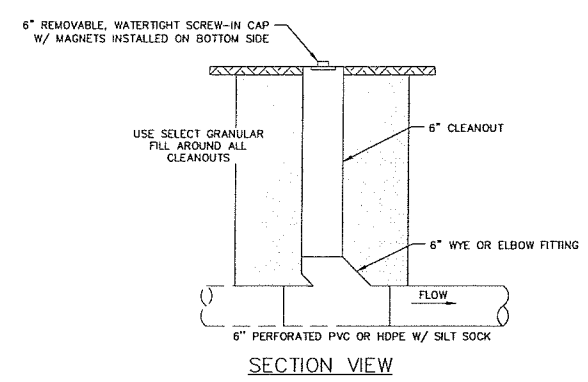
BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
 NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.
 BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)
 USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.
 PLANT PLUGS AT 1 PER SQUARE FOOT.
PLANTING MULCH AND MAINTENANCE NOTES:
 PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.
RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):
 1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
 2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
 3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
 4. PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:
 70-85% WASHED SAND
 15-30% COMPOST (MUST MEET WQNR S100 SPECIFICATION)
 5. PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.



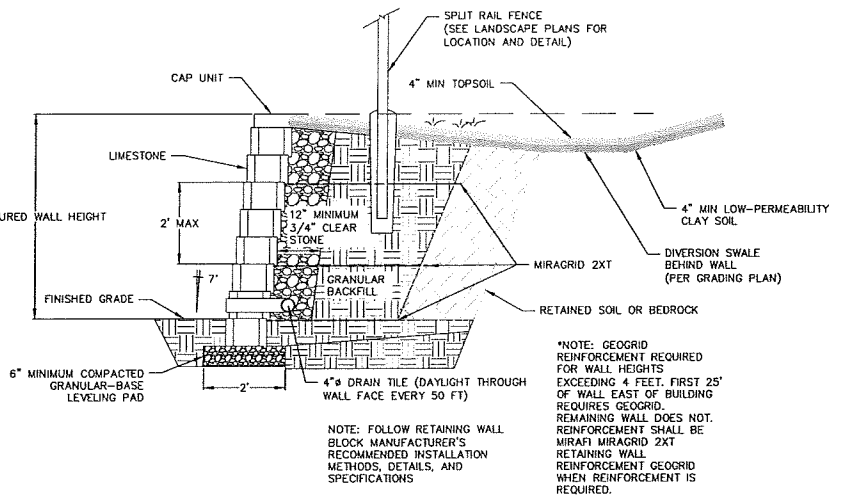
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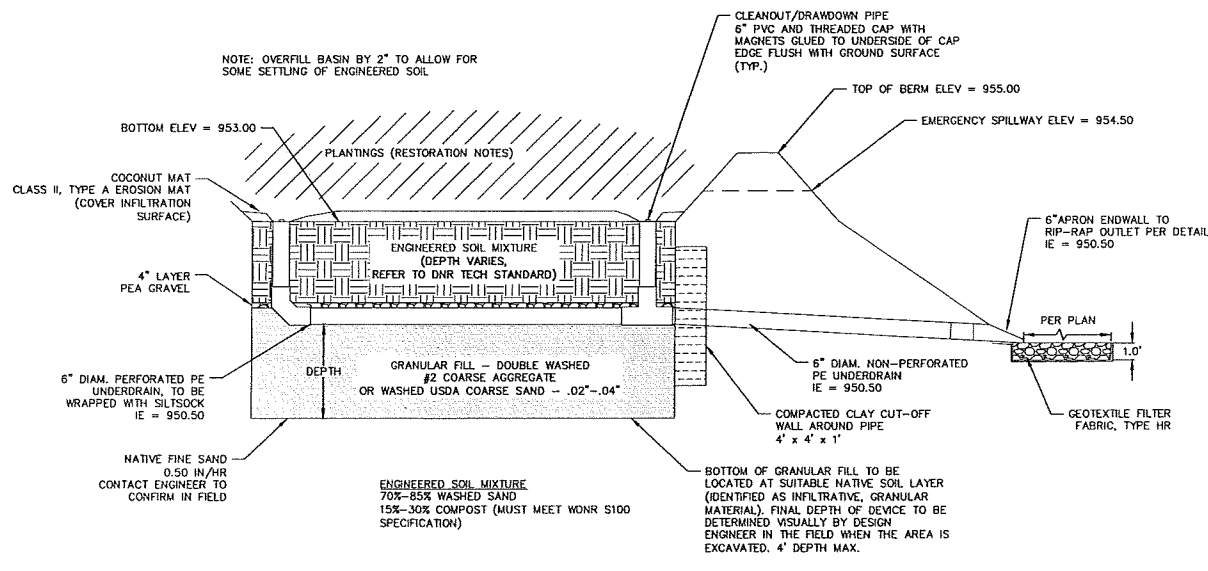
1 STANDARD ENDWALL
 1 NOT TO SCALE



1 BIORETENTION UNDERDRAIN CLEANOUT
 1 NOT TO SCALE



1 STEPPED LIMESTONE WALL
 1 NOT TO SCALE



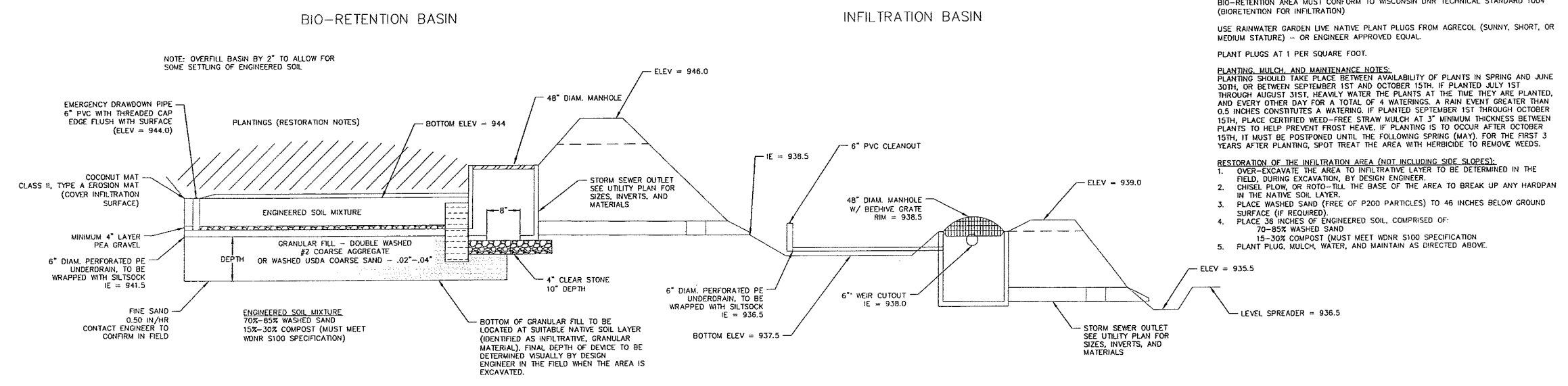
1 BIO-RETENTION BASIN - NORTHEAST
 1 NOT TO SCALE

BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
 NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.
 BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)
 USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.
 PLANT PLUGS AT 1 PER SQUARE FOOT.
PLANTING MULCH AND MAINTENANCE NOTES:
 PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.
RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):
 1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
 2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
 3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
 4. PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:
 70-85% WASHED SAND
 15-30% COMPOST (MUST MEET WQNR S100 SPECIFICATION)
 5. PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

Construction Details - 5
 Landmark Oaks
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS
AS SHOWN			

SCALE: AS SHOWN
 DATE: 4/27/16
 DESIGNED: DCH
 CHECKED: MSCH
 PROJECT NO.: 150275.00
C
11

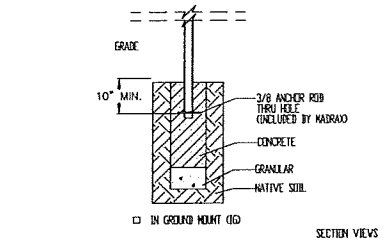
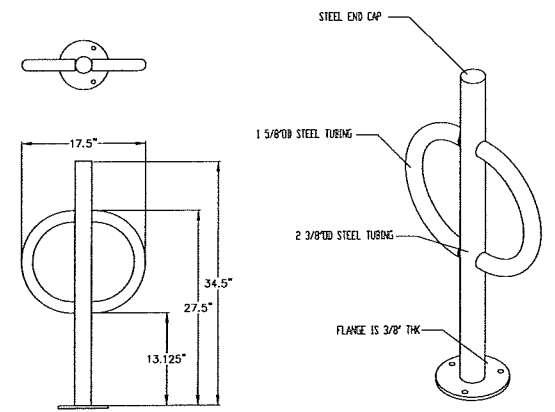


BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
 NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.
 BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)
 USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.
 PLANT PLUGS AT 1 PER SQUARE FOOT.
PLANTING, MULCH, AND MAINTENANCE NOTES:
 PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3\"/>

1 STORMWATER BASINS - SOUTHEAST
 1 NOT TO SCALE



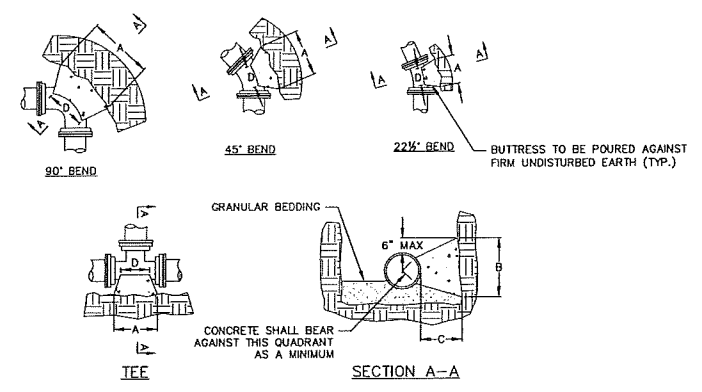
MADRAX DIVISION
 GRABER MANUFACTURING, INC.
 1800 WEST BRIDGE
 VAUMATE, VA 22977
 PHONE 408-720-7000 FAX 408-720-7001
 WWW.GRABER.COM E-MAIL SALES@GRABER.COM



PRODUCT: PAR-2-STD
 DESCRIPTION: POST AND RING BICYCLE RACK WITH FLAT CAP, TUBE STEEL ARMS
 2 RACK, SURFACE OR IN GROUND MOUNT
 DATE: 1-20-15
 ENG: SMC
 CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC.
 SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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NOTES:
 1. INSTALL BICYCLE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR FINISH, SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

1 BICYCLE RACK
 1 NOT TO SCALE

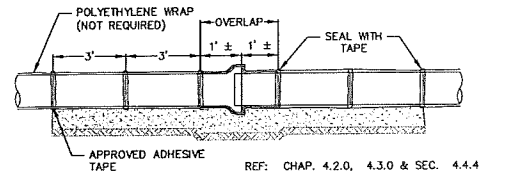
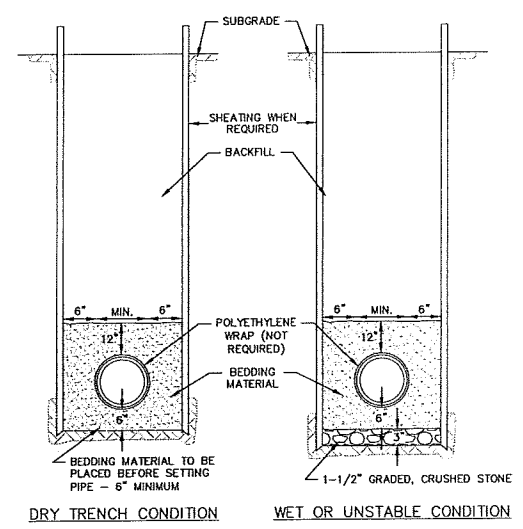


DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.
 DIMENSION "C" SHALL BE AT LEAST 8 INCHES, AND LARGE ENOUGH TO MAKE THE "D" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

PIPE SIZE	TEES			11.25° BEND			22.5° BEND			45° BEND			90° BEND		
	A	B	D	A	B	D	A	B	D	A	B	D	A	B	D
4	2'-10"	1'-8"	0'-5"	0'-8"	0'-8"	0'-8"	1'-1"	0'-10"	1'-3"	1'-6"	1'-4"				
6	1'-6"	1'-8"	0'-6"	1'-2"	0'-9"	1'-6"	1'-4"	1'-8"	2'-2"	1'-10"					
8	1'-9"	2'-4"	0'-9"	1'-3"	1'-0"	2'-0"	1'-11"	2'-0"	3'-0"	2'-4"					
10	1'-9"	2'-4"	0'-9"	1'-3"	1'-0"	2'-0"	1'-11"	2'-0"	3'-0"	2'-4"					
12	2'-3"	1'-7"	1'-0"	1'-4"	2'-4"	1'-1"	2'-6"	2'-6"	3'-7"	2'-8"					
16	3'-8"	2'-10"	2'-0"	2'-0"	2'-10"	1'-6"	3'-0"	3'-0"	5'-6"	3'-0"					
20	5'-0"	3'-10"	1'-5"	2'-6"	1'-11"	3'-9"	3'-9"	3'-9"	6'-9"	3'-9"					
24	5'-4"	4'-8"	1'-8"	3'-0"	2'-4"	4'-3"	4'-7"	4'-3"	8'-4"	4'-4"					

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT
 * = FOR TEE THIS WILL BE THE BRANCH PIPE
 CONCRETE SHALL BE CLASS "F"

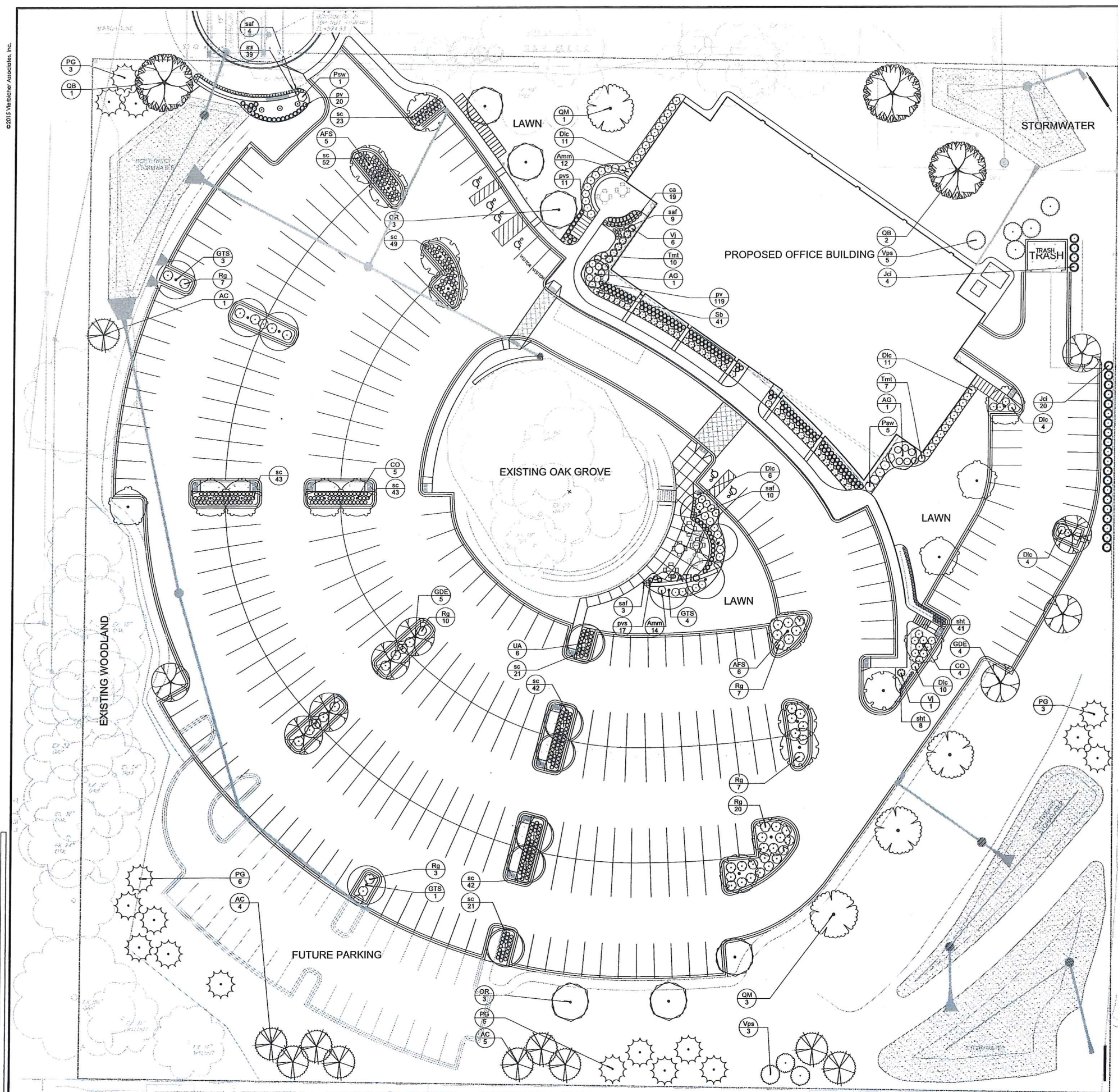
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 1 NOT TO SCALE



1 STANDARD WATERMAIN TRENCH SECTION
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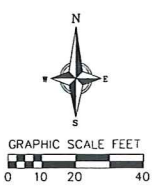
REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
DATE 4/27/16
DRAWER
DDIL
CHECKED USOH
PROJECT NO. 150279.00
C
12



LEGEND

- LAWN
- MEADOW
- PRAIRIE



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
AFS	Acer x freemanii 'Sierra' / Sierra Glan Maple	8 & 8	2.5' Cal		11
CO	Celtis occidentalis / Common Hackberry	8 & 8	2.5' Cal		9
GTS	Glodtia tricanthos 'Skyline' / Skyline Honey Locust	8 & 8	2.5' Cal		8
GDE	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	8 & 8	2.5' Cal		9
QB	Quercus bicolor / Swamp White Oak	8 & 8	3' Cal	8' H (MIN)	3
QM	Quercus macrocarpa / Burr Oak	8 & 8	2' Cal		4
OR	Quercus rubra / Red Oak	8 & 8	2' Cal		6
UA	Ulmus americana 'New Harmony' / New Harmony American Elm	8 & 8	2.5' Cal		6

EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
AC	Abies concolor / White Fir	8 & 8		5' HT. (MIN)	10
PG	Picea glauca 'Denata' / Black Hills Spruce	8 & 8		5' HT. (MIN)	17

FLOWERING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
AG	Amelanchier x grandiflora 'Autumn Brilliance' / Serviceberry	8 & 8		6' HT.	2
Vps	Viburnum prunifolium 'Summer Magic' / Summer Magic Blackhaw Viburnum	8 & 8		6' HT. MIN.	8

DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Amm	Aronia melanocarpa 'Morton' / Inocypis Beauty Black Chokeberry	3 gal			26
Dc	Diervilla lonicera 'Copper' / Copper Low Bush Honeysuckle	3 gal			46
Psw	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal	30' HT		5
Rg	Rhus aromatica 'Coz-Low' / Coz-Low Fragrant Sumac	3 gal			41
Sb	Spiraea betulifolia 'Tor' / Birdleaf Spiraea	3 gal			54
Vj	Viburnum x juddii / Aard Viburnum	3 gal			7

EVERGREEN SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
Jd	Juniperus chinensis 'Tow' / Texas Juniper	8 & 8	4' HT. (MIN)		24
Tmt	Taxus x media 'Tausnitz' / Tauslon Yew	5 gal	24' HT.		17

ORNAMENTAL GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal			19
pv	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 gal			139
Pvs	Panicum virgatum 'Showboat' / Burgandy Switch Grass	1 gal			28
sc	Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem	1 gal			336
sa	Sesleria autumnalis / Autumn Moor Grass	1 gal			39
sht	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 gal			49

PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
saf	Sedum x 'Autumn Fire' / Autumn Fire Sedum	1 gal			26

Landmark Oaks

25-Apr-16
C

Developed Lots	SF	Acres	Landscape Points
Total Developed Area (Lot - Building Area)	265,225	6.09	Subtotal
Landscape Points (5 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)			4105
			Landscape Points Required
			4105

Development Frontage (Landmark Place)	LF	Overstory Trees Required *	Shrubs Required
Total LF of Street Frontage	92	3	15
Between Parking/Building & Street			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	1		35
Tall Evergreen Tree	35	3		105
Ornamental Tree	15			0
Upright Evergreen Shrub	10			0
Shrub, deciduous	3			0
Shrub, evergreen	4			0
Ornamental Grass/Perennial	2			0
Development Frontage Points Total				149

Interior Parking Lots	SF	Overstory Trees Required
Total Parking Lot Area	118448	59
Min. Parking Lot Islands (8%)	9,476	

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	56	4	2100
Ornamental Tree	15			0
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	68		204
Shrub, evergreen	4			0
Ornamental Grass/Perennial	2	336		672
Development Frontage Points Total				2976

General Site, Foundation, Screening
 6'-8" ht. screening shall be provided along side and rear property boundaries adjacent to residential districts (In front yard setback screening shall not exceed 4' ht.)

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35			0
Tall Evergreen Tree	35	27		945
Ornamental Tree	15			0
Upright Evergreen Shrub	10	24		240
Shrub, deciduous	3	80		240
Shrub, evergreen	4	17		68
Ornamental Grass/Perennial	2	274		548
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Foundation Plantings Total				2041

TOTAL LANDSCAPE POINTS 5157

* In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.

vierbicher
 planners | engineers | architects

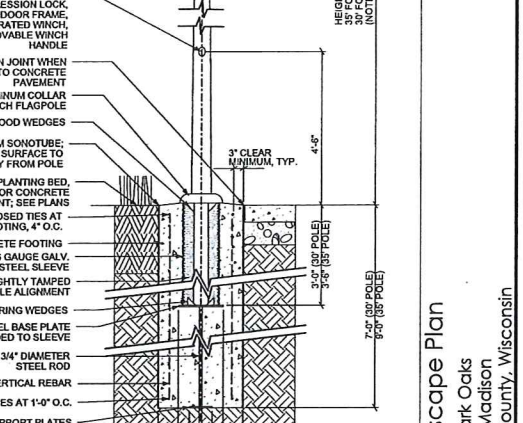
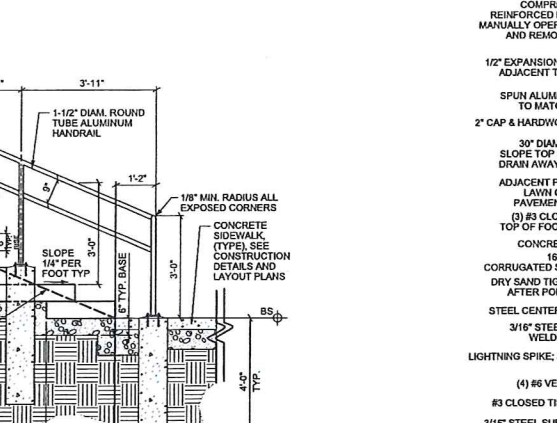
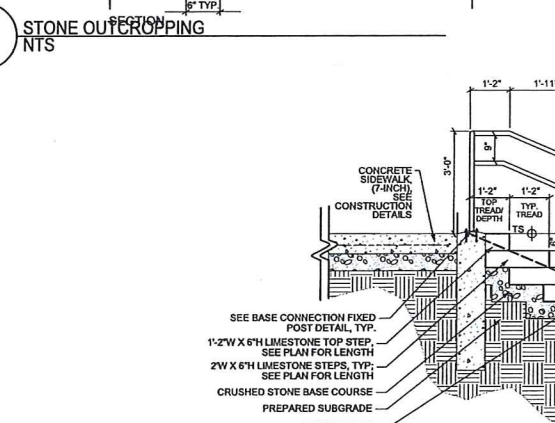
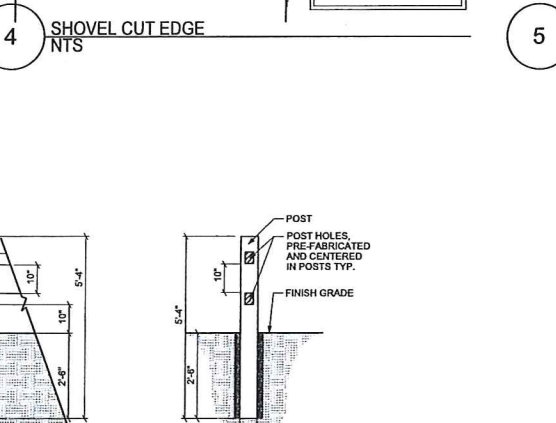
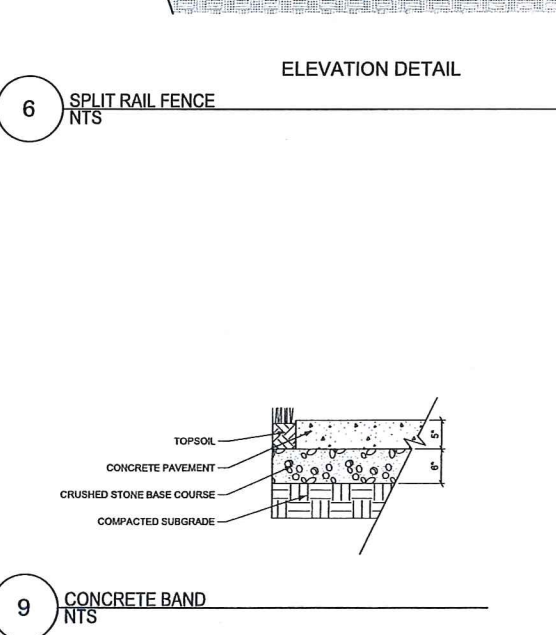
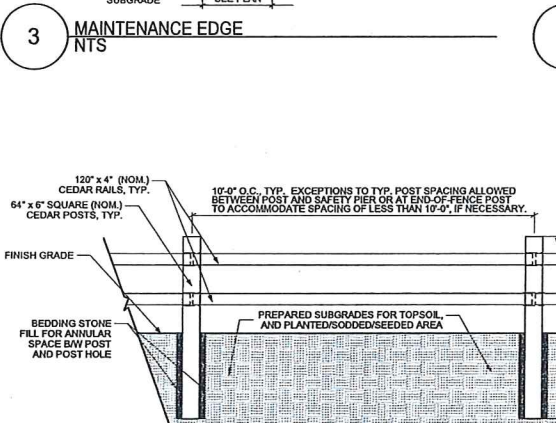
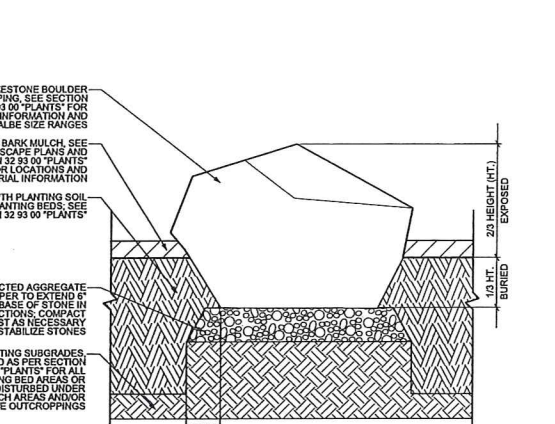
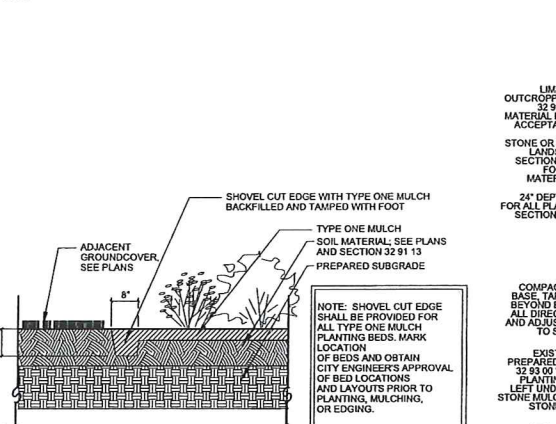
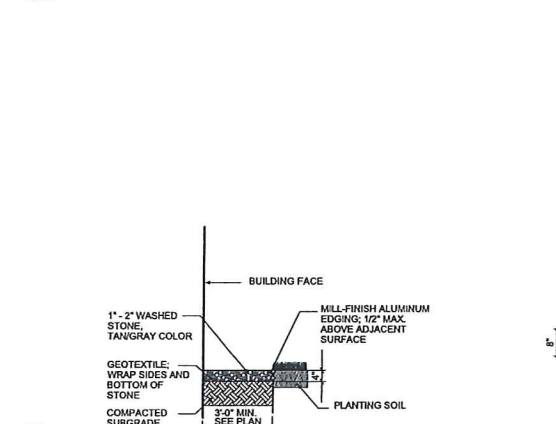
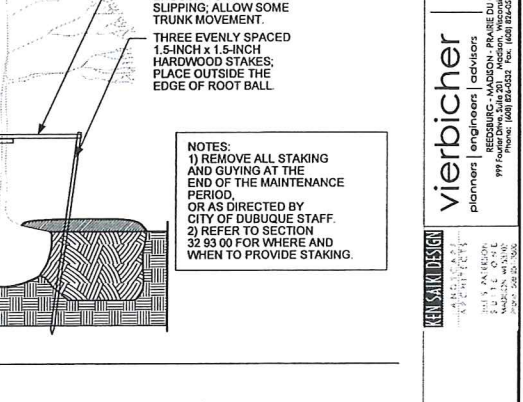
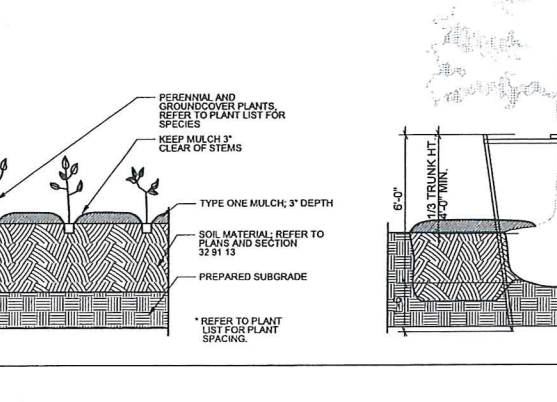
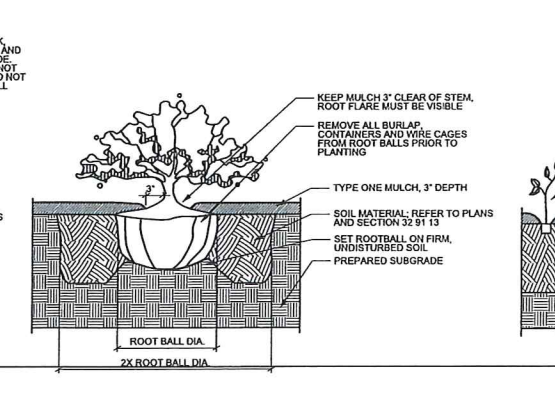
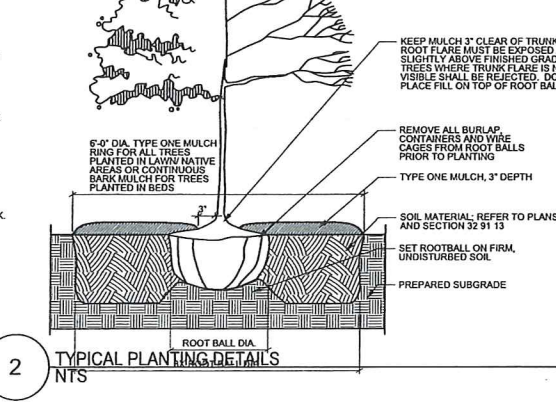
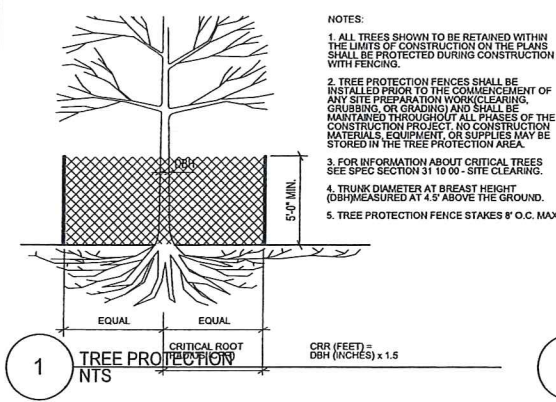
RESEARCH - MADISON - FRANK DU CHEN
 1111 W. MOUNTAIN VIEW
 MADISON, WI 53706
 Phone: (608) 261-0000 Fax: (608) 261-0000

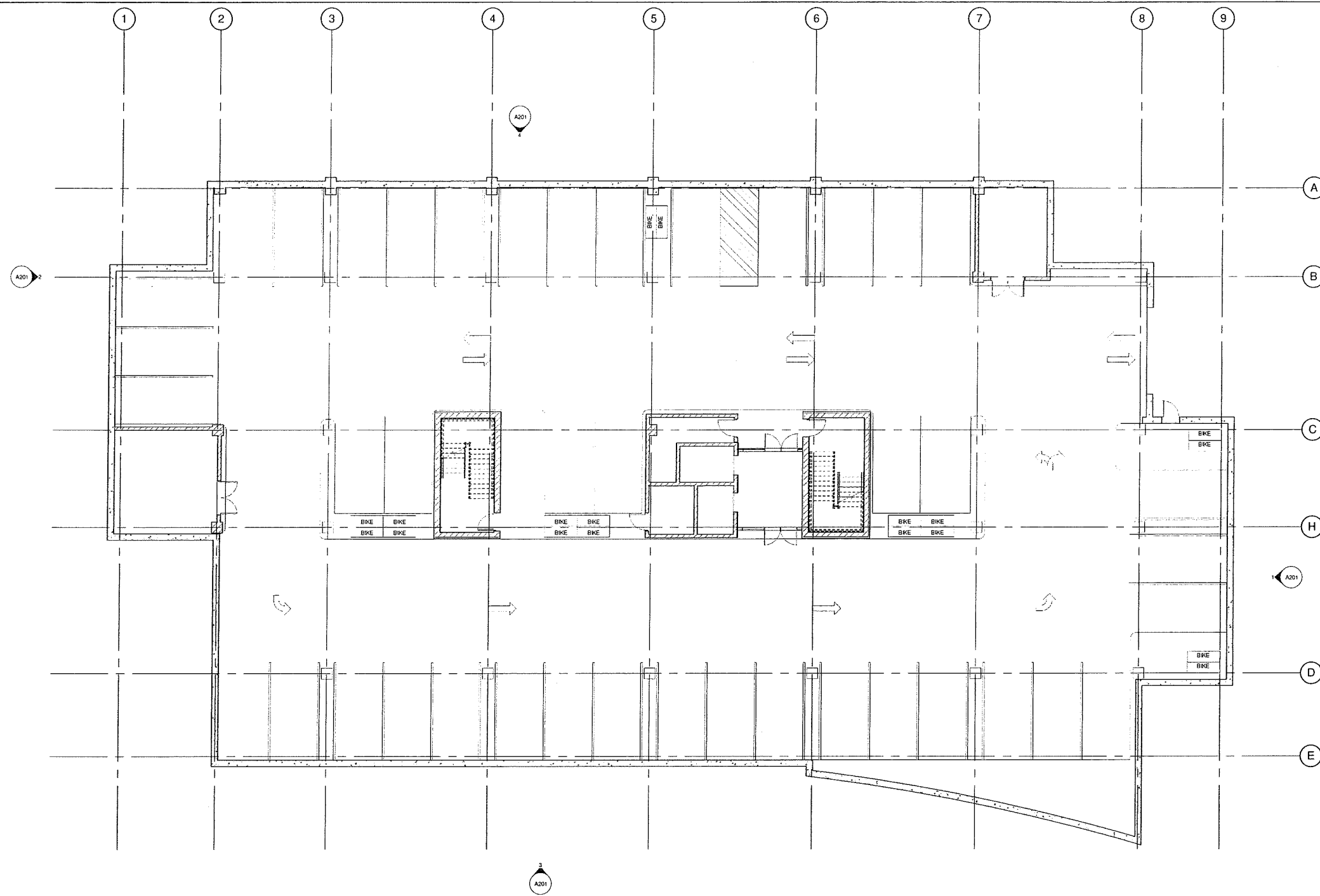
REVISIONS

NO.	DATE	REVISIONS	REMARKS

DATE: 04/25/2016
 DRAFTER: ARN
 CHECKED: [Signature]

PROJECT NO.: 150279.00
 SHEET: 1
 DWG. NO.: 1





1 PARKING FLOOR PLAN
A100 1/8" = 1'-0"

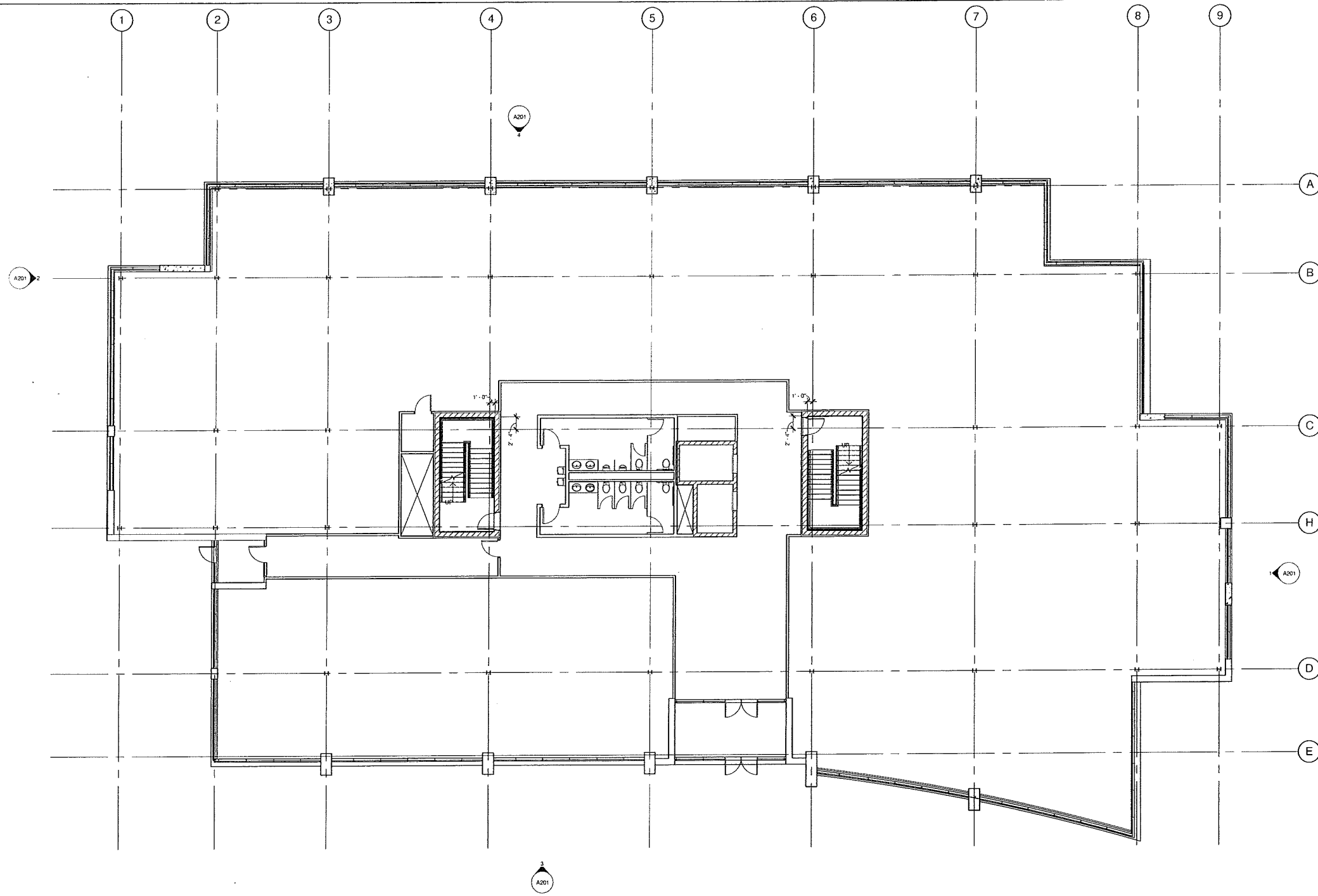
Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

Date	Revisions	Symbol
04/27/16	PLAN COMMISSION SUBMITTAL	

**PARKING FLOOR
PLAN**

A100



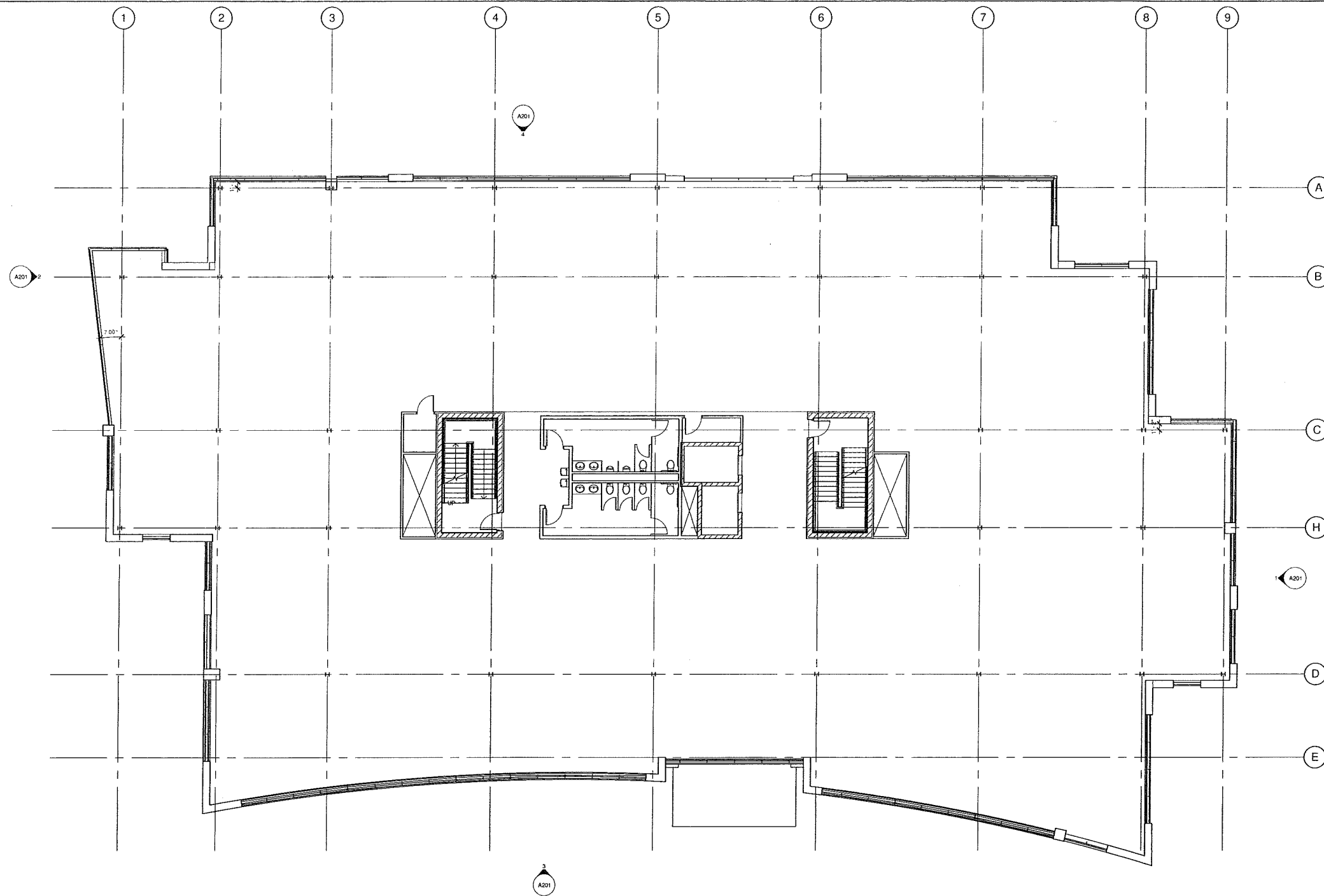
1 FIRST FLOOR PLAN
A101 1/8" = 1'-0"

Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

Date	Issuance/Revisions	Symbol
04/27/16	PLAN COMMISSION SUBMITTAL	

FIRST FLOOR PLAN
A101



1 SECOND FLOOR PLAN
A102 1/8" = 1'-0"

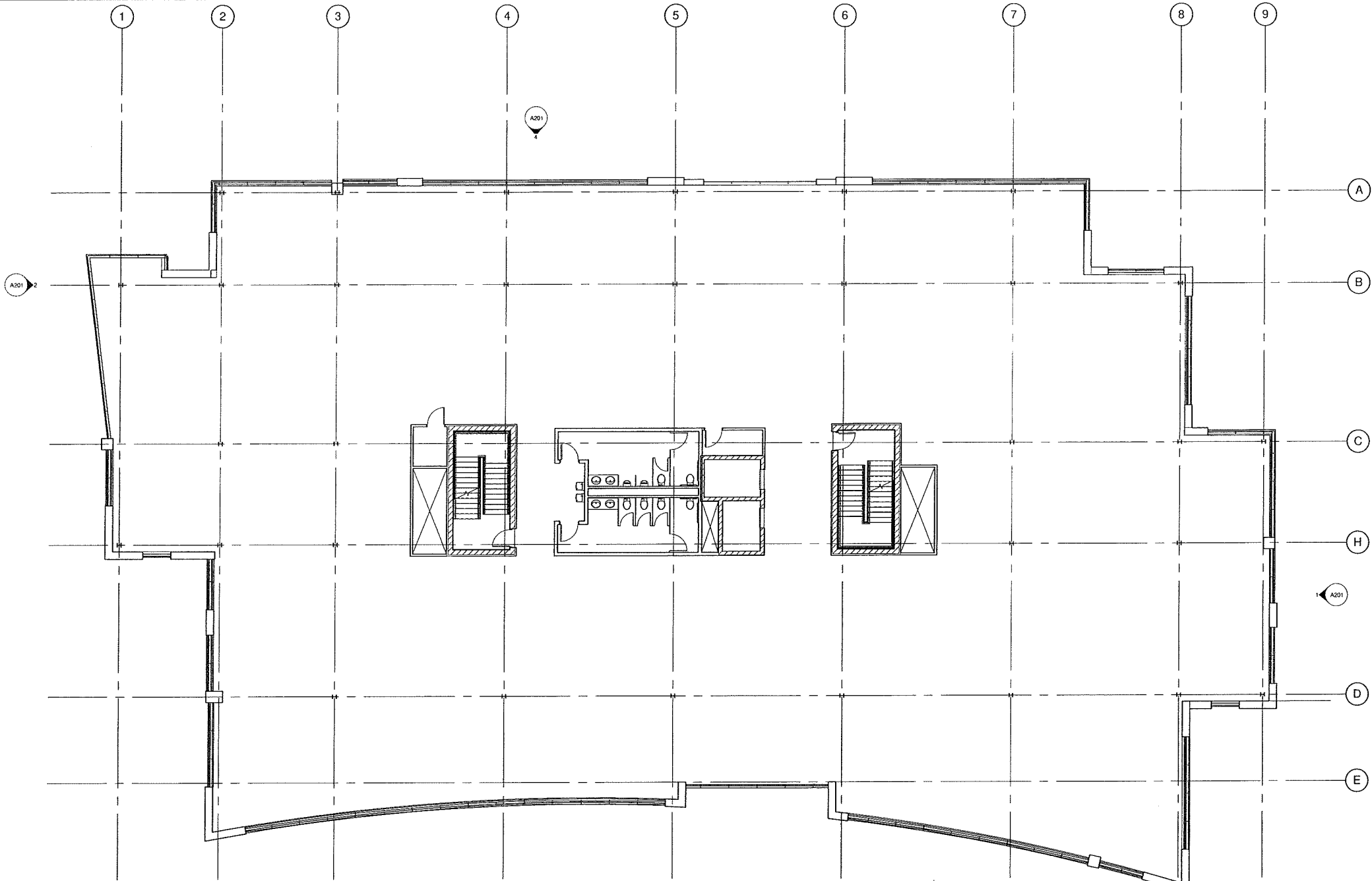
Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

Date	Issuance/Revisions	Symbol
04/27/16	PLAN COMMISSION SUBMITTAL	

**SECOND FLOOR
PLAN**

A102



1 THIRD FLOOR PLAN
A103 1/8" = 1'-0"

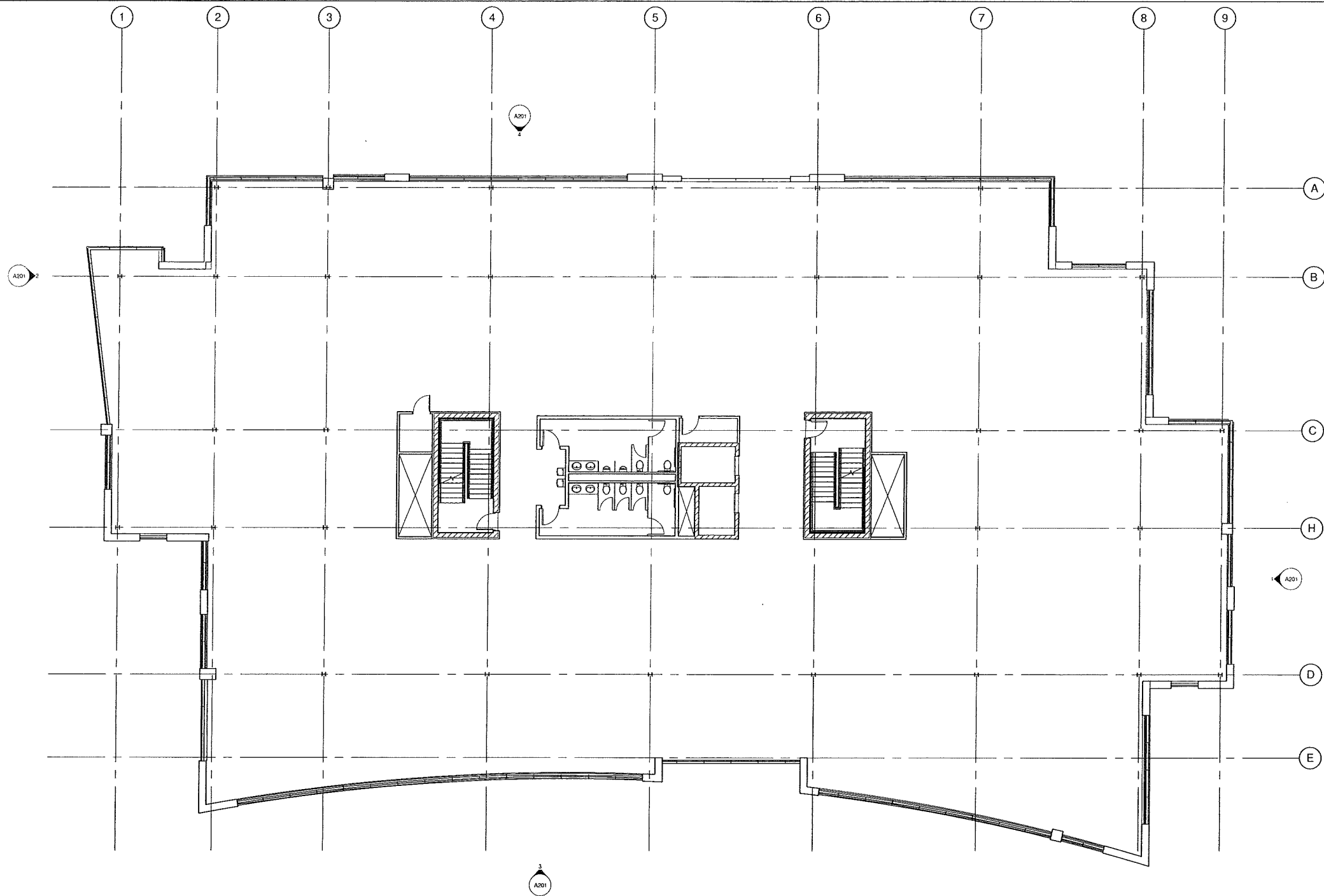
Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

Date	Issuance/Revisions	Symbol
04/27/16	PLAN COMMISSION SUBMITTAL	

**THIRD FLOOR
PLAN**

A103



1 FOURTH FLOOR PLAN
A104 1/8" = 1'-0"

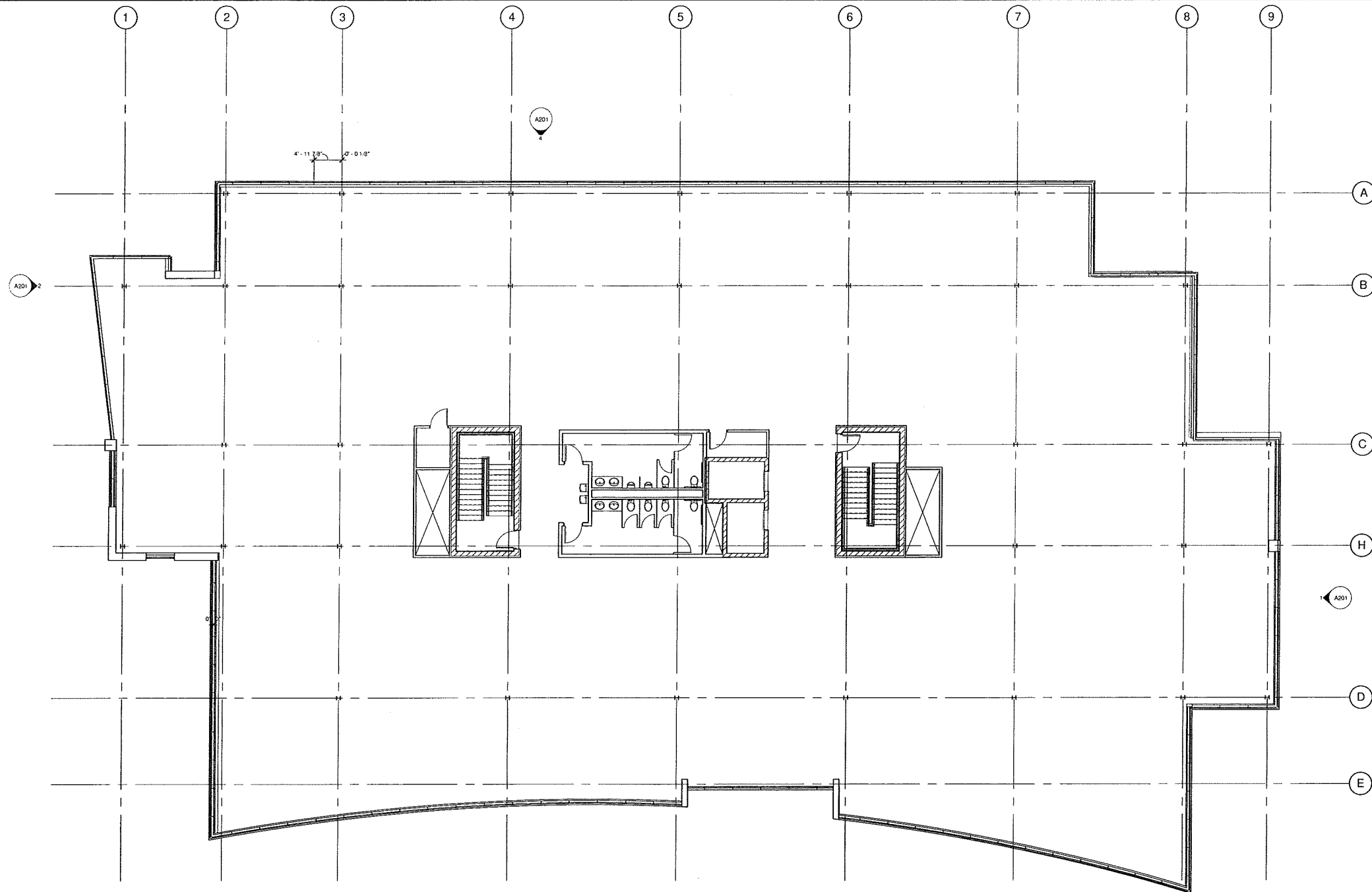
Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

Date	Issued/Revisions	Symbol
04/27/16	PLAN CONSTRUCTION SUBMITAL	

**FOURTH FLOOR
PLAN**

A104



1 FIFTH FLOOR PLAN
A105 1/8" = 1'-0"

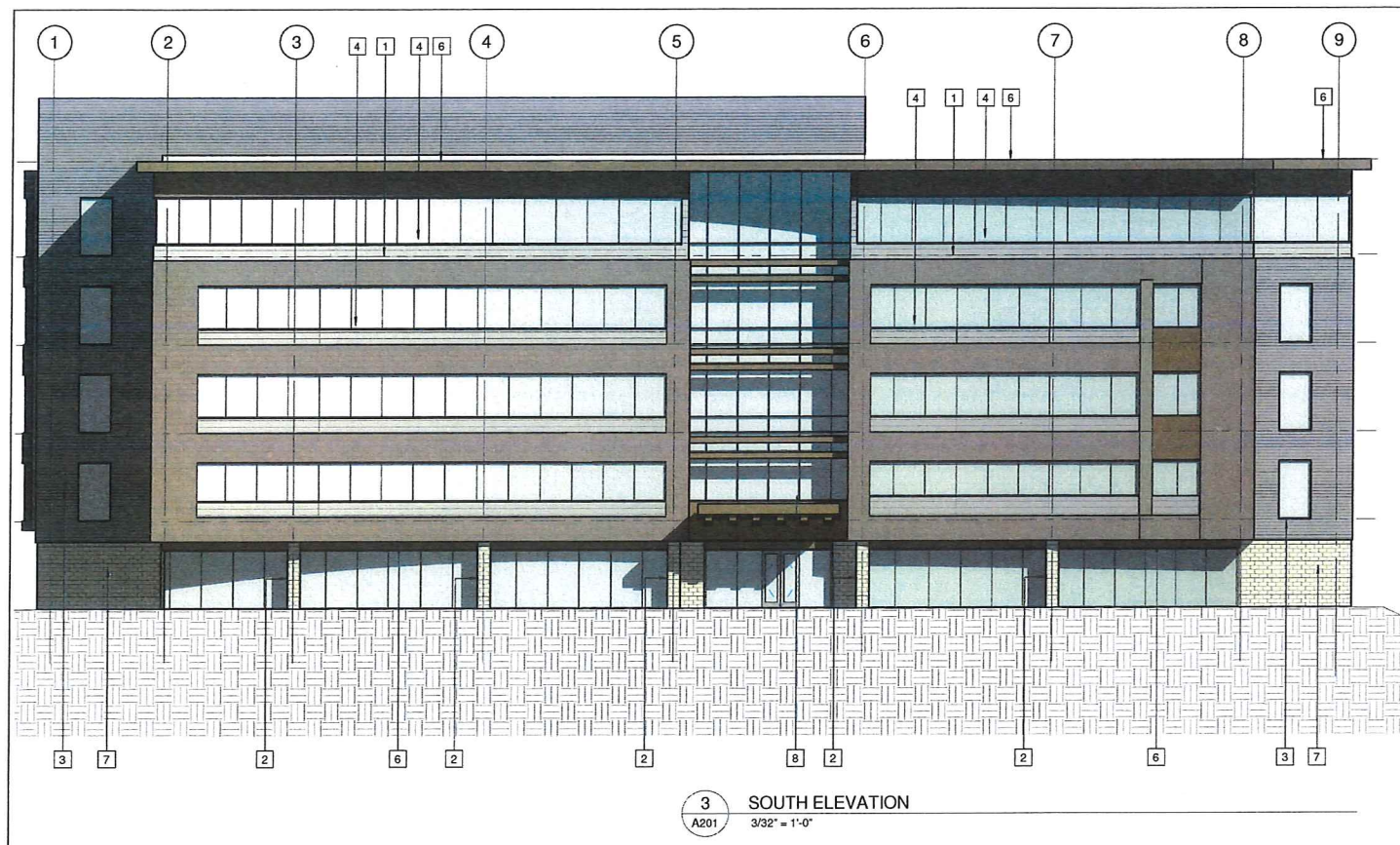
Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

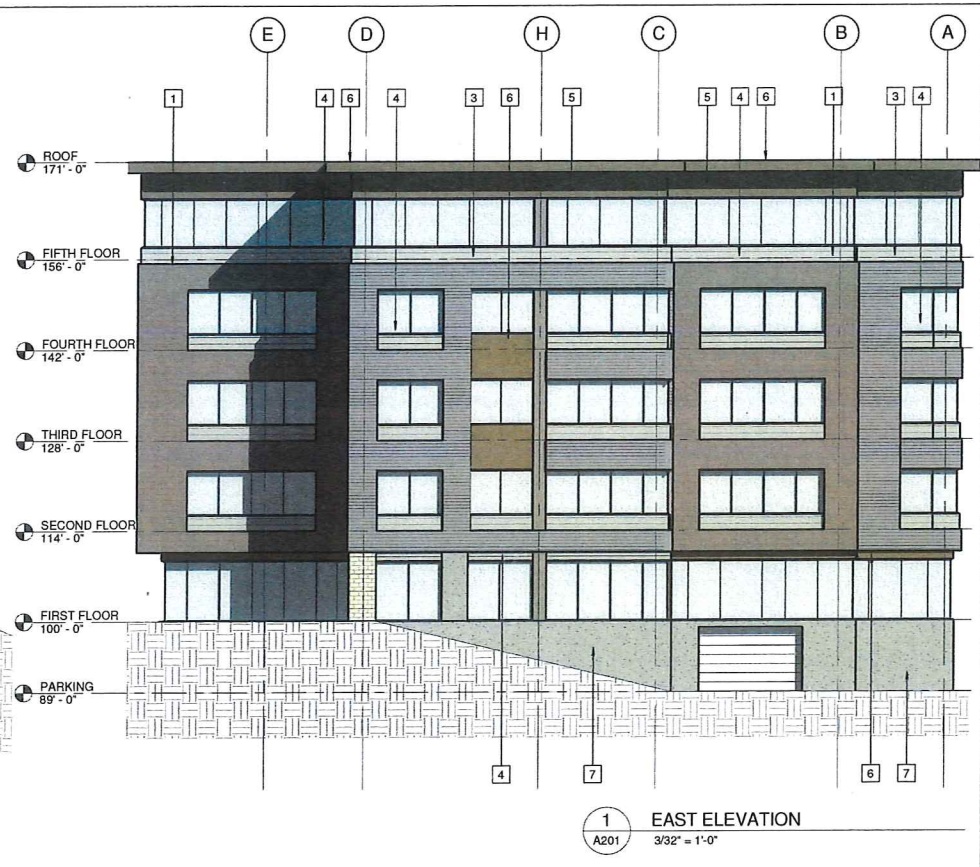
Date	Issued/Revised	Symbol
04/27/16	PLAN COMMISSION SUBMITTAL	

FIFTH FLOOR PLAN

A105



3 SOUTH ELEVATION
A201 3/32" = 1'-0"



1 EAST ELEVATION
A201 3/32" = 1'-0"

- KEY NOTES:
- 1 BRICK
 - 2 STONE
 - 3 METAL WALL PANEL TYPE 1
 - 4 METAL WALL PANEL TYPE 2
 - 5 METAL WALL PANEL TYPE 3
 - 6 FIBER CEMENT PANEL
 - 7 PRECAST CONCRETE
 - 8 ENTRY CANOPY



4 NORTH ELEVATION
A201 3/32" = 1'-0"



2 WEST ELEVATION
A201 3/32" = 1'-0"

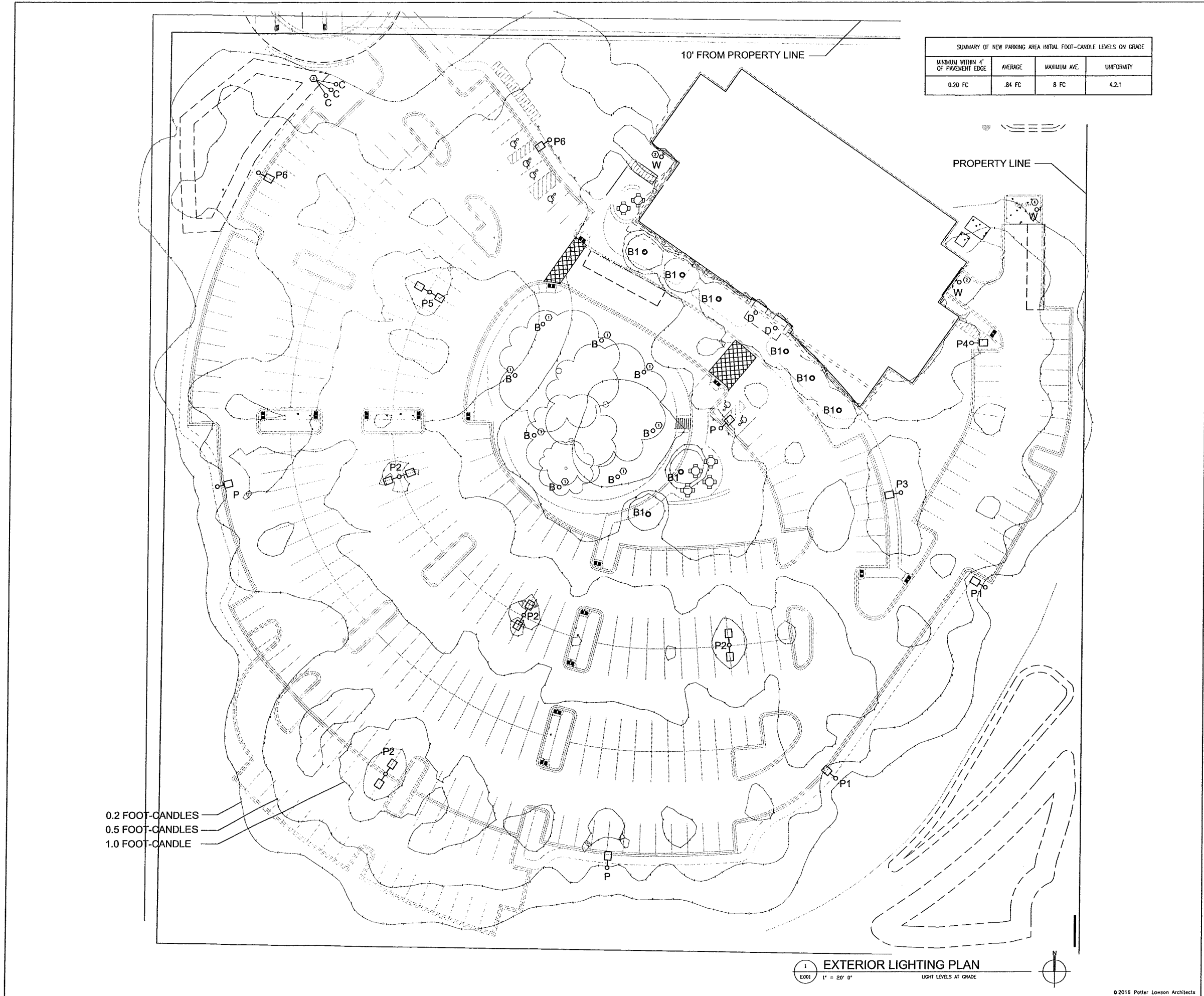
Landmark Oaks
MIG Commercial Real Estate
2921 Landmark Place

2011.27.02

Date	Revisions/Revisions	Symbol
04/27/16	PLAN COMMISSION SUBMITTAL	

BUILDING ELEVATIONS

A201



- GENERAL NOTES:**
1. LIGHT LEVELS SHOWN ARE INITIAL CALCULATED AT GRADE.
 2. LIGHT FIXTURE TYPES P, P1 AND P2 HAVE 25' POLES INSTALLED ON CONCRETE STANDARDS WITH 3" EXPOSED BASE ABOVE GRADE.
 3. LIGHT FIXTURE TYPE P3 HAS A 12' POLE INSTALLED ON CONCRETE STANDARDS WITH 6" EXPOSED BASE ABOVE GRADE.
 4. LIGHT FIXTURE TYPE D IS RECESSED IN THE SOFFIT.
- FLAG NOTES:**
- Ⓛ GROUND MOUNTED UP-LIGHT AIMED TO ILLUMINATE TREE BRANCHES.
 - Ⓜ FULL OUT-OF-WALL SODICE INSTALLED AT 10' AFD.
 - Ⓝ LIGHT FIXTURE INSTALLED ON FLAG POLE TO ILLUMINATE FLAG.
 - Ⓞ LIGHT FIXTURE INSTALLED ON INSIDE WALL OF TRASH ENCLOSURE.

Landmark Oaks

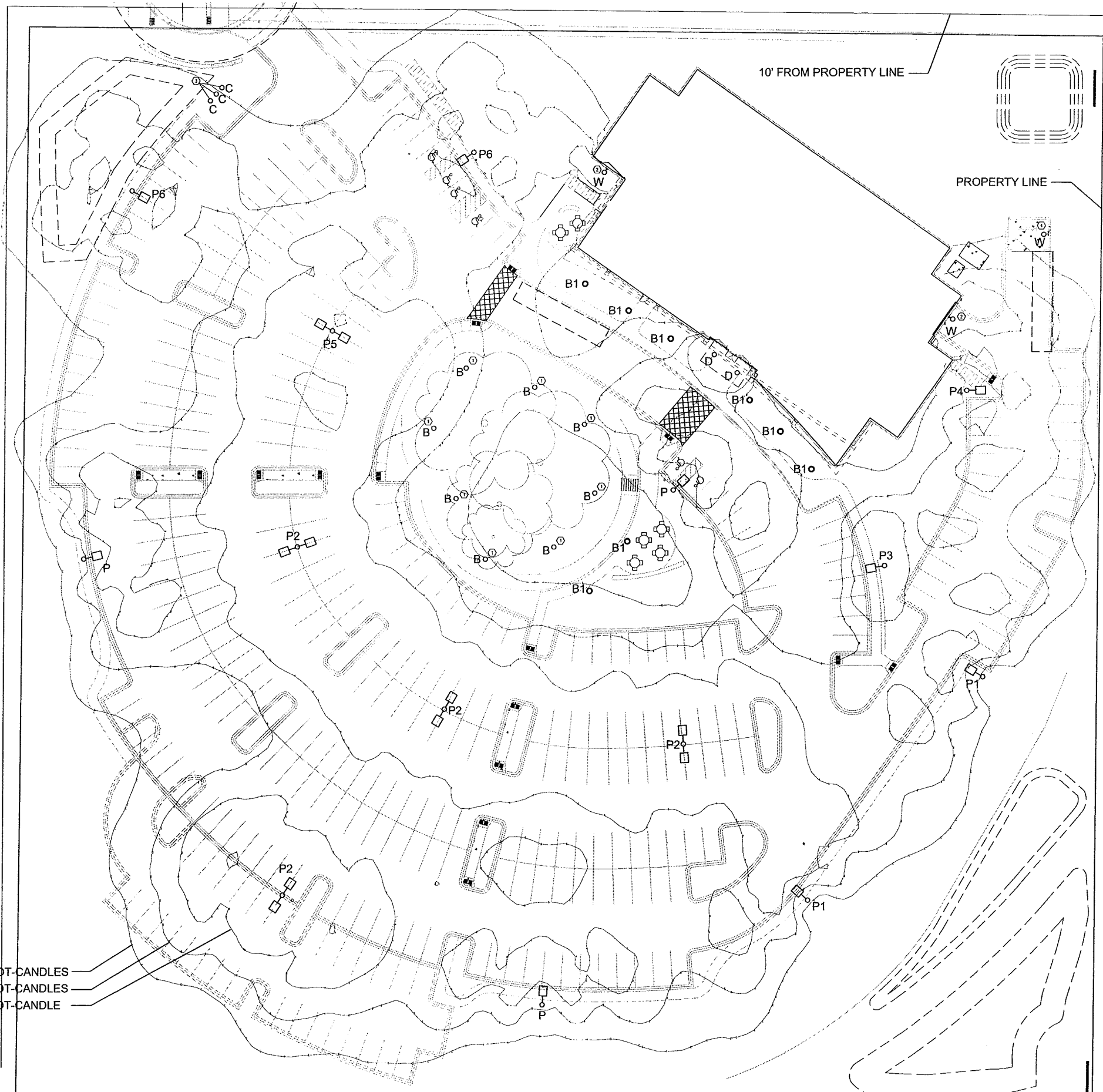
Madison, Wisconsin

Project #: 2011.27.02

Date	Issuance/Revisions	Symbol
04/25/16	Plan Review	

**EXTERIOR LIGHT LEVEL
AT GRADE**

E001



0.2 FOOT-CANDLES
0.5 FOOT-CANDLES
1.0 FOOT-CANDLE

EXTERIOR LIGHTING PLAN
E002 1' = 20' 0" LIGHT LEVELS AT 4' ABOVE GRADE

GENERAL NOTES:

1. LIGHT LEVELS SHOWN ARE INITIAL CALCULATED AT 4' ABOVE GRADE.
2. LIGHT FEATURE TYPES P, P1 AND P2 HAVE 25' POLES INSTALLED ON CONCRETE STANDARDS WITH 3" EXPOSED BASE ABOVE GRADE.
3. LIGHT FEATURE TYPE P3 HAS A 12' POLE INSTALLED ON CONCRETE STANDARDS WITH 6" EXPOSED BASE ABOVE GRADE.
4. LIGHT FEATURE TYPE 0 IS RECESSED IN THE SKYLINE.

FLAG NOTES:

- ① GROUND MOUNTED UP-LIGHT AIMED TO ILLUMINATE TREE BRANCHES.
- ② FULL CUT-OFF WALL SCONCE INSTALLED AT 10' AFD.
- ③ LIGHT FEATURE INSTALLED ON FLAG POLE TO ILLUMINATE FLAG.
- ④ LIGHT FEATURE INSTALLED ON INSIDE WALL OF TRASH ENCLOSURE.

Landmark Oaks

Madison, Wisconsin

Project #: 2011.27.02

Date	Issuance/Revisions	Symbol
04/25/16	Plan Review	

**EXTERIOR LIGHT LEVEL
4' ABOVE GRADE**

E002

TYPE D
SIMPLESALE™ DOWNLIGHT
CEL SERIES - LED

Product Features:
 • Adjustable
 • No Heat Radiation

Specifications:
 • Housing: Type D
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

Kenall

TYPE B
KIM LIGHTING
The Archetype - Small, PicoPrism™ LED

Product Features:
 • No Heat Radiation
 • No Flicker
 • No Hum

Specifications:
 • Housing: Type B
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

Kim Lighting

TYPE B WITH HOUSE SIDE SHIELD 25" POLE
KIM LIGHTING
The Archetype - Large PicoPrism™ LED

Product Features:
 • No Heat Radiation
 • No Flicker
 • No Hum

Specifications:
 • Housing: Type B with House Side Shield
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

Kim Lighting

TYPE B WITH HOUSE SIDE SHIELD 25" POLE
KIM LIGHTING
The Archetype - Large PicoPrism™ LED

Product Features:
 • No Heat Radiation
 • No Flicker
 • No Hum

Specifications:
 • Housing: Type B with House Side Shield
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

Kim Lighting

TYPE W
120 LINE LED
121-EM LED Emergency Sconce - Generation 2

Product Features:
 • No Heat Radiation
 • No Flicker
 • No Hum

Specifications:
 • Housing: Type W
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

Philips Gardco

TYPE D
CATSKILL™

Product Features:
 • No Heat Radiation
 • No Flicker
 • No Hum

Specifications:
 • Housing: Type D
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

B-K Lighting

TYPE B
GEM1 LED Performance Bollard

Product Features:
 • No Heat Radiation
 • No Flicker
 • No Hum

Specifications:
 • Housing: Type B
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

B-K Lighting

TYPE B
DENALI SERIES™ FLOODLIGHT

Product Features:
 • No Heat Radiation
 • No Flicker
 • No Hum

Specifications:
 • Housing: Type B
 • Lens: Clear
 • Mounting: 1/2" x 1/2" x 1/2" (13mm x 13mm x 13mm)
 • Weight: 0.15 lbs (68g)
 • Input Voltage: 120V AC
 • Power: 10W
 • Beam Spread: 30°
 • CRI: 90
 • Life: 50,000 hours

Optical Data:

Beam Spread	Beam Diameter (ft)	Beam Diameter (m)	Foot Candles (fc)	Foot Candles (m)
30°	1.0	0.305	10.0	10.0
30°	2.0	0.610	2.5	2.5
30°	3.0	0.915	1.1	1.1
30°	4.0	1.220	0.6	0.6
30°	5.0	1.525	0.4	0.4

B-K Lighting

TYPE	DESCRIPTION	LAMP	MANUFACTURER	PART NUMBER
B	FLOOD LIGHT	LED	B-K LIGHTING	DE-LED-X32-WFL-BUM-10-B and PPI-118-B-MT
B1	ILLUMINATED BOLLARD	LED	KIM	GEM1-27L-1K-UV-BL
C	FLAG UP-LIGHT	LED	B-K LIGHTING	OK-LED-X35-SP-SAP-9-B and PM2RM-TS-200282NC-SAP-MT-MB
D	DOWN LIGHT	LED	KENALL	COLM2-13L40K-277-DCFW-T
P	POLE LIGHT, SINGLE HEAD, TYPE 3 DISTRIBUTION	LED	KIM LIGHTING	AR3P35-BOLAK-VOLTAGE-BL and 25" ROUND ALUMINUM BLACK POLE
P1	POLE LIGHT, SINGLE HEAD, TYPE 3 DISTRIBUTION, HOUSE SIDE SHIELD	LED	KIM LIGHTING	AR3P35-BOLAK-VOLTAGE-BL-INFO and 25" ROUND ALUMINUM BLACK POLE
P2	POLE LIGHT, DOUBLE HEAD, TYPE 3 DISTRIBUTION	LED	KIM LIGHTING	(2) AR3P35-BOLAK-VOLTAGE-BL and 25" ROUND ALUMINUM BLACK POLE
P3	POLE LIGHT, SINGLE SMALL HEAD, TYPE 2 DISTRIBUTION	LED	KIM LIGHTING	SAR2E35-BOLAK-VOLTAGE-BL and 12" ROUND ALUMINUM BLACK POLE
P4	POLE LIGHT, SINGLE HEAD, TYPE 2 DISTRIBUTION	LED	KIM LIGHTING	AR2P35-BOLAK-VOLTAGE-BL and 25" ROUND ALUMINUM BLACK POLE
P5	POLE LIGHT, DOUBLE HEAD, ONE TYPE 2 AND ONE TYPE 4 DISTRIBUTION	LED	KIM LIGHTING	(1) AR2P35-BOLAK-VOLTAGE-BL, (1) AR4P35-BOLAK-VOLTAGE-BL and 25" ROUND ALUMINUM BLACK POLE
P6	POLE LIGHT, SINGLE HEAD, TYPE 5 DISTRIBUTION	LED	KIM LIGHTING	AR5P35-BOLAK-VOLTAGE-BL and 25" ROUND ALUMINUM BLACK POLE
W	WALL SCONCE, FULL OUT-OFF, TYPE 3 DISTRIBUTION	LED	GARDOO	121-EPI-3-28LA-1-1635-NM-UNW-BLP-DL