

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____

03311

DATE SUBMITTED: <u>9/13/06</u>	Action Requested
UDC MEETING DATE: <u>9/20/06</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 5702 RAYMOND ROAD

ALDERMANIC DISTRICT: 20

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
MLG CAPITAL (MEADOWOOD) LLC THE REDMOND COMPANY
13400 BISHOP'S LANE SUITE 100 W228 N745 WESTMOUND DRIVE
BROOKFIELD, WI 53005 WAUKESHA, WI 53186

CONTACT PERSON: TAMMY MAUER

Address: SAME AS AGENT

Phone: 262-896-3787

Fax: 262-549-1314

E-mail address: tmauer@theredmondco.com



TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

Walgreens

PLAN COMMISSION SUBMITTAL MEADOWOOD PLAZA RAYMOND ROAD & WHITNEY WAY MADISON, WISCONSIN

CITY SUBMITTAL DATES:

- SUBMITTAL 1 03-23-06
- SUBMITTAL 2 05-10-06
- SUBMITTAL 3 09-13-06

INDEX OF DRAWINGS:

- COVER SHEET
- A0.1 ARCHITECTURAL SITE PLAN
- C0.0 CIVIL ENGINEERING REQUIRMENTS
- C0.1 A.D.A. ACCESSIBLE PARKING DATA
- C6.2 SHREDDER AND COMPACTOR DETAILS
- C1.0 EXISTING SITE CONDITIONS
- C2.0 SITE DEMOLITION PLAN
- C3.0 EROSION CONTROL AND GRADING
- C3.1 EROSION CONTROL GRADING - WEST
- C3.2 EROSION CONTROL GRADING - EAST
- C4.0 SITE DETAILS
- C4.1 SITE DETAILS
- A2.1 EXTERIOR BUILDING ELEVATIONS
- A2.2 EXTERIOR BUILDING ELEVATIONS
- A2.3 EXTERIOR BUILDING ELEVATIONS
- LD.1 LANDSCAPING DEMOLITION PLAN
- LS.1 LANDSCAPE PLAN
- LS.2 LANDSCAPE DETAILS
- EO.1A PARKING LOT LIGHTING AND PHOTOMETRICS



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www.albionarch.com

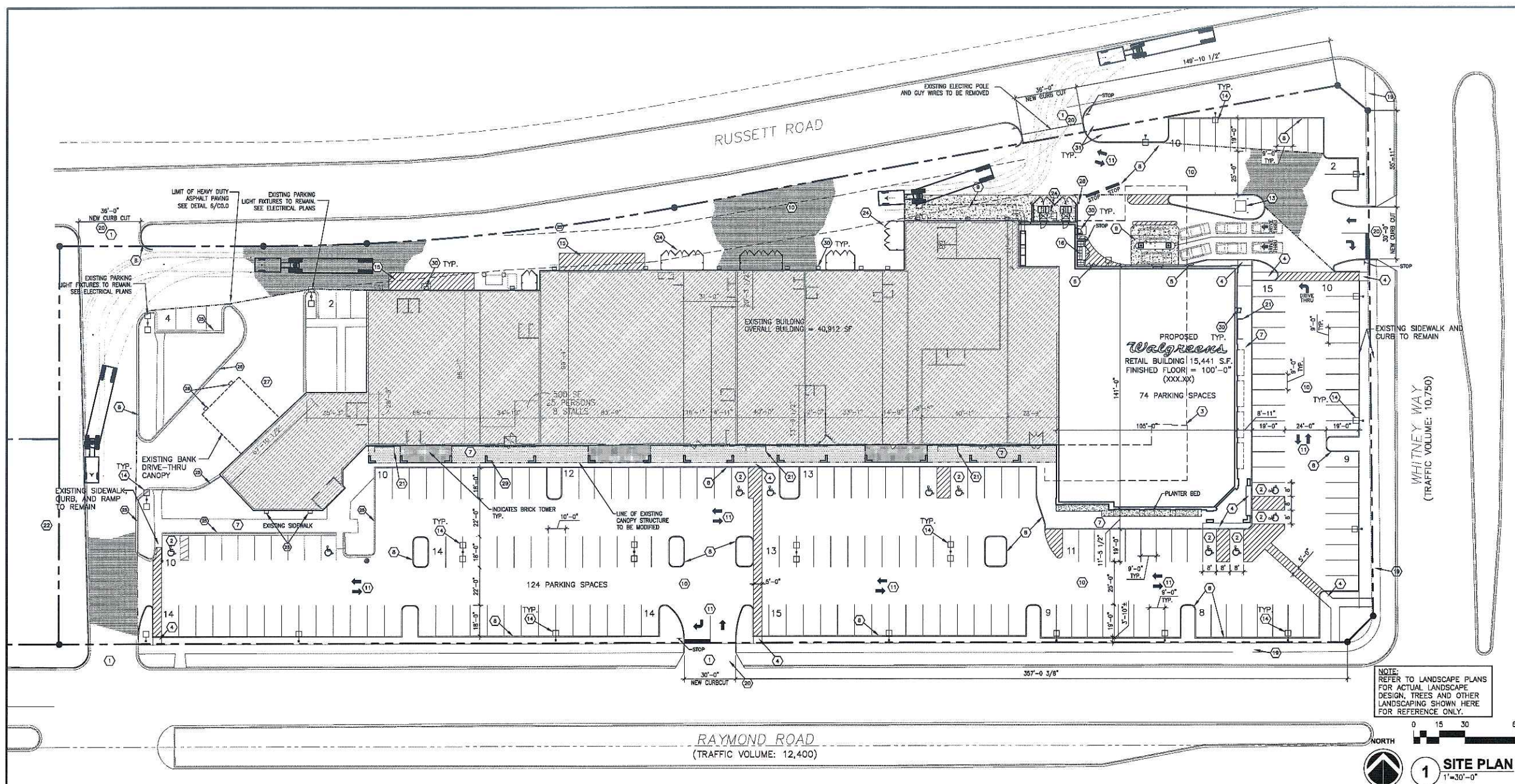
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CONTACT: STEVEN R. GARTMAN

WALGREENS
MEADOWOOD PLAZA
RAYMOND ROAD & WHITNEY WAY
MADISON, WI
PROJECT NO. 0575-00

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 DRAWINGS/SPECIFICATIONS BY:
 WALGREEN'S CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREEN'S CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



NOTE: REFER TO LANDSCAPE PLANS FOR ACTUAL LANDSCAPE DESIGN. TREES AND OTHER LANDSCAPING SHOWN HERE FOR REFERENCE ONLY.

1 SITE PLAN
 1"=30'-0"

GENERAL NOTES

- BEARINGS, DIMENSIONS AND EASEMENTS SHOWN HEREON ARE FOR REFERENCE ONLY. REFER TO PROJECT ALTA/ASCM LAND TITLE SURVEY FOR PROPERTY LEGAL DESCRIPTION AND VERIFICATION OF REFERENCED INFORMATION.
- REFER TO PROJECT ARCHITECTURAL DRAWINGS FOR DETAIL DIMENSIONS OF BUILDING, DRIVE-THRU AND STOREFRONT CANOPIES, RECEIVING AND REFUSE/RECYCLING PLATFORMS AND/OR ENCLOSURES AND CONCRETE WORK SURROUND BUILDING.
- ALL AREAS NOT OTHERWISE NOTED SHALL BE LANDSCAPED. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.

KEYED NOTES

- | | |
|---|---|
| (1) ACCESSIBLE ROUTE TO ENTRY | (17) ROOF STORM LINE TO TIE INTO CITY STORM |
| (2) ACCESSIBLE PARKING | (18) CANOPY DOWNSPOUT TO TIE INTO CITY STORM |
| (3) PARTIAL DEMOLITION OF EXISTING BUILDING | (19) EXISTING SIDEWALK |
| (4) PEDESTRIAN RAMP/TACTILE WARNING SURFACE | (20) CONCRETE CONSTRUCTED ENTRANCES |
| (5) GAS METER | (21) BIKE RACKS (5 BIKES PER RACK) |
| (6) ELECTRIC METER | (22) RESERVED FOR FUTURE DEVELOPMENT |
| (7) CONCRETE WALK | (23) NO CURB |
| (8) NEW CONCRETE CURB | (24) TRASH ENCLOSURE-SEE SHT. C6.2 FOR SIM. DTLS. |
| (9) CONCRETE PAVING | (25) EXISTING CONCRETE CURB |
| (10) ASPHALT PAVING | (26) EXISTING LIGHT FIXTURE TO REMAIN. |
| (11) PAVEMENT MARKINGS | (27) EXISTING CONCRETE TO REMAIN |
| (12) TRAFFIC REGULATION SIGN FOR TEXT INDICATED | (28) BOLLARD |
| (13) ELECTRICAL TRANSFORMER | (29) CANOPY PIERS |
| (14) LIGHT POLE. SEE ELECTRICAL PLANS. | (30) NEW WALL MTD. LT. FIXTURE. SEE ELECTRICAL PLANS. |
| (15) LOADING ZONE PAD | |
| (16) TOTE ENCLOSURE | |

SITE DATA

EXISTING ZONING = C-2	
TOTAL SITE AREA	201,866 SF (4.6 ACRES)
BUILDING SETBACKS	
FRONT YARD	NONE REQUIRED
SIDE YARDS	NONE REQUIRED
REAR YARD	NONE REQUIRED
BUILDING INFORMATION	
# OF STORIES ABOVE GRADE	1 STORY
PROPOSED BUILDING HEIGHT	31'-2"
PROPOSED BUILDING AREA	61,138 SF
PARKING REQUIREMENTS	
REQUIRED PARKING SPACES: 1 SPACE PER 300 SF OF GROSS FLOOR AREA	197 SPACES
CAR PARKING SPACES PROPOSED	185 SPACES
HANDICAPPED PARKING SPACES PROPOSED	10 SPACES
TOTAL PARKING SPACES PROPOSED	195 SPACES
SIGNAGE REQUIREMENTS	
WALL SIGNS	
MAXIMUM ALLOWABLE AREA	PENDING

NO.	DATE	DESCRIPTION
3	09-13-06	MADISON UDC REVISIONS SUBMITTAL 3
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573

PROJECT NAME
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI

DRAWING TITLE
SITE PLAN

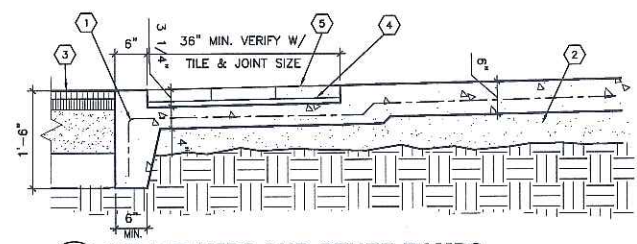
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	A0.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	
	0578-00	OF DWGS.

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DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

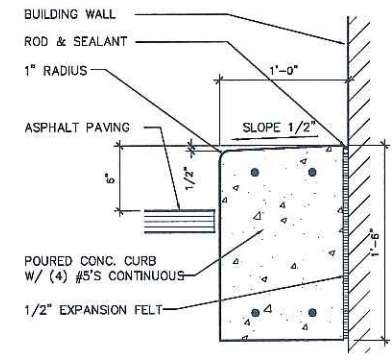
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
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OTHERS <input type="checkbox"/>	

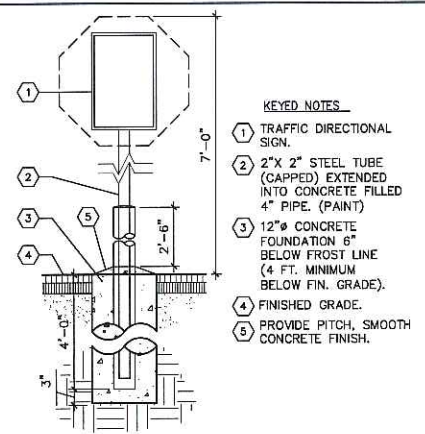


16 CURB RAMPS AND OTHER RAMPS
 3/4" = 1'-0"

- KEYED NOTES**
- 1 6" X 6" #10 W.W.F.
 - 2 4" COMPACTED AGGREGATE BASE
 - 3 PAVEMENT
 - 4 GROUT BED
 - 5 WAUSAU ADA (U400B COLOR) PAVERS GROUTED AND SEALED

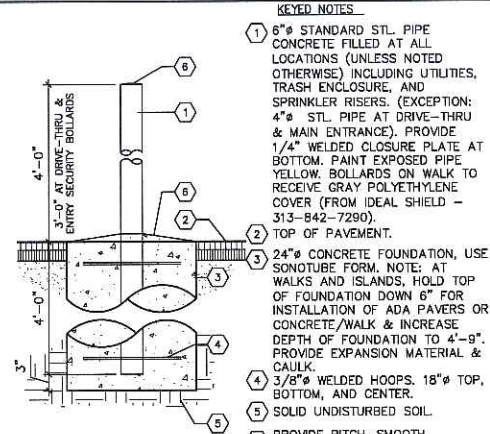


15 CURB @ BUILDING
 1 1/2" = 1'-0"



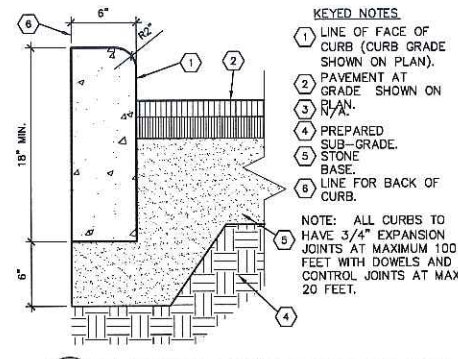
11 TRAFFIC DIRECTIONAL SIGN
 3/4" = 1'-0" (FREESTANDING)

- KEYED NOTES**
- 1 TRAFFIC DIRECTIONAL SIGN
 - 2 2" X 2" STEEL TUBE (CAPPED) EXTENDED INTO CONCRETE FILLED 4" PIPE. (PAINT)
 - 3 12" CONCRETE FOUNDATION 6" BELOW FROST LINE (4 FT. MINIMUM BELOW FIN. GRADE).
 - 4 FINISHED GRADE.
 - 5 PROVIDE PITCH, SMOOTH CONCRETE FINISH.



12 TYPICAL PIPE BOLLARD
 3/4" = 1'-0"

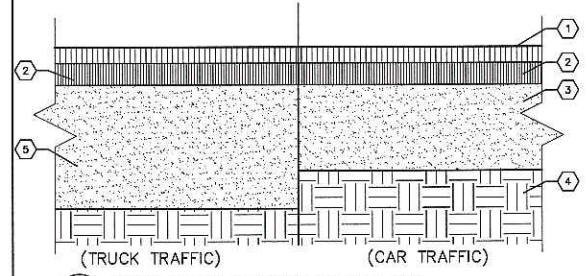
- KEYED NOTES**
- 1 6" STANDARD STL PIPE CONCRETE FILLED AT ALL LOCATIONS (UNLESS NOTED OTHERWISE) INCLUDING UTILITIES, TRASH ENCLOSURE, AND SPRINKLER RISERS. (EXCEPTION: 4" STL PIPE AT DRIVE-THRU & MAIN ENTRANCE). PROVIDE 1/4" WELDED CLOSURE PLATE AT BOTTOM. PAINT EXPOSED PIPE YELLOW. BOLLARDS ON WALK TO RECEIVE GRAY POLYETHYLENE COVER (FROM IDEAL SHIELD - 313-642-7290).
 - 2 24" CONCRETE FOUNDATION, USE SONDTUBE FORM. NOTE: AT WALKS AND ISLANDS, HOLD TOP OF FOUNDATION DOWN 6" FOR INSTALLATION OF ADA PAVERS OR CONCRETE/WALK & INCREASE DEPTH OF FOUNDATION TO 4'-9". PROVIDE EXPANSION MATERIAL & CAULK.
 - 3 3/8" WELDED HOOPS. 18" TOP, BOTTOM, AND CENTER.
 - 4 SOLID UNDISTURBED SOIL.
 - 5 PROVIDE PITCH, SMOOTH CONCRETE FINISH.



13 VERTICAL CURB
 1 1/2" = 1'-0" (ALLOWED WHERE STORM WATER DOES NOT DRAIN AGAINST FACE OF CURB)

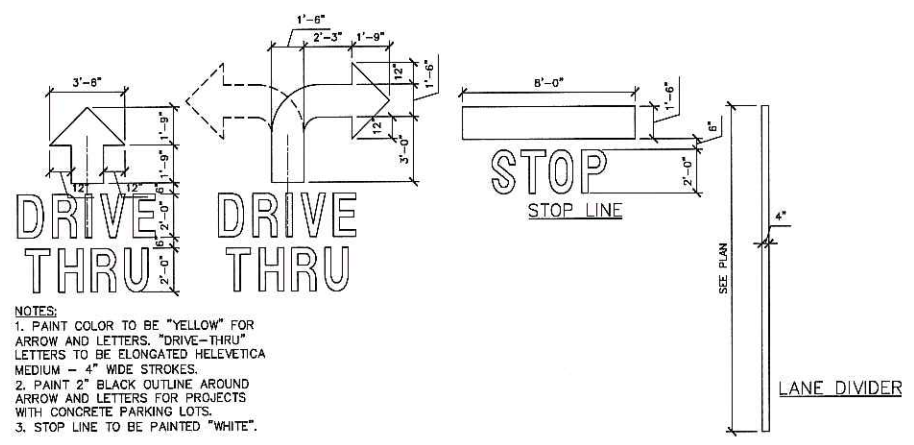
- KEYED NOTES**
- 1 LINE OF FACE OF CURB (CURB GRADE SHOWN ON PLAN).
 - 2 PAVEMENT AT GRADE SHOWN ON PLAN.
 - 3 R.V.A.N.
 - 4 PREPARED SUB-GRADE.
 - 5 STONE BASE.
 - 6 LINE FOR BACK OF CURB.
- NOTE: ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAX. 20 FEET.

**NOTE: ONLY USED WHERE INDICATED. SEE DRAWINGS FOR LOCATIONS



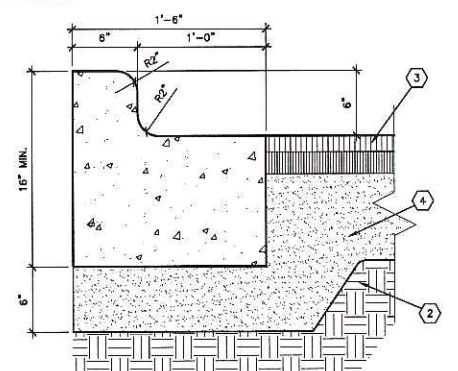
6 PAVEMENT SECTION DETAIL
 1 1/2" = 1'-0"

- KEYED NOTES**
- 1 1 1/2" WEARING SURFACE OVER TACK COAT.
 - 2 2" BINDER COURSE OVER PRIME COAT.
 - 3 6" (MIN.) CLEAN, GRADED AND COMPACTED STONE (NO SLAG).
 - 4 WELL-DRAINED SUB-GRADE (SUB-GRADE TO MODIFIED 95 PROCTOR MIN. COMPACTION).
 - 5 8" CLEAN, GRADED & COMPACTED STONE BASE (NO SLAG).
- NOTE: THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEO-TECHNICAL DATA OF SPECIFIC PROJECT AND WALGREENS DAILY TRAFFIC DESIGN REQUIREMENT.



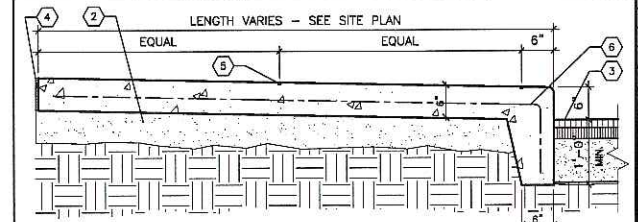
10 PAVEMENT PAINTING
 1/4" = 1'-0"

- NOTES:**
- 1. PAINT COLOR TO BE "YELLOW" FOR ARROW AND LETTERS. "DRIVE-THRU" LETTERS TO BE ELONGATED HELEVETICA MEDIUM - 4" WIDE STROKES.
 - 2. PAINT 2" BLACK OUTLINE AROUND ARROW AND LETTERS FOR PROJECTS WITH CONCRETE PARKING LOTS.
 - 3. STOP LINE TO BE PAINTED "WHITE".



8 TYPICAL CURB & GUTTER
 1 1/2" = 1'-0"

- KEYED NOTES**
- 1 N/A
 - 2 PREPARED SUB-GRADE.
 - 3 PAVEMENT.
 - 4 STONE BASE.
- NOTE: ALL CURBS TO HAVE 1/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAXIMUM 20 FEET.



7 TYPICAL PERIMETER SIDEWALK
 3/4" = 1'-0"

- KEYED NOTES**
- 1 N/A
 - 2 4" COMPACTED AGGREGATE BASE
 - 3 PAVEMENT.
 - 4 COMPRESSIBLE FILLER (3/4" MAXIMUM). CUT BACK AND PROVIDE SEALANT, TYPICAL, AT ALL JOINTS WITH FILLER.
 - 5 1/4" TOOLED JOINT
 - 6 6" X 6" #10 W.W.F.

9 NOT USED

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
CIVIL ENGINEERING REQUIREMENTS		
CADD PLOT:	SCALE: 1"=20'-0"	DRAWING NO.
VOID PLOT:	DRAWN BY: MPJ	C0.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0579-00	OF DWGS.

EXTERIOR SITE AND PARKING AREA

AN ACCESSIBLE ROUTE OR PATH FROM THE PERIMETER OF THE SITE SERVING SIDEWALKS, PUBLIC STREETS OR PUBLIC TRANSPORTATION MUST BE PROVIDED TO WALGREENS ACCESSIBLE STORE ENTRANCE.

PREFERRED LOCATION FOR ACCESSIBLE ROUTE SHALL COINCIDE WITH PEDESTRIAN ACCESS TO CORNER. OTHERWISE, LOCAL ARCHITECT TO DETERMINE BEST LOCATION TO CONFORM TO SLOPE ALLOWANCES DEFINED BY A.D.A. VERIFY COMPLIANCE WITH MORE STRINGENT LOCAL CODES.

AN ACCESSIBLE ROUTE WILL BE A MINIMUM 36" WIDE. 60" IS WALGREENS STANDARD.

AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20, WITH A CROSS SLOPE NOT EXCEEDING 1:50. SLOPES EXCEEDING 1:20, BUT LESS THAN 1:12, CONSTITUTE RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS) AS NOTED BELOW. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12, NOR HAVE A CROSS SLOPE EXCEEDING 1:50.

ACCESSIBLE SPACE REQUIREMENTS

TOTAL OFF STREET PARKING SPACES PROVIDED	NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
OVER 1000	2% PLUS 1 FOR EACH OVER 1000

THE ADA REQUIRES ONE VAN ACCESSIBLE PARKING SPACE WITH 96" ACCESS AISLE FOR ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE.

ENTRANCE AREA DOORS

WALGREEN'S STANDARD ENTRANCE DOOR IS AN AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS.

ENTRANCE DOORS AND ALL OTHER DOORS ALONG AN ACCESSIBLE ROUTE WILL HAVE A MINIMUM CLEAR OPENING OF 32".

THE EXTERIOR ENTRANCE AREA SHALL NOT HAVE IMPEDIMENTS TO ACCESSIBILITY SUCH AS CART BARRIERS OR "CART CORRALLS".

PROTECTIVE SECURITY BOLLARDS, IF USED IN THE ENTRANCE AREA, SHALL BE SPACED A MINIMUM OF 36" CLEAR BETWEEN BOLLARDS.

THRESHOLDS AT AUTOMATIC DOORS SHALL NOT EXCEED 3/4" IN HEIGHT OR 1/2" FOR OTHER TYPES OF DOORS. ALL THRESHOLDS SHALL BE BEVELED WITH A SLOPE OF NO GREATER THAN 1:2.

VESTIBULES

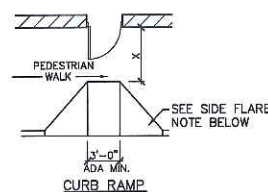
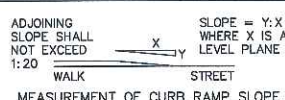
IF THE STORE HAS A VESTIBULE, THE MINIMUM SPACE BETWEEN THE OUTER DOOR AND THE INNER DOOR SHOULD BE 48" PLUS THE WIDTH OF ANY DOOR SWINGING INTO THE SPACE.

REVOLVING DOORS

IF THE STORE HAS A REVOLVING DOOR AT THE ENTRANCE, IT MUST HAVE AN ADJACENT "ACCESSIBLE" DOOR. THE ADJACENT ACCESSIBLE DOOR MUST BE UNLOCKED AND USABLE WHEN THE REVOLVING DOOR IS UNLOCKED AND USABLE.

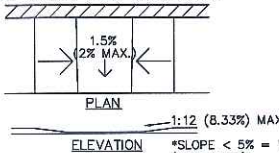
OBSTRUCTIONS

NO OBJECTS SHOULD PROTRUDE (EVEN TEMPORARILY) INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WOULD INCLUDE SHOPPING CARTS, SALES FIXTURES, VENDING MACHINES, DISPLAYS, OR OTHER BARRIERS.



"X" IS 60" MIN. AT AN OUT SWING DOOR WITH A SLOPE OF 1:50 (2%) MAXIMUM. LEVEL SURFACE IS PREFERRED.

SIDE FLARE NOTE: (SEE REFERENCE DIAGRAM ABOVE). SIDE FLARES SHALL HAVE A MAXIMUM SLOPE OF 1:10 (10%), WHERE "X" IS LESS THAN 48". SIDE FLARE SLOPE SHALL BE 1:12 (8.33%) MAXIMUM. WHERE "X" IS LESS THAN 36", WALGREENS PREFERRED THE "IN-LINE" RAMP SHOWN BELOW.



"IN-LINE" RAMP

NOTES: A CURB RAMP(S) MUST BE PROVIDED ALONG AN ACCESSIBLE PATH FROM THE PARKING LOT TO WALGREENS CURBED SIDEWALK.

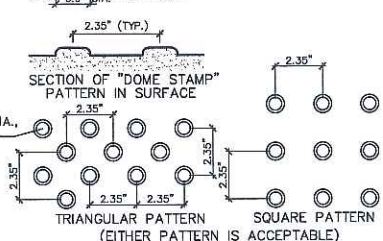
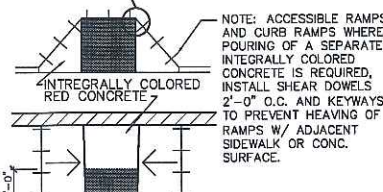
A CURB RAMP(S) MUST ALSO BE PROVIDED IN THE PARKING LOT AT ALL INTERMEDIATE AND PERIMETER CURBS ALONG THE ACCESSIBLE ROUTE CONNECTING TO PUBLIC SIDEWALKS.

A RAMP IS ANY SLOPE GREATER THAN 1:20 (5%) AND SHALL HAVE A MAXIMUM SLOPE OF 1:12 (8.33%). THE MAXIMUM SLOPE IS 1" OF RISE PER FOOT OF DISTANCE TRAVELED. ALL SLOPED AREAS OF THE RAMP ARE TO HAVE AN INTEGRAL RED COLOR.

THE CLEAR WIDTH OF ANY RAMP IS A MINIMUM OF 36".

CURB RAMP HAS A MAXIMUM RISE OF 6" AND DO NOT REQUIRE HANDRAILS.

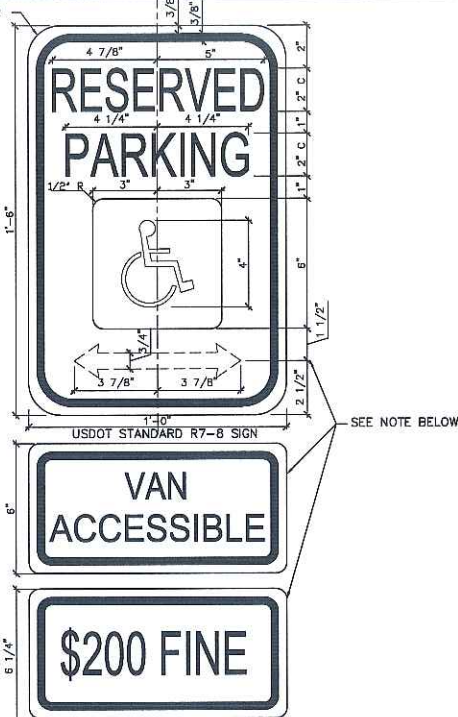
ANY RAMP WITH GREATER THAN A 6" RISE SHALL HAVE HANDRAILS ON BOTH SIDES AND CURBED EDGE PROTECTION ON BOTH SIDES. EDGE PROTECTION CONSISTS OF CURBS, WALLS, RAILINGS, OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. HANDRAIL DETAILS SHALL FOLLOW ACCESSIBLE GUIDELINES.



PLAN OF "DOME STAMP" PATTERN IN SURFACE

CURB RAMP(S) MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP (MID-WALK "IN-LINE" RAMP(S) ONLY NEED DETECTABLE WARNINGS AT WALK/PARKING TRANSITION). THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT). SEE ABOVE.

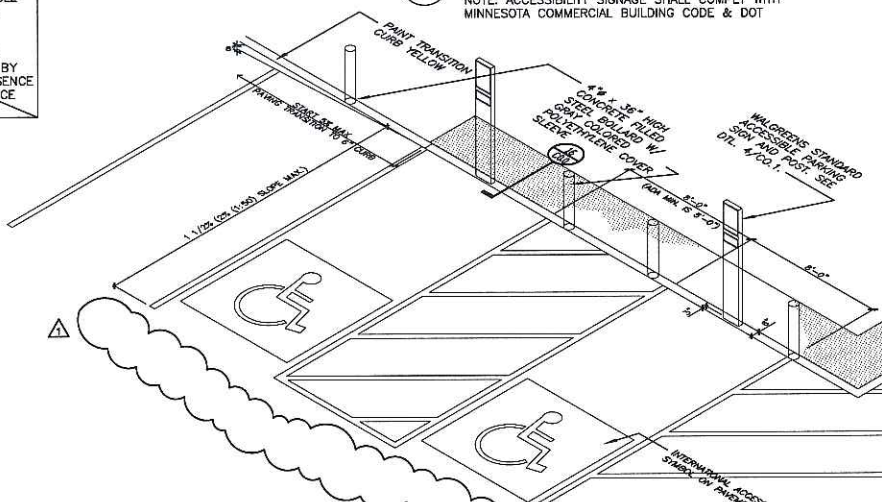
LOCAL JURISDICTION
THERE ARE LOCAL JURISDICTIONS (E.G. ILLINOIS, IAC 400.310.4, 7) THAT SPECIFICALLY REQUIRE DETECTABLE WARNINGS ON THE SIDE FLARES. THERE ARE LOCAL JURISDICTIONS THAT HAVE REDEFINED DETECTABLE WARNINGS (E.G. EXPOSED CONTRASTING COLOR AGGREGATE, GROOVES IN A PARALLEL OR DIAMOND PATTERN ETC.). ACCESSIBILITY GUIDELINES DEFINED BY LOCAL ORDINANCE SHOULD SUPERSEDE. IN THE ABSENCE OF A DEFINITION, FOLLOW ADAAG. VERIFY COMPLIANCE WITH MORE STRINGENT LOCAL CODES.



NOTE (R7-8a SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 9 AM - 5 PM WHERE A PART-TIME RESTRICTION EXISTS. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.

2 ACCESSIBILITY SIGNAGE

NOTE: ACCESSIBILITY SIGNAGE SHALL COMPLY WITH MINNESOTA COMMERCIAL BUILDING CODE & DOT



STANDARD ACCESSIBLE DIMENSIONING

A U.S. DEPARTMENT OF TRANSPORTATION R7-8 (RESERVED PARKING) AND SUPPLEMENTAL SIGNS AS NOTED ABOVE MUST BE MOUNTED ON A PERMANENT POST NO LOWER THAN FOUR FEET FROM THE PAVEMENT. THE POST MUST BE MOUNTED IN THE CENTER OF THE 8 FOOT WIDE ACCESSIBLE PARKING SPACE, NO MORE THAN 5 FEET FROM THE FRONT OF THE PARKING SPACE. SEE ILLUSTRATION ABOVE.

NOTES:
EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 8 FEET WIDE AND HAVE A 96" MINIMUM ACCESS AISLE FOR VANS OR 60" ACCESS AISLE FOR CARS ADJACENT TO THE SPACE. THE ACCESS AISLE MAY BE ON EITHER THE DRIVER'S SIDE OR THE PASSENGER'S SIDE OF THE ACCESSIBLE SPACE. THIS APPLIES TO 45, 60, AND 90° PARKING.

ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE STORE ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH A SLOPE OF 1:122 (2% MAXIMUM) (EXAMPLE: 1.92 INCHES MAX. VERTICAL IN 8 FEET HORIZONTAL) OR 1:50 IN ALL DIRECTIONS. THIS INCLUDES BOTH "RUNNING SLOPES" AND "CROSS SLOPES".

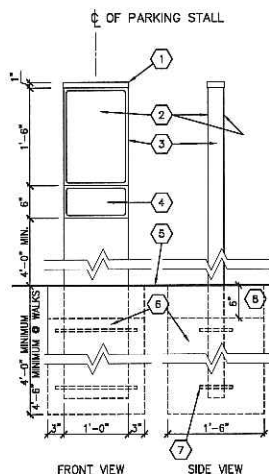
EACH PARKING SPACE ACCESS AISLE MUST CONNECT TO A COMMON LEVEL WITH AN ACCESSIBLE ROUTE. I.E. EACH ACCESS AISLE NEXT TO A PARKING SPACE MUST HAVE A CURB RAMP AT THE WALGREENS STOREFRONT SIDEWALK OR BLEND TO A LEVEL WALKWAY LEADING TO THE WALGREENS ENTRANCE.

ACCESSIBLE PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE STORE ENTRANCE.

THE ACCESS AISLE SHALL BE DESIGNATED WITH HIGH QUALITY YELLOW DIAGONAL SURFACE PAINT STRIPING.

RAMP(S) MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESS PARKING SPACE.

ADA ALLOWS TWO PARKING SPACES TO SHARE AN ACCESS AISLE.



KEYED NOTES

- PRE-FABRICATED WELDED CAP W/ STAINLESS STEEL SCREWS.
- STANDARD US DOT R7-8 SIGN (BOTH SIDES).
- 2"x12"x3/16" STEEL TUBE, PAINT ENAMEL WHITE (FILL WITH CONCRETE).
- SUPPLEMENTAL SIGNS, "VAN ACCESSIBLE" AND/OR "FINE AS APPLICABLE. (CHECK WITH LOCAL MUNICIPALITY FOR SIGNAGE REQUIREMENTS).
- FINISHED GRADE.
- 18"Ø CONCRETE FOUNDATION BELOW FROST LINE (4'-0" MINIMUM)
- 3/8"Ø WELDED HOOPS OR SIMILAR Ø TOP, BOTTOM & CENTER
- HOLD CONCRETE FOUNDATION DOWN 6" AT SIDEWALKS ONLY. POUR SIDEWALK OR INSTALL ADA PAVERS OVER TOP. PROVIDE EXPANSION MATERIAL AROUND TUBE & CAULK

4 ACCESSIBLE PARKING SIGN AND POST (FREESTANDING)

3/4" = 1'-0"

3 ACCESSIBLE PARKING - SIZE AND MARKINGS

THE ARCHITECTS
ALBION GROUP
336 North Milwaukee St.
Suite 503
Milwaukee, WI 53202
414.223.3330
414.223.3340 fax
www.albionarch.com

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
MEADOWOOD PLAZA		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
A.D.A. ACCESSIBLE PARKING DATA		
GADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: MPJ	C0.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.

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 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREEN'S CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

GENERAL NOTES:

CONCRETE: PAD SHALL BE A MINIMUM OF 3,000 P.S.I. AIR-ENTRAINED CONCRETE 6" THICK WITH #4 BARS X 12" O.C. EACH WAY ON 8" CLEAN, GRADED & COMPACTED STONE BASE (NO SLAG). SURFACE TO RECEIVE BROOM FINISH, TOoled JOINTS, AND SHALL BE FLAT EXCEPT FOR WASH (1.66 PERCENT MAXIMUM).
 COMPACTOR: DRAWING DETAILS BASED ON A.C.E.S. COMPANY, INC. COMPACTOR MODEL ACES CPW-01, 450 E. GUNDERSEN DR., SUITE 200, CAROL STREAM, IL (800) 664-0754.
 GENERAL CONTRACTOR TO OBTAIN A.P.R. FROM A.C.E.S. FOR COMPACTOR DOORS. (COMPACTOR INSTALLED BY WALGREEN'S CONTRACTOR). ARCHITECT SHALL SEND A.C.E.S. LAYOUT DRAWINGS FOR REVIEW TO COORDINATE CLEARANCES.

ELECTRICAL POWER: ELECTRICAL CONTRACTOR TO PROVIDE POWER FOR 5 HP., 3 PHASE, 60HZ MOTOR 4'-0" A.F.F. AND 30A. WEATHER PROOF LOCKABLE DISCONNECT SWITCH LOCATED ON EXTERIOR WALL WITHIN 4'-0" OF COMPACTOR. FINAL CONNECTION AND CONTROL WIRING BY COMPACTOR INSTALLER.

SECURITY DOOR AND FRAME: DOOR AND FRAME TO BE PROVIDED AND INSTALLED BY COMPACTOR INSTALLER. PROVIDE 37" X 37" MASONRY OPENING WITH SILL 42" MINIMUM A.F.F. AND 52" MINIMUM ABOVE GRADE OUTSIDE DIMENSION, (BOTH MINIMUMS MUST BE MET).

WOOD FENCE ENCLOSURE AND GATES: CEDAR WOOD BOARD ON BOARD FENCE WITH CLEAR PROTECTIVE FINISH. CEDAR WOOD GATES TO BE STEEL FRAMED WITH 6" STEEL HINGE POSTS AND 2.375" OUTSIDE DIAMETER NOMINAL GALVANIZED LINE POSTS. INDUSTRIAL GRADE CANE DROP BOLTS (FOR HOLD OPEN AND SECURE CLOSE POSITIONS) WITH PADLOCK HASP AND GALVANIZED, SURFACE-MOUNTED BOLT ON HINGES (SM. TO PART #15607) BY MASTER HALCO, INC. (800) 229-5615) OR EQUAL.

A PREFINISHED ALUMINUM AWNING, (USE 4'-0" WIDE ALUMINUM SHEET), FASTENED TO AND CANTILEVERED FROM BUILDING SHALL BE PROVIDED OVER TOTE STORAGE.

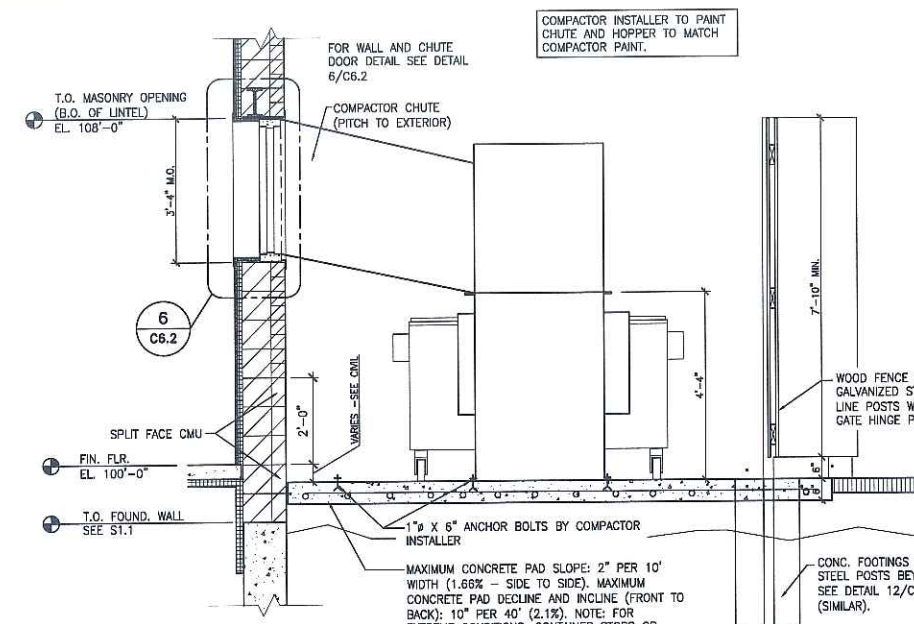
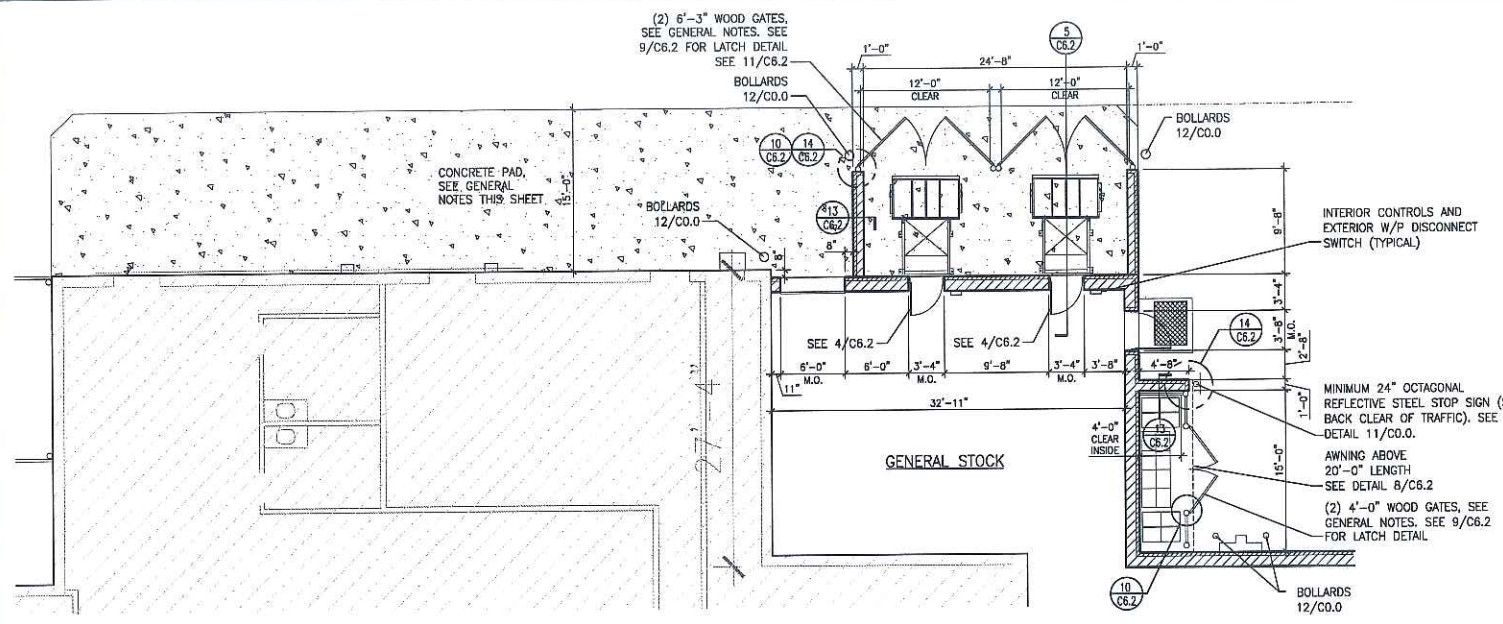
NOTE: IF A RAISED LOADING DOCK IS REQUIRED, THEN 125 SQUARE FEET OF ENCLOSED TOTE STORAGE IS TO BE INCLUDED ON THE DOCK.

MASONRY ENCLOSURES: ENCLOSURE INSIDE DIMENSIONS ARE TO MEET OR EXCEED ALL MINIMUM CLEARANCES PRESCRIBED IN THESE DETAILS.

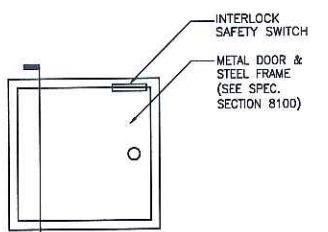
NO.	DATE	DESCRIPTION
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
STORE # 10573
 PROJECT NAME
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

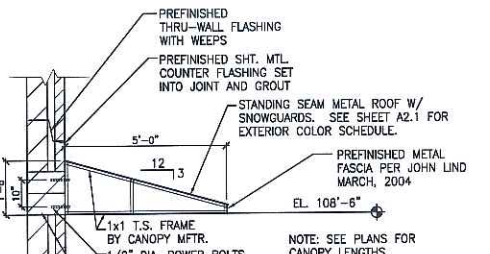
SHREDDER & COMPACTOR DETAILS		
CADD PLOT:	SCALE: AS NOTED.	DRAWING NO.
VOID PLOT:	DRAWN BY: MPJ	C6.2
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.



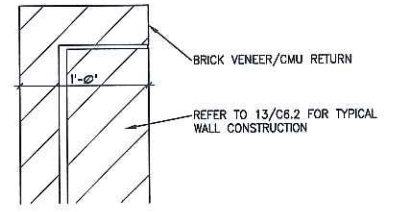
1 PLAN AT COMPACTORS
 1/8" = 1'-0"
 NOTE: COMPACTOR PLAN WAS REVIEWED AND APPROVED BY A.C.E.S. ON XX-XX-XX.



4 THRU-THE-WALL FEED DOOR ELEVATION
 1/2" = 1'-0"

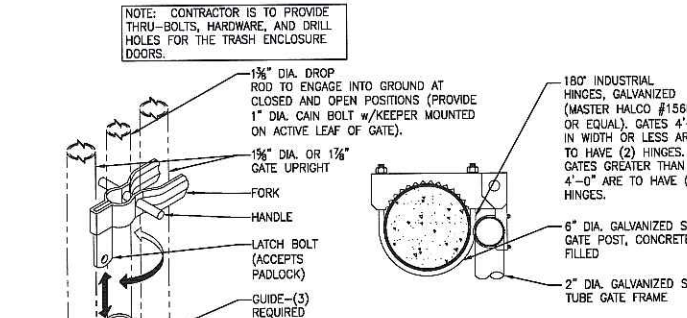


8 AWNING DETAIL
 3/8" = 1'-0"



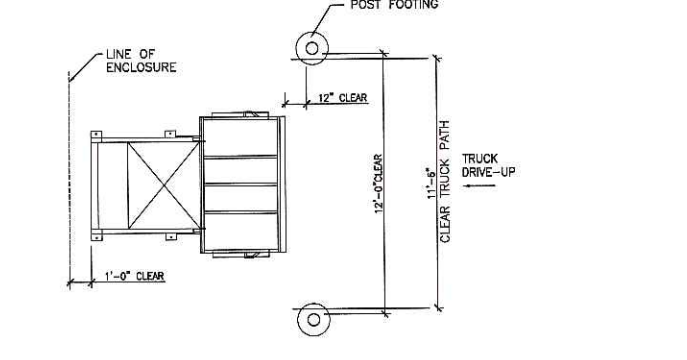
14 BRICK RETURN @ WALL DETAIL
 1/2" = 1'-0"

5 SECTION AT COMPACTOR
 1/2" = 1'-0"

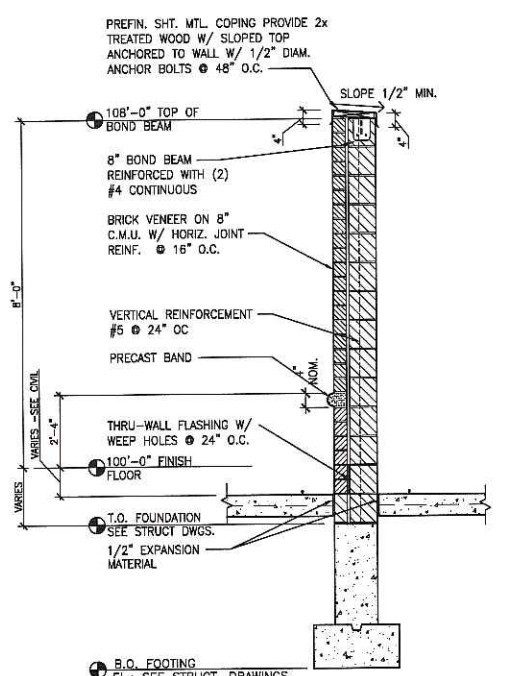


10 INDUSTRIAL HINGE DETAIL
 NO SCALE

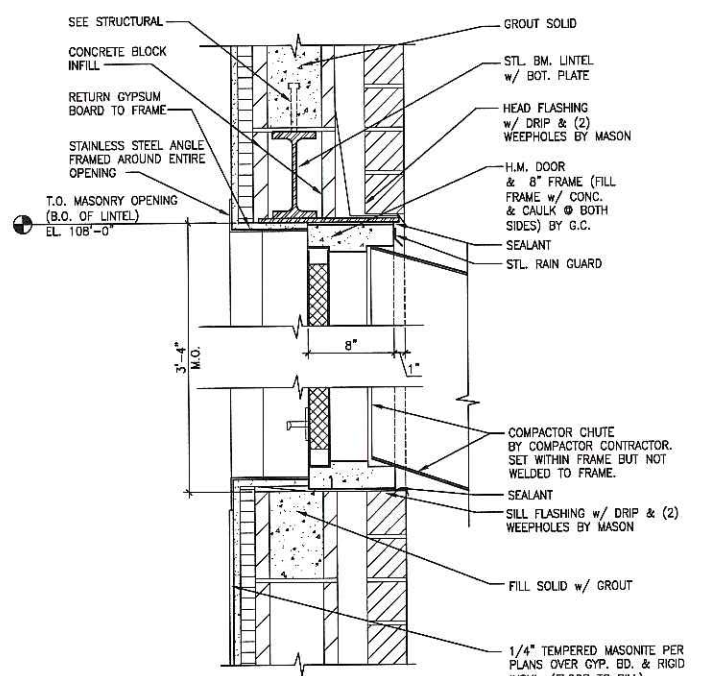
9 INDUSTRIAL LATCH W/ DROP ROD & GATE HINGE
 1/2" = 1'-0"



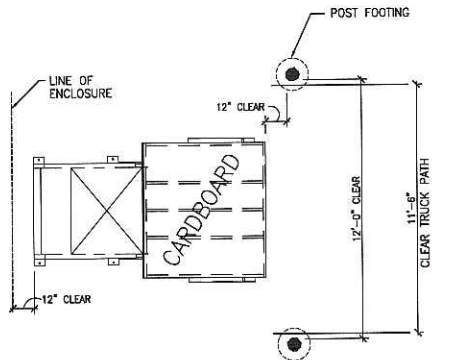
12 COMPACTOR DETAIL
 1/4" = 1'-0"



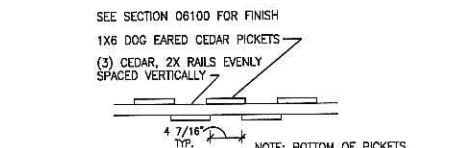
13 SECTION
 1/2" = 1'-0"



6 HEAD DETAIL @ COMPACTOR
 1-1/2" = 1'-0"



7 CARDBOARD COMPACTOR DETAIL
 1/4" = 1'-0"



11 FENCE DETAIL
 1/4" = 1'-0"

- LEGEND**
- PROPERTY CORNER FOUND, 3/4" REBAR
 - △ CP-105 PROPERTY CORNER FOUND, CHISELED CROSS
 - CONTROL POINT
 - POST
 - STREET SIGN
 - WATER OR GAS VALVE
 - FIRE HYDRANT
 - UTILITY MANHOLE
 - STORM SEWER INLET
 - UTILITY POLE WITH GUY WIRE
 - LIGHT POLE
 - TRAFFIC LIGHT POLE
 - UTILITY PEDESTAL
 - ▭ BUILDINGS
 - ▭ PROPERTY LINE
 - ▭ PLATTED LINE
 - ▭ EASEMENT LINE
 - ▭ SECTION LINE
 - ▭ RIGHT-OF-WAY LINE
 - ▭ SANITARY SEWER
 - ▭ WATER LINE
 - ▭ STORM SEWER
 - ▭ UNDERGROUND ELECTRICAL POWER
 - ▭ OVERHEAD ELECTRICAL POWER
 - ▭ UNDERGROUND FIBER OPTIC
 - ▭ UNDERGROUND TELEPHONE
 - ▭ UNDERGROUND CABLE
 - ▭ GAS MAIN
 - ▭ FENCE
 - ▭ CONCRETE CURB & GUTTER
 - ▭ PAVEMENT EDGE
 - ▭ INDEX CONTOUR
 - ▭ 1044 INTERMEDIATE CONTOUR

- NOTES**
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE SOUTH LINE OF LOTS 2 AND 3 OF CSM NO. 7987, RECORDED AS N 89°55'37" W.
 - TOPOGRAPHIC AND UTILITY SURVEY PERFORMED BY JENKINS SURVEY & DESIGN, INC. THE WEEK OF SEPTEMBER 28, 2004 AND FEBRUARY 28, 2006.
 - ELEVATIONS FOR THIS SURVEY AND MAP ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SITE BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 31, 17N, R9E, ELEVATION=1025.86.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS TICKET NO. 20080901834.
 - LOCATION OF SANITARY SEWER, STORM SEWER AND WATER MAIN IS BASED ON CITY OF MADISON RECORDS AND DIGGERS HOTLINE FIELD MARKINGS.
 - LOCATION OF ELECTRIC AND GAS FACILITIES IS BASED ON MADISON GAS & ELECTRIC RECORDS AND SURFICIAL FEATURES ONLY. DIGGERS HOTLINE FIELD MARKINGS WERE INSUFFICIENT AT THE TIME OF FIELD SURVEY.
 - LOCATION OF TELECOMMUNICATION FACILITIES IS BASED ON DIGGERS HOTLINE FIELD MARKINGS ONLY.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE AT 1.800.242.8511.
 - THIS SITE LIES IN ZONE-C (AREAS OF MINIMAL FLOODING) AS SHOWN ON FIRM COMMUNITY PANEL NUMBER 53025C0411F, EFFECTIVE DATE JUNE 17, 2003.
 - THIS PARCEL IS ZONED C1 AND C2 (COMMERCIAL) PER THE CITY OF MADISON. NO FRONT, SIDE OR REAR SETBACKS.
 - SPOT ELEVATIONS ALONG CURB ARE REFERENCE TO TOP OF CURB.

LEGAL DESCRIPTION (FURNISHED)

LOT ONE (1), CERTIFIED SURVEY MAP NO. 7987 RECORDED IN VOLUME 42 OF CERTIFIED SURVEY MAPS, PAGES 221-224, AS DOCUMENT NO. 2712521, LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PARCEL A

LOTS TWO (2) AND THREE (3) OF CERTIFIED SURVEY MAP 7987 RECORDED IN VOLUME 42 OF CERTIFIED SURVEY MAPS, PAGES 221-224, AS DOCUMENT NO. 2712521, LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, DAVE M. JENKINS, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

DAVE M. JENKINS, S-2253 REGISTERED LAND SURVEYOR

DATE

NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 EXCEPTIONS (LOTS 2 AND 3)
(FIRST FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 24090075)

- SANITARY SEWER EASEMENT TO THE CITY OF MADISON RECORDED IN VOL. 404 OF MISC. PAGE 40, AS #1093114; MODIFIED BY AFFIDAVIT RECORDED IN VOL. 7691 OF RECORDS, PAGE 50, AS #1916578. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- PERMANENT STORM SEWER EASEMENT TO THE CITY OF MADISON RECORDED IN VOL. 404 OF MISC. PAGE 42, AS #1031115. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- PARTY WALL AGREEMENT RECORDED IN VOL. 423 OF MISC. PAGE 498, AS #1126233 AND AS SHOWN ON CERTIFIED SURVEY MAP NO. 7987. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- RESTRICTIVE COVENANTS RECORDED IN VOL. 17654 OF RECORDS, PAGE 18 AS # 2316721. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- RIGHT-OF-WAY GRANT UNDERGROUND ELECTRIC TO MADISON GAS AND ELECTRIC COMPANY RECORDED IN VOL. 30037 OF RECORDS, PAGE 73, AS #2881241, AND AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- DRAINAGE EASEMENT AGREEMENT RECORDED IN VOL. 31116 OF RECORDS, PAGE 70, AS #271252. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- RECIPROCAL EASEMENT AGREEMENT RECORDED IN VOL. 31116 OF RECORDS, PAGE 70, AS #271253. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- SANITARY SEWER LATERAL EASEMENT RECORDED AS #3268390. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- UTILITY EASEMENT OVER THE NORTHERLY 10 FEET OF THE INSURED PREMISES - AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- INGRESS-EGRESS EXISTS BETWEEN LOTS 1, 2 AND 3, SEE RECIPROCAL EASEMENT AGREEMENT - AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT GRAPHIC IN NATURE AND IS NOT PLOTTED HEREON.
- PUBLIC OR PRIVATE RIGHTS IN THAT PART OF THE INSURED PREMISES WHICH MAY BE LAID OUT OR USED FOR HIGHWAY PURPOSES OR RIGHTS OF WAY. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT GRAPHIC IN NATURE AND IS NOT PLOTTED HEREON.

SANITARY SEWER MANHOLES						STORM SEWER INLETS					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE	INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	1046.36	E	1036.05	6"	CLAY	INL-1	1041.22	S	1037.04	18"	RCP
SAN-2	1045.17	N	1036.73	6"	CLAY	INL-2	1044.01	SE	1040.79	6"	PVC
		S	1036.57	6"	CLAY			NW	1040.69	12"	PVC
		W	1036.53	6"	CLAY	INL-3	1041.79	S	1038.92	18"	RCP
SAN-3	1043.60	N	1035.42	6"	CLAY			SE	1039.38	12"	PVC
		E	1035.26	6"	CLAY						
		S	1035.45	6"	CLAY						
		W	1036.23	6"	CLAY						
SAN-4	1041.69	N	1033.69	6"	CLAY						
		E	1033.47	6"	CLAY						
		S	1033.69	6"	CLAY						
		W	1033.99	6"	CLAY						
SAN-5	1044.84	N	1035.86	6"	CLAY						
		E	1036.11	6"	CLAY						
		S	1036.26	6"	CLAY						
		W	1036.12	6"	CLAY						
SAN-6	1043.56	NW	1035.37	6"	CLAY						
		NE	1035.53	6"	CLAY						
		SW	1035.53	6"	CLAY						

CURVE TABLE

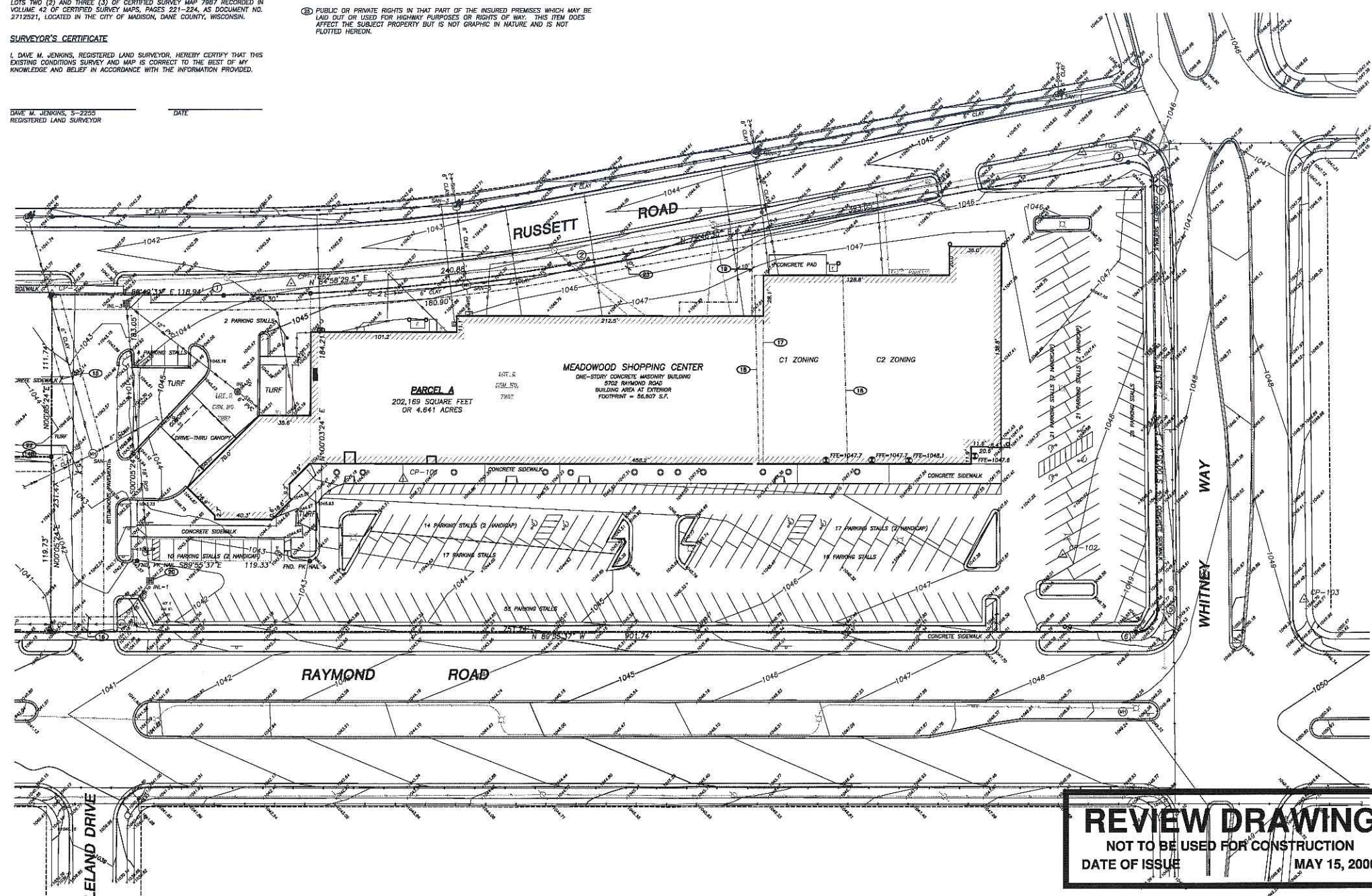
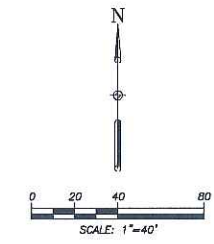
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
1-2	241.20'	1328.90'	102°31'59"	120.54'	240.88'	N 84°58'29.5" E
LOT 3	60.30'	1328.90'	02°36'00"	30.16'	60.30'	N 89°52'29" E
LOT 2	180.90'	1328.90'	07°47'59"	90.69'	180.90'	N 83°40'29" W
3-4	26.08'	15.00'	89°37'53"	17.76'	22.92'	S 50°24'33.5" E
5-6	23.74'	15.00'	90°40'00"	17.76'	21.34'	S 44°44'23" W

CONTROL POINTS

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	9999.84	10000.00	1040.94	RBR
CP-2	10231.17	10000.56	1042.13	RBR
CP-101	10104.22	10244.25	1047.35	600 NAIL
CP-102	10051.78	10700.98	1047.72	PK NAIL
CP-103	10020.91	10898.26	1049.60	600 NAIL
CP-105	10328.91	10714.25	1048.65	600 NAIL
CP-1862	10238.92	10156.16	1043.76	600 NAIL

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	1025.86	SW CORNER SECTION 31 17N R9E BRASS CAP IN WATER BOX.
BM-2	1046.48	SOUTH 1/4 CORNER SECTION 31 17N R7E BRASS CAP IN MONUMENT BOX.



TO OBTAIN LOCATIONS OF UNPLOTTED UNDERGROUND UTILITIES BEFORE YOU DIG OR EXCAVATE:

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

BEFORE YOU EXCAVATE, RELATIVELY SHALLOW UTILITIES SHALL BE MARKED AND DEPTH SHALL BE MEASURED BEFORE YOU EXCAVATE.

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN INVESTIGATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
DATE OF ISSUE: MAY 15, 2006

ARCHITECTS
338 North Milwaukee St.
Suite 503
Milwaukee, WI 53202
414.223.3330
414.223.3340 fax
www.albionarch.com

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 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

JSD - Engineers - Surveyors
Jenkins Survey & Design, Inc.

- SURVEYING AND MAPPING
- CIVIL ENGINEERING
- TRANSPORTATION ENGINEERING
- PLANNING & DEVELOPMENT
- CONSTRUCTION MANAGEMENT

MADISON REGIONAL OFFICE
161 Horizon Drive
Suite 101
Verona, Wisconsin 53593
(608) 948-5060

MILWAUKEE REGIONAL OFFICE
N22 W22931 Nancy Court
Suite 3
Waukesha, Wisconsin 53186
(262) 513-0696

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

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ITEM	DATE
Drawn: MET	03-02-06
Checked: MPW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submittal	03-22-06
City of Madison Submittal	05-15-06

2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION
NO.	DATE	DESCRIPTION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
MEADOWOOD PLAZA		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
EXISTING CONDITIONS SURVEY		
CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-10
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	0578-00
	OF	DWGS.

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 LANDLORD'S CONSULTANT
 ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

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- CONSTRUCTION MANAGEMENT

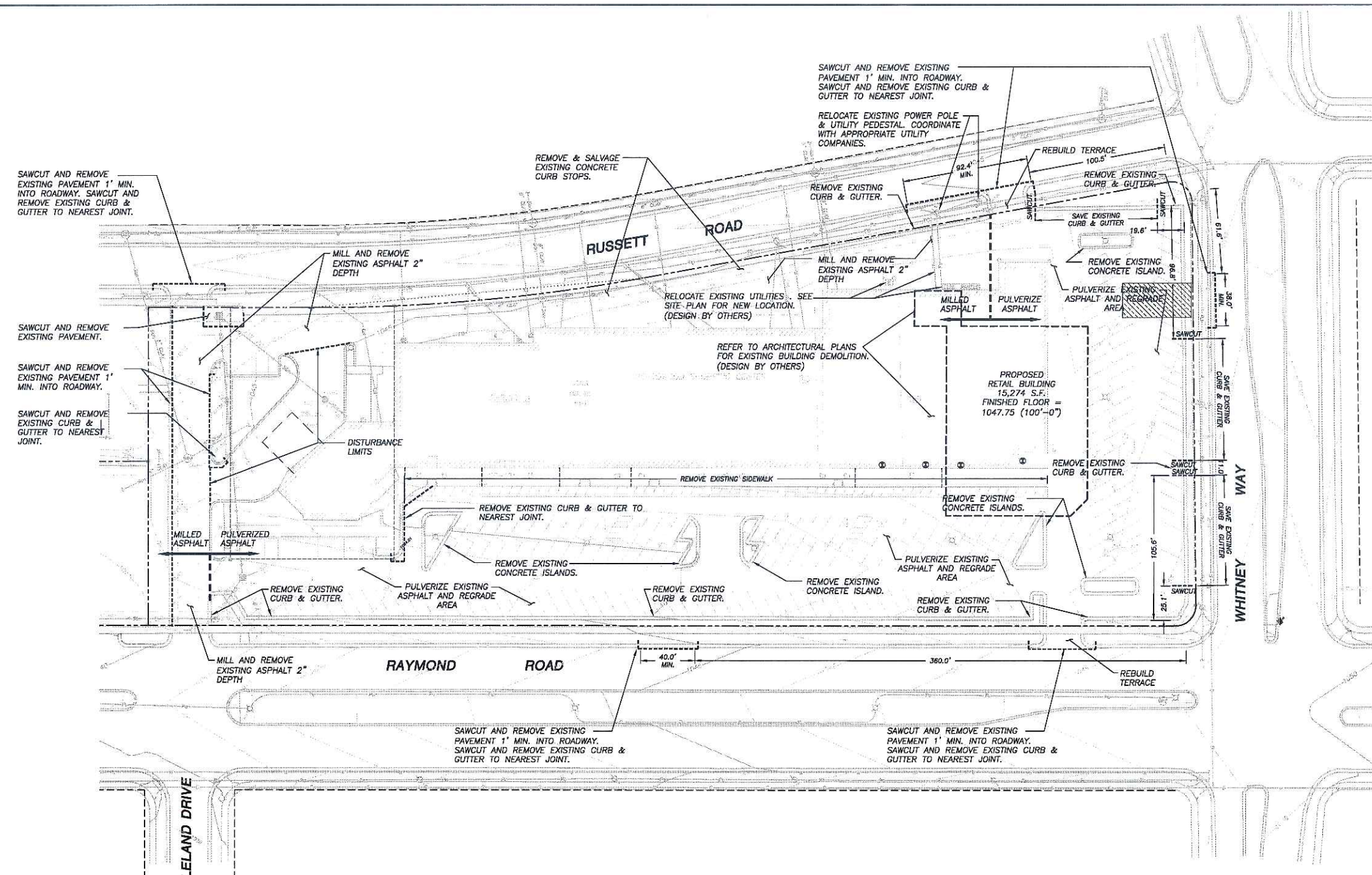
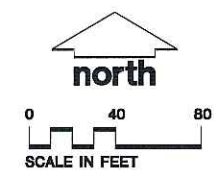
MADISON REGIONAL OFFICE
 161 Horizon Drive
 Suite 101
 Verona, Wisconsin 53593
 (608) 848-5060

MILWAUKEE REGIONAL OFFICE
 N22 W22931 Nancy Court
 Suite 3
 Waukesha, Wisconsin 53185
 (262) 513-0666

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.
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ITEM	DATE
Drawn: MET	03-02-06
Checked: WPW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submittal	03-22-06
City of Madison Submittal	05-15-06

LEGEND (PROPOSED)
 - - - - - PROPERTY LINE
 - - - - - BUILDING LINE
 - - - - - SAWCUT



GENERAL NOTES

- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS NOTES AND LEGEND.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
- ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- PAVEMENT GRADING DESIGN CONSISTENT WITH EXISTING PAVEMENT SLOPES. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ACCURATE PAVEMENT CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE.
- SITE DEMOLITION PLAN IS NOT GUARANTEED TO BE ALL-INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE DEMOLITION/REMOVAL OF EXISTING CONDITIONS FOR PROPOSED SITE IMPROVEMENTS.

SITE DEMOLITION NOTES

- ALL VEGETATION TO REMAIN SHALL BE PROPERLY PROTECTED. PROTECTION TO REMAIN IN PLACE UNTIL COMPLETION OF PROJECT.
- REFER TO SHEETS A0.1 AND C-3.0 FOR SITE IMPROVEMENT LOCATIONS AND DIMENSIONS.
- ALL EXCESS MATERIAL SHALL BE DISPOSED OFFSITE.
- EROSION CONTROL MEASURES MAY BE TEMPORARILY MOVED FOR SITE DEVELOPMENT AND REPLACED AT THE END OF THE WORK DAY. (RAIN DAY EXCLUDED)
- ALL EXISTING LIGHT POLES LOCATED IN THE PARKING LOT SHALL BE REMOVED.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
- CONTRACTOR TO USE A SEEDING RATE OF 3.5 LBS. PER 1000 S.F. FOR TURF AREAS.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
- CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- EROSION CONTROL FOR UTILITY CONSTRUCTION: (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.)
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.
- ALL SLOPES EXCEEDING 20% SHALL BE STAKED WITH EROSION CONTROL FABRIC.

TO OBTAIN LOCATIONS OF PATENTED UNDERGROUND UTILITIES REFER TO SHEET C-1.0 IN MADISON

CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE
 MADISON STATE SERVICE (608)278-7444 MADISON WORKING
 24 HOURS A DAY 7 DAYS A WEEK

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE CONTRACTOR'S OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MAY 15, 2006

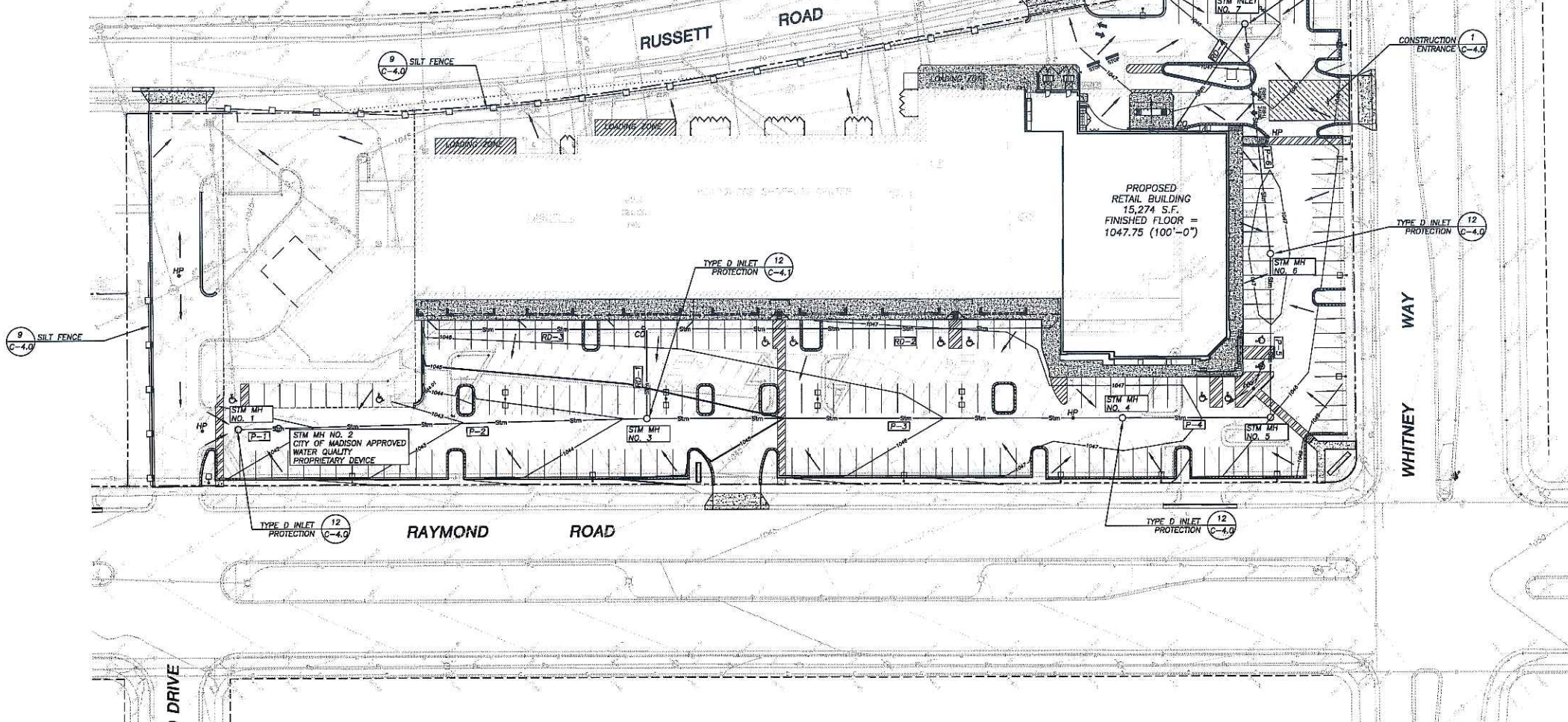
NO.	DATE	DESCRIPTION
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
 STORE # 10573
 PROJECT NAME
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE
SITE DEMOLITION PLAN

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-2.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	0578-00	

PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
MH NO. 2	1037.55	1041.58	4.03	WATER QUALITY PROPRIETARY DEVICE - SEE DETAIL SPECIFICATIONS	
MH NO. 3	1038.99	1041.74	2.75	4" DIA. MANHOLE	R-1550A MANHOLE FRAME - TYPE D GRATE
MH NO. 4	1040.58	1045.50	4.92	4" DIA. MANHOLE	R-1550A MANHOLE FRAME - TYPE D GRATE
MH NO. 5	1041.37	1048.00	6.63	4" DIA. MANHOLE	R-1550A MANHOLE FRAME - SOLID LID NON-ROCKING
MH NO. 6	1041.98	1046.48	4.50	4" DIA. MANHOLE	R-1550A MANHOLE FRAME - TYPE D GRATE
MH NO. 7	1042.80	1045.30	2.50	4" DIA. MANHOLE	R-1550A MANHOLE FRAME - TYPE D GRATE

PROPOSED STORM SEWER PIPE SCHEDULE							
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	MH NO. 2	EXT. INLET NO. 1	25.00	1037.55	1037.35	0.80%	18" HDPE
P-2	MH NO. 3	MH NO. 2	228.63	1038.99	1037.80	0.52%	18" HDPE
P-3	MH NO. 4	MH NO. 4	237.05	1040.58	1035.09	0.50%	18" HDPE
P-4	MH NO. 5	MH NO. 4	92.70	1041.37	1040.68	0.75%	12" HDPE
P-5	MH NO. 6	MH NO. 5	107.82	1041.98	1041.47	0.50%	12" HDPE
P-6	MH NO. 7	MH NO. 7	143.21	1042.80	1042.08	0.50%	12" HDPE
RD-1	PVC CO	PVC CO	53.65	1041.11	1040.00	2.00%	8" PVC
RD-2	EAST AWNING	PVC CO	252.18	1044.89	1041.11	1.50%	8" PVC
RD-3	WEST AWNING	PVC CO	150.39	1043.72	1041.11	2.00%	8" PVC
RD-4	BLD'G CANOPY	MH NO. 7	107.61	1045.15	1043.00	2.00%	8" PVC



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 - ALL SLOPES EXCEEDING 20% SHALL BE STAKED WITH EROSION CONTROL FABRIC.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLANS BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
 - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, DCOMM, AND DNR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER LATERALS, WATERMAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

- PAVING NOTES**
- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION."
 - PAVEMENT DESIGN SHALL BE BASED UPON GEOTECHNICAL REPORT PROVIDED BY GEOTECHNICAL ENGINEER OR AT A MINIMUM 3" ASPHALT (HMA PAVEMENT TYPE E-0.3) PLACED ON 6" BASE AGGREGATE DENSE 1-1/4" CONSTRUCTED IN 2 LIFTS: LOWER LAYER SHOULD BE 1.5" AND THE UPPER LAYER SHOULD BE 1.5". THE UPPER AND LOWER LAYERS OF THE HMA PAVEMENT STRUCTURE SHOULD CONSIST OF 12.5 MM NOMINAL MAXIMUM SIZE AGGREGATE GRADATION. AN ASPHALT BINDER GRADE OF PG-64-28 SHOULD BE USED FOR THE UPPER LAYER. AN ASPHALT BINDER GRADE OF PG-64-22 MAY BE USED FOR THE LOWER LAYER.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
 - CONTRACTOR TO USE A SEEDING RATE OF 2 LBS. PER 1000 S.F. FOR TURF AREAS.
 - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
 - CONTRACTOR SHALL SCARIFY ALL COMPACTED PVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE SEPTEMBER 13, 2006

LEGEND (PROPOSED)

---	PROPERTY LINE
---	BUILDING LINE
---	1 FOOT CONTOUR
---	5 FOOT CONTOUR
---	30" STANDARD CURB & GUTTER
---	18" STANDARD CURB & GUTTER
---	18" REJECT CURB & GUTTER
---	CONCRETE PAVEMENT
---	BITUMINOUS PAVEMENT (E-0.3)
---	CONSTRUCTION ENTRANCE
---	PAVEMENT STRIPING
● 1047.00	SPOT ELEVATION
○ CD	CLEAN OUT
EP	EDGE OF PAVEMENT
TC	TOP OF CURB
SW	TOP OF SIDEWALK
---	DRAINAGE FLOW

THE ARCHITECTS
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 Suite 503
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 www.albionarch.com

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 DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT
 ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	REMODELING	NEW	EXISTING
RELOCATION	OTHERS	NEW SHELL ONLY	

JSD • Engineers • Surveyors
Jenkins Survey & Design, Inc.

- SURVEYING AND MAPPING
- CIVIL ENGINEERING
- TRANSPORTATION ENGINEERING
- PLANNING & DEVELOPMENT
- CONSTRUCTION MANAGEMENT

MADISON REGIONAL OFFICE
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 (608) 848-5080

MILWAUKEE REGIONAL OFFICE
 N22 W2931 Nancy Court
 Suite 3
 Waukeesh, Wisconsin 53186
 (262) 513-0566

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ITEM	DATE
Drawn: MET	03-02-06
Checked: NPW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submittal	03-27-06
City of Madison Submittal	05-15-06

NO.	DATE	DESCRIPTION
3	09-13-06	MADISON UDC SUBMITTAL
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLC COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573
 PROJECT NAME
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE
EROSION CONTROL & GRADING PLAN

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-3.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	0578-00	

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 ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

JSD Engineers & Surveyors
Jenkins Survey & Design, Inc.

- SURVEYING AND MAPPING
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- CONSTRUCTION MANAGEMENT

MADISON REGIONAL OFFICE
 161 Horizon Drive
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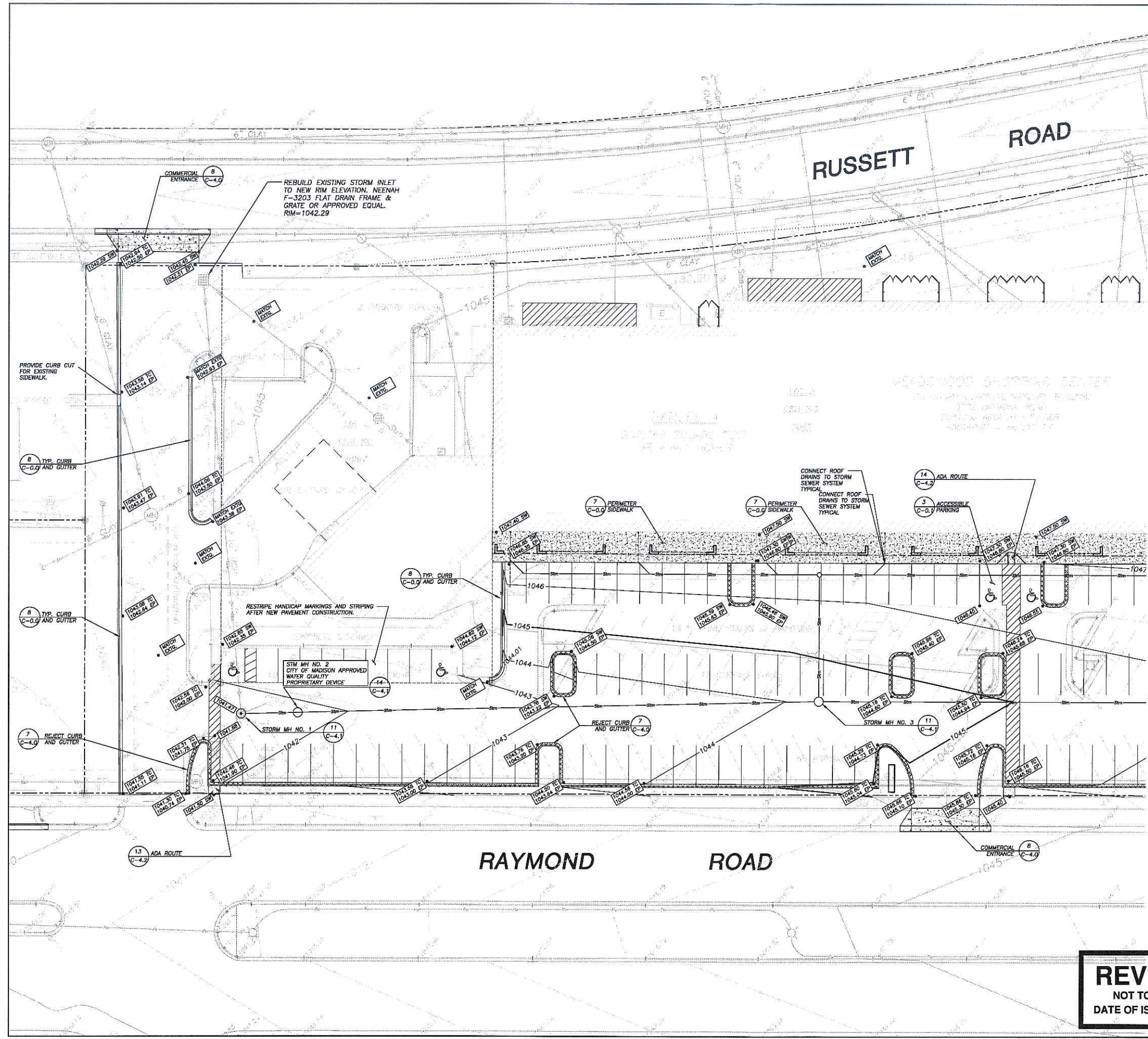
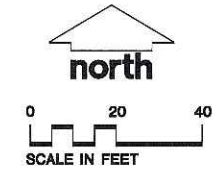
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 Suite 3
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 (262) 513-0688

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Checked: WFW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submitted	03-22-06
City of Madison Submitted	05-15-06

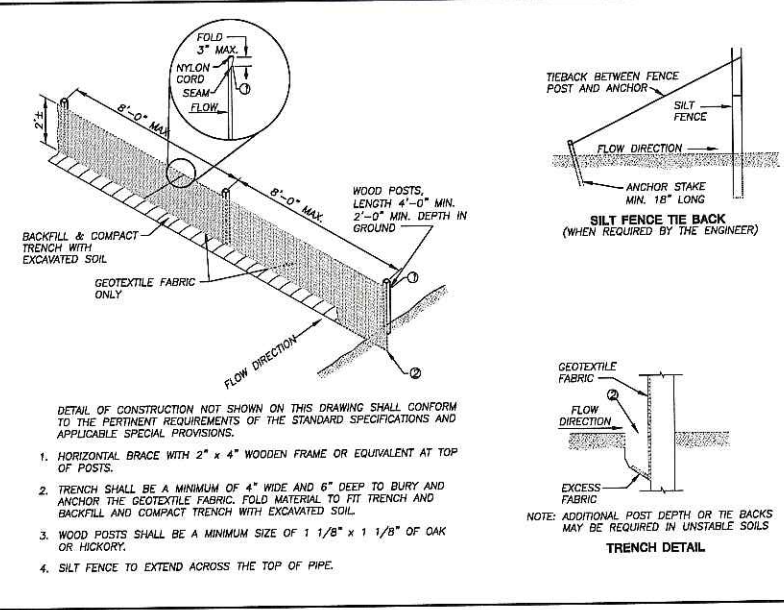
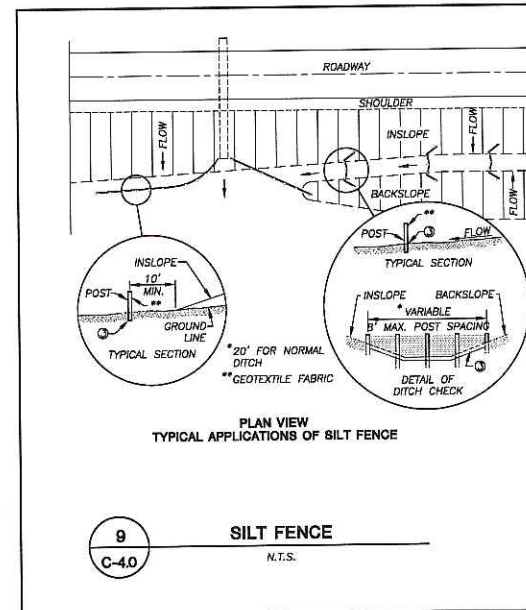
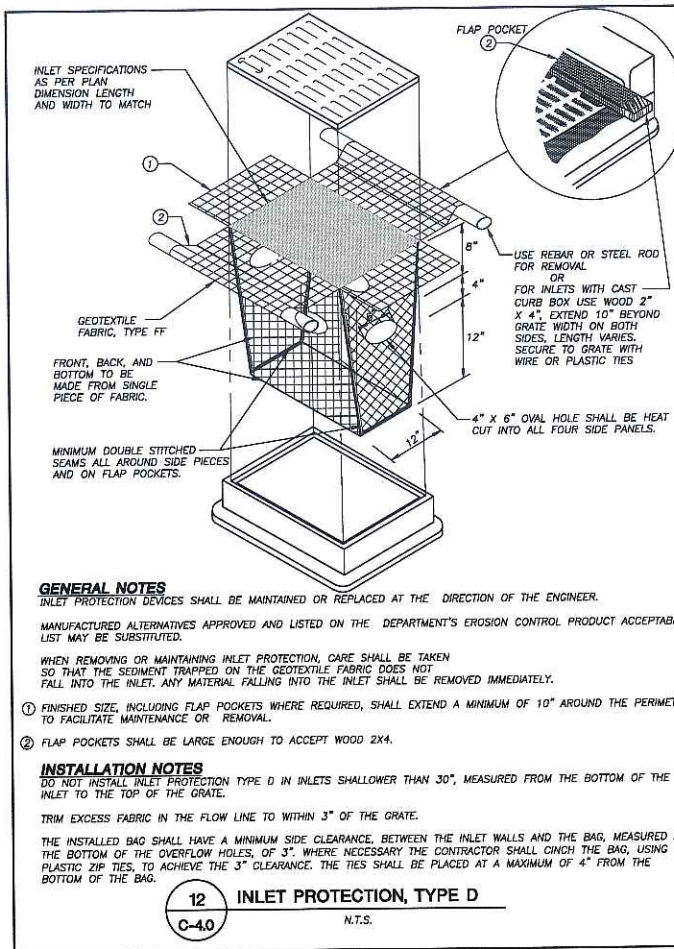
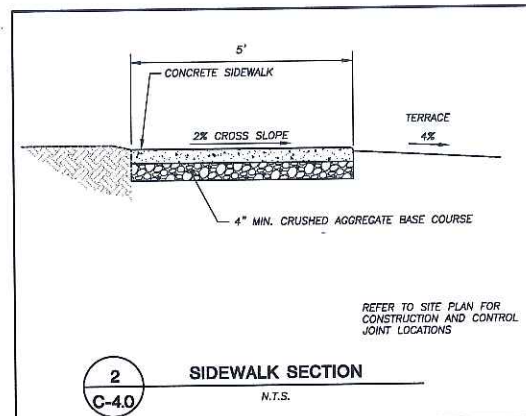
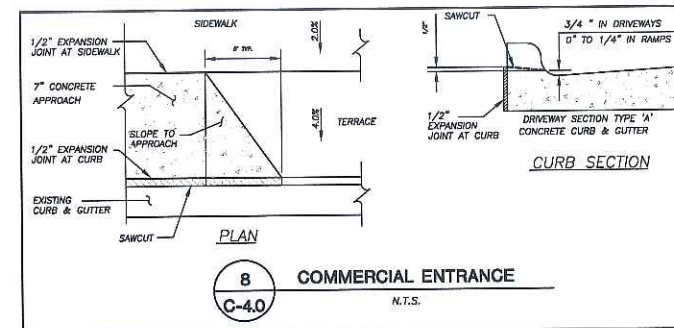
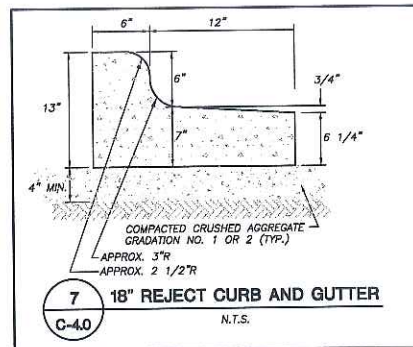
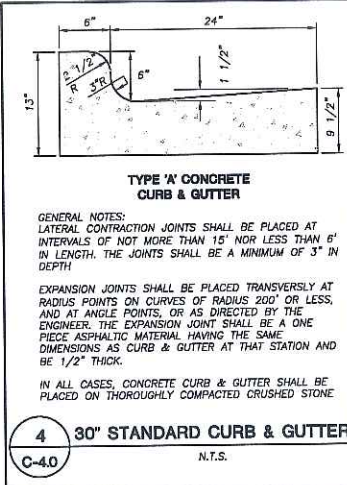
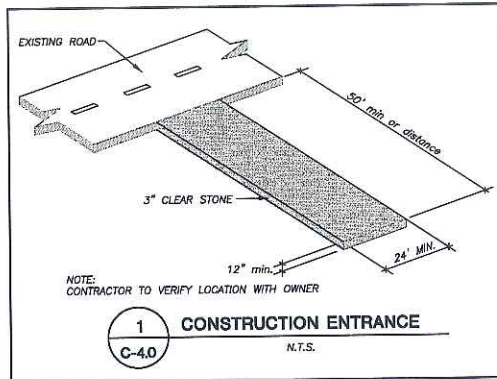
LEGEND (PROPOSED)

	PROPERTY LINE
	BUILDING LINE
	1 FOOT CONTOUR
	5 FOOT CONTOUR
	30" STANDARD CURB & GUTTER
	18" STANDARD CURB & GUTTER
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	CONCRETE PAVEMENT
	BITUMINOUS PAVEMENT (E-0.3)
	PAVEMENT STRIPING
	SPOT ELEVATION
	CLEAN OUT
	EDGE OF PAVEMENT
	TOP OF CURB
	TOP OF SIDEWALK



REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE MAY 15, 2006

2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION
NO.	DATE	DESCRIPTION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
MEADOWOOD PLAZA		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
DETAIL GRADING-WEST		
CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-3.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	0578-00	



- DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
- HORIZONTAL BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF PIPE.

GENERAL NOTES
 INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 ② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
INSTALLATION NOTES
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

THE ALBION GROUP ARCHITECTS
 338 North Milwaukee St.
 Suite 503
 Milwaukee, WI 53202
 414.223.3330
 414.223.3340 fax
 www.albionarch.com

DRAWINGS/SPECIFICATIONS BY:
 WALGREEN'S CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREEN'S CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

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 151 Horizon Drive
 Suite 101
 Verona, Wisconsin 53593
 (608) 848-5080

MILWAUKEE REGIONAL OFFICE
 N22 W22831 Nancy Court
 Suite 3
 Waukesha, Wisconsin 53186
 (262) 513-0668

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REV	DATE
Drawn: MET	03-02-06
Checked: WFW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submitted	03-22-06
City of Madison Submitted	05-15-06

NO.	DATE	DESCRIPTION
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
 STORE # 10573
 PROJECT NAME
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

DETAILS

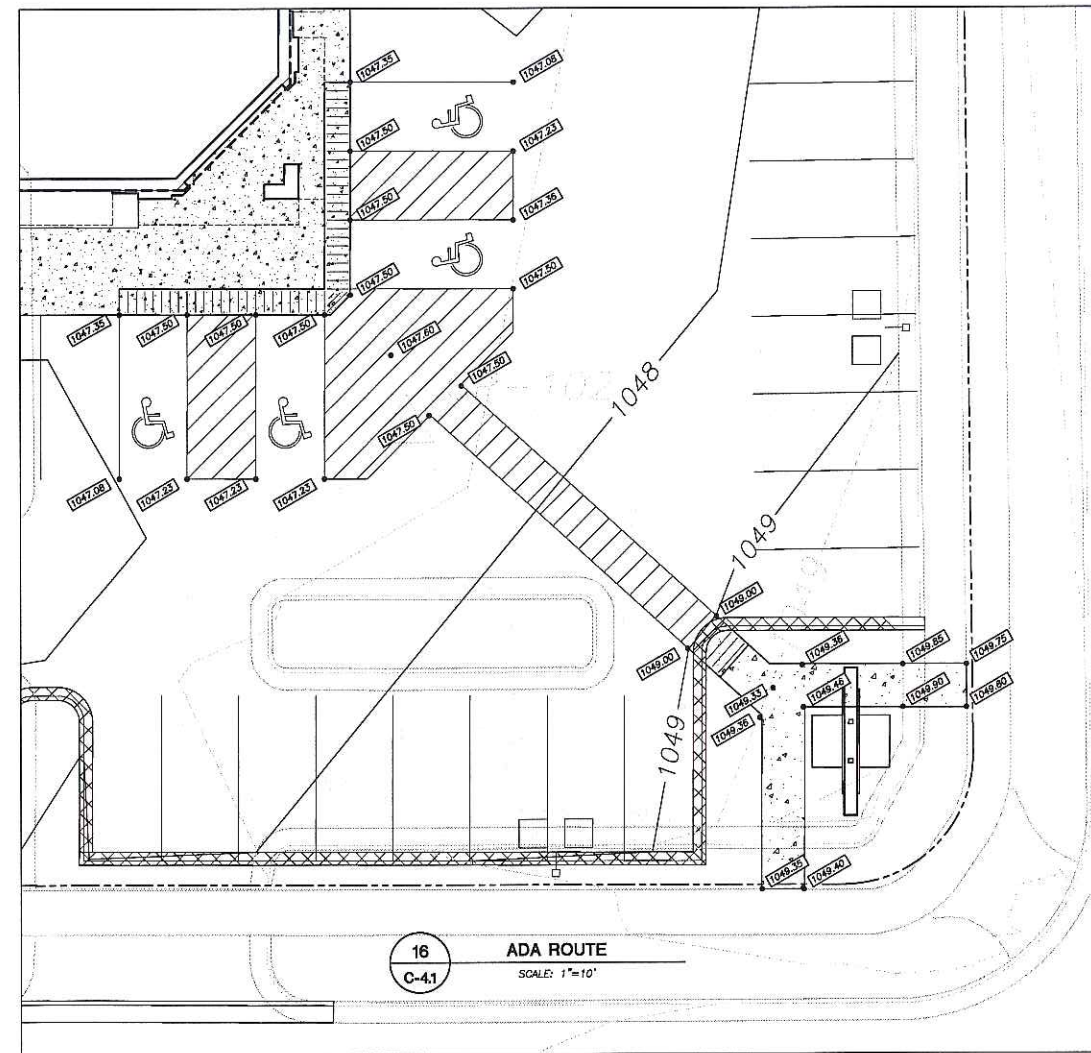
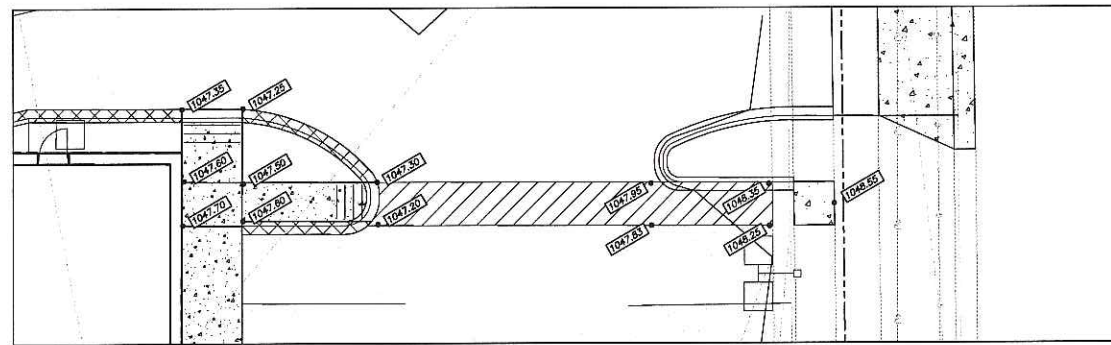
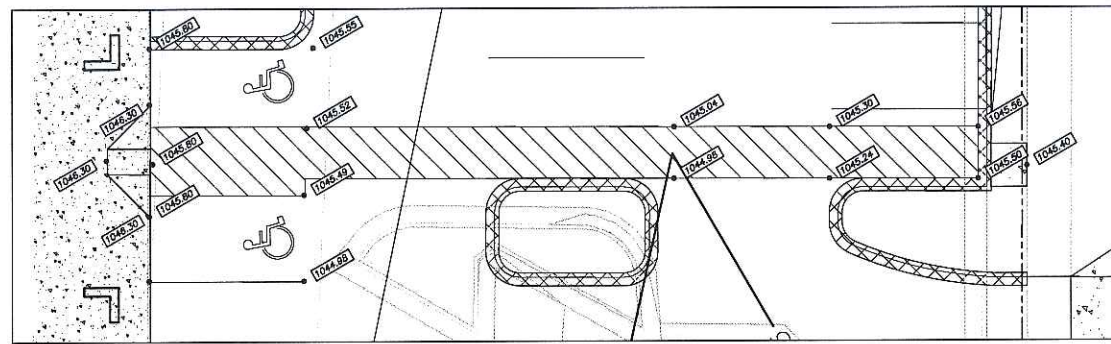
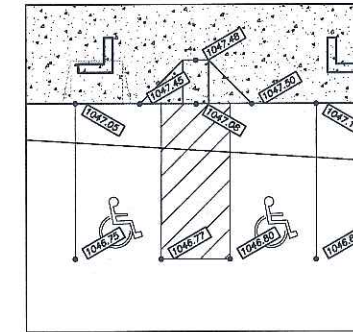
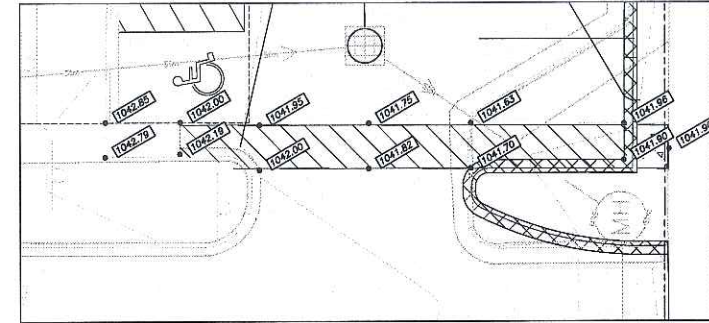
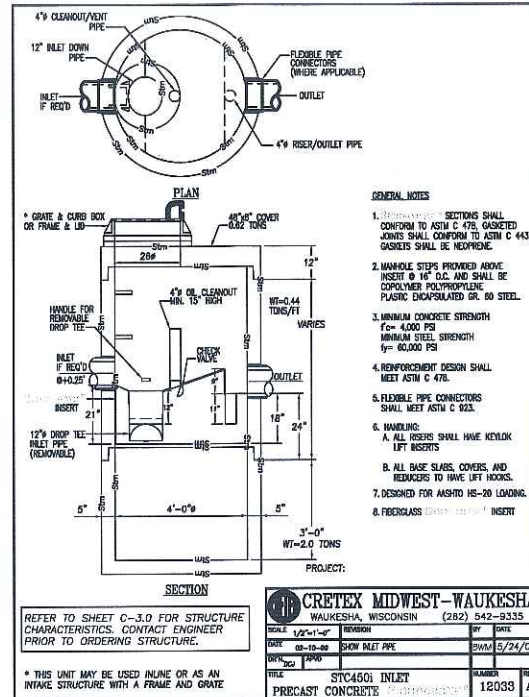
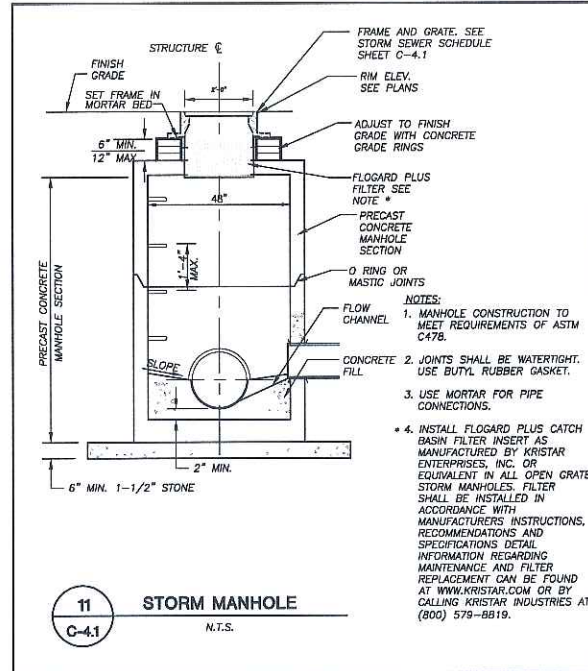
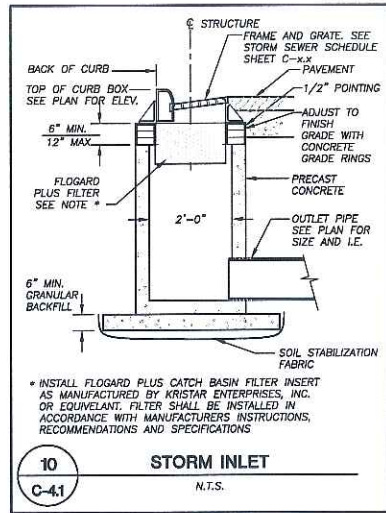
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VOID PLOT:	DRAWN BY:	C-4.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	
	0578-00	OF DWGS.

REVIEW DRAWING
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 DATE OF ISSUE: MAY 15, 2006

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 BEFORE YOU DIG. REGISTERED ISSUES NUMBER 1000. (2) WHEN ONE SERVICE REQUESTS YOU DIG.

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONTRACTOR'S OWN INFORMATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.



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ITEM	DATE
Drawn: MET	03-02-06
Checked: WPW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submittal	03-22-06
City of Madison Submittal	05-15-06

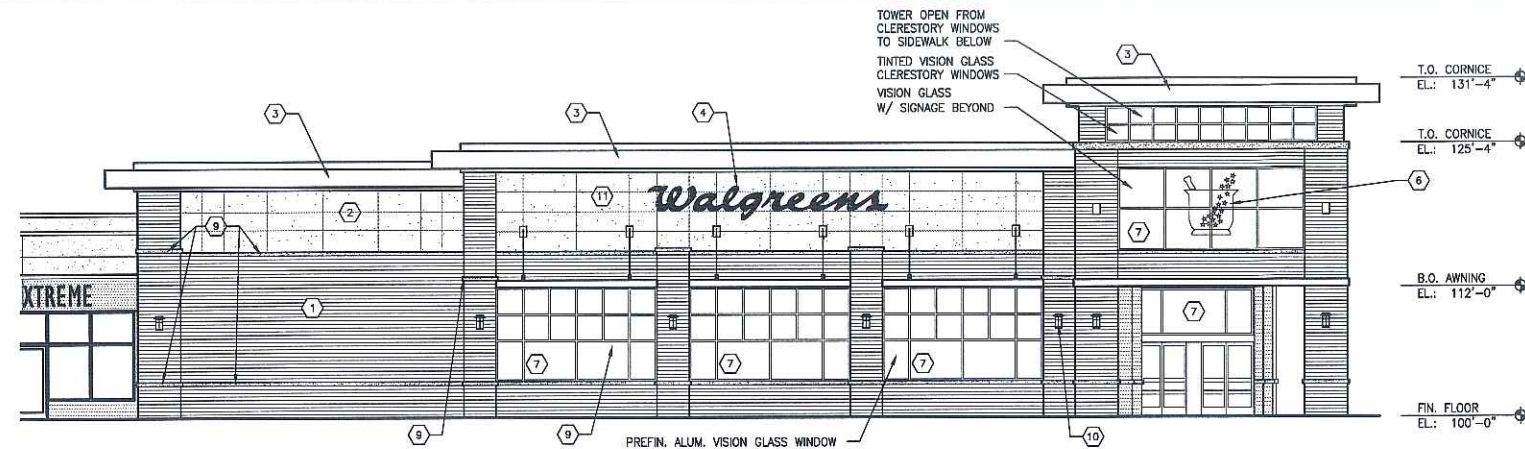
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REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
DATE OF ISSUE MAY 15, 2006

NO.	DATE	DESCRIPTION
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

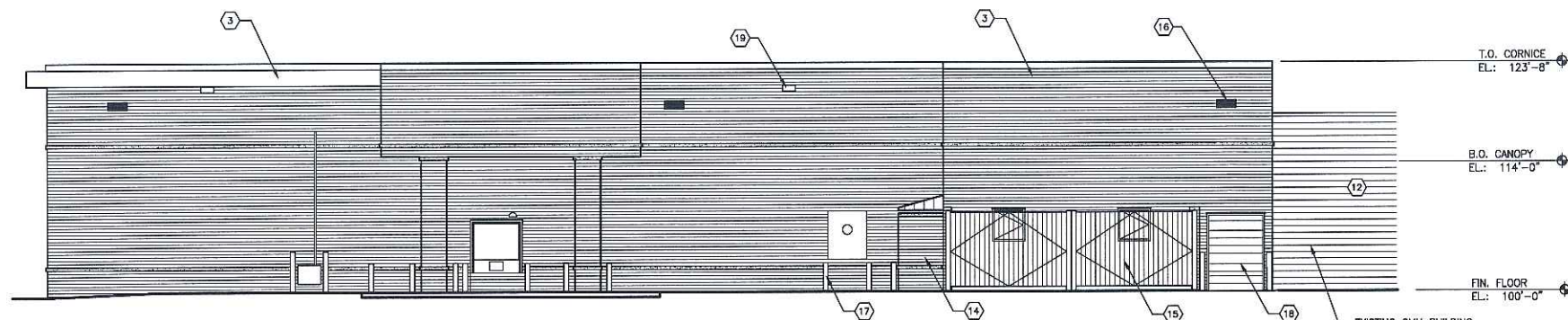
DOCUMENT ISSUES/BENCHMARKS
STORE # 10573
PROJECT NAME
MEADOWOOD PLAZA
RAYMOND ROAD & WHITNEY WAY
MADISON, WI
DRAWING TITLE
DETAILS

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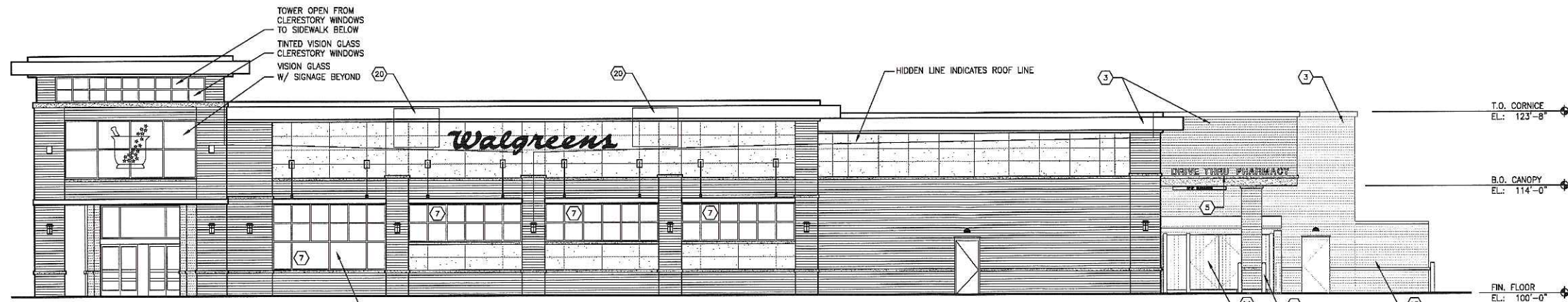


1 SOUTH ELEVATION
1/8" = 1'-0"

PREFIN. ALUM. VISION GLASS WINDOW SYSTEM THERMALLY BROKEN. SEE SPECS. & NOTES FOR FINISH.



3 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

PREFIN. ALUM. VISION GLASS WINDOW SYSTEM THERMALLY BROKEN. SEE SPECS. & NOTES FOR FINISH.

EXTERIOR ELEVATIONS KEYED NOTES

- DESCRIPTION
- 1 UTILITY SIZE FACE BRICK (TYP.)
 - 2 EIFS (EXTERIOR INSULATION FINISH SYSTEM)
 - 3 PREFINISHED SHEET METAL CLADDING/COPING OR FASCIA TRIM
 - 4 RED "WALGREENS" SCRIPT SIGN, INTERNALLY ILLUMINATED. SEE DETAILS ON SHEET A5.2
 - 5 INDIVIDUAL LETTER SIGN, SEE SHEET A5.2
 - 6 WALGREENS NEON GRAPHIC BEYOND. SEE DETAIL ON SHEET A5.2
 - 7 ALUM. ANODIZED GLAZING SYSTEM (TYP.)
 - 8 PAINTED STEEL SUNSCREENS W/ BRACKETS (TYP.)
 - 9 STONE SILL
 - 10 WALL SCONCE (TYP.)
 - 11 MANUFACTURED LIMESTONE
 - 12 PAINT - TO MATCH EIFS
 - 13 SPANDREL GLASS - WARM GREY
 - 14 TOTE ENCLOSURE
 - 15 TRASH COMPACTOR ENCLOSURE
 - 16 PARKING LIGHT FIXTURE
 - 17 PAINTED STEEL BOLLARD
 - 18 OVERHEAD DOOR
 - 19 OVERFLOW SCUPPERS
 - 20 ROOF TOP UNITS

EXTERIOR COLOR SCHEDULE

- BRICK VENEER ----- OCHS "TANGERINE VELOUR WIRECUT"
- MANUFACTURED LIMESTONE (SMOOTH-FACED) ----- RENAISSANCE MASONRY UNITS MANUFACTURED BY ARISCRAFT INTERNATIONAL, INC. "NUTMEG"
- CAST-STONE (SMOOTH FACE) ----- ROCKCAST ARCHITECTURAL UNITS BY ROCKCAST, "BUFFSTONE"
- STOREFRONT FRAMING ----- CLEAR ANODIZED
- STANDING SEAM METAL ROOFING/FLASHING ----- UNA-CLAD "SHERWOOD GREEN"
- MISCELLANEOUS SHEET METAL (COPINGS, GUTTERS ETC.) ----- UNA-CLAD "SHERWOOD GREEN"

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 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	DESCRIPTION
3	09-13-06	MADISON UDC REVISIONS SUBMITTAL 3
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

PROJECT NAME
MEADOWOOD PLAZA
RAYMOND ROAD & WHITNEY WAY
MADISON, WI

DRAWING TITLE
EXTERIOR ELEVATIONS

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
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RELEASED TO CONSTRUCTION:	REVIEWED BY:	
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 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

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 - 16 PARKING LIGHT FIXTURE
 - 17 PAINTED STEEL BOLLARD
 - 18 OVERHEAD DOOR
 - 19 OVERFLOW SCUPPERS
 - 20 ROOF TOP UNITS

EXTERIOR COLOR SCHEDULE

BRICK VENEER	OCIS "TANGERINE VELOUR WIRECUT"
MANUFACTURED LIMESTONE (SMOOTH-FACED)	RENAISSANCE MASONRY UNITS MANUFACTURED BY ARISCRAFT INTERNATIONAL, INC. "NUTMEG"
CAST-STONE (SMOOTH FACE)	ROCKCAST ARCHITECTURAL UNITS BY ROCKCAST. "BUFFSTONE"
STOREFRONT FRAMING	CLEAR ANODIZED
STANDING SEAM METAL ROOFING/FLASHING	UNA-CLAD "SHERWOOD GREEN"
MISCELLANEOUS SHEET METAL (COPINGS, GUTTERS ETC.)	UNA-CLAD "SHERWOOD GREEN"

NO.	DATE	DESCRIPTION
3	09-13-06	MADISON UDC REVISIONS SUBMITTAL 3
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

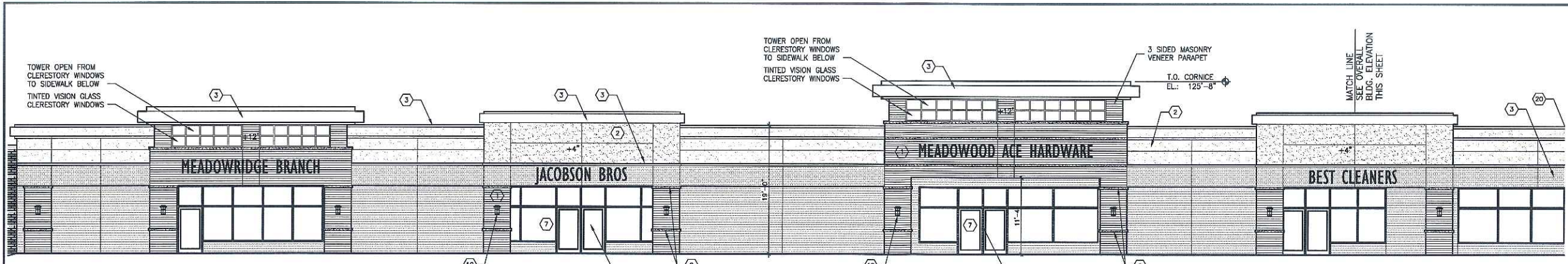
DOCUMENT ISSUES/BENCHMARKS

NO.	DATE	DESCRIPTION
STORE # 10573		
PROJECT NAME		

MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

EXTERIOR ELEVATIONS

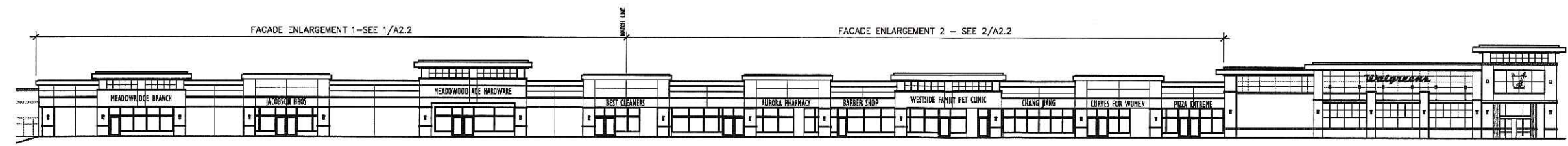
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VOID PLOT:	DRAWN BY: GAK	A2.2
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.



1 PARTIAL FACADE SOUTH ELEVATION
 1/8" = 1'-0"
 +X = DISTANCE OF PROJECTION FROM EXISTING FACADE



2 PARTIAL FACADE SOUTH ELEVATION
 1/8" = 1'-0"
 +X = DISTANCE OF PROJECTION FROM EXISTING FACADE



3 FULL FACADE SOUTH ELEVATION
 1/8" = 1'-0"

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STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

EXTERIOR ELEVATIONS KEYED NOTES

- DESCRIPTION
- (1) UTILITY SIZE FACE BRICK (TYP.)
 - (2) EIFS (EXTERIOR INSULATION FINISH SYSTEM)
 - (3) PREFINISHED SHEET METAL CLADDING/COPING OR FASCIA TRIM
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 - (6) WALGREENS NEON GRAPHIC BEYOND. SEE DETAIL ON SHEET A5.2
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BRICK VENEER	DCHS "TANGERINE VELOUR WIRECUT"
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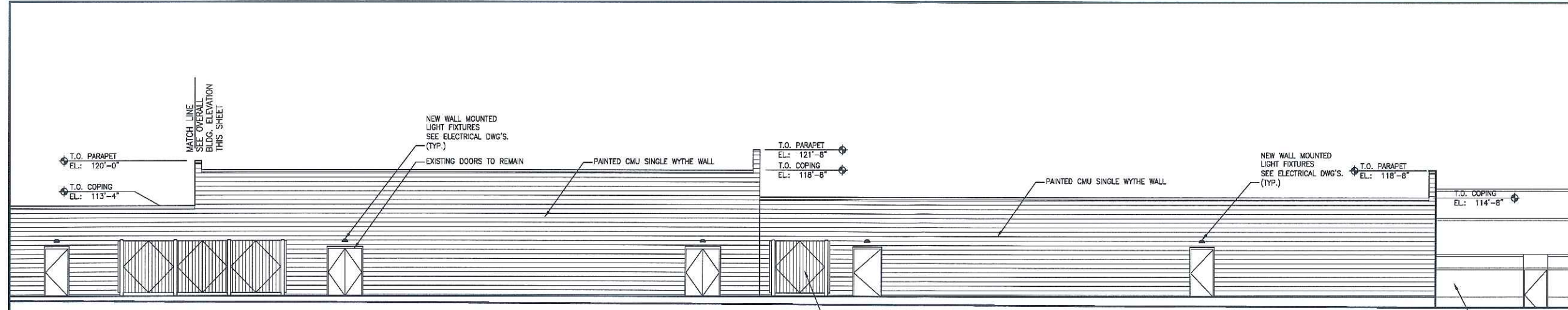
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2	05-10-08	MADISON UDC SUBMITTAL
1	03-22-08	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
STORE # 10573
 PROJECT NAME

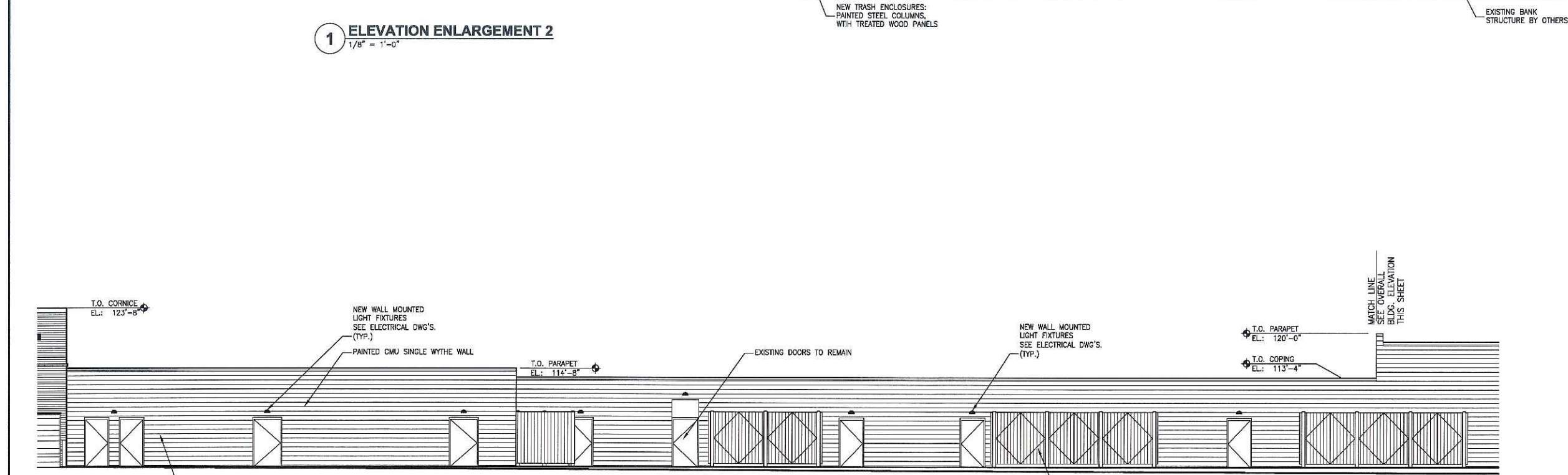
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

EXTERIOR ELEVATIONS

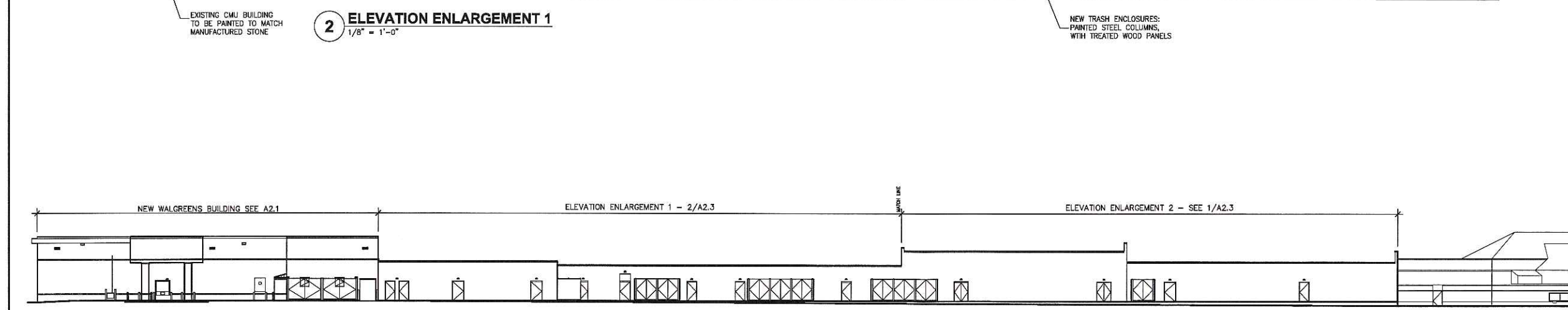
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VOID PLOT:	DRAWN BY: GAK	A2.3
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.



1 ELEVATION ENLARGEMENT 2
 1/8" = 1'-0"

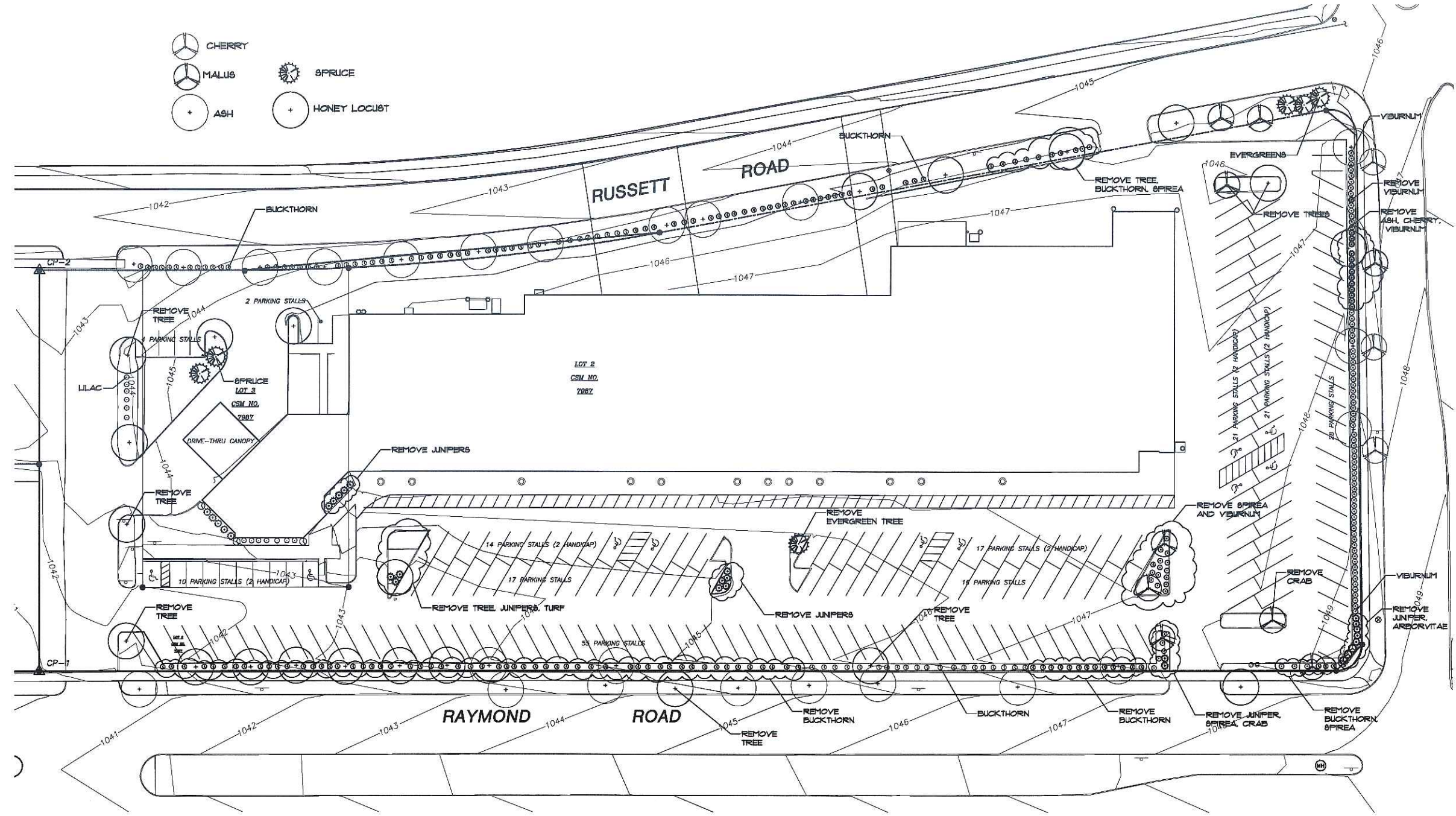


2 ELEVATION ENLARGEMENT 1
 1/8" = 1'-0"



3 NORTH FULL ELEVATION
 1/8" = 1'-0"

J:\2006\050150\Drawing\civil\landscape\050150 DEMO PLAN.dwg



- CHERRY
- MALUS
- ASH
- SPRUCE
- HONEY LOCUST

- NOTE:
1. REMOVE ALL EXISTING VEGETATION AS NOTED.
 2. ALL OTHER EXISTING VEGETATION, AS SHOWN, TO REMAIN.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



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TOLL FREE
WIS STATUTE 182.0175(14)
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NOTICE BEFORE YOU EXCAVATE
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STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	



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BROOKFIELD, WISCONSIN (262) 783-6130
WWW.ARNOLDANDOSHERIDAN.COM
A&O PROJECT #: 060150

NO.	DATE	DESCRIPTION
3	09-13-06	MADISON UDC SUBMITTAL
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
STORE # 10573

PROJECT NAME
MEADOWOOD PLAZA
RAYMOND ROAD & WHITNEY WAY
MADISON, WI
DRAWING TITLE
Landscape Demolition Plan

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	LD.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.

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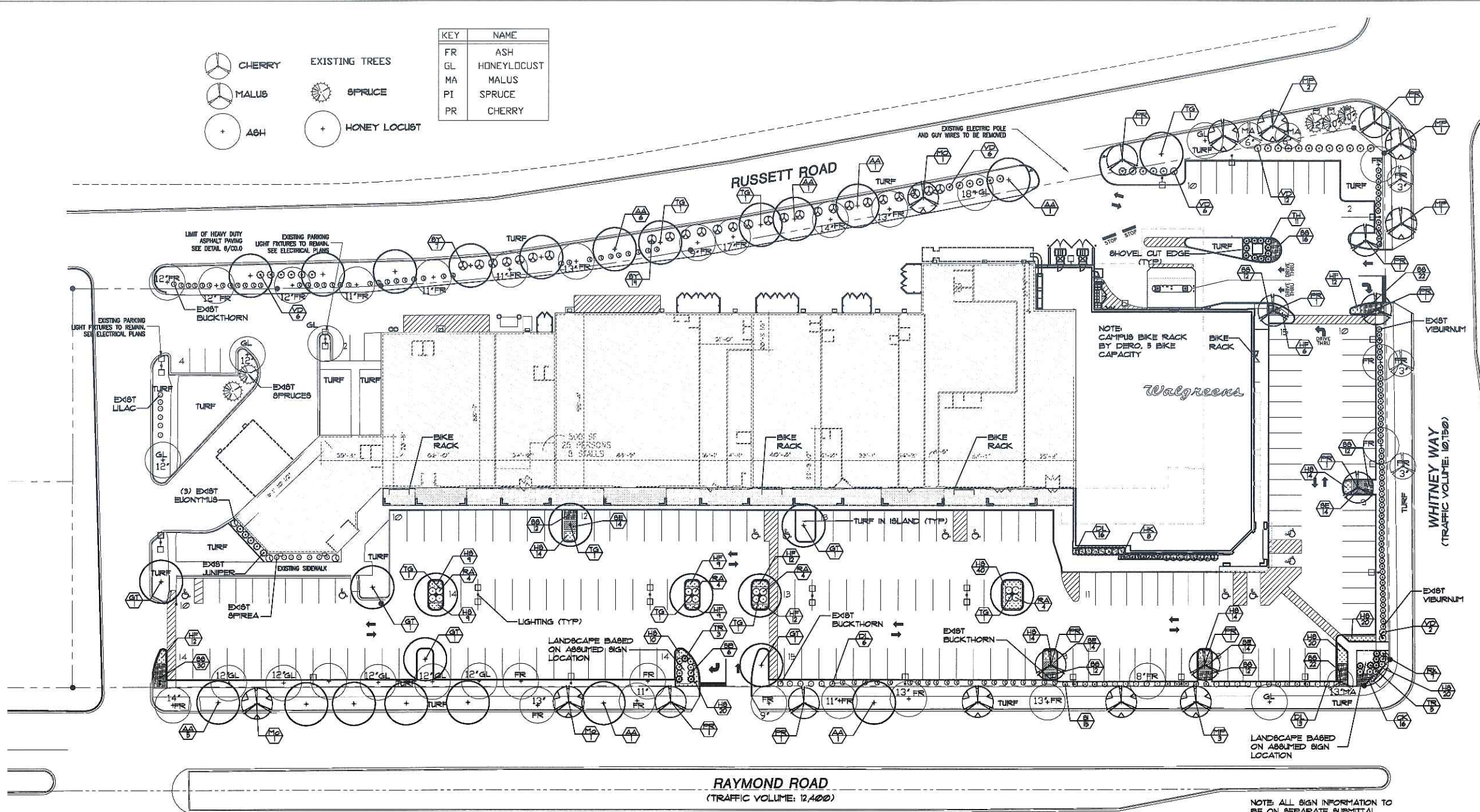
THE ARCHITECTS GROUP
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STORE		BUILDING	
NEW	<input type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



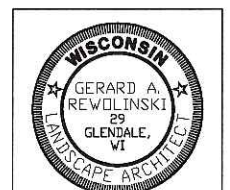
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 STRUCTURAL ■ CIVIL ■ HVAC ■ PLUMBING
 ELECTRICAL ■ TECHNOLOGY
 MADISON, WISCONSIN (608) 821-8500
 BROOKFIELD, WISCONSIN (262) 783-6130
 WWW.ARNOLDANDOSHERIDAN.COM
 A&O PROJECT #: 060150



Key	Botanical Name	Common Name	Quantity	Size	Root	Spacing
TREES						
AA	Acer x freemanii 'Armstrong'	Armstrong Maple	16	2-2 1/2" Cal.	B4B	as shown
GT	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	5	2 1/2-3" Cal.	B4B	as shown
Mo	Malus 'Red Splendor'	Red Splendor Crab	3	1 1/2-2"	B4B	as shown
MP	Malus 'Prairifire'	Prairifire Crab	7	2-2 1/2" Cal.	B4B	as shown
FR	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	10	2-2 1/2" Cal.	B4B	as shown
TG	Tilia cordata 'Greenspire'	Greenspire Linden	8	2 1/2-3" Cal.	B4B	as shown
EVERGREENS						
TJ	Taxus x media 'Hickell'	Hickell Yew	11	30" High	B4B	as shown
TR	Taxus x media 'Rynyan'	Rynyan Yew	8	24" spread	B4B	as shown
SHRUBS						
DL	Diervilla lonicera	Dwarf Bush Honeysuckle	25	18" High	Container	48" o.c.
HK	Hypericum kalmianum 'Ames'	Ames Kalm St. Johnswort	8	18" High	Container	40" o.c.
RA	Rhus aromatica 'Grow Low'	Grow Low Sumac	16	1 Gal.	Container	48" o.c.
RSK	Rosa 'Knock Out'	Knock Out Rose	11	2 y.	Container	42" o.c.
SI	Spiraea aliflora	Japanese White Spiraea	15	18" High	Container	2' o.c.
SB	Spiraea x lundata 'Anthony Waterer'	Anthony Waterer Spiraea	6	18" High	Container	48" o.c.
SY	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	26	30" High	Container	5' o.c.
VD	Viburnum dentatum 'Autumn Jazz'	Arrowwood Viburnum	32	48" High	B4B	as shown
PERENNIALS						
CK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	10	1 Gal.	Container	20" o.c.
HF	Hemerocallis 'Earle Fanfare'	Earle Fanfare Daylily	72	1 Gal.	Container	18" o.c.
HS	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	204	1 Gal.	Container	18" o.c.
SS	Schizachyrium scoparium	Little Bluestem	150	1 Gal.	Container	20" o.c.
SE	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	56	1 Gal.	Container	18" o.c.

STREET TREE REQUIREMENTS SUMMARY

TOTAL REQUIRED STREET TREES = 62
 EXISTING STREET TREES AS CREDIT = 21
 PROPOSED STREET TREES = 33
 TOTAL PROPOSED AND EXISTING STREET TREES = 62



Gerard A. Rewolinski
 The work complies with the City of Madison Non-Residential Landscape Standards.

1 LANDSCAPE PLAN
 1"=30'-0"



NO.	DATE	DESCRIPTION
3	09-13-06	MADISON UDC SUBMITTAL
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

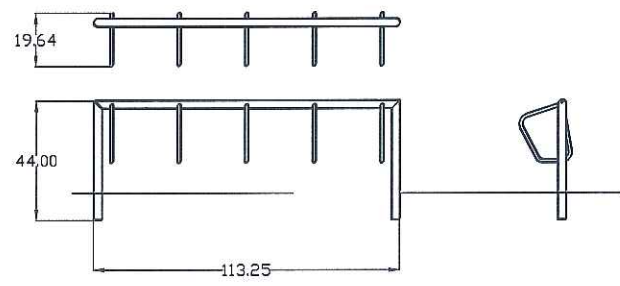
STORE # 10573
 PROJECT NAME
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI

DRAWING TITLE
LANDSCAPE PLAN

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: WJS	LS.1
RELEASED TO CONSTRUCTION:	REVIEWED BY: GAR	
	PROJECT NO. 0578-00	

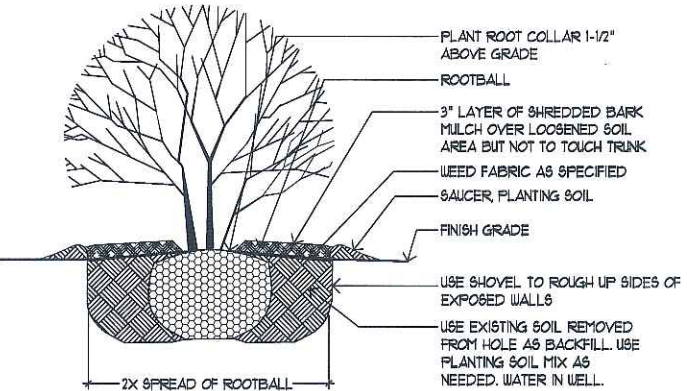
OF DWGS.

J:\2006\09\15\Drawings\CH\Landscaping\0601501.DWG



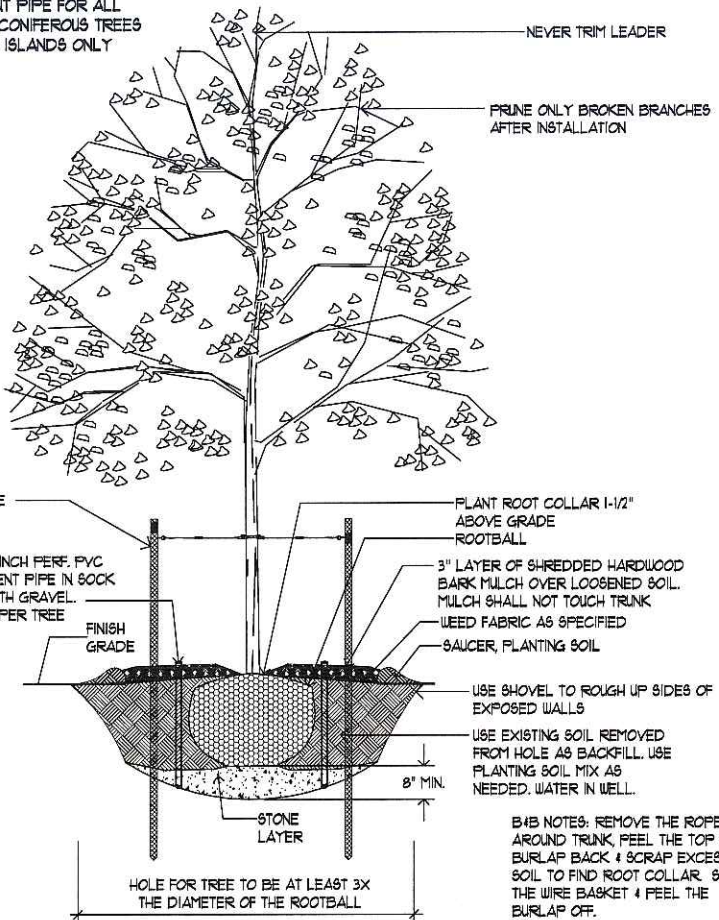
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
DERO BIKE RACK
NTS

CONTAINERIZED NOTES: CUT OR REMOVE CONTAINER, SET BALL ON UNDISTURBED FLOOR IF ROOT COLLAR IS NOT VISIBLE, SCRAPE EXCESS SOIL AWAY FROM THE TRUNK UNTIL IT IS AND PLANT ACCORDINGLY.

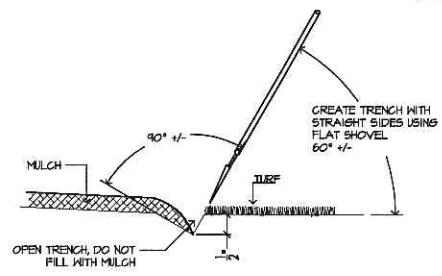


SHRUB PLANTING
NTS

UTILIZE PVC VENT PIPE FOR ALL DECIDUOUS OR CONIFEROUS TREES IN PARKING LOT ISLANDS ONLY



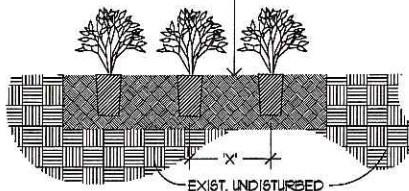
DECIDUOUS TREE PLANTING
NTS



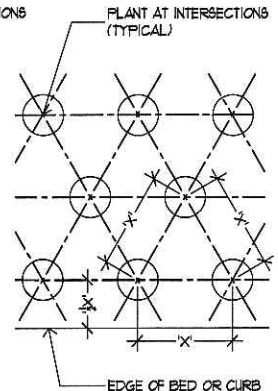
SHOVEL-CUT EDGE
NTS

NOTES: FOR ANNUAL, PERENNIALS, VINES & OTHER GROUND COVERS.

X = TYPICAL SPACING AS SPECIFIED IN PLANT SCHEDULE
ALL BED PLANTINGS SHALL BE PLANTED WITH TRI-ANGULAR SPACING. SEE PLANT SCHEDULE PLANT SPACING.



GROUND COVER & PERENNIAL PLANTING
NTS



Landscape Worksheet

Parking Lots, Storage Area and Loading Areas
(Section 28.04 Madison General Ordinance)

Project Location/Address _____
Name of Project _____
Owner/Contact _____
Address _____

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLAN MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT.

1. Number of Trees Required
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points).

Number of Parking Stalls _____ **195**

Total Square Footage of the Storage Area
Divided by Three Hundred (300) Square Feet _____ **NA**

Number of Canopy Shade Trees Required (2 - 2 1/2" Caliper)
(See Schedule on reverse side) _____ **14**

2. Number of Landscape Points Required
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth.
(See Schedule on reverse side) _____ **225**

Number of Points Required (See Schedule on reverse side) _____ **1040.80**

Tabulation of Points and Credits
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

Element	Proposed		Credits	
	Point Value	Quantity	Points Achieved	Quantity
Canopy Tree: 2" - 2 1/2"	35	(*24)	350	1
Deciduous Shrub	2	105	210	140
Evergreen Shrub	3	19	57	5
Decorative Wall or Fence (per 10 LF)	5			
Earth Berm (per 10 LF)	5			
Avg. Height 30"	2			
Avg. Height 15"				
Evergreen Tree 2" height minimum	15			2
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e. Crab, Hawthorn)	15	6	90	1
Sub Totals			707	375

1082

*NOTE: 14 TREES NOT INCLUDED IN POINT COUNT FOR CANOPY TREE 2-2 1/2"

Total No. of Points Provided (Equal to or greater than points required)

*Trees required in Part I above, are not to be included in the point count.

Approved by: _____ Date: _____

THE ARCHITECTS
338 North Milwaukee St.
Suite 503
Milwaukee, WI 53202
414.223.3330
414.223.3340 fax
www.albionarch.com

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	



ARNOLD AND O'SHERIDAN INC.
CONSULTING ENGINEERS
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BROOKFIELD, WISCONSIN (262) 783-6130
WWW.ARNOLDANDOSHERIDAN.COM
A&O PROJECT #: 060150

NO.	DATE	DESCRIPTION
3	09-13-06	MADISON UDC SUBMITTAL
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
STORE # 10573
PROJECT NAME
MEADOWOOD PLAZA
RAYMOND ROAD & WHITNEY WAY
MADISON, WI
DRAWING TITLE

LANDSCAPE DETAILS

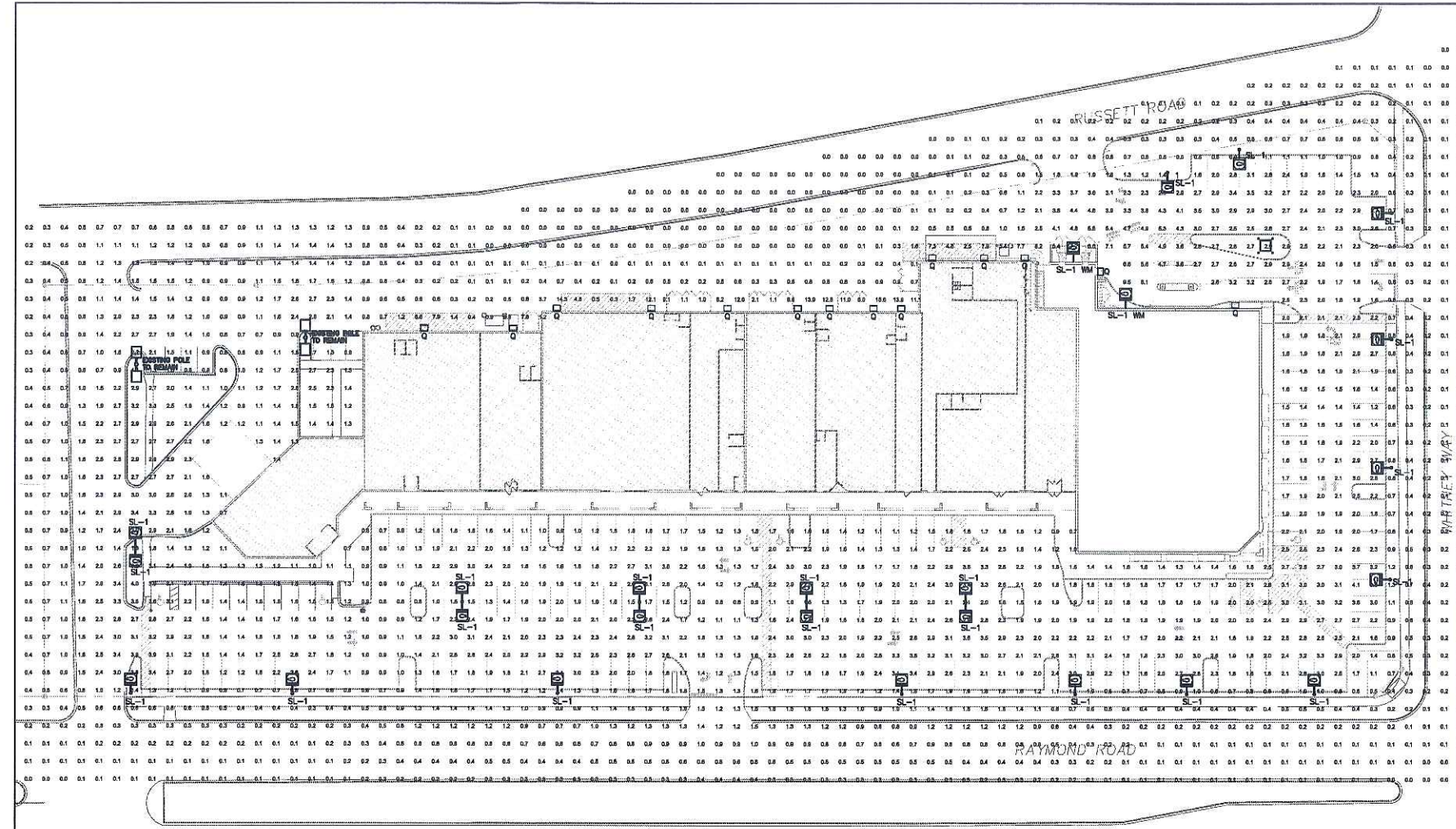
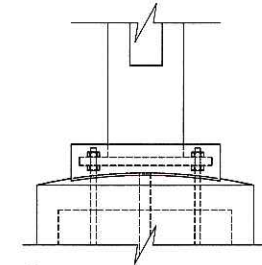
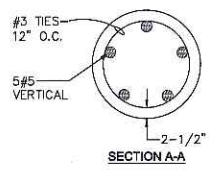
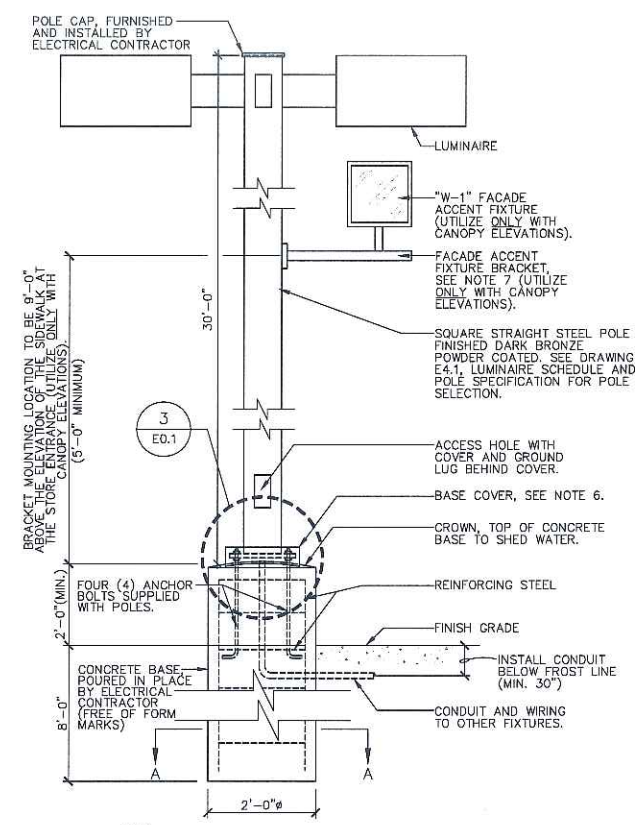
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VOID PLOT:	DRAWN BY: WJS	LS.2
RELEASED TO CONSTRUCTION:	REVIEWED BY: GAR	
	PROJECT NO. 0578-00	OF DWGS.

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 DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT
 ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

SPECTRUM ELECTRIC
 ELECTRICAL CONTRACTORS

W222 N5734 MILLER WAY, SUITE 106 PHONE: (262)820-8335
 DUBUQUE, WISCONSIN 53005 FAX: (262)820-2575
 E-MAIL: CAD@SPECTRUMELECTRIC.COM



****ATTENTION****
 THIS LAYOUT DOES NOT MEET WALGREENS SPECIFICATIONS DUE TO STRICT CITY SITE LIGHTING REQUIREMENTS.

PHOTOMETRIC CALCULATION
 SCALE: 1" = 40'-0"

ROTATE REFLECTOR FOR CORRECT SOCKET POSITION BEFORE FIXTURE INSTALLATION

Numeric Summary

Project: All Projects

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	1.3	15.6	0.0	0.00	0.00

Luminaire Schedule

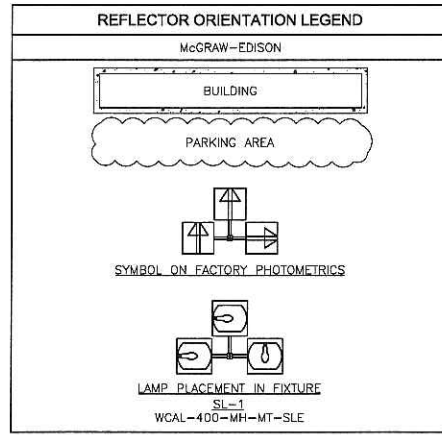
Project: All Projects

Symbol	Qty	Label	Lumens	LLF	Description	Remarks
⊖	2	SL-1 WM	40000	0.750	WAG-CAL-400-MH-MT-ADVANCE-SL-BZ	Wall Mounted
⊖	23	SL-1	40000	0.750	WAG-CAL-400-MH-MT-ADVANCE-SL-BZ	Wall Mounted
□	14	Q	9000	0.750	MIP-W-100M-MT	Wall Mounted

LPD Area Summary

Project: All Projects

Label	Area	Total Watts	LPD
W/SQ FT	202650	13650	0.067



NO.	DATE	DESCRIPTION
3	09-30-06	UPDATED FOR MADISON UDC RESUBMITTAL
2	05-10-06	MADISON UDC SUBMITTAL
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573

PROJECT NAME
MEADOWOOD PLAZA
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI

DRAWING TITLE

PHOTOMETRIC CALCULATIONS

CADD PLOT: SCALE: AS NOTED DRAWING NO.
 DRAWN BY:

VOID PLOT: REVIEWED BY: **E0.1A**

RELEASED TO CONSTRUCTION: PROJECT NO. 0578-00 OF DWGS.