

# 3575 UNIVERSITY AVENUE

(CURRENTLY ADDRESSED 3535 - 3553 UNIVERSITY AVENUE)



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3575 UNIVERSITY AVENUE

COVER

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

COVER

5/28/24



UNIT NAME	STUDIO				1 BEDROOM					2 BEDROOMS			(1) TOTAL UNITS	(1) TOTAL BEDROOMS	COMMERCIAL NET AREA LEASABLE	(1,2) COMMON AMENITY SPACE	RESIDENTIAL NET AREA LEASABLE	GROSS AREA (S.F.)	EFFICIENCY	PARKING AREA (S.F.)	RESIDENTIAL PARKING			COMMERICAL PARKING			PARKING TOTAL	PARKING RATIOS									
	A	A	A	A	B	B	B	B	B	D	D	D									COVERED	SURFACE	TOTAL	COVERED	SURFACE	TOTAL		TOTAL	RESIDENTIAL	RETAIL							
BEDROOMS AREA (S.F.)	492	498	544	563	675	703	723	733	743	1,144	1,345	1,435																									
5	1	3	2						1			1	11	14	-	1,920	8,665	13,245	79.9%																		
4	1	5	3	2	2	4		1					20	22	-	-	12,923	16,070	80.4%																		
3	1	5	3	2	2	4		1					20	22	-	-	12,923	16,070	80.4%																		
2	1	5	3	2	2	4		1					20	22	-	-	12,923	16,070	80.4%																		
1													0	0	1,435	2,743		5,068	82.4%	11,152			5	0	5	4	0	4	9								
LL/P1																				16,975			34		34				34								
/P2																				16,975			34		34				34	PER UNIT	PER BR	PER 1K SF					
TOTALS	4	18	11	6	6	12	1	3	1	6	2	1	71	80	1,435	4,663	47,434	66,523	80.5%	45,102			73	0	73	4	0	4	77	1.03	0.91	2.79					
PERCENT	5.63%	25.35%	15.49%	8.45%	8.45%	16.90%	1.41%	4.23%	1.41%	8.45%	2.82%	1.41%	100.00%																								

668 Average N.S.F. per unit  
 917 Average G.S.F. per unit  
 (not including commercial or parking areas)

SHARED PARKING		
TOTAL SPACES	PER UNIT	PER BR
77	1.08	0.96

**NOTES:**

- 1 GROSS AREA DOES NOT INCLUDE PARKING / SERVICE AREAS - ONLY FINISHED PROGRAM AREAS
- 2 FIRST FLOOR COMMON AMENITY SPACE INCLUDES LOBBY, MAIL ROOM, PACKAGE ROOM & FITNESS AREAS
- 3 PARKING AREAS INCLUDE THE STAIRS & ELEVATOR , MECHANICAL & SUPPORT AREA
- 4 PARKING FOR THE COMMERCIAL SPACES ASSUMES 1 SPACES PER 400 GSF

BICYCLE PARKING (REQUIRED)		
Required Bicycle Parking (Per Unit Type)		Required Bicycle Parking Totals
STUDIO	1.0 per Unit	39
1 BEDROOM	1.0 per Unit	23
2 BEDROOM	1.0 per Unit	9
<b>**Residential Sub-Total:</b>		<b>71</b>
Residential Long Term - Floor (Min.)		53
Residential Long Term - Wall (25% Max.)		18
Total Long Term (Secured) Spaces:		71
RESIDENTIAL GUEST & COMMERCIAL SPACE BICYCLE PARKING		
Commercial Space	Area (SF)	TOTALS
Total Commercial Space	1440	1
Guest - Exterior (1 PER 10 Units)		7
<b>Total Commercial/Short Term Spaces:</b>		<b>8</b>

TOTAL REQUIRE SPACES: 79

** 90% LONG TERM PARKING REQUIRED:	71
** 10% SHORT TERM PARKING ACCEPTABLE:	8

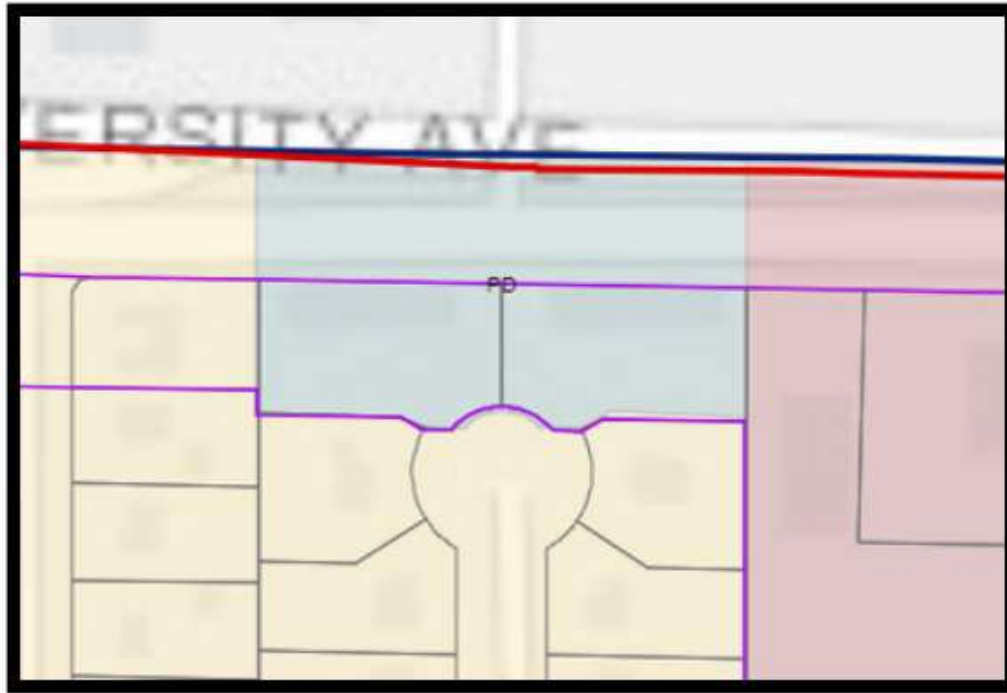
BICYCLE PARKING (PROPOSED)		
BUILDING		TOTALS
Residential Short Term - Floor (Interior - 1st)		9
Residential Long Term - (Interior -1st)		16
Residential Long Term (Interior - P1)		23
Residential Long Term - Interior - P2)		23
<b>Interior Residential Total Spaces:</b>		<b>71</b>
Commercial Space 1st Floor		1
Guest/Short Term - Exterior		8
<b>Total Commercial/Short Term Spaces:</b>		<b>9</b>

TOTAL PROPOSED BICYCLE PARKING: 80

**ELECTRIC VEHICLE STALL INFORMATION:**

TOTAL PARKING SPACES: 77  
 2% EV INSTALLED = 2  
 10% EV READY = 8





CURRENT ZONING: PD  
REQUESTED ZONING: CC-T/FLEX BUILDING

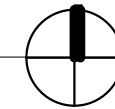


PROJECT LOCATOR MAP





① EXISTING SITE PLAN  
1/64" = 1'-0"



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# 3575 UNIVERSITY AVENUE

## EXISTING SITE PLAN

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

# U003

5/28/24





**EXISTING WEST BUILDING**  
**3553 UNIVERSITY AVENUE**

**EXISTING VIEW - WEST FACING**

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3575 UNIVERSITY AVENUE

WEST BUILDING - EXTERIOR PHOTOS

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U004

5/28/24





WEST BUILDING PARKING  
3553 UNIVERSITY AVENUE



WEST BUILDING - REAR

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3575 UNIVERSITY AVENUE

WEST BUILDING - EXTERIOR PHOTOS

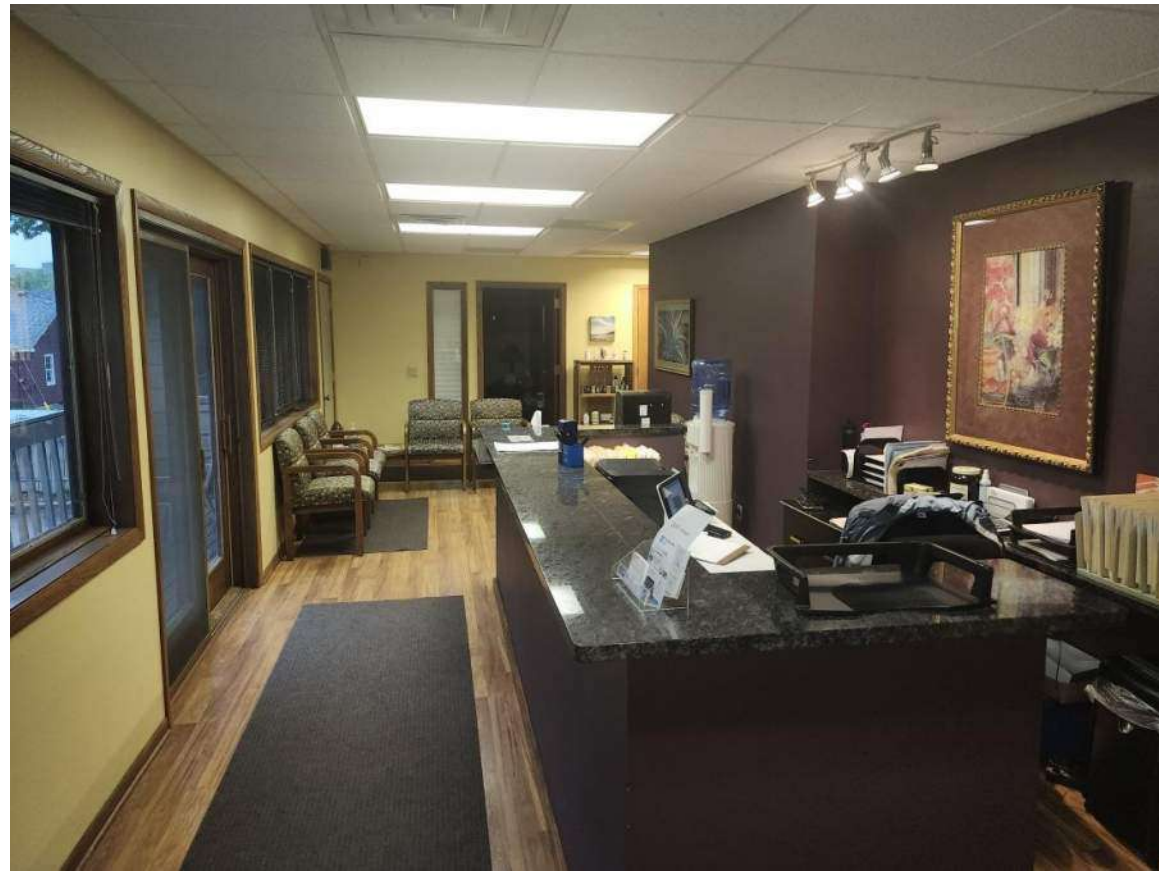
JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

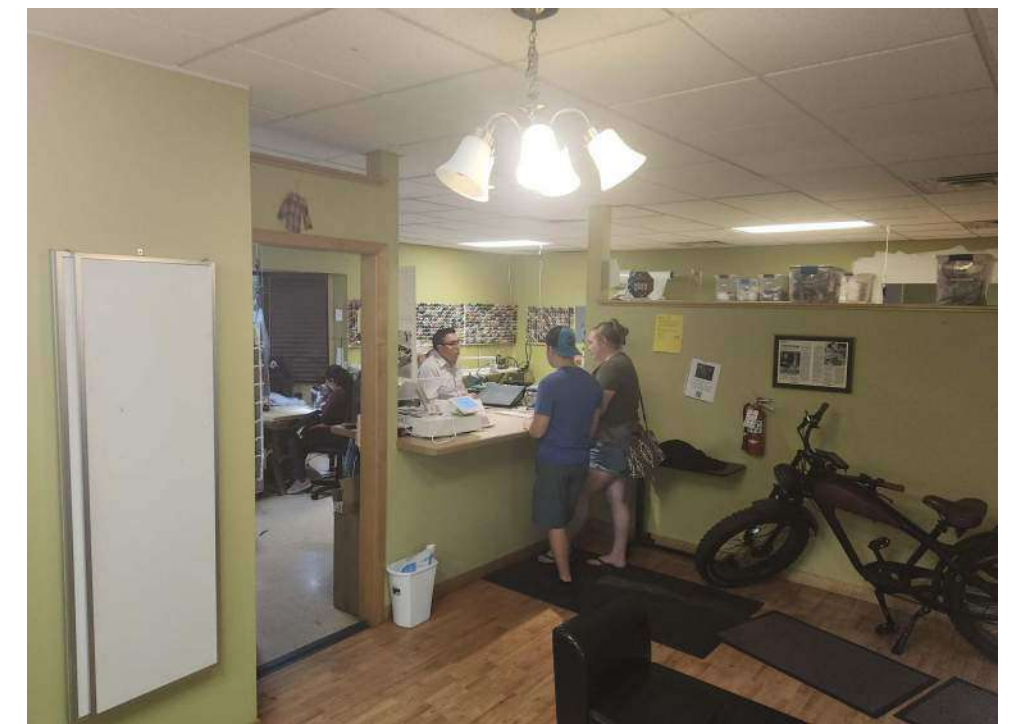
U005

5/28/2





INTERIOR 3553 UNIVERSITY AVE



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3575 UNIVERSITY AVENUE

WEST BUILDING - INTERIOR PHOTOS

JLA PROJECT No:W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U006

5/28/24





EXISTING EAST BUILDING  
3535 UNIVERSITY AVENUE



EXISTING VIEW - EAST FACING

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3575 UNIVERSITY AVENUE

EAST BUILDING - EXTERIOR PHOTOS

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U007

5/28/24





EAST BUILDING REAR



EAST BUILDING PARKING LOT  
3535 UNIVERSITY AVENUE

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3575 UNIVERSITY AVENUE

EAST BUILDING - EXTERIOR PHOTOS

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U008

5/28/24





INTERIOR 3533 UNIVERSITY AVE



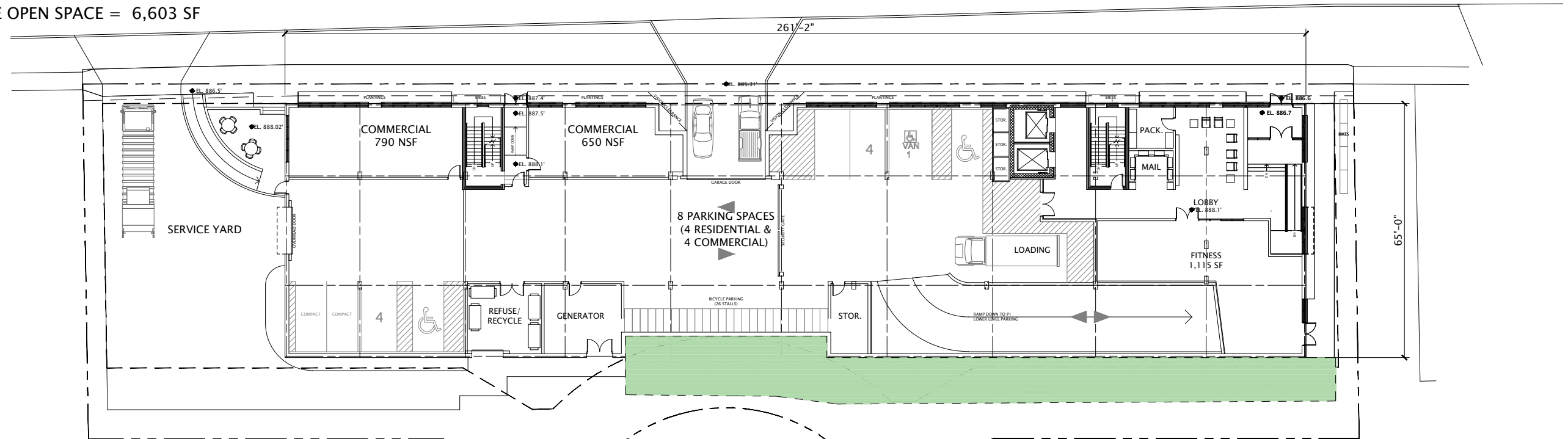
# USABLE OPEN AREA CHART

- DENOTES USABLE OPEN AREA ON PLAN 2,294 SF
- DENOTES USABLE OPEN AREA PRIVATE BALCONIES ON PLAN = 3,428 SF
- DENOTES USABLE OPEN AREA ROOF DECKS ON PLAN = 881 SF

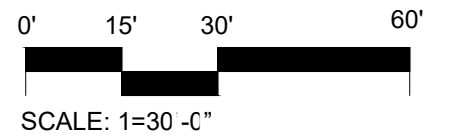
REQUIRED USABLE OPEN AREA = 2,840 SF  
(40 SF X 71 DWELLING UNITS)

TOTAL USABLE OPEN SPACE = 6,603 SF

## UNIVERSITY AVENUE



1 FIRST FLOOR PLAN  
1" = 30'-0"





# USABLE OPEN AREA CHART

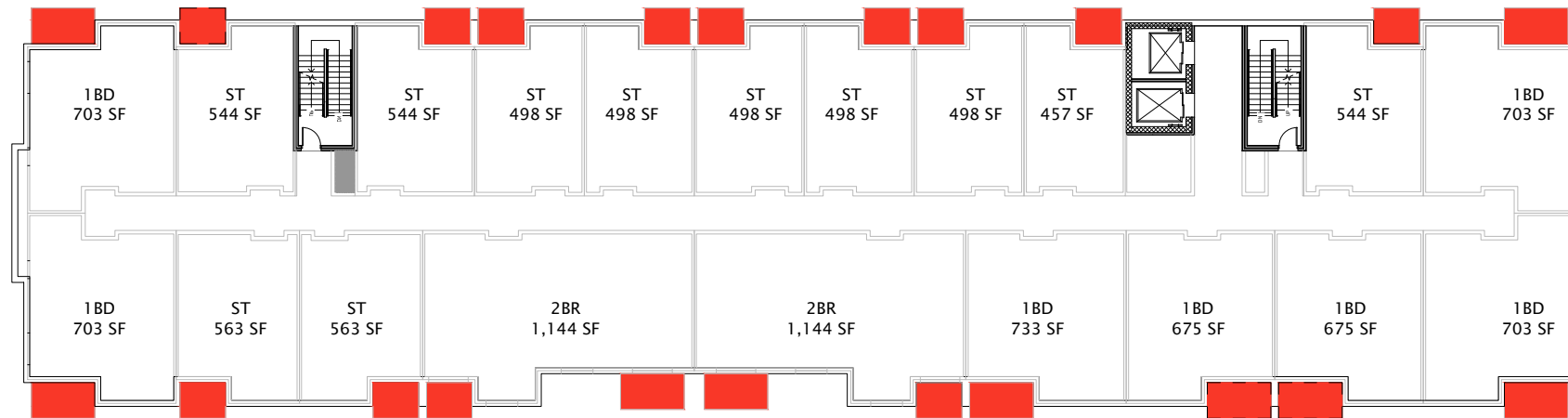
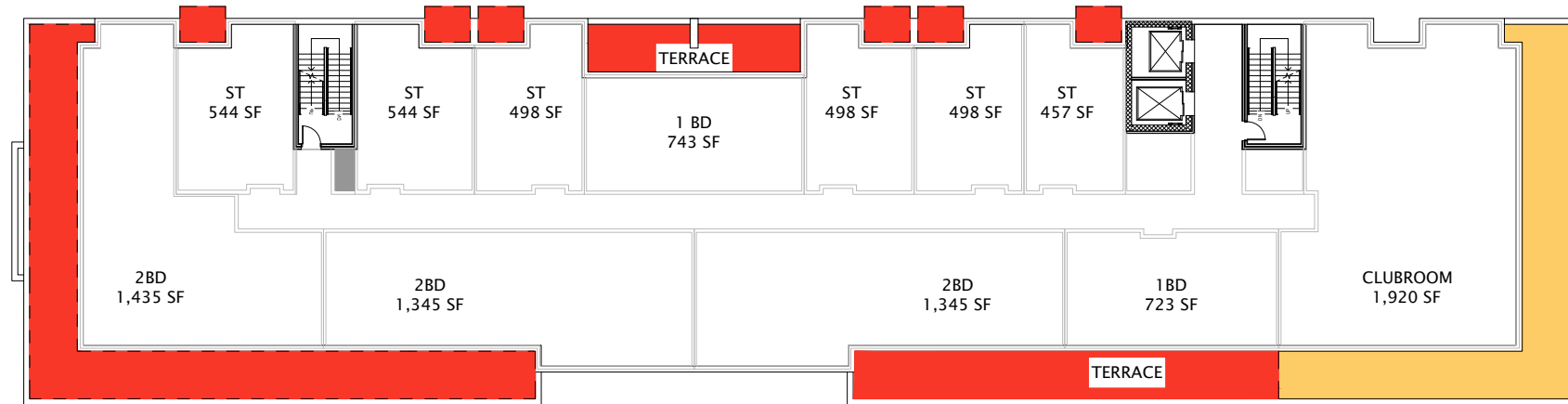
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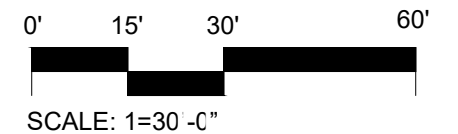
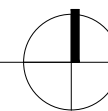
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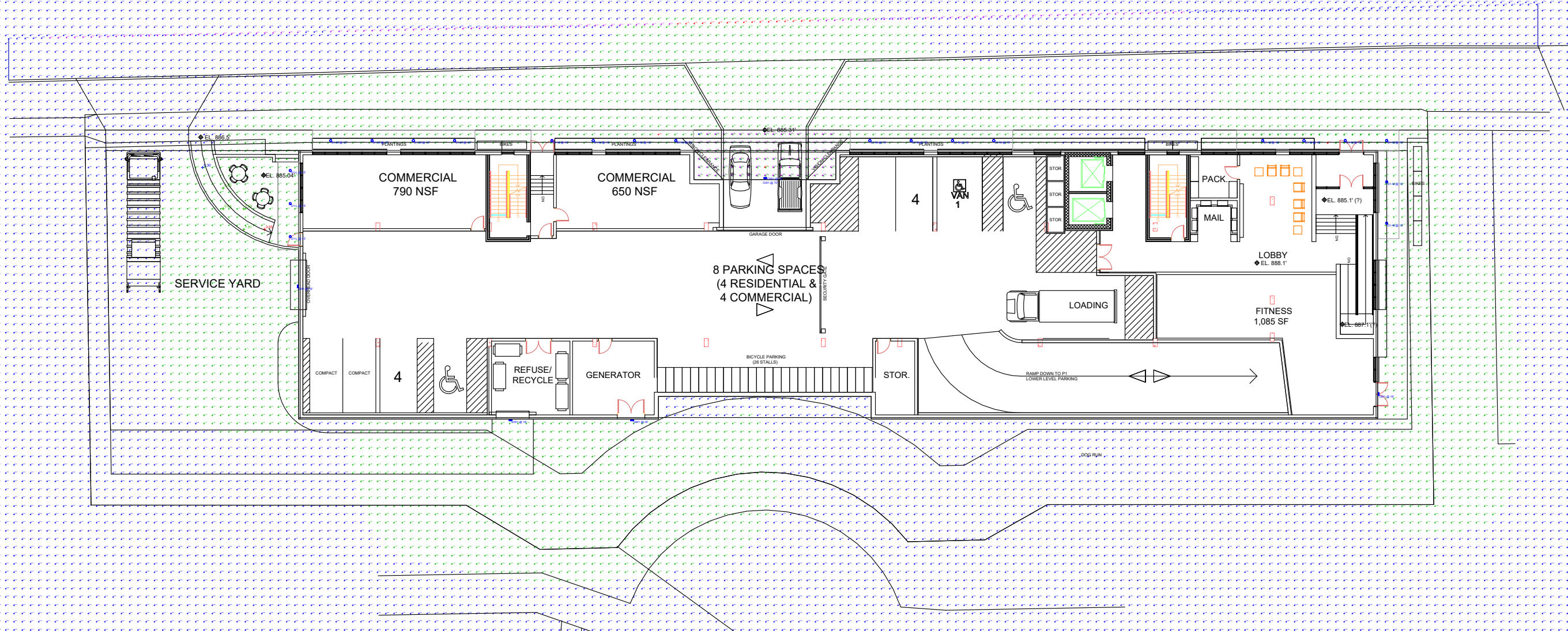


① SECOND - FOURTH & FIFTH FLOOR PLANS  
1" = 30'-0"





# UNIVERSITY AVENUE



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Ramp_At Grade	+	1.45 fc	3.55 fc	0.30 fc	11.8:1	4.8:1
Typical Under Canopy_At Grade	X	4.43 fc	5.57 fc	2.37 fc	2.4:1	1.9:1
Under Pergola_At 57FT	+	1.73 fc	2.40 fc	1.07 fc	2.2:1	1.6:1
10FT From Lot Line University Dr_At 4FT Above Grade	+	0.06 fc	0.18 fc	0.00 fc	N/A	N/A

Schedule							
Label	QTY	Manufacturer	Catalog	Number Lamps	Lamp Output	LLF	Input Power
D1-L	3	Lithonia Lighting	LDN6 ALO1 (500LM) SWW1 AR LD WD 80CRI	1	514	0.9	5.76
D1-M	18	Lithonia Lighting	LDN6 ALO1 (750LM) SWW1 AR LSS WD 80CRI	1	879	0.9	9.06
OW1	6	Lithonia Lighting	WPX1 LED P2 XXX MVOLT	1	2913	0.95	24.42

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3575 UNIVERSITY AVENUE

LIGHTING CALCULATIONS

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

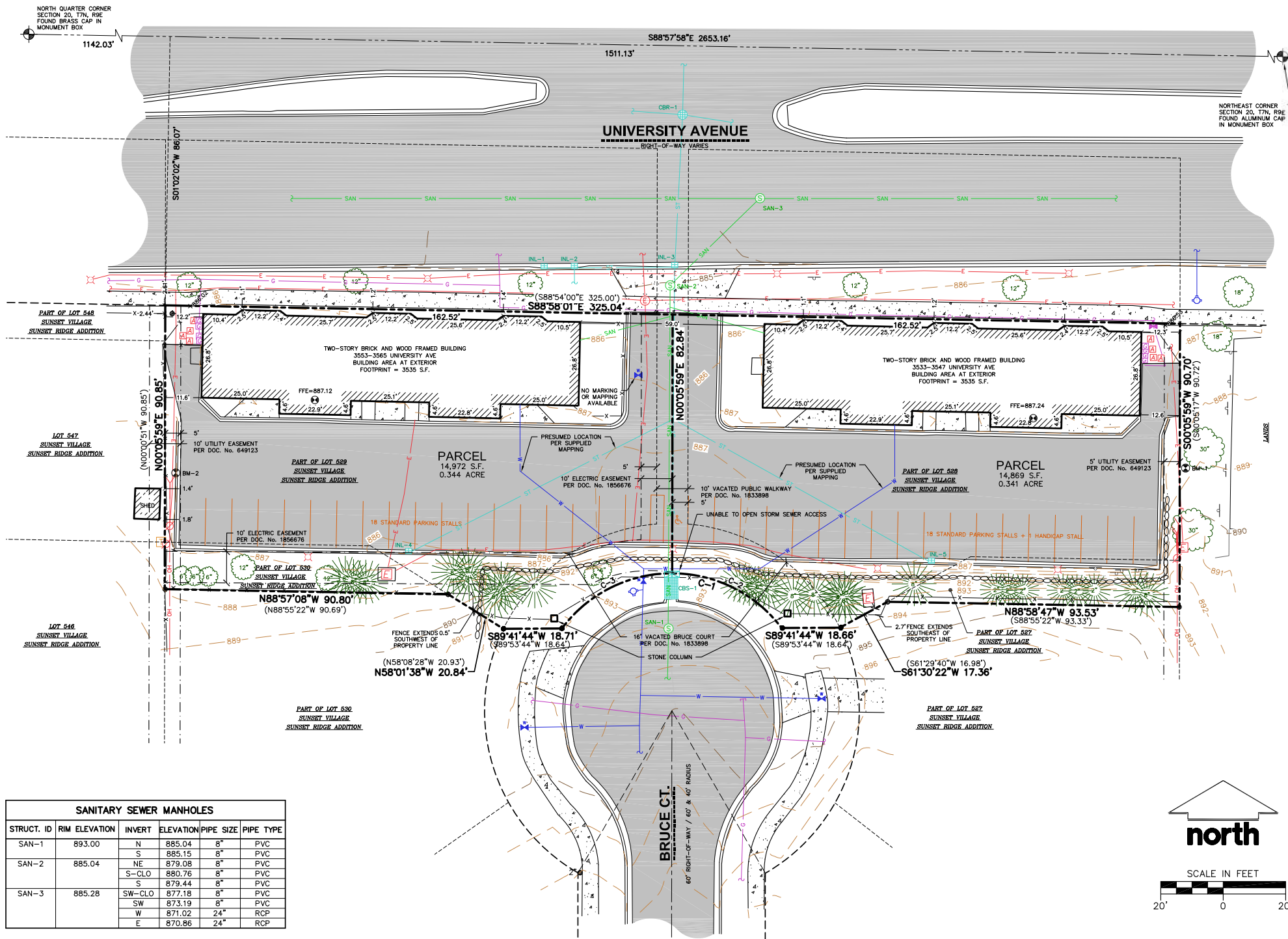
U012

5/28/24



# EXISTING CONDITIONS SURVEY

PART OF LOTS 527, 528, 529 AND 530, AND PART OF VACATED BRUCE COURT AND VACATED PUBLIC WALKWAY LYING BETWEEN THOSE PARTS OF LOTS 528 AND 529, ALL BEING LOCATED IN THE PLAT OF SUNSET VILLAGE, SUNSET RIDGE ADDITION IN THE NE 1/4 OF SECTION 20 TOWN 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



VICINITY MAP  
NOT TO SCALE

LEGEND	
CHISELED 'X' SET	RIGHT-OF-WAY LINE
MAG NAIL SET	SECTION LINE
GOVERNMENT CORNER	PARCEL BOUNDARY
IRON PIPE FOUND (SIZE NOTED)	PROPERTY LINE
3/4" REBAR FOUND	EASEMENT LINE
CONTROL POINT	FENCE LINE
BENCHMARK	STONE WALL
FINISHED FLOOR SHOT LOCATION	EDGE OF PAVEMENT
SANITARY MANHOLE	CONCRETE CURB & GUTTER
WATERMAIN OR GASMAIN VALVE	EDGE OF GRAVEL
HYDRANT	SANITARY SEWER
WATER VALVE	WATER LINE
STORM MANHOLE	STORM SEWER
SQUARE CASTED INLET	NATURAL GAS
CURB INLET	OVERHEAD LINE
STORM SEWER ACCESS	UNDERGROUND ELECTRIC
GAS REGULATOR/METER	FIBER OPTIC
GAS VALVE	BUILDING
ELECTRIC MANHOLE (MGE)	WALL LINE
ELECTRIC MANHOLE	875 INDEX CONTOUR
ELECTRIC TRANSFORMER	874 INTERMEDIATE CONTOUR
AIR CONDITION UNIT	BITUMINOUS PAVEMENT
LIGHT POLE	RETAINING WALL
POWER POLE	CONCRETE PAVEMENT
POWER POLE W/GUY	GRAVEL
TELEPHONE PEDESTAL	EDGE OF BITUMINOUS
DECIDUOUS TREE	PAVEMENT STRIPING
CONIFEROUS TREE	( ) DENOTES RECORDED AS MEASUREMENTS DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY
HANDICAP PARKING	
CENTERLINE	

## NOTES

- FIELD WORK PERFORMED ON JUNE 19-20, 2023.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY THE NORTHEAST LINE OF SECTION 20, T7N, R9E, RECORDED AS S88°57'58"E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A CITY OF MADISON MONUMENT MARKING THE NORTH 1/4 CORNER OF SECTION 20, T07N, R09E, ELEVATION = 897.697'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20232406744, 20232406744, 20232406778 AND 20232406828 WITH A CLEAR DATE OF 06/15/2023.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: CITY OF MADISON (MGE (ELECTRIC AND GAS) AMERICAN TRANSMISSION), CHARTER COMMUNICATIONS (MADISON METRO SEWERAGE MCI) AT&T
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
- ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.
- PER DOCUMENT NO. 649123, NOTE 9, "VEHICULAR ACCESS SHALL NOT BE PERMITTED FROM UNIVERSITY AVENUE TO LOTS 528, 529 AND 548."

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	893.00	N	885.04	8"	PVC
		S	885.15	8"	PVC
SAN-2	885.04	NE	879.08	8"	PVC
		S-CLO	880.76	8"	PVC
		S	879.44	8"	PVC
SAN-3	885.28	SW-CLO	877.18	8"	PVC
		SW	873.19	8"	PVC
		W	871.02	24"	RCP
		E	870.86	24"	RCP

STORM SEWER INLETS					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
CBS-1*	893.48	N	889.48	15"	ORIFICE
		E	889.48	15"	ORIFICE
INL-1	884.51	N	882.21	12"	RCP
		S	882.22	12"	PVC
INL-2	884.55	W	882.01	12"	RCP
		E	882.00	12"	RCP
		W	880.02	12"	RCP
INL-3	884.62	N	881.19	15"	RCP
		N	879.97	36"	RCP
INL-4	885.76	NE	883.76	12"	RCP
		NW	883.62	12"	RCP
CBR-1	884.89	W	879.94	12"	RCP
		S	879.94	36"	RCP
		E	879.94	12"	RCP
		N	879.94	36"	RCP

\*STORM STRUCTURE MEASURES 56"x42" WITH 2-15" ORIFICES GOING INTO THE STORM SEWER ACCESS STRUCTURE.

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	888.49	3/4" REBAR AT EAST END OF PROJECT AREA
BM-2	887.13	MAG NAIL IN CURB AT WEST END OF PROJECT AREA

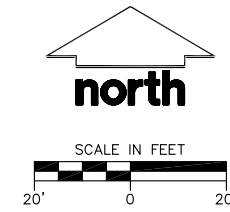
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	40.61'	44.00'	52°52'46"	39.18'	N63°27'38"W
C-2	40.61'	44.00'	52°52'46"	39.18'	N63°27'38"W
C-3	40.97'	44.00'	53°21'00"	39.51'	S63°25'29"W

## SURVEYOR'S CERTIFICATE

I, TODD J. BUHR, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2614, HEREBY CERTIFY THAT UNDER THE DIRECTION OF WALTER WAYNE DEVELOPMENT THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-47 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

Todd J. Buhr  
TODD J. BUHR, S-2614  
PROFESSIONAL LAND SURVEYOR

08/02/2023  
DATE



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT:

WALTER WAYNE  
DEVELOPMENT

CLIENT ADDRESS:

702 N. HIGH POINT RD, SUITE 200  
MADISON, WI 53717

PROJECT:

UNIVERSITY AVENUE  
MIXED USE DEVELOPMENT

PROJECT LOCATION:

3535 AND 3553 UNIVERSITY AVE  
MADISON, WI 53717

MODIFICATIONS:

#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Prepared By: SMN 06/27/2023

SHEET TITLE:

EXISTING  
CONDITIONS  
SURVEY

SHEET NUMBER:

1 OF 1

PROJECT NO:

23-13311



## GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, JURISDICTIONAL SPECIFICATIONS, AND APPROVED BY THE JURISDICTION HAVING AUTHORITY.
- EXISTING GRADE SPD ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED BY THE CONTRACTOR TO PRE-EXISTING OR BETTER CONDITIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE JURISDICTIONAL AUTHORITY AND IS SUBJECT TO CHANGE AT ANY TIME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:
  - "JURISDICTION" - THE LOCAL GOVERNMENTAL AGENCY (I.E., CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.
  - "STATE HIGHWAY SPECIFICATIONS" - STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION AND SUPPLEMENTS
  - "STANDARD SPECIFICATIONS" - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION AND SUPPLEMENTS
  - WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"
  - WISCONSIN DEPARTMENT OF NATURAL RESOURCES - "WDNR"
  - DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES - "DPS" OR "SPS"

## DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGERS HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVEGROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE, AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION-RELATED DIRT, DUST, AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS MAY BE GROUND TO PROPOSED SUBGRADE IN GRASSED AREAS ONLY UNLESS DIRECTED BY ENGINEER.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF OFFSITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES THAT WERE DAMAGED BY THE CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO:
  - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFY UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFY ALL UTILITIES OWNERS PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFY THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY UTILITIES THAT ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED JURISDICTION'S RECYCLING PLAN.
- ANY CONTAMINATED SOILS ENCOUNTERED SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROPRIATE AND APPROVED LANDFILL.
- ALL EXISTING UTILITIES SHALL BE FIELD LOCATED AND CLEARLY MARKED BY CONTRACTOR PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING UTILITY LINE LOCATION(S). CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING UTILITY LINE OPENINGS (ULO) TO CONFIRM LOCATIONS OR ELEVATIONS, AS REQUESTED BY THE ENGINEER.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENTS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST, AND DEBRIS.
- BUILDING REMOVALS SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR. CONTRACTOR SHALL FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS, AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE AND APPROVED LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURNED OR BURIED ONSITE.
- CONTRACTOR SHALL REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACKFILL AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHALL BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION, AND REMOVAL. THIS INCLUDES CURB AND GUTTER, SIDEWALK, TOPSOIL, SEEDING, AND MULCHING.

## PAVING NOTES

- GENERAL:**
    - PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS, APPLICABLE JURISDICTIONAL SPECIFICATIONS, AND THE GEOTECHNICAL REPORT PREPARED BY CGC, INC, TITLED "GEOTECHNICAL EXPLORATION REPORT, ISSUE DATE 1/9/2024. ALL REFERENCES TO THE "GEOTECHNICAL REPORT" SHALL BE UNDERSTOOD AS THE AFOREMENTIONED REPORT.
    - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
    - ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
    - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
    - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER, PAVEMENT, OR SIDEWALK SHALL MATCH EXISTING AND MEET JURISDICTIONAL REQUIREMENTS.
  - CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:**
    - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
    - RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD.
    - DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
    - DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.
  - HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:**
    - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
    - WEATHER LIMITATIONS:**
      - DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
      - DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3' ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
    - PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE.
    - APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
    - ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
  - CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION
  - BINDER COURSE AGGREGATE:**
    - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
  - SURFACE COURSE AGGREGATE**
    - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
  - ASPHALTIC MATERIALS**
    - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS:**
  - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - DURING CONCRETE PAVING CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 15' ON CENTER.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
  - PLACE EXPANSION JOINTS IN CURB, GUTTER, OR CURB AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFACING. LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET; ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6' FROM ANOTHER JOINT; AND ON TANGENT SECTIONS PLACE BETWEEN 6' AND 300'.
  - IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON, CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS.
  - FOR CURB AND GUTTER, FORM CONSTRUCTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONSTRUCTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT. SPACE JOINTS BETWEEN 6' AND APPROXIMATELY 20' APART, AS THE ENGINEER DIRECTS.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - CONTRACTOR SHALL INSTALL TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS.
- PAVEMENT MARKING SPECIFICATIONS:**
  - ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT.
- ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.

## CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, WATTLES, INLET PROTECTION, AND CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL AND INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% CONTIGUOUS VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

## UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
  - PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
    - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
    - VERIFYING ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER, AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTIFYING THE DESIGN ENGINEER AND JURISDICTIONAL AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
    - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES AND STATE DSSPS AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE JURISDICTIONAL AUTHORITIES.
  - SPECIFICATIONS SHALL COMPLY WITH THE JURISDICTIONAL AUTHORITY'S SPECIAL PROVISIONS.
  - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
  - CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
  - CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
  - ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(h), SPS 382.36(7)(c)10., AND SPS 382.40(8)(k). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE.
  - DRY UTILITIES (COMMUNICATION, TELEPHONE, GAS, ELECTRIC, ETC.) ARE SHOWN FOR GENERAL ROUTING ONLY. CONTRACTOR SHALL COORDINATE DESIGN AND FINAL LOCATION WITH APPROPRIATE UTILITY COMPANY.
  - THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE JURISDICTIONAL AUTHORITY'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE INSTALLED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
  - IN ANY LOCATIONS WHERE BUILDING SEWERS (STORM AND SANITARY) ARE INSTALLED WITH LESS THAN THE MINIMUM COVER AS SPECIFIED IN SPS 382.30(11)(c) OR WATER PIPING 382.40(8)(a), CONTRACTOR SHALL INSTALL INSULATION IN ACCORDANCE WITH SPS 382.39(11)(c)2. FOR PROTECTION FROM FROST.
  - STORM SEWER SPECIFICATIONS:**
    - PIPE:**
      - REINFORCED CONCRETE PIPE (RCP) - SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C78 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C443.
      - HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE (HDPE) - SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATERTIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M294 TYPE "B".
      - POLYVINYL CHLORIDE (PVC) - SHALL MEET REQUIREMENTS OF ASTM D3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELECTROMETRIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D3212, ASTM 1785 SCHEDULE 40 FOR PIPE DIAMETERS 4'-6". SDR 35 SHALL BE USED FOR DEPTHS 3'-15" AND SDR 26 FOR DEPTHS 16'-25' DEPENDENT ON LOCAL JURISDICTION.
    - INLETS AND CATCH BASINS:**
      - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.6.3 AND DETAIL DRAWINGS FILE NO. 28 OR 29 OF THE STANDARD SPECIFICATIONS, OR APPROVED EQUAL WITH A 2X3' MAXIMUM OPENING.
      - POLYVINYL CHLORIDE (PVC) INLETS BY NYLOPLAST ONLY WHEN SPECIFIED ON PLANS, CONFORMING TO ASTM D1781, ASTM D3212, ASTM F477, AND MANUFACTURER'S REQUIREMENTS. REFER TO PLANS FOR LID OR GRATE SPECIFICATION.
    - FRAME AND GRATE/LIDS:**
      - CURB FRAME AND GRATES SHALL BE NEENAH R-3067 WITH TYPE "R" GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
      - SOLID LID FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
      - GRATE FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY WITH A R-2578 GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
    - MANHOLES:**
      - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.5.0 AND DETAIL DRAWINGS FILE NO. 11 AND/OR 12 OF THE STANDARD SPECIFICATIONS.
      - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS.
  - BACKFILL AND BEDDING:**
    - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
    - LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS.
  - FIELD TILE CONNECTIONS:**
    - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN & WATER LATERAL SPECIFICATIONS:**
  - PIPE:**
    - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE STANDARD SPECIFICATIONS.
    - POLYVINYL CHLORIDE PRESSURE PIPE (PVC) SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C900 DR14 (CLASS 305) FOR SIZES UP TO 4" AND AWWA C900 DR18 (CLASS 235) UP TO 30" WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS.
    - COPPER TYPE K TUBING SHALL CONFORM TO ASTM DESIGNATION 888 FOR WATER SERVICES LESS THAN 2" IN DIAMETER
    - HIGH DENSITY POLYETHYLENE (HDPE) SHALL CONFORM TO THE REQUIREMENTS OF AWWA C901, SDR 9 MINIMUM FOR SIZES UP TO 3" AND TO AWWA C906, SDR 17 MINIMUM FOR SIZES GREATER THAN 3".
  - VALVES AND VALVE BOXES:**
    - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C500 AND CHAPTER 8.27.0 OF THE STANDARD SPECIFICATIONS.
    - CURB STOPS AND CORPORATION VALVES SHALL BE AWWA C800 AND ASTM B62, AND CONFORM TO ANY LOCAL JURISDICTIONAL REQUIREMENTS.
  - WATER SERVICES CONNECTIONS**
    - SERVICES 2" IN DIAMETER OR LESS SHALL USE A TAP SERVICE WITH A CORPORATION STOP AND CURB STOP VALVE WITH SERVICE BOX PER JURISDICTIONAL REQUIREMENTS.
    - SERVICES GREATER THAN 2" IN DIAMETER SHALL USE A TAPPING SLEEVE OR CUT-IN TEE CONNECTION WITH VALVE OF EQUIVALENT PIPE DIAMETER AND VALVE BOX PER JURISDICTIONAL REQUIREMENTS.
  - HYDRANTS:**
    - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITIES. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 16" AND NO GREATER THAN 23"(SEE DETAIL).
  - JOINT RESTRAINT:**
    - WHERE SPECIFIED, DUCTILE IRON PIPE SHALL INCLUDE MECHANICAL JOINTS CONFORMING TO CHAPTER 4.4.2(b) OF THE STANDARD SPECIFICATIONS. POLYETHYLENE WRAP SHALL BE USED AROUND ALL

## UTILITY NOTES, CONTINUED

- MECHANICAL CONNECTIONS.
- BEDDING AND COVER MATERIAL:**
  - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE STANDARD SPECIFICATIONS.
- BURY DEPTH SHALL CONFORM TO LOCAL JURISDICTION REQUIREMENTS, OR DSSP REQUIREMENTS AT A MINIMUM, WHERE THERE IS NO LOCAL JURISDICTION REQUIREMENTS.
- BACKFILL:**
  - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTERS 2.6.0 AND 4.17.0 OF THE STANDARD SPECIFICATIONS. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
  - LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS.
- SEPARATION DISTANCES**
  - WHERE PRIVATE WATER MAIN OR WATER SERVICES CROSSES A SANITARY SEWER OR SANITARY LATERAL, THE WATER PIPE WITHIN 5 FEET OF THE CROSSING SHALL BE INSTALLED WITH THE FOLLOWING:
    - WATER PIPING SHALL BE INSTALLED AT LEAST 12 INCHES ABOVE THE TOP OF SANITARY PIPING
    - WATER PIPING SHALL BE INSTALLED AT LEAST 18 INCHES BELOW THE BOTTOM OF SANITARY PIPING.
- SANITARY SEWER SPECIFICATIONS:**
  - PIPE:**
    - POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D3212, ASTM 1785 SCHEDULE 40 FOR PIPE DIAMETERS 4'-6". SDR 35 SHALL BE USED FOR DEPTHS 3'-15" AND SDR 26 FOR DEPTHS 16'-25' DEPENDENT ON LOCAL JURISDICTION.
    - CONNECTION TO DSSMILAR PIPE MATERIALS SHALL CONFORM TO CHAPTER 3.4.2 OF THE STANDARD SPECIFICATIONS. FERROCO COUPLER MAY BE USED WITH APPROVAL OF ENGINEER.
  - MANHOLES:**
    - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.5.0 AND DETAIL DRAWINGS FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS AND ALL SPECIAL PROVISIONS OF THE JURISDICTIONAL AUTHORITIES.
    - MANHOLES SHALL HAVE INTERNAL CHIMNEY SEALS INSTALLED IN ALL SANITARY MANHOLES IN ACCORDANCE WITH CHAPTER 3.5.4(F) AND DETAIL DRAWING FILE NO. 12A OF THE STANDARD SPECIFICATIONS.
  - MANHOLES SHALL HAVE ALL EXTERNAL JOINTS WRAPPED WITH MAC WARP OR EQUAL RUBBERIZED JOINT WRAP PER ASTM C923.
  - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550 HEAVY DUTY WITH NON-ROCKING SOLID LIDS OR EQUAL, UNLESS SPECIFIED IN THE PLANS.
- BEDDING AND COVER MATERIAL:**
  - MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE STANDARD SPECIFICATIONS WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A).
  - MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO ENSURE ADEQUATE COMPACTION OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
- BACKFILL:**
  - MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE STANDARD SPECIFICATIONS. GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
  - LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS.

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**REVIEW DRAWING**  
NOT TO BE USED FOR CONSTRUCTION  
DATE OF ISSUE 5/28/2024



## NOTES & LEGEND

JLA PROJECT No:	W23-0222
DATE OF ISSUANCE:	5/28/24
REVISION DATE:	

# C100



**EROSION CONTROL NOTES**

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE, AND EXISTING INLET PROTECTION) PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE JURISDICTIONAL AUTHORITIES PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5". ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRE-APPROVED BY THE JURISDICTION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" SELECTED CRUSHED. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT/OFF-SITE AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, SILT, AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE JURISDICTIONAL AUTHORITIES.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLETS OF ALL INSTALLED STORM SEWER. STONE DITCH CHECKS/FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE WDNR DEWATERING TECHNICAL STANDARD NO. 1051 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS OR APPLICATION OF A WISDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN SEVEN (7) DAYS OF REACHING FINAL GRADE. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- A CONCRETE WASHOUT AREA SHALL BE DESIGNATED ON-SITE. CONTRACTOR SHALL USE PRE-MANUFACTURED ABOVE GROUND WASHOUT TOTE OR EQUIVALENT CONTAINMENT AREA FOR ALL CONCRETE WASTE. CONCRETE WASTE SHALL ONLY BE CONTAINED IN ABOVE GROUND PRE-FABRICATED CONTAINERS OR CONSTRUCTED CONTAINMENT AREA AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FREQUENTLY DISPOSE OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS TO MAINTAIN THE SYSTEMS EFFECTIVENESS.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
  - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED (I.E., THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - STABILIZATION MEASURES SHALL BE DETERMINED BASED ON-SITE CONDITIONS WHEN CONSTRUCTION ACTIVITY HAS CEASED INCLUDING, BUT NOT LIMITED TO, WEATHER CONDITIONS AND LENGTH OF TIME THE MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
    - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
    - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS.ACRE) IN SPRING/SUMMER OR WHEAT OR CEREAL RYE (150LBS.ACRE) IN FALL
    - HYDRO-MULCHING WITH A TACKIFIER
    - WOVEN AND NON-WOVEN GEOTEXTILES
    - EROSION MATTING
    - SODDING
    - OTHER MEASURES AS APPROVED BY THE ENGINEER
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR REQUEST FOR PERMIT CLOSURE IN ACCORDANCE WITH JURISDICTION PERMIT AND SPECIFICATION REQUIREMENTS.

**GRADING AND EARTHWORK NOTES**

- ALL SITE PREP AND EARTHWORK SHALL CONFORM TO THE GEOTECHNICAL REPORT PREPARED BY CGC, INC, TITLED GEOGRAPHICAL EXPLORATION REPORT, ISSUE DATE 1/9/2024. ALL REFERENCES TO THE "GEOTECHNICAL REPORT" SHALL BE UNDERSTOOD AS THE AFOREMENTIONED REPORT.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS.
- CONTRACTOR SHALL NOT EXCAVATE BELOW ELEVATIONS OR DESIGN GRADES SHOWN ON THE DRAWINGS WITHOUT PRIOR AUTHORIZATION FROM ENGINEER AND OWNER.
- PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 3". REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS.
- CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER.
- CONTRACTOR SHALL PLACE THE FILLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT INCLUDING LIFT DEPTHS AND COMPACTION EFFORTS.
- PRIOR TO PLACEMENT OF BASE COURSE MATERIALS IN PAVEMENT OR HARD SURFACE AREAS OR CONDUCTING EXCAVATION BELOW SUBGRADE (EBS) ELEVATIONS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER TO CONDUCT AN INSPECTION OF THE PREPARED SUBGRADE AND PROOF-ROLLING. PROOF-ROLLING SHALL BE CONDUCTED BY THE CONTRACTOR IN WITNESS OF THE OWNER AND ENGINEER. OWNER AND ENGINEER SHALL DETERMINE IF AREAS OF EBS ARE REQUIRED. EBS SHALL BE COMPLETED BY THE CONTRACTOR PER THE DIRECTION OF THE OWNER AND ENGINEER.
- SOIL MATERIAL SPECIFICATIONS:
  - FILL AND BACKFILL MATERIALS
    - MATERIAL SHALL BE SATISFACTORY MATERIALS EXCAVATED FROM THE SITE, PER THE GEOTECHNICAL REPORT. IF SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE OR ADDITIONAL MATERIALS ARE REQUIRED, REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS.
    - IMPORTED FILL MATERIAL
      - MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ON-SITE. IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6" .
    - GRANULAR FILL
      - MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF "GRADE 1" OR "GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS.
  - BUILDING STRUCTURAL FILL
    - CLEAN MATERIAL MEETING THE REQUIREMENTS OF TYPE A "STRUCTURE BACKFILL" AS DEFINED IN SECTIONS 210.2.1 AND 210.2.2. OF THE STATE HIGHWAY SPECIFICATIONS AND GEOTECHNICAL REPORT .

**SEEDING AND RESTORATION NOTES**

- CONTRACTOR SHALL PROVIDE NOTICE TO THE JURISDICTIONAL AUTHORITIES IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7-DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. REFER TO STABILIZATION PRACTICES IN THE EROSION CONTROL NOTES FOR FURTHER SPECIFICATIONS.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- SEEDING SPECIFICATIONS:
  - TURF LAWN SEED MIXTURE: WISDOT SEED MIX NO. 40 AT RATES SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS
  - LOW MAINTENANCE AREA SEED MIXTURE: WISDOT SEED MIX NO. 10 OR 20 APPLIED AT RATES AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
  - NO-MOW AREA SEED MIXTURE: NO-MOW LAWN SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL: 808-296-3679 (OR APPROVED EQUIVALENT). SEEDING RATE SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
- SEED PREPARATION SPECIFICATIONS:
  - SCARIFY SUBSOILS TO A DEPTH OF 3" WHERE TOPSOIL SHALL BE PLACED TO REDUCE COMPACTION.
  - PLACE TOPSOIL AT A MINIMUM DEPTH OF 6" UNLESS OTHERWISE NOTED ON THE PLANS.
  - APPLY FERTILIZER IN ACCORDANCE WITH SEED MIX MANUFACTURER'S RECOMMENDATIONS.
  - SOW SEED AT RATES SPECIFIED USING METHOD "A" OR METHOD "B" AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
- SEED MULCHING/EROSION MATTING SPECIFICATIONS:
  - ALL SEEDED AREAS WITH SLOPES FLATTER THAN 4:1, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE STABILIZED WITH WEED-FREE WHEAT STRAW MULCH WITH METHODS AND RATES IN ACCORDANCE WITH SECTION 627 OF THE STATE HIGHWAY SPECIFICATIONS.
  - ALL SEEDED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 4:1, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE STABILIZED WITH EROSION MATTING MATERIALS AS SPECIFIED ON THE PLANS. EROSION MATTING SHALL BE IN ACCORDANCE WITH SECTION 628 OF THE STATE HIGHWAY SPECIFICATIONS.

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	BUILDING SETBACK LINE
	PAVEMENT SETBACK LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB AND GUTTER
	8" CONCRETE RIBBON CURB
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	GRADE BREAK
	STORMWATER MANAGEMENT AREA
	RETAINING WALL
	BOULDER WALL
	RAILING
	FENCE
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	FLAG POLE
	BOLLARD
	BOLLARD WITH ADA PARKING SIGN
	BIKE RACK
	TREE REMOVAL
	SHRUB REMOVAL
	SAWCUT EXISTING PAVEMENT
	SANITARY SEWER
	WATERMAIN
	STORM SEWER
	8'x4'x4" INSULATION (PLAN VIEW)
	8'x4'x4" INSULATION (PROFILE VIEW)
	SILT FENCE
	RIP-RAP
	CONSTRUCTION ENTRANCE
	EROSION MATTING
	TURF REINFORCEMENT MATTING
	SPOT ELEVATION
	EP - EDGE OF PAVEMENT
	FG - FINISH GRADE
	EC - EDGE OF CONCRETE
	BOC - BACK OF CURB
	MATCH - MATCH EXISTING GRADE
	HP - HIGH POINT
	SW - SIDEWALK
	DITCH CHECK
	INLET PROTECTION
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	DEMOLITION - PAVEMENT MILL AND OVERLAY
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
	TREE REMOVAL
	SHRUB REMOVAL
	PROTECT EXISTING TREE

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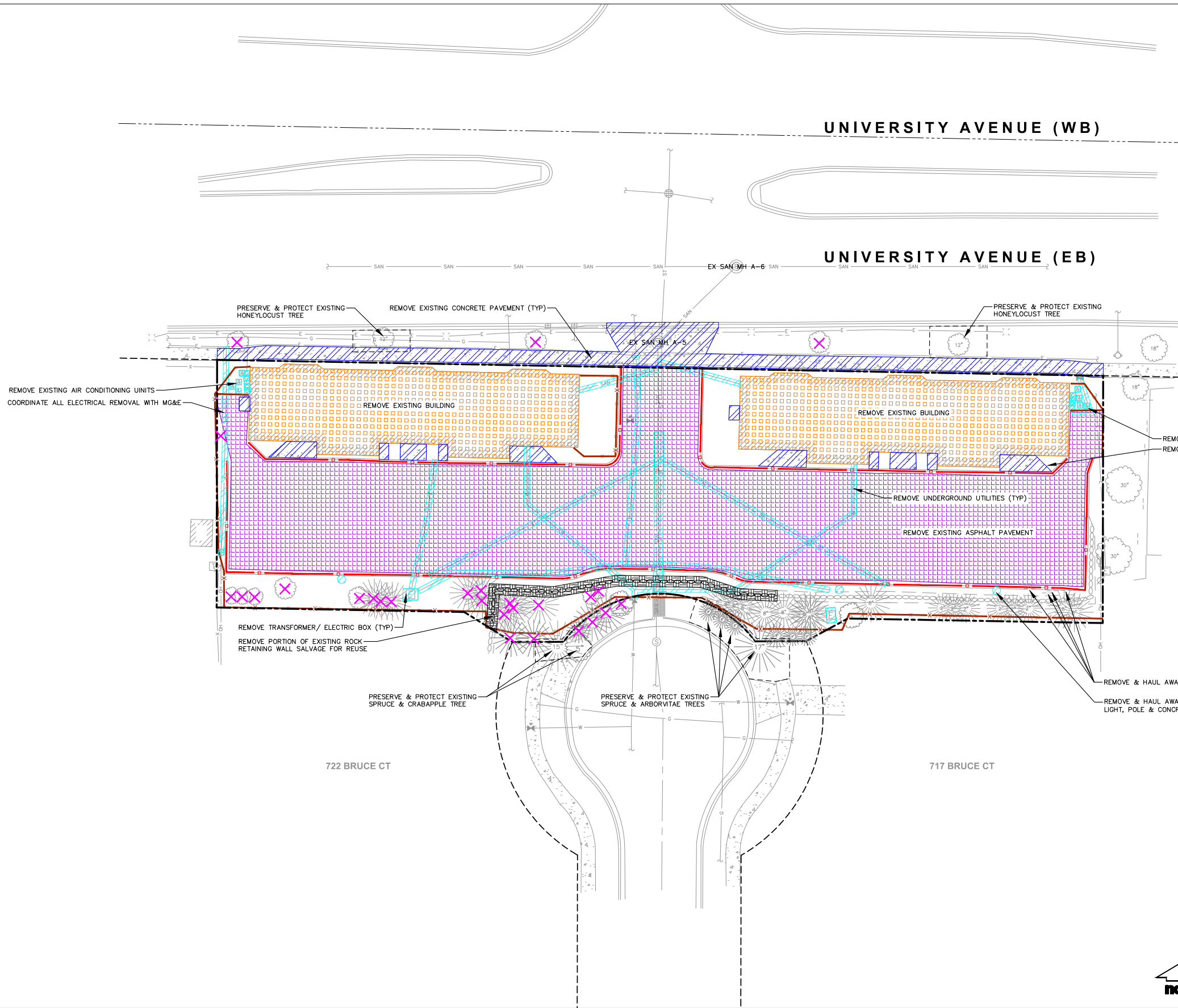


NOTES & LEGEND

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C101





**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- □ — DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
- ▨ DEMOLITION - REMOVAL OF RETAINING WALL
- ▩ DEMOLITION - REMOVAL OF ASPHALT SURFACES
- ▧ DEMOLITION - REMOVAL OF CONCRETE SURFACES
- ▦ DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
- ▨ DEMOLITION - REMOVAL OF UTILITIES
- X — DEMOLITION - REMOVAL OF FENCE
- ⊗ TREE REMOVAL
- PROTECT EXISTING TREE

**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C-10	81.58'	44.00'	58.63	106°13'46"	70.39'	S89°51'52"W
C-11	81.58'	44.00'	58.63	106°13'46"	70.39'	S89°51'52"W
C-12	81.58'	44.00'	58.63	106°13'46"	70.39'	S89°51'52"W

CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR (X) TREE(S) (DBH) DIAMETER (VARIETY) TREE DUE TO (REASON) AT (LOCATION).

PRESERVE & PROTECT EXISTING HONEYLOCUST TREE

REMOVE EXISTING CONCRETE PAVEMENT (TYP)

EX SAN 311 A-6

PRESERVE & PROTECT EXISTING HONEYLOCUST TREE

REMOVE EXISTING AIR CONDITIONING UNITS

COORDINATE ALL ELECTRICAL REMOVAL WITH MG&E

REMOVE EXISTING BUILDING

EX SAN 311 A-5

REMOVE EXISTING BUILDING

REMOVE EXISTING AIR CONDITIONING UNITS

REMOVE & HAUL AWAY BIKE RACK

REMOVE UNDERGROUND UTILITIES (TYP)

REMOVE EXISTING ASPHALT PAVEMENT

REMOVE TRANSFORMER/ ELECTRIC BOX (TYP)

REMOVE PORTION OF EXISTING ROCK RETAINING WALL SALVAGE FOR REUSE

PRESERVE & PROTECT EXISTING SPRUCE & CRABAPPLE TREE

PRESERVE & PROTECT EXISTING SPRUCE & ARBORVITAE TREES

REMOVE & HAUL AWAY SIGN & POST

REMOVE & HAUL AWAY LIGHT, POLE & CONCRETE BASE (TYP)

722 BRUCE CT

717 BRUCE CT



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DEMOLITION PLAN

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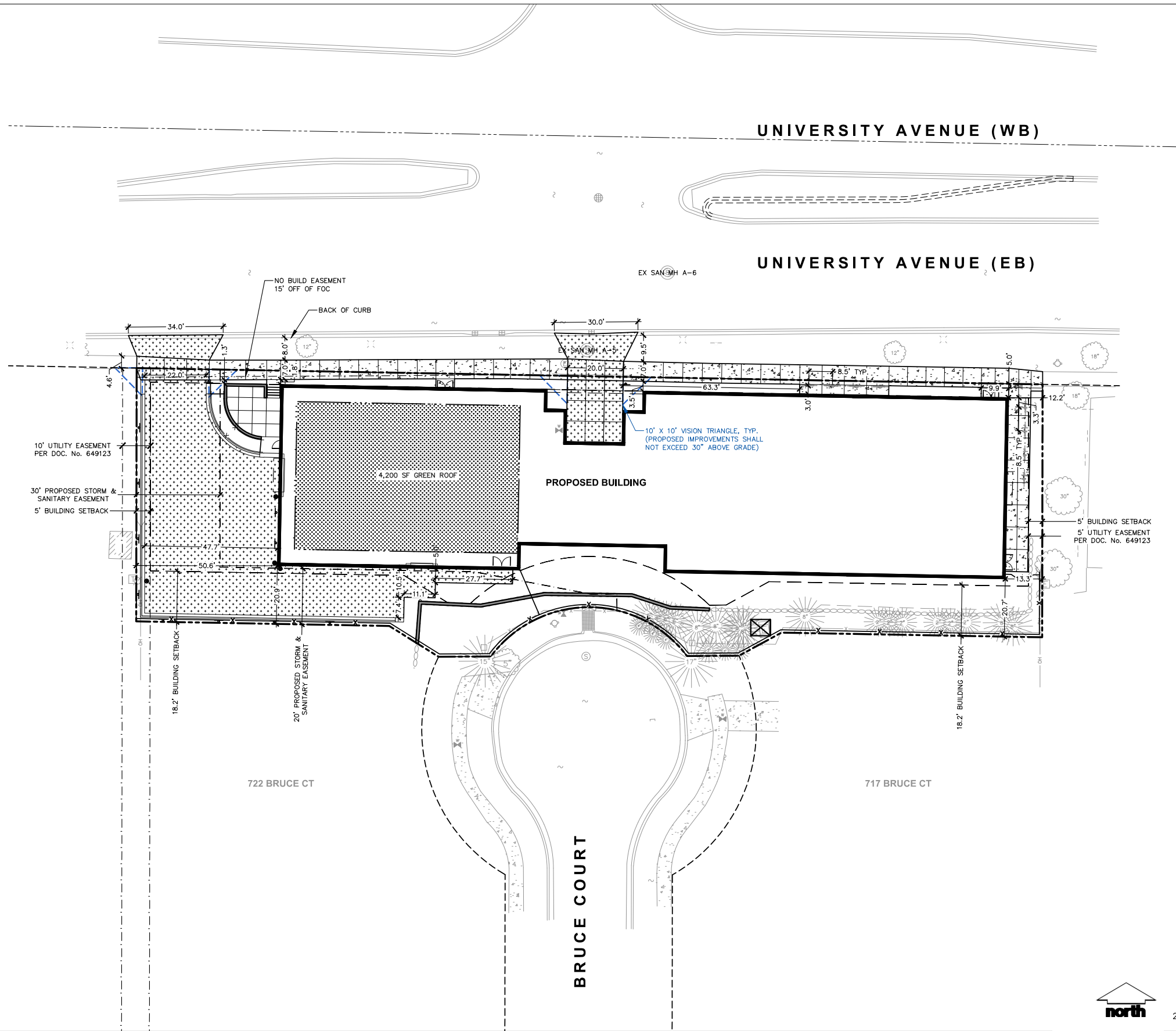
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SITE INFORMATION BLOCK	
SITE ADDRESS	3535 UNIVERSITY AVE
PROPERTY ACREAGE	0.69 ACRES ACRES
NUMBER OF BUILDING STORIES	16,040 SF
TOTAL BUILDING SQUARE FOOTAGE	16,040 SF
GREEN ROOF SQUARE FOOTAGE	4,200 SF
NUMBER OF PARKING STALLS	
UNDERGROUND	
LARGE	X
ACCESSIBLE	X
TOTAL UNDERGROUND	X
NUMBER OF SURFACE BICYCLE STALLS:	
	8
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	22,845 SF
EXISTING PERVIOUS SURFACE AREA	6,996 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.77
PROPOSED IMPERVIOUS SURFACE AREA	23,047 SF
PROPOSED PERVIOUS SURFACE AREA	6,794 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.77



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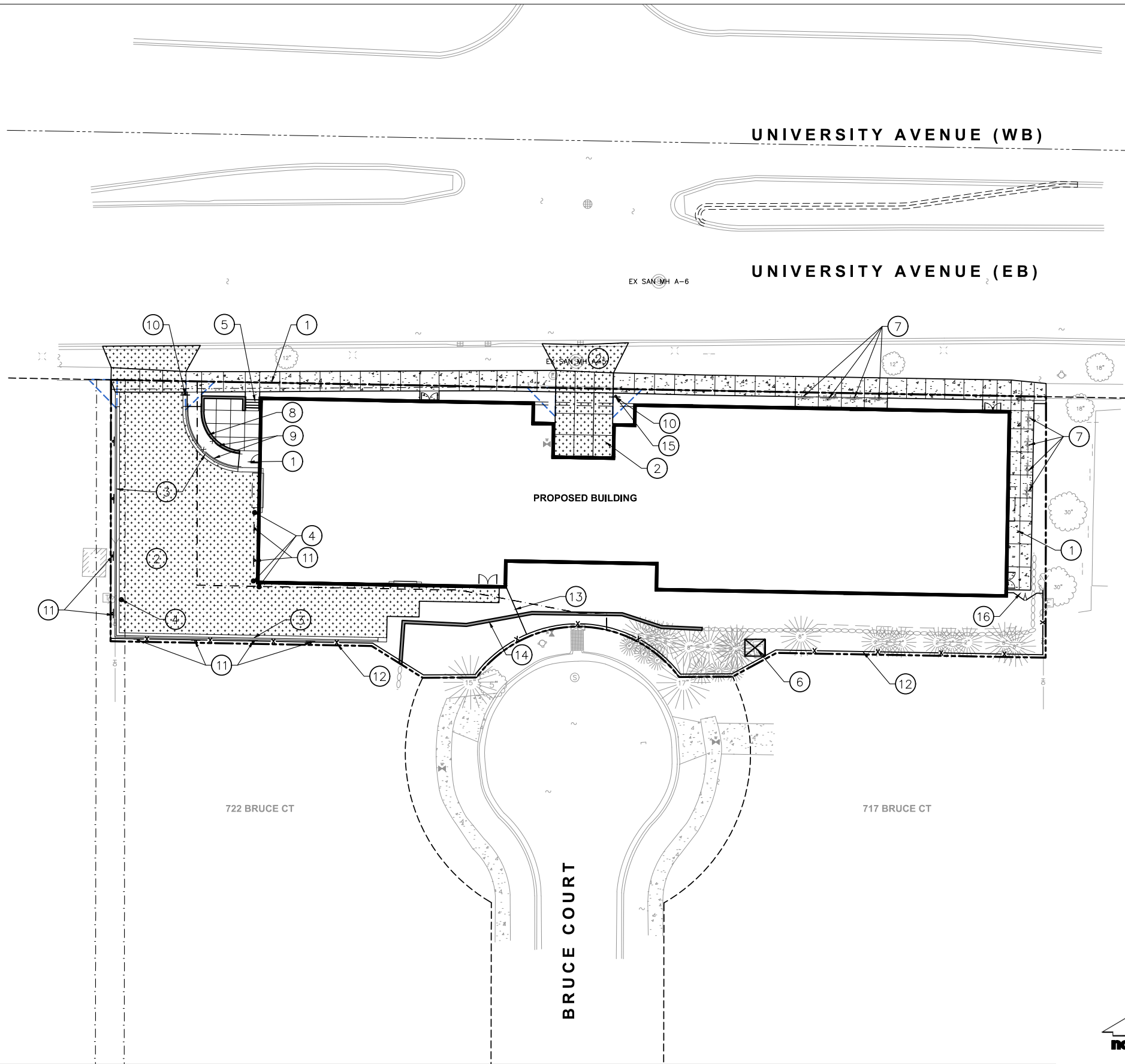
DIMENSIONED SITE PLAN

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- KEYNOTES**
1. CONCRETE SIDEWALK (REFER TO DETAIL)
  2. HEAVY DUTY CONCRETE PAVEMENT (REFER TO DETAIL)
  3. 18" STANDARD CURB & GUTTER (REFER TO DETAIL)
  4. BOLLARD (REFER TO DETAILS)
  5. STEPS WITH RAILING (REFER TO DETAIL)
  6. TRANSFORMER PAD
  7. BIKE RACK
  8. SEAT WALL
  9. RAILING
  10. R1-1 STOP SIGN
  11. R8-3 NO PARKING SIGN MOUNTED TO WALL FENCE OR POST
  12. 6' OPAQUE CEDAR FENCE
  13. 4' VINYL COATED CHAIN LINK FENCE
  14. RETAINING WALL - REUSE EXISTING WALL STONE
  15. R3-2 "NO LEFT TURN 7-9 AM, 4-6 PM" SIGN
  16. 4' FENCE W/ GATE BELOW RETAINING WALL



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ANNOTATED SITE PLAN

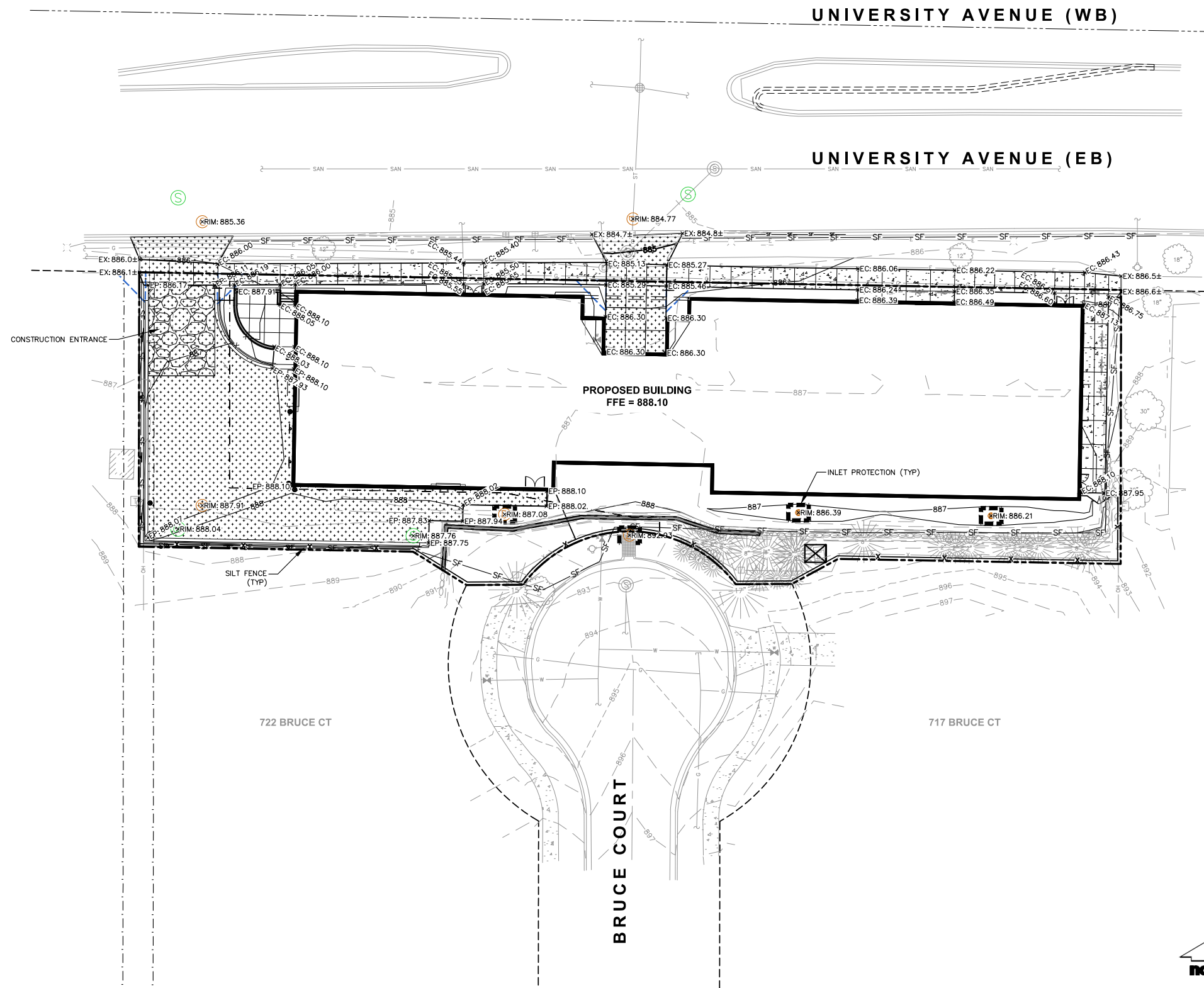
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NOTES

1. FLOOD PLAIN ELEVATION IS 887.6 AND MINIMUM OPENING ELEVATION IS 888.10



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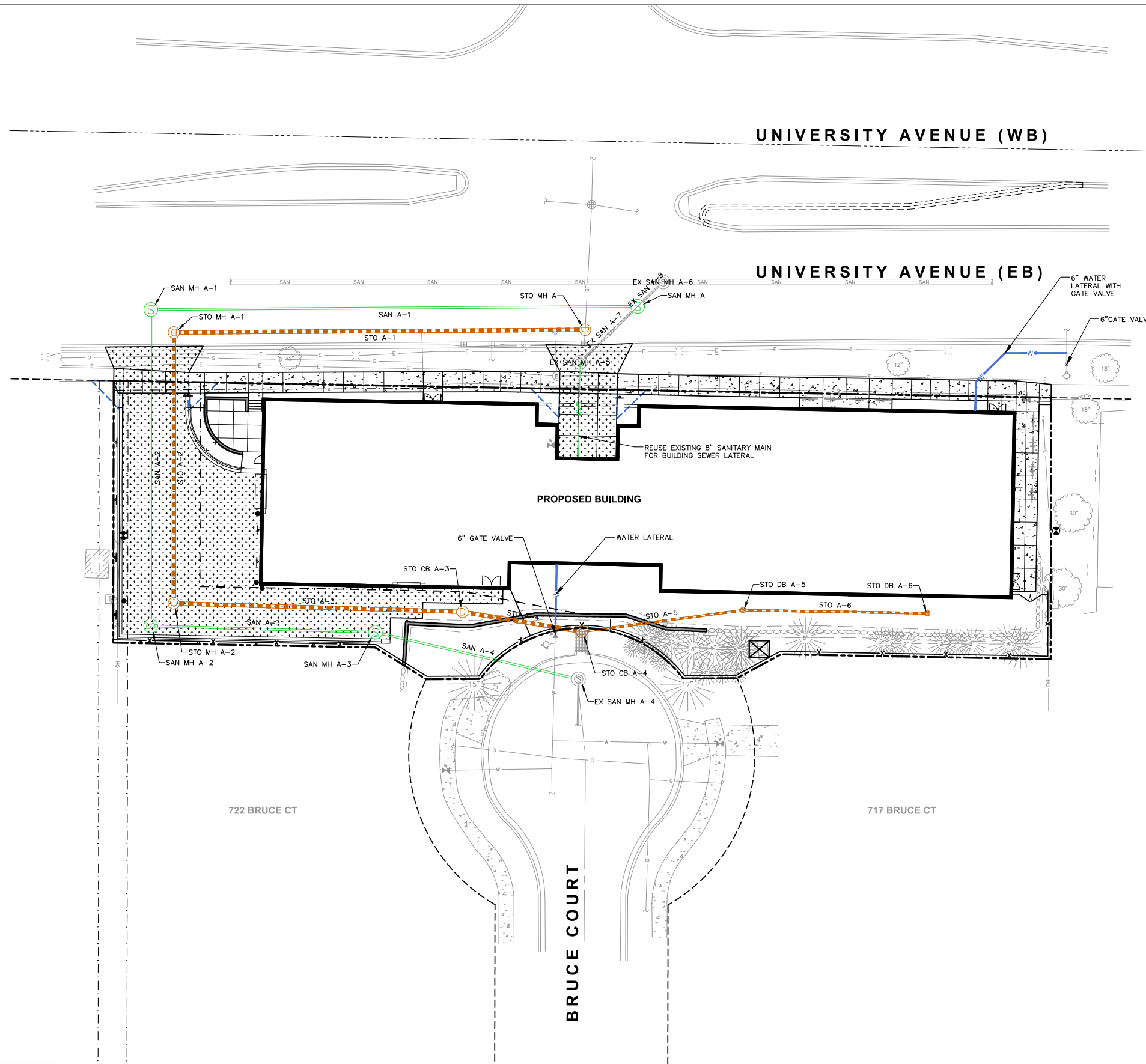


GRADING & EROSION CONTROL PLAN

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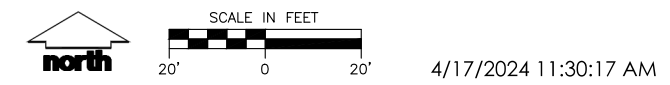


PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO CB A-3	887.08	W INV: 882.36 (15") E INV: 882.46 (15")	4.7	48 IN MH (FLAT)	R-1550 SOLID LID
STO CB A-4	893.48	W INV: 882.73 (15") E INV: 883.31 (8")	10.7	48 IN MH (FLAT)	R-1550 SOLID LID
STO DB A-5	886.39	W INV: 883.68 (8") E INV: 883.78 (8")	2.7	24 IN DB	Standard Standard
STO DB A-6	886.21	W INV: 884.19 (8")	2.0	24 IN DB	Standard Standard
STO MH A	884.77	W INV: 879.97 (15")	4.8	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-1	885.36	E INV: 880.90 (15") S INV: 881.00 (15")	4.5	48 IN MH (FLAT)	R-1550 SOLID LID
STO MH A-2	887.91	N INV: 881.61 (15") E INV: 881.71 (15")	6.3	48 IN MH (FLAT)	R-1550 SOLID LID

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO MH A-1	STO MH A	143'	880.90	879.97	0.65%	15 IN RCP
STO A-2	STO MH A-2	STO MH A-1	94'	881.61	881.00	0.65%	15 IN RCP
STO A-3	STO CB A-3	STO MH A-2	100'	882.36	881.71	0.65%	15 IN RCP
STO A-4	STO CB A-4	STO CB A-3	42'	882.73	882.46	0.65%	15 IN RCP
STO A-5	STO DB A-5	STO CB A-4	56'	883.68	883.31	0.65%	8 IN HDPE
STO A-6	STO DB A-6	STO DB A-5	64'	884.19	883.78	0.65%	8 IN HDPE

PROPOSED SANITARY SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
EX SAN MH A-4	892.99	W INV: 885.04 (8") S INV: 885.15 (6") N INV: 885.04 (8")	8.0	48 IN MH	R-1550 SOLID LID
EX SAN MH A-5	8.99	S INV: 879.44 (8") NE INV: 879.08 (8")	9.7	48 IN MH	R-1550 SOLID LID
EX SAN MH A-6	877.79	SW INV: 873.19 (8") W INV: 871.02 (24") E INV: 870.86 (24")	6.9	48 IN MH	R-1550 SOLID LID
SAN MH A	889.77	SW INV: 874.99 (8") W INV: 874.99 (8") NE INV: 874.98 (8")	14.8	48 IN MH	R-1550 SOLID LID
SAN MH A-1	885.41	E INV: 875.80 (8") S INV: 875.90 (8")	9.6	48 IN MH	R-1550 SOLID LID
SAN MH A-2	888.04	N INV: 877.00 (8") E INV: 877.10 (8")	11.0	48 IN MH	R-1550 SOLID LID
SAN MH A-3	887.76	W INV: 880.99 (8") E INV: 881.09 (8")	6.8	48 IN MH	R-1550 SOLID LID

PROPOSED SANITARY SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
EX SAN A-7	SAN MH A	EX SAN MH A-5	28'	874.99	879.08	14.70%	8 IN PVC
EX SAN A-8	EX SAN MH A-6	SAN MH A	12'	873.19	874.98	14.70%	8 IN PVC
SAN A-1	SAN MH A-1	SAN MH A	169'	875.80	874.99	0.48%	8 IN PVC
SAN A-2	SAN MH A-2	SAN MH A-1	110'	877.00	875.90	1.00%	8 IN PVC
SAN A-3	SAN MH A-3	SAN MH A-2	78'	880.99	877.10	5.00%	8 IN PVC
SAN A-4	EX SAN MH A-4	SAN MH A-3	72'	885.04	881.09	5.47%	8 IN PVC



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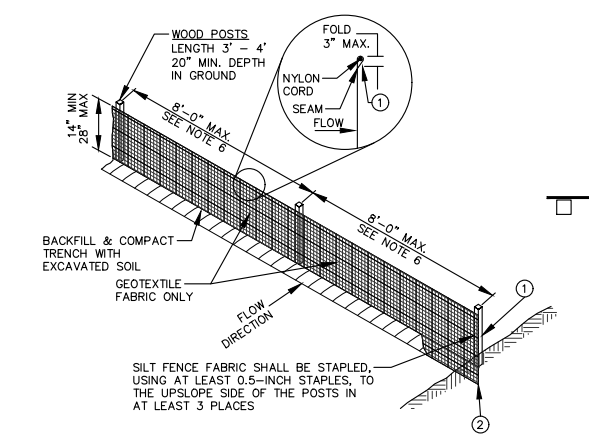
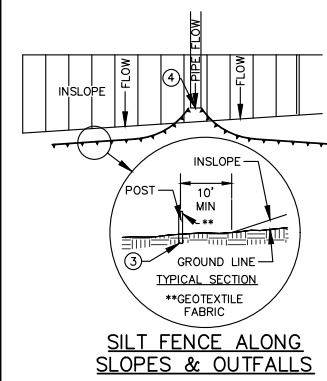


UTILITY PLAN

JLA PROJECT No: W23-0222  
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 REVISION DATE:

C500





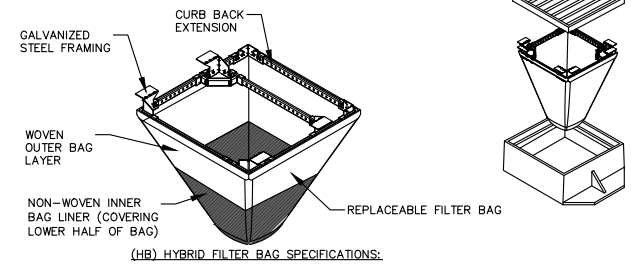
**NOTE:**  
 ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

REV. 7-01-2019

- GENERAL NOTES:**
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
  - FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
  - SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
  - SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
  - POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8-FEET FOR WOVEN & 3-FEET FOR NON-WOVEN)

**SILT FENCE**  
N.T.S.

**FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS**



**CATCH-IT Inlet Filter (Temporary Inlet Protection)**

Nucnah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)		ADS P/N
					HB (Hybrid Bag)	Bypass	
9087	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.9	5.8	62LCEXTHB
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCE304HB
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7	2.2	62MCE2316HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LCE3067HB
R-2501	Round (RD)	-26	-24	2.3	0.8	5.2	62MCE2501HB
R-1772/2580	Round (RD)	22.25-23.5	20.5-21	1.5	0.8	4.6	62MCE2225HB

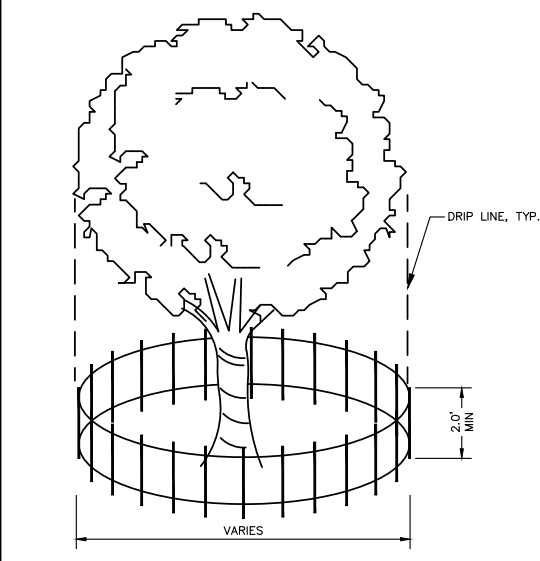
- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE
  - CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
  - DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
  - REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"
- MAINTENANCE GUIDELINES:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
  - REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
  - DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

**Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Roll Values)**

PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (INNER)
TENSILE STRENGTH	ASTM D4832	350 x 225 lbs	150 lbs
ELONGATION	ASTM D4832	20% x 15%	30%
CUR PUNCTURE	ASTM D4241	3000 lbs	85 lbs
TRIANGULAR TEAR	ASTM D4853	110 x 75 lbs	45 lbs
UV RESISTANCE	ASTM D4855	90%	70%
OPENING SIZE (AOS)	ASTM D4751	20 US STD-SIEVE	40 US STD-SIEVE
PERMEABILITY	ASTM D4841	1.5 sec <sup>-1</sup>	3.5 sec <sup>-1</sup>
WATER FLOW RATE	ASTM D4841	300 gal/hr/ft <sup>2</sup>	140 gal/hr/ft <sup>2</sup>
MINIMUM FILTER BAG VOLUME		2 CUBIC FT	

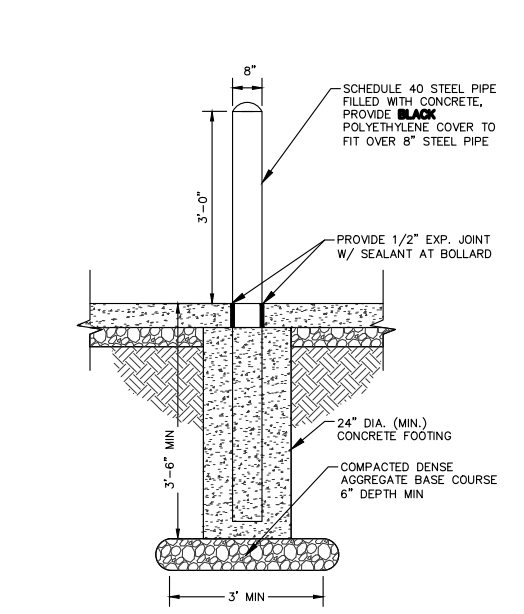


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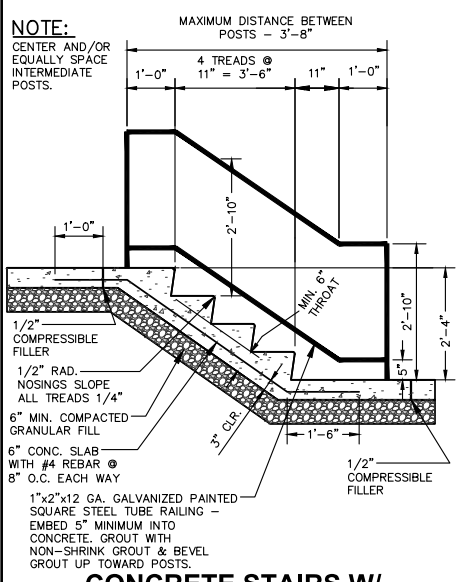


**NOTE:**  
 FENCE TO BE INSTALLED TO PROTECT EXISTING TREE(S) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE FENCE LOCATION WITH OWNER PRIOR TO INSTALLATION. SILT FENCE MATERIAL OR OTHER APPROVED BARRIER MATERIAL MAY BE USED.

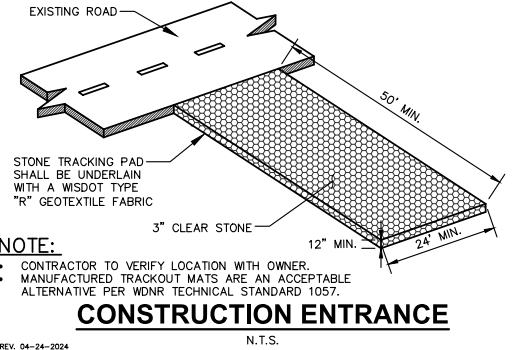
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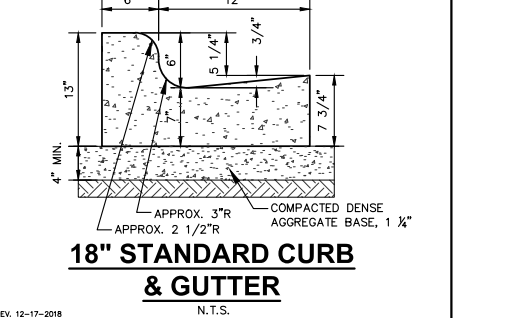
REV. 12-17-2018



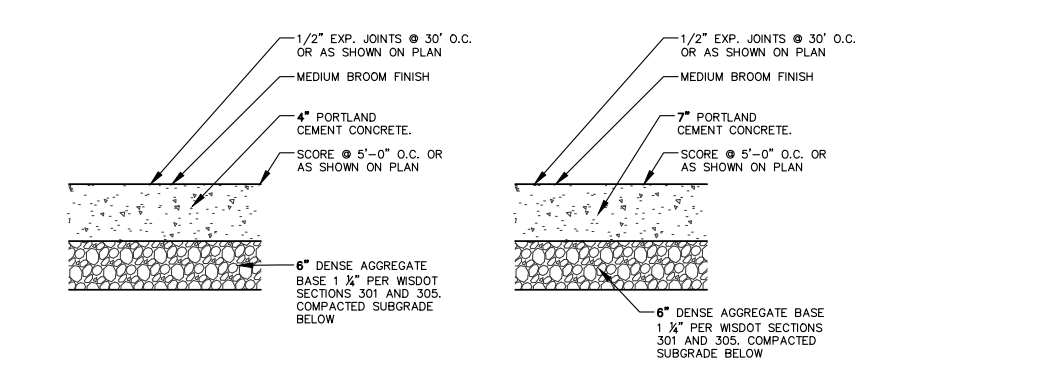
REV. 11-20-2018



REV. 04-24-2024



REV. 12-17-2018



- GENERAL NOTES:**
- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY CGC INC DATED [DATE] IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
  - WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
    - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
    - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.

**PAVEMENT SECTIONS**  
N.T.S.

REV. 7-01-2019

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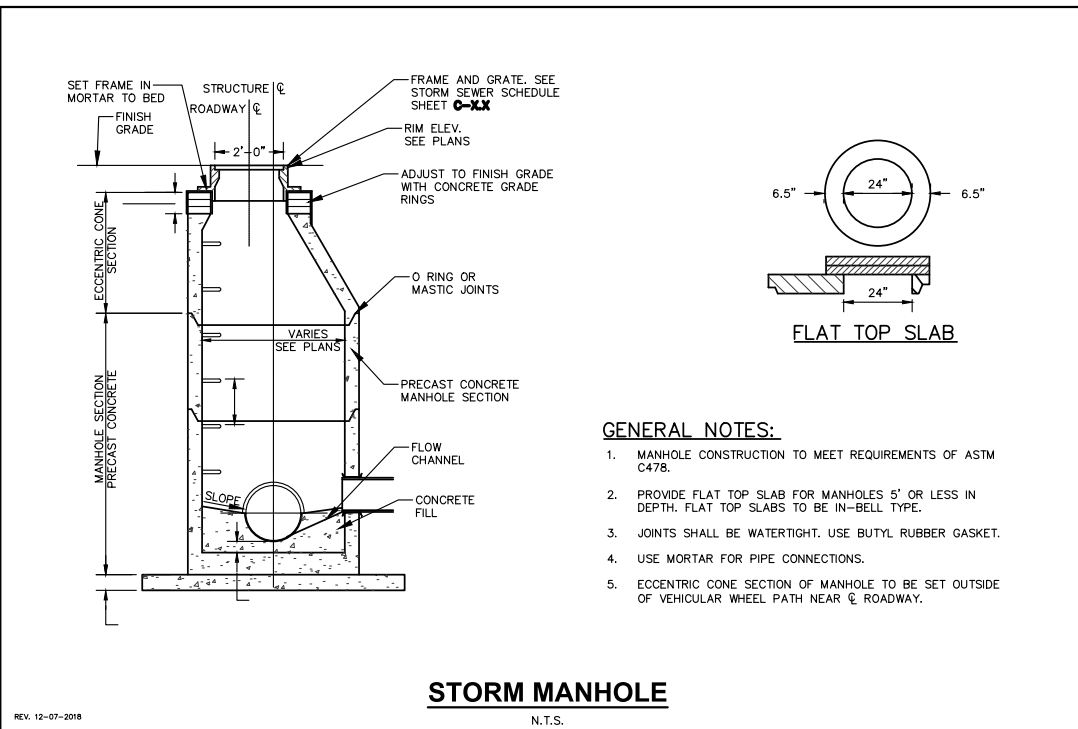
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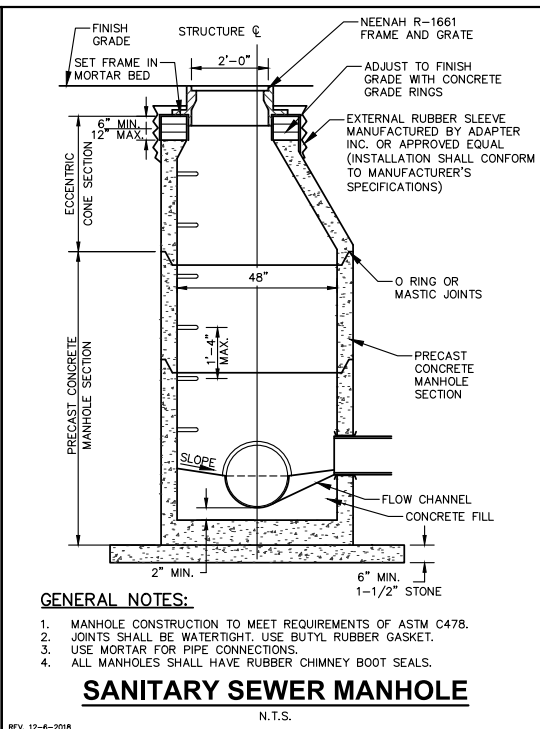
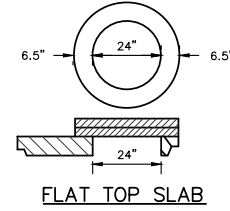


DETAILS	JLA PROJECT No:	W23-0222	C600
	DATE OF ISSUANCE:	5/28/24	
	REVISION DATE:		

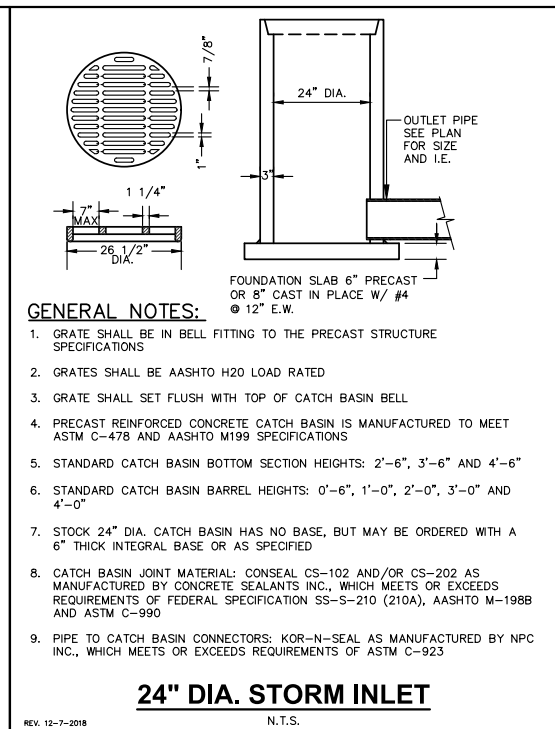




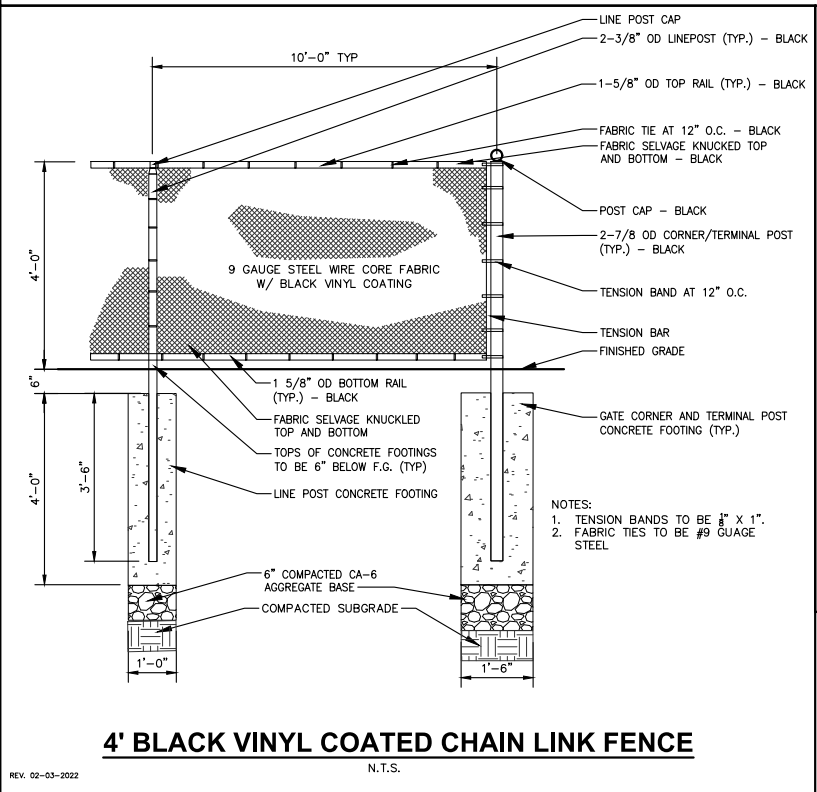
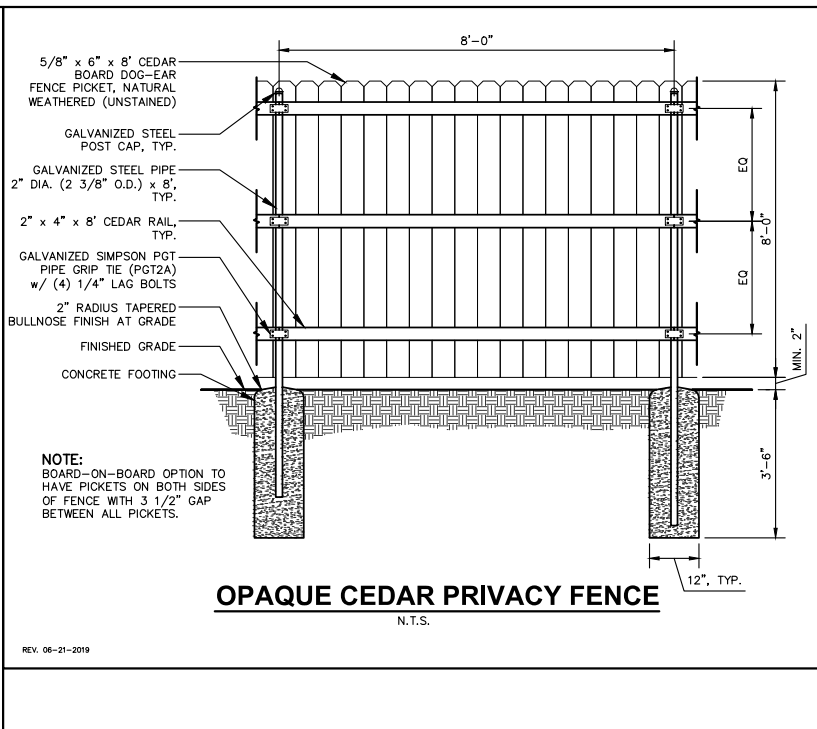
- GENERAL NOTES:**
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
  2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
  3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
  4. USE MORTAR FOR PIPE CONNECTIONS.
  5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR  $\phi$  ROADWAY.



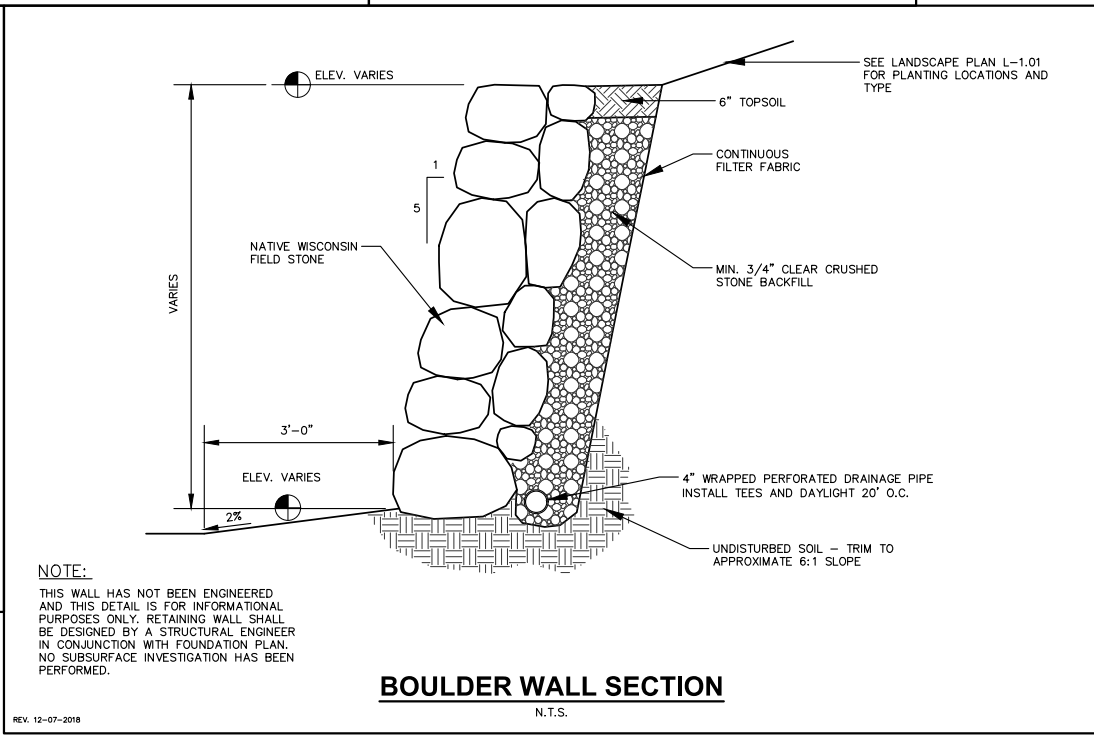
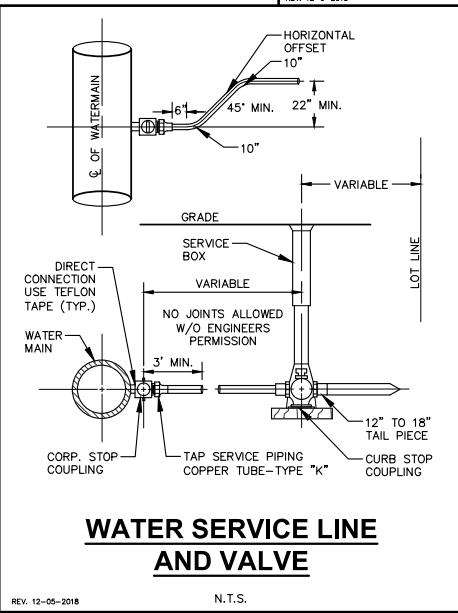
- GENERAL NOTES:**
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
  2. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
  3. USE MORTAR FOR PIPE CONNECTIONS.
  4. ALL MANHOLES SHALL HAVE RUBBER CHIMNEY BOOT SEALS.



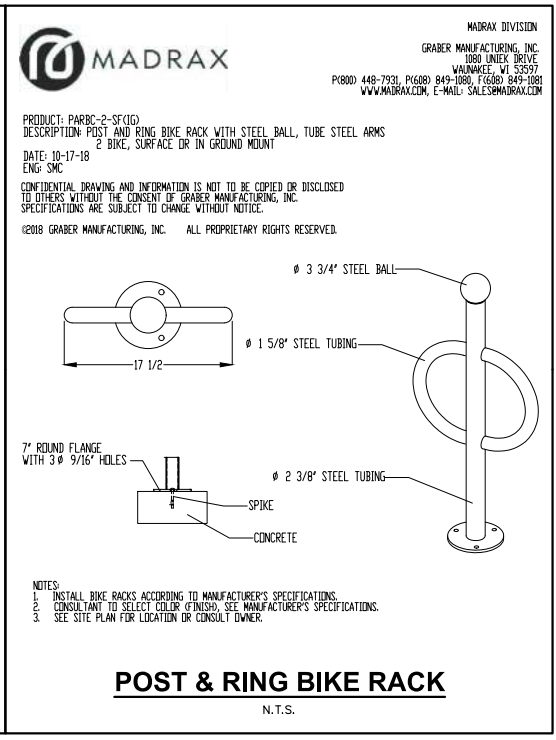
- GENERAL NOTES:**
1. GRATE SHALL BE IN BELL FITTING TO THE PRECAST STRUCTURE SPECIFICATIONS
  2. GRATES SHALL BE AASHTO H20 LOAD RATED
  3. GRATE SHALL SET FLUSH WITH TOP OF CATCH BASIN BELL
  4. PRECAST REINFORCED CONCRETE CATCH BASIN IS MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS
  5. STANDARD CATCH BASIN BOTTOM SECTION HEIGHTS: 2'-6", 3'-6" AND 4'-6"
  6. STANDARD CATCH BASIN BARREL HEIGHTS: 0'-6", 1'-0", 2'-0", 3'-0" AND 4'-0"
  7. STOCK 24" DIA. CATCH BASIN HAS NO BASE, BUT MAY BE ORDERED WITH A 6" THICK INTEGRAL BASE OR AS SPECIFIED
  8. CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 AS MANUFACTURED BY CONCRETE SEALANTS INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF FEDERAL SPECIFICATION SS-5-210 (210A), AASHTO M-199B AND ASTM C-990
  9. PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL AS MANUFACTURED BY NPC INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923



- NOTES:**
1. TENSION BANDS TO BE 1" X 1".
  2. FABRIC TIES TO BE #9 GAUGE STEEL



**NOTE:**  
THIS WALL HAS NOT BEEN ENGINEERED AND THIS DETAIL IS FOR INFORMATIONAL PURPOSES ONLY. RETAINING WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER IN CONJUNCTION WITH FOUNDATION PLAN. NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED.



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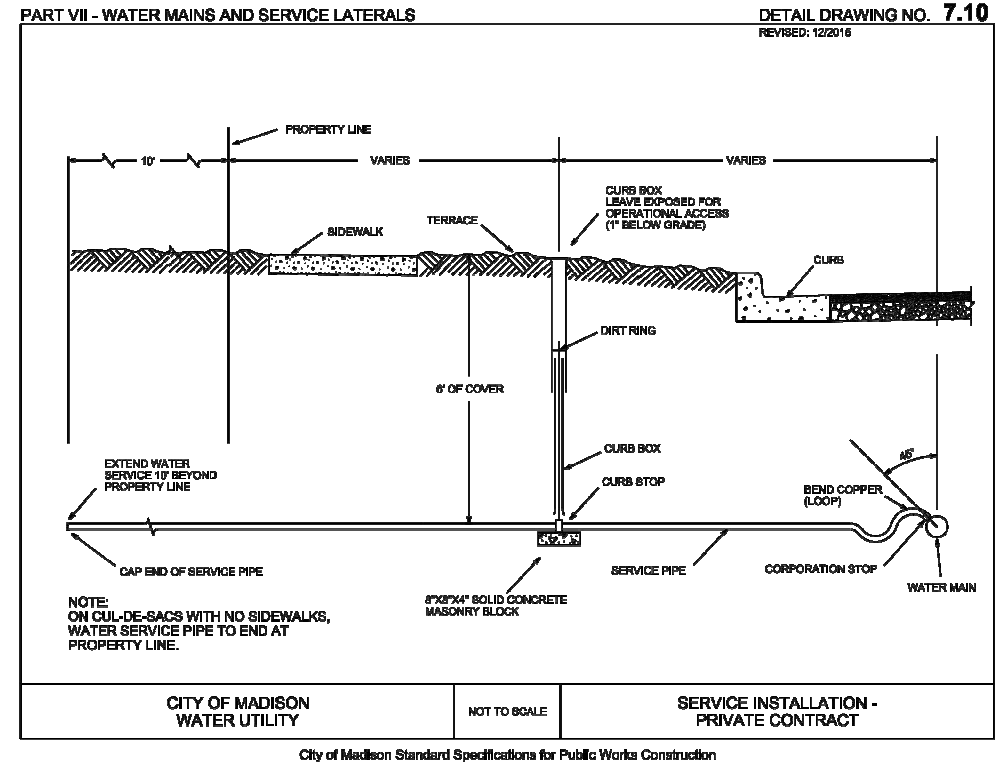
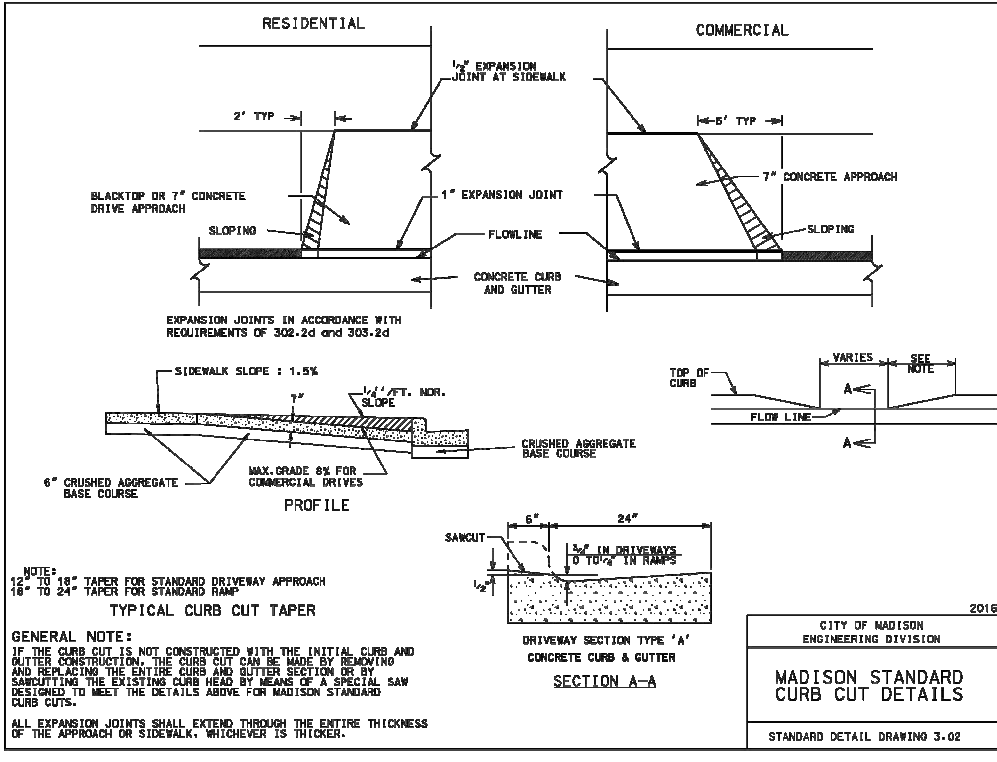
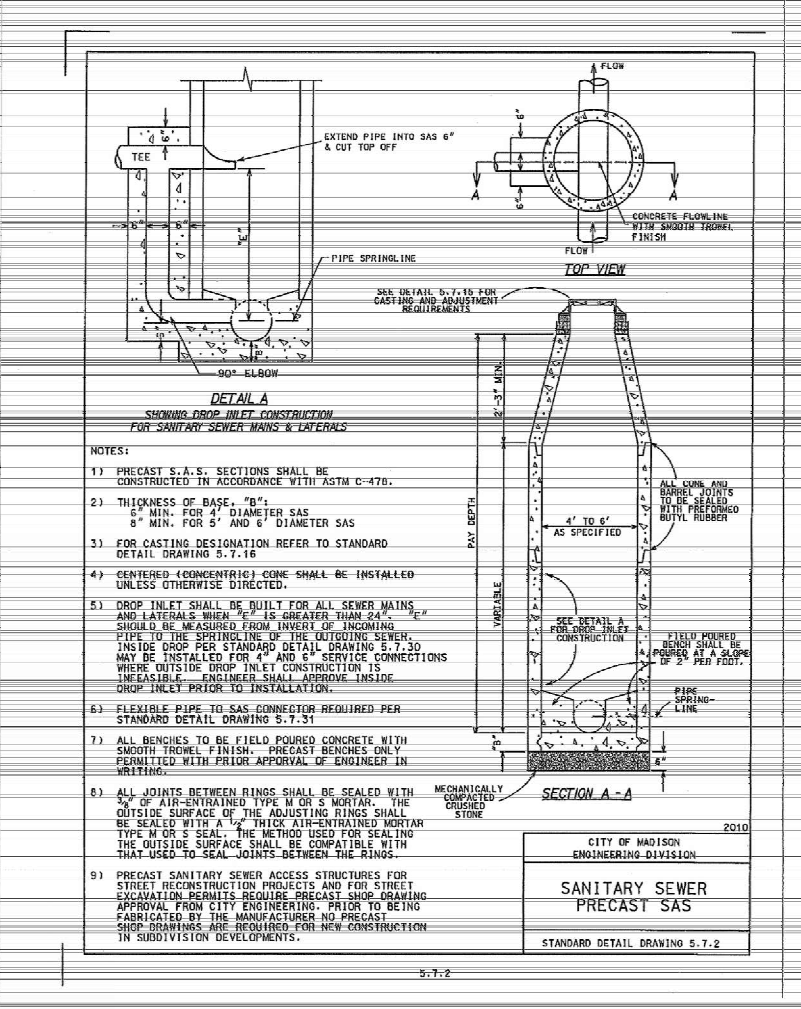
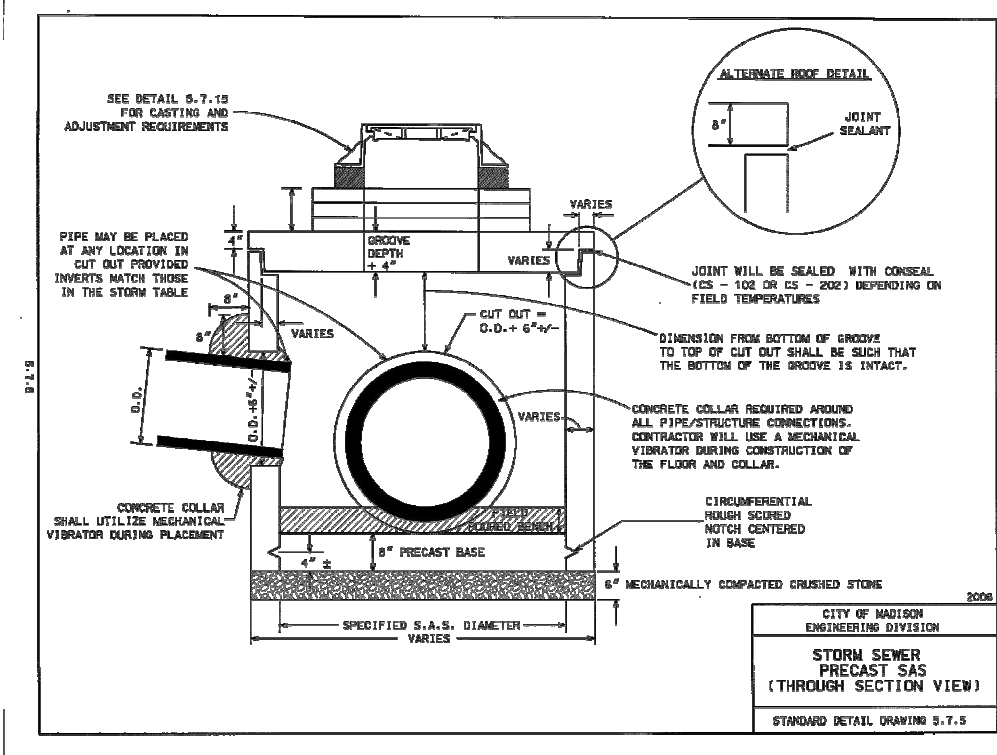
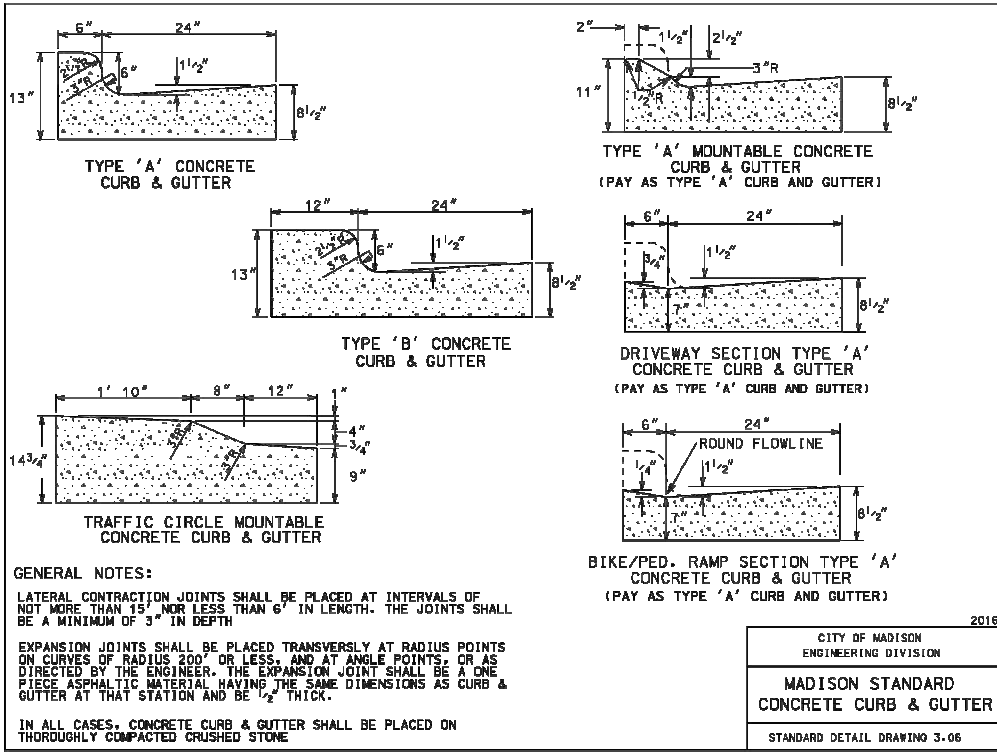


UTILITY DETAILS

JLA PROJECT No:	W23-0222
DATE OF ISSUANCE:	5/28/24
REVISION DATE:	

C601







**LANDSCAPE CALCULATIONS AND DISTRIBUTIONS**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: **7,155 Square Feet**  
 Total landscape points required: **120 Points**

(B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres:

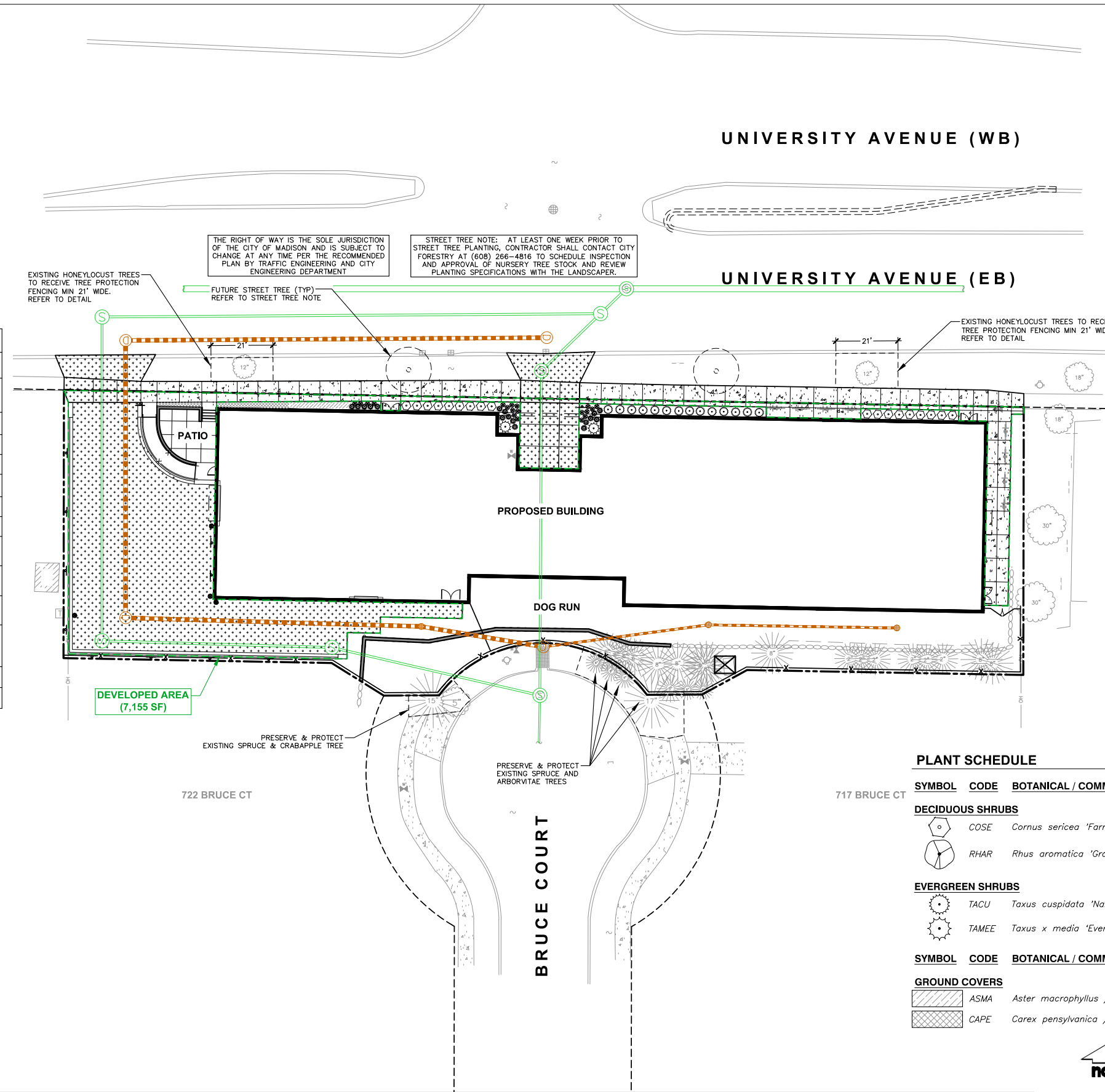
Total square footage of developed area: \_\_\_\_\_  
 Five (5) acres: \_\_\_\_\_  
 First five (5) developed acres: \_\_\_\_\_  
 Remainder of developed area: \_\_\_\_\_  
 Total landscape points required: \_\_\_\_\_

(C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area:

Total square footage of developed area: \_\_\_\_\_  
 Total landscape points required: \_\_\_\_\_

**TABULATION OF LANDSCAPE CREDITS AND POINTS**

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	0	0
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	0	0
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	0	0
UPRIGHT EVERGREEN SHRUB	3-4' TALL, MIN.	10	18	180	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	21	63
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	16	64
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	0	0
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE	14 POINTS / CAL. (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICALLY ACCESSIBLE DEVELOPED AREA. CANNOT COMPOSE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
<b>SUBTOTAL</b>				<b>180</b>		<b>127</b>
<b>TOTAL NUMBER OF POINTS PROVIDED</b>				<b>307</b>		



**GENERAL NOTES**

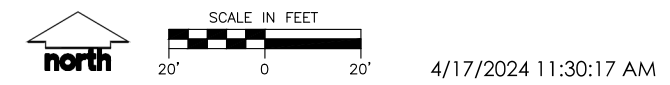
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

**CONTRACTOR NOTES**

- REFERENCE SHEET C1.0 FOR LEGEND.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5- FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/BUSINESS/PW/SPECS.CFM)
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- ALL LANDSCAPE AREAS TO RECEIVE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED.

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
<b>DECIDUOUS SHRUBS</b>					
	COSE	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	B & B	Min. 12"-24"	18
	RHAR	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	* #3	Min. 12"-24"	3
<b>EVERGREEN SHRUBS</b>					
	TACU	Taxus cuspidata 'Nana' / Dwarf Japanese Yew	B & B	Min. 24" Ht.	14
	TAMEE	Taxus x media 'Everlow' / Everlow Yew	#3	Min. 12" Wide	2
<b>GROUND COVERS</b>					
	ASMA	Aster macrophyllus / Bigleaf Aster			
	CAPE	Carex pensylvanica / Pennsylvania Sedge			



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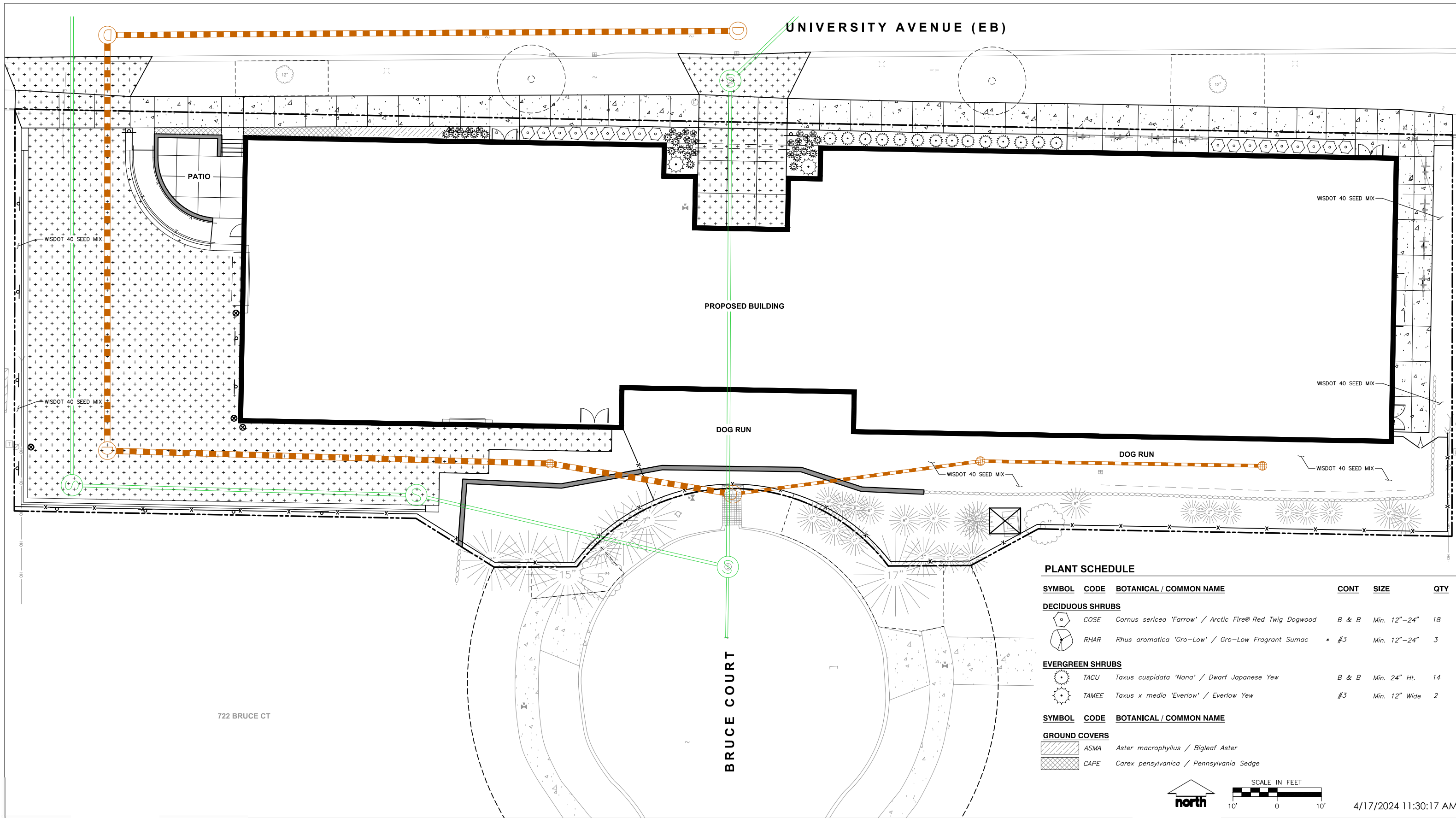


OVERALL LANDSCAPE PLAN

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REVISION DATE:	

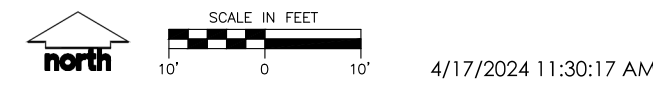
L100





**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
<b>DECIDUOUS SHRUBS</b>					
	COSE	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	B & B	Min. 12"-24"	18
	RHAR	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	* #3	Min. 12"-24"	3
<b>EVERGREEN SHRUBS</b>					
	TACU	Taxus cuspidata 'Nana' / Dwarf Japanese Yew	B & B	Min. 24" Ht.	14
	TAMEE	Taxus x media 'Everlow' / Everlow Yew	#3	Min. 12" Wide	2
<b>GROUND COVERS</b>					
	ASMA	Aster macrophyllus / Bigleaf Aster			
	CAPE	Carex pennsylvanica / Pennsylvania Sedge			



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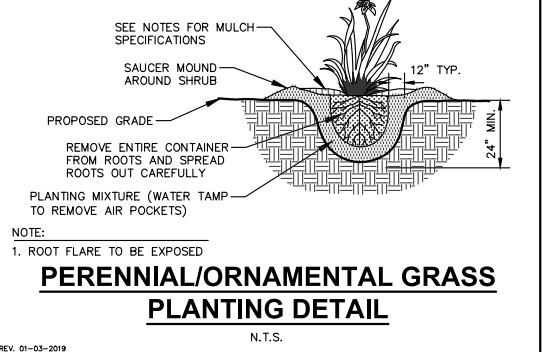
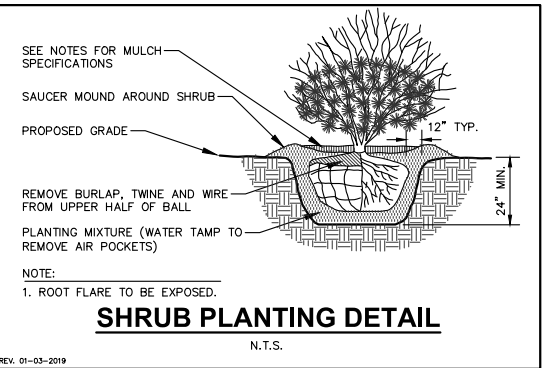
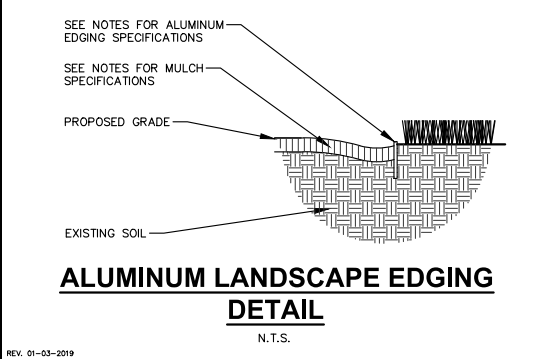
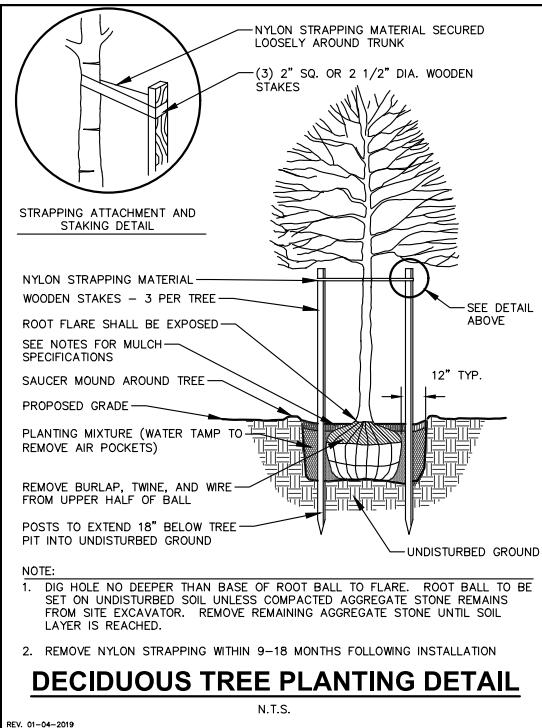
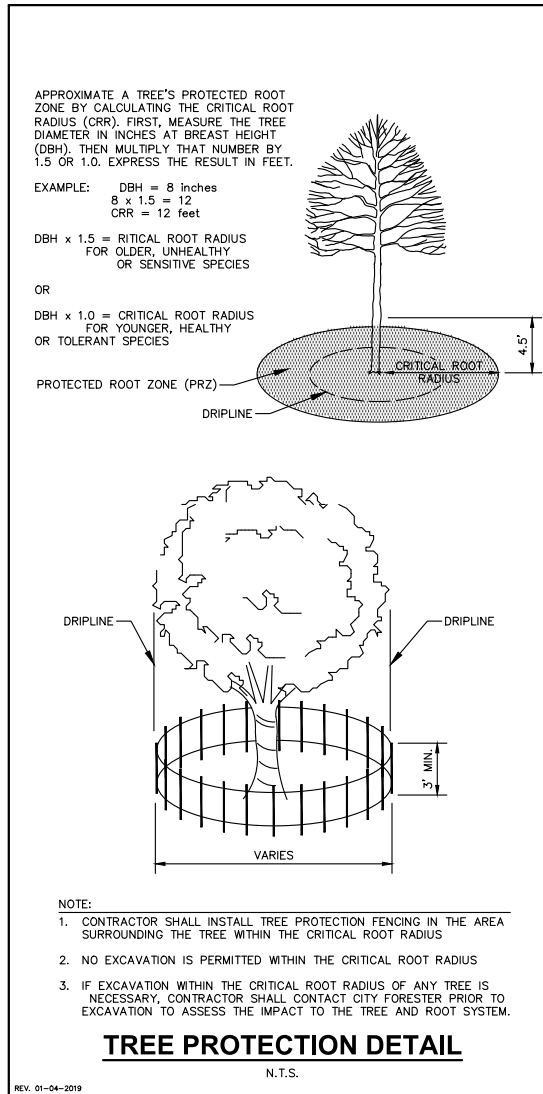


DETAILED LANDSCAPE PLAN

JLA PROJECT No:	W23-0222
DATE OF ISSUANCE:	5/28/24
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L101





**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAIMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - WISDOT #40 SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND WISDOT #40 SEED MIX, OR APPROVED EQUAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED AS DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
- MATERIALS - (ALTERNATE 1): TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**LANDSCAPING**

LANDSCAPING TO BE INSTALLED AFTER COMPLETION OF THE BUILDING

INSTALLATION OF LANDSCAPING NOT TO AFFECT OPERATIONS OF THE BUILDING

**TREE WATERING PROGRAM:**

BASE BID - WATERING OF ALL TREES ON A REGULAR WEEKLY BASIS. CONTRACTOR TO KEEP A LOG OR JOURNAL OF A RECORD OF DATES AND QUANTITIES OF SUPPLEMENTAL WATERING EFFORTS

ALTERNATE BID #1 - INSTALLATION OF ONE (1) WATERING BAG PER TREE. DOCUMENTATION OF WEEKLY WATERING PROGRAM REQUIRED

ALTERNATE BID #2 - INSTALLATION OF TWO (2) AERATION WATERING TUBES PER TREE. DOCUMENTATION OF WEEKLY WATERING PROGRAM REQUIRED

\*SEE LANDSCAPE MATERIALS NOTES FOR PRODUCTS



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LANDSCAPE DETAILS & NOTES

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UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)

FUTURE STREET TREE (TYP)  
SPECIES TO BE DETERMINED  
BY CITY FORESTRY

Aerial Fire Truck

PROPOSED 4' CHAIN LINK FENCE GATE

PROPOSED BUILDING  
5 STORY

DOG RUN

BRUCE COURT

PROPOSED 4' CHAIN LINK FENCE  
PROPOSED 6' OPAQUE CEDAR FENCE  
PROPOSED BOULDER WALL  
EXISTING BOULDER WALL



**City of Madison Fire Department**

314 W Dayton Street, Madison, WI 53703  
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 3535 University Ave.  
Contact Name & Phone #: Andrew Geffert, 608.893.0086

**FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET**

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-foot clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus. a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

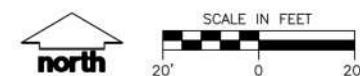
This worksheet is based on MGO 34.503 and IFC 2021 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 06/2022

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- 26' WIDE FIRE LANE - AERIAL APPARATUS
- HYDRANT LOCATION

**NOTES:**  
ALL RED HOSE LAY ROUTES 500-FEET OR LESS.  
ALL BLUE HOSE LAY ROUTES 250-FEET OR LESS.



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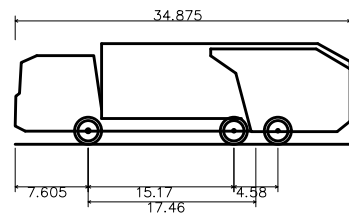
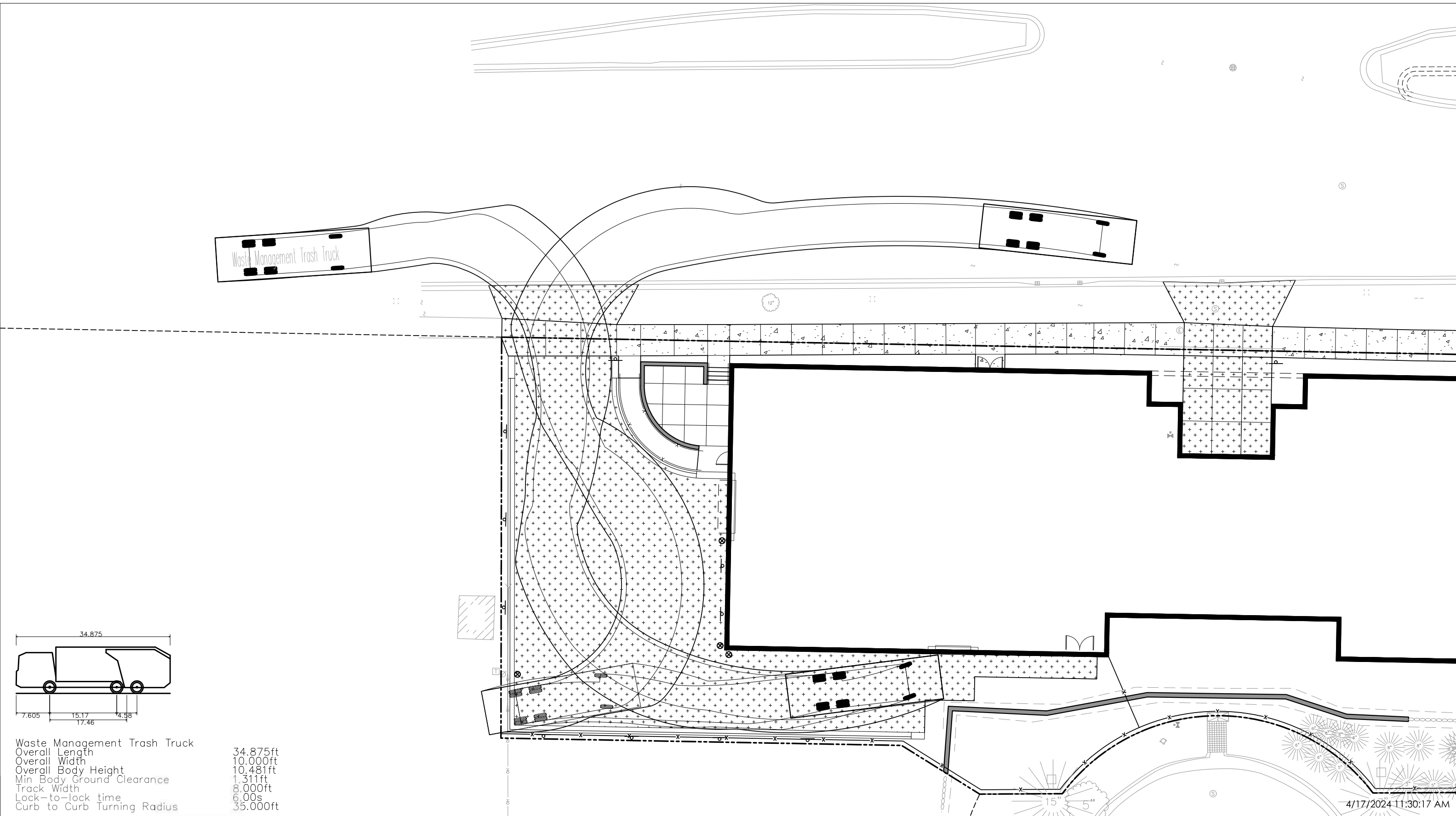


**FIRE ACCESS**

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**EX.1**

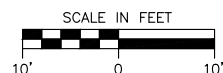




Waste Management Trash Truck  
 Overall Length 34.875ft  
 Overall Width 10.000ft  
 Overall Body Height 10.481ft  
 Min Body Ground Clearance 1.311ft  
 Track Width 8.000ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 35.000ft



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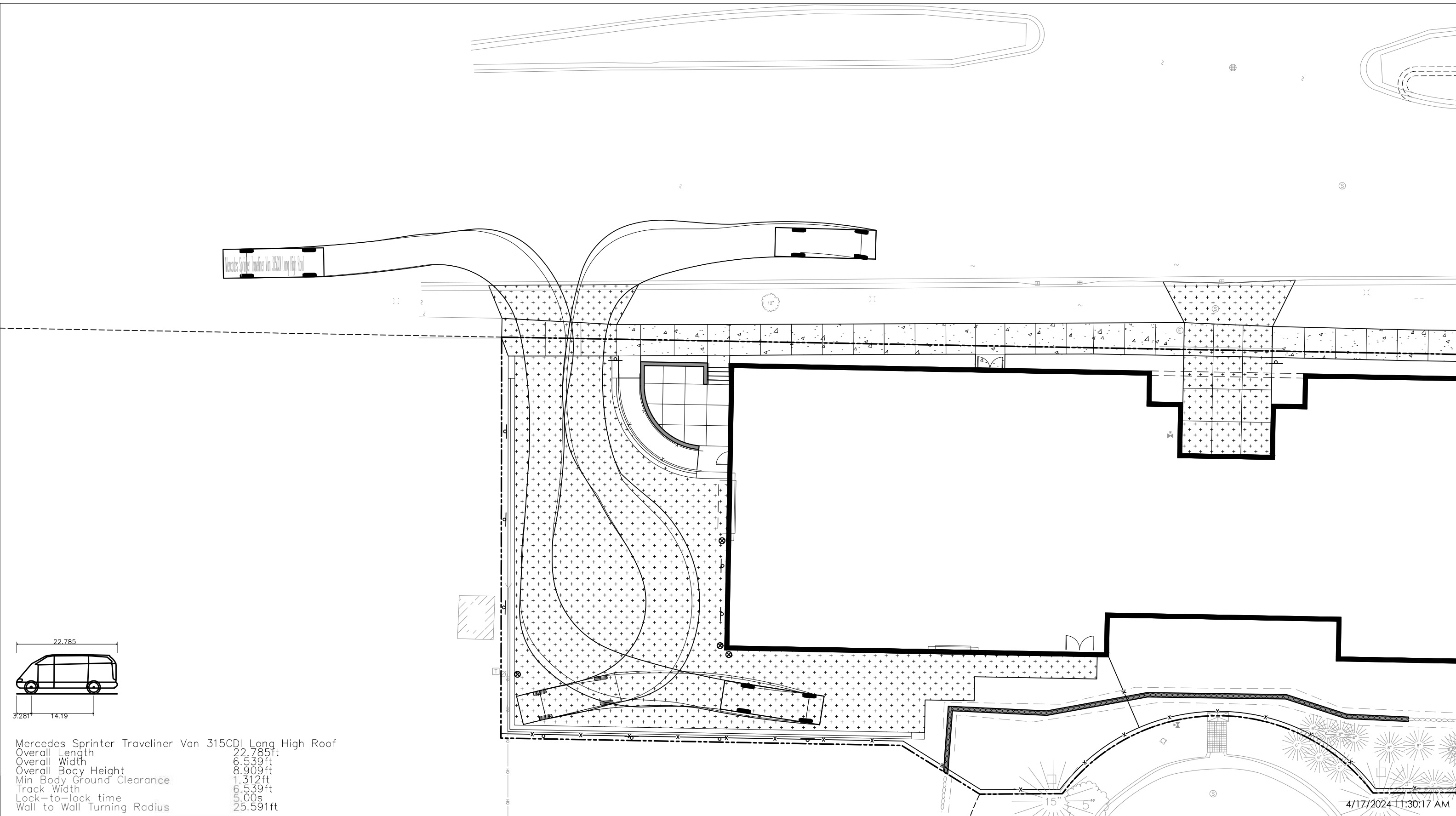
TRASH TRUCK TURN MOVEMENT

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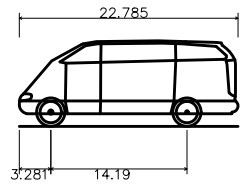
EX.2

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Mercedes Sprinter Traveliner Van 315CDI Long High Roof



Mercedes Sprinter Traveliner Van 315CDI Long High Roof  
 Overall Length 22.785ft  
 Overall Width 6.539ft  
 Overall Body Height 8.909ft  
 Min Body Ground Clearance 1.312ft  
 Track Width 6.539ft  
 Lock-to-lock time 5.00s  
 Wall to Wall Turning Radius 25.591ft

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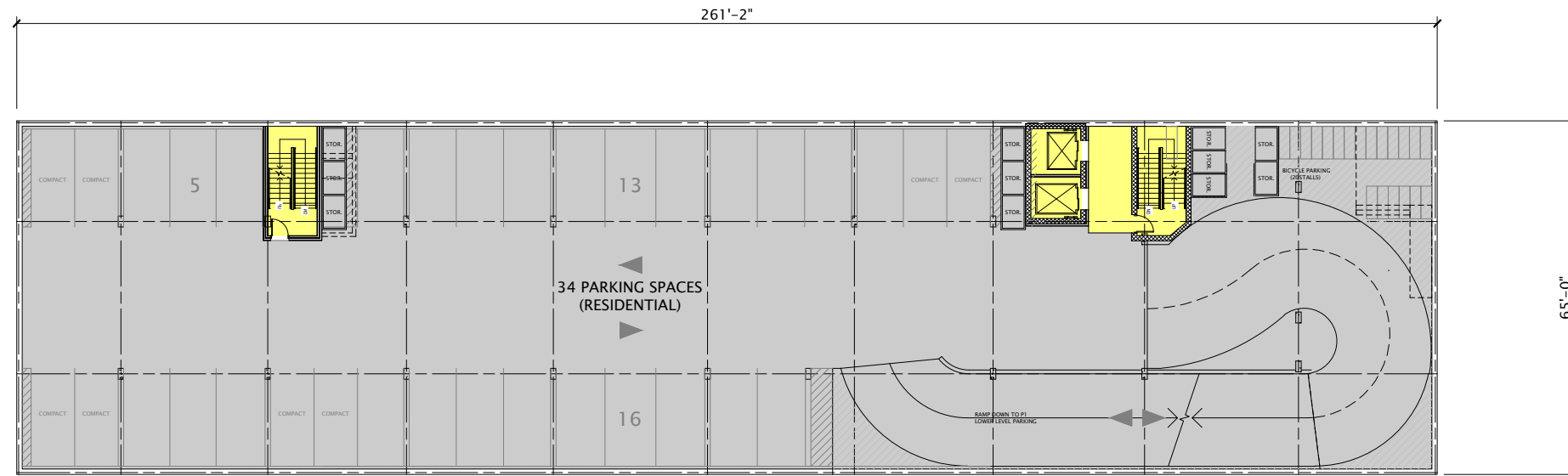


DELIVERY TRUCK TURN MOVEMENT

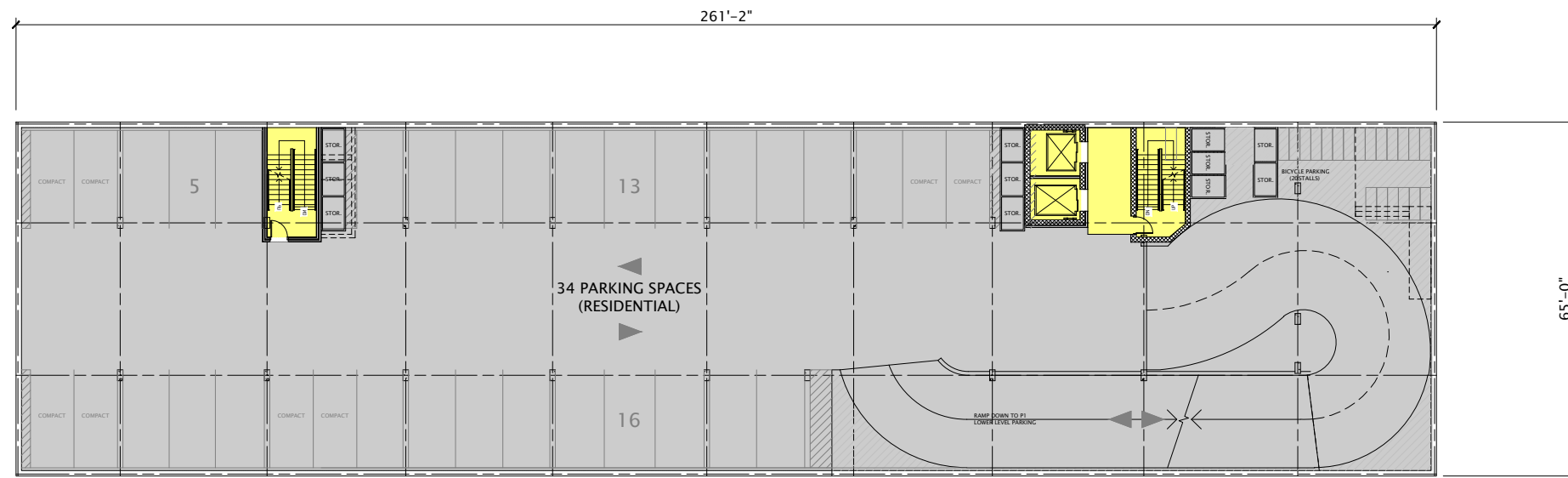
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EX.3

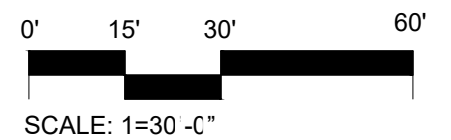




1 LOWER LEVEL (P1) FLOOR PLANS  
1" = 30'-0"



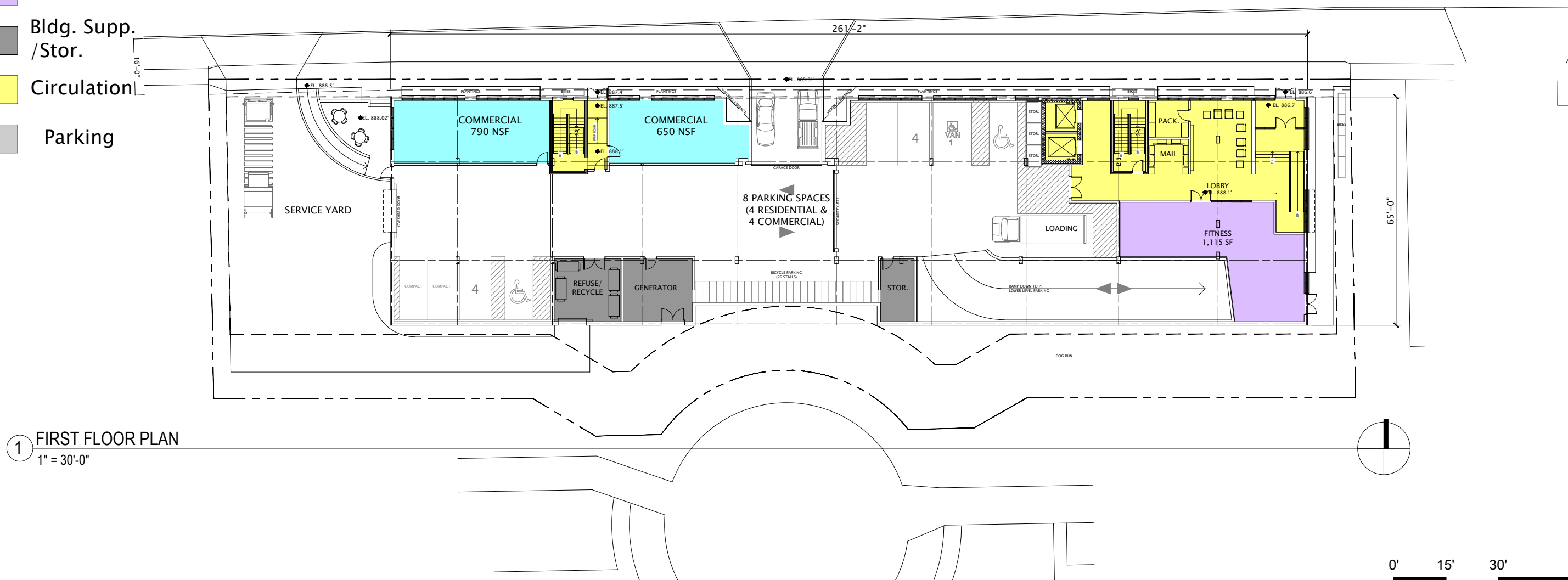
2 LOWER LEVEL (P2) FLOOR PLANS  
1" = 30'-0"



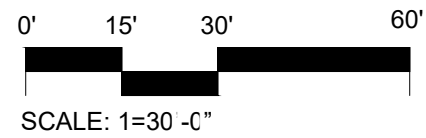


- Studio
- 1 Bedroom
- 2 Bedroom
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

# UNIVERSITY AVENUE



1 FIRST FLOOR PLAN  
1" = 30'-0"



3575 UNIVERSITY AVENUE

FIRST FLOOR PLAN

JLA PROJECT No: W23-0222

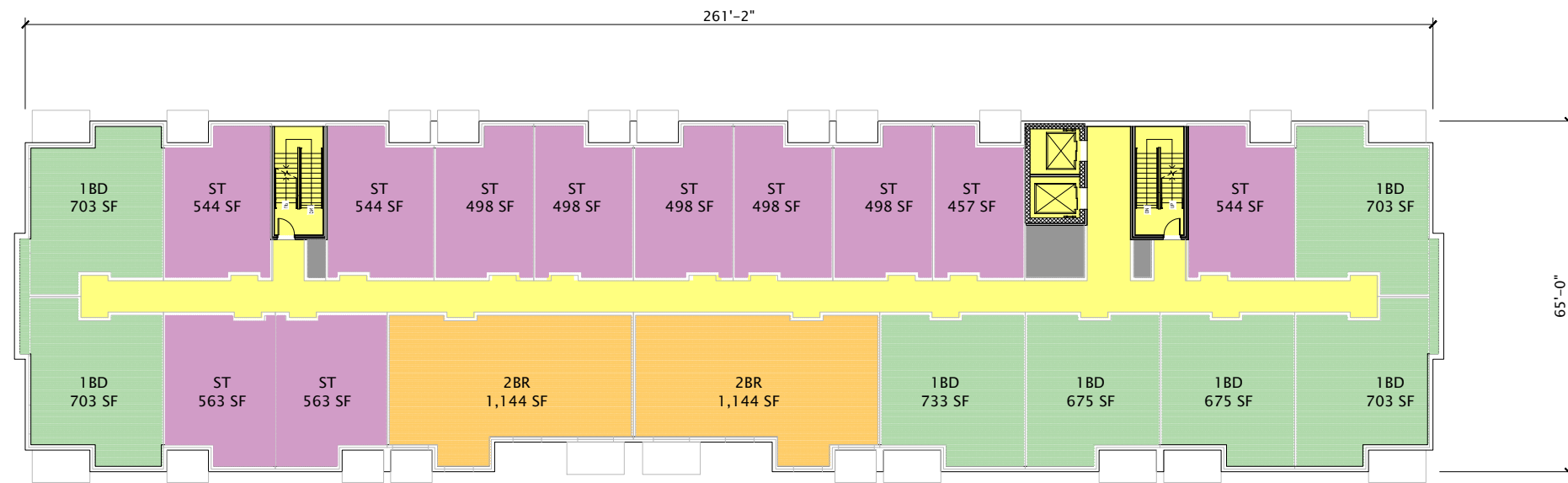
CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U101

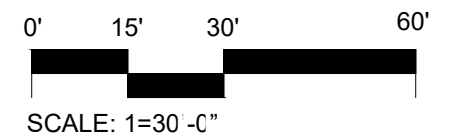
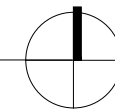
5/28/24



- Studio
- 1 Bedroom
- 2 Bedroom
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking

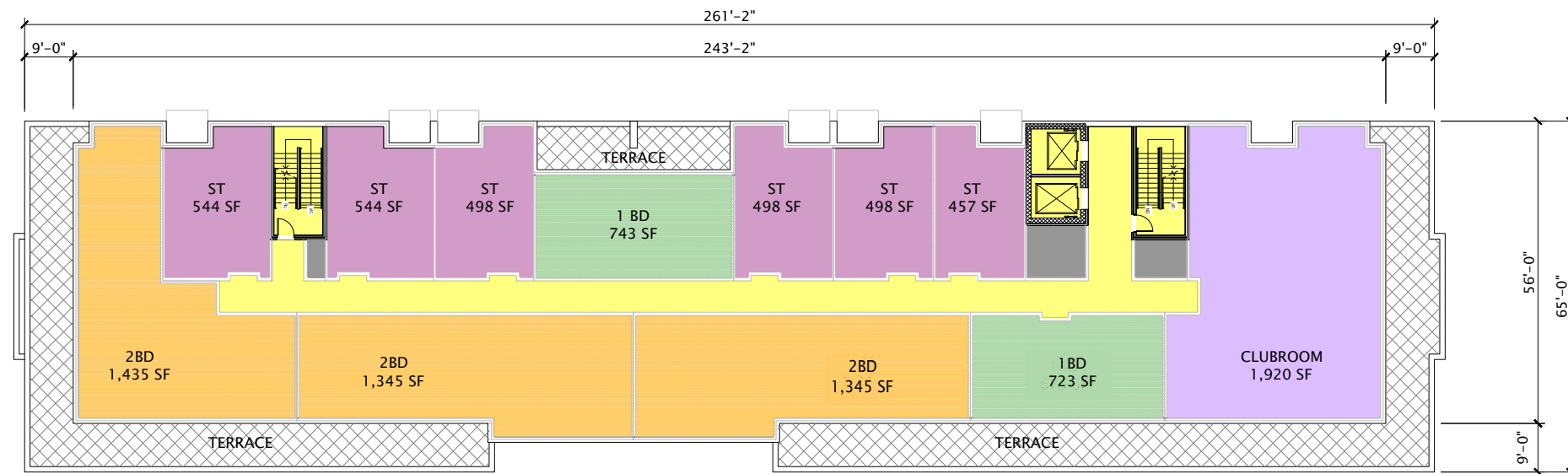


1 SECOND - FOURTH FLOOR PLANS  
1" = 30'-0"

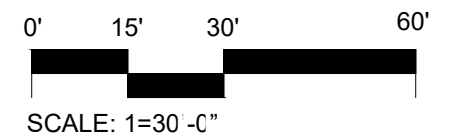
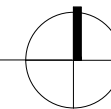




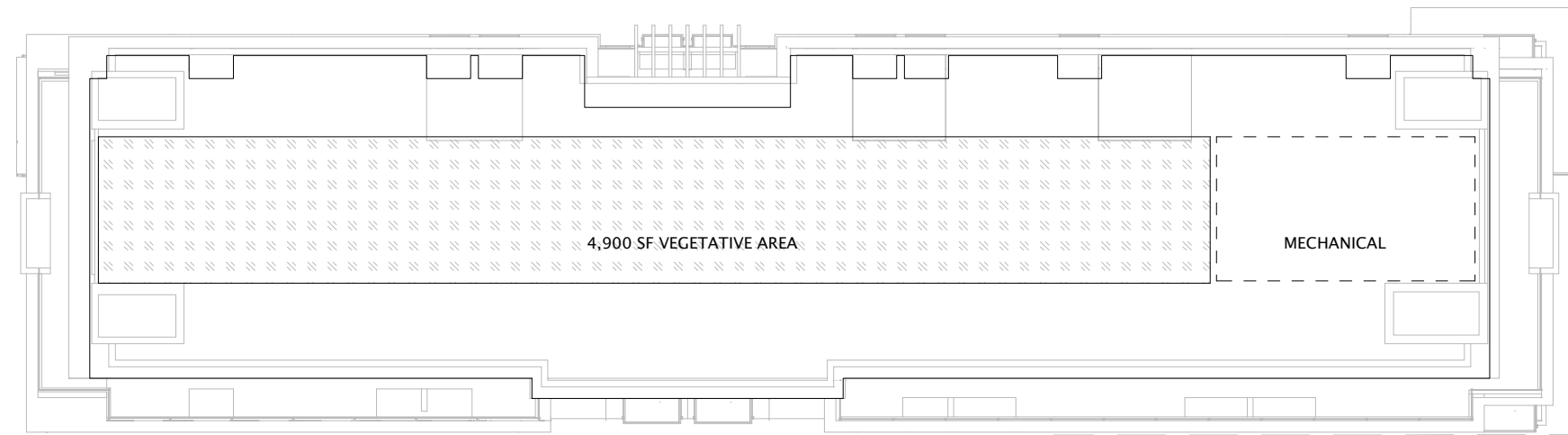
- Studio
- 1 Bedroom
- 2 Bedroom
- Commercial
- Amenities
- Bldg. Supp. /Stor.
- Circulation
- Parking



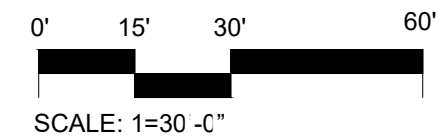
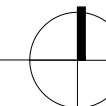
1 FIFTH FLOOR PLAN  
1" = 30'-0"

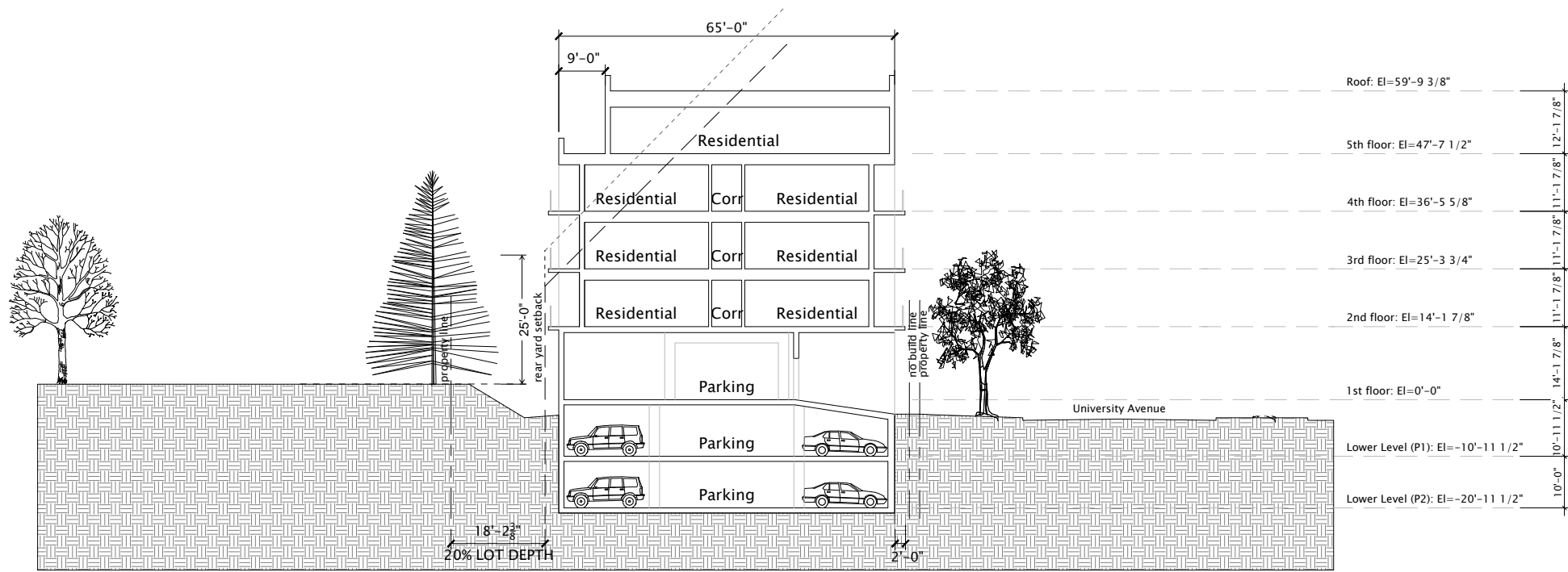




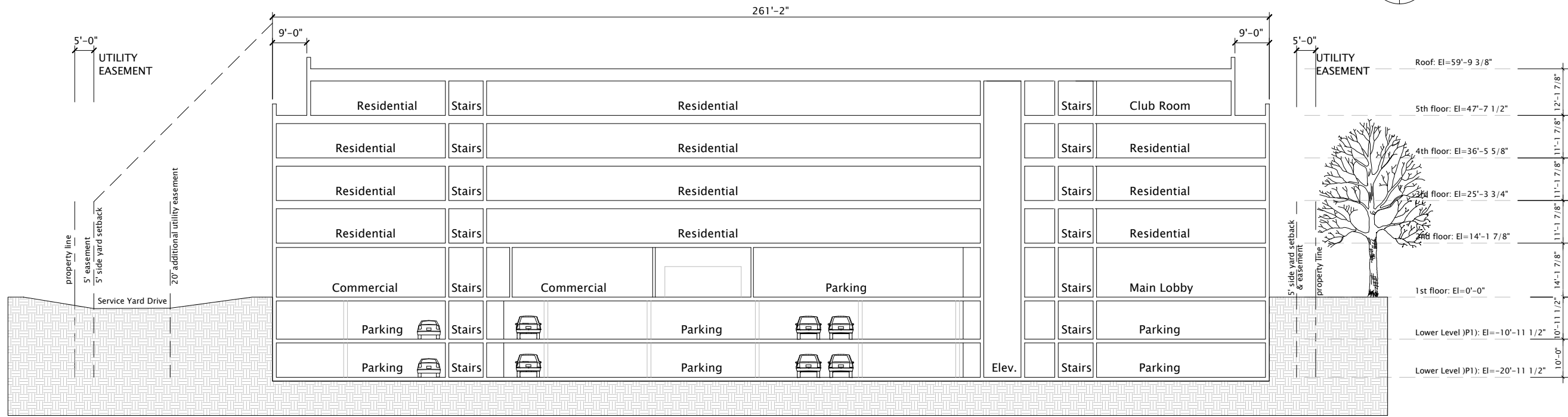


1 ROOF PLAN  
1" = 30'-0"

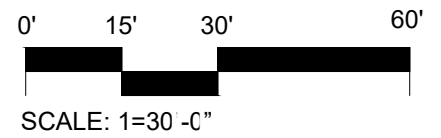




1 CROSS SECTION: SOUTH TO NORTH LOOKING WEST  
1" = 30'-0"



2 LONGITUDINAL SECTION: WEST TO EAST LOOKING NORTH  
1" = 30'-0"







① NORTH ELEVATION  
3/64" = 1'-0"

5/23/2024 7:24:32 PM



3575 UNIVERSITY AVENUE

NORTH ELEVATION

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U201

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① SOUTH ELEVATION  
3/64" = 1'-0"

5/23/2024 7:24:34 PM



3575 UNIVERSITY AVENUE

SOUTH ELEVATION

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U202

5/28/24





① EAST ELEVATION  
3/64" = 1'-0"

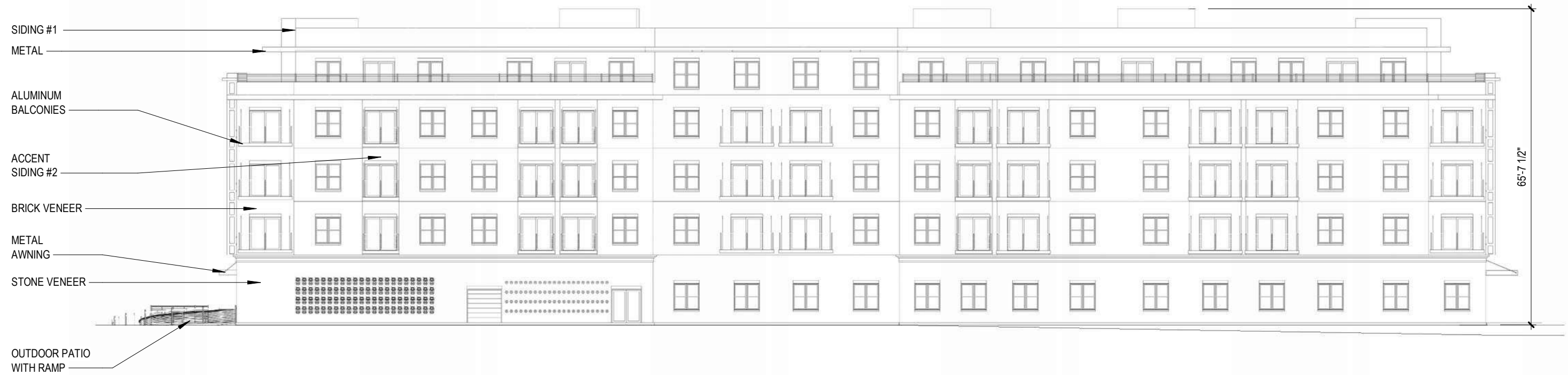


② WEST ELEVATION  
3/64" = 1'-0"

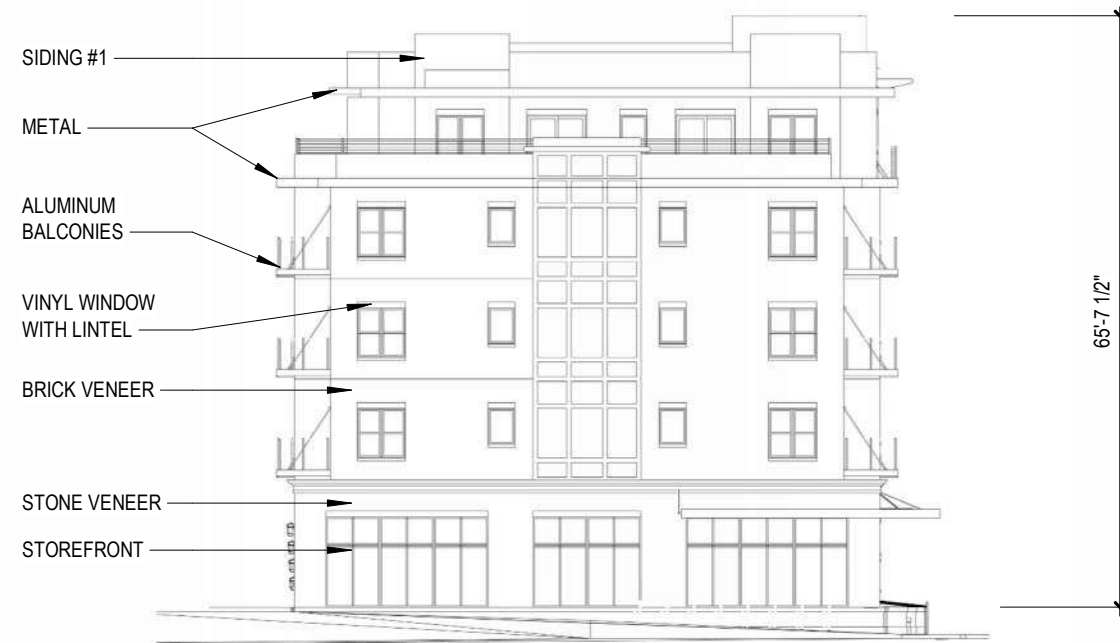


① NORTH ELEVATION B&W  
3/64" = 1'-0"

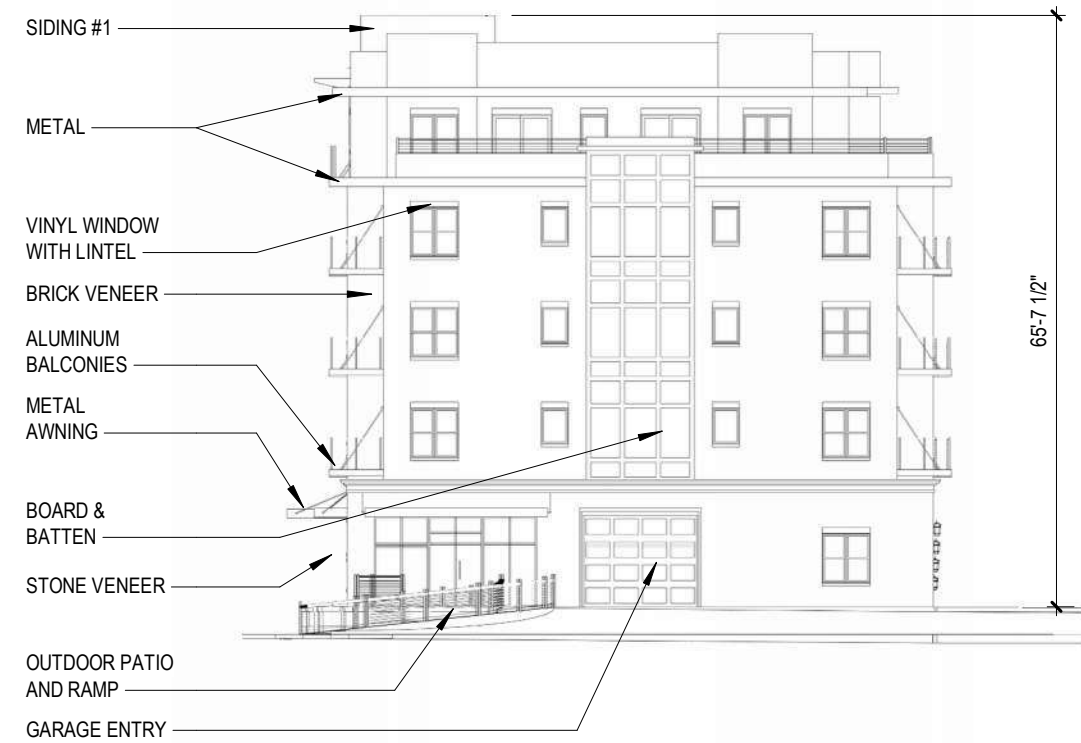




① SOUTH ELEVATION  
3/64" = 1'-0"



1 EAST ELEVATION  
3/64" = 1'-0"



2 WEST ELEVATION  
3/64" = 1'-0"



**BIRDGLASS KEYNOTES - SEE CALCULATIONS**

- Ⓐ WINDOW: 5'-4" X 5'-6"
- Ⓑ WINDOW: 3'-0" X 4'-0"
- Ⓒ STOREFRONT: 3'-0" X 7'-0"
- Ⓓ PATIO DOOR: 6'-8" X 7'-0"
- Ⓔ STOREFRONT: 6'-0" X 7'-0"
- Ⓕ STOREFRONT: 6'-0" X 3'-0"
- Ⓖ 8'-0" STOREFRONT DOOR W/ 2'-0" TRANSOM: 6'-0" X 10'-0"



① NORTH ELEVATION - BIRDGLASS  
3/64" = 1'-0"

5/24/2024 11:45:01 AM



3575 UNIVERSITY AVENUE

NORTH ELEVATION - BIRDGLASS

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U207

5/28/24

BIRDGLASS KEYNOTES - SEE CALCULATIONS

- Ⓐ WINDOW: 5'-4" X 5'-6"
- Ⓑ WINDOW: 3'-0" X 4'-0"
- Ⓒ STOREFRONT: 3'-0" X 7'-0"
- Ⓓ PATIO DOOR: 6'-8" X 7'-0"
- Ⓔ STOREFRONT: 6'-0" X 7'-0"
- Ⓕ STOREFRONT: 6'-0" X 3'-0"
- Ⓖ 8'-0" STOREFRONT DOOR W/ 2'-0" TRANSOM: 6'-0" X 10'-0"



1 SOUTH ELEVATION  
3/64" = 1'-0"

5/24/2024 11:45:03 AM



3575 UNIVERSITY AVENUE

SOUTH ELEVATION - BIRDGLASS

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U208

5/28/24



**BIRDGLASS KEYNOTES - SEE CALCULATIONS**

- (A) WINDOW: 5'-4" X 5'-6"
- (B) WINDOW: 3'-0" X 4'-0"
- (C) STOREFRONT: 3'-0" X 7'-0"
- (D) PATIO DOOR: 6'-8" X 7'-0"
- (E) STOREFRONT: 6'-0" X 7'-0"
- (F) STOREFRONT: 6'-0" X 3'-0"
- (G) 8'-0" STOREFRONT DOOR W/ 2'-0" TRANSOM: 6'-0" X 10'-0"



**1 EAST ELEVATION**  
3/64" = 1'-0"



**2 WEST ELEVATION**  
3/64" = 1'-0"

**28.129 BIRD-SAFE REQUIREMENTS:**

**(1) Statement of Purpose:** The Bird-Safe Glass Requirements in this section are intended to reduce the heightened risk for bird collisions with glass on specified building designs and configurations.

**(2) Applicability:** Subsection (4) applies to all exterior construction and development activity, including the expansion of existing buildings and structures, as specified therein.

**(3) Measuring Glass Area:** Under this Ordinance, glass area shall be measured as one (1) continuous panel of glass or other transparent material, or a set of two (2) or more such panels divided by mullions of six (6) inches in width or narrower. Panels surrounded on all sides by solid walls or mullions wider than six (6) inches shall be considered individual windows. Spandrel or opaque reflectivity of 14% or less shall not be included in the calculation of glass area. See Revised Figure 1.

**(4) Bird-Safe Glass Treatment Requirements:** Glass areas on the following buildings or structures shall be treated to reduce the risk of bird collision by incorporating a pattern of visual markers that are either: a) dots or other isolated shapes that are 1/4" in diameter or larger and spaced at not more than a two-inch (2") by two-inch (2") pattern; or b) lines that are 1/8" in width or greater and spaced no more than 2" apart; low reflective opaque materials; building-integrated structures like non-glass double-skin facades, metal screens, fixed solar shading, exterior insect screens, and other features that cover the glass surface; or other similar mitigation treatments approved by the Zoning Administrator.

**(a) Buildings or structures over 10,000 square feet:** For any building or structure over 10,000 square feet in size (floor area of above-grade stories), bird-safe glass treatment is required as follows:

1. For building facades where the first sixty (60) feet (See REVISED Figure 2) from grade are comprised of greater than or equal to fifty percent (50%) glass:
  - a. At least eighty-five percent (85%) of the glass must be treated; and
  - b. All glass within fifteen (15) feet of a building corner must be treated when see through or fly through conditions exist. See Figure 3.
2. For building facades where the first sixty (60) feet from grade are comprised of less than fifty percent (50%) glass:
  - a. At least eighty-five percent (85%) of the glass on glass areas fifty (50) square feet or over must be treated; and
  - b. Of all glass areas over fifty (50) square feet, any glass within fifteen (15) feet of a building corner must be treated.
3. All glass railings must be treated.
4. All glass on enclosed building connections shall be treated up to sixty (60) feet above grade.

**(b) Sky-bridges:** For buildings and structures of any size, all glass on above-ground bridges must be treated.

**(c) At grade glass:** For buildings and structures of any size, all at grade glass features such as sound walls or glass screens must be treated.

**(5) This Ordinance shall become effective October 1, 2020.**

**3575 UNIVERSITY AVENUE  
BIRD GLASS CALCULATIONS  
5/28/2024**

**\*50+ SQ FT AND REQUIRE A BIRD GLAZING SAFETY SYSTEM ON A MIN. OF 85% OF THE GLAZING**

WINDOW/ STOREFRONT DESIGNATION	WIDTH	HEIGHT	# OF PANES	AREA	WALL DESIGNATION							
					NORTH ELEVATION		SOUTH ELEVATION		EAST ELEVATION		WEST ELEVATION	
					GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW	GLZ AREA	# WINDOW
A -WINDOW - 5'-4"x 5'-6"	5.0	5.2	2.0	25.9	1240.8	48.0	1602.7	62.0	206.8	8.0	232.7	9.0
B -WINDOW - 3'-0"x 4'-0"	2.7	3.7	1.0	9.9	98.8	10.0	0.0	0.0	69.2	7.0	69.2	7.0
C-STOREFRONT -3'-0" x 7'-0"	2.7	6.7	2.0	18.1	18.1	1.0	0.0	0.0	0.0	0.0	18.1	1.0
D -PATIO DOOR - 6'-8" x 7'-0"	6.3	6.7	2.0	42.4	1738.9	41.0	1611.6	38.0	84.8	2.0	84.8	2.0
E -STOREFRONT - 6'-0" X 7'-0"	5.7	6.7	2.0	37.9	872.2	23.0	0.0	0.0	303.4	8.0	75.8	2.0
F -STOREFRONT - 6'-0"x 3'-0"	5.7	2.7	2.0	15.4	354.0	23.0	0.0	0.0	123.1	8.0	30.8	2.0
G -STOREFRONT DOOR/TRANSOM - 6'-0"x 10'-0"	5.7	9.7	4.0	55.1	110.1	2.0	0.0	0.0	0.0	0.0	55.062	1.0
					4432.8	TOTAL GLZ	3,214.3	TOTAL GLZ	787.3	TOTAL GLZ	566.4	TOTAL GLZ
					17,130	WALL AREA	16,214.0	WALL AREA	4,153.0	WALL AREA	4,077.0	WALL AREA
					25.88%	% GLAZING	19.82%	% GLAZING	18.96%	% GLAZING	13.89%	% GLAZING





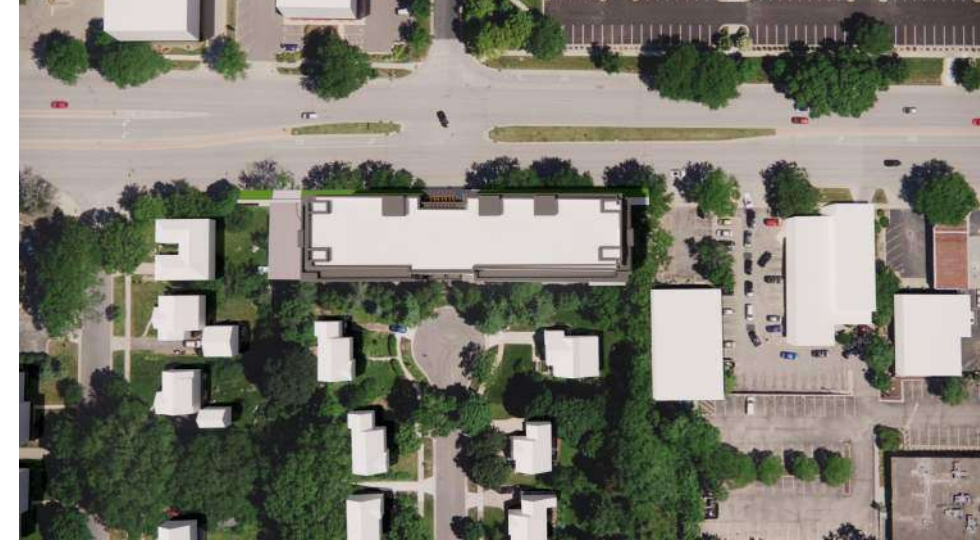
SHADOW ON MARCH 21ST @ 9AM



SHADOW ON JUNE 21ST @ 9AM



SHADOW ON MARCH 21ST @ 2PM



SHADOW ON JUNE 21ST @ 2PM



SHADOW ON MARCH 21ST @ 4PM



SHADOW ON JUNE 21ST @ 4PM

5/23/2024 7:24:49 PM



# 3575 UNIVERSITY AVENUE

## SHADOW STUDY - MARCH/JUNE

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

# U400

5/28/24





SHADOW ON SEPT 21ST @ 9AM



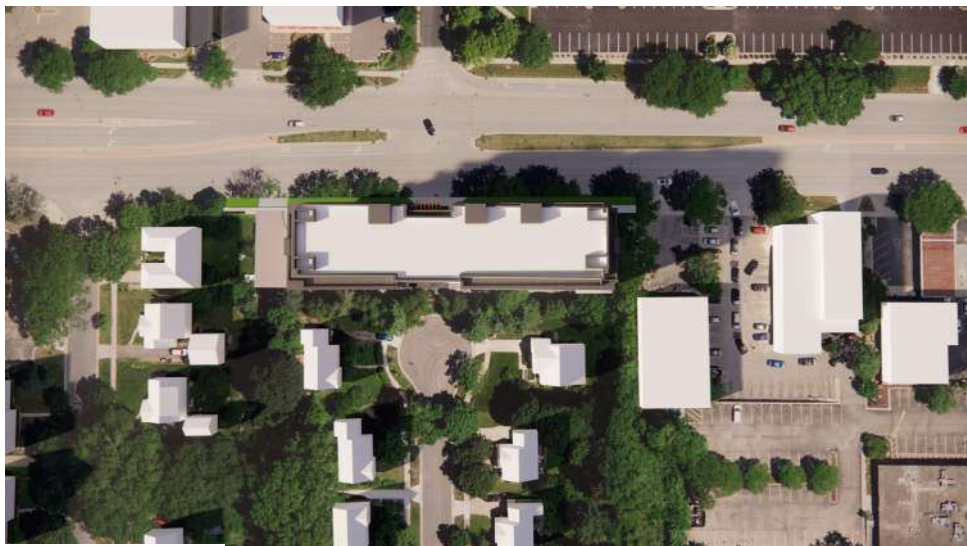
SHADOW ON DEC 21ST @ 9AM



SHADOW ON SEPT 21ST @ 2PM



SHADOW ON DEC 21ST @ 2PM



SHADOW ON SEPT 21ST @ 4PM



SHADOW ON DEC 21ST @ 4PM

5/23/2024 7:24:50 PM



# 3575 UNIVERSITY AVENUE

## SHADOW STUDY - SEPT/DEC

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

# U401

5/28/24





5/23/2024 7:24:50 PM



3575 UNIVERSITY AVENUE

STREET VIEW LOOKING WEST

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U402

5/28/24





5/23/2024 7:24:50 PM



3575 UNIVERSITY AVENUE

STREET VIEW LOOKING EAST

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U403

5/28/24





5/23/2024 7:24:50 PM



3575 UNIVERSITY AVENUE

STREET VIEW LOOKING WEST

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U404

5/28/





5/23/2024 7:24:50 PM



3575 UNIVERSITY AVENUE

STREET VIEW LOOKING WEST

JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U405

5/28/2





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3575 UNIVERSITY AVENUE

PROPOSED BRUCE CT. RENDERING

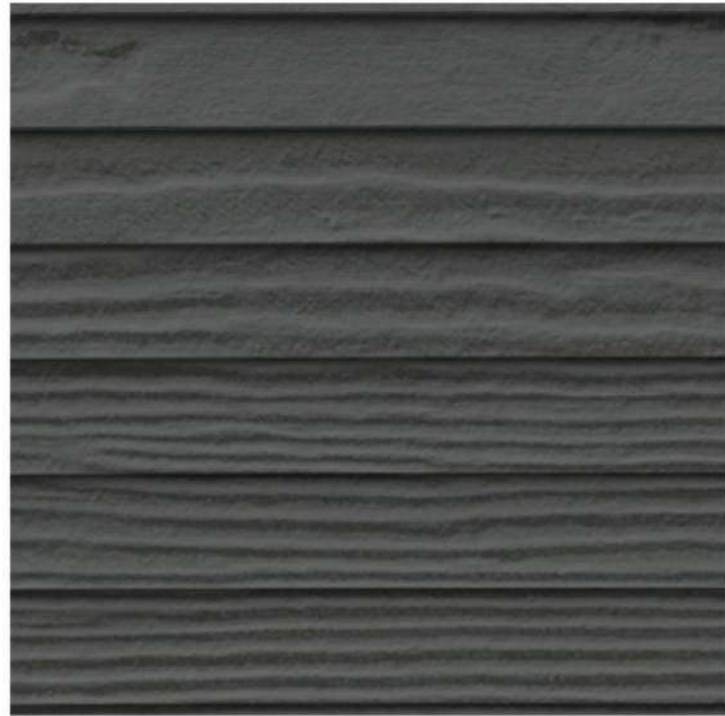
JLA PROJECT No: W23-0222

CITY OF MADISON LAND USE AND URBAN DESIGN COMMISSION SUBMITTAL

U406

5/28/24





FIBER CEMENT SIDING HORIZONTAL;  
HARDIE NIGHT GRAY



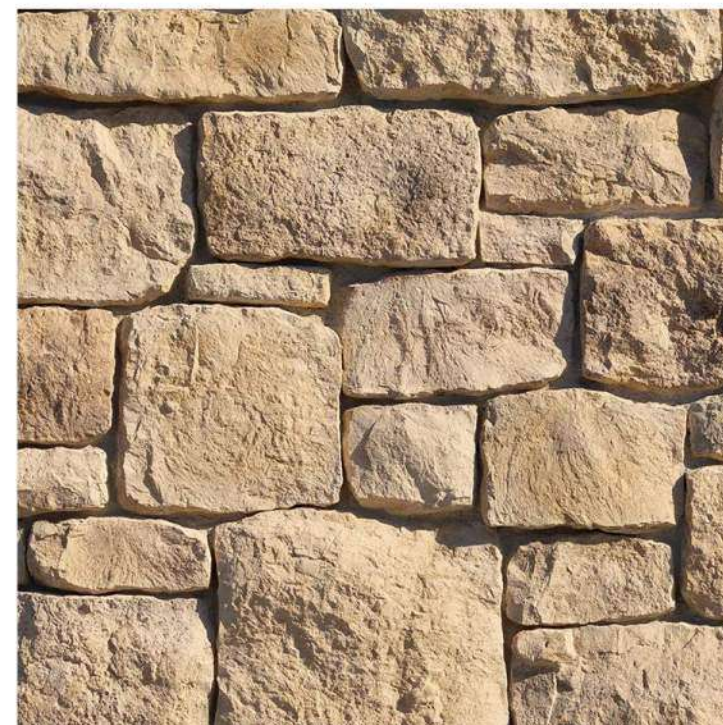
METAL  
NIGHT GRAY



FIBER CEMENT SIDING ACCENT:  
WOODTONE SUMMER WHEAT



MASONRY VENEER - RUNNING BOND:  
ACME BRICK CRAFTWORK



STONE VENEER - ROUGH CUT  
ELDORADO STONE WHEATFIELD

3575 UNIVERSITY AVENUE

MATERIAL BOARD

JLA PROJECT No: W23-0222

NEIGHBORHOOD MEETING

N500

5/20/24