

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: <u>10/31/12</u>	Action Requested
UDC MEETING DATE: <u>11/7/12</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 638 HERCULES TRAIL

ALDERMANIC DISTRICT: #3

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
DAN SCHMIDT BRIAN STODARD

FORWARD MANAGEMENT, INC AVENUE ARCHITECTS, INC

CONTACT PERSON: BRIAN STODARD

Address: 550 SUNRISE DR #201
SPRING GREEN, WI 53588

Phone: 608-588-3691

Fax: 608-588-3582

E-mail address: BSTOD@AYEARCH.COM

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



October 31, 2012

Mr. Al Martin
Urban Design Commission
City of Madison
215 Martin Luther King Jr. Blvd
Madison, WI 53701

Re: Letter of Intent
Final Approval and/or Recommendation
Lots 541 – 454 Grandview Commons
(701 Jupiter Drive, 638 Hercules Trail, 5802 Halley Way, and 5871 Charon Lane)
Madison, WI

Dear Mr. Martin:

This Letter of Intent, along with the attached application and plans, are submitted to UDC for the Commission's consideration for Final approval. The project received Initial Approval at the UDC meeting on 10-17-12. The project was submitted on 10-3-12 for PUD/GDP/SIP rezoning. A meeting with the McClellan Park Neighborhood Board was held on 9-10-12 and a MPNA neighborhood meeting was held on 9-27-12, with alder Cnare present. The project has had multiple reviews by the Grandview Commons Architectural Review Committee.

Developer:

Forward Management, Inc.
Contact: Dan Schmidt
110 S. Brooks Street
Madison, WI 53715
608-441-6100
(fax) 608-255-3387
dans@rentfmi.com

Architect:

AVENUE Architects, Inc
Contact: Brian Stoddard
550 Sunrise Drive, Suite 201
Spring Green, WI 53588
608-588-3691
(fax) 608-588-3582
bstod@avearch.com

Project Description:

The project is located on the east side of Madison, north of Cottage Grove Road and east of Interstate 90, in the Grandview Commons planned development, in the McClellan Park Neighborhood.

The parcel to the north of this proposal is currently undeveloped and is planned for multifamily development with approximately 36 units (15 du/ac). Across the street to the east is an existing development consisting of duplex units with rear alley access to garages. To the south is an undeveloped parcel, which is planned for 131 units (27.7 du/ac). To the west is the Arbors senior living multifamily development, which was planned for 242 units (17.6 du/ac).

The proposed development parcel is approximately 4 acres in size. This development consists of two multifamily apartment buildings for a total of 95 dwelling units (23.75 du/ac). Building A is on the eastern edge of the site and is a combination of two story and three story building massing, and includes an underground parking garage. Building B is a three story building with underground parking. There is an existing cluster of trees along the north and west side of the property. The building is sited to preserve a large portion of the trees, which will have the invasive species and understory plants removed (see attached letter). The buildings have been located with a setback of between 10' and 20' from Halley Way and Hercules Trail per GDP requirements. The surface parking stalls have been internalized on the site to screen it from the public way. There are multiple first floor units with direct access/entry from the street, onto a porch area, then into the unit, providing a direct pedestrian connection to the public walk and the street.

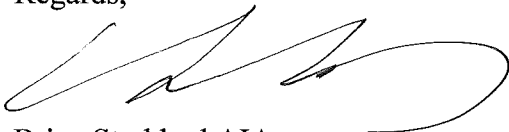
The building massing and pitched roofs provide an intended planned development transition from the more urban sites to the south into the lower densities to the north and east of the site. An architectural tower design element has been placed at the intersection of Hercules Trail and Halley Way to anchor the building to the corner.

There is a mix of unit types and sizes offering a variety of living options. Exterior building materials consist of brick veneer, vinyl siding, composite corners and trim, dimensional asphalt shingles, and aluminum railings.

Site signage will be submitted at a future date.
Additional site data is located on the site plan.

Thank you for your time and consideration of our proposal.

Regards,

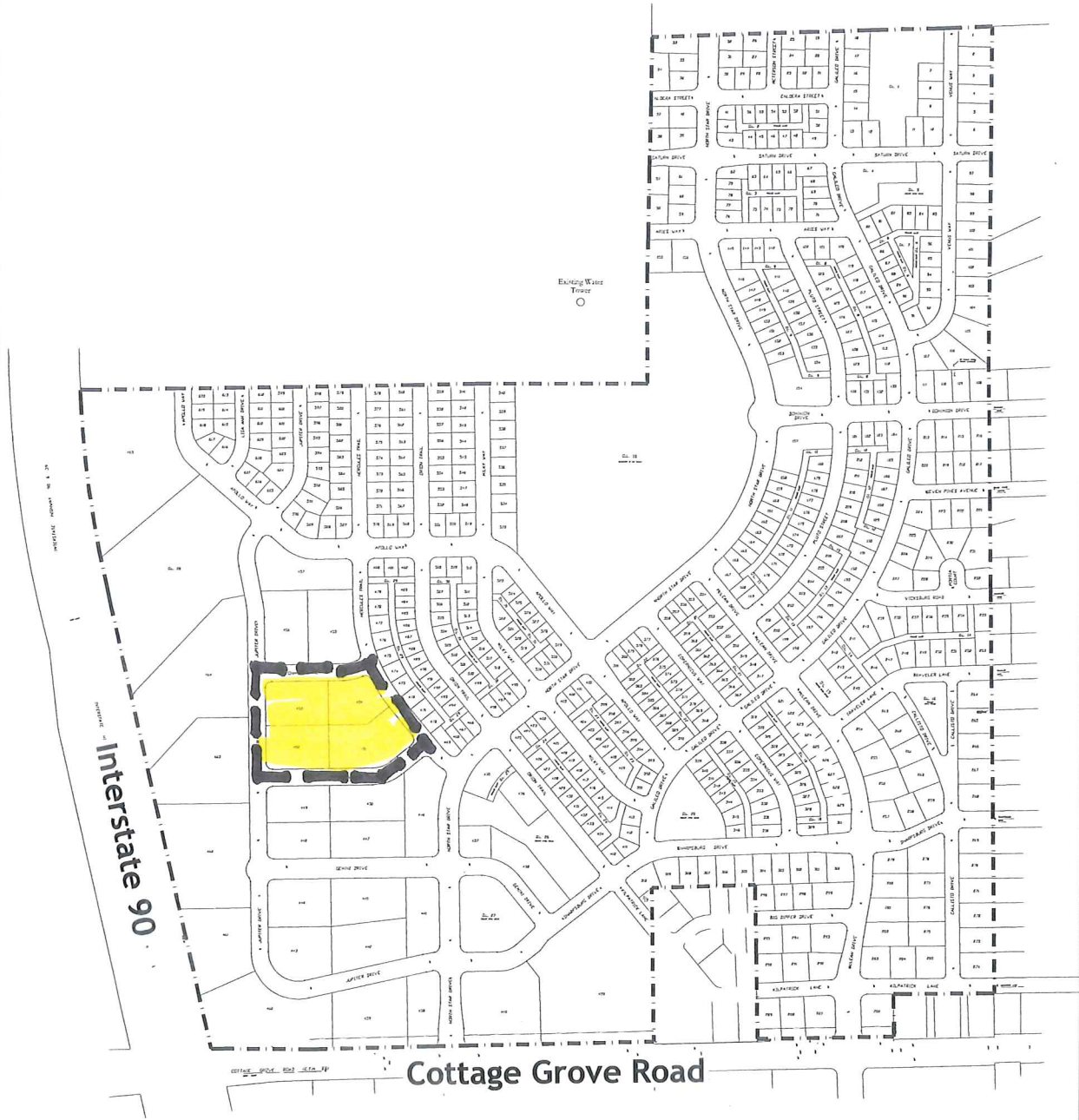
A handwritten signature in black ink, appearing to read 'Brian Stoddard', with a large, sweeping flourish at the end.

Brian Stoddard AIA

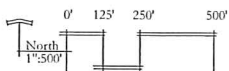
GRANDVIEW COMMONS

Madison, Wisconsin

LOCATION MAP



Note: See attached Final Plat Documents for full scale versions of neighborhood.

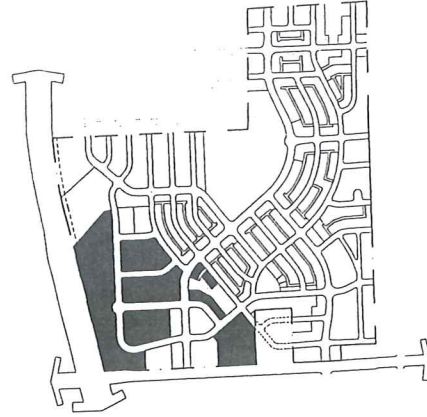


Submitted: September 29, 2004

Winkler & Associates
Madison, Wisconsin
Professional Land Surveyors

NEIGHBORHOOD CENTER RESIDENTIAL

Final Plat Numbers 435-439, 442-454, 460-464



**Neighborhood Center Residential
District Locations**

Description

The Neighborhood Center Residential design and layout help capture the unique qualities of several of the sites found in Grandview Commons, creating a wide range of housing types and options to fit many differing life-styles. These units range from attached units to urban style apartments and townhomes, and may contain a mixture of rental and owner occupied housing.

Total District Averages

<u>Net Acreage</u>	<u>34.0 acres</u>
<u>Proposed Dwelling Units</u>	<u>798 units</u>
<u>Net Density</u>	<u>23.5 dwelling units/acre</u>
<u>Maximum Office/Retail Development</u> <u>Restricted to Village Green Area</u>	<u>30,000 square feet</u>

Character Guidelines

- Balconies, entry bays, and front porches are recommended to enhance the human scale of the public street façade.
- Varied building setbacks are encouraged to create a more organic streetscape in which there are slight variations between buildings along the length of the street.
- As the buildings are moved closer to the street and to each other, special attention should be taken to design details, house details, and landscaping to ensure that the public street façade is of proper pedestrian scale.
- Front entries for units should be oriented towards the public street frontage.
- To ensure that the alley width, when alleys are utilized, does not become visually similar to the street width, alley-loaded garages should be set back no more than four feet from the rear property line for exterior lots, and eight feet from the rear property line for interior lots. The varied setback ensures that the entrances to the alley system are clearly defined as an alley and visually



NEIGHBORHOOD CENTER RESIDENTIAL DISTRICT

Description

The Neighborhood Center residential district includes a range of housing types from Townhomes and Four Unit homes to multifamily interior hallway residential buildings. These housing types are mixed to create a vibrant urban style residential core.

Definition of Family

The definition of family is the definition outlined in Section 28.03(2) Madison General Ordinances for the R-4 district.

Definition of Flex Space

Several commercial/residential mixed use buildings within the town center will utilize flex space design and construction techniques. Flex space refer to building techniques that create temporary first floor residential units that will be constructed to allow for an eventual transition to retail or office spaces. Building design and construction will be employed that create spaces featuring residential units with floor-to-ceiling space, support structures, and utility placements that will allow the eventual transition to commercial uses. The transition of these spaces will be allowed at time of construction or at such time as market conditions will allow.

Permitted Uses

Multi Family Residential Homes
Retail with Multi-family Residential Above
Detached, Attached, & Underground Garages
Accessory Uses

District Breakdown

<u>Maximum Number of Units</u>	<u>798 units</u>
<u>Net Acreage</u>	<u>34.0 acres</u>
<u>Average Net Density</u>	<u>23.5 dwelling units/acre</u>
<u>Maximum Office/Retail</u>	<u>30,000 square feet</u>
<u>Lots 435-436</u>	
<u>Maximum Number of Units</u>	<u>20 units</u>
<u>Net Acreage</u>	<u>.8 acres</u>
<u>Maximum Net Density</u>	<u>25.0 dwelling units/acre</u>
<u>Lots 437-438</u>	
<u>Maximum Number of Units</u>	<u>34 units</u>
<u>Net Acreage</u>	<u>1.2 acres</u>
<u>Maximum Net Density</u>	<u>27.6 dwelling units/acre</u>
<u>Lot 439</u>	
<u>Maximum Number of Units</u>	<u>150 units</u>
<u>Net Acreage</u>	<u>5.0 acres</u>
<u>Maximum Net Density</u>	<u>30.0 dwelling units/acre</u>
<u>Maximum Office/Retail</u>	<u>30,000 square feet</u>

Lots 442-445

<u>Maximum Number of Units</u>	<u>126 units</u>
<u>Net Acreage</u>	<u>4.4 acres</u>
<u>Maximum Net Density</u>	<u>28.5 dwelling units/acre</u>

Lots 446-450

<u>Maximum Number of Units</u>	<u>131 units</u>
<u>Net Acreage</u>	<u>4.7 acres</u>
<u>Maximum Net Density</u>	<u>27.7 dwelling units/acre</u>

Lots 451-454

<u>Maximum Number of Units</u>	<u>95 units</u>
<u>Net Acreage</u>	<u>4.0 acres</u>
<u>Maximum Net Density</u>	<u>23.7 dwelling units/acre</u>

Lots 460-464

<u>Maximum Number of Units</u>	<u>242 units</u>
<u>Net Acreage</u>	<u>13.8 acres</u>
<u>Maximum Net Density</u>	<u>17.6 dwelling units/acre</u>

Lot Requirements

Minimum Lot Area	varies (will be set in SIP)
Minimum Lot Width	varies (will be set in SIP)
Minimum Corner Lot Width	varies (will be set in SIP)
Minimum Front Yard Setback	10 feet
Maximum Front Yard Setback	20 feet
Minimum Side Yard Setback	varies (will be set in SIP)
Minimum Setback from Cottage Grove Road	40 feet
Minimum Corner Lot Side Yard Setback	10 feet from the street side right of way
Sum of Side Yard Setbacks	varies (will be set in SIP)
Minimum Building Separation	varies (will be set in SIP)
Minimum Garage Rear Yard Setback	1 foot
Maximum Garage Rear Yard Setback	4' on exterior lots 8' on interior lots
Minimum Garage Side Yard Setback	5 feet
Minimum Paved Surface Setback	4 feet
Maximum Building Height	45 feet
Maximum Impervious Surface Ratio	80%
Maximum Floor Area Ratio	varies (will be set in SIP)
Off-Street Parking and Loading	<u>varies (will be set in SIP)</u>
Accessory Building Regulations	accessory buildings not allowed, except detached garages

Permitted Encroachments

Front porches, balconies, stoops, open porches and covered walkways may encroach a maximum of 6' into the front yard setback.

Corner lot porches, and bay windows may not encroach the vision triangle. The triangle is defined by: the intersection of the curbs at the corner, and a point 30 feet back along each curb from the corner.

Bay windows may encroach side yard setbacks and will require approval by the Architectural Control Committee.

Roof eaves may not extend over a property line or a utility easement.

Garden walls or fences shall be no more than 4' in height and will require approval by the Architectural Control Committee. Walls and fences located within the vision triangle shall not exceed 30" in height.

Trash Enclosure fencing shall be no more than 8' in height and will require approval by the Architectural Control Committee.

Additional Requirements

Building Breaks

- Breaks between buildings shall be carefully restricted to ensure that the intended urban character and continuous street enclosure. Breaks between buildings along public streets shall be limited to one double loaded parking drive, with landscaping and sidewalk connections.

Parking

- Parking will not be allowed between the public street right of way and building façade for any buildings within this district. Parking within the district shall be located at the rear of the buildings and screened from public rights-of way through landscaping or structural elements.
- Parking within the district will be accommodated by a mixture of surface, on-street, and underground parking.
- Shared parking arrangements will be utilized in an effort to eliminate unnecessary stalls.

Building Setbacks

- Buildings fronting along the public rights-of-way shall conform to the 10-20' setback requirement.
- Secondary building sites within the district that do not front onto a public street shall be connected to the public street network with a logical and interconnected system of driveways and sidewalks.

Building Heights

- Building heights and grading within the district will be carefully regulated to create the desired stepped viewshed in response to the changes in elevation along the length of the site.

Tree Protection

- Careful site layouts and grading will be required to minimize intrusions into the existing mature box of trees within the site.



550 Sunrise Drive, Suite 201
 Post Office Box 1024
 Spring Green, WI 53588
 Phone: 608-588-3691
 Fax: 608-588-3582

Hercules Trail Apartments
 Lots 451-454
 Madison, Wisconsin

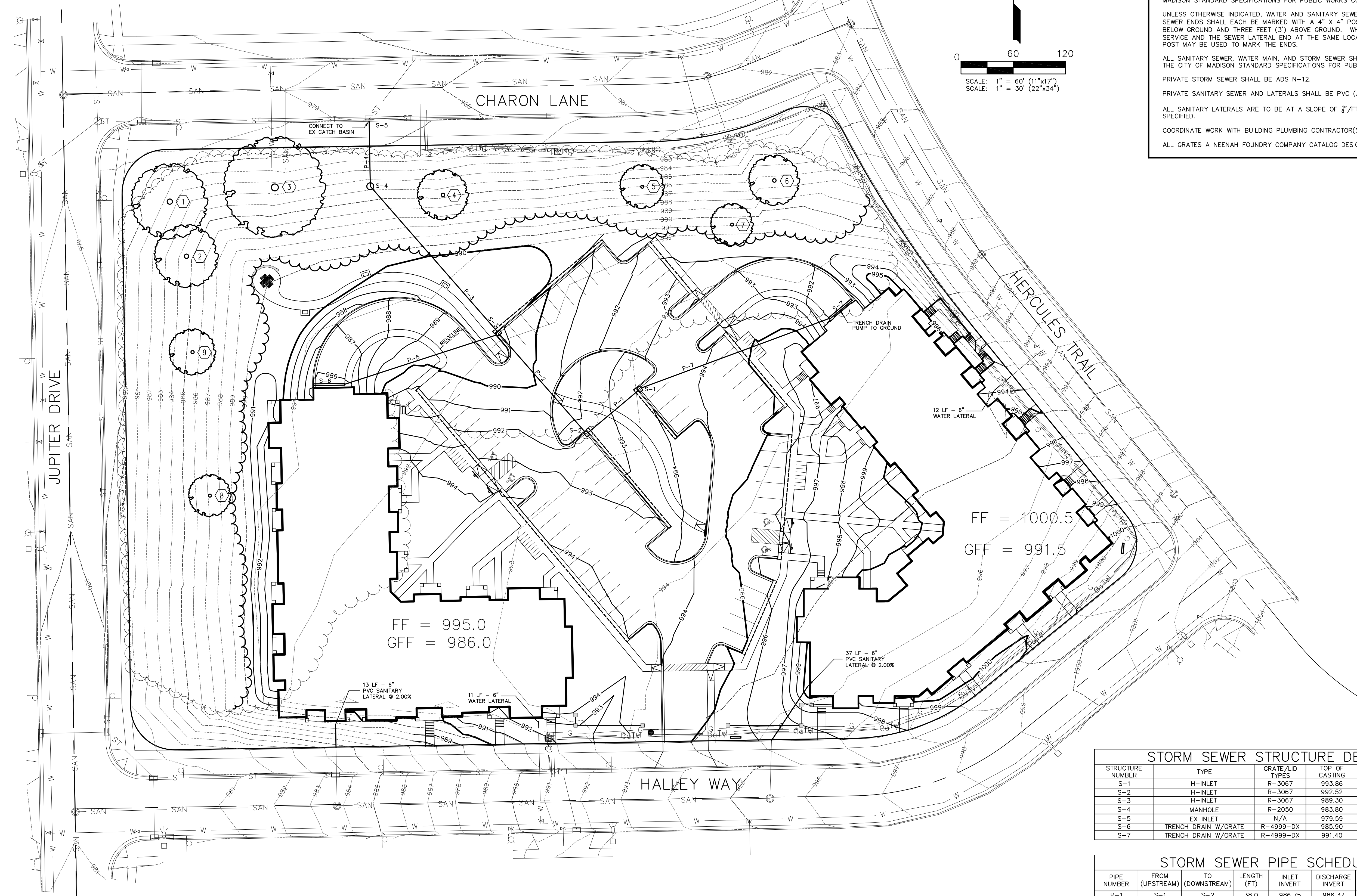
09-11-2012

THIS DOCUMENT, THE IDEAS AND DESIGN INCORPORATED HEREIN AS AN INSTRUMENT OF SERVICE IS THE PROPERTY OF AVENUE ARCHITECTS, INC. AND IS NOT TO BE USED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORIZATION OF AVENUE ARCHITECTS, INC.

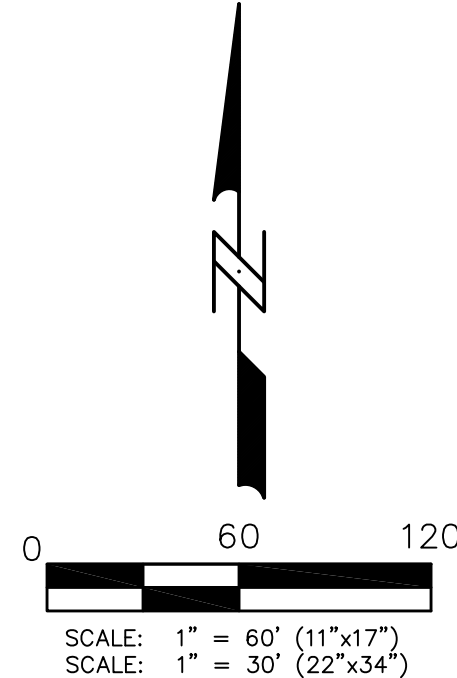
Drawing Name
 Context Aerial Site Plan

Project Number
 1206

Sheet No.
 C-1.0



GENERAL NOTES:
 CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEERING PRIOR TO WORK COMMENCING.
 CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WISCONSIN STATUTES. ANY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 UNLESS OTHERWISE INDICATED, WATER AND SANITARY SEWER LATERALS AND STORM SEWER ENDS SHALL EACH BE MARKED WITH A 4" X 4" POST EXTENDING FOUR FEET (4') BELOW GROUND AND THREE FEET (3') ABOVE GROUND. WHERE BOTH THE WATER SERVICE AND THE SEWER LATERAL END AT THE SAME LOCATION, A COMMON 4" X 4" POST MAY BE USED TO MARK THE ENDS.
 ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 PRIVATE STORM SEWER SHALL BE ADS N-12.
 PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).
 ALL SANITARY LATERALS ARE TO BE AT A SLOPE OF 1/8"/FT UNLESS OTHERWISE SPECIFIED.
 COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).
 ALL GRATES A NEENAH FOUNDRY COMPANY CATALOG DESIGNATIONS.



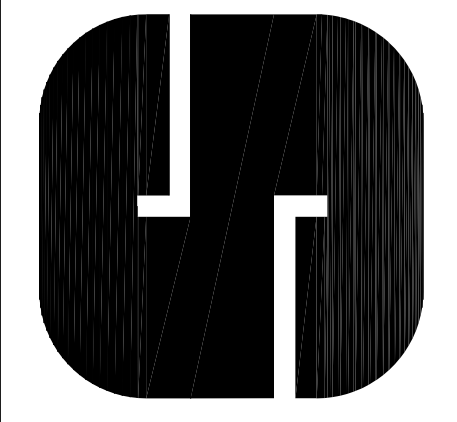
STORM SEWER STRUCTURE DETAIL

STRUCTURE NUMBER	TYPE	GRATE/LID TYPES	TOP OF CASTING	INVERT	DEPTH (FT)
S-1	H-INLET	R-3067	993.86	986.85	7.01
S-2	H-INLET	R-3067	992.52	986.37	6.15
S-3	H-INLET	R-3067	989.30	981.50	7.80
S-4	MANHOLE	R-2050	983.80	978.00	5.80
S-5	EX INLET	N/A	979.59	975.27	4.32
S-6	TRENCH DRAIN W/GRATE	R-4999-DX	985.90	982.50	3.40
S-7	TRENCH DRAIN W/GRATE	R-4999-DX	991.40	988.00	3.40

STORM SEWER PIPE SCHEDULE

PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH (FT)	INLET INVERT	DISCHARGE INVERT	SLOPE (%)	DIAMETER OF PIPE (IN)
P-1	S-1	S-2	38.0	986.75	986.37	1.00	12
P-2	S-2	S-3	74.3	986.17	981.50	6.28	12
P-3	S-3	S-4	111.1	981.30	978.00	2.97	18
P-4	S-4	EXIST INLET	37.5	977.80	975.27	6.75	18
P-5	S-6	S-3	91.7	982.50	981.50	1.09	12
P-6	S-7	S-1	115.0	988.00	986.85	1.00	12

HERCULES TRAIL APARTMENTS
 UTILITY PLAN



Project No: 112.0652
 Sheet C-5.0

CITY OF MADISON, WI
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.

MARK	REVISION	DATE	BY
REMOVED	REMOVED RETAINING WALLS	10/26/12	ARG
REVISED	REMOVED RETAINING WALLS	10/23/12	MLC

Engineer: L.A.O. Checked By: XXX Scale: 1"=30'
 Technician: XXX Date: 12 SEPT 2012 Field Bk: Pg: 5
 Project No: 112.0652 Sheet C-5.0

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September 7, 2012

To: Hercules Trail Apartments.

Topic: Condition and maintenance of existing tree lines.

The current tree line will be maintained at the site for Hercules Trail Apartments. There are several invasive species that will need to be removed. These are mostly understory plants: buckthorn, mulberry, honeysuckle, black cherry, grape vines, and small ash seedlings. There are also several dead/dying trees that will be removed. Once removed the site will look much better, and the desirable plantings will thrive.

The site has many large healthy desirable trees: Spruce, white pine, birch, green ash, black walnut, arborvitae, maples, and cottonwoods. We have identified and located the trees greater than 18 inches in diameter. There are some dead branches on the desirable trees that will be removed. The green ash trees will be treated to prevent emerald ash borer infestation.

The site will look better once the undesirable plants are removed. The remaining plants will be able to thrive without the competition from the "volunteer" plants.

This will be a very attractive green space for the residents of the neighborhood.

Dave Kunesh

Senior Service Manager and Horticulturist

TruGreen – Madison

2251 Kilgust Rd,

Madison, WI 53713

Office: 608-221-9200

Cell: 608-209-3261

LANDSCAPE WORKSHEET
 Parking Lots, Storage Areas and Loading Areas
 (Section 28.04 Madison General Ordinance)

Project Location/Address:
Name of Project: <u>Hercules Trail Apartments</u>
Owner/Contact:
Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required

The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls.
 [Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points].

Number of Parking Stalls _____ 62

Total Square Footage of the Storage Area _____
 Divided by Three Hundred (300) Square Feet _____ N/A

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper) _____
 (See Schedule on reverse side) 19 19 provided

TOTAL

II. Number of Landscape Points Required

The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth. _____
 (See Schedule on reverse side) N/A

Number of Points Required (See Schedule on reverse side) _____ 292

TOTAL

Tabulation of Points and Credits

Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"	35	2	70		
Deciduous Shrub	2	13	26		
Evergreen Shrub	3	27	81		
Decorative Wall or Fence (per 10 L.F.)	5	-	-		
Earth Berm (per 10 L.F.) Avg. Height 30"	5	-	-		
Avg. Height 15"	2	-	-		
Evergreen Trees 3' height minimum	15	-	-		
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15	8	120		
Sub Totals			297	+	✓

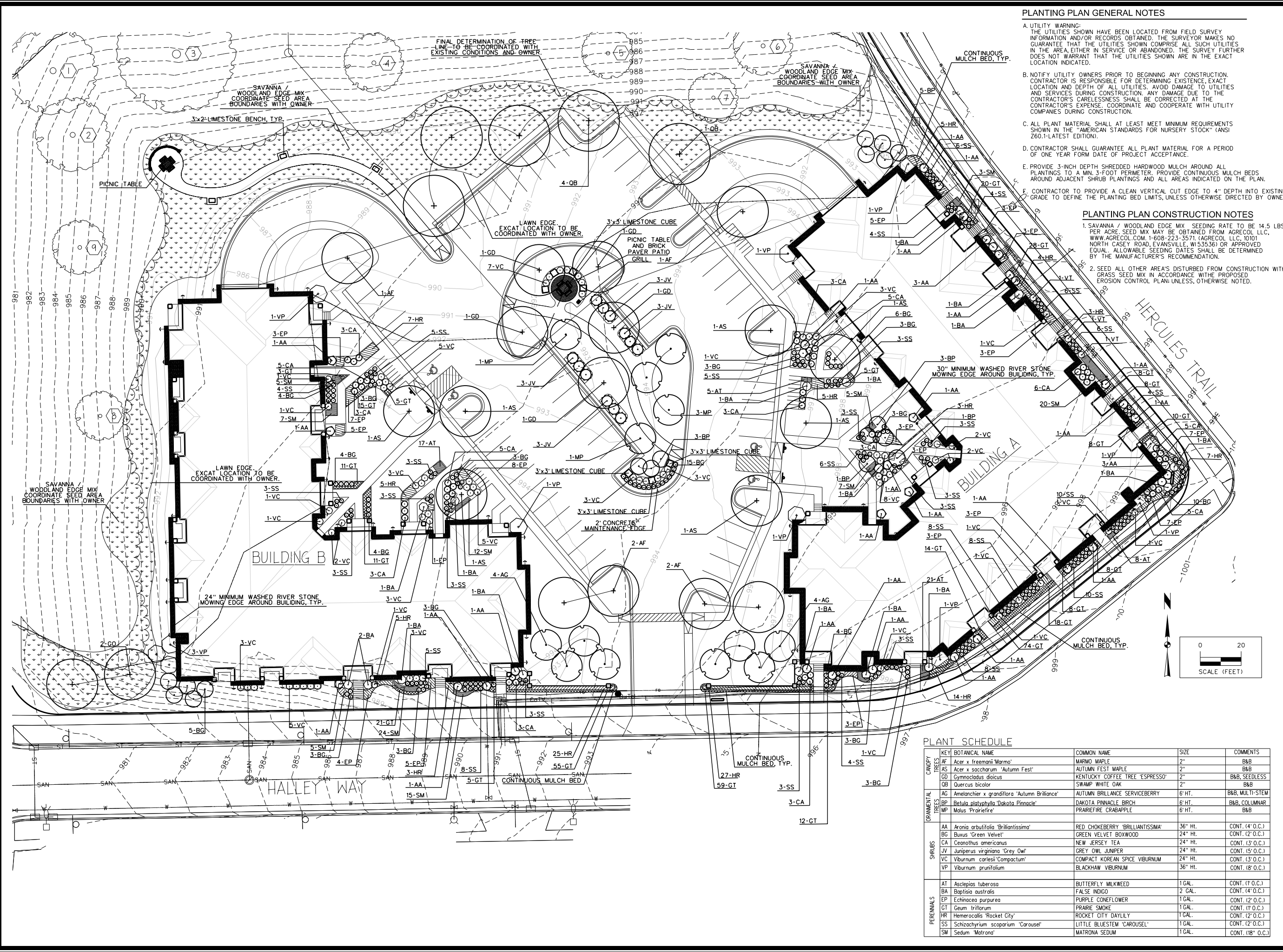
TOTAL = 297

Total No. of Points Provided
 (Equal to or greater than points required)

*Trees required in Part I above, are not to be included in the point count.

Approved by: _____ Date: _____

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- PLANTING PLAN GENERAL NOTES**
- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEY MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
 - NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
 - ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.
 - PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERMETER. PROVIDE CONTINUOUS MULCH BEDS AROUND ADJACENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN.
 - CONTRACTOR TO PROVIDE A CLEAN VERTICAL CUT EDGE TO 4" DEPTH INTO EXISTING GRADE TO DEFINE THE PLANTING BED LIMITS, UNLESS OTHERWISE DIRECTED BY OWNER.

- PLANTING PLAN CONSTRUCTION NOTES**
- SAVANNA / WOODLAND EDGE MIX SEEDING RATE TO BE 14.5 LBS. PER ACRE. SEED MIX MAY BE OBTAINED FROM AGRECOL LLC, WWW.AGRECOL.COM, 1-608-223-3571, (AGRECOL, LLC, 10101 NORTH CASEY ROAD, EVANSVILLE, WI 53536) OR APPROVED EQUAL. ALLOWABLE SEEDING DATES SHALL BE DETERMINED BY THE MANUFACTURER'S RECOMMENDATION.
 - SEED ALL OTHER AREA'S DISTURBED FROM CONSTRUCTION WITH GRASS SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLAN, UNLESS OTHERWISE NOTED.

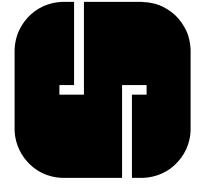
PLANT SCHEDULE

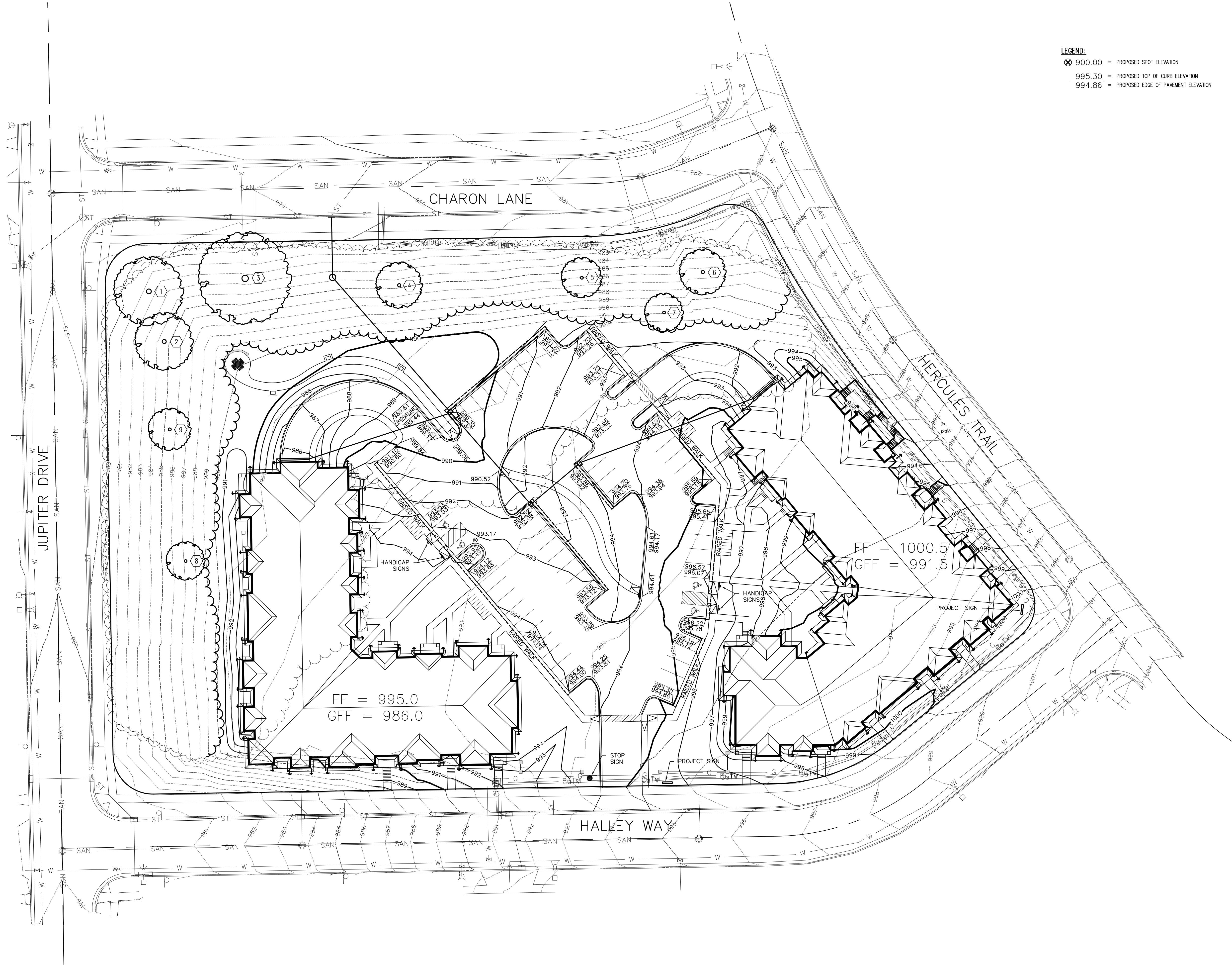
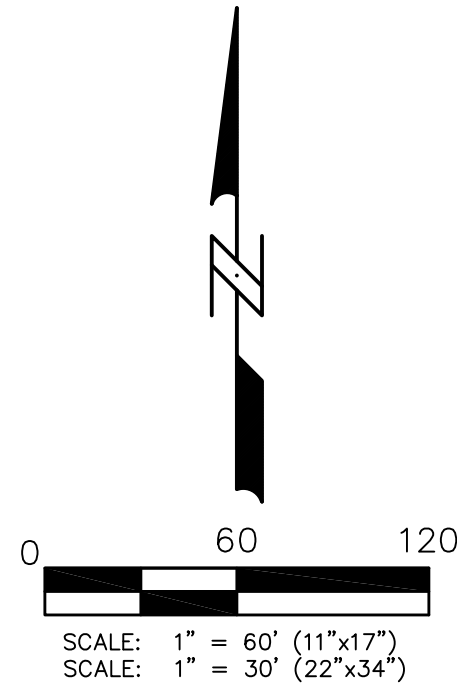
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AF	Acer x freemanii 'Marmo'	MARMO MAPLE	2"	B&B
AS	Acer x saccharum 'Autumn Fest'	AUTUMN FEST MAPLE	2"	B&B
GD	Gymnocladus dioica	KENTUCKY COFFEE TREE 'ESPRESSO'	2"	B&B, SEEDLESS
OB	Quercus bicolor	SWAMP WHITE OAK	2"	B&B
AG	Amelanchier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&B, MULTI-STEM
BP	Betula platyphylla 'Dakota Pinnacle'	DAKOTA PINNACLE BIRCH	6' HT.	B&B, COLUMNAR
MP	Malus 'Prairiefire'	PRAIRIEFIRE CRABAPPLE	6' HT.	B&B
SHRUBS				
AA	Aronia arbutifolia 'Brilliantissima'	RED CHOKEBERRY 'BRILLIANTISSIMA'	36" HL.	CONT. (4' O.C.)
BG	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	24" HL.	CONT. (2' O.C.)
CA	Ceanothus americanus	NEW JERSEY TEA	24" HL.	CONT. (3' O.C.)
JV	Juniperus virginiana 'Grey Owl'	GREY OWL JUNIPER	24" HL.	CONT. (5' O.C.)
VC	Viburnum cerasiifolium 'Compactum'	COMPACT KOREAN SPICE VIBURNUM	24" HL.	CONT. (3' O.C.)
VP	Viburnum prunifolium	BLACKHAW VIBURNUM	36" HL.	CONT. (8' O.C.)
PERENNIALS				
AT	Asclepias tuberosa	BUTTERFLY MILKWEED	1 GAL.	CONT. (1' O.C.)
BA	Baptisia australis	FALSE INDIGO	2 GAL.	CONT. (4' O.C.)
EP	Echinacea purpurea	PURPLE CONEFLOWER	1 GAL.	CONT. (2' O.C.)
GT	Geum triflorum	PRAIRIE SMOKE	1 GAL.	CONT. (1' O.C.)
HR	Hemerocallis 'Rocket City'	ROCKET CITY DAYLILY	1 GAL.	CONT. (2' O.C.)
SS	Schizochyrium scoparium 'Carousel'	LITTLE BLUESTEM 'CAROUSEL'	1 GAL.	CONT. (2' O.C.)
SM	Sedum 'Matrona'	MATRONA SEDUM	1 GAL.	CONT. (18" O.C.)

3.	PER COMMENTS RECEIVED	10-29-12	DEC
2.	PER COMMENTS RECEIVED	10-23-12	DEC
1.	PER COMMENTS RECEIVED	10-9-12	DEC

MARK: _____
 Engineer: MC
 Checked By: DPM
 Scale: 1" = 20'
 Date: 10-01-12
 File: Bk
 Project No: 112.0652.30
 Sheet L-1.1

CITY OF MADISON, WI
HERCULES TRAIL APARTMENTS
PROPOSED LANDSCAPE PLAN
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0441/www.snyder-associates.com


 Project No: 112.065.30
 Sheet L-1.1

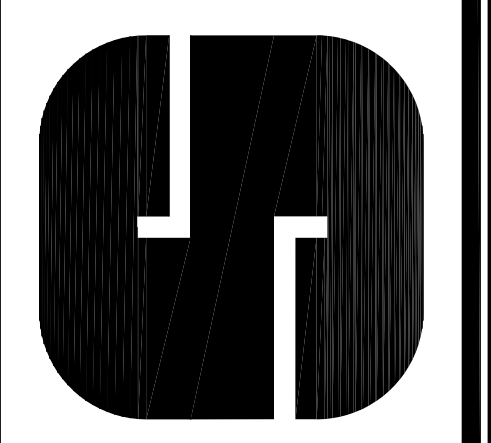


LEGEND:
 ⊗ 900.00 = PROPOSED SPOT ELEVATION
 — 995.30 = PROPOSED TOP OF CURB ELEVATION
 — 994.86 = PROPOSED EDGE OF PAVEMENT ELEVATION

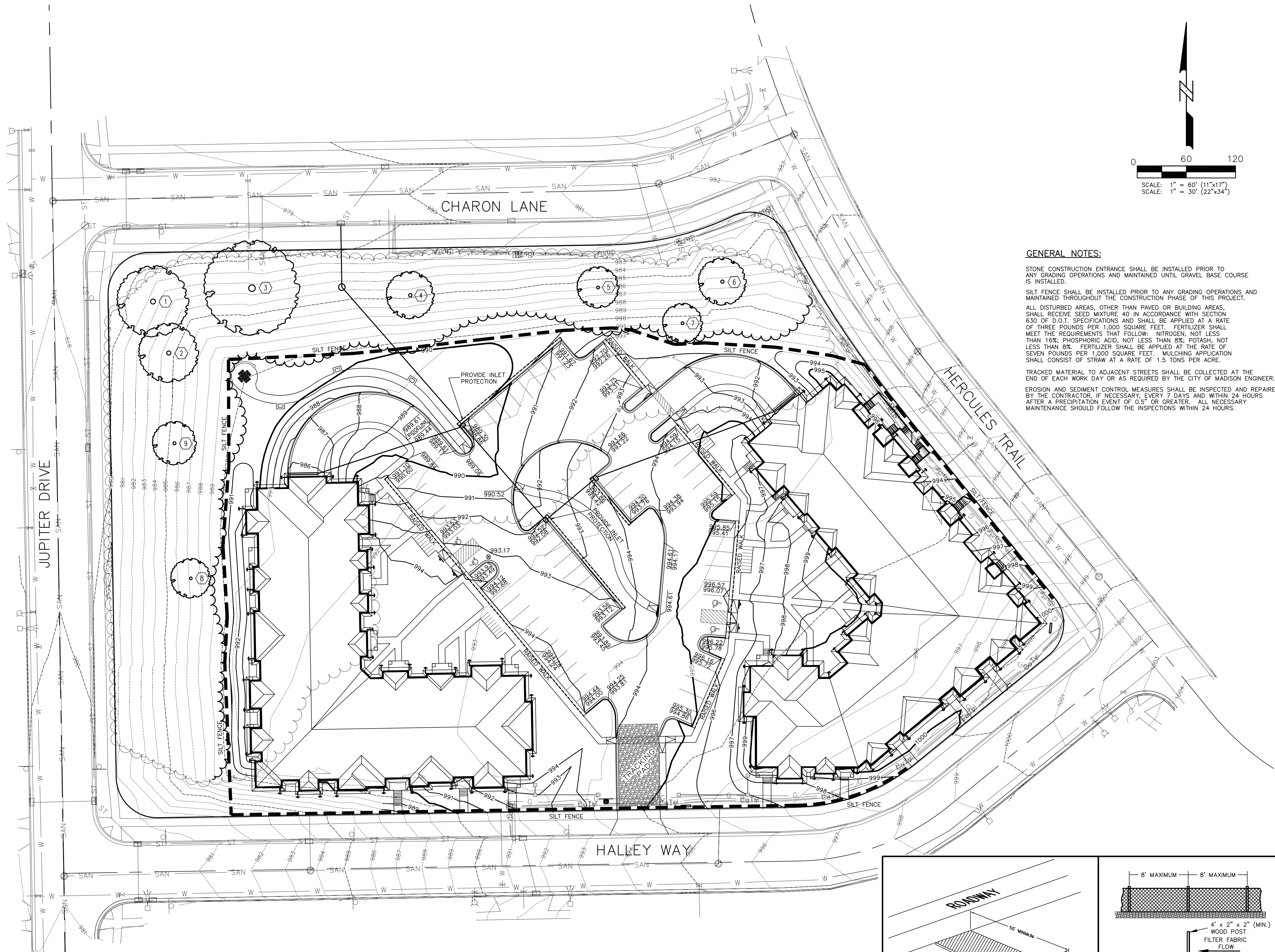
P:\PROJECTS\AA\09\Design\AA\09 Design-Base.dwg

REVISED SIDEWALK LAYOUT	10/23/12	MLC
REMOVED RETAINING WALLS	10/26/12	ARG
MARK	REVISION	DATE
Engineer: L.A.O.	Checked By: XXX	Scale: 1"= 30'
Technician: XXX	Date: 12 SEPT 2012	Field Bk:
Project No: 112.0652	Sheet	C-3.0

HERCULES TRAIL APARTMENTS
 GRADING PLAN
SNYDER & ASSOCIATES, INC.
 CITY OF MADISON, WI
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



Project No: 112.0652
 Sheet C-3.0



GENERAL NOTES:

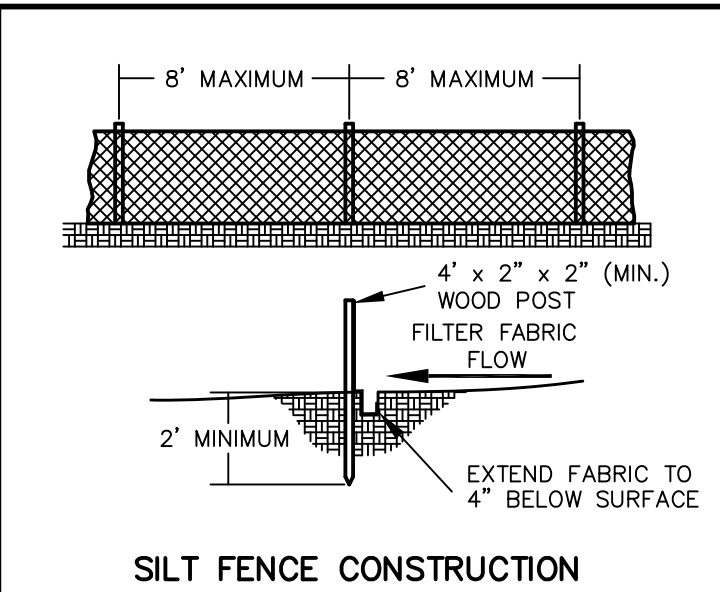
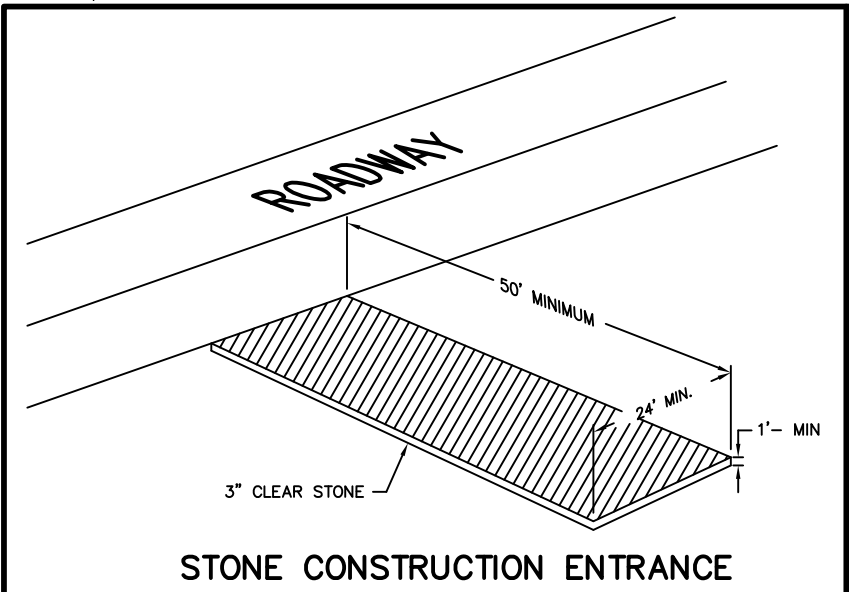
STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

ALL DISTURBED AREAS, OTHER THAN PAVED OR BUILDING AREAS, SHALL RECEIVE SEED MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF THREE POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A RATE OF 1.5 TONS PER ACRE.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON ENGINEER.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.



REMOVED SIDEWALK LAYOUT	10/23/12 MLC		
REMOVED RETAINING WALLS	10/26/12 ARG		
MARK	REVISION	DATE	BY
Engineer: L.A.O.	Checked By: XXX	Scale: 1"= 30'	
Technician: XXX	Date: 12 SEPT 2012	Field Bk:	
Project No: 112.0652	Sheet	C-4.0	

HERCULES TRAIL APARTMENTS
EROSION CONTROL PLAN
 CITY OF MADISON, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

Project No: 112.0652
 Sheet C-4.0

P:\PROJECTS\AA\09\Design\AA109 Design-Base.dwg

TYPICAL MATERIALS

30 YEAR ARCHITECTURAL
GRADE SHINGLES

2x10 ALUMINUM WRAPPED FASCIA
3'-0" OVERHANG w/ ALUMINUM SOFFIT

1/2" x 12" COMPOSITE FRIEZE BOARD

1/2" x 6" COMPOSITE CORNER TRIM

COMPOSITE WINDOW TRIM
• 1/2" x 8" HEADS & SILLS
• 1/2" x 6" JAMBES

COMPOSITE TRIM & PANELS

HORIZONTAL VINYL SIDING

VINYL WINDOWS & PATIO DOORS

PRECAST CONCRETE CAP

BRICK VENEER

PREFINISHED ALUMINUM RAILING
SYSTEM

COMPOSITE PANEL WRAPPED COLUMNS
w/ 1/2" x 6" COMPOSITE ACCENT TRIM



BUILDING A - NORTH ELEVATION (HERCULES TRAIL)
SCALE - 1/8" = 1'-0"

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

10-05-2012

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Drawing Name
Bldg A - Elevation

Project Number
1206

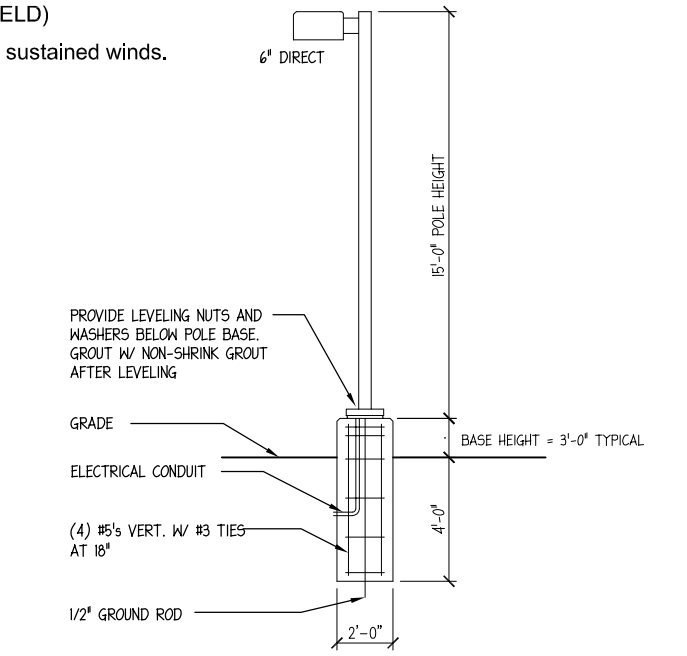
Sheet No.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
▶		C	SINGLE	8100	0.650	762	MPR2410-M 100W PSMH w/ BACK LIGHT SHIELD MH-20
■		B	SINGLE	3100	0.650	136	E8405-M 50W PSMH MH-8
◀▶		C2	BACK-TO-BACK	8100	0.650	508	MPR2410-M 100W PSMH w/ BACK LIGHT SHIELD MH-20

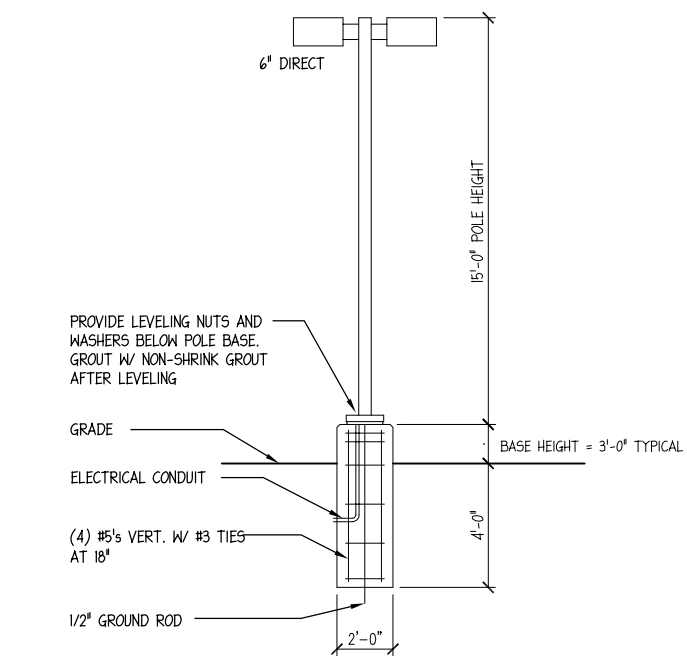
Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPts					
Parking Lot					

Pole Schedule

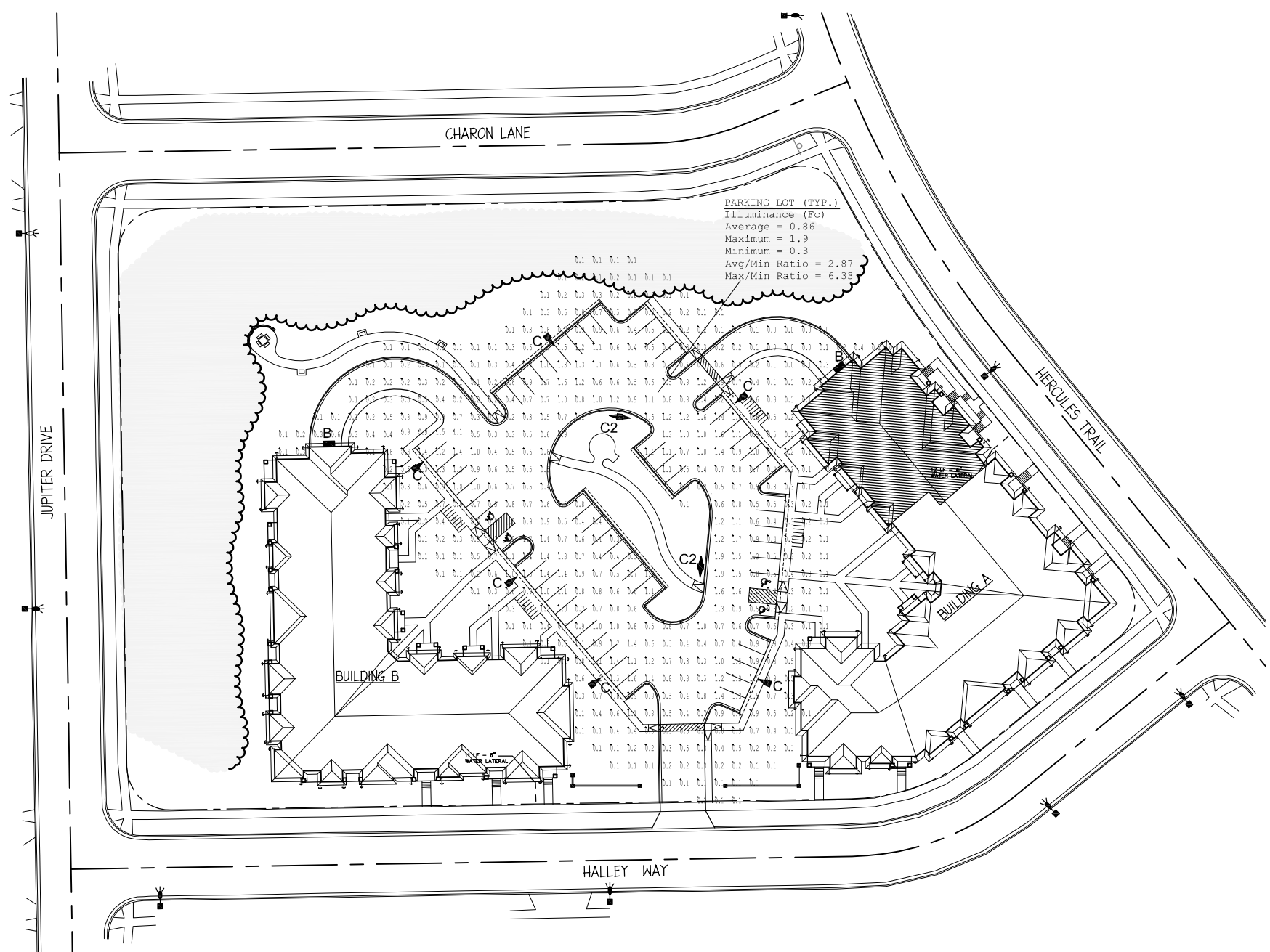
- (6) PS4S17C1BZ (17' X 4" STEEL SQUARE POLE)
 - (2) PS4S17C2BZ (17' X 4" STEEL SQUARE POLE 2@180)
 - (10) SBL-12 (BACKLIGHT SHIELD)
- Proposed poles meet 140 MPH sustained winds.



1 LIGHT POLE BASE
C-1.2

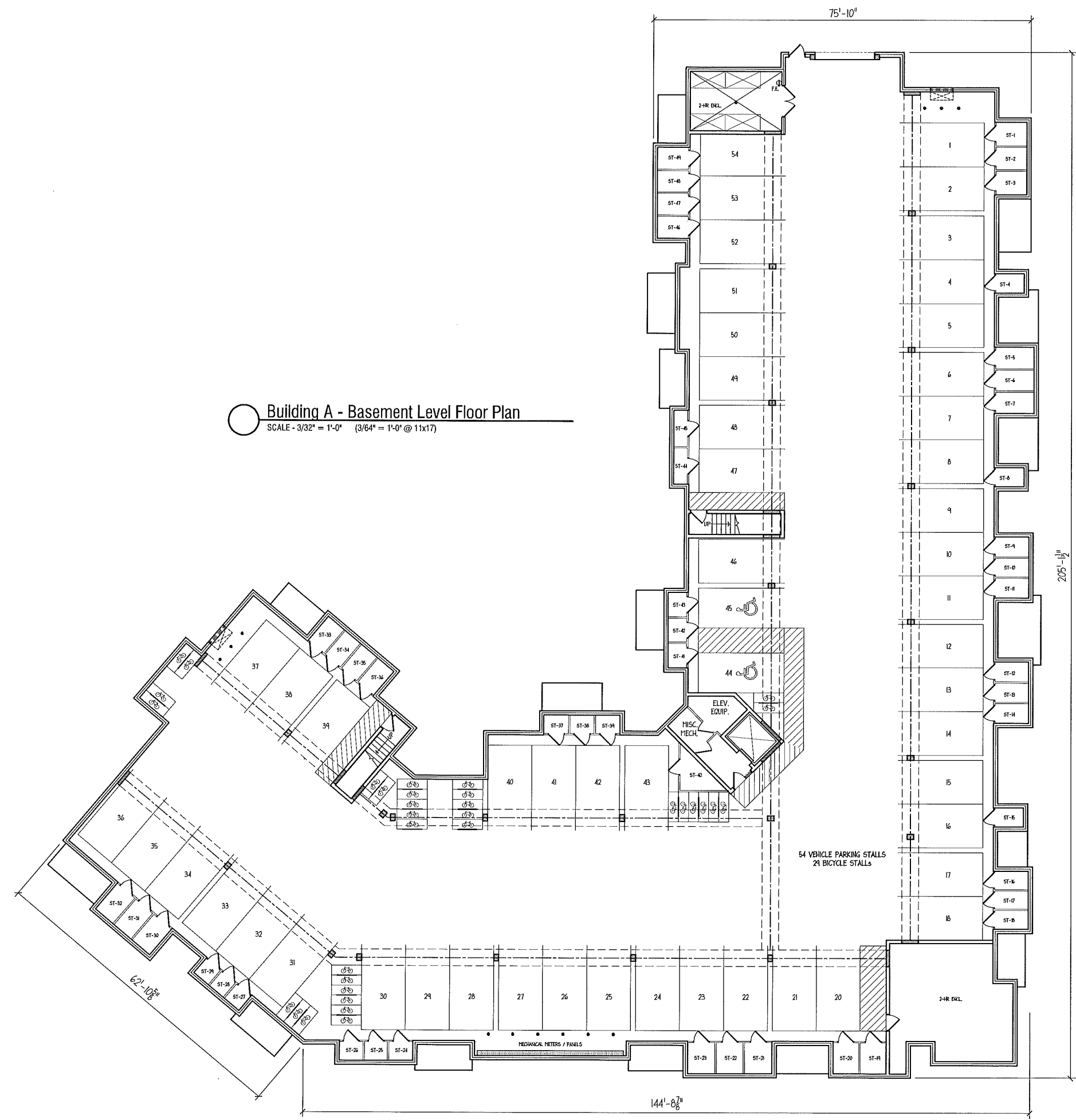


2 LIGHT POLE BASE
C-1.2

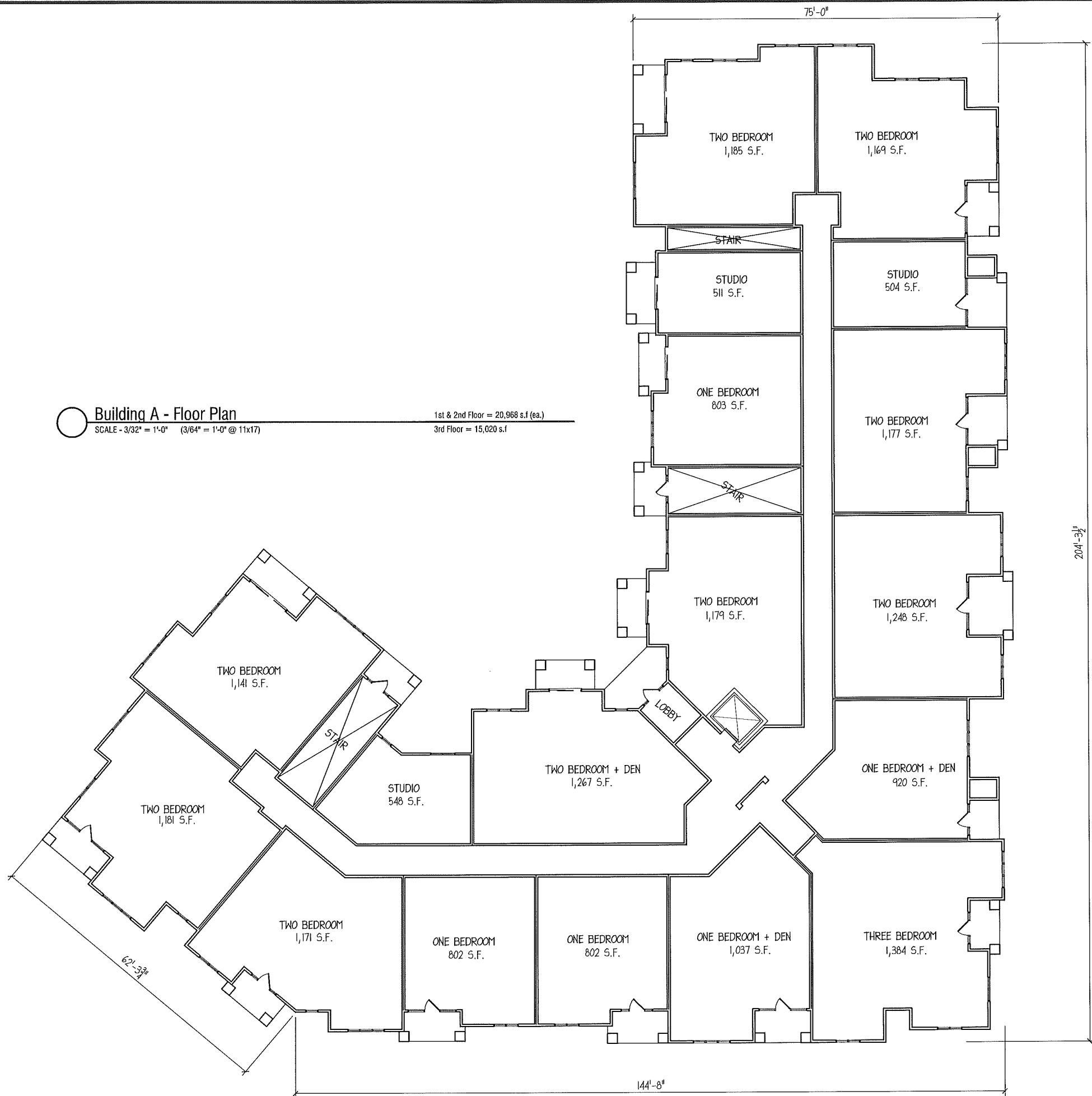


Site Lighting Plan
SCALE - 1" = 30' (1" = 60' @ 11x17)

0 30 60 90
SCALE: ONE INCH = FORTY FEET (24"x34")
SCALE: ONE INCH = EIGHTY FEET (11"x17")



Building A - Basement Level Floor Plan
SCALE - 3/32" = 1'-0" (3/64" = 1'-0" @ 11x17)



Building A - Floor Plan
1st & 2nd Floor = 20,968 s.f. (ea.)
 SCALE - 3/32" = 1'-0" (3/64" = 1'-0" @ 11x17) 3rd Floor = 15,020 s.f.



A VENUE
 Architects, Inc.
 550 Sunrise Drive, Suite 201
 Post Office Box 1024
 Spring Green, WI 53588
 Phone: 608-588-3691
 Fax: 608-588-3582

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

UDC FINAL
10-31-2012

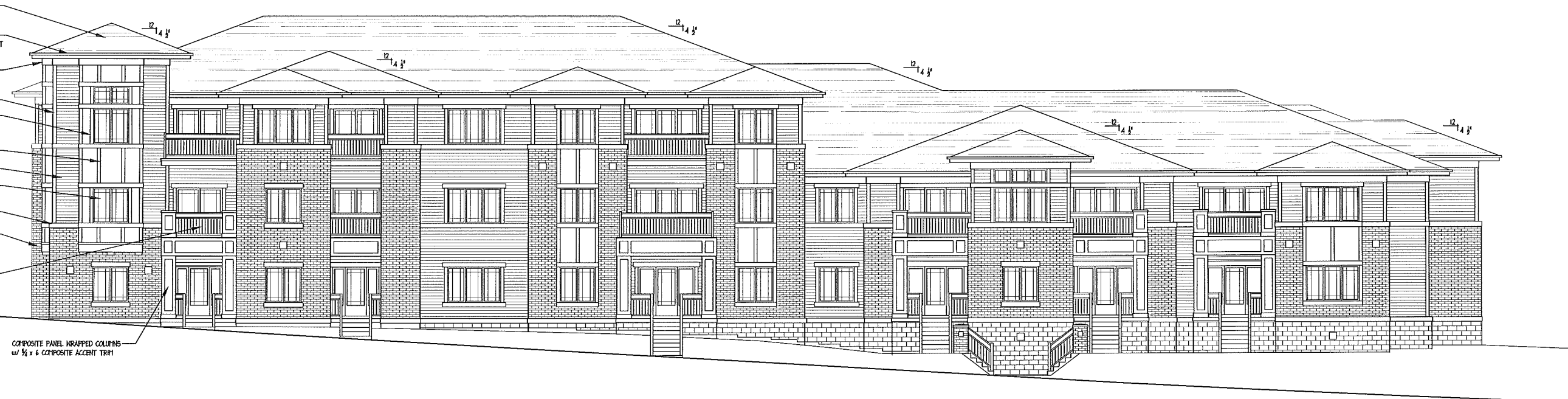
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Drawing Name
**Bldg A
Floor Plan**

Project Number 1206	Sheet No. 2
-------------------------------	-----------------------

TYPICAL MATERIALS

- 30 YEAR ARCHITECTURAL GRADE SHINGLES
- 2x10 ALUMINUM WRAPPED FASCIA
3'-0" OVERHANG w/ ALUMINUM SOFFIT
- 1/2" x 12" COMPOSITE FRIEZE BOARD
- 1/2" x 6" COMPOSITE CORNER TRIM
- COMPOSITE WINDOW TRIM
• 1/2" x 8" HEADS & SILLS
• 1/2" x 6" JAMBS
- COMPOSITE TRIM & PANELS
- HORIZONTAL VINYL SIDING
- VINYL WINDOWS & PATIO DOORS
- PRECAST CONCRETE CAP
- BRICK VENEER
- REFINISHED ALUMINUM RAILING SYSTEM



BUILDING A - NORTH ELEVATION (HERCULES TRAIL)
SCALE - 1/8" = 1'-0"



BUILDING A - NORTHWEST ELEVATION
SCALE - 1/8" = 1'-0"

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

UDC FINAL
10-31-2012

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Drawing Name
Bldg A - Elevation

Project Number	Sheet No.
1206	3

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

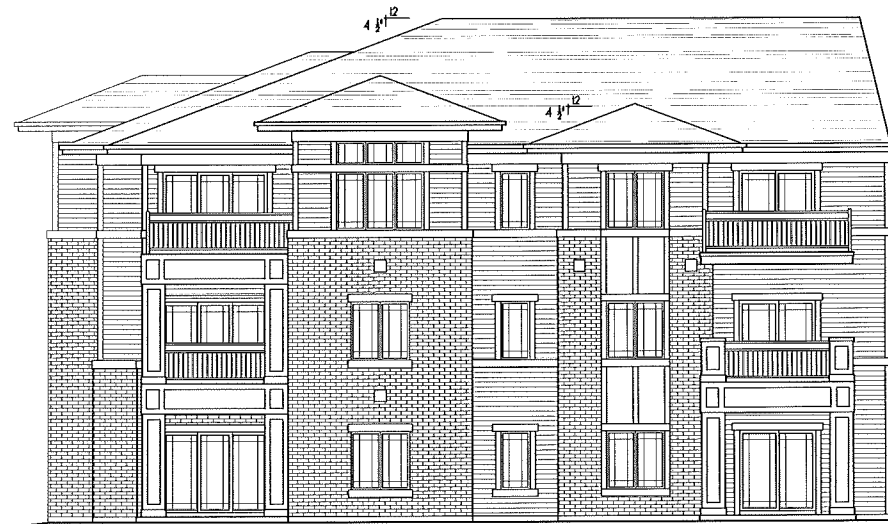
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Drawing Name
Bldg A - Elevation

Project Number
1206

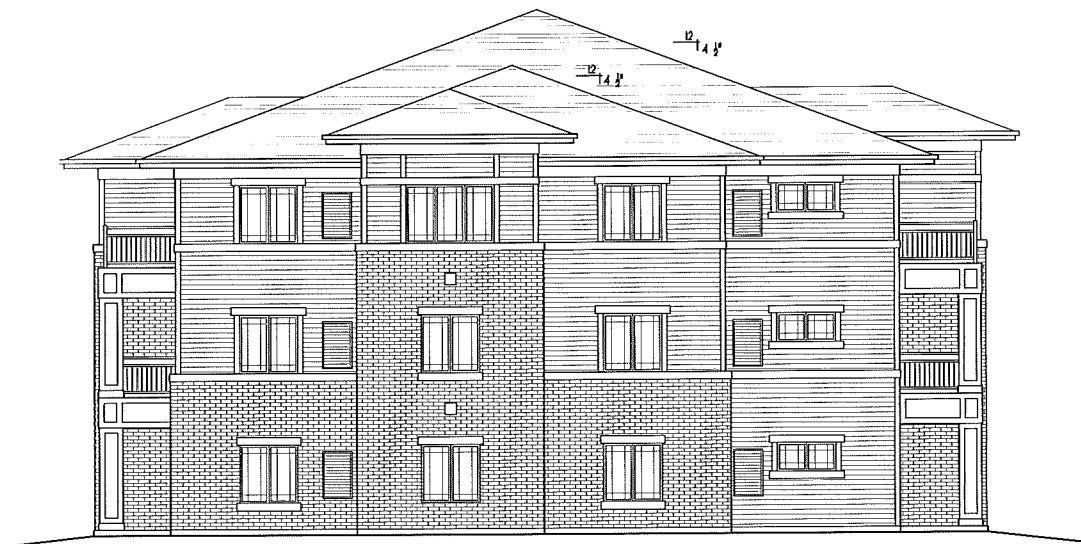
Sheet No.
4



BUILDING A - SOUTH ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



BUILDING A - SOUTHEAST ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



BUILDING A - WEST ELEVATION
SCALE - 1/8" = 1'-0"

UND FINAL
10-31-2012

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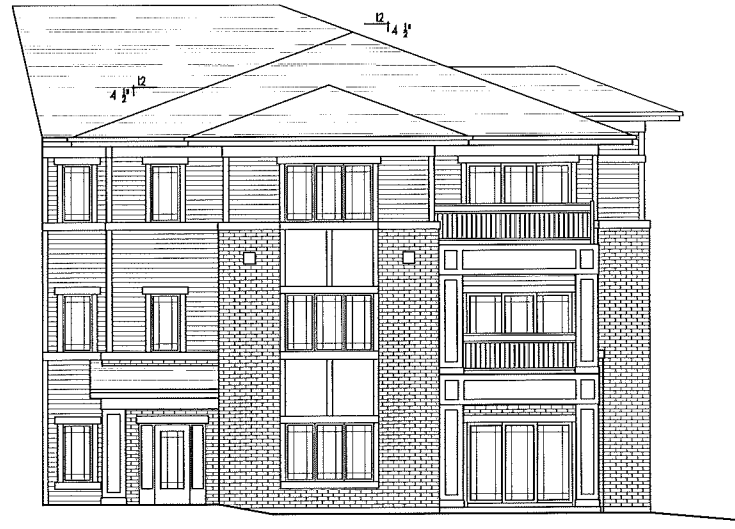
Drawing Name
Bldg A - Elevation

Project Number	Sheet No.
1206	5



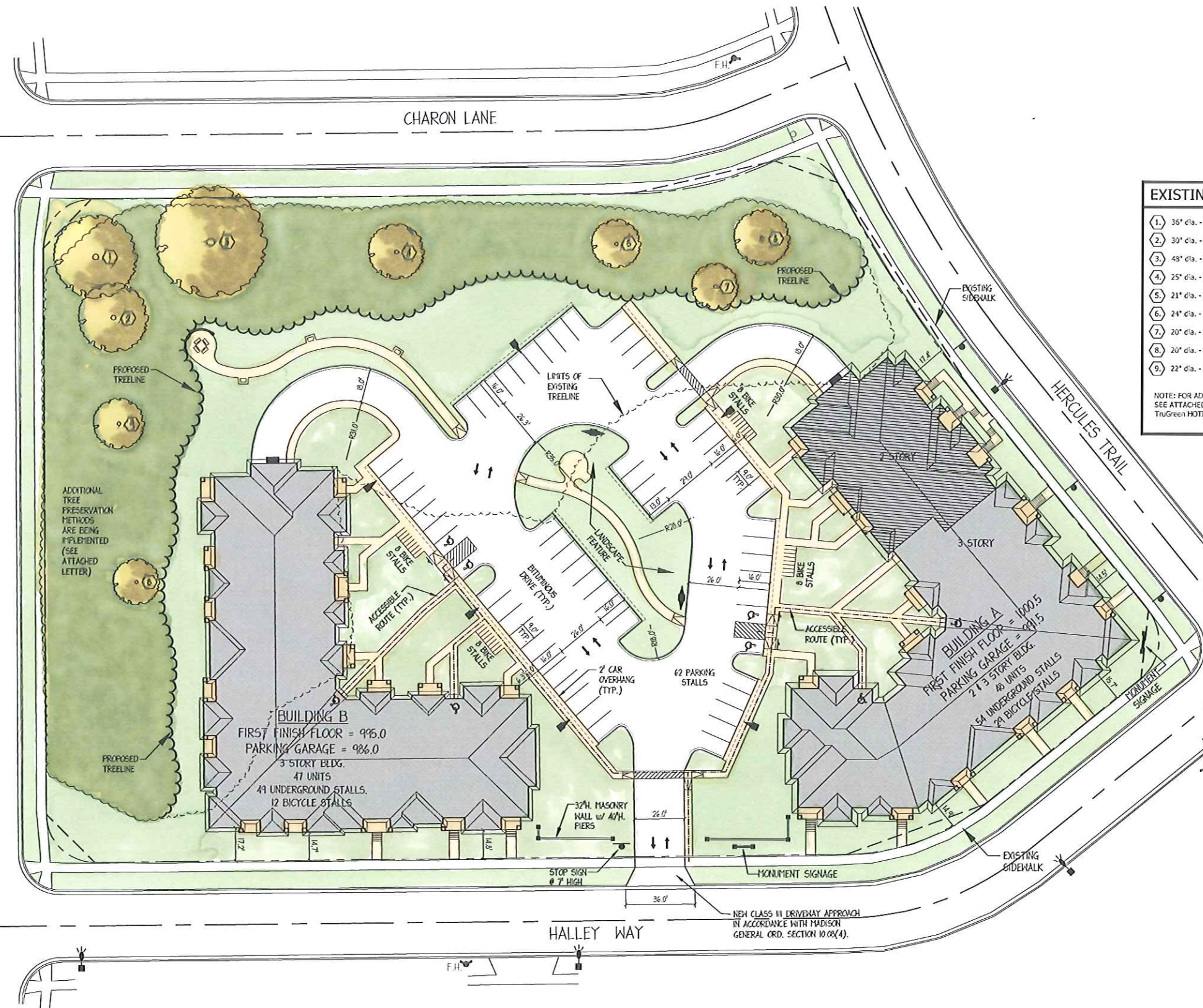
BUILDING A - INSIDE SOUTHWEST ELEVATION
SCALE - 1/8" = 1'-0"

BUILDING A - INSIDE SOUTHWEST ELEVATION
SCALE - 1/8" = 1'-0"



BUILDING A - INSIDE NORTH ELEVATION
SCALE - 1/8" = 1'-0"

JUPITER DRIVE

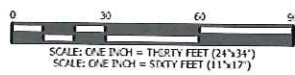


SHEET INDEX	
C-1.1	PROPOSED SITE PLAN
C-1.2	PROPOSED SITE LIGHTING PLAN
C-1.3	PROPOSED FIRE DEPT ACCESS PLAN
C-1.4	PROPOSED SITE DETAILS
C-2.0	EXISTING SITE PLAN
C-3.0	PROPOSED GRADING PLAN
C-4.0	PROPOSED EROSION CONTROL PLAN
C-5.0	PROPOSED UTILITY PLANS
L-1.1	PROPOSED LANDSCAPE PLAN
1	BLDG. A - BASEMENT LEVEL FLOOR PLAN
2	BLDG. A - FLOOR PLANS
3	BLDG. A - ELEVATIONS
4	BLDG. A - ELEVATIONS
5	BLDG. A - ELEVATIONS
6	BLDG. B - BASEMENT LEVEL FLOOR PLAN
7	BLDG. B - FLOOR PLANS
8	BLDG. B - ELEVATIONS
9	BLDG. B - ELEVATIONS

EXISTING TREES	
1	36" dia. - COTTONWOOD
2	30" dia. - COTTONWOOD
3	48" dia. - COTTONWOOD
4	25" dia. - SPRUCE
5	21" dia. - ASH
6	24" dia. - ASH
7	20" dia. - ASH
8	20" dia. - BIRCH
9	22" dia. - BIRCH

NOTE: FOR ADDITIONAL INFO. SEE ATTACHED LETTER FROM THE GREEN HORTICULTURIST.

PROJECT DATA	
SITE DEVELOPMENT DATA:	
DENSITIES:	
LOT AREA:	174,555 sq. ft. / 4.00 ACRE
DWELLING UNITS:	GDP 95 UNITS
	PROPOSED 95 UNITS
LOT AREA PER UNIT:	1,837 sq. ft. / UNIT
DENSITY:	23.75 D.U. / ACRE
SITE COVERAGE:	
BUILDING:	42,581 sq. ft. (24.4%)
PAVEMENT:	29,348 sq. ft. (16.9%)
SIDEWALKS:	7,142 sq. ft. (4.0%)
OPEN SPACE:	95,514 sq. ft. (54.7%)
BUILDING HEIGHT:	
GDP:	2-3 STORIES, 45 FEET
PROPOSED:	2 & 3 STORIES, 45 FEET MAX
VEHICLE PARKING STALLS:	
GDP:	VARIES (WILL BE SET IN SIP)
PROVIDED:	105 UNDERGROUND
	62 SURFACE
TOTAL:	167
PARKING RATIO: 1.77 / D.U.	
BICYCLE PARKING STALLS:	
SURFACE:	32
UNDERGROUND:	41
TOTAL:	73



Site Plan
SCALE - 1" = 30' (1" = 60' @ 11x17)

Site Locator Map



550 Sunrise Drive, Suite 201
Post Office Box 1024
Spring Green, WI 53588

Phone: 608-588-3691
Fax: 608-588-3582

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

UDC Final
10-31-2012

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Drawing Name
Proposed Site Plan

Project Number
1206

Sheet No.
C-1.1