



Dane County Planning & Development Land Division Review

December 26, 2018

Birrenkott Surveying, Inc.
PO Box 237
1677 N. Bristol St.
Sun Prairie, WI 53590

Re: Skaar (CSM 10221)
Town of Cottage Grove, Section 28
(1 lot, 12.0 acres)
Rezone Petition #11317, A-2 to C-2, *commercial*

Attention: Daniel Birrenkott, S-1531

The proposed CSM is creating 1 commercial lot and is hereby conditionally approved as follows:

1. The document is to be completed in accordance with S.236.34, Wisconsin State Statutes.
2. Rezone Petition #11317 is to become effective and all conditions established are to be satisfied prior to the recording of the CSM. (*The Dane County Board approved Zoning Petition #11317 on September 6, 2018*)
 - *Recording of an approved CSM*
 - *North Star Road right-of-way shall be dedicated to the public*
 - *A deed restriction shall be recorded on the C-2 zoned property to limit the land uses to the following: office buildings no more than 2 stories; repairs, storage, and service of contractors machinery and equipment; and parking and storage of motor vehicles*
3. All owners of record are to be included in the owner's certificate. Middle initials are required and a certificate of consent by all mortgagees/vendors shall be included and satisfied if relevant.
County records indicate the following owners:
 - *LARRY G SKAAR*
4. A City of Madison approval certificate is to be included with respect to their ETJ authority.
5. The required approval certificates are to be satisfied.
 - *Town of Cottage Grove*
 - *City of Madison*
 - *Dane County*

6. Comments from the Dane County Surveyor are to be satisfied:
 - *Add the r/w width each side of centerline. 236.20(2)(f)*
 - *Show the street centerline. 236.20(2)(h)*
 - *Add a north arrow and reference note related to East line of the SE ¼. 236.20(2)(i)*
 - *Add road dedication language to the Town Approval Certificate. 236.34(1m)(e)*
7. For information purposes only. A stormwater management permit, issued by the Land & Water Resources Department, is required prior to any development on the proposed parcel.
 - *DCCO Ch. 14.46(3), A stormwater control permit under sec. 14.49 shall be required and all stormwater management provisions of this chapter shall apply to any of the following activities within Dane County: Any development that requires a certified survey map, as defined in the applicable local land division ordinance(s); for property intended for commercial or industrial use.*
8. The recordable document is to be submitted for review and approval.



When the above conditions have been fully satisfied, the original document along with a copy of this letter may be submitted for final review and the Dane County approving signature will be affixed. Please allow for ten (10) working days for approving signature. Any questions regarding this letter, please contact myself.

Sincerely,

Daniel Everson
Assistant Zoning Administrator
267.1541

CC:
Clerk, Town of Cottage Grove
City of Madison Planning – Tim Parks

I. ADMINISTRATIVE

- A. Notice of the meeting was posted at the Town Hall and on the Town's internet site. Town Chair Kris Hampton, Supervisors Steve Anders, Kristi Williams and Mike DuPlayee were in attendance, as well as Clerk Kim Banigan, Treasurer Deb Abel, Highway Superintendent Dan Dresen, and Deputy Jennifer Grafton. Supervisor Mike Fonger arrived as the traffic study was being discussed in II. D. below. The exact time of his arrival was not noted.
- B. Hampton called the meeting to order at 7:00 P.M.
- C. Minutes of previous meeting(s): **MOTION** by Williams/DuPlayee to approve the minutes of the Public Hearing, Special Meeting of the Electors, and Town Board meeting held on December 3, 2018 as presented. **MOTION CARRIED 4-0.**
- D. Finance Report and Approval of Bills:
 1. **MOTION** by Williams/DuPlayee to approve payment of bills corresponding to checks #32696-32729 from Monona Bank as presented, with check #32715 voided. **MOTION CARRIED 4-0.**
 2. **MOTION** by Anders/DuPlayee to approve payment of \$665.50 to General Engineering Company for November building permits. **MOTION CARRIED 4-0.**
 3. The Treasurer stated that first installment tax collection has begun, and asked that December per diem reports be submitted by January 4th.
- E. Public Concerns: None.
- F. Road Right of Way Permits: None.

II. BUSINESS:

- A. Review November Police activities: The monthly report shows 180 calls for service and 93 citations issued. Deputy Grafton said there have been no significant incidents. She wondered if the Town Board would consider changing all 55 mph speed limits on Town Roads to 45 mph, stating that a lack of consistency in speed limits is the main complaint she hears from motorists. Dresen estimated doing so would require 34-35 signs at a cost of at least \$100 each.
- B. Discuss/Consider approval of certified survey maps for:
 1. Larry G. Skaar – creating a 12.004 acre parcel on North Star Road: **MOTION** by Anders/Williams to approve the CSM identified by Birrenkott Surveying, Inc. as Office Map no. 180416 dated 11-06-2018. **MOTION CARRIED 4-0.** It was noted that the City of Madison has not completed their ETJ review of this CSM yet.
 2. Steve Banovetz – creating a 9.65 acre parcel on North Star Road: **MOTION** by DuPlayee/Williams to approve the CSM stamped by Dane County Planning and Development as #10218 on 11-27-2018, conditioned on the northern segment of the right-of-way dedication being labeled as 45.74', and removal of the building from the property and CSM. **MOTION CARRIED 4-0.** Mr. Banovetz said he had heard that the City of Madison will waive their ETJ review on this CSM.
 3. Joseph G. Bessetti & Kimberly A. Huston – creating 5.009 acre parcel on Coffeytown Road: **MOTION** by Anders/DuPlayee to approve the CSM identified by Wisconsin Mapping, LLC as Dwg. No 5230-18 dated 11-27-2018. **MOTION CARRIED 4-0.**

C. Discuss/Consider approval of quotes for web site design and hosting services: the following quotes were considered:

- Town Web Design: \$1,099.00 for design and setup, \$59.00/month for hosting, with a \$500.00 discount for a three year contract. (Total for three years is \$2,723.00.)
- JB Systems Bronze package: \$1,499.00 for design, \$49.99/month hosting, with a \$400.00 discount and three months of free hosting for signing up by 12/31/2018. (Total for three years is \$2748.67, with possible additional charges to transfer existing content).

The Clerk reported that she has had online demos of the content management systems of both vendors, and both seem adequate. However, JB Systems does not yet have any live municipal sites, while Town Web design has 80+ continuous customers for 10+ years. Her survey of clerks received 19 responses. All but four were overwhelmingly positive. Negative responses were related to hosting on foreign servers and support staff with foreign accents. Town Web Design owner Dustin Overbeck assured her that our site would be hosted on a state-side server.

MOTION by Williams/DuPlayee to accept the quote from Town Web Design for a three year contract. **MOTION CARRIED 4-0.**

(Fonger arrived)

D. Discuss/Consider results of Vilas Hope Road traffic studies: Traffic data was collected at a point on Vilas Hope Road 3800' south of CTH BB from 10/30/2018 – 11/01/2018. Mean speed ranged from 40 to 41 mph over the three days, with the 85th percentile speed at 49 mph for all three days. Over the three days, 4330 vehicles traveled southbound and 4124 traveled northbound. Peak southbound traffic occurred 7 am and peak northbound traffic occurred at 4 pm. There was no board action to change the speed limit in the vicinity of the survey location. More attention was given to the 45 mph stretch of Vilas Hope Road between CTH BB and the 35 mph speed zone between the point at 2200 feet south of CTH BB to the point at 4135 feet south of CTH BB. Deputy Grafton said the frequent changes in speed limit cause confusion in motorists, and the 35 mph speed zone remains difficult to enforce. **MOTION** by Anders/Williams directing the Clerk to investigate options with Dane County and the State of Wisconsin for extending the 35 mph speed zone all the way north to CTH BB. **MOTION CARRIED 5-0.**

E. Discuss/Consider revisions to TCG Ordinance Chapters 12-25: Board members reviewed drafts provided by Atty. Susan Allen to revise Chapters 12, 14, 15 and 16, with the Clerk making notes of questions and suggestions. Their review of the ordinances will continue at the January 7th meeting.

F. Discuss/Consider quotes for new tractor and flail mowers: The following quotes were considered:

Waupun Equipment Co, Inc.:

- New Holland T6.145 95 PTO HP Tractor for \$51,000.00 including trade of New Holland T5040 Tractor
- Tiger Extreme Duty 75 inch side flail mower and 90 inch Extreme Duty rear flail mower for \$43,900.00

Mid-State Equipment Columbus:

- John Deere 6130R Tractor for \$113,735.99 including trade of New Holland T5040 Tractor

- Diamond Mowers, Inc: 102" offset 3-point hitch flail mower and 75" side mount flail mower for \$28,125.30

Dresen recommended the New Holland tractor and the Tiger mowers, noting that the Diamond mowers would not be heavy duty enough for the Town's needs. **MOTION** by Williams/DuPlayee to approve the purchase of a New Holland T6.145 Tractor with cost not to exceed \$51,000.00 after trade, and Tiger flail mowers with cost not to exceed \$43,900.00, all purchased from Waupun Equipment Co., Inc. **MOTION CARRIED 5-0.**

- G. Discuss/Consider approval of Contract for Provision of Emergency Medical Services By and Between Deer-Grove EMS District and the Town of Pleasant Springs: **MOTION** by Williams/Anders to approve the contract as presented. **MOTION CARRIED 5-0.** The 2019 contract price will be \$32,267.45 with 2% increases per year through 2023.

III. CLERK'S OFFICE UPDATE: A projection screen and wireless access point have been added to the meeting room.

IV. PUBLIC WORKS DEPARTMENT ACTIVITY UPDATE: The new storage shed is complete. The crew has been trimming trees in the road right-of-way since there has not been any snow to keep them busy.

V. BOARD REPORTS AND COMMUNICATIONS: Fonger missed the early portion of tonight's meeting because he was attending the Village of Cottage Grove Board meeting to hear the discussion about the proposed Shady Grove development. He reported that the Village Board voted unanimously to hold a public meeting and find a consensus that all affected parties can live with before a decision is made. 55 people signed up in opposition to the development, 25 of which were from the Village.

VI. COMMITTEE REPORTS:

- A. Deer-Grove EMS District: Williams reported that Eric Lang has accepted the offer to be the new Chief, and will begin on January 2nd. Anders extended an invitation to an open house at the Emergency Services Building on December 28th to celebrate his retirement from serving as an EMT for 40 years. Hampton reported that there was a minor accident involving one of the ambulances and a post at the hospital.

VII. Adjournment: **MOTION** by DuPlayee/Williams to adjourn. **MOTION CARRIED 5-0.** The meeting ended at 8:43 P.M.

Kim Banigan, Clerk



SUBDIVISION APPLICATION

Madison Plan Commission

126 S. Hamilton St.
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

**** Please read both pages of the application completely and fill in all required fields****
 This application form may also be completed online at www.cityofmadison.com/planning/plan.html

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

1a. Application Type.

Preliminary Subdivision Plat Final Subdivision Plat Land Division/Certified Survey Map (CSM)

If a Plat, Proposed Subdivision Name: _____

1b. Review Fees. Make checks payable to "City Treasurer." Note: New fees effective May 2012 (!)

- For Preliminary and/or Final Plats, an application fee of \$250, plus \$50 per lot or outlot contained on the plat.
- For Certified Survey Maps, an application fee of \$250 plus \$200 per lot and outlot contained on the CSM.

2. Applicant Information.

Name of Property Owner: Larry Skaar Representative, if any: _____
 Street Address: 4374 Secretariat Court City/State: Cottage Grove, WI Zip: 53527
 Telephone: (608) 692-5510 Fax: () Email: _____
 Firm Preparing Survey: Birrenkott Surveying, Inc. Contact: Mark Pynnonen
 Street Address: 1677 N. Bristol Street City/State: Sun Prairie, WI Zip: 53590
 Telephone: (608) 837-7463 Fax: (608) 837-1081 Email: mpynnonen@birrenkottsurveying.com

Check only ONE – ALL Correspondence on this application should be sent to: Property Owner, OR Survey Firm

3a. Project Information.

Parcel Addresses (note town if located outside City): North Star Road (no address)
 Tax Parcel Number(s): 0711-284-9940-0
 Zoning District(s) of Proposed Lots: A-2 School District: Stoughton

→ Please provide a Legal Description on your CSM or plat. Note your development schedule in your Letter of Intent.

3b. For Properties Located *Outside* the Madison City Limits in the City's Extraterritorial Jurisdiction:

Date of Approval by Dane County: December 26, 2018 Date of Approval by Town: December 17, 2018

→ For an exterritorial request to be scheduled, approval letters from both the Town and Dane County must be submitted.

4. Subdivision Contents and Description. Complete table as it pertains to your request; do not complete gray areas.

Land Use	Lots	Outlots	Acres
Residential			
Retail/Office			
Industrial			
Other (state use): <i>COMMERCIAL</i>	1		12.004

Land Use	Lots	Outlot	Acres
Outlots Dedicated to the Public (Parks, Stormwater, etc.)			
Outlots Maintained by a Private Group or Association			
PROJECT TOTALS			

OVER →

5. **Required Submittals.** Your application is required to include the following (check all that apply):

- Map Copies** (prepared by a Registered Land Surveyor):
 - For Preliminary Plats, **eighteen (18) copies** of the drawing drawn to scale are required. The drawing is required to provide all information as set forth in Section 16.23 (7)(a) of the Madison General Ordinances. The drawings shall include, but are not limited to, a description of existing site conditions and natural features, delineation of all public and private utilities that serve the site (denote field located versus record drawings), the general layout of the proposed subdivision, the dimensions of lots and outlots, widths of existing and proposed rights of way, topographic information, and any other information necessary for the review of the proposed subdivision.
 - For Final Plats, **sixteen (16) copies** of the drawing are required to be submitted. The final plat shall be drawn to the specifications of Section 236.20 of the Wisconsin Statutes.
 - For Certified Survey Maps (CSM), **sixteen (16) copies** of the drawing are required. The drawings shall include all of the information set forth in Sections 16.23(7)(a)&(d) of the Madison General Ordinances, including existing site conditions, the nature of the proposed division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
 - All surveys submitted with this application are required to be collated, stapled and folded so as to fit within an 8 1/2" X 14" folder. An **8-1/2" X 11-inch reduction of each sheet** shall also be submitted.
- Letter of Intent: Twelve (12) copies** of a letter describing the proposed subdivision in detail including, but not limited to: the number and type/ use of lots proposed with this subdivision; existing conditions and uses of the property; development and phasing schedule for the project, and; the names of persons involved (contractor, architect, landscaper, business manager, etc.). ***The letter of intent for a subdivision can be the same document as the letter of intent required for a concurrent Land Use Application for the same property. **A letter of intent is not required for Subdivision Applications for lot combinations or split duplexes.**
- Report of Title and Supporting Documents:** All plats and certified surveys submitted for approval shall include a Report of Title satisfactory to the Office of Real Estate Services as required in Section 16.23 of the Madison General Ordinances. A minimum of **two (2) copies** of a City of Madison standard 60-year Report of Title shall be obtained from a title insurance company. **Title insurance or a title commitment policy is NOT acceptable** (i.e. a Preliminary Title Report or a Record Information Certificate). The applicant shall submit a copy of all documents listed in the Report of Title for each copy of the report submitted.
- For any plat or CSM creating common areas to be maintained by private association: Two (2) copies** of proposed development restrictions and covenants shall be submitted for City approval prior to recording of the survey instrument.
- For Surveys Outside the Madison City Limits:** A copy of the approval letters from both the Town where the property is located and Dane County must be submitted with your request. The City of Madison may not consider a survey within its extraterritorial jurisdiction without prior approval **Town and Dane County**.
- For Surveys Conveying Land to the Public:** A Phase I Environmental Site Assessment Report may be required if any interest in these lands are to be conveyed to the public. Please contact the City's Office of Real Estate Services at 266-4222 for a determination as soon as possible.
- Electronic Application Submittal:** All applicants are required to submit a copy of this completed application form, and preliminary and/or final plats or Certified Survey Map as individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The transmittal shall include the name of the project and applicant.

6. **Applicant Declarations:**

The signer attests that the application has been completed accurately and all required materials have been submitted:

Applicant's Printed Name Mark A. Pynnonen **Signature** 
Date December 27, 2018 **Interest In Property On This Date** Surveyor



BIRRENKOTT SURVEYING, INC.
Land Surveying and Soil Testing

DANIEL V. BIRRENKOTT
Registered Land Surveyor • Certified Soil Tester

P.O. Box 237 • 1677 N. Bristol Street • Sun Prairie, WI 53590 • (608) 837.7463 • Fax (608) 837.1081 • www.birrenkottsurveying.com

December 28, 2018

City of Madison Department of Planning
Att: Tim Parks
215 Martin Luther King Jr. Blvd.
Madison, WI 53703

RE: Certified Survey Map application

Dear Mr. Parks:

Our client Larry Skaar wishes to create a one-lot Certified Survey Map.

The property, Tax Parcel Number 0711-284-9940-0, is located on North Star Road in Section 28 of the Town of Cottage Grove and is currently zoned A-2 in Dane County zoning.

It is anticipated that the resulting lot will be sold to a commercial enterprise.

The land division has been approved by both the town and Dane County.

Respectfully submitted,

Mark Pynnonen
Birrenkott Surveying, Inc.
Agent for Larry Skaar

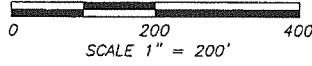


**BIRRENKOTT
SURVEYING, INC.**

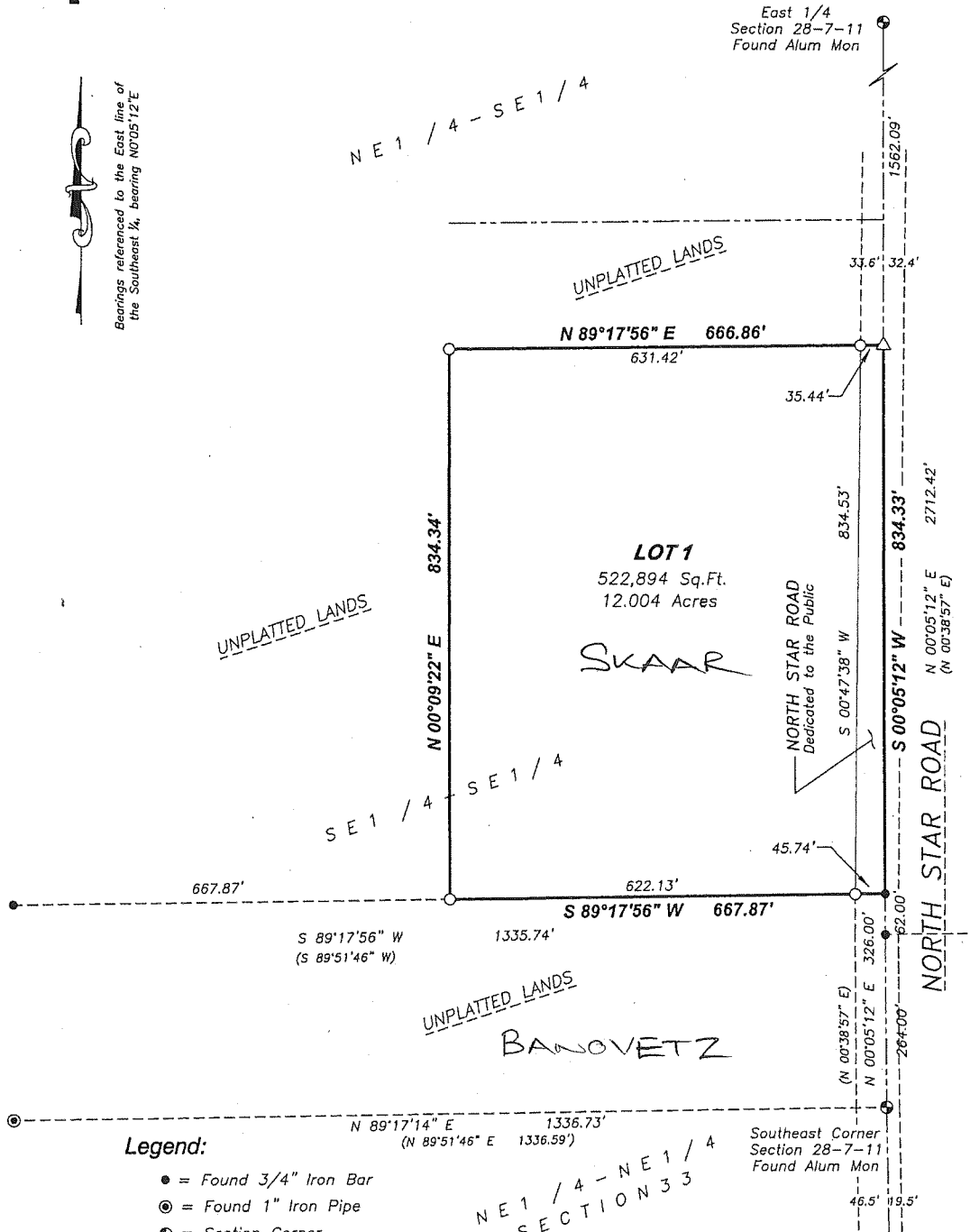
P.O. Box 237
1677 N. Bristol Street
Sun Prairie, WI. 53590
Phone (608) 837-7463
Fax (608) 837-1081

CERTIFIED SURVEY MAP

Part of the Southeast 1/4 of the Southeast 1/4,
Section 28, T7N, R11E, Town of Cottage Grove,
Dane County, Wisconsin



Bearings referenced to the East line of
the Southeast 1/4, bearing N0°05'12"E



- Legend:**
- = Found 3/4" Iron Bar
 - ⊙ = Found 1" Iron Pipe
 - ⊕ = Section Corner
 - = 1"x24" Iron pipe set wt.=1.68 lb./in.ft.
 - △ = Set Mag Nail

Southeast Corner
Section 28-7-11
Found Alum Mon

NE 1/4 - NE 1/4
SECTION 33

SHEET 1 OF 2

CERTIFIED SURVEY MAP NO. _____
VOLUME _____ PAGE _____
DOCUMENT NO. _____

Office Map No. **180416**



CERTIFIED SURVEY MAP

DATED: November 6, 2018

**Birrenkott
Surveying, Inc.**

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, Wisconsin 53590
Phone (608) 837-7463
Fax (608) 837-1081

Surveyor's Certificate:

I, Daniel V. Birrenkott, hereby certify that this survey is in full compliance with Chapter 236.34 of Wisconsin Statutes. I also certify that by the direction of the owner listed hereon, I have surveyed and mapped the lands described hereon and that the map is a correct representation of all the exterior boundaries of the land surveyed and the division of that land, in accordance with the information provided.

Daniel V. Birrenkott Professional Land Surveyor No. S-1531

Description:

Part of the Southeast ¼ of the Southeast ¼, Section 28, T7N, R11E, Town of Cottage Grove, Dane County, Wisconsin, described as follows: Commencing at the Southeast corner of said Section 28; thence N00°05'12"E (recorded as N00°38'57"E), 326.00 feet along the East line of said Southeast ¼ to the point of beginning; thence S89°17'56"W, 667.87 feet; thence N00°09'22" E, 834.34 feet; thence N89°17'56"E, 666.86 feet to said East line; thence S00°05'12"W (recorded as S00°38'57"W), 834.33 feet along said East line to the point of beginning; Containing 556,748 square feet, or 12.781 acres.

Owners Certificate:

As owner, Larry G. Skaar hereby certifies that he has caused the lands described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as shown on hereon. He also certifies that this Certified Survey Map is required by s75.17(1)(a), Dane County Code of Ordinances, to be submitted to the Dane County Zoning and Land Regulation Committee for approval.

Larry G. Skaar

State of Wisconsin)
Dane County) ss

Personally came before me this _____ day of _____, 2018, the above-named Larry G. Skaar, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Dane County, Wisconsin. My Commission Expires _____

Town of Cottage Grove Approval Certificate:

This Certified Survey Map is hereby acknowledged, accepted and approved for recording by the Town of Cottage Grove.

Kim Banigan, Town Clerk

Dated

Approved for recording per Dane County Zoning and Land Regulation Committee

action of _____, 2018

Daniel Everson, Authorized Representative

Notes:

Utility Easement: No poles or buried cables are to be placed on any lot line or corner. The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes. This survey is subject to any and all easements and agreements both recorded and unrecorded. Refer to the building site information contained in the Dane County Soil Survey. This survey shows no above-ground improvements. No guarantee is made for below-ground structures.

Surveyed For:

Larry Skaar
4374 Secretariat Court
Cottage Grove, WI 53527
692-5510

Surveyed: TAS
Drawn: MAP
Checked: MAP/DVB
Approved: DVB
Field Book: 370/31
Tape/File: J:\2018\Carlson

Register of Deeds Certificate:

Received for recording this _____ day of _____, 2018

at _____ o'clock _____ m and recorded in Volume _____ of Certified Survey

Maps of Dane County on Pages _____.

Kristi Chlebowski, Register of Deeds

Document No. _____

Certified Survey Map No. _____, Volume _____, Page _____

Sheet 2 of 2
Office Map No.: 180416

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BIRRENKOTT SURVEYING, INC.

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, WI, 53590
Phone (608) 837-7463
Fax (608) 837-1081

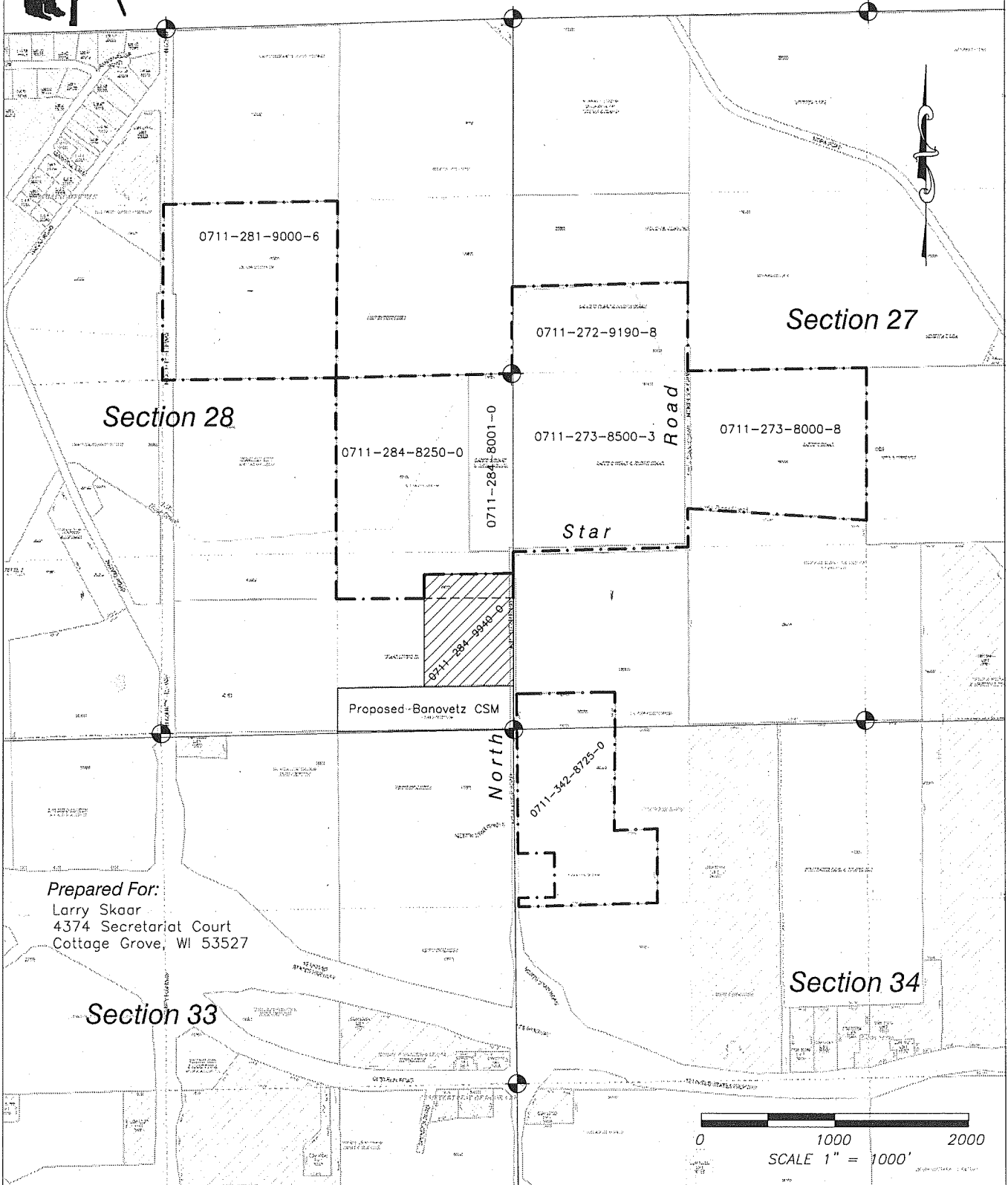
SKAAR LANDS



Proposed Certified Survey
Map by Larry Skaar



Lands owned by
Larry G. Skaar
(Per Access Done data)





Dane County Planning & Development

Land Division Review

December 21, 2018

Williamson Surveying
104 A West Prairie St.
Waunakee, WI 53597

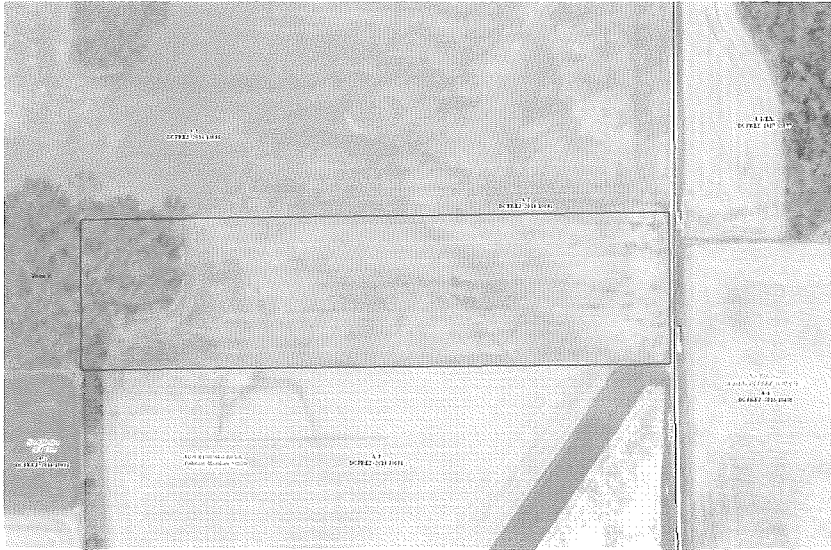
Re: Banovitz (CSM 10218)
Town of Cottage Grove, Section 28
(1 lot, 9.65 acres)
Rezone Petition #11356, A-2 to C-2, *commercial*

Attn: Noa Prieve, S-2499

The proposed CSM is hereby conditionally approved as follows:

1. The document is to be completed in accordance with S.236.34, Wisconsin State Statutes.
2. Rezone Petition #11356 is to become effective and all conditions established are to be timely satisfied. (*The Dane County Board approved rezone petition #11356 on December 20, 2018*)
 - *Recording of an approved CSM*
 - *A deed restriction shall be recorded on the property to state the following:*
 1. *The land uses occurring on the property shall be limited to the following: agricultural uses (no livestock); contractor or landscaper operations; indoor storage; offices; outdoor storage associated with a business; personal and professional services.*
 2. *Prohibited Uses on the property: Billboard signs and pylon signs.*
 3. *All development of the property shall obtain site plan approval from the Town of Cottage Grove Board prior to the construction. The landowner shall be responsible for submitting a site plan of the property, which complies with TCG Ord. Section 12.08, and including proposed buildings, parking areas, outside storage areas, storm water detention, landscaping, lighting, open space areas, and septic field. The submittal shall include proposed building elevations. The landowner shall comply with the approved site plan.*
 4. *If parking lot lighting is installed, the light fixtures shall be mounted no higher than 20 feet. All lighting shall be direct down-lighted fixtures being dark sky compliant. Wall mounted fixtures shall be full cutoff direct down lighted fixtures. The light fixtures shall not cause element glare to the surrounding properties.*
 5. *All outdoor storage areas shall be screened from view to the greatest extent practical. The screening shall consist of a minimum of a 6-foot fence with a minimum opacity of 80%.*
 6. *Landscaping design shall be reviewed by the Plan Commission and Town Board as part of site plan approval.*
 7. *All trash receptacles shall be screened from view. The dumpsters shall be placed inside a walled enclosure using material similar to the building design.*
 8. *A maximum of one wall sign shall be permitted for each business. The wall signs shall face the front of the building. A maximum of one monument sign shall be permitted per lot/unit. Pylon signs and off-premise billboard signs are prohibited.*
 9. *The landowner of each lot/unit shall be responsible for storm water management.*
 10. *The landowner shall be responsible for obtaining a storm water management permit from Dane County Land and Water Resources prior to development of the property.*

3. All owners of record are to be included in the owner's certificate. Middle initials and a certificate of consent by all mortgagees/vendors shall be included and satisfied if relevant.
County records indicate the following owners:
 - *STEVE J BANOVTZ SR*
4. A City of Madison approval certificate shall be included with respect to their extra-territorial review.
5. The required approval certificates are to be satisfied.
 - *Town of Cottage Grove*
 - *City of Madison (ETJ)*
 - *Dane County*
6. Comments as per the town of Cottage Grove Board shall be satisfied:
 - *The north segment of the road right-of-way dedication being labeled (45.74') and removal of the building from the property (owner said it already has been removed) and the CSM.*
7. The structure shall be removed from the final document.
8. Comments from the Dane County Surveyor are to be satisfied:
 - *Add the length of both line segments of the north line and the segment net of r/w of the south line. 236.20(2)(c)*
 - *Add the width of road right of way each side of centerline. 236.20(2)(f)*
 - *Add a note that indicates that all PLSS witness monuments were found and verified. A-E 7.08(1)(c)*
9. For information purposes only. A stormwater management permit, issued by the Land & Water Resources Department, is required prior to any development on the proposed parcel.
 - *DCCO Ch. 14.46(3), A stormwater control permit under sec. 14.49 shall be required and all stormwater management provisions of this chapter shall apply to any of the following activities within Dane County: Any development that requires a certified survey map, as defined in the applicable local land division ordinance(s); for property intended for commercial or industrial use.*
10. The recordable document is to be submitted for review and approval.



When the above conditions have been fully satisfied, the original document along with a copy of this letter may be submitted for final review and the Dane County approving signature will be affixed. Please allow for ten (10) working days for approving signature. Any questions regarding this letter, please contact myself.

Sincerely,

Daniel Everson
Assistant Zoning Administrator
267.1541

CC:
Clerk, Town of Cottage Grove
Madison Planning – Tim Parks

TOWN OF COTTAGE GROVE
TOWN BOARD MEETING
NOVEMBER 1, 2018

I. ADMINISTRATIVE

A. Notice of the meeting was posted at the Town Hall and on the Town's internet site. Town Chair Kris Hampton, Supervisors Mike Fonger, Kristi Williams and Mike DuPlayee were in attendance, as well as Clerk Kim Banigan, Treasurer Deb Abel, Highway Superintendent Dan Dresen, and Engineer Thomas TeBeest.

B. Hampton called the meeting to order at 7:00 P.M.

C. Minutes of previous meeting(s):

1. **MOTION** by Williams/DuPlayee to approve the open session minutes of the Town Board meetings held on October 15, 2018 and October 17, 2018, and the Budget Workshop held on October 17, 2018 as presented. **MOTION CARRIED 4-0.**
2. **MOTION** by DuPlayee/Williams to approve the closed session minutes from October 15, 2018, keeping them closed until the matter is resolved, and from October 17, 2018, keeping them closed until the 2019 budget is approved. **MOTION CARRIED 4-0.**

D. Finance Report and Approval of Bills:

1. **MOTION** by DuPlayee/Fonger to approve payment of bills corresponding to checks #32593-32616 from Monona Bank as presented. **MOTION CARRIED 4-0.**
2. **MOTION** by Fonger/DuPlayee to approve payment of October per diems as presented. **MOTION CARRIED 4-0.** (DuPlayee's per diem report was not submitted in time, and payment will be included with the November per diems.)

E. Public Concerns: None.

F. Road Right of Way Permits:

1. **MOTION** by Hampton/DuPlayee to approve the following permits:

- a) Wisconsin Power & Light/Intercon Construction to trench and drill to install new electric and gas service at 2542 Bass Road.
- b) TDS Metrocom, LLC boring and plowing 24 pair fiber distribution cables in ROW of several roads, and installing 24 pair fiber on power poles, under the following conditions:
 - TDS to file separate applications for each of the three nodes/contractors.
 - Fee to be \$55.00 for each application plus \$45.00 for each of the 24 main areas of boring, totaling \$1,245.00.
 - A security deposit of \$4,000.00 is required.
 - Certificates of insurance for each of the three contractors, showing the Town as an additional insured, are required.
 - The permit does NOT extend to any borings from Town right-of-way required to install service to individual homes.

Highway Superintendent Dan Dresen is authorized to sign the permits once the above conditions are met.

MOTION CARRIED 4-0.

TOWN OF COTTAGE GROVE
TOWN BOARD MEETING
NOVEMBER 1, 2018

II. BUSINESS:

- A. Plan Commission Recommendations: Steve Banovetz, applicant and landowner, parcel 0711-284-9720-2, 10 acres on North Star Road – seeking rezone from A2 to C1 for landscape contracting business:

- Troy Eickhoff, 3632 Earlwyn Rd, asked how many buildings would be constructed on the property. Banovetz is only planning one for his own use at this time.
- Mr. Banovetz was asked if zoning violations on the property have been addressed, he responded that the temporary greenhouse has been taken down, and Williamson Surveying is working on a CSM to correct the illegal land division.
- Williams wondered if the Town Planner has been asked to lay out a plan for commercial development of the area. Hampton said he has not, that the only plan is to have Natvig Road continued eastward to North Star Road, but the interior development would depend on how developers plan to develop it.
- Fonger thought the the goal was for Banovetz's 10 acres to be divided into more lots for more businesses to provide tax revenue to the Town. Banovetz said there may only be room for 6 lots once a road is put in, and he may or may not pursue selling more lots depending on how it looks economically for him.

MOTION by Hampton/Williams to accept the Plan Commission's recommendation to rezone the 10 acres from A2 to C1 with the following conditions:

- Allowed permitted by right uses: Agricultural Uses (no livestock); contractor or landscaper operations; indoor storage; offices; outdoor storage associated with a business; personal and professional services.
- Prohibited Uses: Billboard signs and pylon signs.
- All development of the property shall obtain site plan approval from the Town of Cottage Grove Board prior to the construction. The landowner shall be responsible for submitting a site plan of the property which complies with TCG Ord. Section 12.08, and including proposed buildings, parking areas, outside storage areas, storm water detention, landscaping, lighting, open space areas, and septic field. The submittal shall include proposed building elevations. The landowner shall comply with the approved site plan.
- If parking lot lighting is installed, the light fixtures shall be mounted no higher than 20 feet. All lighting shall be direct down-lighted fixtures being dark sky compliant. Wall mounted fixtures shall be full cutoff direct down lighted fixtures. The light fixtures shall not cause element glare to the surrounding properties.
- All outdoor storage areas shall be screened from view to the greatest extent practical. The screening shall consist of a minimum of a 6-foot fence with a minimum opacity of 80%.
- Landscaping design shall be reviewed by the Plan Commission and Town Board as part of site plan approval.
- All trash receptacles shall be screened from view. The dumpsters shall be placed inside a walled enclosure using material similar to the building design.
- A maximum of one wall sign shall be permitted for each business. The wall signs shall face the front of the building. A maximum of one monument sign shall be permitted per lot/unit. Pylon signs and off-premise billboard signs are prohibited.

TOWN OF COTTAGE GROVE
TOWN BOARD MEETING
NOVEMBER 1, 2018

- The landowner of each lot/unit shall be responsible for storm water management. The landowner shall be responsible for obtaining a storm water management permit from Dane County Land and Water Resources prior to development of the property.

MOTION CARRIED 4-0.

- B. North Star Road Reconstruction Project: The Town Board may convene in closed session as authorized by Wisconsin Statute 19.85(1)(e) for the purpose of deliberating or negotiating the purchase of public properties, the investing of public funds or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. The Town Board may reconvene in open session and discuss and take action on the subject matter discussed in the closed session: Board members agreed there was no need for a closed session. Birrenkott Surveying had provided a map showing the acreage needed from each landowner to allow for a 4-rod road.

MOTION by Fonger/Williams to include an item for approval of the purchase of .747 acres from Cool/Swalheim on the agenda of the Special Meeting of the Electors to be held on December 3, 2018, with the vote to be conducted by secret ballot. **MOTION CARRIED 4-0.**

MOTION by Hampton/DuPlayee to direct Attorney Susan Anderson to draft legal documents for the dedication of right-of-way from Larry Skaar and Duane Swalheim to be executed as soon as possible. **MOTION CARRIED 4-0.**

- C. Discuss and Consider the 2019 Town Budget: Fonger asked for a discussion of Unassigned Funds, suggesting that the board consider spending them down to the level of 20% of the 2019 budget as directed by Town policy in lieu of some of the budgeted borrowing for equipment and road construction in 2019. Consensus was this could be considered once the 2018 Financial Statements are complete but before borrowing is authorized in 2019. No changes to the proposed 2019 budget were suggested before posting for the December 3rd public hearing.
- D. Discuss/Consider appointment of extra election workers for the November 6, 2018 General Election: **MOTION** by Hampton/DuPlayee to appoint Jerry and Deborah Meylor as additional election inspectors for the November 6th General Election. **MOTION CARRIED 4-0.**
- III. CLERK'S OFFICE UPDATE: Absentee voting has been keeping her busy, averaging 50 per day this week. She predicted she will see another 100 tomorrow, taking the total number well over 500.
- IV. PUBLIC WORKS DEPARTMENT ACTIVITY UPDATE: Dresen expects to complete ditch mowing next week. Dan Anderson has passed the written CDL test and has his driving test coming up. Construction of the shed over the salt shed will begin next week. Salt is coming Monday. Parks maintenance equipment has been cleaned up and put away for the winter.
- V. BOARD REPORTS AND COMMUNICATIONS: None.
- VI. COMMITTEE REPORTS:
- A. Deer-Grove EMS Commission: Four finalists for the Chief position will participate in an assessment center on November 10th.
- B. Town Parks Committee: Notice of an online parks survey will be included with tax mailings.
- VII. Adjournment: **MOTION** by DuPlayee/Williams to adjourn. **MOTION CARRIED 4-0.** The meeting ended at 8:11 P.M.

Kim Banigan, Clerk
Approved 12-03-2018



SUBDIVISION APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

**** Please read both pages of the application completely and fill in all required fields****
 This application form may also be completed online at www.cityofmadison.com/planning/plan.html

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

1a. Application Type.

Preliminary Subdivision Plat Final Subdivision Plat Land Division/Certified Survey Map (CSM)

If a Plat, Proposed Subdivision Name: Banovetz CSM **CITY OF MADISON**

1b. Review Fees.

- For **Preliminary** and/or **Final Plats**, an application fee of **\$250, plus \$50 per lot or outlot** contained on the plat. DEC 26 2018
- For **Certified Survey Maps**, an application fee of **\$250 plus \$200 per lot and outlot** contained on the CSM.

**Planning & Community
& Economic Development**

2. Applicant Information.

Name of Property Owner: Steve Banovetz Representative, if any: _____
 Street Address: 714 Weald Bridge Rd City/State: Cottage Grove Zip: WI
 Telephone: (608) 320-2338 Fax: () Email: steveb@fs-restorations.com
 Firm Preparing Survey: Williamson Surveying & Associates, LLC Contact: Chris Adams (agent)
 Street Address: 104A W. Main St City/State: Wauunakee/WI Zip: 53597
 Telephone: (608) 255-5705 Fax: (608) 849-9760 Email: chris@williamsonsurveying.com

Check only ONE – ALL Correspondence on this application should be sent to: Property Owner, OR Survey Firm

3a. Project Information.

Parcel Addresses (note town if located outside City): Town of Cottage Grove
 Tax Parcel Number(s): 0711-284-9720-2
 Zoning District(s) of Proposed Lots: C-1 School District: Stoughton

→ Please provide a Legal Description on your CSM or plat. Note your development schedule in your Letter of Intent.

3b. For Properties Located Outside the Madison City Limits in the City's Extraterritorial Jurisdiction:

Date of Approval by Dane County: Dec. 21, 2018 Date of Approval by Town: Nov. 1, 2018

→ For an exterritorial request to be scheduled, approval letters from both the Town and Dane County must be submitted.

4. Subdivision Contents and Description.

Land Use	Lots	Outlots	Acres
Residential			
Retail/Office			
Industrial	1		9.65
Other (state use):			

Land Use	Lots	Outlot	Acres
Outlots Dedicated to the Public (Parks, Stormwater, etc.)			
Outlots Maintained by a Private Group or Association			
PROJECT TOTALS	1		9.65

5. **Required Submittals.** Your application is required to include the following (check all that apply):

Map Copies (prepared by a Registered Land Surveyor):

- For Preliminary Plats, **eighteen (18) copies** of the drawing drawn to scale are required. The drawing is required to provide all information as set forth in Section 16.23 (7)(a) of the Madison General Ordinances. The drawings shall include, but are not limited to, a description of existing site conditions and natural features, delineation of all public and private utilities that serve the site (denote field located versus record drawings), the general layout of the proposed subdivision, the dimensions of lots and outlots, widths of existing and proposed rights of way, topographic information, and any other information necessary for the review of the proposed subdivision.
- For Final Plats, **sixteen (16) copies** of the drawing are required to be submitted. The final plat shall be drawn to the specifications of Section 236.20 of the Wisconsin Statutes.
- For Certified Survey Maps (CSM), **sixteen (16) copies** of the drawing are required. The drawings shall include all of the information set forth in Sections 16.23(7)(a)&(d) of the Madison General Ordinances, including existing site conditions, the nature of the proposed division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
- All surveys submitted with this application are required to be collated, stapled and folded so as to fit within an 8 1/2" X 14" folder. An **8-1/2 X 11-inch reduction of each sheet** shall also be submitted.

Letter of Intent: Twelve (12) copies of a letter describing the proposed subdivision in detail including, but not limited to: the number and type/ use of lots proposed with this subdivision; existing conditions and uses of the property; development and phasing schedule for the project, and; the names of persons involved (contractor, architect, landscaper, business manager, etc.). ***The letter of intent for a subdivision can be the same document as the letter of intent required for a concurrent Land Use Application for the same property. **A letter of intent is not required for Subdivision Applications for lot combinations or split duplexes.**

Report of Title and Supporting Documents: All plats and certified surveys submitted for approval shall include a Report of Title satisfactory to the Office of Real Estate Services as required in Section 16.23 of the Madison General Ordinances. A minimum of **two (2) copies** of a City of Madison standard 60-year Report of Title shall be obtained from a title insurance company. **Title insurance or a title commitment policy is NOT acceptable** (i.e. a Preliminary Title Report or a Record Information Certificate). The applicant shall submit a copy of all documents listed in the Report of Title for each copy of the report submitted.

For any plat or CSM creating common areas to be maintained by private association: Two (2) copies of proposed development restrictions and covenants shall be submitted for City approval prior to recording of the survey instrument.
N/A

For Surveys Outside the Madison City Limits: A copy of the approval letters from both the Town where the property is located and Dane County must be submitted with your request. The City of Madison may not consider a survey within its extraterritorial jurisdiction without prior approval **Town and Dane County**.

For Surveys Conveying Land to the Public: A Phase I Environmental Site Assessment Report may be required if any interest in these lands are to be conveyed to the public. Please contact the City's Office of Real Estate Services at 266-4222 for a determination as soon as possible.
N/A

Electronic Application Submittal: All applicants are required to submit a copy of this completed application form, and preliminary and/or final plats or Certified Survey Map as individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The transmittal shall include the name of the project and applicant.

6. **Applicant Declarations:**

The signer attests that the application has been completed accurately and all required materials have been submitted:

Applicant's Printed Name Chris Adams **Signature** 
Date 12-26-2018 **Interest In Property On This Date** Surveyor

Effective May 21, 2012



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104A WEST MAIN STREET, WAUNAKEE, WI 53597

NOA T. PRIEVE and CHRIS W. ADAMS

PHONE: 1-608-255-5705 WEB: WILLIAMSONSURVEYING.COM

Letter of Intent

Dear Planning Commission:

December 26, 2018

Steve Banovetz is asking for approval of a 1 lot certified survey map which will create a new lot allowing him to build a new building for his business.

Per application guidelines, I am providing the following information:

1. Number and Type/use of proposed lots:

Proposed Lot 1 will be 9.65 acres for a new commercial business.

2. Existing conditions and uses of property:

The property is currently agricultural but approvals for commercial parcels surrounding this site are in progress.

3. Development and phase schedule:

Once the CSM is approved and recorded Steve will begin the application process for building. The building plans have already been approved by the Town Board and he will simply need to apply for permits.

4. Names of persons involved:

Williamson Surveying & Associates LLC – Surveyors

Property owner: Steve Banovets
714 Weald Bridge Rd
Cottage Grove, WI 53527

Agent: Chris Adams or Noa Prieve
Williamson Surveying and Associates LLC

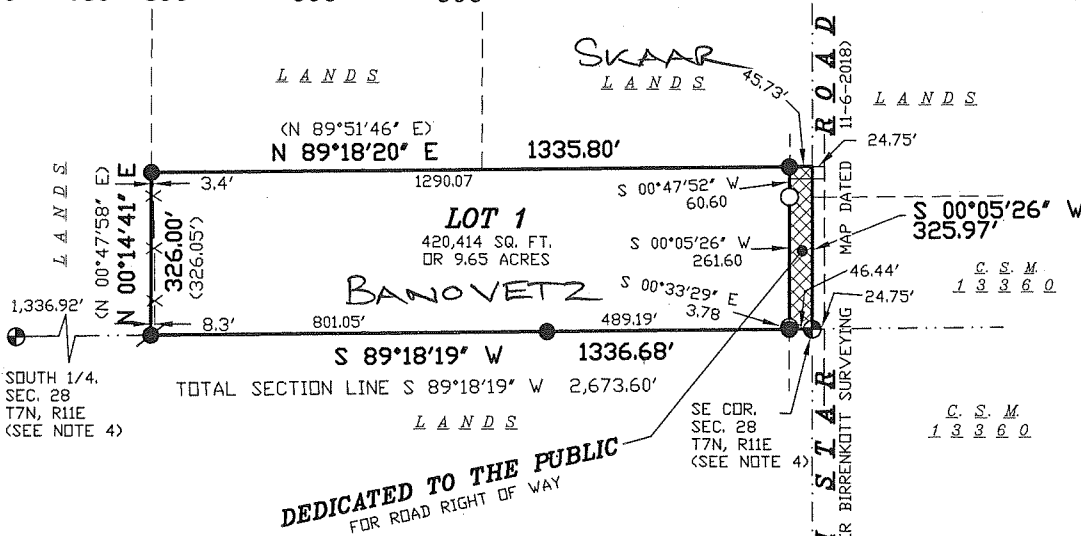
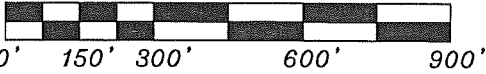


CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC
NOA T. PRIEVE & CHRIS W. ADAMS, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 28, T7N, R11E, TOWN OF
COTTAGE GROVE, DANE COUNTY, WISCONSIN.

SCALE 1" = 300'



SURVEYORS SEAL

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC
NOA T. PRIEVE & CHRIS W. ADAMS, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 28, T7N, R11E, TOWN OF
COTTAGE GROVE, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Chris W. Adams, Professional Land Surveyor hereby certify that this survey is correct to the best of the professional surveyor's knowledge and belief and is in full compliance with the provisions of Chapter A-E 7 and Chapter 236.34 Wisconsin Statutes, the subdivision regulations of Dane County, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the SE 1/4 of the SE 1/4 of Section 28, T7N, R11E, in the Town of Cottage Grove, Dane County, Wisconsin more particularly described as follows:

Beginning at the Southeast 1/4 corner of said Section 28; thence S 89°18'19" W along the south line of said Section 28, 1336.68 feet the west line of the Southeast 1/4 of the Southeast 1/4 of said Section 28; thence N 00°14'41" E along said west line, 326.00 feet; thence N 89°18'20" E, 1335.80 feet to the east line of said Southeast 1/4 of the Southeast 1/4 of said Section 28; thence S 00°05'26" W along said east line, 325.97 feet to the point of beginning. This parcel contains 10.00 acres and is subject to a road right of way dedication as shown.

Williamson Surveying and Associates, LLC
by Noa T. Prieve & Chris W. Adams

Date _____

Chris W. Adams S-2748
Professional Land Surveyor

OWNERS' CERTIFICATE:

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on the certified survey map. I also certify that this certified survey map is required by sec. 75.17(1)(a), Dane County Code of Ordinances, to be submitted to the Dane County Zoning and Land Regulation Committee for approval.

WITNESS the hand seal of said owners this
_____ day of _____, 20____.

STATE OF WISCONSIN)
DANE COUNTY)

Steve J. Banovetz, Sr.

Personally came before me this
_____ day of _____,
20____ the above named Steve J.
Banovetz, Sr to me known to be
the person who executed the
foregoing instrument and
acknowledge the same.

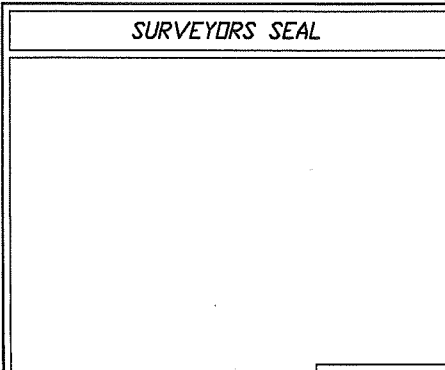
_____ County, Wisconsin.

My commission expires _____

Notary Public

Print Name

Sheet 2 of 3



18W-73



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE & CHRIS W. ADAMS, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 28, T7N, R11E, TOWN OF
COTTAGE GROVE, DANE COUNTY, WISCONSIN.

TOWN BOARD RESOLUTION

Resolved that this certified survey map and the road right of way
dedication is hereby accepted and approved by the Town of Cottage
Grove on this ____ day of _____, 20__.

Kim Banigan
Town Clerk

CITY OF MADISON PLAN COMMISSION:

Approved for recording per Secretary, Madison Planning Commission action
of ____ day of _____, 20__.

Natalie Erdman, Secretary Plan Commission

DANE COUNTY APPROVAL:

Approved for recording per Dane County Zoning and Land Regulation
Committee action on _____.

NOTE:

REFER TO BUILDING SITE
INFORMATION CONTAINED IN THE
DANE COUNTY SOIL SURVEY.

Daniel Everson
Assistant Zoning Administrator

REGISTER OF DEEDS:

Received for recording this ____ day of _____, 20__ at ____ o'clock
____M. and recorded in Volume _____ of Dane County Certified Surveys on
pages _____ through _____.

Kristi Chlebowski
Register of Deeds

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

SURVEYORS SEAL

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