



# City of Madison

# Proposed Rezoning

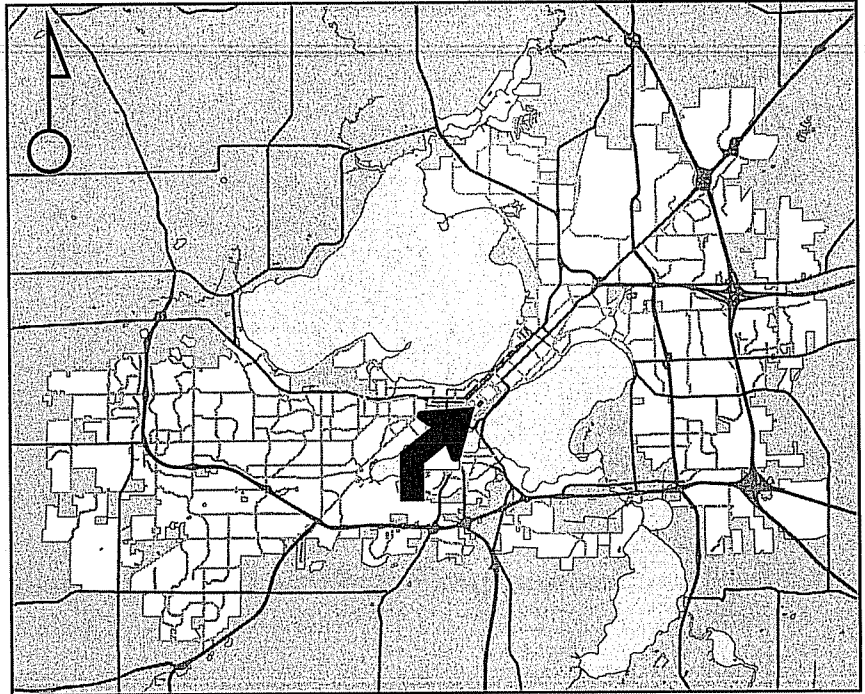
Location  
309 West Washington Avenue

Applicant  
Thomas Miller –  
The Alexander Company  
From: PUD(SIP) To: Amended  
PUD(SIP)

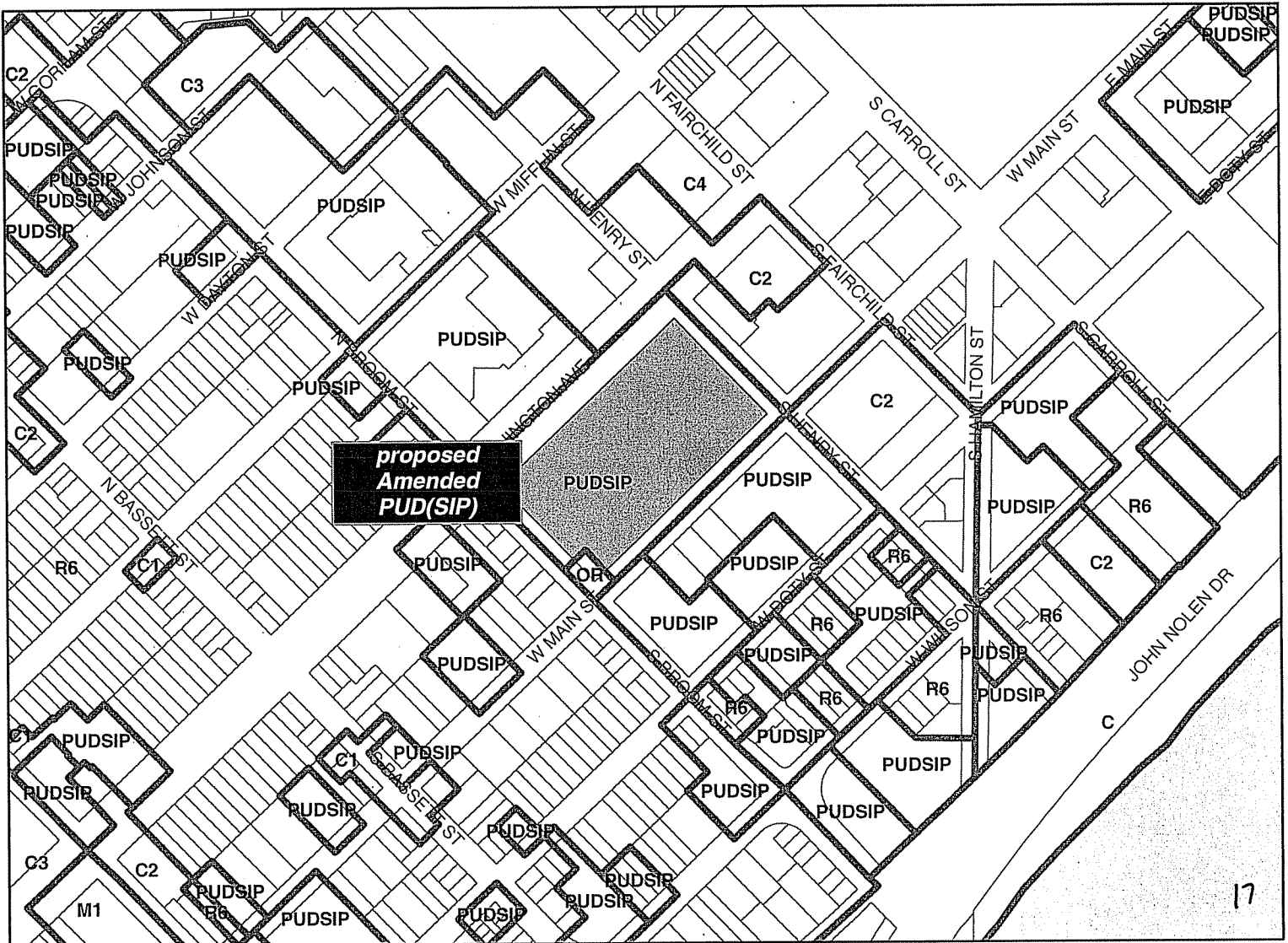
Existing Use  
Former Hospital Campus

Proposed Use  
Major Alteration to SIP: Add 1 Floor to  
Main Tower, 2 Floors to Parking Structure  
and Minor Site Plan Alterations

Public Hearing Date  
Plan Commission  
18 September 2006  
Common Council  
19 September 2006



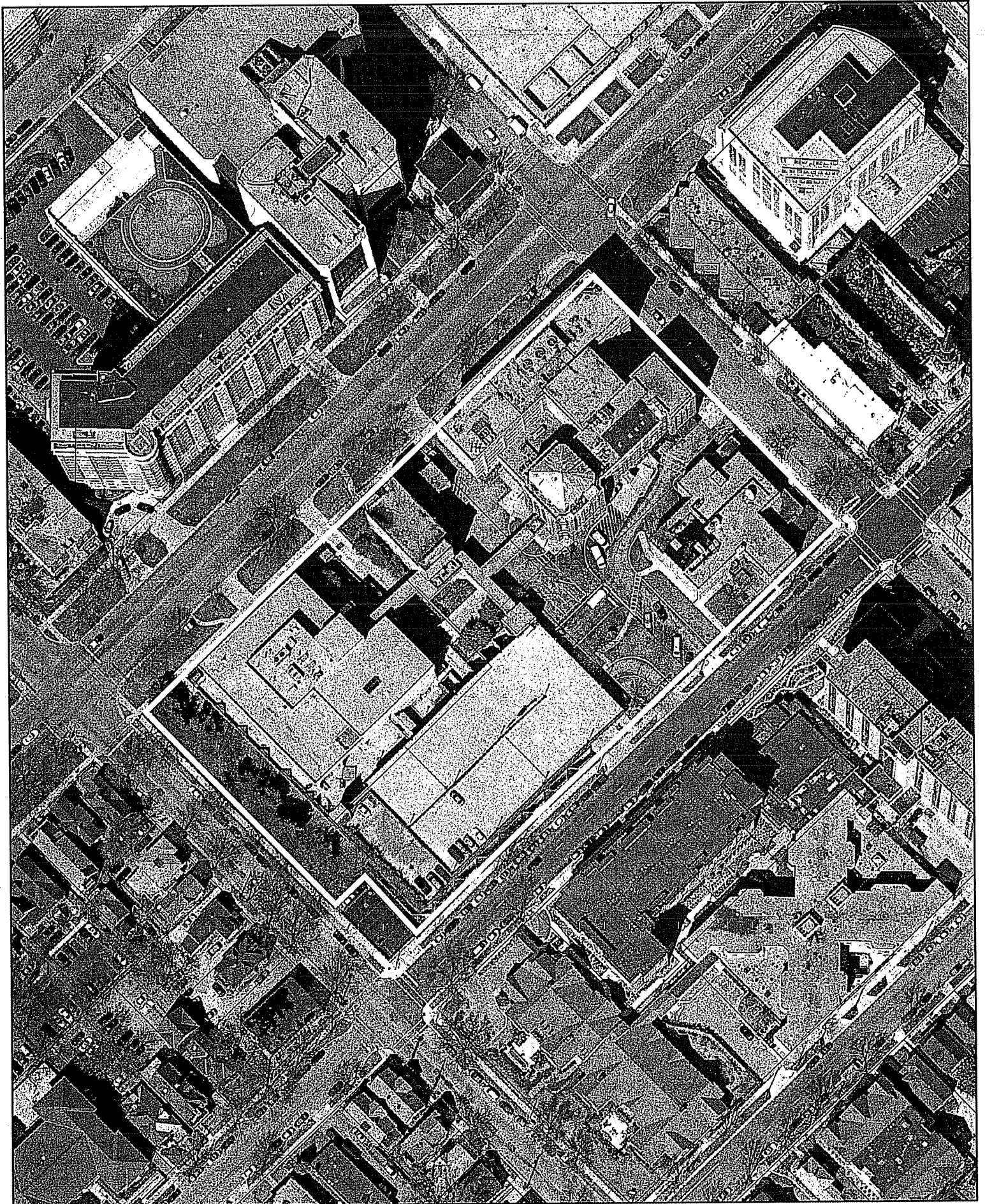
For Questions Contact: Bill Roberts at: 266-5974 or wroberts@cityofmadison.com or City Planning at 266-4635





City of Madison

309 West Washington Avenue



Date of Aerial Photograph : April 2005




July 12, 2006

Mr. Brad Murphy  
City of Madison  
Planning & Development  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison, WI 53701-24985

**Re: Letter of Intent, Capitol West (Phase I), Alteration to the SIP**

Dear Mr. Murphy:

The following is submitted together with plans; land-use application and zoning text for City Staff, Plan Commission, and City Council consideration of approval of the proposed Alteration to the SIP for the development.

**Project:**  Capitol West – Phase I: **Alteration to the SIP**  
Block 51, bounded by West Washington Avenue, South Henry Street, West Main Street and Broom Street

**Developer:** The Alexander Company  
145 East Badger Road, Suite 200  
Madison, WI 53713  
Office: (608) 258-5580  
Fax: (608) 258-5599  
Contact: Thomas Miller

**Alteration Description:**

The Redevelopment of Block 51, known as Capitol West is being revised to modify the following components: 309 West Washington Avenue, The New Parking Ramp, and associated Site Work. The remainder of the project is unchanged at this time.

- 1) 309 West Washington is modified by the addition of one story to the main tower portion of the building (increasing the number of stories from 10 to 11); note that there will not be an added floor to the annex area. This addition of one story adds 10 units and brings the unit total for this component to from 116 dwelling units to 126; this is an increase from 163 dwelling units in Phase I to 173 dwelling units. The height of the roof above the added floor is below the Capitol View Preservation Limit.
- 2) In addition to the added floor, the mechanical system for the 309 building has been revised so as to eliminate the requirement for a cooling tower and enclosure on the roof of the building. This revision helps maintain an overall height for the 309 building that is very close to the originally proposed building height.
- 3) The Exterior skin of 309 West Washington has been modified to maximize energy efficiency, and cost-effective composition. The materials and palette remain the same as in the original proposal.

- 4) The Parking Ramp is being modified to add one additional layer of parking beneath the existing two proposed layers. This additional level adds 70 parking stalls for an increase in the total number of stalls at this ramp from 146 to 216 parking stalls.
- 5) In addition to modifying the above structures this application also modifies some of the associated site improvements. The details of the proposed modified materials and assemblies are all shown on the submitted site planning documents.

#### **Fire Access**

An approved fire access plan has been submitted as part of the approved GDP and the SIP for this development. This plan meets the criteria outlined in the Fire Apparatus & Access and Fire Hydrant Worksheet. The specifics of this approved plan will not be modified as part of this alteration.

#### **Project Schedule and Management**

Assuming recording the Phase I SIP immediately, in a manner that allows us to move forward with several of the components of the development while revising 309 West Washington and the Associated Parking Ramp, construction of the Broom Street Lofts should begin in September of 2006. This will likely be followed by the Main Street Townhomes, and then finally, once approved as modified herein, 309 West Washington and the associated parking would commence this fall. These components will then be followed by Phase II and Phase III once SIP approvals are obtained for each of those phases.

#### **Social Economic Impact**

The Capitol West development will provide a positive impact for downtown Madison both socially and economically. The mixed-use plan, by developing housing units and supporting retail uses in our city's center promotes smart growth by placing density where sufficient city services currently exist. By creating a range of housing choices within walkable distance from a variety of supporting retail services and workplaces, we are promoting healthy development.

The Capitol West development provides a significant component of affordable housing. Our current plan for Phase I calls for creation of affordable housing as set forth in the previously submitted and approved Inclusionary Zoning Dwelling Unit Plan. Affordable Housing will be targeted to residents making 80% of the Area Median Income or less.

Also, it is important to note that the design and construction of the buildings within the development will promote opportunities for healthy living and green building systems. The design of the master plan maximizes residents' access to sunlight and natural ventilation. The inclusion of a Recycling and Re-use Plan has and will continue to maximize the amount of material re-used and minimize the amount of waste generated by this development. The submitted and approved Transportation Demand Management Plan insures the exploration of expanding transportation options and creating a streetscape that better serves a range of users -- pedestrians, bicyclists, transit riders, and automobiles. And, the potential for rain catchment and other green building systems will reduce the amount of runoff and demand for water supply resulting from this development. This along with the remediation of hazardous materials currently existing on the site and the utilization of environmentally sensitive building materials creates a social benefit for the residents, the neighbors and the City, and exemplifies a commitment to responsible and environmentally sound development.

Based on the analysis above we feel the proposed development meets the spirit and intent of the PUD zoning ordinances when reviewed with respect to the criteria for approval set fourth in Section 28.07(6)(f) of the zoning code:



1. Criteria & Intensity of Land Use: The proposed PUD has been designed specifically with the existing neighborhood uses in mind. More intense uses have been located along streets and avenues that can support higher density development, while less intense uses are planned where the existing finer grain, less massive historic residential uses are adjacent to the proposed development, i.e. Broom Street & Main Street. Great lengths have been taken to design an aesthetically pleasing urban environment with a mix of uses designed to promote a sustainable urban community without adversely affecting municipal services. As noted above a transportation demand management plan and traffic impact analysis have been completed as part of the PUD and will help provide solutions to any traffic and parking demand concerns.
2. Economic Impact: We feel the proposed development will provide a positive impact on the economics of the city without adversely affecting the provision of municipal services. The projected increase in value of the property upon completion is in excess of \$100 million.
3. Presentation & Maintenance of Open Space: This development includes a block wide approach to providing functional urban open space of the highest quality. The efforts to create seating areas, walkways, water features, plazas, roof gardens, terraces, additional bike lanes, and bike parking areas will provide a more attractive network of useable open space than currently exists on site. Plantings existing in the transit corridor along the western edge of the block have reached their peak effectiveness in relation to their original single purpose: screening. The loss of branches due to age and overcrowding of a single species is producing diminishing returns. A broader look at the entire block allows us to provide plantings & open space that will more effectively address a variety of needs and uses both for wildlife and residents. In addition, this development will provide plantings that take into account rain interception, air filtration, shade and cooling, as well as more appropriate habitat and nutrition for wildlife than what currently exists on the site.
4. Implementation of Schedule: the schedule provides for phasing that promotes expedient construction of each phase of the development and limits any adverse effect on the community should the development terminate at the end of any given phase.

Thank you for your time in reviewing this proposal.

Respectfully,



THE ALEXANDER COMPANY, Inc.  
Thomas Miller  
Development Project Manager

Cc: Natalie Bock  
File

**PROPOSED ZONING TEXT: PUD – SIP**

**CAPITOL WEST – PHASE I**

**BLOCK 51 MADISON, WI**

**SIP ALTERATION – July 12<sup>th</sup> 2006**

**Legal Description:** The lands subject to this planned unit development shall include those described in Exhibit A attached hereto.

A. **Statement of Purpose:** This Zoning District is established to allow for the construction of approximately 400 dwelling units, up to 20,000 gsf of retail, up to 105,000 gsf of commercial office (of which 82,520 is existing) and approximately 942 parking spaces (of which 707 are existing). This development will be phased as identified below. Each of the components is described in detail in the original Letter of Intent. Please note that this SIP application is submitted to finalize the zoning text for each Phase of the development identified below. Also note that this Specific Implementation Plan contemplates the ongoing maintenance of two existing structures (345 W. Washington Ave and the existing Parking Ramp with a new address of 80 Washington Place) as their current uses.

• **Components included in this SIP:**

***Phase I (173 Residential Units, up to 12,000 sf of Retail, Parking and Ex'g Office)***

- 309 W. Washington Avenue - Residential & Retail: 126 Units – 195,772 GSF  
(Up to 12,000 GSF of Retail in 309 West Washington)
- Courtyard Townhomes: Residential 10 Units – 17,500 GSF
- Washington Rowhouses: Residential: 5 Units – 9300 GSF
- Below Grade Parking Structure: 216 Stalls – 90,000 GSF
- Main Street Condominiums: Residential: 9 Units – 16,200 GSF
- Broom Street Condominiums: Residential: 23 Units – 27,250 GSF
- 345 W. Washington Avenue: Existing Office – 82,520 GSF
- 345 W. Washington Avenue: Existing Parking – 190 Stalls
- Main Street Parking Ramp: Existing 517 Stalls
- Site Improvements and Landscaping
  - Washington Row
  - Capitol Mews from South Henry to Washington Row
  - Selected Streetscapes per City of Madison Documents and Developer Agreement

**Parking Tally**

Surface Parking Washington Place	19 Auto Stalls
27 Washington Place Ramp	216 Auto Stalls
80 Washington Place Ramp (Ex'g)	517 Auto Stalls (existing)
345 West Washington	190 Auto Stalls (existing)
Total	872 Auto Stalls*

\*Of the total, 23 stalls are accessible and 8% are Small Car Stalls

**Bike Parking Tally** (Note: there are options for residents to install additional stalls)

309 West Washington	107 Bike Stalls
309 Retail	8 Bike Stalls - Surface
Capitol Court	20 Bike Stalls
Main Street Townhomes	10 Bike Stalls
Broom Street Lofts	23 Bike Stalls
Total (min. available to city standard)	168 Bike Stalls

• **Components to be included in future SIPs**

**Phase II**

306 West Main Street – Residential and Retail Mixed Use Building  
Additional Site Improvements and Landscaping

**Phase III**

333 West Washington Avenue – Residential with structured parking  
345 West Washington Avenue Expansion – Up to 105,000 GSF Total  
Additional Site Improvements and Landscaping  
Capitol Mews from Washington Row to Broom Street  
Pedestrian Bridge across Washington Place

- B. **Permitted Uses:**
1. Those uses that are stated in all Residential, C-2 and C-4 Commercial & O-2 Office Zoning Districts (as modified herein and by the submitted architectural and site plans).
  2. Uses accessory to permitted uses as listed above
  3. Maintenance of existing buildings for current uses is permitted by this SIP
  4. Maintenance of existing buildings on lots designated for future uses is permitted by this SIP.
- C. **Lot Area:** Refer to the CSM and the submitted architectural plans for Lot Areas for each specific component.
- D. **Floor Area Ratio:**
1. Floor area ratios will comply with the submitted and recorded architectural plans for each component.
  2. Maximum building height shall be limited by the Capitol View Preservation Limit as defined in Chapter 28.04(14)(b) of the Madison General Ordinances. The maximum number of stories shall be defined as shown on the submitted architectural plans for each component.
- E. **Yard Area Requirements:** Yard areas will be provided as shown on the submitted site plan and landscape plan.
- F. **Landscaping:** Site Landscaping will be provided as shown on the submitted site and landscape plans.
- G. **Accessory Off-Street Parking & Lodging:** Accessory off street parking will be provided as described above and as shown on the site plan and architectural drawings of each component.
- H. **Lighting:** Site Lighting will be provided as shown on the attached lighting plan.
- I. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances, as it relates to the C2 Zoning District as approved by the Urban Design Commission and /or its Designee (Secretary), and as outlined in the future administrative amendments to existing SIPs for each phase of the proposed development as tenants are identified.

J. **Family Definition:** The family definition of this PUD-GDP shall coincide with the definition given in chapter 28.03(2) of the Madison General Ordinances for the R-6 Zoning District.

K. **Alterations and Revisions:** No alteration or revision to this planned unit development shall be permitted unless approved by the City Plan Commission, however the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

**Note:** Modifications from the GDP and this SIP will be addressed in future SIP applications for each Phase.

L. **Additional Urban Design Commission Conditions:**

- Light colored roofing material shall be used at the Broom Street Lofts including the parapets.
- Architectural Grilles shall be provided to screen the PTAC HAVC Units at the Broom Street Lofts
- HVAC Compressors and/or Condensers for the Main Street Townhomes shall be located within the units or within the Parking Ramp where possible.
- All rooftop mechanicals shall be screened in a manner acceptable to the Urban Design Commission

M. **13' Broom Street Transportation Setback:** The owner of the Broom Street Lofts lot shall be financially responsible for the removal of site improvements within the 13' setback area at such time as the City of Madison acquires and improves the setback area.

N. **13' Broom Street Transportation Setback – Balcony Encroachments:** Balconies at units 202, 302, 402, 203, 303, 403, 205, 305 and 405 of the Broom Street Lofts at 15 South Broom Street have been approved by Plan Commission and City Council with a 4' infringement into the 13' Transportation Setback. The applicant acknowledges that an application for privilege in the public right-of-way will be filed for the balconies that have been approved at such time as the City of Madison acquires and improves the setback area. At that time the balconies will be subject to the standard Privilege in Right-of-Way application process and standard Encroachment Agreement or standard Real Estate Lease Agreement.

O. **Terrace Improvements:** Street Trees and Lighting in the terrace shall be addressed in a Developer's Agreement for each Phase of the project. The Developer's Agreement shall be executed prior to recording the SIP for each phase. Any additional improvements on the public right of way shall be identified in an encroachment agreement with the City Rea Estate Division.

P. **Sanitary Storm:** All sanitary storm lines in the public right-of-way shall be built/installed per City of Madison plans and standards.

Q. **Passenger Loading Areas:** The approval of his facility does not include the approval of Passenger Loading Areas in the street right-of-way. Any loading areas shown on the plans will require additional City approval after the SIP is recorded.



R. ~~*Residential Parking Permits:*~~ No residential parking permits will be issued for 306 West Main Street, 309 and 333 West Washington Avenue Market Rate Residents. All IZ residents will be eligible for Residential Parking Permits. This restriction shall be noted for the condominium documents for each listed project.

# LAND USE APPLICATION

## Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
 PO Box 2985; Madison, Wisconsin 53701-2985  
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

### FOR OFFICE USE ONLY:

# 2  
 Amt. Paid 2050 Receipt No. 72508  
 Date Received 7-12-06  
 Received By RT  
 Parcel No. 0709-231-1701-8  
 Aldermanic District 4, Michael Verveer  
 GQ Eng hold TT, PUDSIP  
 Zoning District PUDSIP  
**For Complete Submittal**  
 Application  Letter of Intent   
 IDUP N/A Legal Descript. See Prior  
 Plan Sets  Zoning Text   
 Alder Notification  Waiver \_\_\_\_\_  
 Ngrbrhd. Assn Not.  Waiver \_\_\_\_\_  
 Date Sign Issued \_\_\_\_\_

1. Project Address: 309 W. Washington Ave. Project Area in Acres: 4.46 ac

Project Title (if any): Capitol West (Block 51)

2. This is an application for: (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)			
<input checked="" type="checkbox"/> Rezoning from <u>SIP</u> to <u>SIP</u>	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP		
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP		
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): <u>SIP Alteration</u>	

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Block 51, LLC Company: The Alexander Company  
 Street Address: 145 E. Badger Rd. City/State: Madison, WI Zip: 53713  
 Telephone: (608) 258-5580 Fax: (608) 258-5599 Email: tcm@alexandercompany.com  
 Project Contact Person: Thomas Miller Company: The Alexander Company  
 Street Address: See above City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) Fax: ( ) Email: \_\_\_\_\_  
 Property Owner (if not applicant): See above  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Project Information:

Provide a general description of the project and all proposed uses of the site:  
Alterations to the SIP to add a floor to 309 W. Washington  
& to 27 Washington Place

Development Schedule: Commencement September 2006 Completion September 2008

CONTINUE →

**5. Required Submittals:**

**Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

**Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

**Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.

**Filing Fee: \$2,050** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits. **Already submitted**

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials. **Already submitted**

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

**Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of Bassett District Plan, which recommends:

Mixed Use - High Density for this property.

**Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Mike Verveer & Capitol Neighborhood Inc.

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

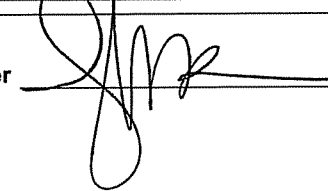
**Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Mark Olinger Date 6/28/2006 Zoning Staff Matt Tucker Date 7/11/2006

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name Thomas Miller Date 7/12/2006

Signature  Relation to Property Owner Agent

Authorizing Signature of Property Owner  Date 7/12/2006

June 14, 2006

Ms. Kathy Voeck  
City of Madison  
Zoning Department  
115 Martin Luther King Jr. Blvd  
Madison, WI 53703

**Re: Capitol West GDP / SIP Phase 1  
Final Staff Review Submittal  
RE: Conditions of Approval**

Dear: Ms. Voeck,

We are submitting final review sets of the Capitol West project to you for your review of the conditions of approval. The drawing sets provided include:

- Site-work for all Components – JJR
- 309 West Washington – Dimension IV
- Capitol Court Townhomes/Washington Rowhouses – Vetter Denk
- Main Street Townhomes – KEE Architects
- Broom Street Lofts – The Alexander Company
- Proposed Parking Ramp at Washington Place – A&O
- Existing Parking at Main Street and 345 West Washington – A&O

In addition to the provided drawings, we are including an Informal Variance request of the Fire Department – resulting from our meeting with the Fire Department, a copy of the Encroachment Agreement for privilege in the street right of way agreement resulting from our meeting with City Real Estate, Covenants and Conditions for Traffic Engineering, a check to Engineering for the Sewerage District, a check to Traffic Engineering for a commercial Drive Permit, a letter of approval of terms from Tim Sobota of Madison Metro, a copy the Block 51 CSM, a letter to Mr. Daly and Mr. Troester regarding soil retentions design review, approved project addresses from Ms. Zenchenko, a copy of the submitted Minor Alteration to the SIP, and the revised Zoning Text resulting from meetings with you and Mr. Martin.

Please note that all documents submitted conform to our outstanding alteration to the SIP so that when the SIP is recorded the alteration can be filed simultaneously. This alteration revises the unit count in 309 West Washington Avenue from 112 to 116 and modifies bicycle parking accordingly.

Following is an outline of all comments we received based on our last submittal in February of this year.



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## Engineering Comments:

- 1 We have met with Lori Zenchenko to establish the appropriate street names and addresses for the project, these street names have been attached and the drawings have been modified accordingly.
- 2 All work in public ROW has been labeled "To be installed per City of Madison plans". We are working with Engineering towards the completion of the City documents to be included in the Developer's Agreement.
- 3 Our project Engineer has provided a letter outlining the schedule of the submittal of soil retention documents compliance with Engineering's design requirements to the satisfaction of Tim Troester.
- 4 JJR has provided CAD files for Lori Zenchenko's use prior to submittal.
- 5 All sanitary plugs and permits have been applied for and paid for.
- 6 A check for \$2,240 for the MMSD has been delivered to City Engineering and a copy of the check is attached.
- 7 The Erosion control permit and fee check for \$658 to City Treasurer has previously been submitted to City Engineering.
- 8 The Storm Water Management Plan and fee check for \$525 to City Treasurer has been submitted to and approved by City Engineering.
- 9 A signed and notarized copy of Storm Water Management covenants has been submitted to City Engineering with a copy attached.
- 10 A CD of the digital PDF files are included in this submittal for City Engineering.
- 11 Digital files of the Storm Water Plan have already been submitted to City Engineering by our consultant JJR.
- 12 All addresses for the project have been reviewed and approved by Lori Zenchenko and are attached.
- 13 We have met with Real Estate and have attached the resulting Encroachment Agreement which will be reviewed and executed prior to recording the GDP/SIP.
- 14 The access and maintenance agreements for sanitary laterals crossing Broom Street from 345 to be provided to City Engineering and is attached.
- 15 Our consultant has provided all sanitary flow calculations to City Engineering.
- 16 Our team is working with City Engineering on executing the Developer's Agreement. We currently are waiting for drawings from Engineering to review.
- 17 All grades on sidewalks have been provided to City Engineering.
- 18 Dewatering in excess of 70 g.p.m. requires an additional permit, we understand this and this has been reviewed and included in the project specification.

## Traffic Engineering

- 1 Two site plans required for the 13' setback area, our proposed plan and a plan outlining improvements to be removed upon City Acquisition of the property, have been included in the JJR set of plans.
- 2 We understand that passenger loading areas are not included in this approval and must receive additional approval outside of this process. We will pursue the additional required approval for Passenger Loading Areas separately once the SIP is recorded.

- 3 No drawings are marked "Preliminary", or "Not for Construction".
- 4 We have included dimensioned plans of Existing Ramp in this submittal.
- 5 All stalls and ramp dimensions have been designed to meet City Standards.
- 6 The total number of Small Car Stalls equals 8% of the total stalls provided.
- 7 We have added the following language to the Zoning Text: "Owner shall be financially responsible for the removal of modifications or improvements as required for the 13' future transportation setback."
- 8 We have verified that The City County 911 communications system directional path will not be impeded, please see attached.
- 9 We have added language in the Zoning Text indicating that no residential parking permits will be provided for Market Rate units. IZ units will be allowed to apply for residential parking permits. Developer will inform all residents of this restriction in Condominium Documents.
- 10 The Developer shall enter into a Developer's Agreement to accommodate public right of way improvements prior to the final approval of the SIP. We are currently waiting for a draft of the City's Design Documents for review.
- 11 Permit to Construct a Commercial Driveway Approach and associated \$600 fee to City of Madison Treasurer has been submitted to Traffic Engineering and a copy is attached.
- 12 A Letter of Understanding that stacked parking shall not use the public right of way has been provided to City Engineering and is attached.

#### **Urban Design**

- 1 We have met with Al Martin as directed and we have added language to the Zoning Text regarding UDC Conditions of Approval.

#### **Parks**

- 1 Park Fees will be provided prior to recording of SIP.

#### **Metro**

- 1 Additional Trip Generation Information has been submitted to Tom Sobota of Metro. Please refer to attached letter of approval from Metro for additional information.
- 2 The improvements have been included in the Encroachment Agreement attached. This agreement will be executed prior to recording.

#### **Lighting**

- 1 The drawings submitted are not noted "Preliminary" nor "Not For Construction", and the photo-metrics have been clarified for lighting's review.

#### **Planning**

- 1 Please refer to the attached letter to Hickory Hurie regarding the IZ determination with respect to the added 4 units.

**Zoning**

- 1 We have had a meeting with Zoning and have added conditions of approval to the Zoning Text.

**Real Estate**

- 1 We have met with Jerry Lund at City Real Estate.
- 2 The CSM has been modified to show existing encroachments.
- 3 The CSM has been submitted and will be approved and recorded simultaneously with the GDP/SIP, a copy is attached.

**CDBG**

- 1 Please refer to the attached letter to Hickory Hurie regarding the IZ determination with respect to the added 4 units.

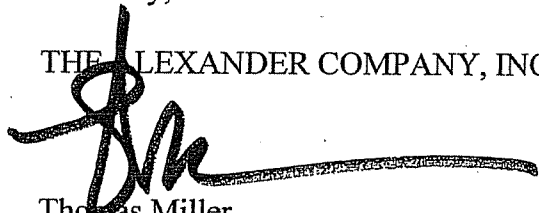
Please note the attached documents identify a 10<sup>th</sup> Main Street Townhome at 340 West Main Street as an **alternate** and that our Minor Alteration to the SIP and the Zoning Text eliminates this alternate from the scope of Phase 1, resulting in 9 Main Street Townhomes.

Please call with any questions or comments; if you would like to meet to review the Zoning Text in detail, we would be willing to do so at your convenience.

Thank you for your review of this submittal. Please let me know if there is any additional or modified information that you may need.

Sincerely,

THE ALEXANDER COMPANY, INC.



Thomas Miller  
Development Project Manager

Cc:

Natalie Bock, The Alexander Company, Inc. with attachments  
Chris Gosch, The Alexander Company, Inc. without attachments  
Ron Siggelkow, Dimension IV without attachments  
Paul Karow, Arnold & O'Sheridan without attachments  
Doug Kozel, KEE Architects without attachments  
Nate Novak, JJR without attachments  
File: with attachments

**Company**

February 22, 2006

Kathy Voeck  
City of Madison  
Zoning Department  
215 Martin Luther King Jr. Blvd  
Madison, WI 53703

**Re: Capitol West SIP Phase 1  
Conditions of Approval**

Dear: Ms. Voeck,

We are submitting review sets of the Capitol West project to you for your review of the conditions of approval.

In addition to the provided drawings, we are including the Fire Department checklist, Covenants and Conditions for Traffic Engineering, the Public Works Schedule, and the Block 51 CSM's.

Please note that we are also submitting an application for minor alteration to the SIP so that when the SIP is recorded the alteration can be filed immediately. This alteration revises the unit count in 309 West Washington Avenue from 112 to 116 and modifies bicycle parking accordingly. Additionally we have submitted an Application for Privilege in Streets regarding several approved encroachments into the public right of way to Jerry Lund.

Regarding the conditions of approval we offer the following Comments:

**July 20, 2005 Conditions of Approval  
Conditions of Approval of 309 West Washington, MainStreet Townhomes and  
Capitol Court:**

1. We have contacted Keith Lippet and David Dryer with the analysis that all components within the project are well below the height of the communication transmissions.
2. Agreed.
3. There is no public parking included in this project as approved.
4. Application for encroachment has been submitted for review and approval.
5. We believe all identified items have been included in the site improvement plans.
6. The parking ramp plans have been provided as part of this submittal.
7. Abandoned drives and replacement curb and gutter are identified on the plans.



8. Stall dimensions are identified on the parking ramp plans.
9. All street markings have been identified on the plans.
10. Please refer to the site design plan set for the required signage.
11. The drive entrance to the parking ramp is in excess of the required 18'.
12. All parking stalls in the ramp are private stalls, and are served by a private street – Washington Place. The queuing for the entrance is on Washington Place which allows for traffic to pass queuing vehicles in the 24' dimension provided. The access door to the parking ramp will be operated by radio frequency transmitter to be kept within the vehicles accessing the garage.
13. The waivers have been executed and are included with this submittal.
14. The scope for the work within the public right of way has been reviewed with various City agencies and is included on the plans included in this submittal. Additionally, a letter of credit and a deposit for lighting have been submitted to the City prior to this submittal.
15. The on-site loading areas comply with this condition.
16. As indicated in item 14, a letter of credit and a deposit for the identified work have been submitted to the City.
17. We have identified the scope of public improvements at meetings regarding the development agreement.
18. We propose to modify the name Capitol Court to Capitol Lane, and Washington Row to Washington Place. Please note that we will modify the plans to match these names once these names are approved.
19. We are in the process of reviewing and submitting for approval a CSM that is consistent with this plan.
20. Agreed.
21. We are prepared to enter into a development agreement for the improvements required for this project.
22. The site plan identifies the lot and block numbers for the existing and proposed CSM for the Block.
23. The identified features have been included on the plans.
24. The provided plans identify existing and proposed impervious areas.
25. We propose modifying street names to Washington Place and Capitol Lane in order to comply with this condition.
26. The identified improvements have been included in the plan.
27. The public improvements will be submitted to the Board of Public Works and the Council for approval as identified on the attached developer agreement schedule.
28. The proposed and existing grades have been identified on the plans.
29. Any curb, gutter and sidewalk that is damaged or removed will be replaced.
30. Any required soil retention will be submitted to the City for approval prior to installation of the system.
31. All work in the public right of way will be performed by a City licensed contractor.
32. Any proposed gutters and downspouts have been included on the plans.
33. The proposed private internal drainage system has been identified on the submitted plans.

34. ~~The erosion control plan and soil loss calculations have been submitted under separate cover previous to this submittal.~~
35. CAD files will be submitted as requested.
36. Sanitary plug permits have been obtained for 309 West Washington and will be forthcoming for additional Phase 1 components.
37. All MMSD connection charges will be paid in advance of connection.
38. All existing sanitary sewers in the project area have been identified.
39. Upon approval of the minor alteration to the SIP, the Letter of Intent will be modified to coincide with the proposed number of dwelling units.
40. The zoning text will be updated to identify R-6 residential districts and office zoning to match the existing/proposed office use at 345 West Washington.
41. Uses are identified in the zoning text. If greater specificity is required please advise and the appropriate modifications will be made prior to the completion of review.
42. Agreed.
43. Provided parking complies with State accessible requirements.
44. The IDUP has been reviewed and approved by CDBG, Plan Commission, and City Council. A copy of the approved plan has been included with this submittal.
45. Maximum heights have been identified and do not exceed the Capitol View Preservation Limit.
46. 87 bike parking stalls at the requested dimensions have been provided in the parking ramp and in the 309 structure. Additional bike parking has been provided at convenience locations (wall racks) in the parking ramp.
47. 3 10' x 35' loading bays have been provided on-site and will serve all phases of the Capitol West project.
48. A detailed landscape plan has been included as part of this submittal.
49. Lighting plans have been included.
50. The SIP for the Broom Street Lofts has been approved and is submitted herein for final review.
51. A Fitness Center and Concierge have been included and identified in the 309 West Washington Plans.
52. The pedestrian walkway bridge will be included in the 333 West Washington phase.
53. Street lighting has been discussed as part of the developer agreement and will be included in the plans for public improvement.
54. Any restriction to the access to the pedestrian walkway will be treated as a major alteration to the SIP.
55. All trash and recycling containers have been provided within enclosures.
56. The drive in question was eliminated through a modification to the plans as part of a previously approved alteration to the GDP.
57. Agreed.
58. All construction staging plans will be submitted for review and approval by the City Traffic Engineer.
59. The MEG Recycling and Reuse plan is part of the approval of this SIP.

60. Bike parking is provided in the new parking ramp, the existing parking ramps, an in the lower levels of 309 West Washington in order to meet the number of stalls identified. Stalls required to meet the City standard quantity will meet the City standard dimensions.
61. The storm water plan of most effectiveness is a green roof system to be included on 309 West Washington; this is the currently proposed method of storm water run-off mitigation.
62. A bicycle ramp has been included in the grand stair.
63. Roof top mechanicals are screened as identified in the elevations and roof plan included in this submittal.
64. We have had specific meetings with the City Department of Forestry to determine the desired terrace plantings.
65. Pedestrian scale ornamental lighting will be included in the public improvement plans for this project and in the developer agreement.
66. Z option A2 has been adopted and finalized with the approval of the Broom Street Lofts, the final IDUP has been submitted to CDBG for approval.
67. The payment of park dedication and development fees shall occur prior to final approval.
68. Agreed.
69. Calculations for fees have been reviewed.
70. No modification to existing street trees, or plantings in the terrace, will occur without approval from the City Forester.
71. Fire Department Checklist has been submitted as part of this review.
72. We believe these two criteria have been met in the current submittal.
73. Review of the identified items has occurred with several meetings with the Building Inspection Unit – modifying the Capitol Court Townhomes to match the construction type of 309 West Washington may resolve previous concerns.
74. We believe we are in compliance with this condition.
75. The submitted plans identify fire lanes for the project.
76. All encroachments have been included in an application to the City's privilege in Streets Committee for review and approval.
77. Curb cuts have been limited to driveways only along West Washington Ave. We have identified a loading zone to be coordinated with City Agencies along the curb at 309 West Washington Avenue.

**January 18th 2006**

**Conditions of Approval of 33 South Broom Street**

1. We have submitted an application for improvements in the street right of way to be reviewed and approved by the Board of Public Works and the City Council.
2. Improvements to the street lighting have been discussed and will be included in the developer agreement.
3. No improvements have been identified for the traffic signals. In the event that such improvements are required we can address the issue directly at that time.
4. Agreed.

5. We understand the existing parcel address is 15 S. Broom; however, we respectfully request this be modified to 33 South Broom to coincide with the theme of the overall development.
6. To the extent that existing laterals can be identified as 'out of use', this number will be reduced. The 5 identified lines are identified on the survey of existing conditions, they are not proposed laterals.
7. Required improvements within the public right of way are to be identified in the developer agreement currently being drafted.
8. See number 5 above.
9. Agreed, see number 1 above.
10. The grades and elevations have been provided on the submitted site improvement plans.
11. Any curb, gutter, and/or sidewalk damage or requiring replacement as part of this development will be replaced by the applicant.
12. All work in the public right of way will be performed by a city-licensed contractor.
13. An erosion control plan including soil loss calculations will be submitted prior to the commencement of construction at this component of the development.
14. Required submittals will be directed to the City of Madison as indicated.
15. The proposed drainage has been clarified on the site improvement plans.
16. CAD files will be submitted as requested.
17. Proper permits will be obtained prior to the commencement of storm sewer connection.
18. Sewer plug permits will be obtained prior to capping laterals.
19. All required MMSD charges will be paid prior to connection to the system.
20. We are submitting all components of Phase 1 for final approval simultaneously.
21. The submitted site plans are to scale.
22. Plans have been updated to show this area accurately.
23. Property lines and dimensions are identified on the site improvement plans.
24. The fourth floor plan is the uppermost level of the building.
25. 23 bike parking stalls have been provided in the existing parking ramp for 345 West Washington. The Bike parking provided meets the City dimensional standards.
26. All applicable conditions of approval have been incorporated into the submitted plans.
27. The final IDUP has been included as part of this submittal for review by the CDBG office.
28. The mezzanine has been removed.
29. The balconies along West Washington Avenue have been modified accordingly.
30. Two of the five stacks of balconies along Broom Street have been reduced in dimension so as not encroach over the 13' setback.
31. The remaining stacks along Broom Street shall encroach no more than 4' into the 13' setback.
32. Required fees will be paid at the time of sign off.

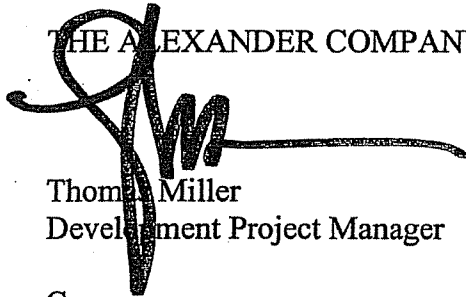


33. A Fire Apparatus Access Worksheet has been completed and included along with commentary.
34. See item 33 above.
35. See item 33 above.
36. Agreed see item 27 above.
37. The current site improvement plans identify the required concrete.
38. The Conditions of Approval from City Council and Plan Commission identify a bench and trash receptacle at the existing location of the current bus stop. The submitted drawings include these amenities as opposed to those requested by Metro due to the rider ship levels identified at this location.
39. The bench, trash receptacle and concrete pad will be installed on the terrace. This issue was addressed at length at the Plan Commission and at the developer agreement meeting and the City Council approved approach. The approach is to be included in the developer agreement.
40. We request review and approval is limited to those amenities approved by City Council for this location.
41. Understood.

Thank you for your review of this submittal. Please let me know if there is any additional or modified information that you may need.

Sincerely,

THE ALEXANDER COMPANY, INC.



Thomas Miller  
Development Project Manager

Cc:  
Natalie Bock  
Chris Gosch  
Nate Novak, JJR

MEMORANDUM



Date: April 4, 2006

Landscape Architecture

Urban Design

To: Tim Sobota  
Transit Planner  
Metro Transit  
Madison, Wisconsin

From: John Lichtenheld, P.E.  
Project: Capitol West  
SAA #: 2017.02

Community Planning

Civil Engineering

Re: Response to comments for Capitol West development

The following memorandum is a response by Schreiber/Anderson Associates (SAA) to comments raised by the Metro Transit pertaining to the proposed Capitol West development located in Madison, Wisconsin. The comments, dated February 9, 2006, will be addressed on a point-by-point basis:

For points 1 through 3, the following tables were created to distinguish the breakdown of daily inbound and outbound traffic based on the proposed land uses for the site. Furthermore, the tables distinguish Phase I development of the site from its total buildout. Phase 1 includes 163 residential units. Phase 2 includes a total of 400 residential units plus the 18,000 square feet of retail space. The daily traffic volumes were based on trip rates published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 7th Edition*. From the March 2005 traffic impact study for the project, a twenty percent reduction in traffic to the retail portion of the site was applied to account for its urban location. Therefore, a twenty percent reduction to daily traffic of the retail land use was also applied. In addition, to account for public transportation and non-vehicular transportation to and from the site, a five percent reduction was applied to all land uses. This reduction was based on criteria cited in the *ITE Trip Generation Handbook*. It should be noted that due to the proximity of the site to downtown employment centers, it is likely that residents may utilize non-vehicular transportation rather than public transportation; therefore, the five percent applied to the site to account for public transportation is conservative, in nature.

TRIP GENERATION SUMMARY FOR PHASE I OF CAPITOL WEST DEVELOPMENT

Land Use	Daily Inbound Trips	Daily Outbound Trips
Broom Street Townhomes (23 units)	92	92
Other Townhomes & Condominiums (140 units)	427	427
Total Trips to/from Site	519	519
MINUS 5% Reduction for Public Transportation <sup>2</sup>	<u>26</u>	<u>26</u>
<b>TOTAL NEW VEHICULAR TRIPS TO/FROM SITE</b>	<b>493</b>	<b>493</b>
1 Based on previous traffic impact study for site		
2 Based on ITE <i>Trip Generation Handbook</i>		

**TRIP GENERATION SUMMARY FOR FULL BUILDOUT OF CAPITOL WEST DEVELOPMENT**

<b>Land Use</b>	<b>Daily Inbound Trips</b>	<b>Daily Outbound Trips</b>
<b>Broom Street Townhomes (23 units)</b>	<b>92</b>	<b>92</b>
<b>Other Townhomes &amp; Condominiums (376 units)</b>	<b>989</b>	<b>989</b>
<b>18,000 sf Retail</b>	<b>399</b>	<b>399</b>
<b>Total Trips to/from Site</b>	<b>1480</b>	<b>1480</b>
<b>MINUS 20% Reduction to Retail Land Use <sup>1</sup></b>	<b>80</b>	<b>80</b>
<b>MINUS 5% Reduction for Public Transportation <sup>2</sup></b>	<b><u>74</u></b>	<b><u>74</u></b>
<b>TOTAL NEW VEHICULAR TRIPS TO/FROM SITE</b>	<b>1326</b>	<b>1326</b>
<b>1 Based on previous traffic impact study for site</b>		
<b>2 Based on ITE <i>Trip Generation Handbook</i></b>		

The first phase will generate a maximum of 26 additional potential boarding transit trips on a daily basis. There are currently 3 bus stops on the development block (one on Broom Street and two on West Washington Street. Assuming that the ridership is split between these stops with a maximum 50% loading for one bus stop location, then it is estimated that the maximum usage at any one stop would be an additional 13 boarding transit trips daily.

The second phase (complete buildout) will result in 74 additional daily transit trips. Using the same logic as the first phase distribution, this would result in an additional 37 additional daily trips at any one transit stop.

 **ARNOLD AND  
O'SHERIDAN INC**  
CONSULTING ENGINEERS

June 14, 2006

Mr. Mike Dailey  
Mr. Tim Troester  
Engineering  
City of Madison  
210 Martin Luther King Jr. Blvd.  
Room 115  
Madison, Wisconsin 53703

**Re: Capitol West – Final GDP/SIP Approval  
A&O Project No. 040380/82**

Dear Mike/Tim:

This letter is to confirm our previous conversations, regarding your review of the SIP documents submitted on February 22, 2006. In this review, you stated “the Applicant shall provide the City Engineer with the proposed soil retention system to accommodate the restoration. The soil retention system must be stamped by a Professional Engineer. The City Engineer may reject or require modifications to the retention system.”

In subsequent phone calls to you, I explained that the soil retention system for this project is specified as a performance-based design and as such, design and shop drawings will not be available until after the retention contract is let. You indicated that approval could be given to the SIP submittal with the stipulation that the soil retention design and shop drawings are transmitted to City Engineering for review as soon as available and must be approved prior to any work being completed. This letter is to confirm that this information will be sent to you in conformance with your request and work completed after your review and approval. All designs will be sealed by a Professional Engineer.

Sincerely,

**ARNOLD & O'SHERIDAN, INC.**  
CONSULTING ENGINEERS



Paul E. Karow, PE  
Associate Director of Structural Engineering

cc: Tom Miller, The Alexander Company  
A&O file

1111 DEMING WAY, SUITE 200, MADISON, WI 53717  
TELEPHONE: (608) 821-3500 FACSIMILE: (608) 821-8501

4125 N. 124<sup>TH</sup> STREET, BROCKFIELD, WI 53005  
TELEPHONE: (262) 783-6130 FACSIMILE: (262) 783-5121

WISCONSIN OFFICES IN MADISON AND MILWAUKEE

I:\2004\040380\Engineering\Correspondence Letters - Memos\LTR 060614 pek to City Eng. to soil retention review.doc

**Alexander**  
**Company**

Mr. John Leach  
City Of Madison,  
Division of Traffic Engineering  
215 Martin Luther King Jr. Boulevard  
53701

June 13<sup>th</sup> 2006

**Re: Capitol West PUD GDP/SIP  
Letter of Understanding**

Dear Mr. Leach,

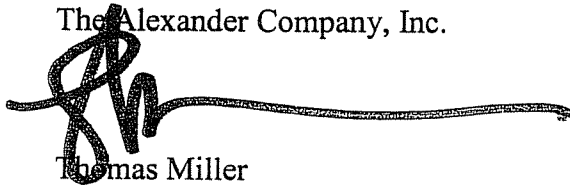
I have reviewed your comments and understand that you require a letter of understanding outlining that the proposed improvements do not require that any stacked parking utilize the public right-of-way for maneuvering vehicles.

We are writing this letter to assure you we understand your concern and can attest that the stacked stalls provided in Capitol West Parking Ramp will not require any public right-of-way for maneuvering. The stalls are designed such that the vehicles will utilize the drive aisle directly adjacent to the stall for maneuvering and will not impede in any part of the r.o.w. as part of this activity.

Please feel free to call with additional questions or comments.

Sincerely,

The Alexander Company, Inc.



Thomas Miller  
Development Project Manager

Cc: Project File

*Company*

June 9, 2006

Mr. Hickory Hurie  
Department of Planning and Development  
Community Development Block Grant  
Madison Municipal Bldg. Rm 280  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985

RE: Capitol West  
Phase I  
Minor Modification to SIP

Dear Hickory:

As you know, we have requested a minor alteration to SIP approvals for Capitol West. The Planning Department is looking for confirmation from you that our alteration to the SIP which increases the number of units from 159 to 163 can be handled as a minor alteration.

As we gathered additional information during sales and design process, it became apparent that smaller, more affordable units without stairs were moving more quickly than town home style, larger units. To more effectively respond to the market, the 309 W. Washington building was redesigned on the second and third floor. Our original plans called for 6 town home units in this space. We have redesigned the space to create 10 smaller one-bedroom units. Attached is a spreadsheet that illustrates the change unit types, salable square footage, and gross sales proceeds under both scenarios. Also attached is a unit by unit listing for each scenario. The only floors that have changed are floor 2 and floor 3.

Please note that this change, has slightly reduced our salable square footage and our gross sales proceeds.

In addition, we will be eliminating one unit at the Main Street Town Homes and we received approval for one additional unit at the Broom Street Lofts. Our total units in the first phase have gone from 159 units to 163 units. As you may remember we are providing 18 IZ units in the 309 W. Washington Avenue building and paying into the trust fund for the equivalent of 6 units.

I would be happy to sit down and discuss this in more detail if that would be helpful..

Sincerely,

THE ALEXANDER COMPANY, INC.

*Natalie Bock*

Natalie Bock  
Development Project Manager

Cc: ✓ Thomas Miller  
Bill White



**Alteration to SIP**  
**June 9, 2006**  
**Exhibit 1**

<b>Unit Mix</b>	<b>Approved</b>		<b>Proposed</b>	
<b>309 West Washington</b>				
1 Bedroom Market	51		58	
1 Bedroom IZ	8		8	
2 Bedroom Market	34		30	
2 Bedroom IZ	5		5	
3 Bedroom Market	12		12	
3 Bedroom IZ	3		3	
<i>Sub-Total</i>		113		116
<b>Capitol Court</b>				
2 Bedroom Market	15		15	
2 Bedroom IZ	0		0	
<i>Sub Total</i>		15		15
<b>Broom Street</b>				
1 Bedroom Market	10		10	
1 Bedroom IZ	1		1	
2 Bedroom Market	10		11	
2 Bedroom IZ	1		1	
<i>Sub Total</i>		22		23
<b>Main Street Town homes</b>				
2 Bedroom Market	9		9	
2 Bedroom IZ	0		0	
<i>Sub Total</i>		9		9
<b>Total Units</b>		<b>159</b>		<b>163</b>
<b>IZ Provided on site</b>		<b>18</b>		
<b>Payment to Trust Fund</b>		<b>6</b>		

<b>309 W Washington on Modified Floors 2 and 3</b>				<b>Net Change</b>
Salable Square Footage	27,305	26,938		-367
Gross Revenues	\$6,364,100	\$6,355,700		-\$8,400

309 W Washington Avenue  
Unit Detail Sheet

6.22.06  
IZ A.2  
02/21/07  
50%

UNIT	UNIT TYPE	ORIENTATION	BR/Bath	INDOOR SF	TERRACE SF	TOTAL SF	\$/PSF	NEW TOTAL
101	3h	North / West Corner	2Bdr / 2 Bath + Study *	1,295	60	1,355	250	331,900
102	2b	South / West Corner	2Bdr / 1 Bath *	745	0	745	IZ Rate	130,000
103	1bb	West Washington Ave	1Bdr / 1 Bath + Study *	960	20	980	240	233,900
104	1aa	Main Street	1Bdr / 1 Bath *	795	25	820	240	194,900
106	1b	Main Street	1Bdr / 1 Bath *	570	50	620	IZ Rate	109,000
201	2a	North / West Corner	2Bdr / 2 Bath *	1,280	60	1,340	255	334,900
202	3a	South / West Corner	3Bdr / 1 Bath	935	0	935	IZ Rate	151,000
203	1c	West Washington Ave	1Bdr / 1 Bath	640	15	655	245	159,900
204	1a	Main Street	1Bdr / 1 Bath	605	25	630	245	151,900
205	1i	West Washington Ave	1Bdr / 1 Bath	675	15	690	245	167,900
206	1b	Main Street	1Bdr / 1 Bath	570	50	620	IZ Rate	109,000
207	1i	West Washington Ave	1Bdr / 1 Bath	675	15	690	245	167,900
208	2g	Main Street	2Bdr / 1 Bath *	995	0	995	IZ Rate	130,000
209	1c	West Washington Ave	1Bdr / 1 Bath	640	15	655	IZ Rate	109,000
210	2h	Henry Street	2Bdr / 2 Bath *	1,290	90	1,380	245	327,900
211	2z	North / East Corner - Capitol	2Bdr / 2 Bath *	1,375	100	1,475	260	371,900
10 S. Henry	2l	Henry Street	2Bdr / 2 Bath *	1,375	65	1,440	245	345,900
20 S. Henry	2u	Henry Street	2Bdr / 2 Bath *	1,520	25	1,545	245	375,900
30 S. Henry	2w	Henry Corners - Outside	2Bdr / 2 Bath *	1,740	30	1,770	250	439,900
10 Cap Court	1r	Broom Street	1Bdr / 1 Bath *	1,020	0	1,020	245	250,900
20 Cap Court	1j	Broom Street	1Bdr / 1 Bath *	1,080	55	1,135	245	271,900
30 Cap Court	2v	Henry Corner	2Bdr / 2 Bath *	1,305	45	1,350	250	332,900
301	2i	North / West Corner	2Bdr / 2 Bath *	1,250	60	1,310	260	334,900
302	3a	South / West Corner	2Bdr / 1 Bath	935	0	935	255	239,900
303	1f	West Washington Ave	1Bdr / 1 Bath + Study *	810	20	830	250	205,900
304	1a	Main Street	1Bdr / 1 Bath *	605	25	630	IZ Rate	109,000
305	1h	West Washington Ave	2Bdr / 1 Bath *	965	0	965	IZ Rate	130,000
306	1b	Main Street	1Bdr / 1 Bath *	570	50	620	IZ Rate	109,000
307	1f	West Washington Ave	1Bdr / 1 Bath + Study *	810	20	830	250	205,900
308	2g	Main Street	2Bdr / 1 Bath *	995	0	995	IZ Rate	130,000
309	2bb	North / West Corner	2Bdr / 2 Bath *	1,355	100	1,455	260	365,900
310	2h	Henry Street	2Bdr / 2 Bath *	1,290	90	1,380	250	334,900
401	2k	North / West Corner	2Bdr / 2 Bath *	1,140	60	1,200	270	316,900
402	2j	South / West Corner	2Bdr / 2 Bath *	1,070	55	1,125	260	285,900
403	1g	West Washington Ave	1Bdr / 1 Bath + Study *	835	20	855	255	215,900
404	1d	Main Street	1Bdr / 1 Bath *	605	25	630	255	158,900
405	1h	West Washington Ave	1Bdr / 1 Bath *	965	0	965	255	246,900
406	1e	Main Street	1Bdr / 1 Bath *	570	50	620	IZ Rate	109,000
407	1g	West Washington Ave	1Bdr / 1 Bath + Study *	835	20	855	255	215,900
408	2g	Main Street	3Bdr / 1 Bath	995	0	995	IZ Rate	151,000
409	2z	North / East Corner - Capitol	2Bdr / 2 Bath *	1,375	100	1,475	270	385,900
410	1p	Henry Street	1Bdr / 1 Bath + Study *	1,055	45	1,100	255	275,900
411	1m	Henry Street	2Bdr / 1 Bath *	840	35	875	IZ Rate	130,000
412	1k	Broom Street	1Bdr / 1 Bath *	925	30	955	255	240,900
413	1n	Henry Street	1Bdr / 1 Bath *	755	40	795	255	198,900
414	1l	Henry Corners	1Bdr / 1 Bath *	850	70	920	260	230,900
415	1o	Henry Corners - Outside	1Bdr / 1 Bath + Study *	1,175	40	1,215	260	311,900
501	2m	North / West Corner	2Bdr / 2 Bath *	1,105	60	1,165	280	318,900
502	2j	South / West Corner	2Bdr / 2 Bath *	1,070	55	1,125	280	307,900
503	1f	West Washington Ave	1Bdr / 1 Bath + Study *	810	20	830	260	213,900
504	1d	Main Street	1Bdr / 1 Bath *	605	25	630	265	164,900
505	1h	West Washington Ave	1Bdr / 1 Bath *	965	0	965	260	251,900
506	1e	Main Street	1Bdr / 1 Bath *	570	50	620	IZ Rate	109,000
507	1g	West Washington Ave	1Bdr / 1 Bath + Study *	835	20	855	260	220,900
508	2g	Main Street	3Bdr / 1 Bath	995	0	995	IZ Rate	151,000
509	2z	North / East Corner - Capitol	2Bdr / 2 Bath *	1,375	100	1,475	280	399,900
510	1p	Henry Street	1Bdr / 1 Bath + Study *	1,055	45	1,100	260	280,900
511	1m	Henry Street	1Bdr / 1 Bath *	840	35	875	260	223,900
512	1k	Broom Street	1Bdr / 1 Bath *	925	30	955	260	244,900
513	1n	Henry Street	1Bdr / 1 Bath *	755	40	795	260	202,900
514	1l	Henry Corners	1Bdr / 1 Bath *	850	70	920	265	235,900
515	1q	Henry Corners - Outside	1Bdr / 1 Bath + Study *	1,005	40	1,045	265	272,900
601	2k	North / West Corner	2Bdr / 2 Bath *	1,140	60	1,200	290	339,900
602	2j	South / West Corner	2Bdr / 2 Bath *	1,070	55	1,125	290	318,900
603	1g	West Washington Ave	1Bdr / 1 Bath *	835	20	855	265	224,900
604	1d	Main Street	1Bdr / 1 Bath *	605	25	630	275	170,900
605	1h	West Washington Ave	1Bdr / 1 Bath *	965	0	965	265	256,900
606	1e	Main Street	1Bdr / 1 Bath *	570	50	620	IZ Rate	109,000
607	1f	West Washington Ave	1Bdr / 1 Bath + Study *	810	20	830	265	219,900
608	2g	Main Street/Broom Street	2Bdr / 2 Bath *	995	0	995	265	264,900
609	2bb	North / East Corner - Capitol	2Bdr / 2 Bath *	1,355	100	1,455	290	407,900
610	1p	Henry Street	1Bdr / 1 Bath + Study *	1,055	45	1,100	265	286,900
611	1u	Henry Street	1Bdr / 1 Bath *	775	25	800	265	209,900
612	1z	Henry Street	1Bdr / 1 Bath *	810	30	840	265	219,900
613	1n	Henry Street	1Bdr / 1 Bath *	755	40	795	265	205,900
614	1l	Henry Corners	1Bdr / 1 Bath *	850	70	920	280	248,900
615	1s	Henry Corners - Outside	1Bdr / 1 Bath + Study *	1,005	90	1,095	280	294,900
701	2m	North / West Corner	2Bdr / 2 Bath *	1,105	60	1,165	300	341,900
702	2p	South / West Corner	2Bdr / 2 Bath *	1,140	60	1,200	300	351,900
703	1f	West Washington Ave	1Bdr / 1 Bath + Study *	810	20	830	270	221,900
704	2q	Main Street	2Bdr / 2 Bath *	1,135	90	1,215	285	335,900
705	1h	West Washington Ave	1Bdr / 1 Bath *	965	0	965	270	261,900
706	2g	Main Street/Broom Street	2Bdr / 2 Bath *	995	0	995	270	269,900
707	1f	West Washington Ave	1Bdr / 1 Bath *	810	20	830	270	221,900
708	1p	Henry Street	1Bdr / 1 Bath + Study *	1,055	45	1,100	275	296,900
709	2n	North / East Corner - Capitol	2Bdr / 2 Bath *	1,310	115	1,425	300	410,900
710	1t	Broom Street	1Bdr / 1 Bath *	910	70	980	270	228,900
711	1u	Henry Street	1Bdr / 1 Bath *	775	25	800	275	217,900
712	1l	Henry Corners	1Bdr / 1 Bath *	850	70	920	290	257,900
713	1n	Henry Street	1Bdr / 1 Bath *	755	40	795	275	213,900
715	1s	Henry Corners - Outside	1Bdr / 1 Bath + Study *	1,005	90	1,095	290	305,900
801	3g	North / West Corner	3Bdr / 2 Bath *	1,445	110	1,555	310	455,900
802	2aa	South / West Corner	2Bdr / 2 Bath *	1,070	60	1,130	320	352,900

27,305

6,364,100.00

17

803	2r	West Washington Ave	2Bdr / 2 Bath	1,000	30	1,030	285	289,900
804	2q	Main Street	2Bdr / 2 Bath	1,135	80	1,215	295	347,900
805	2s	West Washington Ave	2Bdr / 2 Bath	1,000	30	1,030	285	289,900
806	2x	Main Street/Broom Street	2Bdr / 2 Bath	1,165	0	1,165	280	326,900
807	3c	North / East Corner - Capitol	3Bdr / 2 Bath	1,625	115	1,740	320	538,900
808	2cc	Henry Street	2Bdr / 2 Bath	1,255	100	1,355	280	365,900
809	2dd	Henry Street	2Bdr / 2.5 Bath	1,050	305	1,355	280	337,900
810	1x	Henry Street	1Bdr / 1 Bath	740	40	780	280	213,900
811	1u	Henry Corners - Outside	1Bdr / 1 Bath	935	105	1,040	300	296,900
812	1y	Henry Corners	1Bdr / 1 Bath	870	105	975	300	277,900
901	3p	North / West Corner	3Bdr / 2 Bath	1,530	110	1,640	330	523,900
902	3k	South / West Corner	3Bdr / 2.5 Bath + Study	2,020	275	2,295	340	734,900
903	3o	North / West Corner	3Bdr / 2 Bath	1,925	100	2,025	330	652,900
904	3l	North / East Corner - Capitol	3Bdr / 2 Bath + Study	2,170	280	2,450	340	785,900
905	3e	North / East Corner - Capitol	3Bdr / 2 Bath	1,670	120	1,790	340	588,900
1001	3n	North / West Corner	3Bdr / 2.5 Bath + Study	2,180	505	2,685	340	827,900
1002	3j	South / West Corner	3Bdr / 2.5 Bath	1,765	535	2,300	350	711,900
1003	3m	North / East Corner - Capitol	3Bdr / 2 Bath	2,150	665	2,815	355	881,900
1004	3i	North / East Corner - Capitol	3Bdr / 2 Bath	1,960	530	2,490	355	790,900

10/20/2018 10:00 AM

# 309 W Washington Avenue

## Unit Detail Sheet

March 15, 2006

UNIT	UNIT TYPE	ORIENTATION	BR/Bath	INDOOR SF	ICE SF	TERRACE	TOTAL SF	\$/PSF	Unit Pricing
1	101	3h	North / West Corner	3Bdr / 2 Bath	1,250	60	1,310	250	331,900
2	102	2b	South / West Corner	2Bdr / 1 Bath	751	0	751	IZ Rate	130,000
3	103	1bb	West Washington Ave	1Bdr / 1 Bath + Study	948	35	983	240	233,900
4	104	1aa	Main Street	1Bdr / 1 Bath	786	40	826	240	194,900
5	106	1b	Main Street	1Bdr / 1 Bath	572	55	627	IZ Rate	109,000
				4,307					
6	201	2a	North / West Corner	2Bdr / 2 Bath	1,275	61	1,336	255	334,900
7	202	3a	South / West Corner	3Bdr / 1 Bath	935	0	935	IZ Rate	151,000
8	203	1c	West Washington Ave	1Bdr / 1 Bath	640	20	660	245	159,900
9	204	1a	Main Street	1Bdr / 1 Bath	618	40	658	245	159,900
10	205	1i	West Washington Ave	1Bdr / 1 Bath	675	15	690	245	167,900
11	206	1b	Main Street	1Bdr / 1 Bath	572	55	627	IZ Rate	109,000
12	207	1i	West Washington Ave	1Bdr / 1 Bath	675	15	690	245	167,900
13	208	2g	Main Street	2Bdr / 1 Bath	1,015	0	1,015	IZ Rate	130,000
14	209	1c	West Washington Ave	1Bdr / 1 Bath	635	20	655	IZ Rate	109,000
15	210	2h	Henry Street	1Bdr / 1 Bath + Study	1,044	85	1,129	245	266,900
16	211	2z	North / East Corner - Capit	2Bdr / 2 Bath	1,375	100	1,475	260	371,900
17	212	1ii	Broom Street	1Bdr / 1 Bath	814	0	814	245	199,900
18	213	1ee	Henry Street	1Bdr / 1 Bath	735	128	863	245	196,900
19	214	1hh	Henry Corner	1Bdr / 1 Bath	844	0	844	250	211,900
20	215	1ff	Broom Street	1Bdr / 1 Bath	780	200	980	245	216,900
21	217	1gg	Henry Corner - Outside	1Bdr / 1 Bath	861	158	1,019	250	235,900
22	301	2i	North / West Corner	2Bdr / 2 Bath	1,250	60	1,310	260	334,900
23	302	3a	South / West Corner	2Bdr / 1 Bath	922	0	922	255	236,900
24	303	1f	West Washington Ave	1Bdr / 1 Bath + Study	810	20	830	250	205,900
25	304	1a	Main Street	1Bdr / 1 Bath	619	0	619	IZ Rate	109,000
26	305	1h	West Washington Ave	2Bdr / 1 Bath	965	0	965	IZ Rate	130,000
27	306	1b	Main Street	1Bdr / 1 Bath	572	0	572	IZ Rate	109,000
28	307	1f	West Washington Ave	1Bdr / 1 Bath + Study	774	30	804	250	197,900
29	308	2g	Main Street	2Bdr / 1 Bath	1,015	0	1,015	IZ Rate	130,000
30	309	2bb	North / West Corner	2Bdr / 2 Bath	1,349	100	1,449	260	365,900
31	310	2h	Henry Street	1Bdr / 1 Bath + Study	1,044	85	1,129	250	272,900
32	311	1eee	Henry Street	1Bdr / 1 Bath	706	30	736	250	180,900
33	312	1ii-a	Broom Street	1Bdr / 1 Bath	808	57	865	250	209,900
34	313	1fff	Henry Street	1Bdr / 1 Bath	757	34	791	250	194,900
35	314	1hh-a	Henry Corner	1Bdr / 1 Bath	840	70	910	255	223,900
36	315	1jj	Henry Corners - Outside	1Bdr / 1 Bath	1,014	32	1,046	255	263,900
				26,938		6,355,700			
37	401	2k	North / West Corner	2Bdr / 2 Bath	1,118	60	1,178	270	310,900
38	402	2j	South / West Corner	2Bdr / 2 Bath	1,070	55	1,125	260	285,900
39	403	1g	West Washington Ave	1Bdr / 1 Bath	836	24	860	255	215,900
40	404	1d	Main Street	1Bdr / 1 Bath	605	25	630	255	159,900
41	405	1h	West Washington Ave	1Bdr / 1 Bath	1,007	0	1,007	255	257,900
42	406	1e	Main Street	1Bdr / 1 Bath	572	55	627	IZ Rate	109,000
43	407	1g	West Washington Ave	1Bdr / 1 Bath	836	24	860	255	215,900
44	408	2g	Main Street	3Bdr / 1 Bath	1,015	0	1,015	IZ Rate	130,000
45	409	2z	North / East Corner - Capit	2Bdr / 2 Bath	1,375	100	1,475	270	385,900
46	410	1p	Henry Street	1Bdr / 1 Bath + Study	1,055	37	1,092	255	274,900
47	411	1m	Henry Street	2Bdr / 1 Bath	840	35	875	IZ Rate	130,000
48	412	1k	Broom Street	1Bdr / 1 Bath	923	28	951	255	240,900
49	413	1n	Henry Street	1Bdr / 1 Bath	757	42	799	255	198,900
50	414	1l	Henry Corners	1Bdr / 1 Bath	850	70	920	260	230,900
51	415	1o	Henry Corners - Outside	1Bdr / 1 Bath + Study	1,179	38	1,217	260	311,900
				14,038					
52	501	2m	North / West Corner	2Bdr / 2 Bath	1,095	61	1,156	280	315,900
53	502	2j	South / West Corner	2Bdr / 2 Bath	1,070	55	1,125	280	307,900
54	503	1f	West Washington Ave	1Bdr / 1 Bath + Study	774	30	804	260	205,900
55	504	1d	Main Street	1Bdr / 1 Bath	605	25	630	265	164,900
56	505	1h	West Washington Ave	1Bdr / 1 Bath	1,007	0	1,007	260	262,900
57	506	1e	Main Street	1Bdr / 1 Bath	572	55	627	IZ Rate	109,000
58	507	1g	West Washington Ave	1Bdr / 1 Bath	836	24	860	260	220,900
59	508	2g	Main Street	3Bdr / 1 Bath	1,015	0	1,015	IZ Rate	130,000
60	509	2z	North / East Corner - Capit	2Bdr / 2 Bath	1,375	100	1,475	280	399,900
61	510	1p	Henry Street	1Bdr / 1 Bath + Study	1,055	37	1,092	260	279,900
62	511	1m	Henry Street	1Bdr / 1 Bath	837	33	870	260	222,900
63	512	1k	Broom Street	1Bdr / 1 Bath	923	28	951	260	244,900
64	513	1n	Henry Street	1Bdr / 1 Bath	757	42	799	260	202,900
65	514	1l	Henry Corners	1Bdr / 1 Bath	850	70	920	265	235,900
66	515	1q	Henry Corners - Outside	2Bdr / 1 Bath	1,010	89	1,099	265	272,900
				13,781					
67	601	2k	North / West Corner	2Bdr / 2 Bath	1,118	60	1,178	290	333,900
68	602	2j	South / West Corner	2Bdr / 2 Bath	1,070	55	1,125	290	318,900

69	603	1g	West Washington Ave	1Bdr / 1 Bath	836	24	860	265	224,900
70	604	1d	Main Street	1Bdr / 1 Bath	605	25	630	275	170,900
71	605	1h	West Washington Ave	1Bdr / 1 Bath	1,007	0	1,007	265	267,900
72	606	1e	Main Street	1Bdr / 1 Bath	570	50	620	265	109,000
73	607	1f	West Washington Ave	1Bdr / 1 Bath + Study	774	30	804	265	211,900
74	608	2g	Main Street/Broom Street	2Bdr / 2 Bath	1,015	0	1,015	265	264,900
75	609	2bb	North / East Corner - Capit	2Bdr / 2 Bath	1,349	100	1,449	290	407,900
76	610	1p	Henry Street	1Bdr / 1 Bath + Study	1,055	37	1,092	265	284,900
77	611	1u	Henry Street	1Bdr / 1 Bath	773	25	798	265	209,900
78	612	1z	Henry Street	1Bdr / 1 Bath	808	28	836	265	218,900
79	613	1n	Henry Street	1Bdr / 1 Bath	757	42	799	265	205,900
80	614	1l	Henry Corners	1Bdr / 1 Bath	850	70	920	280	248,900
81	615	1q	Henry Corners - Outside	2Bdr / 1 Bath	1,010	89	1,099	280	294,900
					13,597				
82	701	2m	North / West Corner	2Bdr / 2 Bath	1,095	61	1,156	300	338,900
83	702	2p	South / West Corner	2Bdr / 2 Bath	1,150	60	1,210	300	351,900
84	703	1f	West Washington Ave	1Bdr / 1 Bath + Study	810	20	830	270	221,900
85	704	2q	Main Street	2Bdr / 2 Bath	1,133	90	1,223	285	336,900
86	705	1h	West Washington Ave	1Bdr / 1 Bath	1,007	0	1,007	270	272,900
87	706	2g	Main Street/Broom Street	2Bdr / 2 Bath	1,015	0	1,015	270	274,900
88	707	1f	West Washington Ave	1Bdr / 1 Bath + Study	774	30	804	270	213,900
89	708	1p	Henry Street	1Bdr / 1 Bath + Study	1,055	37	1,092	275	295,900
90	709	2n	North / East Corner - Capit	2Bdr / 2 Bath	1,306	110	1,416	300	408,900
91	710	1t	Broom Street	1Bdr / 1 Bath	808	68	876	270	227,900
92	711	1u	Henry Street	1Bdr / 1 Bath	773	25	798	275	216,900
93	712	1l	Henry Corners	1Bdr / 1 Bath	850	70	920	290	257,900
94	713	1n	Henry Street	1Bdr / 1 Bath	757	42	799	275	214,900
95	715	1q	Henry Corners - Outside	2Bdr / 1 Bath	1,010	89	1,099	290	305,900
					13,543				
96	801	3g	North / West Corner	3Bdr / 2 Bath	1,445	110	1,555	310	465,900
97	802	2aa	South / West Corner	2Bdr / 2 Bath	1,086	53	1,139	320	352,900
98	803	2r	West Washington Ave	2Bdr / 2 Bath	1,003	50	1,053	285	289,900
99	804	2q	Main Street	2Bdr / 2 Bath	1,133	90	1,223	295	348,900
100	805	2s	West Washington Ave	2Bdr / 2 Bath	1,001	36	1,037	285	289,900
101	806	2x	Main Street/Broom Street	2Bdr / 2 Bath	1,179	0	1,179	280	330,900
102	807	3c	North / East Corner - Capit	3Bdr / 2 Bath	1,615	110	1,725	320	534,900
103	808	2cc	Henry Street	2Bdr / 2 Bath	1,273	140	1,413	280	376,900
104	809	2dd	Henry Street	2Bdr / 2 Bath	1,050	305	1,355	280	337,900
105	810	1x	Henry Street	1Bdr / 1 Bath	740	40	780	280	213,900
106	811	1u	Henry Corners - Outside	1Bdr / 1 Bath	935	105	1,040	300	296,900
107	812	1y	Henry Corners	1Bdr / 1 Bath	855	125	980	300	275,900
					13,315				
108	901	3p	North / West Corner	3Bdr / 2 Bath	1,516	109	1,625	330	518,900
109	902	3k	South / West Corner	3Bdr / 2.5 Bath + Study	2,020	275	2,295	340	734,900
110	903	3o	North / West Corner	3Bdr / 2 Bath	1,927	101	2,028	330	652,900
111	904	3l	North / East Corner - Capit	3Bdr / 2 Bath + Study	2,170	280	2,450	340	785,900
112	905	3e	North / East Corner - Capit	3Bdr / 2 Bath	1,662	109	1,771	340	584,900
					9,295				
113	1001	3n	North / West Corner	3Bdr / 2.5 Bath + Study	2,142	497	2,639	340	827,900
114	1002	3j	South / West Corner	3Bdr / 2.5 Bath	1,765	535	2,300	350	711,900
115	1003	3m	North / East Corner - Capit	3Bdr / 2.5 Bath + Study	2,140	690	2,830	355	881,900
116	1004	3i	North / East Corner - Capit	3Bdr / 2 Bath	1,973	520	2,493	355	790,900
					116,834	8,020	8,464	125,298	



John Lippitt  
Madison Fire Department  
325 West Johnson Street  
Madison, WI 53703

June 21, 2006

RE: BLOCK 51/CAPITOL WEST GDP/SIP REVIEW  
309- 333 W. Washington, 15-80 Washington Place, 302-340 W. Main,  
22-58 South Henry, and 15 South Broom

**INFORMAL VARIANCE REQUEST**

Dear Mr. Lippitt,

Thank you for reviewing the Capitol West SIP submittal. As a result of your review we have amended our variance request to the following:

- Code Issue: 62.0500 (2)(a)(2)
- Broom Street Lofts in excess of 30' from the aerial apparatus fire access lane.
- Equivalency: Fire Protection at Broom Street Lofts to NFPA-13.
  
- Code Issue: 62.0500 (3)(d)
- Henry Street and Main Street: Aerial apparatus lane less than 26'.
- Equivalency: Provide 24' fire access lane at Main St. and fire protection to NFPA-13 at Main Street Townhomes, 309 West Washington, and Capitol Court Townhomes.
  
- Code Issue: 62.0500 (3)(a),(b)
- Capitol Court /309 West Washington: Overhead obstruction at future bridge.
- Equivalency: Fire Protection to NFPA-13 at Capitol Court Townhomes.

In addition, we have provided an updated, full scale Fire Access plan for your final review; this same Fire Access plan – once approved as part of the informal variance process – will be recorded as part of the Capitol West GDP/SIP. Please note that this submittal (C002 6/21/2006) replaces the submittal of Sheet C002 of June 14, 2006.

Please let us know if you need any additional information.

THE ALEXANDER COMPANY, Inc.

Thomas Miller  
Development Project Manager

Cc John Leach, City Traffic Engineering  
Kathy Voeck, City Zoning

<b>APPROVED</b>	
Madison Fire Department	
Fire Prevention Division	
 Signature	<u>6-28-06</u> Date
PHW C002 REV DTA 6-21-06	

Attachment: Fire Access Plan Revised 6/21/2006 and approved addresses

**Alexander**  
Company

Mr. Alan Martin  
City of Madison  
Planning & Development  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison, WI 53701-24985

August 2<sup>nd</sup>, 2006

**Re: URBAN DESIGN SUBMITTAL**  
**Capitol West SIP – Major Alteration**  
**INITIAL or FINAL APPROVAL APPLICATION**

Dear Mr. Martin:

The following is submitted together with plans; legal description, and zoning text for Urban Design Commission consideration of approval of the proposed Alteration to the SIP for the above noted development.

**Project:** Capitol West – Phase I: **Alteration to the SIP**  
Block 51, bounded by West Washington Avenue, South Henry Street, West Main Street and Broom Street

**Developer:** The Alexander Company  
145 East Badger Road, Suite 200  
Madison, WI 53713  
Office: (608) 258-5580  
Fax: (608) 258-5599  
Contact: Thomas Miller

**Scope Modifications and Clarification from previous submittal (7/19/2006).**

Please note that in addition to the general description of the modifications to the SIP outlined later in this letter, we have prepared the following outline of revisions/information in response to comments from our UDC appearance of July 26<sup>th</sup>, 2006:

**A) Rendered Elevations**

We will provide rendered, color elevations of the 309 Building for review by commission members at the meeting of August 9<sup>th</sup>.

**B) HVAC/Envelope Energy and Cost Efficiency.**

The system we are providing is 30% more cost effective in terms of upfront costs than the previous water source heat pump system, and is integrated with a building envelope that is currently estimated at 20% more energy efficient than the previous building design. So although the PTAC Units are roughly 8% less efficient than the Water Source Heat Pump system, the benefits offered by modifying the system are significant. We will provide a detailed analysis of the building envelope at the UDC meeting of August 9<sup>th</sup>.



**C) Auto Parking Review:**

We are providing the addition of 70 interior parking stalls, not in an effort to increase the parking ratios for Phase 1 of the development, but to alleviate the cost of providing parking in later phases, and to potentially alleviate the burden on existing parking in the neighborhood from existing uses; i.e. Network 222, and the Baskerville Condominiums.

**D) Bicycle Parking Review:**

We have revised our plans to include additional visitor bike parking, originally our plans included 8 stalls located adjacent to the retail at 309; we are now including 24 visitor stalls at a variety of locations convenient to visitors to help encourage biking to Capitol West.

**E) Green Efforts including Mews/Green Roof Review**

- Donated Goods and Public Sale reused over 42 tons of material left on-site.
- Recycling and Reuse Plan: 94.8% of all material demolished has been recycled.
- Extensive brownfield remediation and abatement efforts
- Green Roof at the Courtyard, at the Roof of the 309 Annex and Rain Catchment. Please note that the cost of providing the seed for the lawn atop the parking at the future location of Phase 2 costs less than the labor to relocate trays to a future roof if they were planted in this location in place of the lawn. It is important to note that a waterproof membrane is required in this location regardless of whether it is planted or not. Additionally, the soil proposed to be used at this location will be recycled on site, and the vegetation will be composted when no longer required at this location.
- Transportation Demand Management Plan to be implemented through the Condominium Associations to the benefit of residents, neighbors and all that live work and recreate in downtown.
- Commitment to improve Madison Metro Bus Stop Facilities.
- 

**F) Landscaping/Wall Treatment**

We have revised our landscape and site improvement plan to include climbing vines at and ornamental trees for vertical greenery at the location where the unit entry stairs were located at the Henry Street Elevation. We feel it is important to note that the removal of the stairs at this location allows 6.5' more landscapable area between the sidewalk and the building that would be lost if the landings are added back to accommodate the stairs at this area.

**G) Exterior Envelope Samples and Details**

At the meeting of August 8<sup>th</sup> we will provide samples and details of the following materials and systems for review by commissioners:

- Square Profile Corrugated Metal Panel
- Round Profile Corrugated Metal Panel
- Smooth Metal Panel
- Stainless Steel Cable Railing
- Ground Face CMU
- Light Gray pre-cast concrete
- Detail of window opening at corrugated metal panel.
- Clear anodized window system.
- Insulated Low-e glazing sample
- Architectural louvers for screening HVAC and laundry exhaust.

---

**The following is general description of the proposed alteration from the approved SIP/GDP for Capitol West:**

The Redevelopment of Block 51, known as Capitol West is being revised to modify the following components: 309 West Washington Avenue, The New Parking Ramp, and associated Site Work. The remainder of the project is unchanged at this time.

- 1) 309 West Washington is modified by the addition of one story to the main tower portion of the building (increasing the number of stories from 10 to 11); note that there will not be an added floor to the annex area. This addition of one story adds 10 units and brings the unit total for this component to from 116 dwelling units (as identified in the Minor Alteration to the SIP) to 126 dwelling units; this is an increase from 163 dwelling units in Phase I to 173 dwelling units (we will be paying additional payment to the Affordable Housing Trust Fund for the future provision of an IZ Unit by the City). The height of the roof above the added floor is below the Capitol View Preservation Limit.
- 2) In addition to the added floor, the mechanical system for the 309 building has been revised so as to eliminate the requirement for a cooling tower and enclosure on the roof of the building. This revision helps maintain an overall height for the 309 building that is very close to the originally proposed building height.
- 3) The Exterior skin of 309 West Washington has been modified to maximize energy efficiency, and cost-effective composition. The materials and palette remain the same as in the original proposal. The stairs have been removed from the Henry Street second floor units in the Annex, as they are no longer townhouse units with exterior entries.
- 4) The Parking Ramp is being modified to add one additional layer of parking beneath the existing two proposed layers. This additional level adds 70 parking stalls for an increase in the total number of stalls at this ramp from 146 to 216 parking stalls.
- 5) In addition to modifying the above structures this application also modifies some of the associated site improvements. The details of the proposed modified materials and assemblies are all shown on the submitted site planning documents and include the following:
  - Replacement of the stainless steel cable vine climbing system at the south wall of the Grand Stair with climbing vines.
  - Elimination of the overhead cable trellis at the Mews, please note that the vertical column trellis will remain at the Capitol Court Townhomes.
  - Elimination of the Phase 1 water feature at the east entry to the Mews
  - Elimination of the Townhome entry stairs along Henry Street Elevation of Annex.
  - Addition of 16 bicycle visitor parking stalls on site.

**Project Schedule and Management**

Assuming recording the Phase I SIP immediately, in a manner that allows us to move forward with several of the components of the development while revising 309 West Washington and the Associated Parking Ramp, construction of the Broom Street Lofts should begin in September of 2006. This will likely be followed by the Main Street Townhomes, and then finally, once approved as proposed herein, 309 West Washington and the associated parking would commence

---

this fall. These components will then be followed by Phase II and Phase III once SIP approvals are obtained for each of those phases.

In closing, I would like to add that although we would greatly enjoy a Final approval on the 9th we have applied for Final or Initial Approval so that we move forward in the process on schedule.

Thank you for your time in reviewing this proposal.

Regards,



THE ALEXANDER COMPANY, Inc.  
Thomas Miller  
Development Project Manager

Cc: Natalie Bock  
File

Attachments

(1)



July 12, 2006

Mr. Brad Murphy  
City of Madison  
Planning & Development  
215 Martin Luther King Jr. Blvd  
PO Box 2985  
Madison, WI 53701-24985

**Re: Letter of Intent, Capitol West (Phase I), Alteration to the SIP**

Dear Mr. Murphy:

The following is submitted together with plans; land-use application and zoning text for City Staff, Plan Commission, and City Council consideration of approval of the proposed Alteration to the SIP for the development.

**Project:** Capitol West – Phase I: **Alteration to the SIP**  
Block 51, bounded by West Washington Avenue, South Henry Street, West Main Street and Broom Street

**Developer:** The Alexander Company  
145 East Badger Road, Suite 200  
Madison, WI 53713  
Office: (608) 258-5580  
Fax: (608) 258-5599  
Contact: Thomas Miller

**Alteration Description:**

The Redevelopment of Block 51, known as Capitol West is being revised to modify the following components: 309 West Washington Avenue, The New Parking Ramp, and associated Site Work. The remainder of the project is unchanged at this time.

- 1) 309 West Washington is modified by the addition of one story to the main tower portion of the building (increasing the number of stories from 10 to 11); note that there will not be an added floor to the annex area. This addition of one story adds 10 units and brings the unit total for this component to from 116 dwelling units to 126; this is an increase from 163 dwelling units in Phase I to 173 dwelling units. The height of the roof above the added floor is below the Capitol View Preservation Limit.
- 2) In addition to the added floor, the mechanical system for the 309 building has been revised so as to eliminate the requirement for a cooling tower and enclosure on the roof of the building. This revision helps maintain an overall height for the 309 building that is very close to the originally proposed building height.
- 3) The Exterior skin of 309 West Washington has been modified to maximize energy efficiency, and cost-effective composition. The materials and palette remain the same as in the original proposal.

17

- 4) The Parking Ramp is being modified to add one additional layer of parking beneath the existing two proposed layers. This additional level adds 70 parking stalls for an increase in the total number of stalls at this ramp from 146 to 216 parking stalls.
- 5) In addition to modifying the above structures this application also modifies some of the associated site improvements. The details of the proposed modified materials and assemblies are all shown on the submitted site planning documents.

#### Fire Access

An approved fire access plan has been submitted as part of the approved GDP and the SIP for this development. This plan meets the criteria outlined in the Fire Apparatus & Access and Fire Hydrant Worksheet. The specifics of this approved plan will not be modified as part of this alteration.

#### Project Schedule and Management

Assuming recording the Phase I SIP immediately, in a manner that allows us to move forward with several of the components of the development while revising 309 West Washington and the Associated Parking Ramp, construction of the Broom Street Lofts should begin in September of 2006. This will likely be followed by the Main Street Townhomes, and then finally, once approved as modified herein, 309 West Washington and the associated parking would commence this fall. These components will then be followed by Phase II and Phase III once SIP approvals are obtained for each of those phases.

#### Social Economic Impact

The Capitol West development will provide a positive impact for downtown Madison both socially and economically. The mixed-use plan, by developing housing units and supporting retail uses in our city's center promotes smart growth by placing density where sufficient city services currently exist. By creating a range of housing choices within walkable distance from a variety of supporting retail services and workplaces, we are promoting healthy development.

The Capitol West development provides a significant component of affordable housing. Our current plan for Phase I calls for creation of affordable housing as set forth in the previously submitted and approved Inclusionary Zoning Dwelling Unit Plan. Affordable Housing will be targeted to residents making 80% of the Area Median Income or less.

Also, it is important to note that the design and construction of the buildings within the development will promote opportunities for healthy living and green building systems. The design of the master plan maximizes residents' access to sunlight and natural ventilation. The inclusion of a Recycling and Re-use Plan has and will continue to maximize the amount of material re-used and minimize the amount of waste generated by this development. The submitted and approved Transportation Demand Management Plan insures the exploration of expanding transportation options and creating a streetscape that better serves a range of users -- pedestrians, bicyclists, transit riders, and automobiles. And, the potential for rain catchment and other green building systems will reduce the amount of runoff and demand for water supply resulting from this development. This along with the remediation of hazardous materials currently existing on the site and the utilization of environmentally sensitive building materials creates a social benefit for the residents, the neighbors and the City, and exemplifies a commitment to responsible and environmentally sound development.

Based on the analysis above we feel the proposed development meets the spirit and intent of the PUD zoning ordinances when reviewed with respect to the criteria for approval set fourth in Section 28.07(6)(f) of the zoning code:

(7

1. Criteria & Intensity of Land Use: The proposed PUD has been designed specifically with the existing neighborhood uses in mind. More intense uses have been located along streets and avenues that can support higher density development, while less intense uses are planned where the existing finer grain, less massive historic residential uses are adjacent to the proposed development, i.e. Broom Street & Main Street. Great lengths have been taken to design an aesthetically pleasing urban environment with a mix of uses designed to promote a sustainable urban community without adversely affecting municipal services. As noted above a transportation demand management plan and traffic impact analysis have been completed as part of the PUD and will help provide solutions to any traffic and parking demand concerns.
2. Economic Impact: We feel the proposed development will provide a positive impact on the economics of the city without adversely affecting the provision of municipal services. The projected increase in value of the property upon completion is in excess of \$100 million.
3. Presentation & Maintenance of Open Space: This development includes a block wide approach to providing functional urban open space of the highest quality. The efforts to create seating areas, walkways, water features, plazas, roof gardens, terraces, additional bike lanes, and bike parking areas will provide a more attractive network of useable open space than currently exists on site. Plantings existing in the transit corridor along the western edge of the block have reached their peak effectiveness in relation to their original single purpose: screening. The loss of branches due to age and overcrowding of a single species is producing diminishing returns. A broader look at the entire block allows us to provide plantings & open space that will more effectively address a variety of needs and uses both for wildlife and residents. In addition, this development will provide plantings that take into account rain interception, air filtration, shade and cooling, as well as more appropriate habitat and nutrition for wildlife than what currently exists on the site.
4. Implementation of Schedule: the schedule provides for phasing that promotes expedient construction of each phase of the development and limits any adverse effect on the community should the development terminate at the end of any given phase.

Thank you for your time in reviewing this proposal.

Regards,



THE ALEXANDER COMPANY, Inc.  
Thomas Miller  
Development Project Manager

Cc: Natalie Bock  
File

(7

# DIMENSION IV-MADISON

Architecture, Engineering and Interior Design  
 313 West Beltline Hwy., Suite 161, Madison, WI 53713 Phone (608) 229-4444

## CAPITOL WEST

309 West Washington, Madison, WI

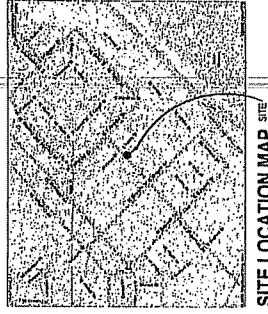
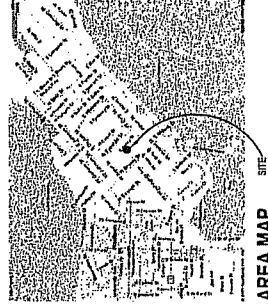
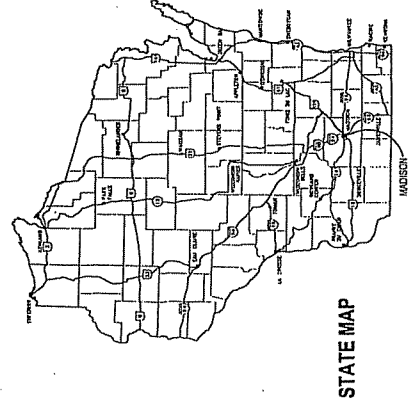
### LIST OF DRAWINGS

GENERAL  
 GO.1 COVER SHEET

ARCHITECTURAL  
 A0.1 FIRST SUB-BASEMENT FLOOR PLAN  
 A1.0 GROUND FLOOR PLAN  
 A1.1 FIRST FLOOR PLAN  
 A1.2 SECOND FLOOR PLAN  
 A1.3 THIRD FLOOR PLAN  
 A1.4 FOURTH FLOOR PLAN  
 A1.5 FIFTH FLOOR PLAN  
 A1.6 SIXTH FLOOR PLAN  
 A1.7 SEVENTH FLOOR PLAN  
 A1.8 EIGHTH FLOOR PLAN  
 A1.9 NINTH FLOOR PLAN  
 A1.10 TENTH FLOOR PLAN  
 A1.11 ELEVENTH FLOOR PLAN  
 A1.12 ROOF PLAN  
 A2.0 NORTH EXTERIOR ELEVATION  
 A2.1 EAST EXTERIOR ELEVATION  
 A2.2 SOUTH EXTERIOR ELEVATION  
 A2.3 WEST EXTERIOR ELEVATION

IZ UNITS	UNIT
	102
	106
	202
	205
	208
	209
	304
	305
	306
	308
	309
	406
	408
	411
	506
	508
	511
	606
	608
	706

TOTAL NUMBER OF UNITS = 126  
 RETAIL AREA = 10,146  
 STORAGE AREA = 10,526  
 GROSS BUILDING AREA = 195,772



SITE LOCATION MAP SITE

AREA MAP SITE

STATE MAP

UDC  
 SUBMITTAL

PROJECT #: 05091  
 JULY 19, 2006

GO.1

12





**DIMENSION IV  
MADISON**

Architecture  
Engineering  
Interior Design  
111 West Main Street, Suite 401  
Madison, WI 53703  
Phone (608) 254-4411 Fax (608) 254-4445

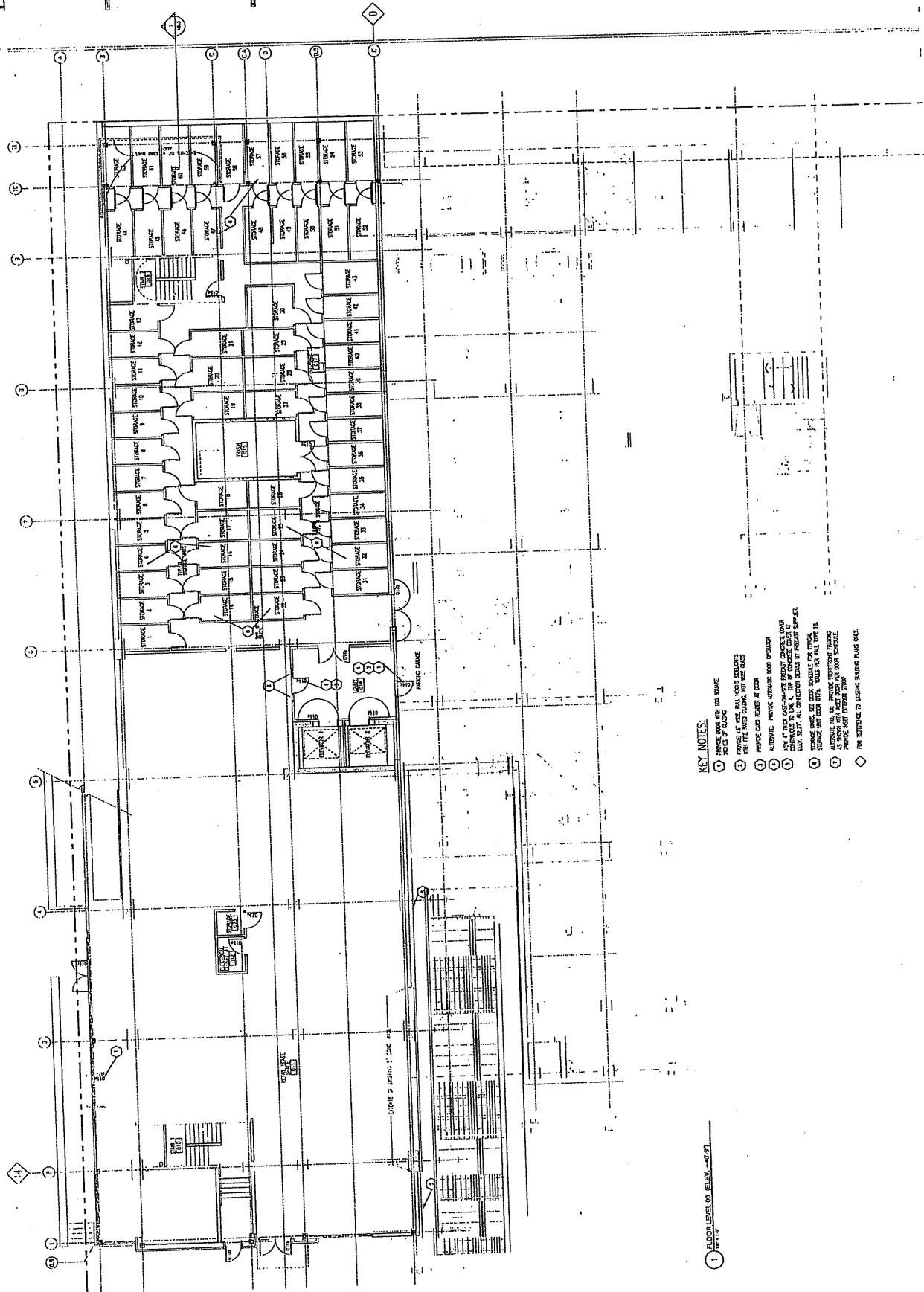
**CAPITOL WEST**  
308 West Washington  
Madison, WI

**UPC  
SUBMITTAL**

DATE OF ISSUE:	11/07/99
REVISIONS:	
PROJECT NO.:	02991

**GROUND FLOOR PLAN**

**A-1**



**KEY NOTES:**

- 1 REMOVE DOOR AND SET FRAME
- 2 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE
- 3 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 4 REMOVE DOOR AND SET FRAME
- 5 REMOVE DOOR AND SET FRAME
- 6 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE
- 7 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 8 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 9 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 10 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 11 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 12 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 13 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS
- 14 REMOVE DOOR AND SET FRAME, ADD WINDOW EXPOSURE AND SET GLASS WITH SHOWN, SET AND GLASS

1 FLOOR LEVEL (D. LEVEL) = 47.71

**DIMENSION IV  
MADISON**

Architecture  
Engineering  
Interior Design  
Madison, WI 53703  
Phone: (608) 224-4444 Fax: (608) 224-4445

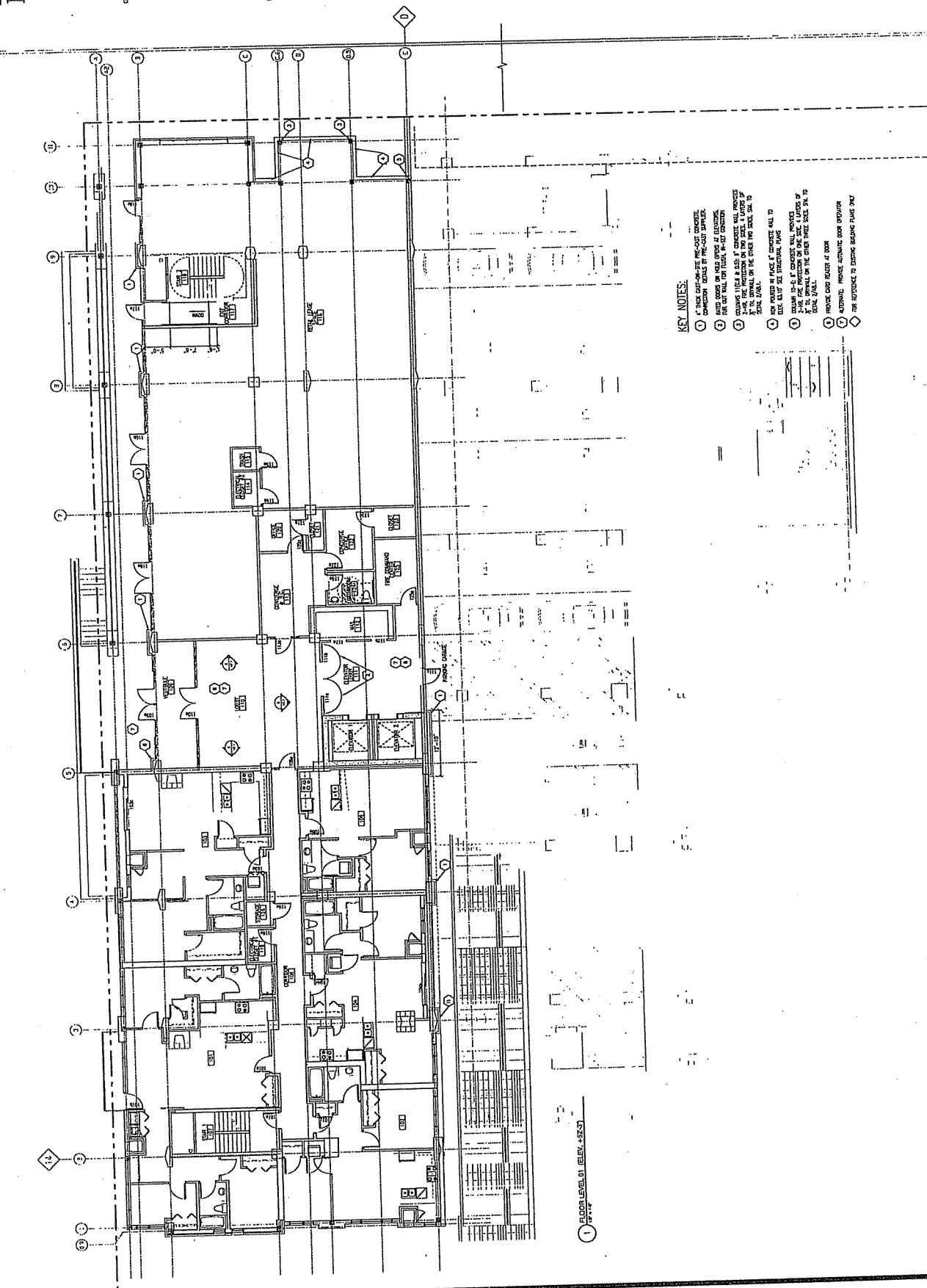
**CAPITOL WEST**  
309 West Washington  
Madison, WI

**UDC  
SUBMITTAL**

DATE OF ISSUE:	07/10/00
REVISIONS:	
PROJECT NO.:	0001

FIRST FLOOR PLAN

A-1-1



- KEY NOTES:**
- 1) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 2) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 3) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 4) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 5) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 6) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 7) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 8) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 9) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 10) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 11) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 12) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 13) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.
  - 14) 4" RIGID CONCRETE ON 2" PRECAST CONCRETE DECKING WITH 1/2" REINFORCING BARS AT 12" ON CENTER.

1 FLOOR LEVEL 01 (ELEV. +22.53)

**DIMENSION IV  
MADISON**

Architecture  
Engineering  
Interior Design  
313 West Belmont Street, Suite 101  
Madison, WI 53704  
Phone: (608) 232-4444 Fax: (608) 232-4445

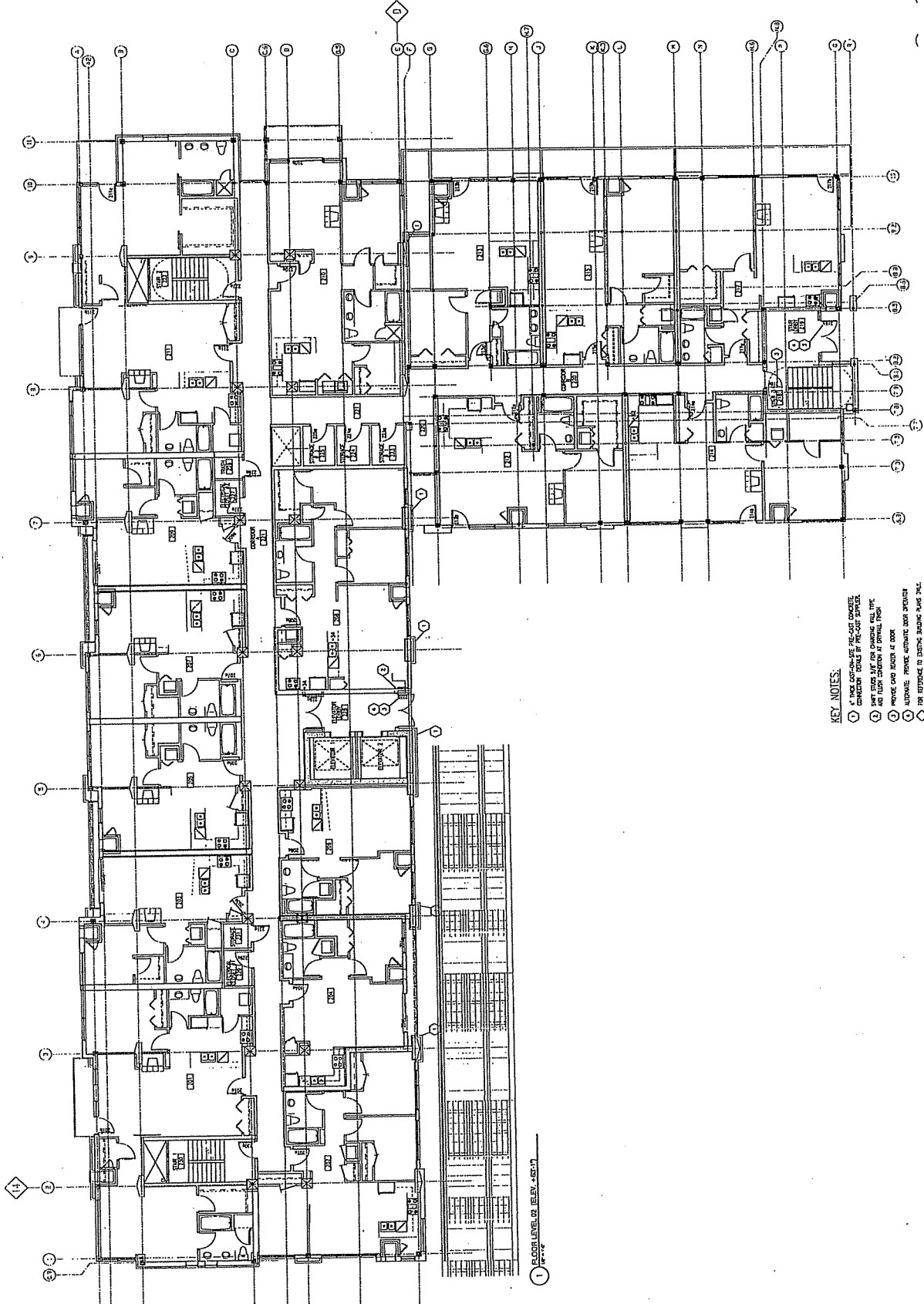
**CAPITOL WEST**  
309 West Washington  
Madison, WI

**UDC  
SUBMITTAL**

DATE OF ISSUE:	11/07/95
REVISIONS:	
PROJECT NO.:	05091

**SECOND FLOOR PLAN**

**A 1 0**



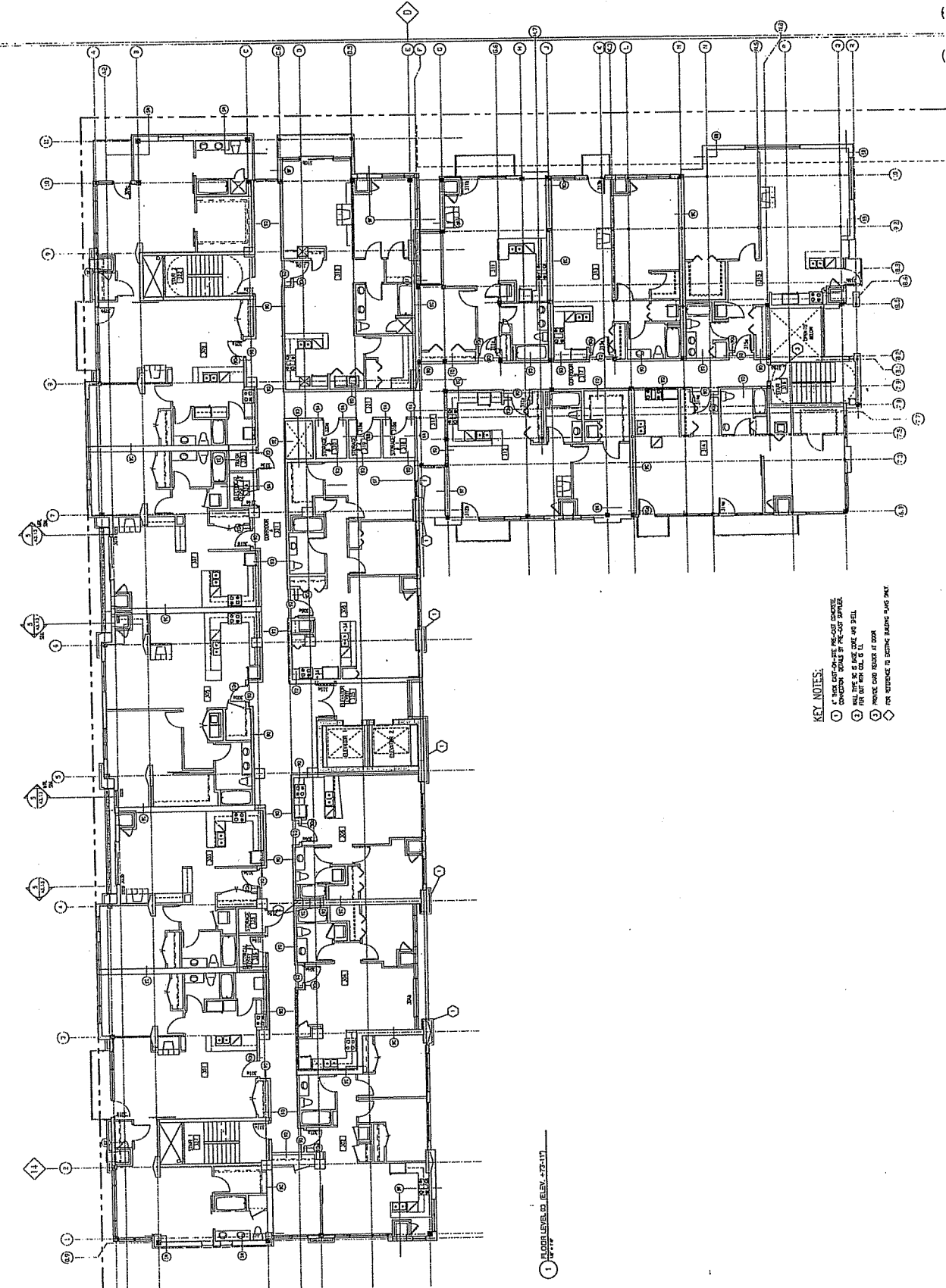
- KEY NOTES:**
- 1 4" THICK ONE-WAY PERFORATED CONCRETE COMBINATION TOTALS BY REC-COR SUPPLIER
  - 2 2" DIA. STEEL STUDS FOR CHANGING RAIL TYP
  - 3 1/2" DIA. TUBES FOR CHANGING RAIL TYP
  - 4 1/2" DIA. TUBES FOR CHANGING RAIL TYP
  - 5 PROVIDE ONE EACH AT DOOR
  - 6 PROVIDE AUTOMATIC DOOR STOPPER
  - 7 FOR ATTACHED TO EXISTING BUILDING PLUMBING

**UPC  
SUBMITTAL**

DATE OF ISSUE:	11	07/19/92
REVISIONS:		
PROJECT NO.:		08911

THIRD FLOOR PLAN

A 1 2



- KEY NOTES:**
- ① 4" THICK CONCRETE PRE-CAST CONCRETE CONSTRUCTION DETAILS BY PRE-CAST CONCRETE
  - ② WALL TYPE IS 8" INSIDE CORE AND SHELL
  - ③ FLOOR FINISH TYPE IS 11
  - ④ FINISH CORE RADIUM IS 2000
  - ⑤ FOR REFERENCE TO EXISTING BUILDING 309 WEST

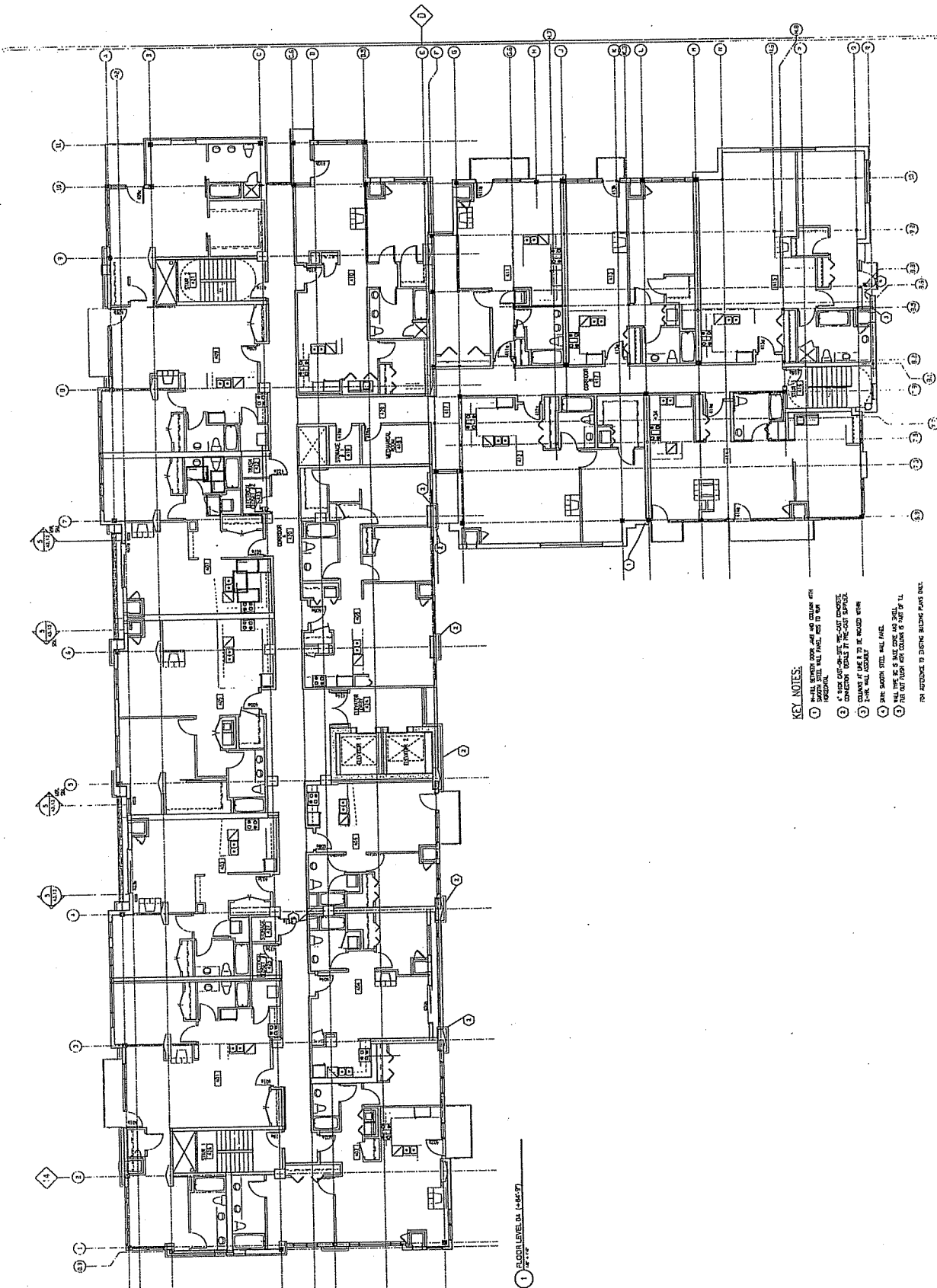
1 FLOOR LEVEL IS (ELEV. 275.117)

**UPC**  
**SUBMITTAL**

DATE OF ISSUE:	11/07/98
REVISIONS:	
PROJECT NO.:	0591

**FOURTH FLOOR PLAN**

**A-1**



- KEY NOTES:**
- 1) MULTI-SPANNING DOOR AND WALL COLUMN WITH SMOOTH STEEL WALL PANEL, REST TO R/W
  - 2) RECEPTION
  - 3) CONFERENCE ROOMS WITH THE MOST FRAGILE CONSTRUCTION (DOORS AT THE-CORNER ENTRANCE)
  - 4) COLUMN FT. LANCE TO BE RECORDED WORK
  - 5) 2" X 4" WALL CORNER
  - 6) 3" X 4" SMOOTH STEEL WALL PANEL
  - 7) WALL TOP TO BE SATE CORN AND SKEL
  - 8) THE WALL TOP AND COLUMN 8' HIG OF 14
- FOR REFERENCE TO OTHER BUILDING PAGES ONLY.

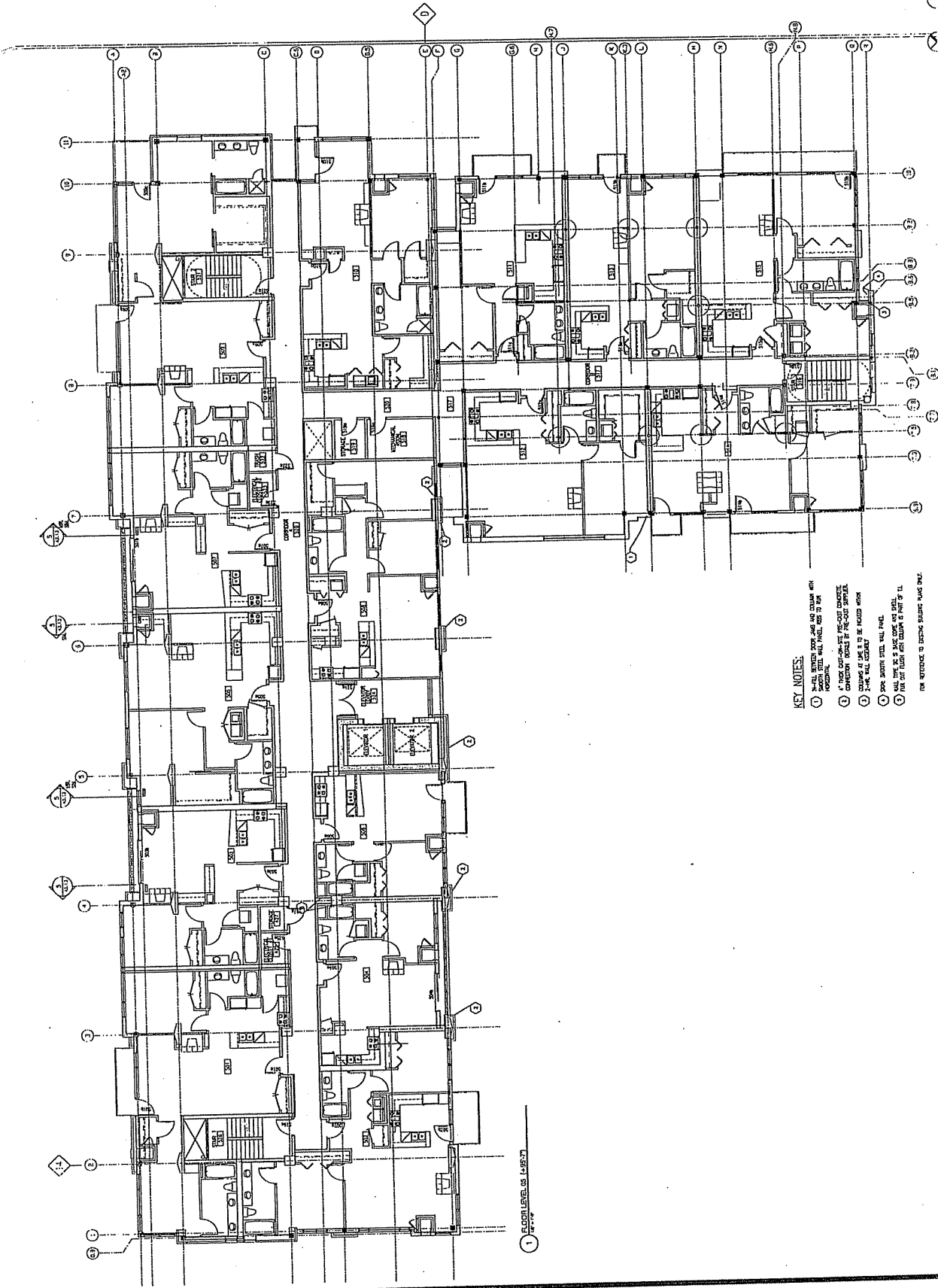
1 FLOOR LEVEL DL 1082.77

**UDC**  
**SUBMITTAL**

DATE OF ISSUE:	07/10/09
REVISIONS:	
PROJECT NO.:	05991

FIFTH FLOOR PLAN

**A 1 E**



- KEY NOTES:**
- 1. ALL INTERIOR WALLS AND COLUMNS WITH SMOOTH FINISH SHALL HAVE 1/2" RAS
  - 2. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 3. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 4. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 5. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 6. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 7. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 8. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 9. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 10. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
  - 11. ALL INTERIOR WALLS SHALL HAVE 1/2" RAS
- FOR REFERENCE TO DESIGN DRAWING: 5/10/09

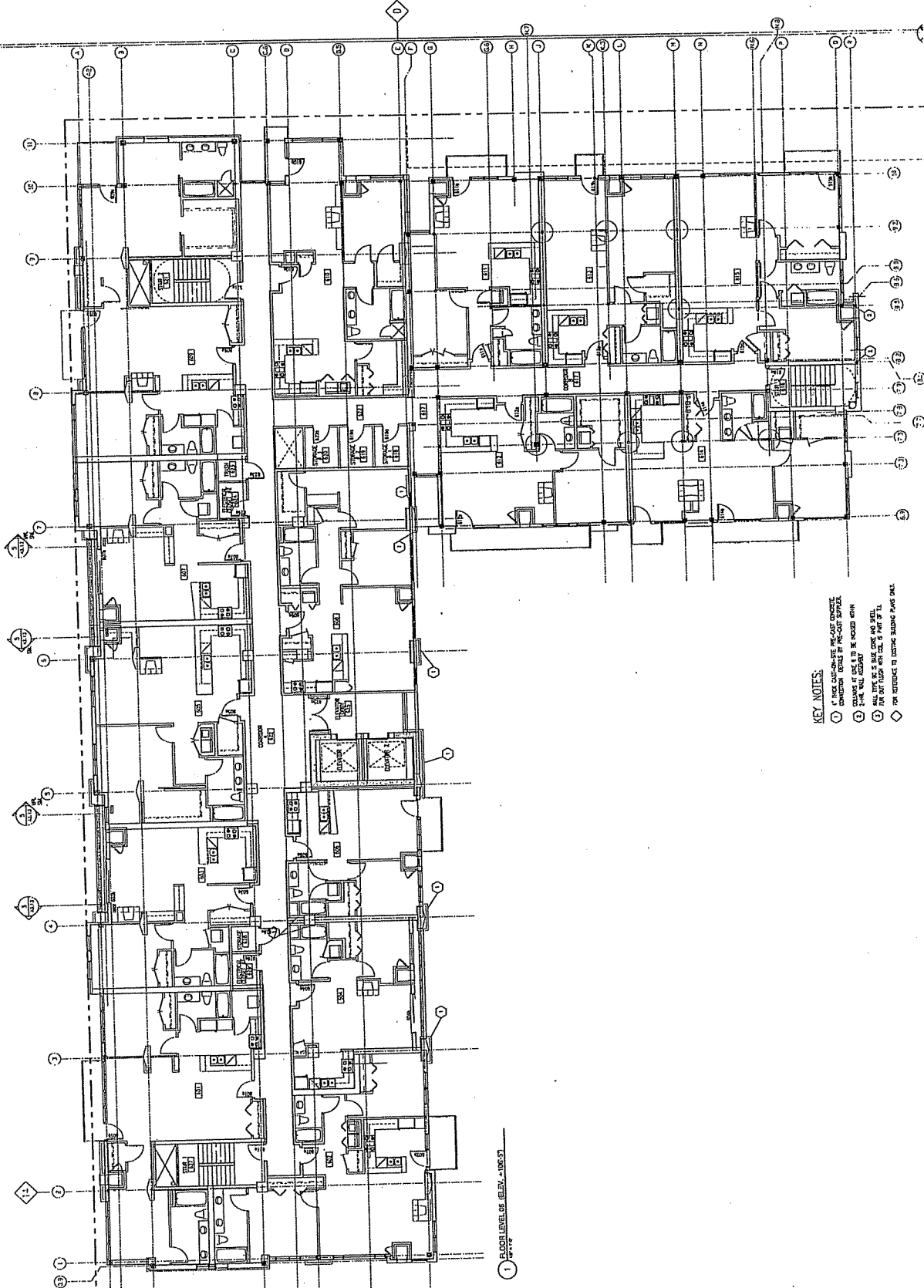
1 FLOOR LEVEL IS 1459.7

**UDC**  
**SUBMITTAL**

DATE OF ISSUE:	07/09
REVISIONS:	
PROJECT NO.:	05091

**SIXTH FLOOR PLAN**

**A 1 C**



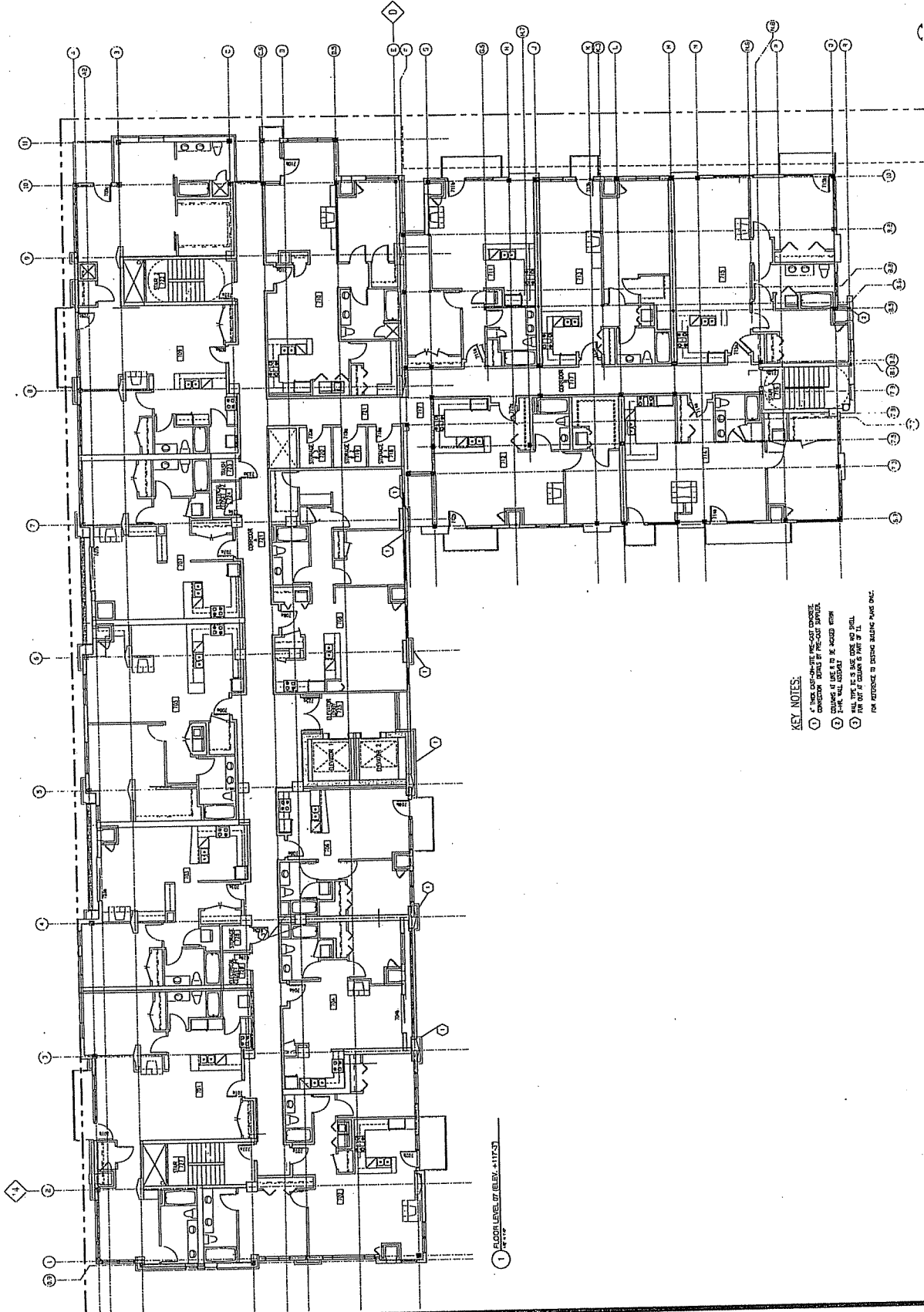
- KEY NOTES:**
- 1 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 2 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 3 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 4 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 5 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 6 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 7 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 8 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 9 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 10 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 11 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 12 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 13 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 14 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 15 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 16 FLOOR LEVELS AS SHOWN, +106'5.5"
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  - 18 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 19 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 20 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 21 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 22 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 23 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 24 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 25 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 26 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 27 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 28 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 29 FLOOR LEVELS AS SHOWN, +106'5.5"
  - 30 FLOOR LEVELS AS SHOWN, +106'5.5"

**UDC  
SUBMITTAL**

DATE OF ISSUE:	11	01/20/06
REVISIONS:	1	
PROJECT NO.:	11	0001

**SEVENTH FLOOR PLAN**

**A17**



- KEY NOTES:**
- 1. THIS DRAWING IS PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE.
  - 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
  - 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
  - 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
- FOR ATTENTION TO DESIGN BUREAU PAPER INC.

1 FLOOR LEVEL (BY ELEV. +117.3)

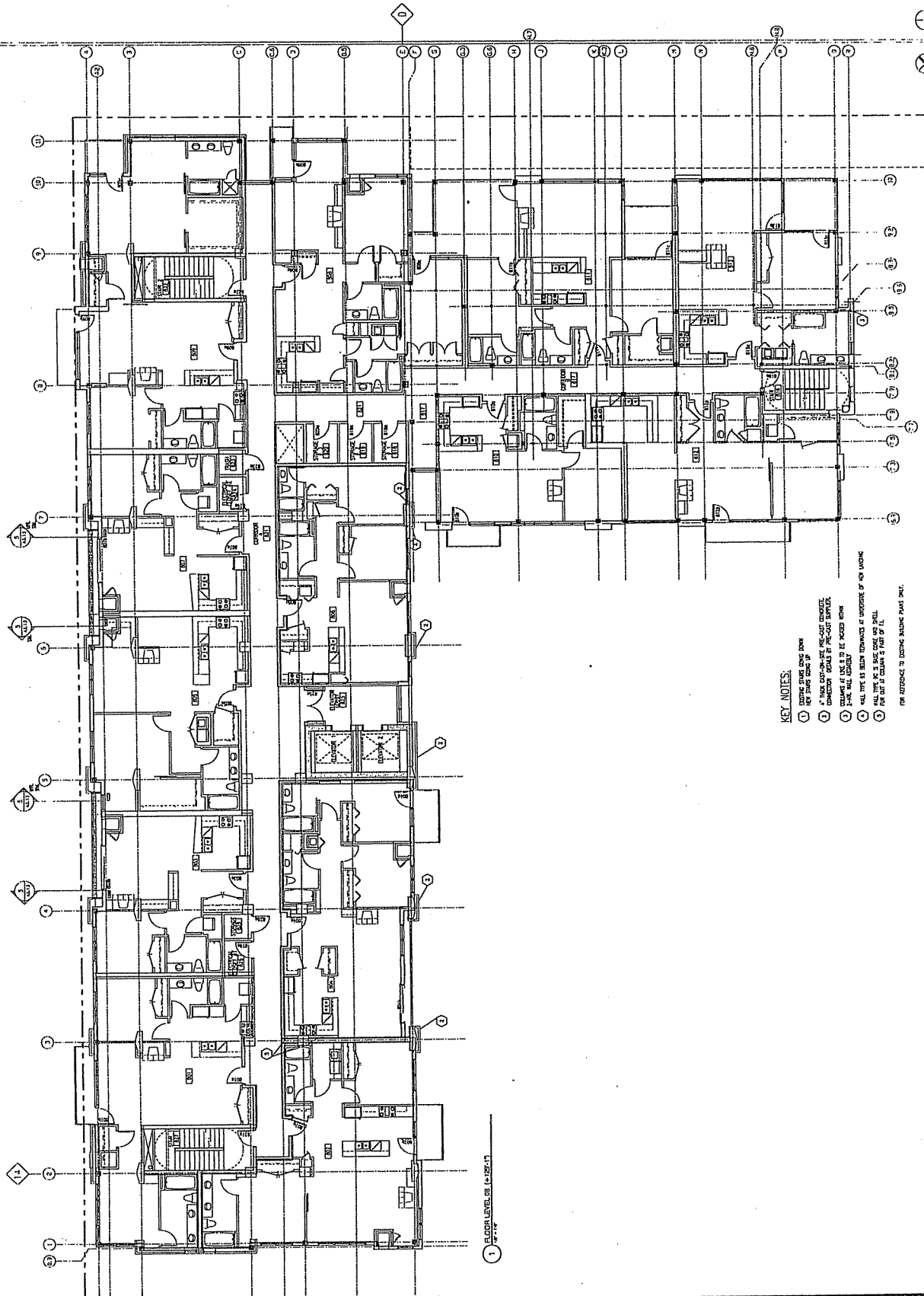


**UDC**  
**SUBMITTAL**

DATE OF ISSUE:	07/19/06
REVISIONS:	
PROJECT NO.:	05891

**EIGHTH FLOOR PLAN**

**A1 Q**



**KEY NOTES:**

- 1) EXISTING STAIRS TO REMAIN
- 2) NEW STAIRS TO BE ADDED
- 3) ALL WALLS TO BE 12" CMU WITH 1/2" GYPSUM BOARD
- 4) ALL WALLS TO BE 12" CMU WITH 1/2" GYPSUM BOARD
- 5) ALL WALLS TO BE 12" CMU WITH 1/2" GYPSUM BOARD
- 6) ALL WALLS TO BE 12" CMU WITH 1/2" GYPSUM BOARD
- 7) ALL WALLS TO BE 12" CMU WITH 1/2" GYPSUM BOARD

FOR REFERENCES TO EXISTING DRAWINGS, PLEASE SEE:

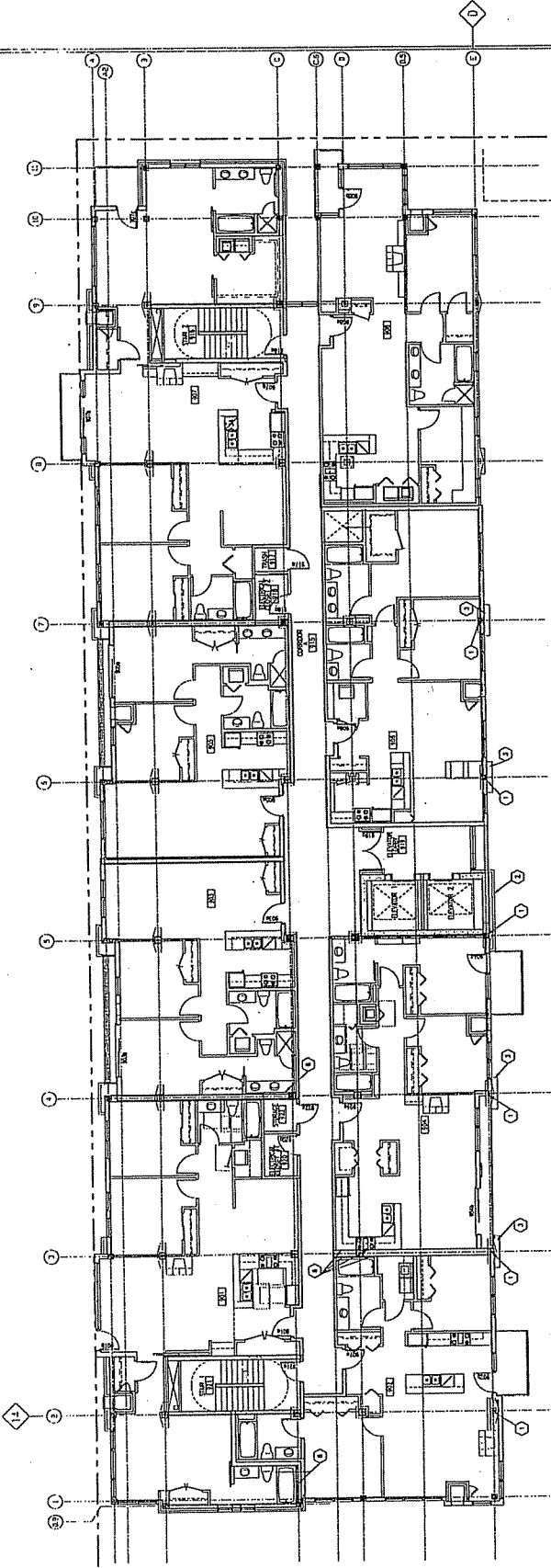
1 FLOOR LEVEL: 05 (4+1257.1)

**UPC  
 SUBMITTAL**

DATE OF ISSUE:	11	07/92
REVISIONS:	1	
PROJECT NO.:	11	0591

**NINTH FLOOR PLAN**

**A 1 0**



1 FLOOR LEVEL OF ELEV. +100.00

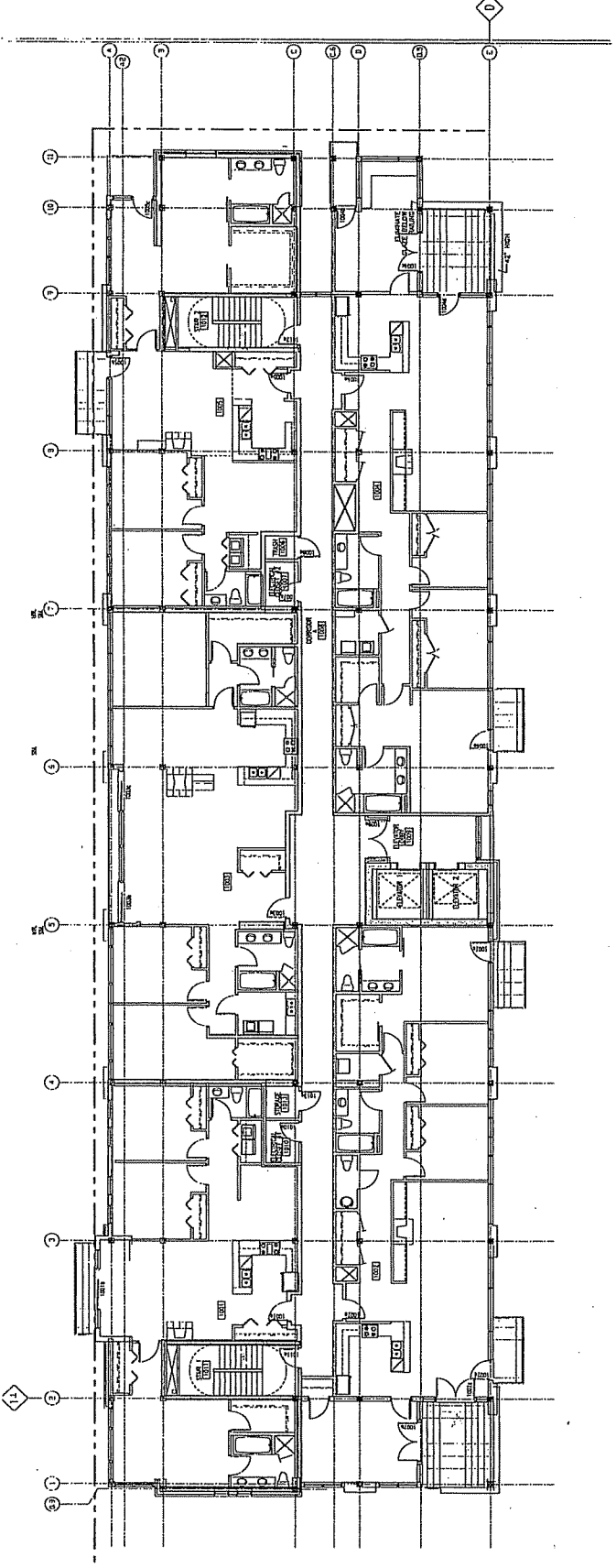
- KEY NOTES:**
- 1 PART WALLS ARE TO BE FINISHED INTERIOR WITH 1/2" GYPSUM BOARD AND FINISHED WITH AN ANTI-CORROSION PAINT AT COLLARS (R-1)
  - 2 1" THICK CONCRETE PRECAST CONCRETE CONSTRUCTION TABLES BY PRE-CAST SUPPLIER.
  - 3 COLUMN COVER BENCH
  - 4 COLLARS AT LINES B TO BE FINISHED WITH 2" MIN. WALL COUPLER
  - 5 3/8" X 3/8" LAGERS TO BE FINISHED WITH ANTI-CORROSION PAINT AT COLLARS (R-1)
  - 6 ALL - SEE PLAN
- FOR REFERENCE TO JOINTING BALKING PAINT WALL.

**UDC  
 SUBMITTAL**

DATE OF ISSUE:	11.11.11	DATE:	01/14/12
REVISIONS:	11.11.11		
PROJECT NO.:	11.11.11	DSBT	

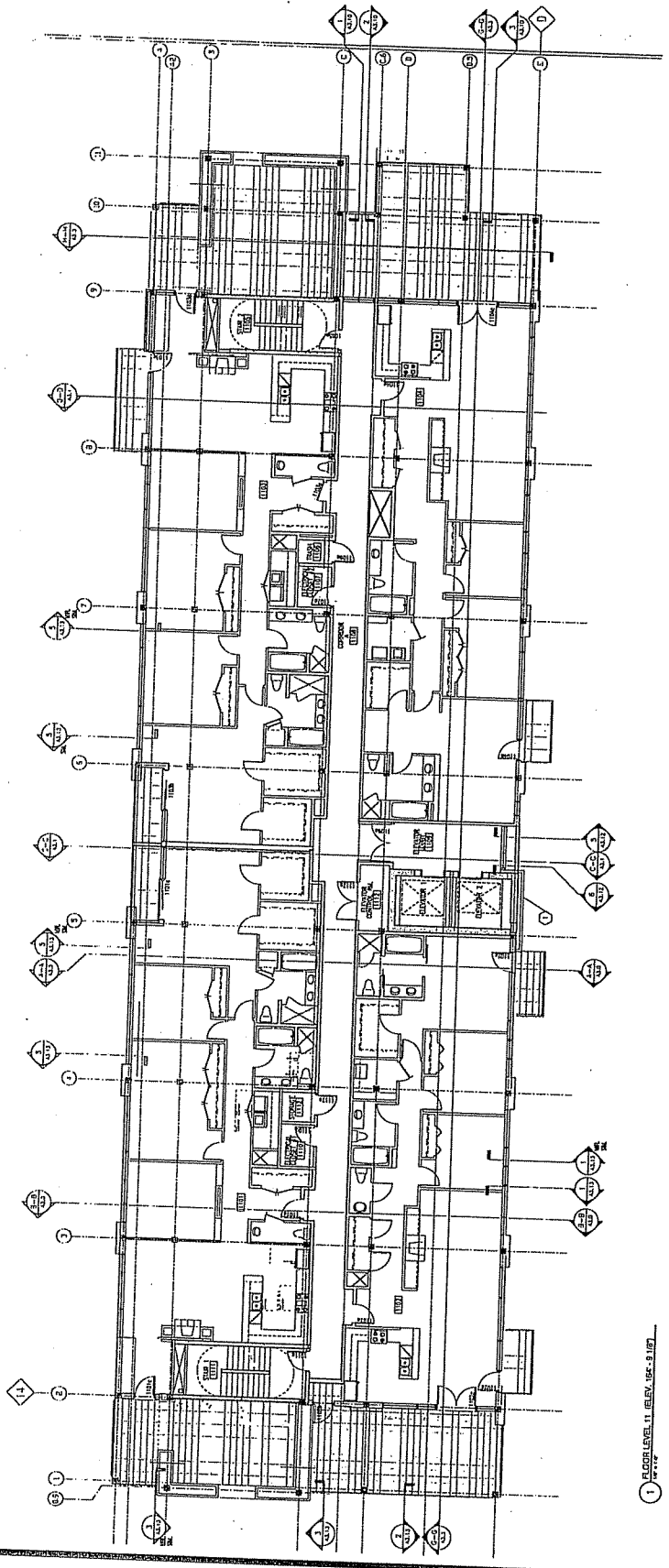
TENTH FLOOR PLAN

**A-1 10**



KEY NOTES:  
 ◊ FOR REFERENCE TO EXISTING BUILDING PLANS ONLY

① FLOOR LEVEL 10 (ELEV. +152'-5")



1 FLOOR LEVEL 11 (REV. 11/23/17)  
 11/23/17

**KEY NOTES:**

- 1 4" WICK DRIP-OUTS PRE-CAST CONCRETE
  - 2 PRE-CAST CONCRETE WALLS BY PRE-CAST SERVICE
  - 3 PRE-CAST CONCRETE WALLS BY PRE-CAST SERVICE
  - 4 PRE-CAST CONCRETE WALLS BY PRE-CAST SERVICE
  - 5 TRAP LOCATED IN ROOF FLOOR
- FOR REFERENCE TO DESIGN BIDDING PAGES ONLY

**UPC**  
**SUBMITTAL**

DATE OF ISSUE:	11/23/17
REVISIONS:	
PROJECT NO.:	02621

**ELEVENTH**  
**FLOOR PLAN**

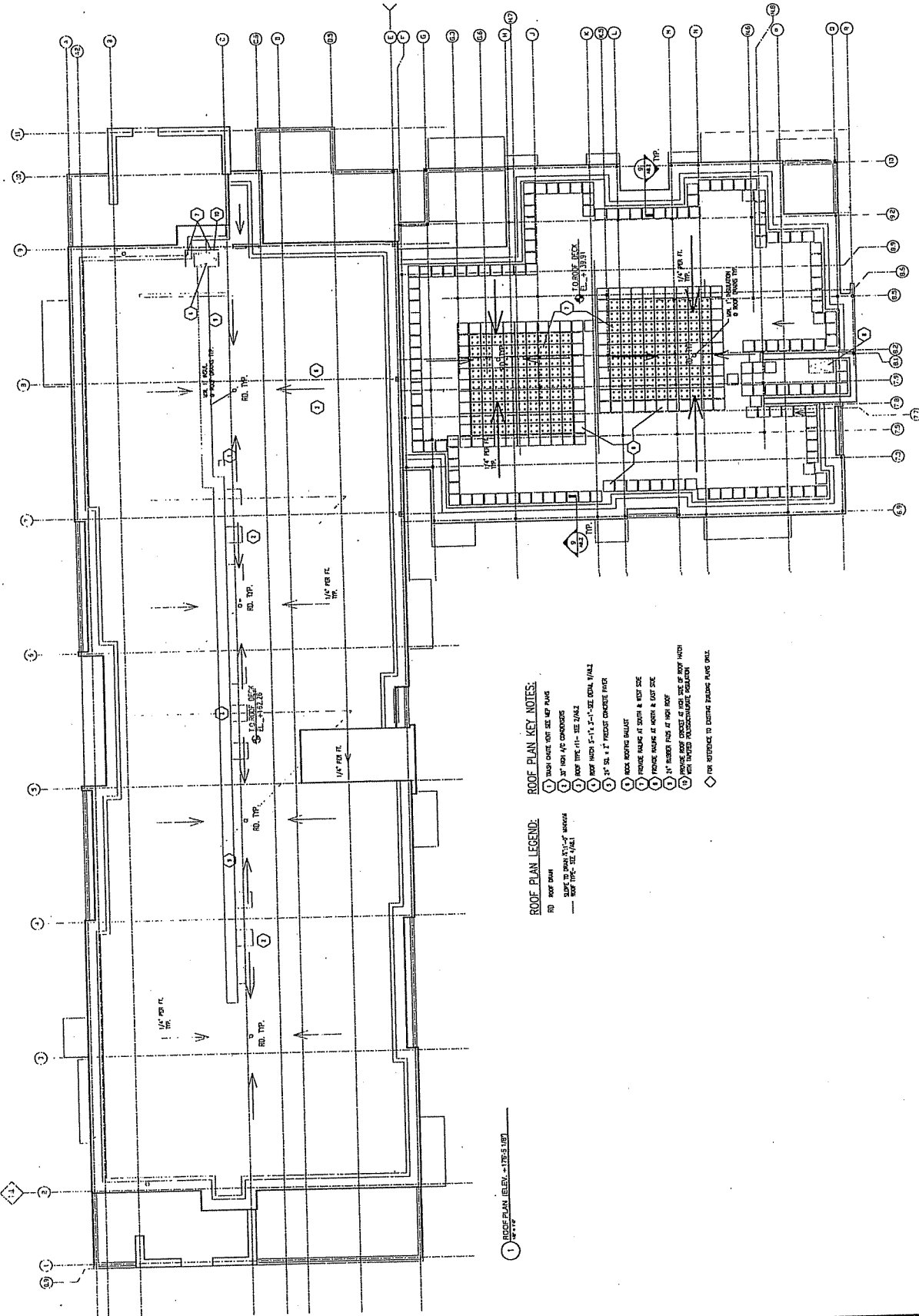
**A-11-11**

**SIP**  
**ALTERATION**

DATE OF ISSUE:	07/25/06
REVISIONS:	
PROJECT NO.:	05091

ROOF PLAN

**A119**



- ROOF PLAN KEY NOTES:**
- 1) TRUCK DRIVE RAMP SEE MEP PLANS
  - 2) 3\"/>

- ROOF PLAN LEGEND:**
- RD ROOF DRAIN
  - RD ROOF DRAIN
  - RD ROOF DRAIN
  - RD ROOF DRAIN

1) ROOF PLAN (ELEV. = 120-5.187)  
DATE

**UDC**  
**SUBMITTAL**

DATE OF ISSUE: 01/14/16  
 REVISIONS:

WINDOW GLAZING LEGEND

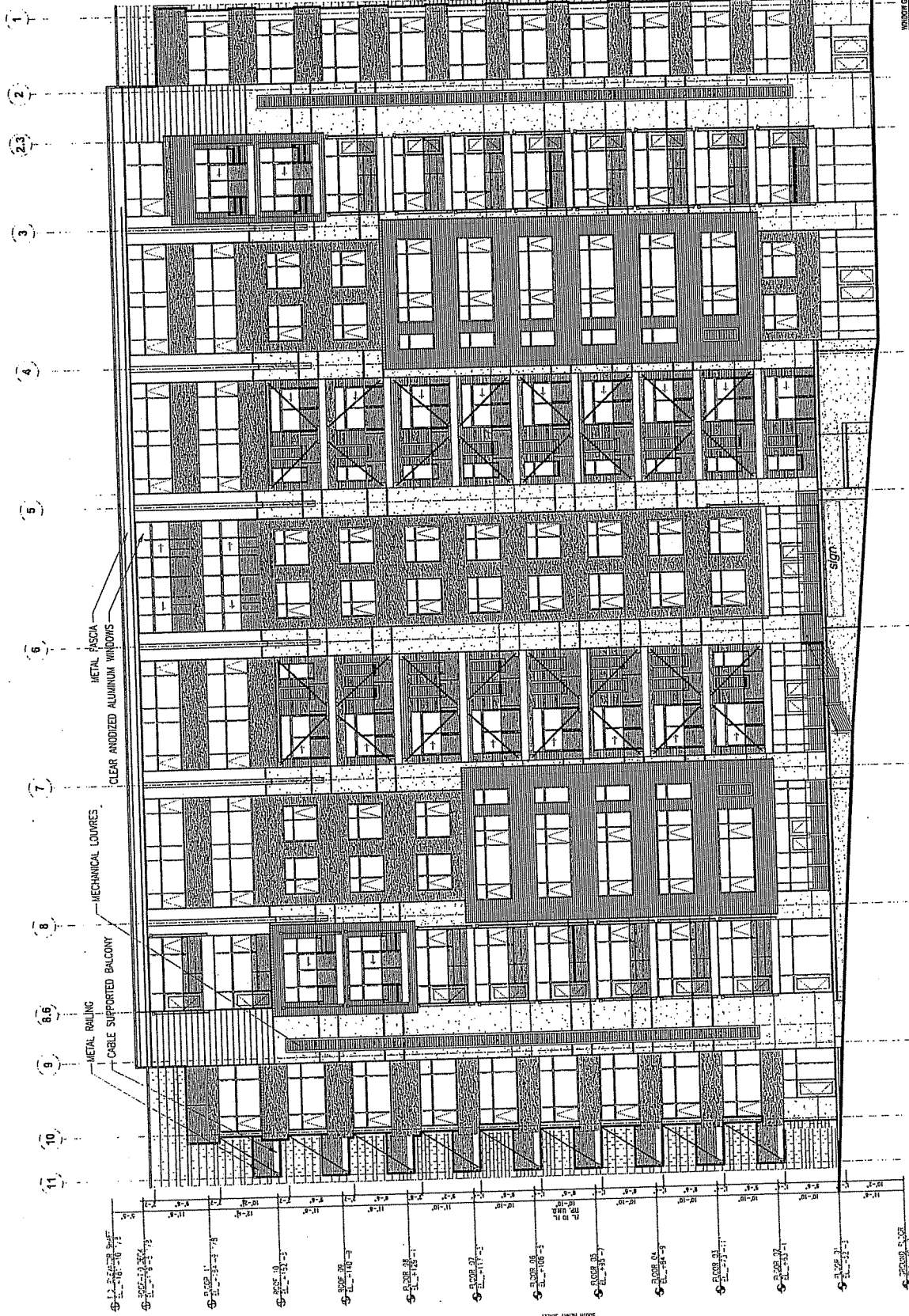
PROJECT NO.: 16-0591

**NORTH ELEVATION**

MATERIAL LEGEND

CONCRETE  
 GROUND FACE CMU BLOCK  
 CARVED CORRELATED METAL  
 RECTANGULAR CORRUGATED METAL

1 NORTH ELEVATION  
 0' 4' 8' 16'





**DIMENSION IV  
MADISON**

Architecture  
Engineering  
Interior Design  
113 West State Street, Suite 401  
Madison, WI 53703  
Phone: (608) 231-4444 Fax: (608) 231-4445

**CAPITOL WEST**  
309 West Washington  
Madison, WI

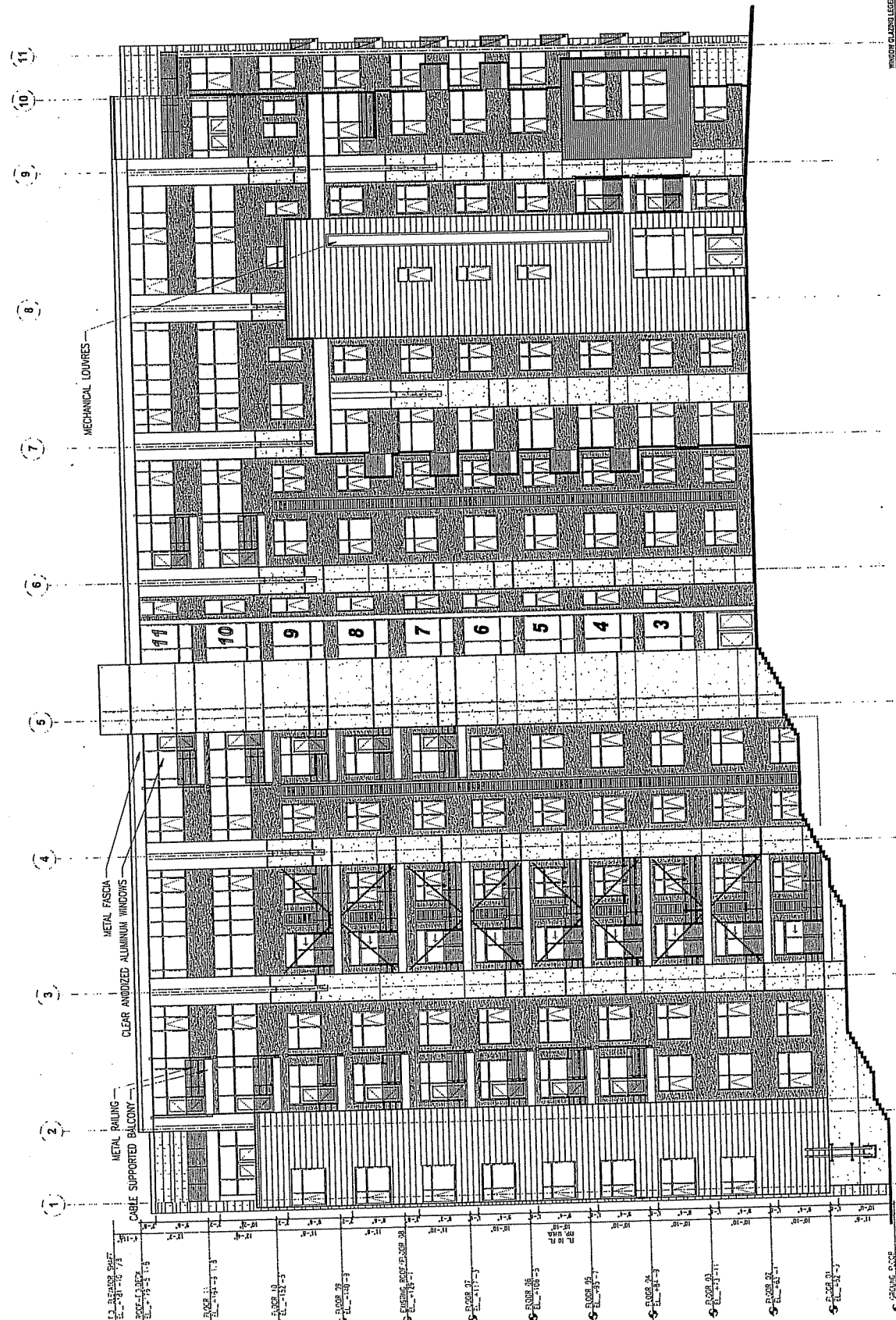
**UDC  
SUBMITTAL**

DATE OF ISSUE:	07/19/02
REVISIONS:	
PROJECT NO.:	05001

**SOUTH ELEVATION**

**MATERIAL LEGEND**

CONCRETE	[Symbol]
GROUND FINE CUI BLOCK	[Symbol]
CORUS CORRUGATED METAL - ROOF	[Symbol]



1 SOUTH ELEVATION  
1" = 4'-0"

17



**DIMENSION IV  
MADISON**

Architecture  
Engineering  
Interior Design  
303 West Baltimore Ave. Ste 101  
Madison, WI 53703  
Phone (608) 226-4444 Fax (608) 226-4445

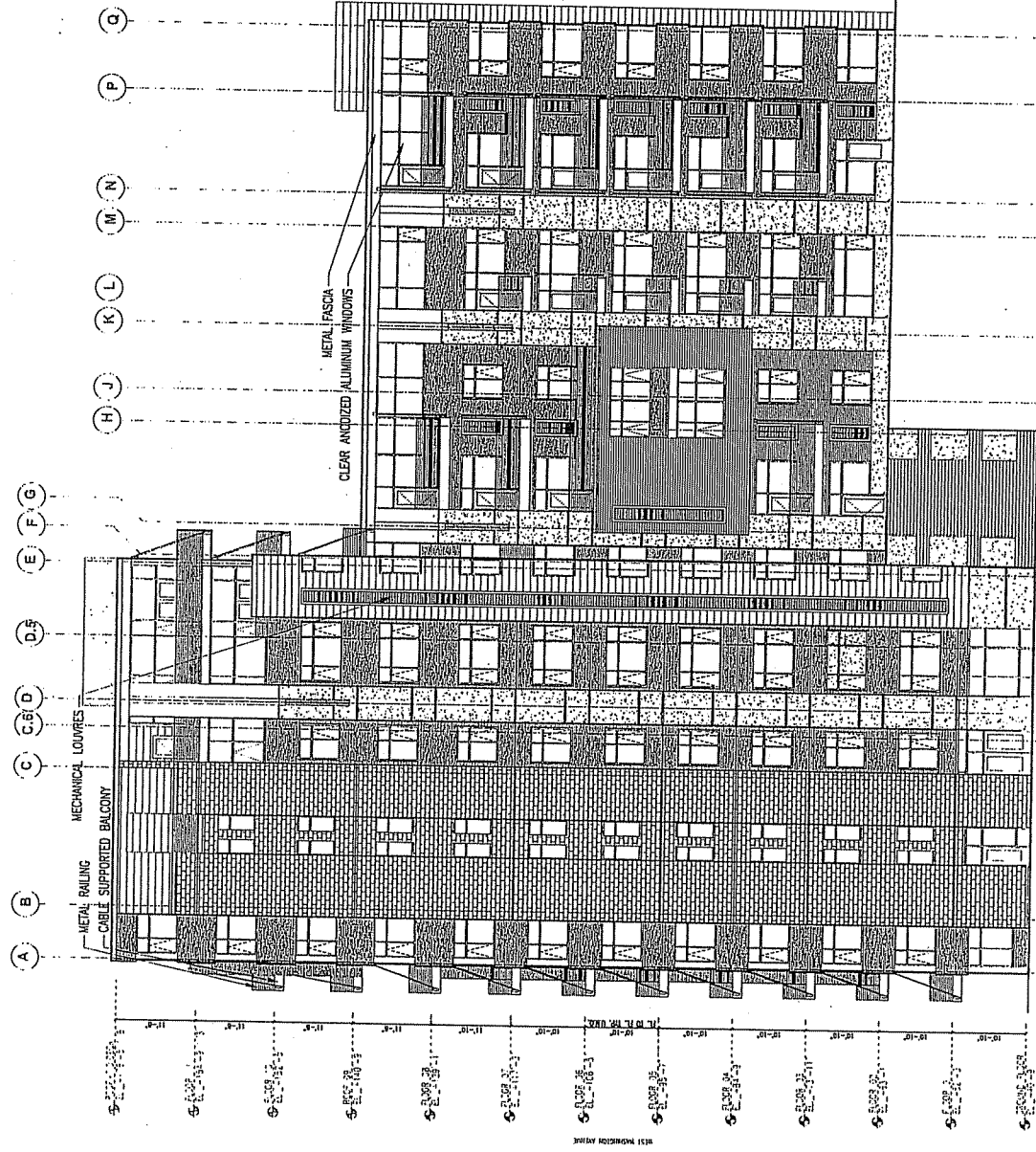
**CAPITOL WEST**  
309 West Washington  
Madison, WI

**UDC  
SUBMITTAL**

DATE OF ISSUE:	11	07/19/04
REVISIONS:	1	
2		
3		
4		
5		
6		
7		
PROJECT NO.:	11	0591

**WEST ELEVATION**

**A O O**



- WINDOW GLAZING LEGEND**
- CLEAR
  - SPANDREL - GLASS
  - SPANDREL - SOLID
- MATERIAL LEGEND**
- CONCRETE -
  - GROUND FINE CHU BLOCK -
  - GRAVED CORNERCAST METAL -
  - RENDERED ST. FRANCIS BRICK -

1 WEST ELEVATION  
0" = 1'-0"  
1" = 12'-0"  
1/4" = 3'-0"





**ARNOLD AND OSHERIDAN INC.**  
 2001 W. WISCONSIN ST. SUITE 200  
 MADISON, WISCONSIN 53703  
 (608) 261-1111  
 FAX (608) 261-1112  
 WWW.AOINC.COM

# CAPITOL WEST PARKING RAMP

MADISON, WISCONSIN  
 ALEXANDER COMPANY

Sheet Title: **PARKING LEVEL 1**

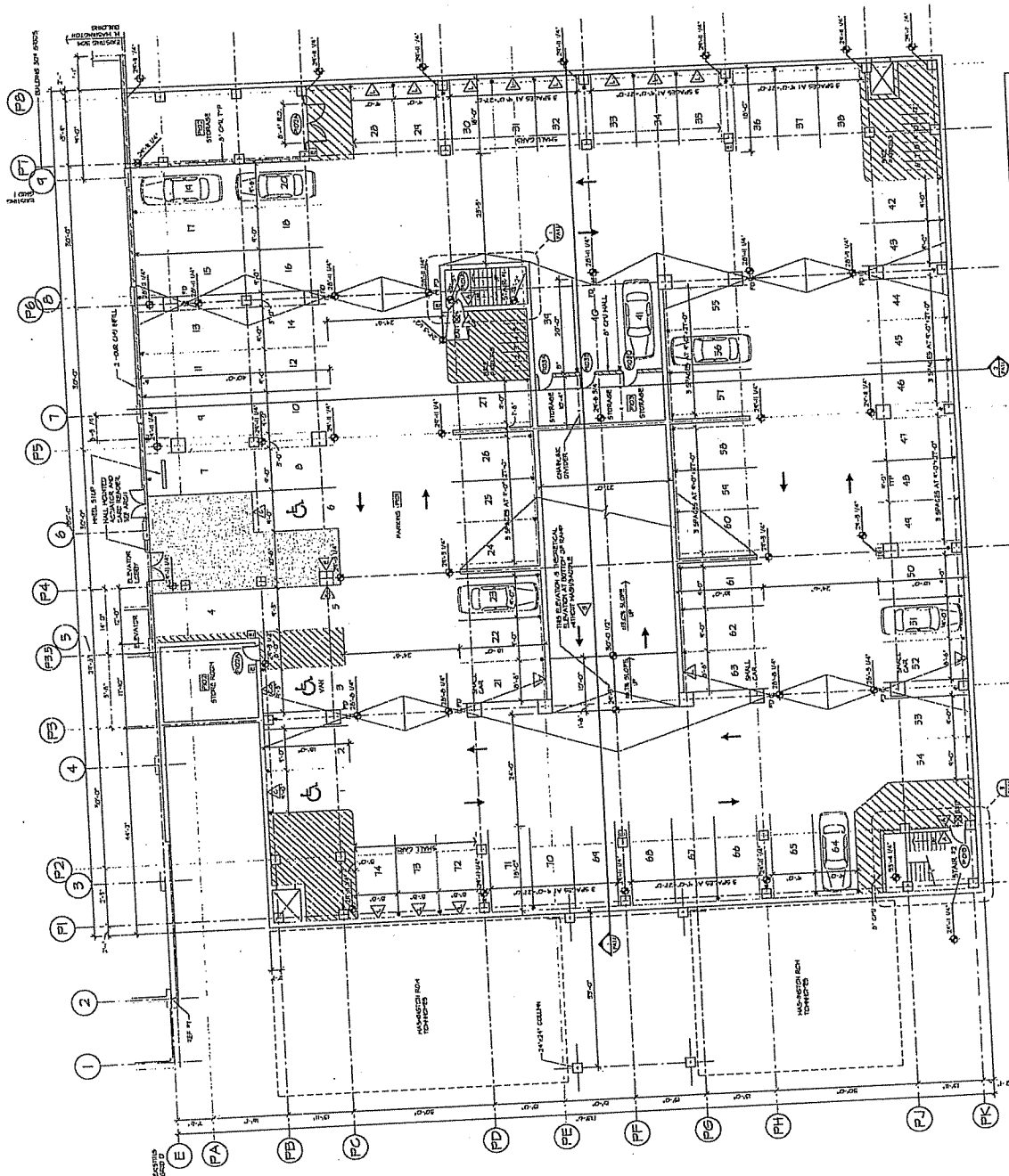
REVISION	DATE	BY

Project Number:	040380
Drawn by:	AKO
Date issued:	7/12/05
Checked by:	AKO

Sheet Number: **PA2.1**

DRAWINGS MAY NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. SCALE DRAWINGS USE BAR SCALE FOR REFERENCE ONLY.

**SIP ALTERATION SUBMITTAL**



**1 PARKING LEVEL 1**  
 SCALE 1/8" = 1'-0"



**ARNOLD AND SHERIDAN INC.**  
 MECHANICAL, ELECTRICAL, PLUMBING  
 STRUCTURAL & CIVIL ENGINEERING  
 1111 EAST WISCONSIN AVENUE, SUITE 200  
 MADISON, WISCONSIN 53703  
 (608) 261-1111  
 FAX (608) 261-1112  
 WWW.ARNOLDANDSHERIDAN.COM

# CAPITOL WEST PARKING RAMP

MADISON, WISCONSIN  
 ALEXANDER COMPANY

Sheet Title:  
**PARKING LEVEL 2**

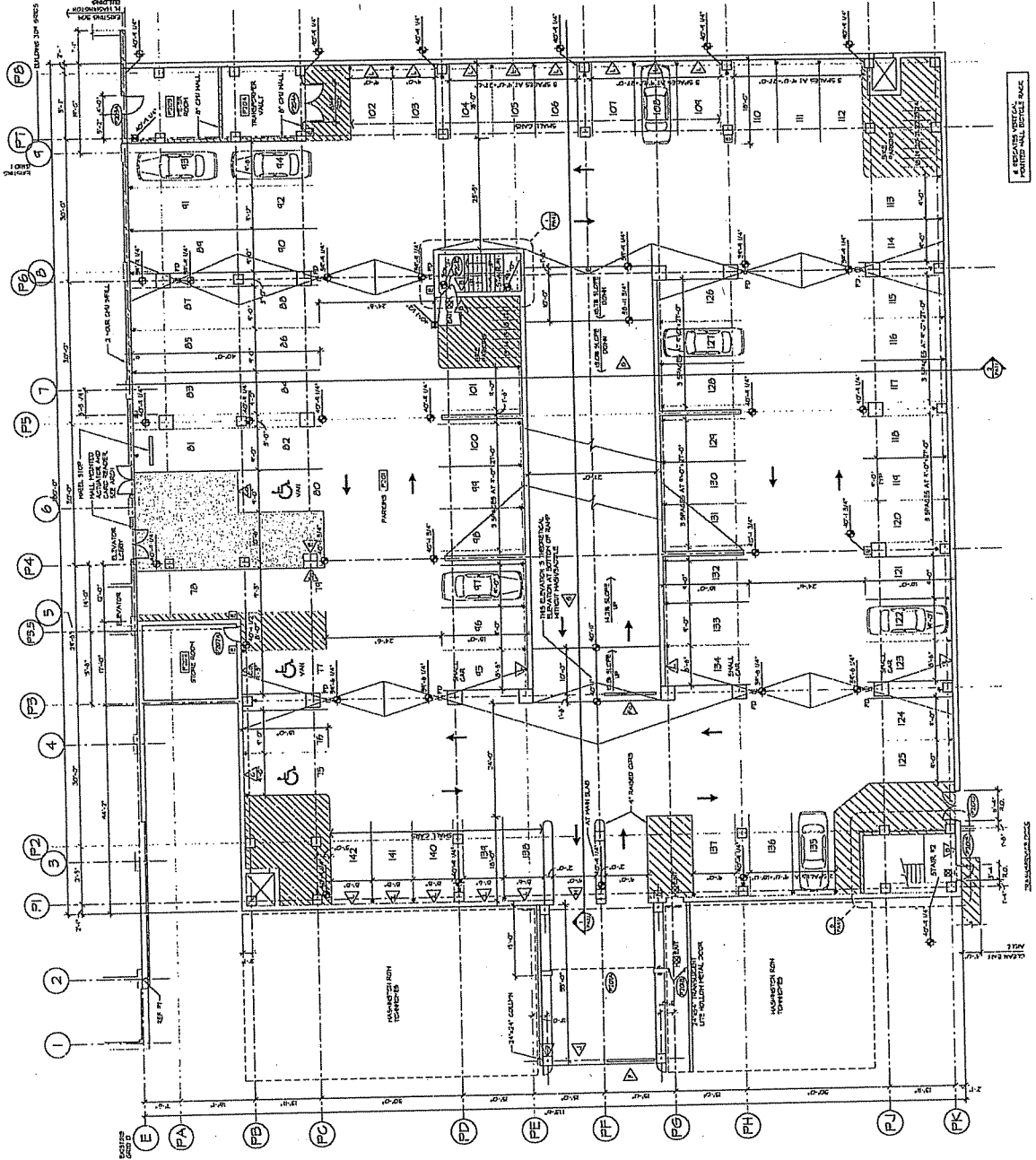
NO.	DATE	BY	DESCRIPTION
1	7/12/09	ASD	ISSUED FOR PERMITTING
2			
3			
4			
5			

Project Number:	040380
Drawn By:	A&O
Check By:	A&O
Date:	7/12/09

Sheet Number:  
**PA2.2**

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 SCALE DRAWINGS TO  
 SCALE FOR REFERENCE ONLY.

**SIP ALTERATION  
 SUBMITTAL**



1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
 2. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.  
 3. SEE CIVIL ENGINEERING DRAWINGS FOR DETAILS.  
 4. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR DETAILS.



**1 | PARKING LEVEL 2**  
 PA02 SCALE 1/8" = 1'-0"



**ARNOLD AND O'SHERIDAN INC.**  
 STRUCTURAL & CIVIL & MECH & PLUMBING  
 ELECTRICAL & TECHNOLOGY  
 11111 W. WISCONSIN AVENUE, SUITE 100  
 MILWAUKEE, WISCONSIN 53224  
 TEL: 414.224.1111 FAX: 414.224.1112  
 WWW.AOSHERIDAN.COM

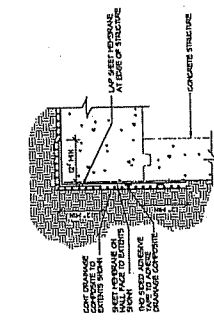
**CAPITOL WEST PARKING RAMP**  
 MADISON, WISCONSIN  
 ALEXANDER COMPANY

Sheet Title:  
**PARKING LEVEL 3**

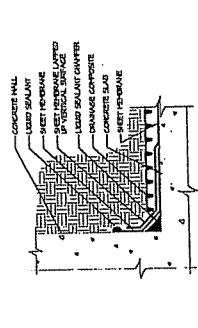
Revision	Description	By	As
1	17/12/06 BY ADDITION		

Project Number: 040380  
 Date Issued: 7/12/06  
 Designed By: A&O  
 Reviewed By: A&O

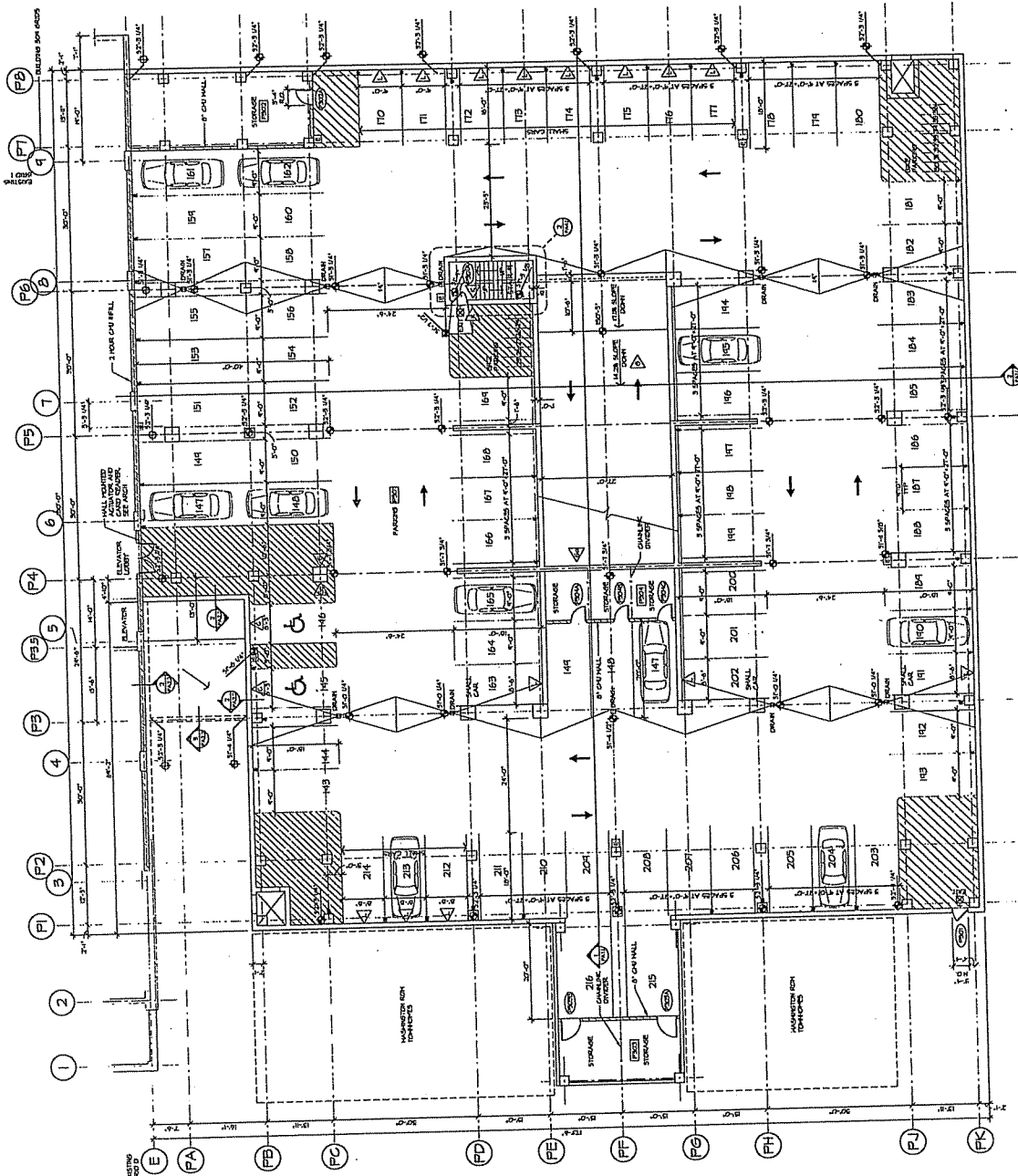
Sheet Number:  
**PA2.3**



SECTION AT EDGE OF STRUCTURE  
 SCALE: 3/4"=1'-0"



SECTION AT VERTICAL SURFACES  
 SCALE: 3/4"=1'-0"



1. INDICATED VERTICAL SURFACES SHALL BE FINISHED WITH CONCRETE.



1. PARKING LEVEL 3  
 SCALE: 1/8"=1'-0"

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SIP ALTERATION SUBMITTAL



**ARNOLD AND O'SHERIDAN INC.**  
 STRUCTURAL & CIVIL ENGINEERS & PLUMBERS  
 ELECTRICAL & TECHNOLOGY  
 1115 W. WISCONSIN AVENUE  
 MADISON, WISCONSIN 53703  
 WWW.ANDOSHERIDAN.COM

**CAPITOL WEST PARKING RAMP**  
 MADISON, WISCONSIN  
 ALEXANDER COMPANY

Sheet Title:  
**PLAZA FLOOR PLAN**

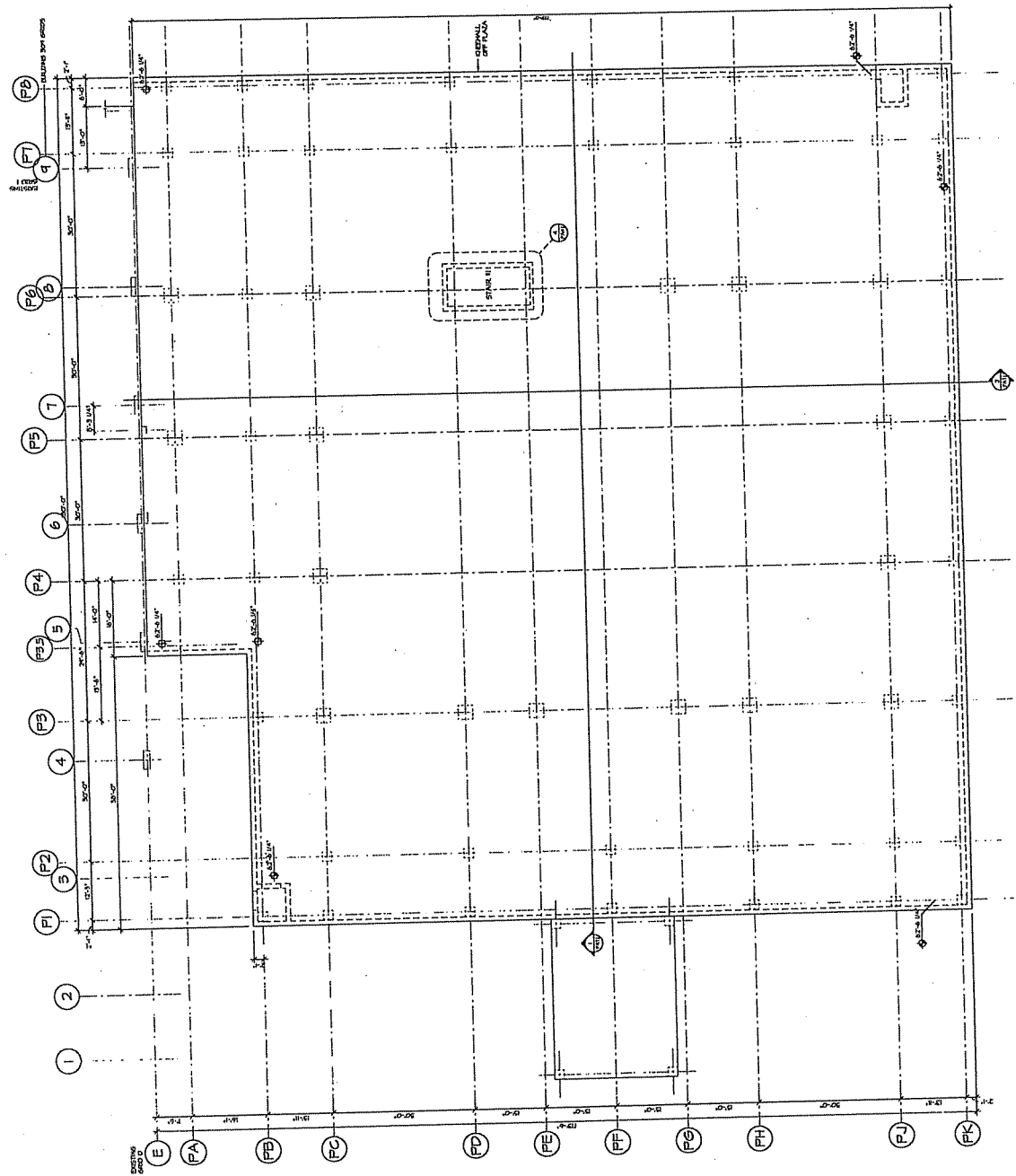
NO.	DATE	DESCRIPTION	BY
1	7/12/06	3D ADJUSTMENT	A&O

Project Number: 040380  
 Designer: A&O  
 Date Issued: 7/12/06  
 Revised By: A&O

Sheet Number:  
**PA2.4**

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 ALTER DIMENSIONS OR  
 SCALE FOR REFERENCE ONLY.

**SIP ALTERATION  
 SUBMITTAL**



1 PLAZA FLOOR PLAN  
 PA2.4  
 6 2 4 8



**ARNOLD AND O'SHERIDAN INC.**  
 SIGNAGE MANUFACTURERS  
 1515 WEST WISCONSIN AVENUE  
 MADISON, WISCONSIN 53704  
 (608) 261-1111  
 FAX (608) 261-1112  
 WWW.AOSIGN.COM

**CAPITOL WEST PARKING RAMP**  
 MADISON, WISCONSIN  
 ALEXANDER COMPANY

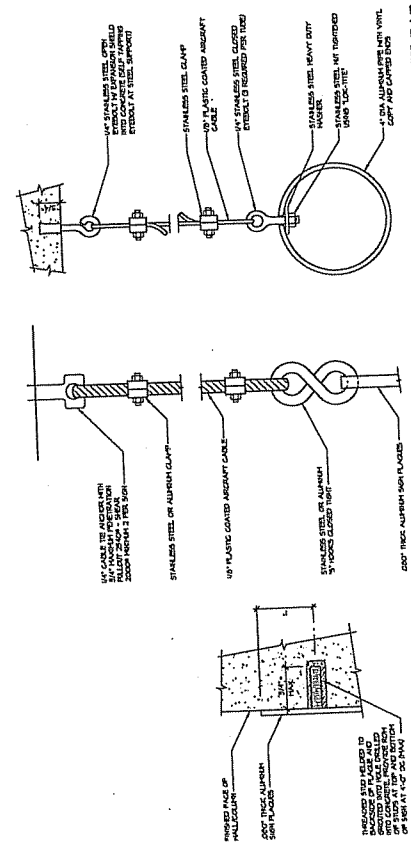
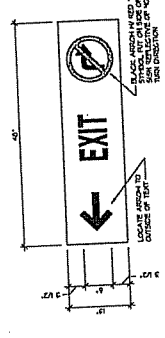
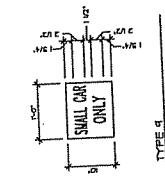
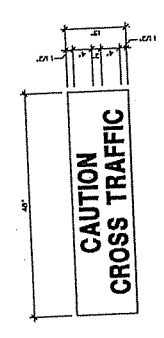
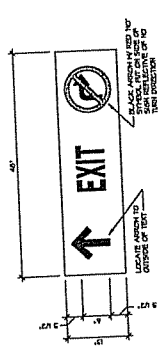
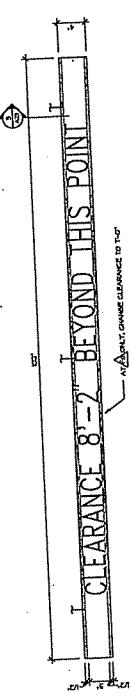
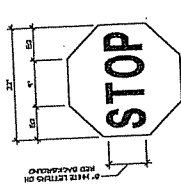
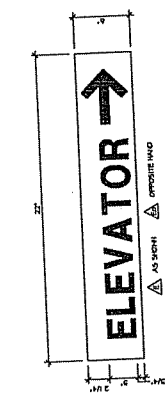
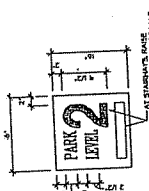
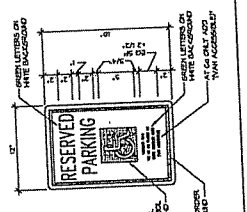
Project Title		SIGNAGE AND SCHEDULES	
Project Number:	0-00380	Designed By:	A&O
Date Issued:	7/12/06	Reviewed By:	A&O
Sheet Number:	PA9.1		

**SIP ALTERATION SUBMITTAL**

SIGNAGE SCHEDULE									
MARK	TYPE	SIDES	TEXT	SIGN SIZE	SIGN COLOR/CHARACTER COLOR	MOUNTING POSITION	NOMINATING HEIGHT	REMARKS	
1	1	SINGLE	PARK LEVEL 1	18"X18"	RED	SEE PLAN	3'-0" TO TOP OF SIGN	UPWAL	
2	1	SINGLE	PARK LEVEL 2	18"X18"	YELLOW	SEE PLAN	3'-0" TO TOP OF SIGN	UPWAL	
3	1	SINGLE	ACCESSIBLE PARKING	17"X18"	WHITE	SEE PLAN	NOTE 1	UPWAL NOTE 6	
4	1	SINGLE	STOP	24"X24"	RED	SEE PLAN	4'-0" FROM TOP EDGE TO TOP OF SIGN	UPWAL	
5	1	SINGLE	ELEVATOR	24"X48"	WHITE	SEE PLAN	TOP TO TOP OF SIGN	UPWAL NOTE 4 AT PG	
6	1	SINGLE	CLEARANCE 8'-2" BEYOND THIS POINT	4' DIA/24"	BLACK	CENTER ON DRIVE LANE	8'-0" TO BOTTOM TOP OF SIGN	UPWAL AT 6	
7	1	SINGLE	CAUTION CROSS TRAFFIC	18"X48"	YELLOW	CENTER ON DRIVE LANE	SEE NOTE 3 AT 6	UPWAL	
8	1	SINGLE	BAY	18"X48"	WHITE	CENTER ON DRIVE LANE	3'-0" TO BOTTOM TOP OF SIGN	UPWAL NOTE 3	
9	1	SINGLE	BAY	18"X48"	WHITE	CENTER ON DRIVE LANE	3'-0" TO TOP OF SIGN	UPWAL	
10	1	SINGLE	SMALL CAR ONLY	18"X48"	GREEN	SEE PLAN	4'-0" TO TOP OF SIGN	UPWAL	

**SIGNAGE SCHEDULE NOTES:**

- ALL SIGN TYPES TO BE COORDINATED WITH ARCHITECTURAL PAINTING SCHEDULE.
- ALL SIGN BACKGROUNDS ARE TO BE IN BROWN TONAL PACT PERFORMANCE (PP) FINISH. NOTE: 18" X 48" SIGN TYPES 2, 3, 4, 5, 6, 7, 8, 9, 10 SHALL BE FINISHED WITH PP FINISH. ALL OTHER SIGN TYPES SHALL BE FINISHED WITH PP FINISH.
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1 FLUSH SIGN MOUNT DETAIL SCALE: 1/4" = 1'-0"

2 SECTION THROUGH HANGING SIGN SCALE: 1/4" = 1'-0"

3 SECTION THROUGH 'HEADACHE' BAR SCALE: 1/4" = 1'-0"