

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by \_\_\_\_\_  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Urban Design District \_\_\_\_\_  
Submission reviewed by \_\_\_\_\_  
Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

## 3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

### Other

Please specify

\_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Project contact person** \_\_\_\_\_

Company \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**5. Required Submittal Materials**

**Application Form**

**Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

**Development Plans** (Refer to checklist on Page 4 for plan details)

**Filing fee**

**Electronic Submittal\***

**Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with \_\_\_\_\_ on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant \_\_\_\_\_ Relationship to property \_\_\_\_\_

Authorizing signature of property owner \_\_\_\_\_  \_\_\_\_\_ Date \_\_\_\_\_

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



April 30, 2021

Ms. Heather Stouder  
Director, Planning Division  
City of Madison Department of Planning & Community & Economic Development  
215 Martin Luther King Jr. Blvd., Ste 017  
Madison, Wisconsin 53703

Re: Letter of Intent – Land Use

100 W Wilson St.  
145, 147, 149, 151 W Wilson St 309, 313, 315, 321 S Henry St  
Madison, WI 53703  
**KBA Project #2017**

Ms. Heather Stouder:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

**Organizational Structure:**

|                  |   |                          |  |
|------------------|---|--------------------------|--|
| <b>Owner:</b>    | Walter Wayne Development, LLC<br>702 N High Point Rd. STE 200<br>Madison, WI 53717<br>(608) 828-9117<br>Contact: Randy Christianson<br>rc@starkcommercial.com | <b>Architect:</b>        | Knothe & Bruce Architects, LLC<br>7601 University Avenue, Ste 201<br>Middleton, WI 53562<br>(608) 836-3690<br>Contact: Kevin Burow<br>kburow@knothebruce.com |
| <b>Engineer:</b> | Vierbicher Associates, Inc.<br>999 Fourier Dr.<br>Madison, WI 53717<br>(608) 826-0532<br>Contact: John Kastner<br>jkas@vierbicher.com                         | <b>Landscape Design:</b> | Vierbicher Associates, Inc.<br>999 Fourier Dr.<br>Madison, WI 53717<br>(608) 826-0532<br>Contact: John Kastner<br>jkas@vierbicher.com                        |

**Introduction:**

This proposed mixed-use development involves the redevelopment of 145, 147, 149, and 151 W Wilson St., and 309, 313, 315, and 321 S Henry St. located at the intersection of W Wilson St. and S Henry St. Located within the Capitol Neighborhoods, the site is currently occupied by residential units. This application requests permission for the development of a new ten-story mixed-use building. The development will include 206 apartment units and prominent first floor commercial space. The site is currently zoned UMX (Urban Mixed-Use) and will remain UMX (Urban Mixed-Use) zoning for the proposed redevelopment.

### **Demolition Standards**

The existing residential buildings are used as rental housing that is predominantly student housing. These buildings have served many people over their time but have become outdated and in need of repairs and updates. We are proposing the existing buildings be demolished. The site is located on a prominent corner in the city that is currently underutilized and would be better utilized as a mixed-use property. The demolition standards will be met, and a Re-use and Recycling Plan will be submitted prior to the deconstruction of the existing structure.

### **Project Description:**

The proposed project is a mixed-use development consisting of 206 apartment units. It also includes a commercial space located on the first floor at the corner of S Henry St. and W Wilson St. The building is ten stories. The new development is comparable to the neighboring buildings in height while maximizing views.

The efficient planning takes the form of an angled “L” in a mix of classic and streamlined architecture. The light and neutral base paired with windows and with dark gray trim respect the surrounding neighborhood, especially the Stoner House across the street from the site. The Metal Panels and Bird-Safe glass on the upper levels ensure the development will become a calm addition to the City of Madison’s skyline. The transitions in both the landscaping and building plans are particularly sensitive to the surrounding neighborhood. The project creates a year-round active transition between residential and commercial spaces downtown while enhancing the streetscapes; it is designed for the community.

The development offers apartments ranging from studio to two bedrooms, and the unique shape of the upper tower allows for approximately 85% of the units have unblocked lake views. A pool with lake views, a dog run and pet washing station, and a golf simulator are a few of the offered amenities. Community spaces such as co-working spaces, community room, kitchen, a solarium, and fitness rooms are also provided. Underground parking is provided at three levels within the building and accessed from both W Wilson St. and S Henry St. The site is also at the intersection of the number 12 bus stop and only two blocks away from the State Capital, allowing for easy access to many areas of the City.

In addition to amenities, the building also offers a sustainable living experience. The building offers a 1:1 bike parking ratio for residents, and electric car charging stations. Units are equipped with low flow fixtures, energy star appliances, and high-performance glass while maximizing natural light. Green roofs and native vegetation in the landscape create a total sustainable environment and it is our intention to add solar panels to the project.

### **City and Neighborhood Input:**

We have met with the City on several occasions for this proposed development including a pre-application meeting on July 23, 2020 with Kevin Firchow and Sydney Prusak of City of Madison Planning, and Jenny Kirchgatter of City of Madison Zoning. It was presented at an Informational UDC Meeting on February 10, 2021. We have also met with the Steering Committee members of the Capitol Neighborhoods on multiple occasions and a full neighborhood meeting was hosted by Alder Verveer. This input has helped shape this proposed development.

**Conditional Use Approvals:**

The proposed development requires a conditional use to allow for a more than 8 multi-family dwelling units in a mixed-use building. The proposed building's size, scale and use are consistent with the City's Comprehensive Plan for this property, which calls for Downtown Core (DC) development. We have met or exceeded all standards of the UMX (Urban Mixed-Use) zoning.

**Site Development Data:**

**Densities:**

|                   |                         |
|-------------------|-------------------------|
| Lot Area          | 34,703 S.F. / 0.8 acres |
| Dwelling Units    | 206 D.U.                |
| Lot Area / D.U.   | 168 S.F./D.U.           |
| Density           | 258 units/acre          |
| Lot Coverage      | 30,610 S.F. / 88%       |
| Usable Open Space | 18,787 S.F.             |

**Building Height:** 2 - 10 Stories / 28'-8" - 125'-0"

**Commercial Area:** 809 S.F.

**Dwelling Unit Mix:**

|             |          |
|-------------|----------|
| Studio      | 69       |
| One Bedroom | 112      |
| Two Bedroom | 25       |
| Total       | 206 D.U. |

**Vehicle Parking:**

|                     |                    |
|---------------------|--------------------|
| Underground Parking | 229                |
| Total               | 229 vehicle stalls |

**Bicycle Parking:**

|                      |                 |
|----------------------|-----------------|
| Covered - Secure     | 206             |
| Surface - Guest      | 21              |
| Surface - Commercial | 1               |
| Total                | 228 bike stalls |

**Project Schedule:**

It is anticipated that construction will start in Fall 2021 and be completed in Spring 2023.

Thank you for your time and consideration of our proposal.

Sincerely,



Kevin Burow, AIA, NCARB, LEED AP  
Managing Member

## PROJECT GOALS

### Maximize Views

- Orient massing to maximize views of Lake & Capitol
- Orient amenities/pool with view to the Lake
- Take advantage of prominent views from John Nolen Drive

### Efficiency of Planning

- Efficiency of building form
- Consistency of unit types & floor plates
- Strategic amenity programming

### Classic & Streamlined Architecture

- Efficiency of building form
- Clarity in massing, materials & hierarchy
- Simplify language

### Financially Responsible

- Leverage efficiency of planning & streamlined architecture
- Hit target demographic & price point
- Design for staying power

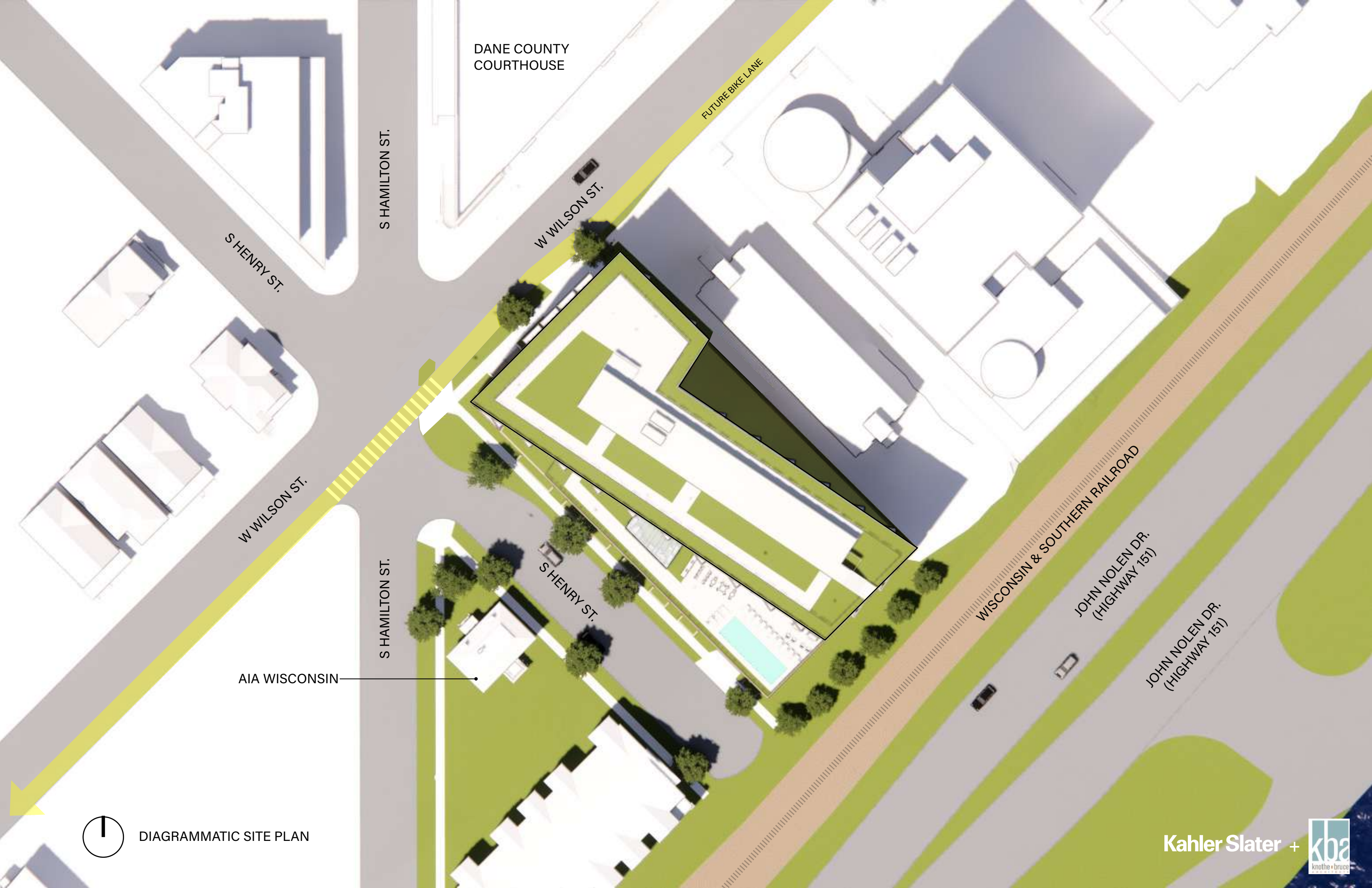
### Designing for Community

- Make design decisions based on target demographic & wellness concepts
- Design for community interaction within building
- Be good neighbors



## PROJECT LOCATION





DANE COUNTY COURTHOUSE

FUTURE BIKE LANE

S HAMILTON ST.

W WILSON ST.

S HENRY ST.

W WILSON ST.

S HAMILTON ST.

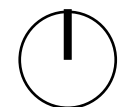
S HENRY ST.

AIA WISCONSIN

WISCONSIN & SOUTHERN RAILROAD

JOHN NOLEN DR. (HIGHWAY 151)

JOHN NOLEN DR. (HIGHWAY 151)



DIAGRAMMATIC SITE PLAN

Kahler Slater +





200+ UNIT APT TOWER

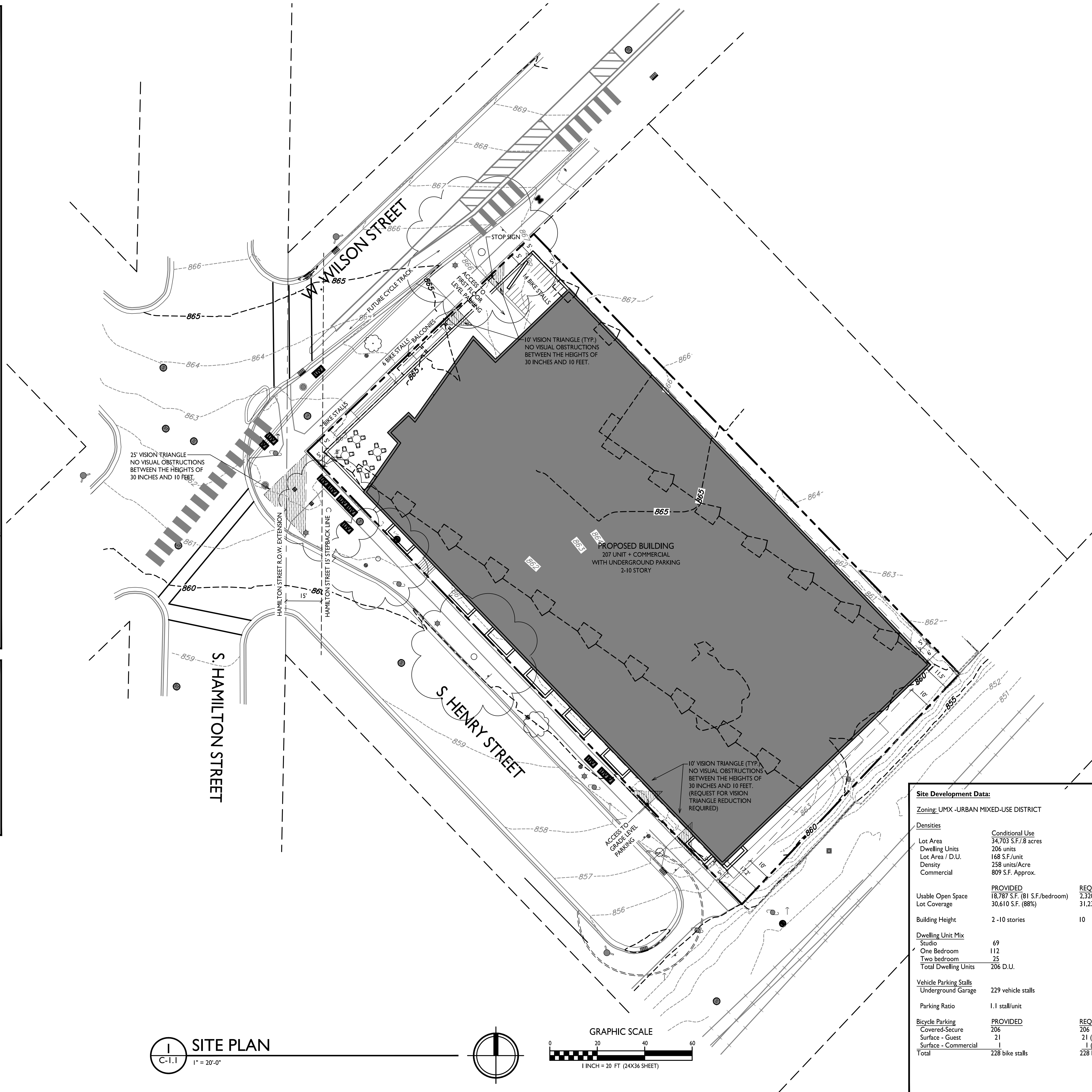
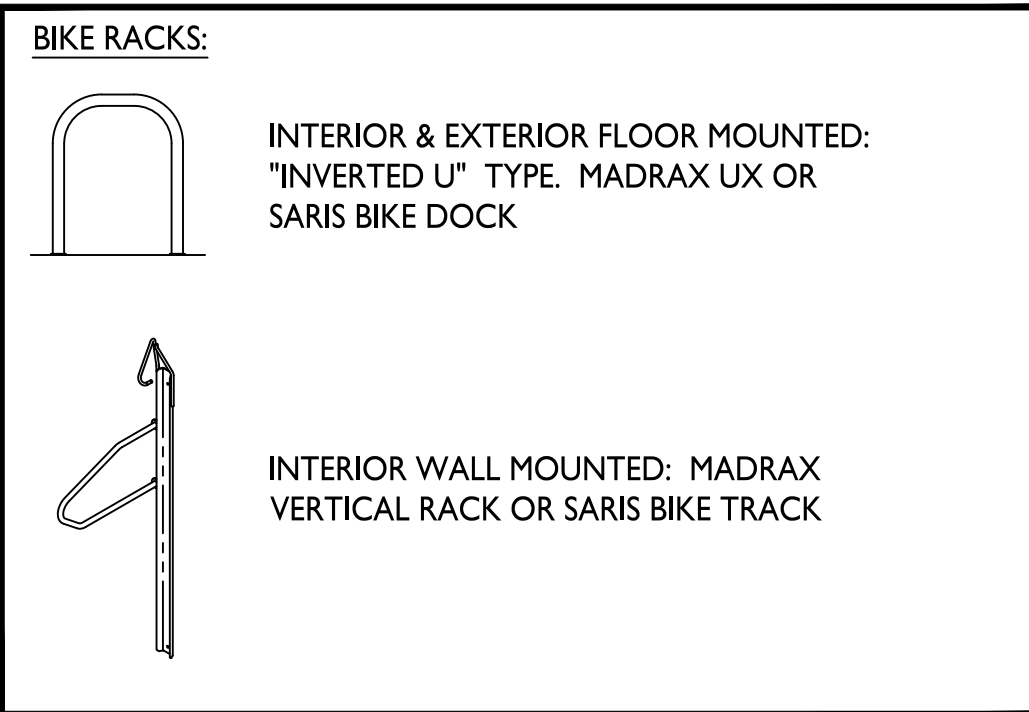
ACCESSIBLE GREEN  
ROOFTOP WITH  
POTENTIAL SOLAR  
PANELS

PARKING PODIUM

AMENITY ROOF DECK

**GENERAL NOTES:**

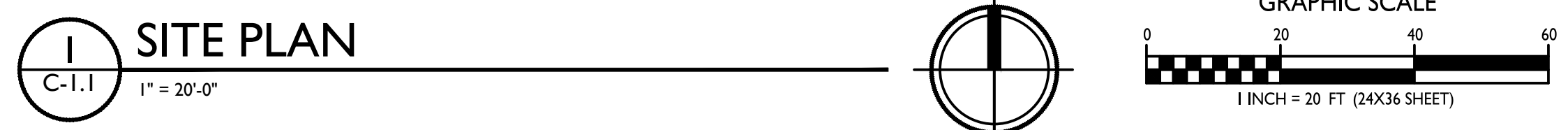
1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:  
[HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
10. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
11. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



**Site Development Data:**

Zoning: UMX - URBAN MIXED-USE DISTRICT

| Densities                     | Conditional Use               | REQUIRED                          |
|-------------------------------|-------------------------------|-----------------------------------|
| Lot Area                      | 34,703 S.F./8 acres           |                                   |
| Dwelling Units                | 206 units                     |                                   |
| Lot Area / D.U.               | 168 S.F./unit                 |                                   |
| Density                       | 258 units/Acre                |                                   |
| Commercial                    | 809 S.F. Approx.              |                                   |
| Usable Open Space             | 18,787 S.F. (81 S.F./bedroom) | 2,320 S.F. (10 S.F./Bedroom) Min. |
| Lot Coverage                  | 30,610 S.F. (88%)             | 31,233 S.F. (90%) Max.            |
| Building Height               | 2 -10 stories                 | 10                                |
| <b>Dwelling Unit Mix</b>      |                               |                                   |
| Studio                        | 69                            |                                   |
| One Bedroom                   | 112                           |                                   |
| Two bedroom                   | 25                            |                                   |
| Total Dwelling Units          | 206 D.U.                      |                                   |
| <b>Vehicle Parking Stalls</b> |                               |                                   |
| Underground Garage            | 229 vehicle stalls            |                                   |
| Parking Ratio                 | 1.1 stall/unit                |                                   |
| <b>Bicycle Parking</b>        |                               |                                   |
| Covered-Secure                | 206                           | 206                               |
| Surface - Guest               | 21                            | 21 (10% of units)                 |
| Surface - Commercial          | 1                             | 1 (1/2,000 S.F.)                  |
| Total                         | 228 bike stalls               | 228 bike stalls                   |



**SITE PLAN**  
C-1.1  
1" = 20'-0"

ISSUED  
Issued for Land Use Submittal - March 3, 2021

PROJECT TITLE  
**West Wilson St  
Development**

145 - 151 W Wilson &  
309 - 321 S Henry St  
Madison, Wisconsin

SHEET TITLE  
**Site Plan**

SHEET NUMBER

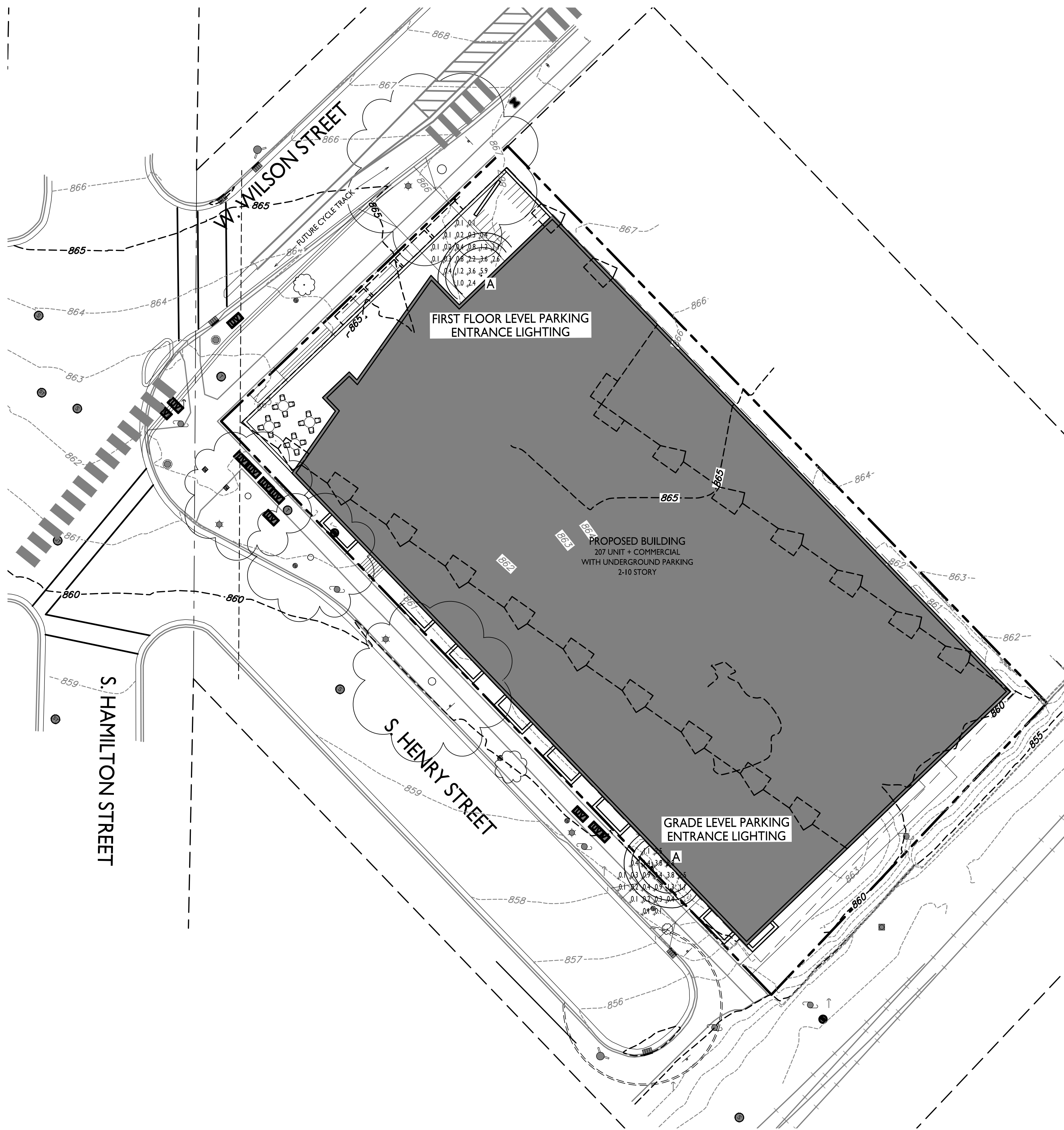
**C-1.1**

PROJECT NO. **2017**  
© Knothe & Bruce Architects, LLC

| STATISTICS                                  |        |        |        |        |             |             |
|---|--------|--------|--------|--------|-------------|-------------|
| DESCRIPTION                                 | SYMBOL | AVG.   | MAX.   | MIN.   | MAX. / MIN. | AVG. / MIN. |
| First Floor Level Parking Entrance Lighting | +      | 1.2 fc | 5.9 fc | 0.1 fc | 59.0:1      | 12.0:1      |
| Grade Level Parking Entrance Lighting       | +      | 1.3 fc | 4.8 fc | 0.1 fc | 58.0:1      | 13.0:1      |

| LUMINAIRE SCHEDULE |       |      |                   |                   |                             |                       |                               |
|--------------------|-------|------|-------------------|-------------------|-----------------------------|-----------------------|-------------------------------|
| SYMBOL             | LABEL | QTY. | MANUF.            | CATALOG           | DESCRIPTION                 | FILE                  | MOUNTING                      |
| +                  | A     | 1    | LITHONIA LIGHTING | LIL LED 30K MVOLT | LIL LED WALLPACK (STANDARD) | LIL_LED_30K_MVOLT.ies | ON BUILDING 8'-0" ABOVE GRADE |

**EXAMPLE LIGHT FIXTURE DISTRIBUTION**



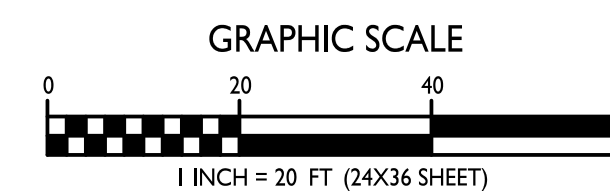
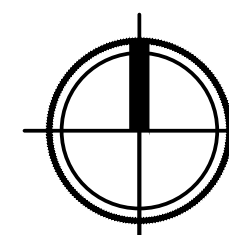
ISSUED  
Issued for Land Use Submittal - March 3, 2021

PROJECT TITLE  
**West Wilson St  
Development**

145 - 151 W Wilson &  
309 - 321 S Henry St  
Madison, WI 53703  
SHEET TITLE  
**Site Lighting Plan**

SHEET NUMBER

**1** SITE LIGHTING PLAN  
C-1.2 1" = 20'-0"



**C-1.2**

PROJECT NO. **2017**  
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ARCHITECTS

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608.836.3690 Middleton, WI 53562

**Kahler Slater**

ISSUED  
Issued for Land Use Submittal - March 3, 2021

PROJECT TITLE  
**West Wilson St  
Development**

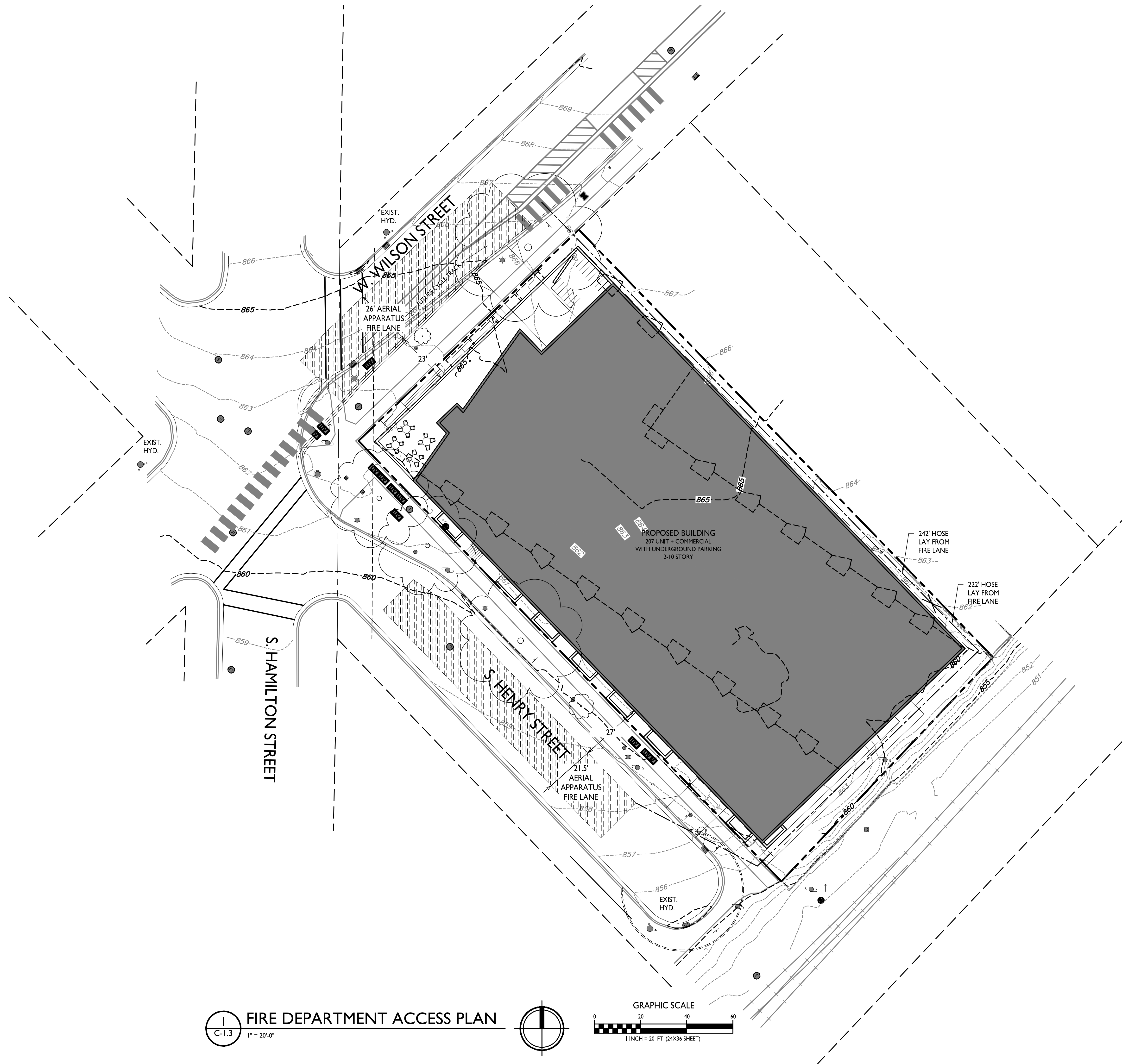
145 - 151 W Wilson &  
309 - 321 S Henry St  
Madison, WI 53703  
SHEET TITLE  
**Fire Department  
Access Plan**

SHEET NUMBER

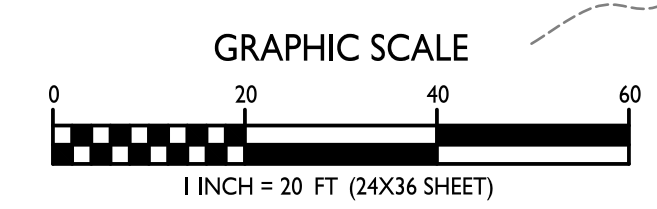
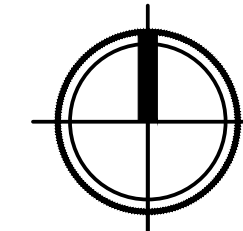
**C-1.3**

PROJECT NO. **2017**

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**FIRE DEPARTMENT ACCESS PLAN**  
C-1.3 1" = 20'-0"





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Issued for Land Use Submittal - March 3, 2021

PROJECT TITLE  
**West Wilson St  
Development**

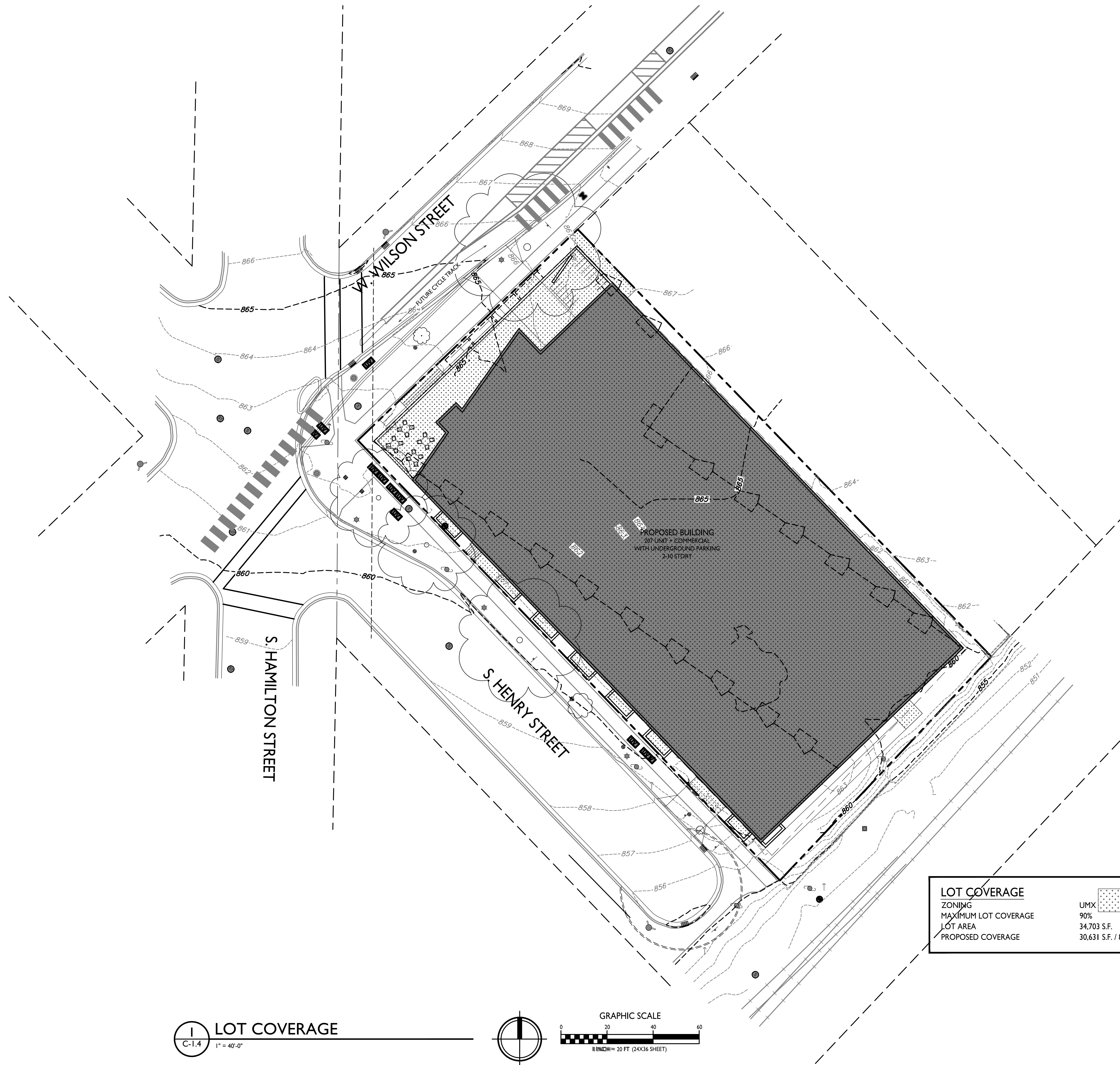
145 - 151 W Wilson &  
309 - 321 S Henry St  
Madison, Wisconsin  
SHEET TITLE  
**Lot Coverage**

SHEET NUMBER

**C-1.4**

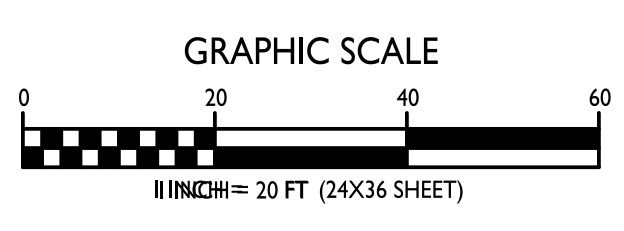
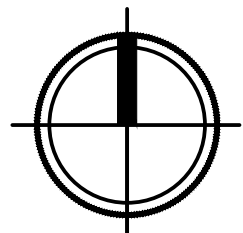
PROJECT NO. **2017**

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| LOT COVERAGE         |                   |
|----------------------|-------------------|
| ZONING               | UMX               |
| MAXIMUM LOT COVERAGE | 90%               |
| LOT AREA             | 34,703 S.F.       |
| PROPOSED COVERAGE    | 30,631 S.F. / 88% |

**LOT COVERAGE**  
C-1.4 1" = 40'-0"





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Issued for Land Use Submittal - March 3, 2021

PROJECT TITLE  
**West Wilson St  
Development**

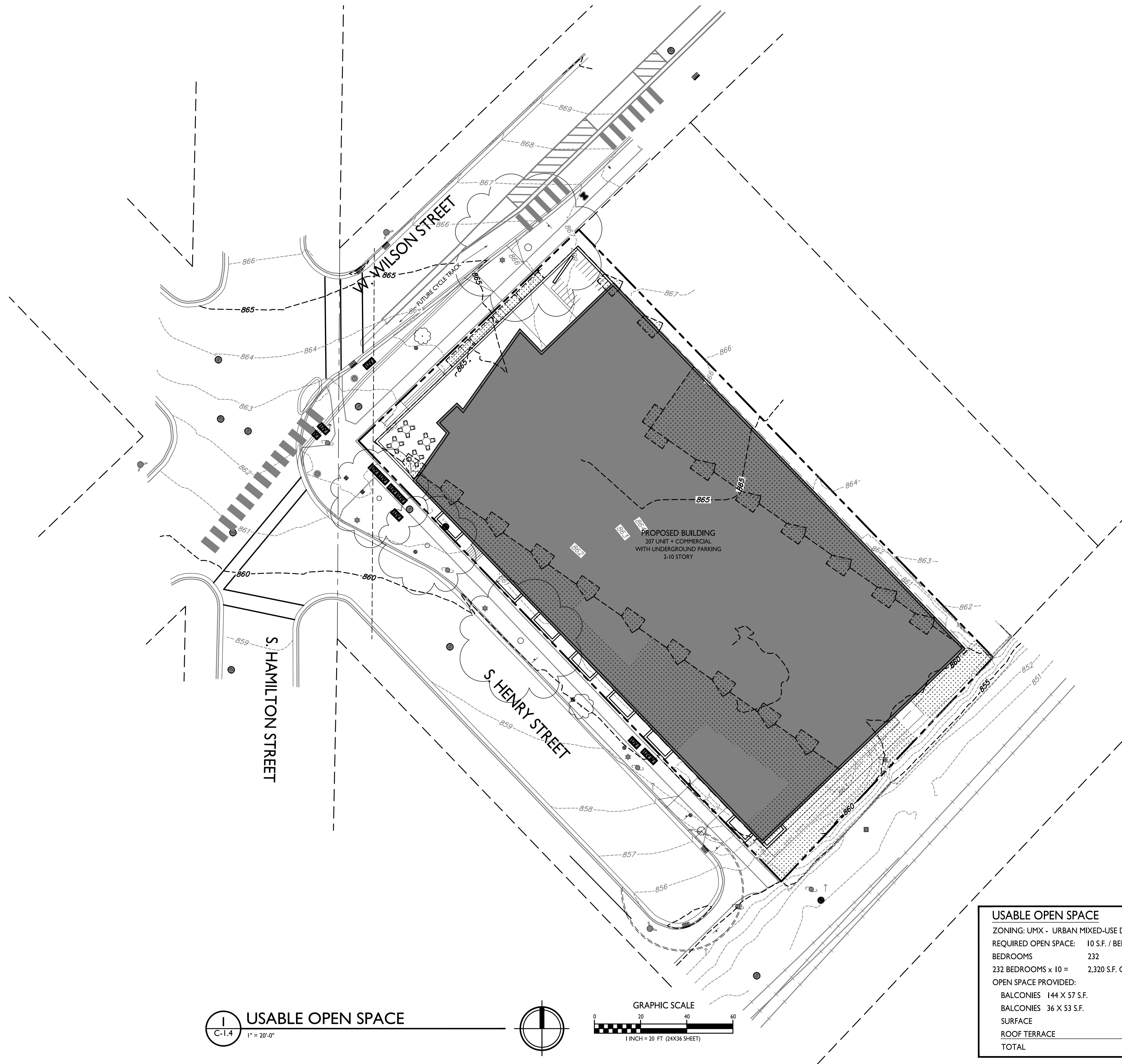
145 - 151 W Wilson &  
309 - 321 S Henry St  
Madison, Wisconsin  
SHEET TITLE  
**Usable Open  
Space**

SHEET NUMBER

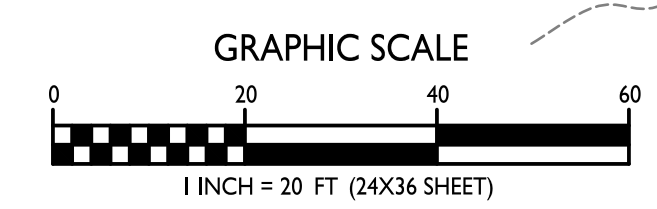
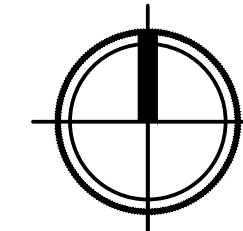
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PROJECT NO. **2017**

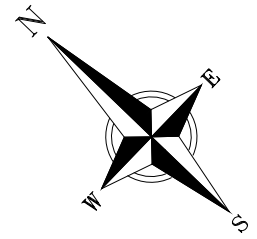
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**USABLE OPEN SPACE**  
C-1.4 1" = 20'-0"



| USABLE OPEN SPACE                      |                                |
|--|--------------------------------|
| ZONING: UMX - URBAN MIXED-USE DISTRICT |                                |
| REQUIRED OPEN SPACE: 10 S.F. / BEDROOM |                                |
| BEDROOMS 232                           |                                |
| 232 BEDROOMS x 10 =                    | 2,320 S.F. OPEN SPACE REQUIRED |
| OPEN SPACE PROVIDED:                   |                                |
| BALCONIES 144 X 57 S.F.                | 8,265 S.F.                     |
| BALCONIES 36 X 53 S.F.                 | 1,908 S.F.                     |
| SURFACE                                | 1,779 S.F.                     |
| ROOF TERRACE                           | 6,835 S.F.                     |
| <b>TOTAL</b>                           | <b>18,787 S.F.</b>             |



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN. THE SOUTHWESTERLY LINE OF LOT 1, BLOCK 20, PLAT OF MADISON, MEASURED AS BEARING N43°30'58"W

0 20 40  
SCALE: ONE INCH = 20 FEET

**SURVEYED FOR:**  
WALTER WAYNE DEVELOPMENT  
ATTN: DAVE DIAMOND  
702 NORTH HIGH POINT ROAD, SUITE 200  
MADISON, WI 53717

**SURVEYED BY:**  
VERBICHER ASSOCIATES, INC.  
BY: DAVID N. GULLICKSON  
999 FOURIER DRIVE,  
SUITE 201  
MADISON, WI 53717  
(608)-821-3966  
dgu@verbicher.com

**PROJECT BENCHMARKS:**

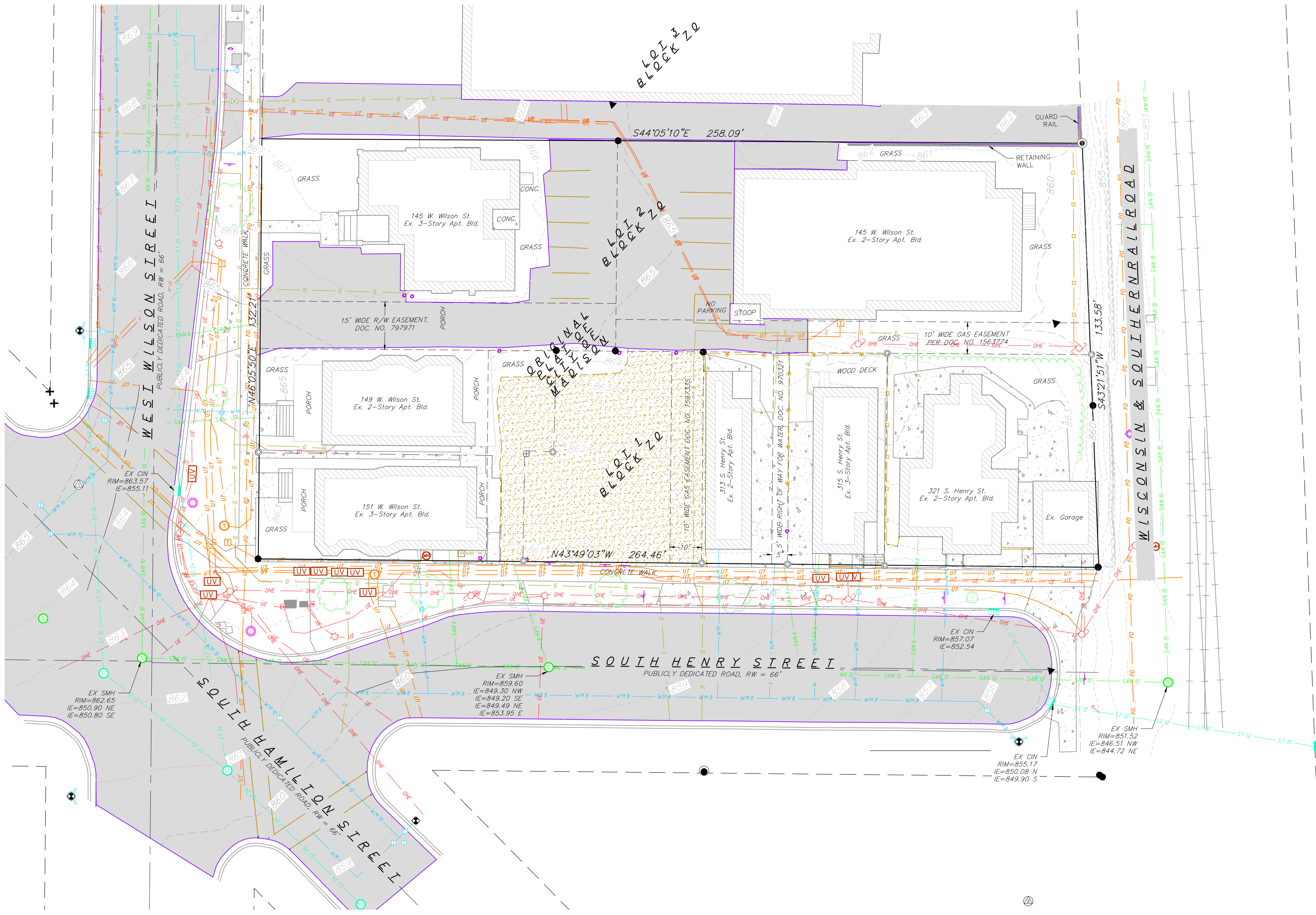
① BENCHMARK 1 - ELEV. = 859.42  
TOP NUT OF FIRE HYDRANT LOCATED AT THE INTERSECTION OF WEST WILSON STREET AND SOUTH HAMILTON STREET.

② BENCHMARK 2 - ELEV. = 858.98  
TOP NUT OF FIRE HYDRANT LOCATED ON THE EASTERLY END OF SOUTH HENRY STREET.

③ BENCHMARK 3 - ELEV. = 864.04  
TOP NUT OF FIRE HYDRANT LOCATED AT THE INTERSECTION OF WEST WILSON STREET AND SOUTH HAMILTON STREET.

- NOTES:**
- This survey is based upon field survey work performed between November 18 and November 20, 2020. Any changes in site conditions after December 2, 2020 are not reflected by this survey.
  - Elevations depicted on this map are based upon NAVD88 (2012 Geoid) Datum.
  - Benchmarks shall be verified before construction.
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
  - Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket number 20204702179, 20204702185, 20204702230, 20204702225, 20204702233, 20204702252, 20204702257, 20204702274, 20204702301, 20204702311, and 20204702179. Location of buried private utilities are not within the scope of this survey.
  - No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
  - The location of existing underground utilities as shown hereon has been determined from the best available information and is given for the convenience of the contractor. The owner and the engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.
  - The contractor shall keep all streets free and clear of construction related dirt/dust/debris.
  - These drawings assume that the contractor will utilize an electronic drawing file and stake all site improvements using coordinates tied into control points. The dimensions indicated on the drawings are for the convenience of the contractor only.
  - Prior to the use of these drawings for construction purposes, the user shall verify all dimensions and locations of buildings with the foundation drawings and architectural site plan. If conflicts exist the user of these drawings shall contact the engineer immediately.

- SURVEY LEGEND**
- Ⓢ BENCHMARK
  - ✕ FOUND CHISELED "X"
  - ▲ FOUND PK NAIL
  - FOUND 1" Ø IRON PIPE
  - ⊗ FOUND 2" Ø IRON PIPE
  - FOUND 1 1/4" Ø IRON ROD
  - FOUND 3/4" Ø IRON ROD



**TOPOGRAPHIC SYMBOL LEGEND**

- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING POST
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING TRAFFIC SIGNAL
- EXISTING DECIDUOUS TREE

**TOPOGRAPHIC LINEWORK LEGEND**

- FO EXISTING FIBER OPTIC LINE
- UT EXISTING UNDERGROUND TELEPHONE
- G EXISTING GAS LINE
- UE EXISTING UNDERGROUND ELECTRIC LINE
- OHE EXISTING OVERHEAD ELECTRIC LINE
- SAN EXISTING SANITARY SEWER LINE
- SAN 10 EXISTING 10" SANITARY SEWER LINE
- SAN 12 EXISTING 12" SANITARY SEWER LINE
- SAN 15 EXISTING 15" SANITARY SEWER LINE
- ST EXISTING 12" STORM SEWER LINE
- ST 15 EXISTING 15" STORM SEWER LINE
- ST 24 EXISTING 24" STORM SEWER LINE
- WM EXISTING WATER MAIN
- WM 8 EXISTING 8" WATER MAIN
- WM 10 EXISTING 10" WATER MAIN
- WM 16 EXISTING 16" WATER MAIN
- RA EXISTING RAILING/GUARD RAIL
- CL EXISTING CHAIN LINK FENCE
- WF EXISTING WOOD FENCE
- RT EXISTING RETAINING WALL
- ET EXISTING EDGE OF TREES
- RR EXISTING RAILING
- 820 EXISTING MAJOR CONTOUR
- 818 EXISTING MINOR CONTOUR

**TOPOGRAPHIC HATCHING LEGEND**

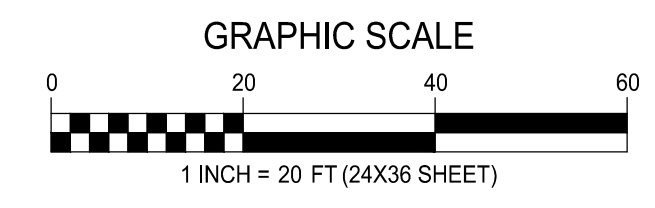
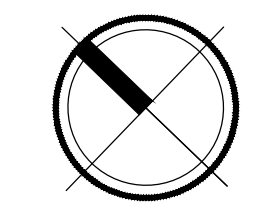
- EXISTING CONCRETE PAVEMENT/SIDEWALK
- EXISTING GRAVEL
- EXISTING ASPHALT PAVEMENT

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511

1 EXISTING CONDITIONS  
C-0.1 1" = 20'-0"



**knothe bruce**  
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608.836.3690 Middleton, WI 53562  
CONSULTANT

**verbicher**  
planners | engineers | advisors  
Phone: (800) 261-3898

ISSUED

PROJECT TITLE  
**West Wilson Street Development**

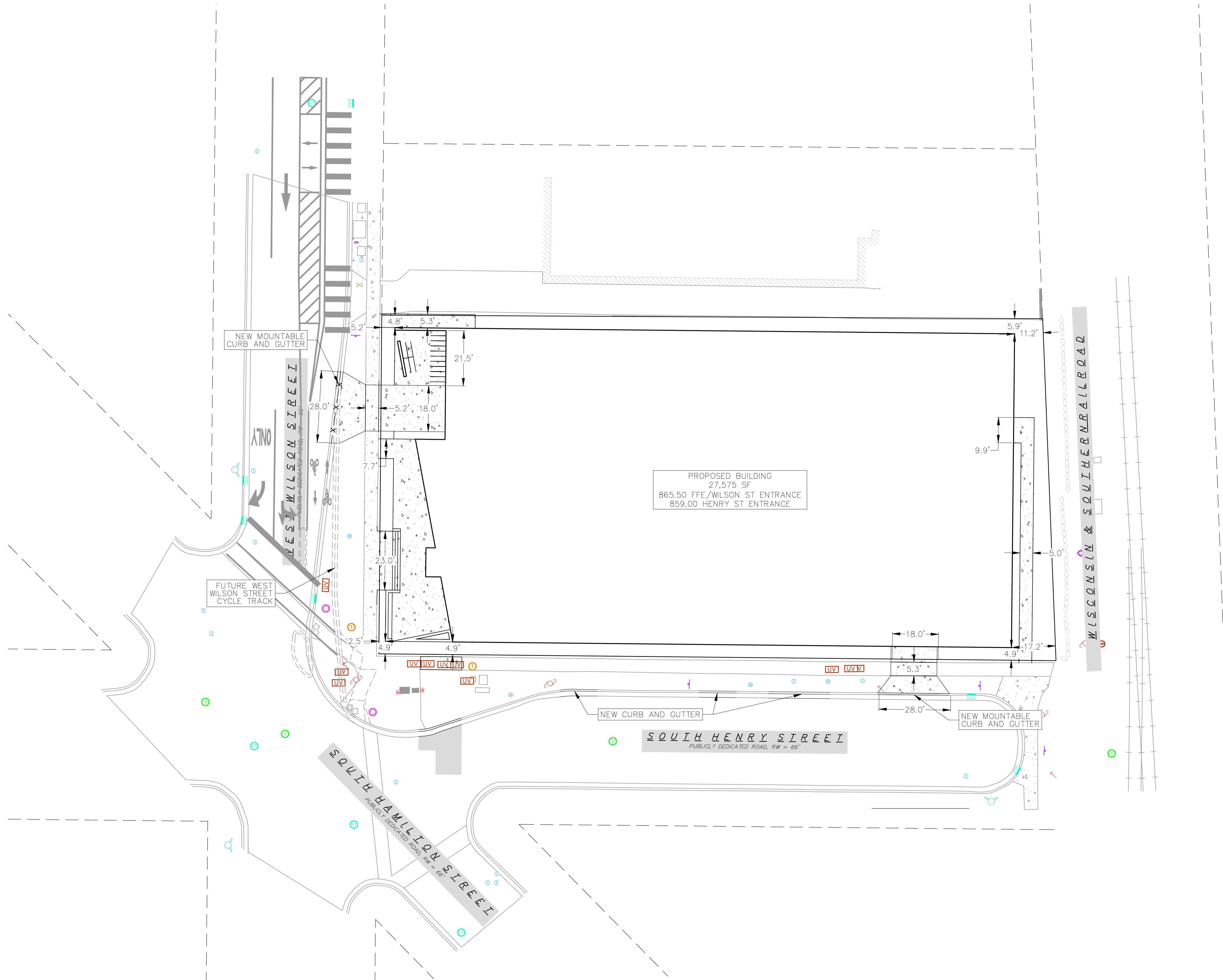
SHEET TITLE  
**Existing Conditions**

SHEET NUMBER

**C-0.1**

PROJECT NO. 200299  
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**SITE PLAN LEGEND**

|  |  |
|--|--|
|  | PROPERTY BOUNDARY                      |
|  | CURB AND GUTTER (REVERSE CURB HATCHED) |
|  | PROPOSED LIGHT-DUTY ASPHALT            |
|  | PROPOSED CONCRETE                      |

- SITE PLAN NOTES:**
1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
  2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
  3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
  4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
  5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
  6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
  7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY OF MADISON ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

CONSULTANT

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PROJECT TITLE  
**West Wilson Street  
 Development**

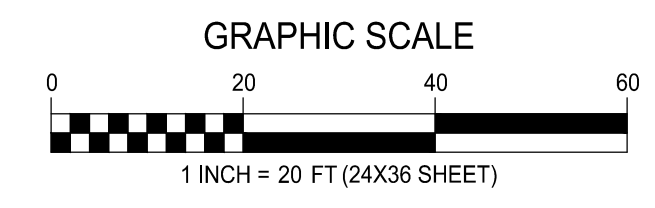
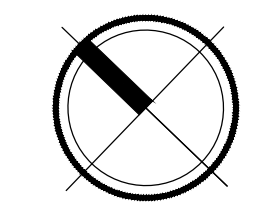
Madison, WI  
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**Site Plan**

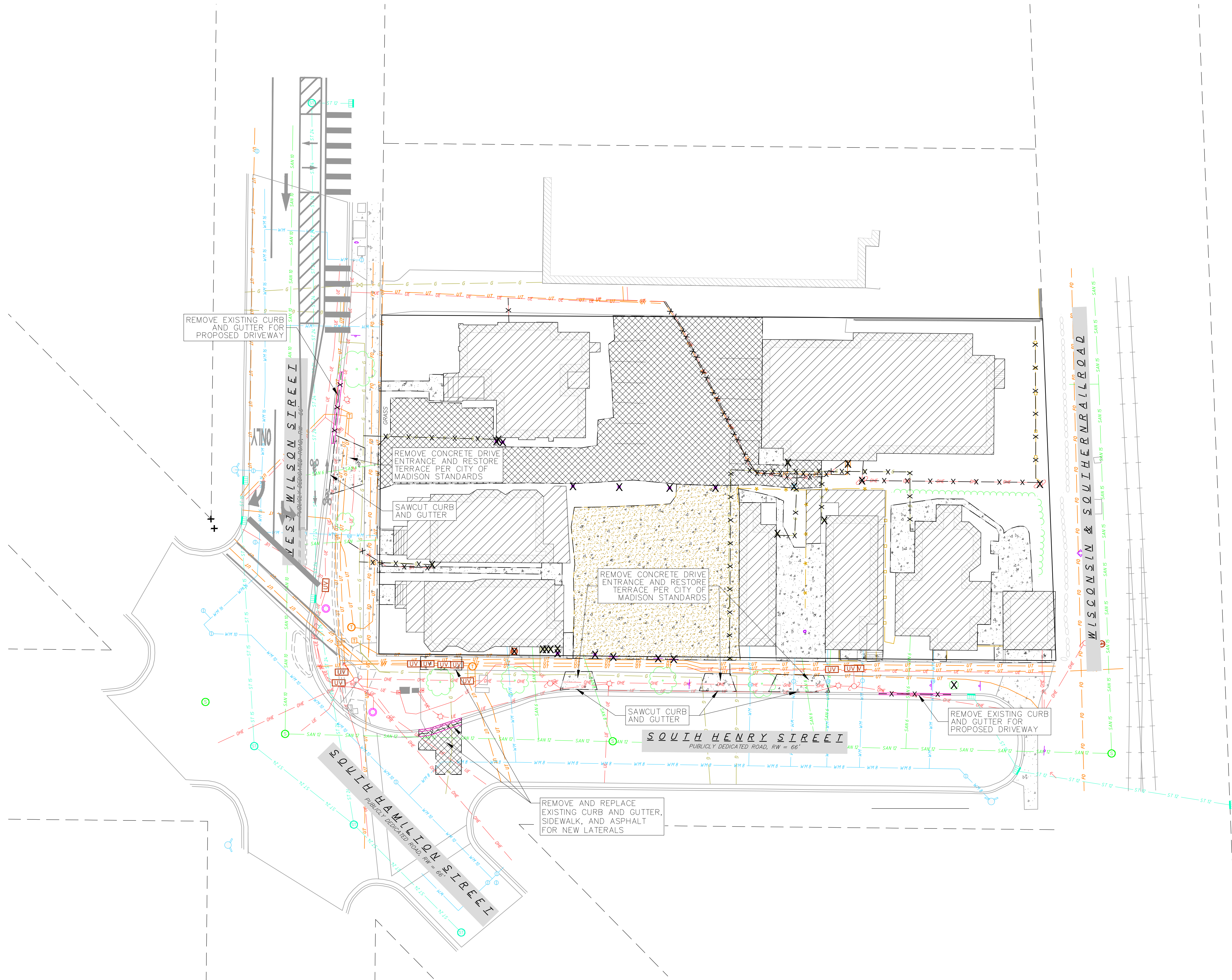
SHEET NUMBER

**C-1.1**

PROJECT NO. **200299**  
 © Knothe & Bruce Architects, LLC

**1** SITE PLAN  
 C-1.1 1" = 20'-0"





**DEMOLITION PLAN LEGEND**

|  |                           |
|--|---------------------------|
|  | CURB AND GUTTER REMOVAL   |
|  | ASPHALT REMOVAL           |
|  | CONCRETE REMOVAL          |
|  | BUILDING REMOVAL          |
|  | TREE REMOVAL              |
|  | SAWCUT                    |
|  | UTILITY STRUCTURE REMOVAL |
|  | UTILITY LINE REMOVAL      |

- DEMOLITION NOTES:**
- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
  - COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
  - ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
  - CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
  - COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
  - IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
  - ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
  - CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
  - CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
  - ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

ISSUED

PROJECT TITLE  
**West Wilson Street  
 Development**

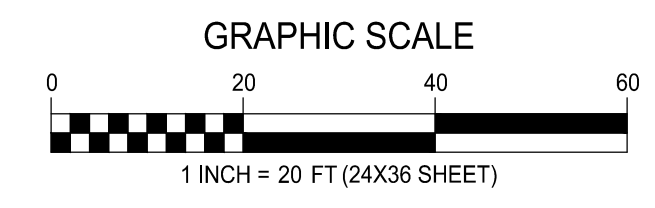
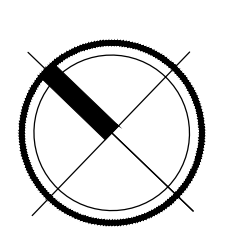
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 Madison, WI  
 SHEET TITLE  
**Demolition Plan**

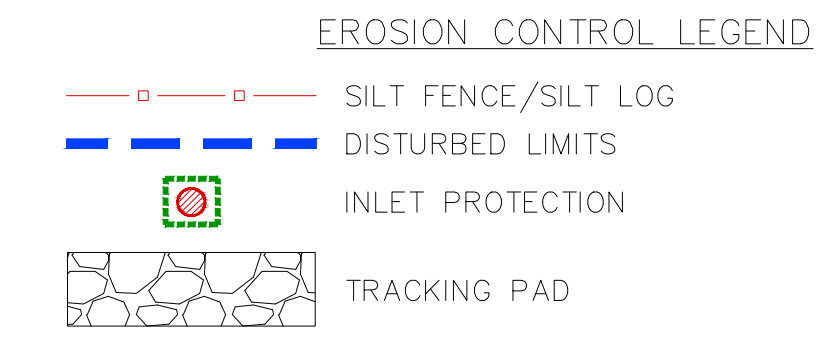
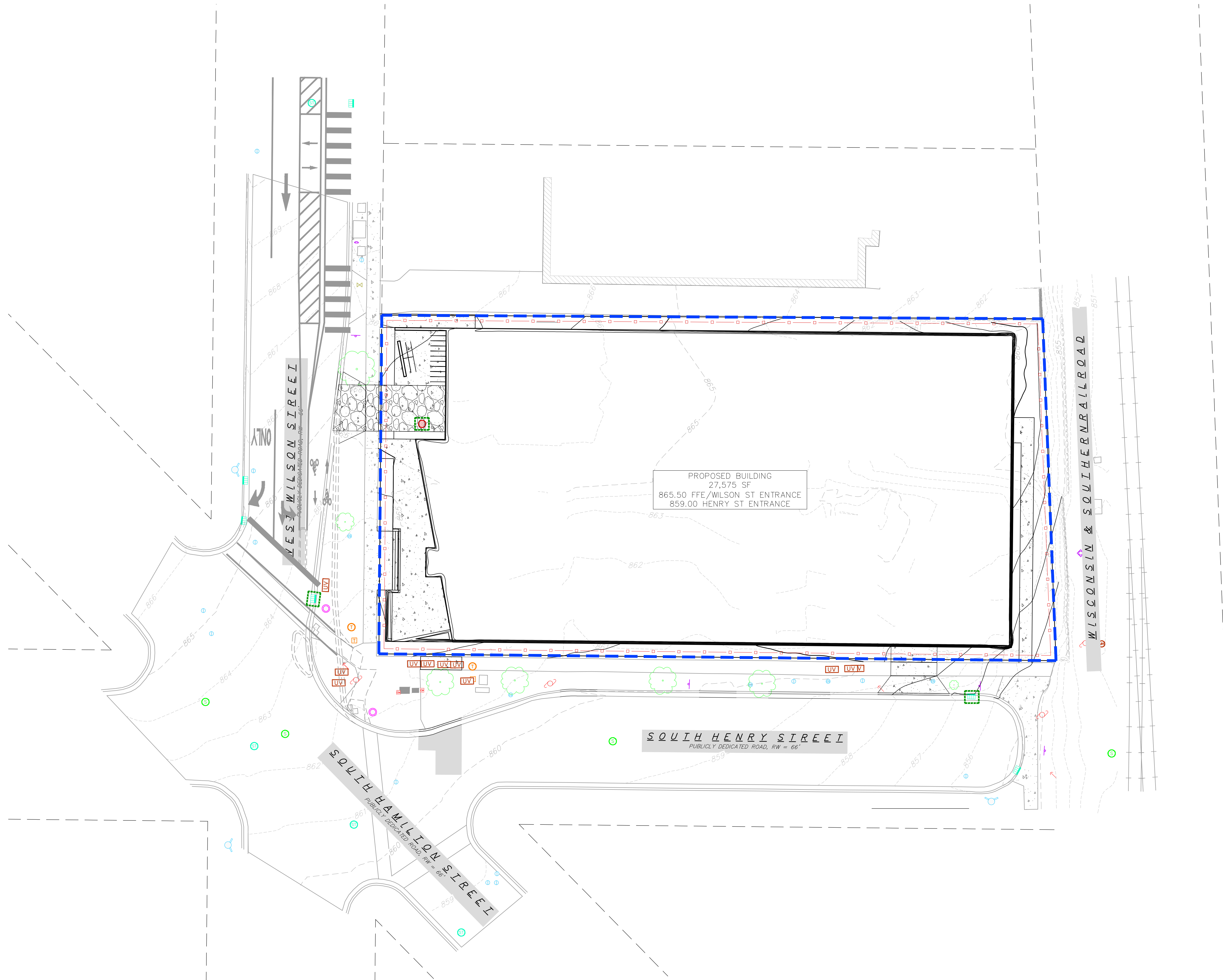
SHEET NUMBER

**C-2.0**

PROJECT NO. **200299**  
 © Knothe & Bruce Architects, LLC

**1**  
 C-2.0  
 DEMOLITION PLAN  
 1" = 20'-0"





- GENERAL NOTES:**
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
  2. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
  3. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.

CONSULTANT



**vierbicher**  
 planners | engineers | advisors  
 Phone: (800) 261-3898

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PROJECT TITLE  
**West Wilson Street  
 Development**

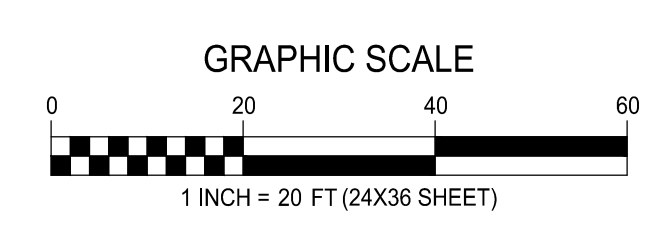
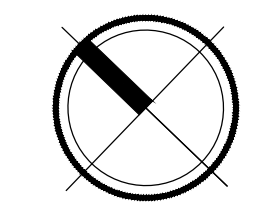
Madison, WI  
 SHEET TITLE  
**Erosion Control  
 Plan**

SHEET NUMBER

**C-3.0**

PROJECT NO. **200299**  
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**1** EROSION CONTROL PLAN  
 C-3.0 1" = 20'-0"



- GRADING LEGEND**
- 820 --- EXISTING MAJOR CONTOURS
  - 818 --- EXISTING MINOR CONTOURS
  - 820 --- PROPOSED MAJOR CONTOURS
  - 818 --- PROPOSED MINOR CONTOURS
  - ⇒ DRAINAGE DIRECTION
  - 2.92% PROPOSED SLOPE ARROWS
  - ⊕ 1048.61 EXISTING SPOT ELEVATIONS
  - 1048.61 PROPOSED SPOT ELEVATIONS



**knothe bruce**  
ARCHITECTS

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608.836.3690 Middleton, WI 53562

CONSULTANT



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PROJECT TITLE  
**West Wilson Street  
Development**

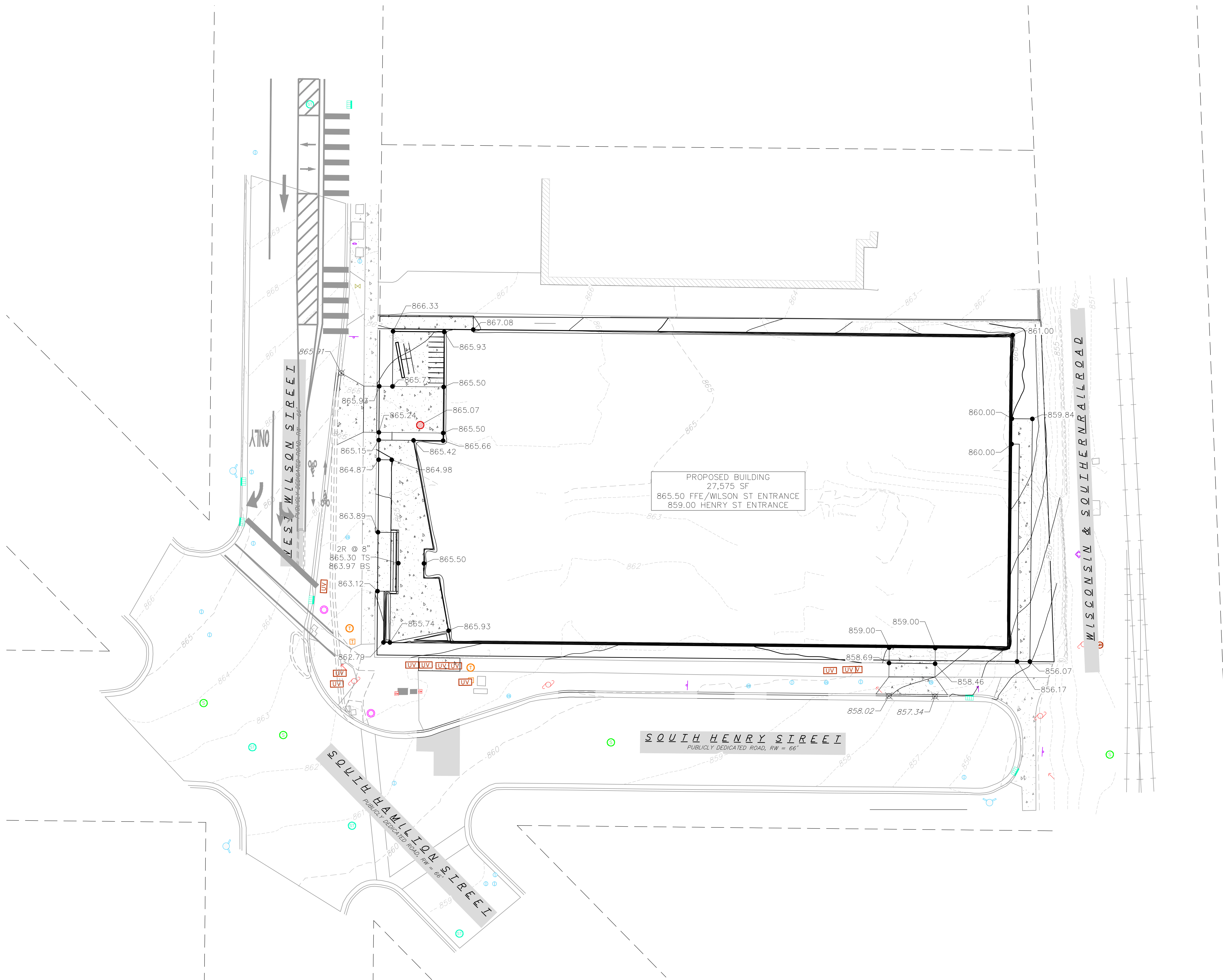
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SHEET TITLE  
**Grading Plan**

SHEET NUMBER

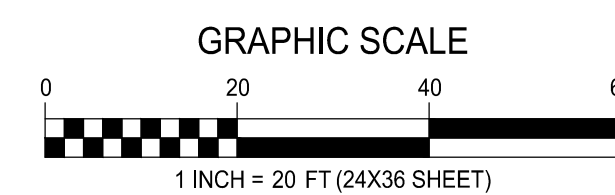
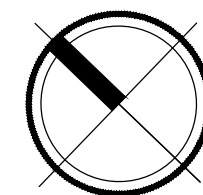
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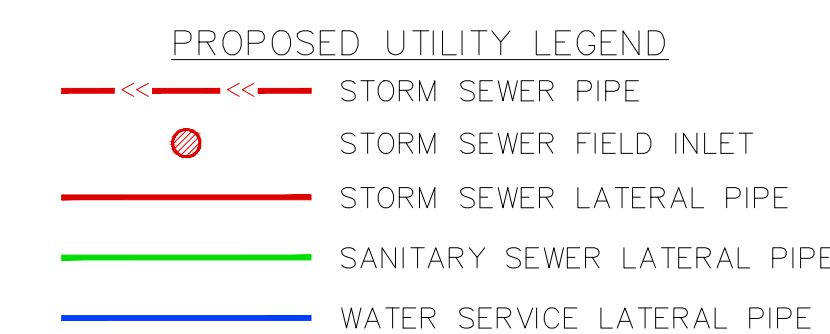
PROJECT NO. 200299

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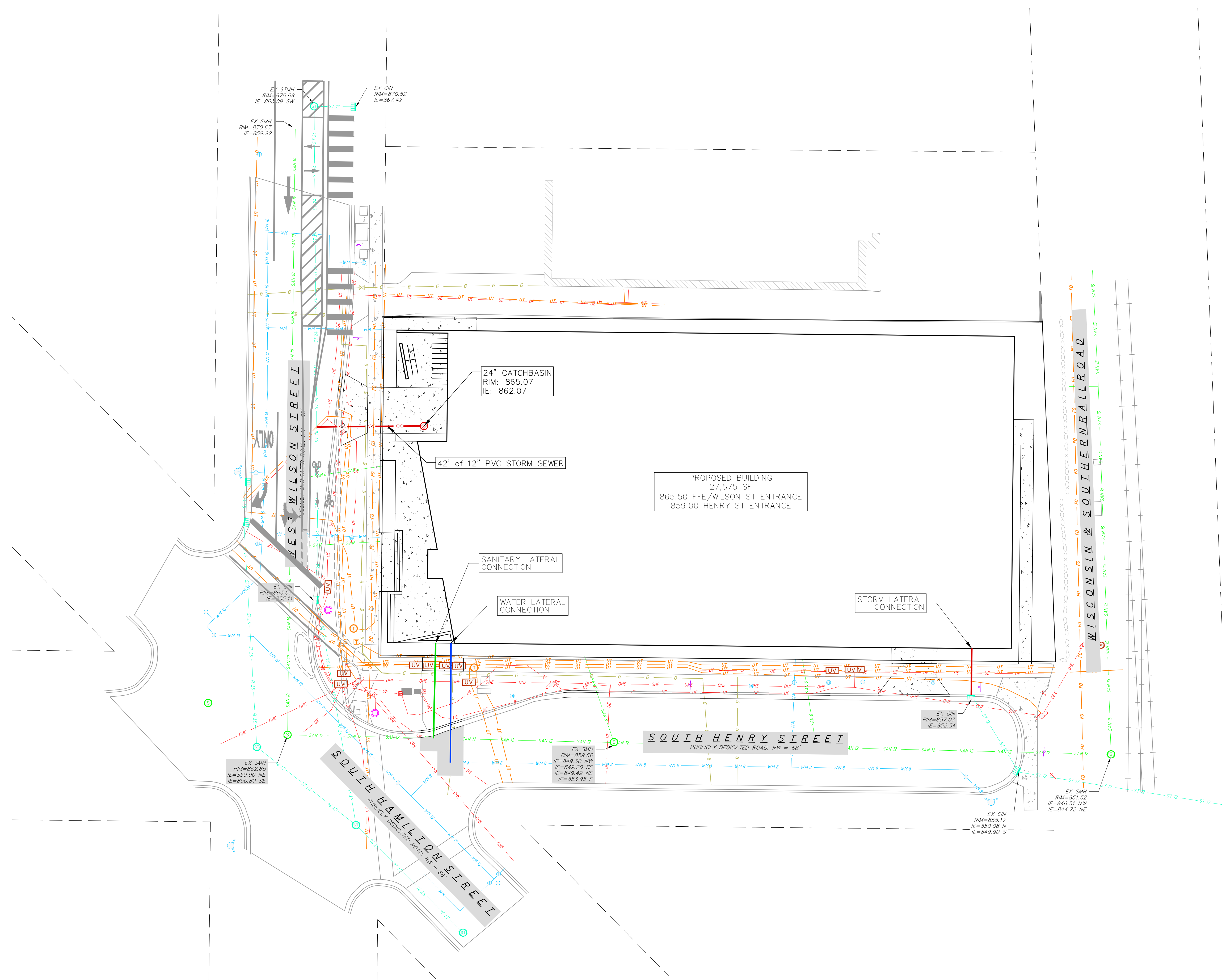
**1 GRADING PLAN**  
C-4.0 1" = 20'-0"



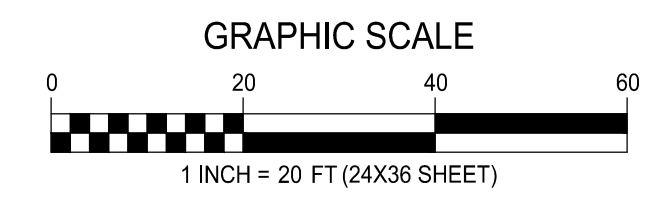
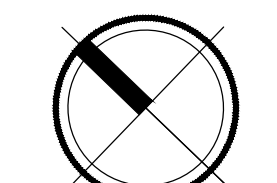


**UTILITY NOTES:**

1. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
3. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
4. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
5. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
6. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
7. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
8. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
9. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
10. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
11. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
12. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
13. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
14. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
16. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
18. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
19. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURING PROPER CLEARANCE OF NEW UTILITIES.
20. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



**1 UTILITY PLAN**  
C-5.0 1" = 20'-0"





**PLANT SCHEDULE**

| UNDERSTORY TREES | BOTANICAL / COMMON NAME   | ROOT COND. | SIZE   | QTY |
|------------------|---|------------|--------|-----|
| CJ               | Carpinus caroliniana "J.N. Select A"™ / Fire King American Hornbeam | B & B      | 2" Cal | 6   |
| PERENNIALS       | BOTANICAL / COMMON NAME   | ROOT COND. | SIZE   | QTY |
| acn              | Allium cernuum / Nodding Onion                                      | Cont.      | 4 In   | 148 |
| ag               | Andropogon gerardii / Big Bluestem                                  | Cont.      | 1 Gal. | 87  |
| ba               | Baptisia australis / Blue Wild Indigo                               | Cont.      | 1 Gal. | 3   |
| dpc              | Dalea purpurea / Purple Prairie Clover                              | Cont.      | 4 In   | 96  |
| pvs              | Panicum virgatum "Shenandoah" / Shenandoah Red Switch Grass         | Cont.      | 1 Gal. | 17  |
| rp               | Ratibida pinnata / Yellow Coneflower                                | Cont.      | 1 Gal. | 13  |
| ss               | Schizachyrium scoparium / Little Bluestem Grass                     | Cont.      | 1 Gal. | 81  |

| City of Madison Landscape Worksheet                               |   |  |          |                               |                               |                 |   |      |    |
|---|---|--|----------|-------------------------------|-------------------------------|-----------------|---|------|----|
| Address:  |   | West Wilson Street                             |          | Date:                         |                               | 04.30.2021      |   |      |    |
| Total Square Footage of Developed Area:                           |   | (Site Area)                                    | 34,704   | -                             | (Building Footprint at Grade) | 27,575          | = | 7129 | sf |
| Total Landscape Points Required (<5 ac):                          |   | 7,129  | / 300 =  | 24                            | x 5 =                         | 119             |   |      |    |
| Landscape Points Required >5 ac:                                  |   | 0  | / 100 =  | 0                             | x 1 =                         | -               |   |      |    |
|   |   | Credits/ Existing Landscaping                  |          | New/ Proposed Landscaping     |                               |                 |   |      |    |
| Plant Type/ Element   | Min. Size at Installation   | Points   | Quantity | Points Achieved               | Quantity                      | Points Achieved |   |      |    |
| Overstory deciduous tree  | 2.5" cal  | 35   |          | 0                             |                               | 0               |   |      |    |
| Tall Evergreen Tree   | 5-6 feet tall   | 35   |          | 0                             |                               | 0               |   |      |    |
| Ornamental tree   | 1.5" cal  | 15   |          | 0                             | 6                             | 90              |   |      |    |
| Upright evergreen shrub   | 3-4 feet tall   | 10   |          | 0                             |                               | 0               |   |      |    |
| Shrub, deciduous  | #3 gallon container size, Min. 12-24"   | 3  |          | 0                             |                               | 0               |   |      |    |
| Shrub, evergreen  | #3 gallon container size, Min. 12-24"   | 4  |          | 0                             |                               | 0               |   |      |    |
| Ornamental grasses/perennials                                     | #1 gallon container size, Min. 8-18"  | 2  |          | 0                             | 201                           | 402             |   |      |    |
| Ornamental/decorative fencing or wall                             | n/a   | 4 per 10 LF                                    |          | 0                             |                               | 0               |   |      |    |
| Existing significant specimen tree                                | Min. Size 2.5" cal. Trees must be within developed area and cannot comprise more than 30% of total required points.     | 14 per caliper inch. Max. points per tree: 200 |          | 0                             |                               | 0               |   |      |    |
| Landscape Furniture for public seating and/or transit connections | Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points | 5 points per "seat"                            |          | 0                             |                               | 0               |   |      |    |
| <b>Sub Totals</b>   |   |  |          | <b>0</b>                      |                               | <b>492</b>      |   |      |    |
|   |   |  |          | <b>Total Points Provided:</b> | <b>492</b>                    |                 |   |      |    |

**PLANT MATERIAL NOTES:**

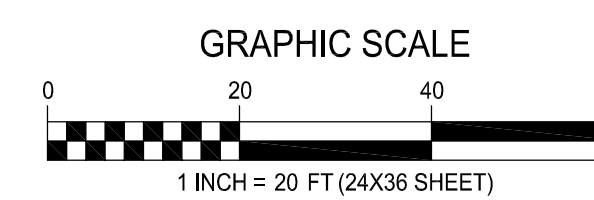
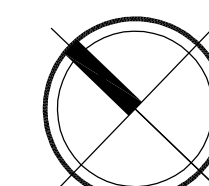
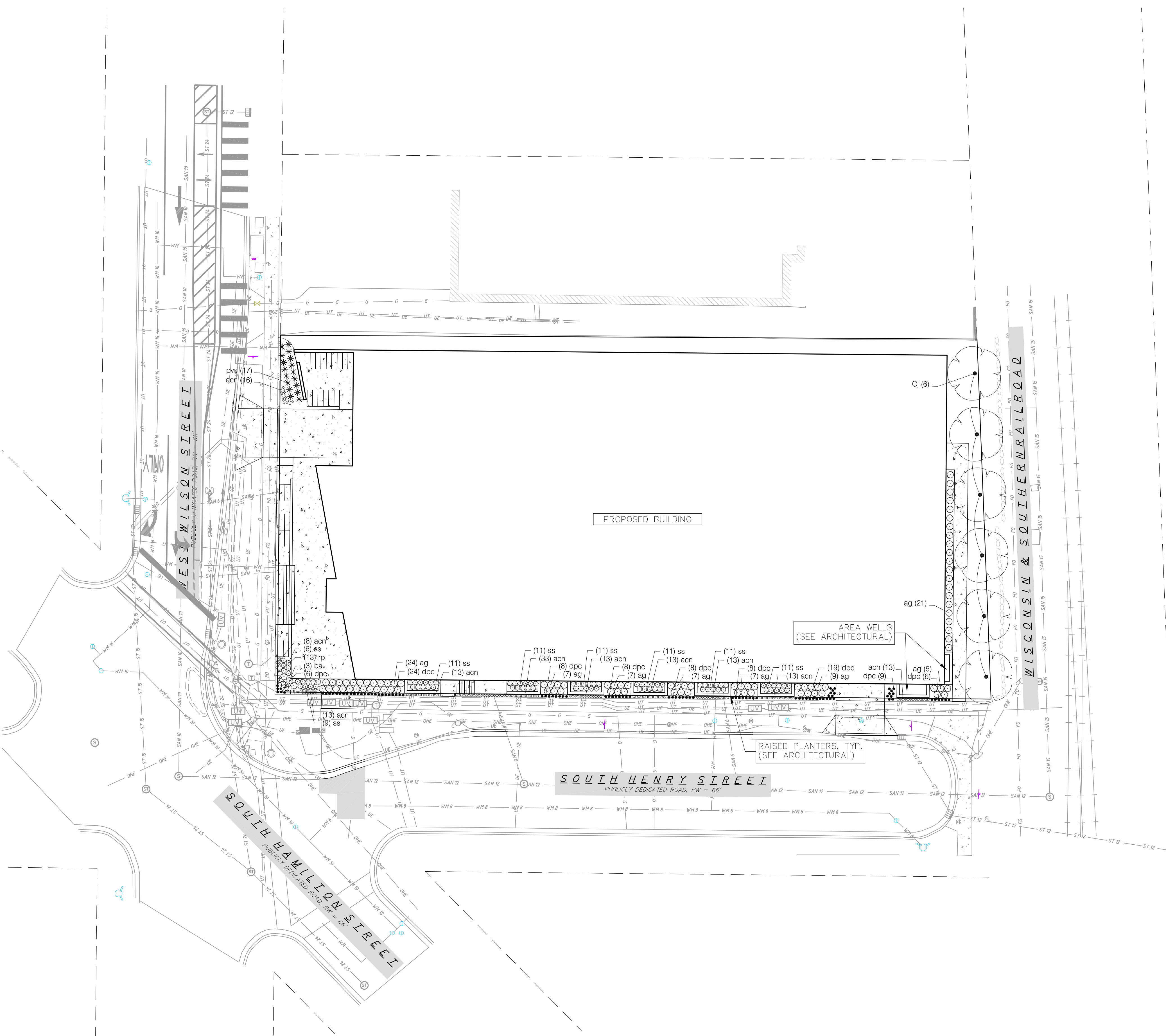
- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request any plant material substitutions due to availability issues.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.

**LANDSCAPE MATERIAL NOTES:**

- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 18" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permaloc CleanLine 1/2" x 4" or equal, color black anodized.
- All trees and/or shrubs planted in lawn areas to be installed with a 5' diameter mulch ring and shovel cut edge. A pre-emergent granular herbicide weed-preventer should be mixed with mulch as well as topically applied to tree ring.
- All areas noted on plan as Stone to be mulched with 1.5" washed stone to 3" depth over weed barrier fabric. Stone type and color to be approved by owner.

**SOD NOTES:**

- All disturbed areas, unless otherwise noted, to be sodded with a premium grade turfgrass sod. Turfgrass sod shall be reasonably free of diseases, nematodes and soil-borne insects. Turfgrass sod shall be free of grassy and broadleaf weeds and weed seed. All sodded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.



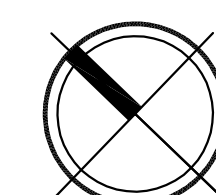


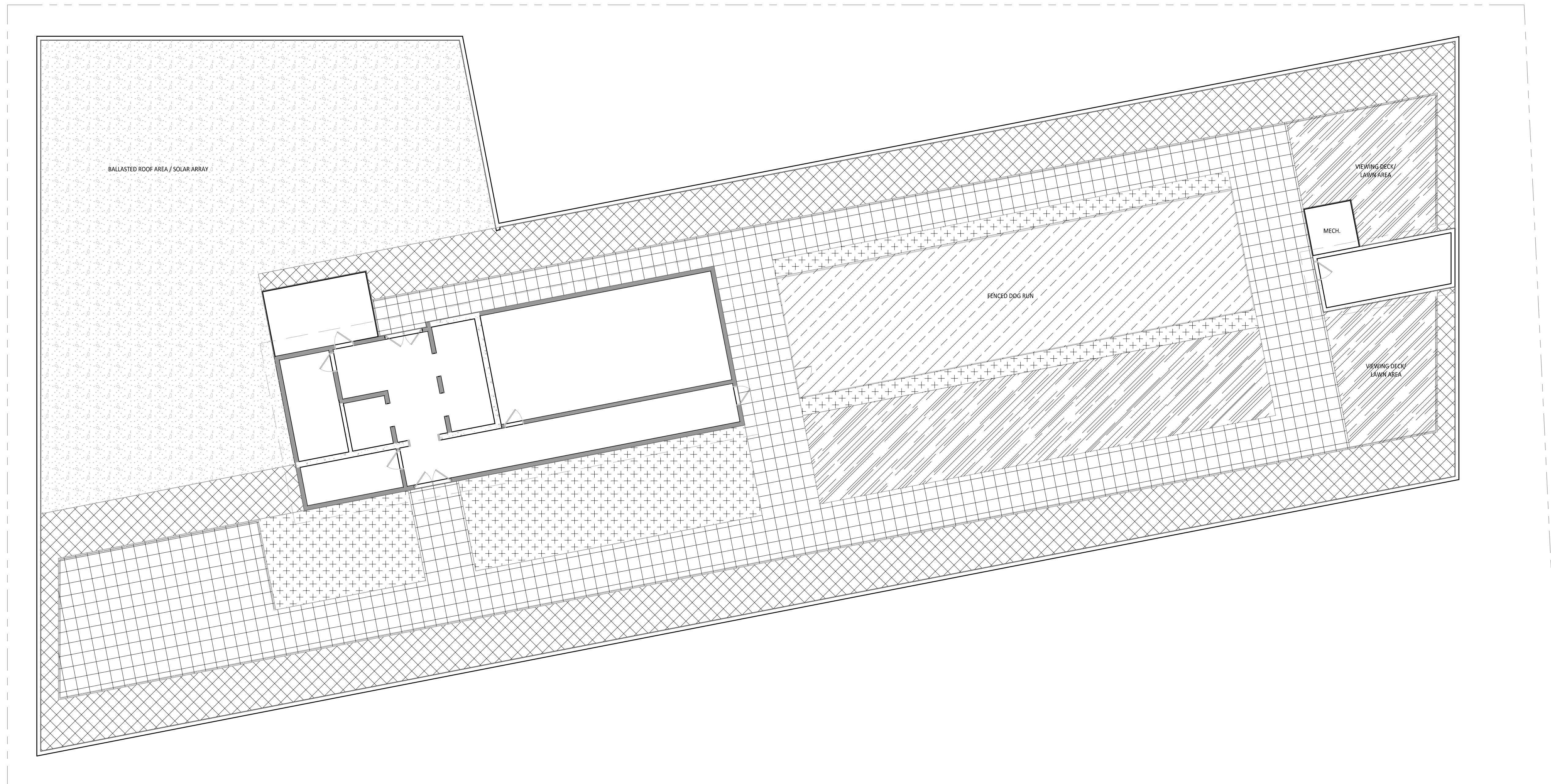
**GREEN ROOF AREAS**

|   |   |   |
|---|---|---|
|  | <b>GREEN ROOF PLUG MIX</b><br>Allium cernuum / Nodding Onion<br>Asclepias incarnata / Swamp Milkweed<br>Boutelous gracilis / Blue Grama<br>Dalea purpurea / Purple Prairie Clover<br>Heuchera richardsonii / Prairie Alum Root<br>Liatris cylindracea / Cylindrical Blazing Star<br>Solidago canadensis / Goldenrod | 2,726 sf<br>482<br>227<br>709<br>482<br>482<br>227<br>227 |
|  | <b>GREEN ROOF GRASSES</b><br>Schizachyrium scoparium / Little Bluestem  | 5,488 sf<br>2,535   |
|  | <b>GREEN ROOF LAWN AREA</b>   | 2,379 sf  |
|  | <b>ARTIFICIAL TURF DOG RUN</b>  | 1,659 sf  |

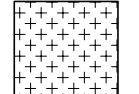


**PLUG PLANTING NOTES:**

1. Install Green Roof Plug Mix plantings as 2" x 2" x 4" deep plugs, 12" on center in a triangular grid pattern. Plant species in odd numbered groups of 5-9 plants, distributing each species randomly across planting area for natural appearance.
2. Install Green Roof Grasses plantings as 2" x 2" x 4" deep plugs, 18" on center in a triangular grid pattern.





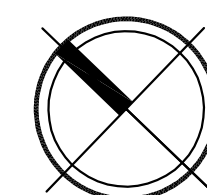
**GREEN ROOF AREAS**

|   |   |   |
|---|---|---|
|  | <b>GREEN ROOF PLUG MIX</b><br>Allium cernuum / Nodding Onion<br>Asclepias incarnata / Swamp Milkweed<br>Boutelous gracilis / Blue Grama<br>Dalea purpurea / Purple Prairie Clover<br>Heuchera richardsonii / Prairie Alum Root<br>Liatris cylindracea / Cylindrical Blazing Star<br>Solidago canadensis / Goldenrod | 2,726 sf<br>482<br>227<br>709<br>482<br>482<br>227<br>227 |
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|  | <b>GREEN ROOF LAWN AREA</b>   | 2,379 sf  |
|  | <b>ARTIFICIAL TURF DOG RUN</b>  | 1,659 sf  |

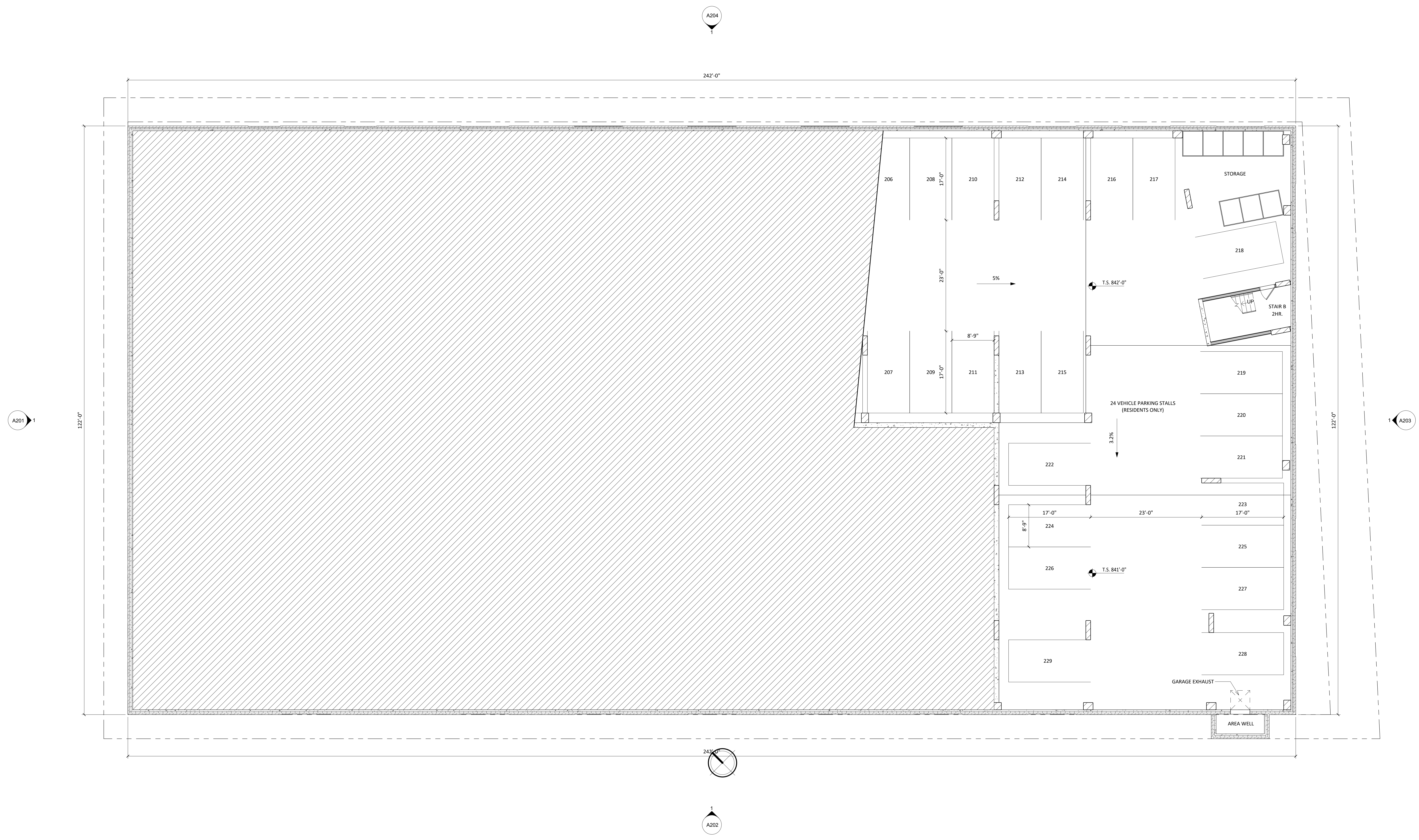
**PLUG PLANTING NOTES:**

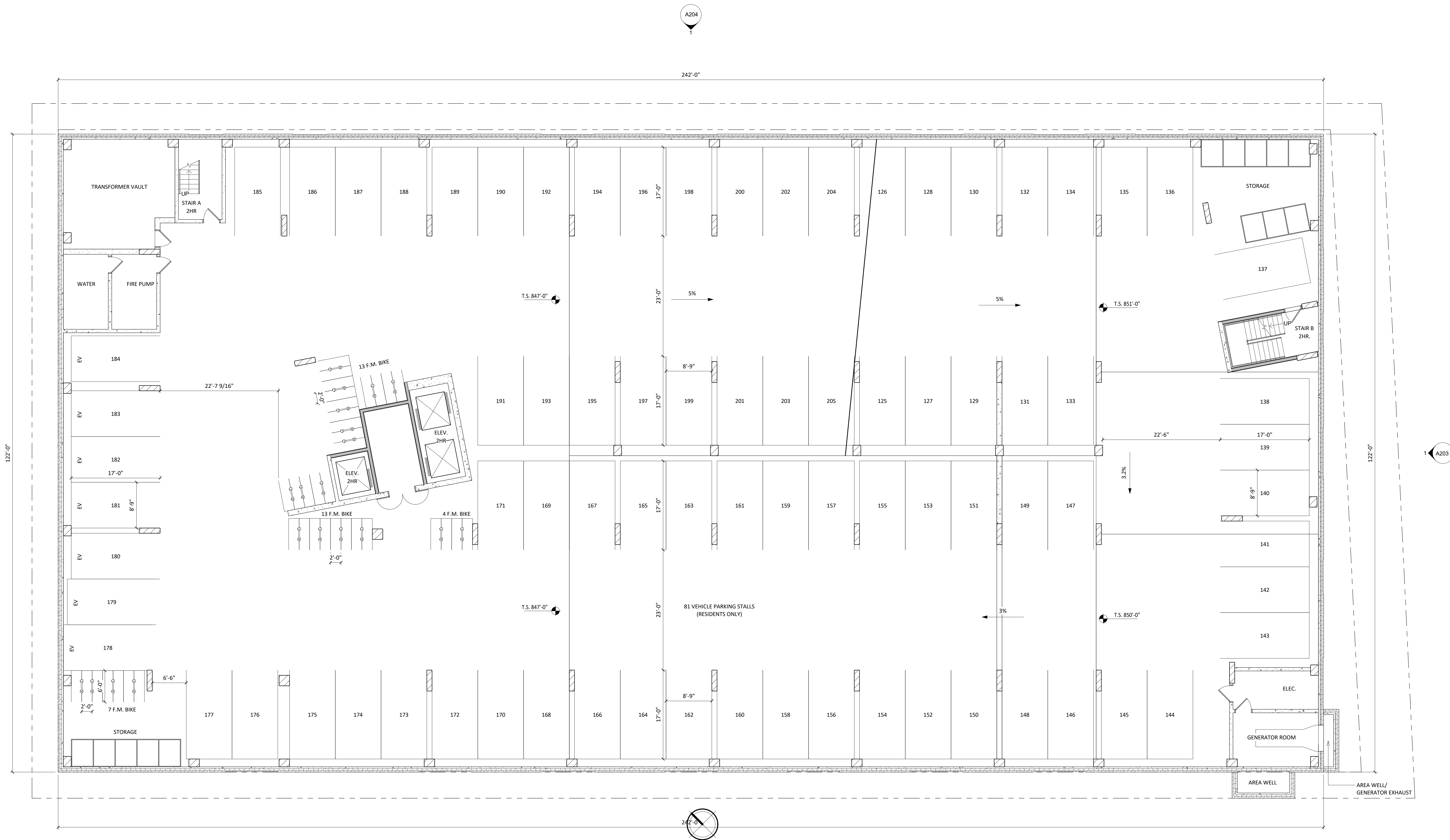
1. Install Green Roof Plug Mix plantings as 2" x 2" x 4" deep plugs, 12" on center in a triangular grid pattern. Plant species in odd numbered groups of 5-9 plants, distributing each species randomly across planting area for natural appearance.

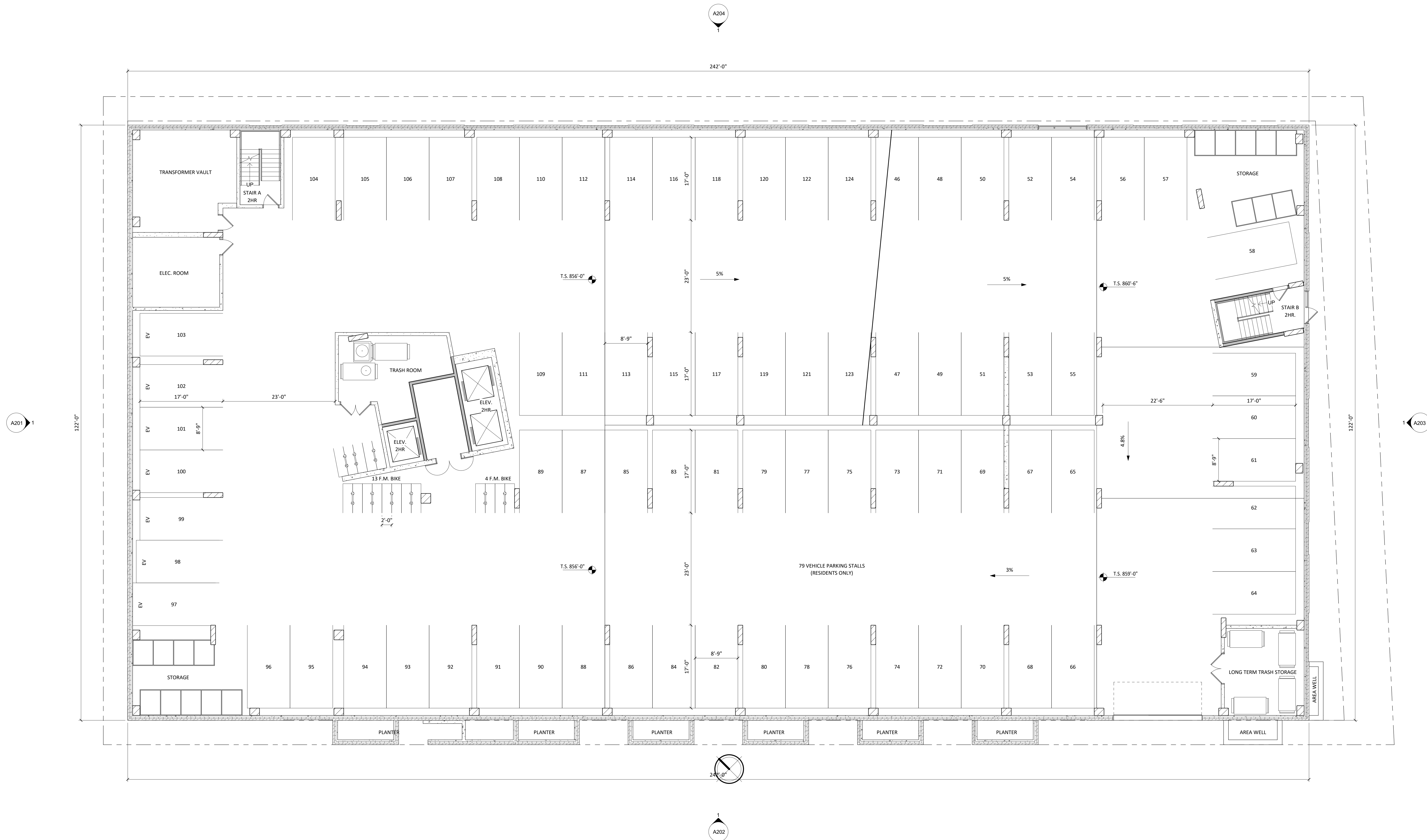
2. Install Green Roof Grasses plantings as 2" x 2" x 4" deep plugs, 18" on center in a triangular grid pattern.

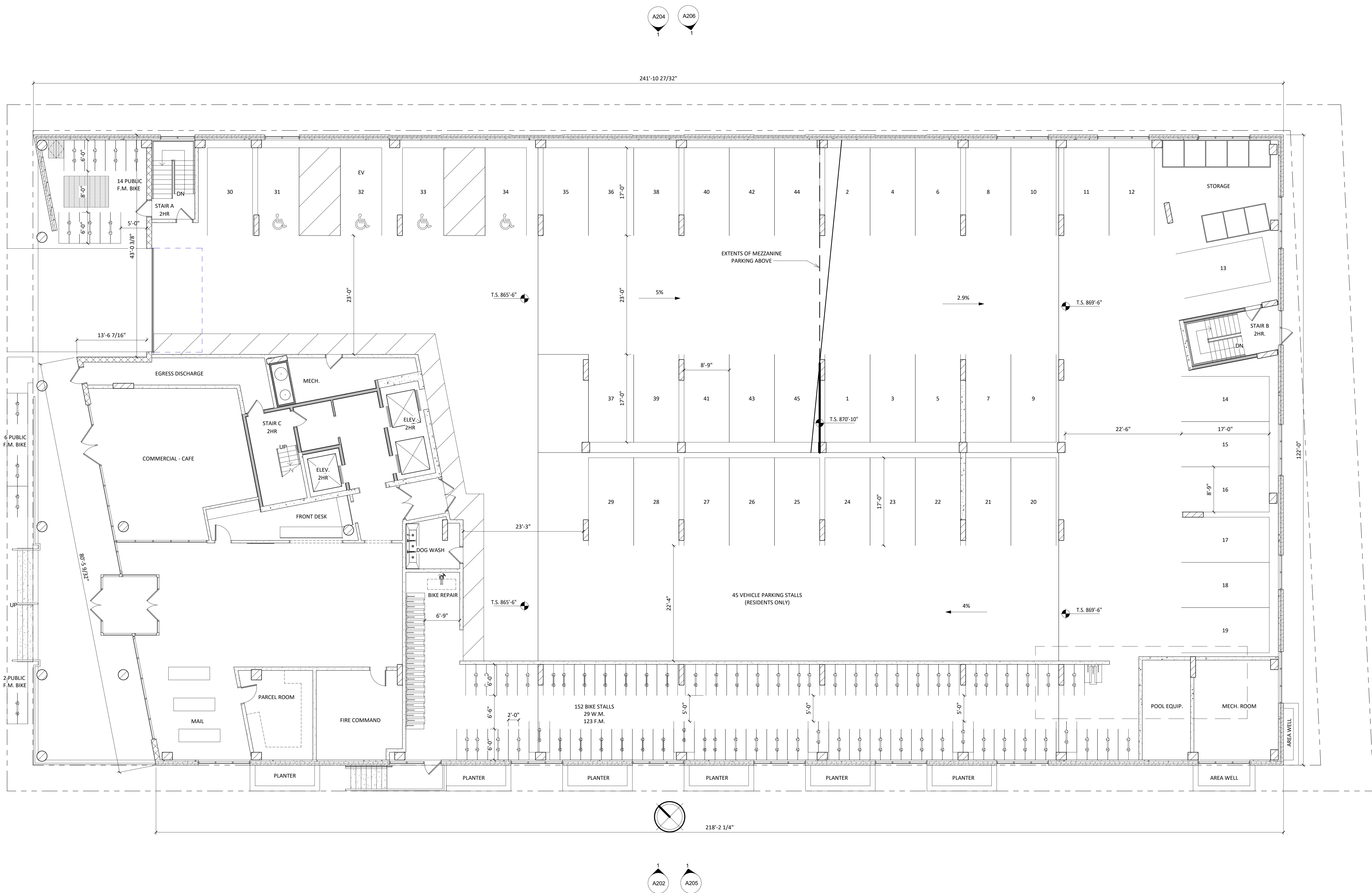












KEY PLAN

ISSUED  
Issued for LU - March 03, 2021  
Re-issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

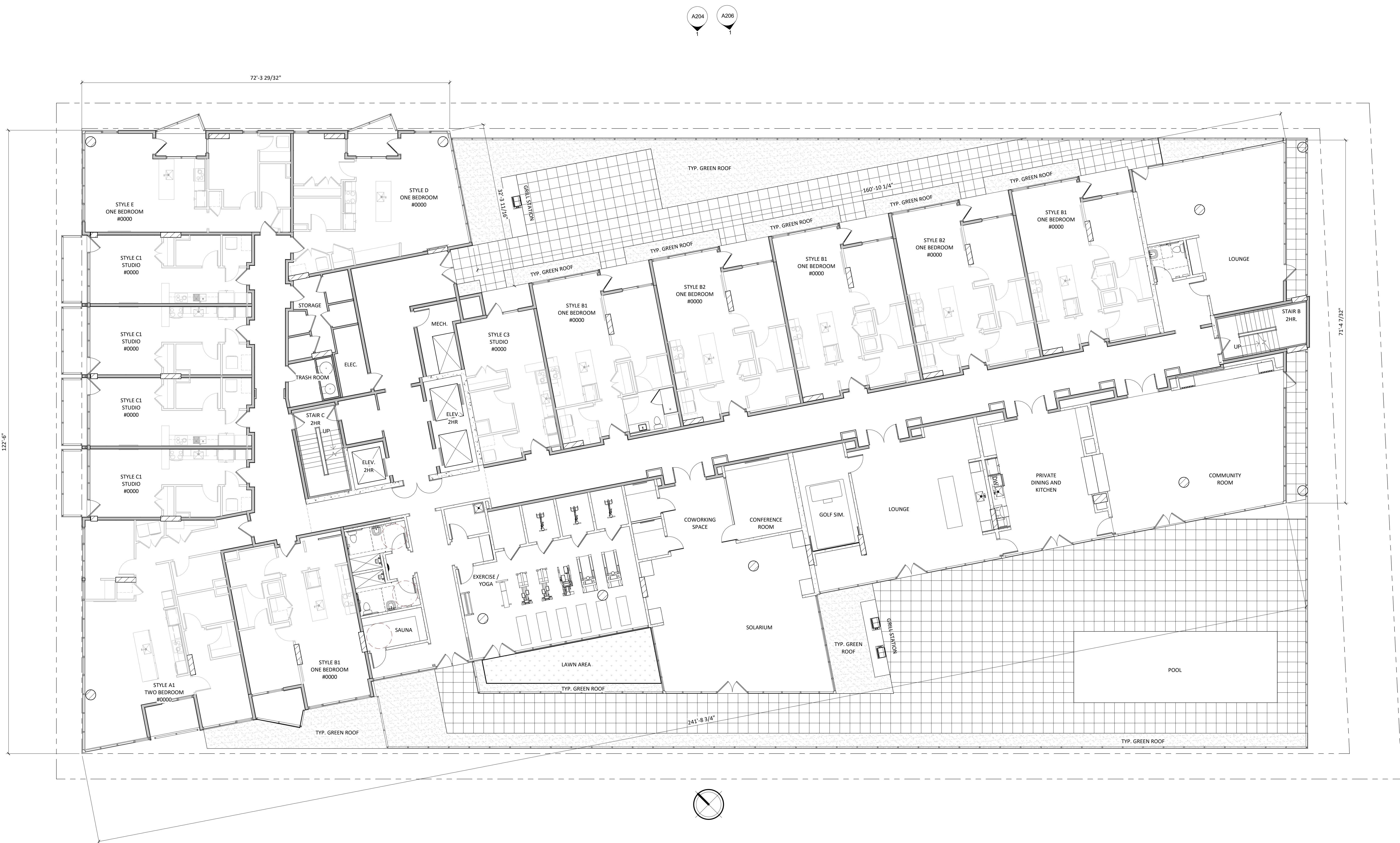
145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**SECOND FLOOR  
PLAN**

SHEET NUMBER

**A102**

PROJECT NUMBER 2017  
© Knothe & Bruce Architects, LLC



A204 A206

A206

A201

A203

North Arrow

A202 A205



knothe bruce  
ARCHITECTS  
Phone: 608.836.3690 7601 University Ave. #201  
Middleton, WI 53562

**Kahler Slater**

KEY PLAN

ISSUED  
Issued for LU - March 03, 2021  
Re-issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

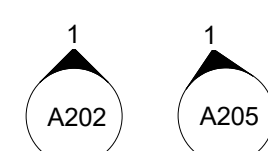
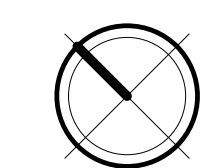
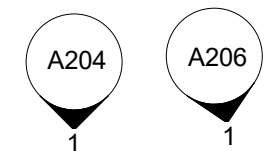
145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**THIRD - TENTH  
FLOOR PLAN**

SHEET NUMBER

**A103**

PROJECT NUMBER 2017  
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1 THIRD - TENTH FLOOR PLAN  
A103 1/8" = 1'-0"



knothe bruce  
ARCHITECTS  
Phone: 608.836.3690 7601 University Ave. #201  
Middleton, WI 53562

**Kahler Slater**

KEY PLAN

ISSUED  
Issued for LU - March 03, 2021  
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PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

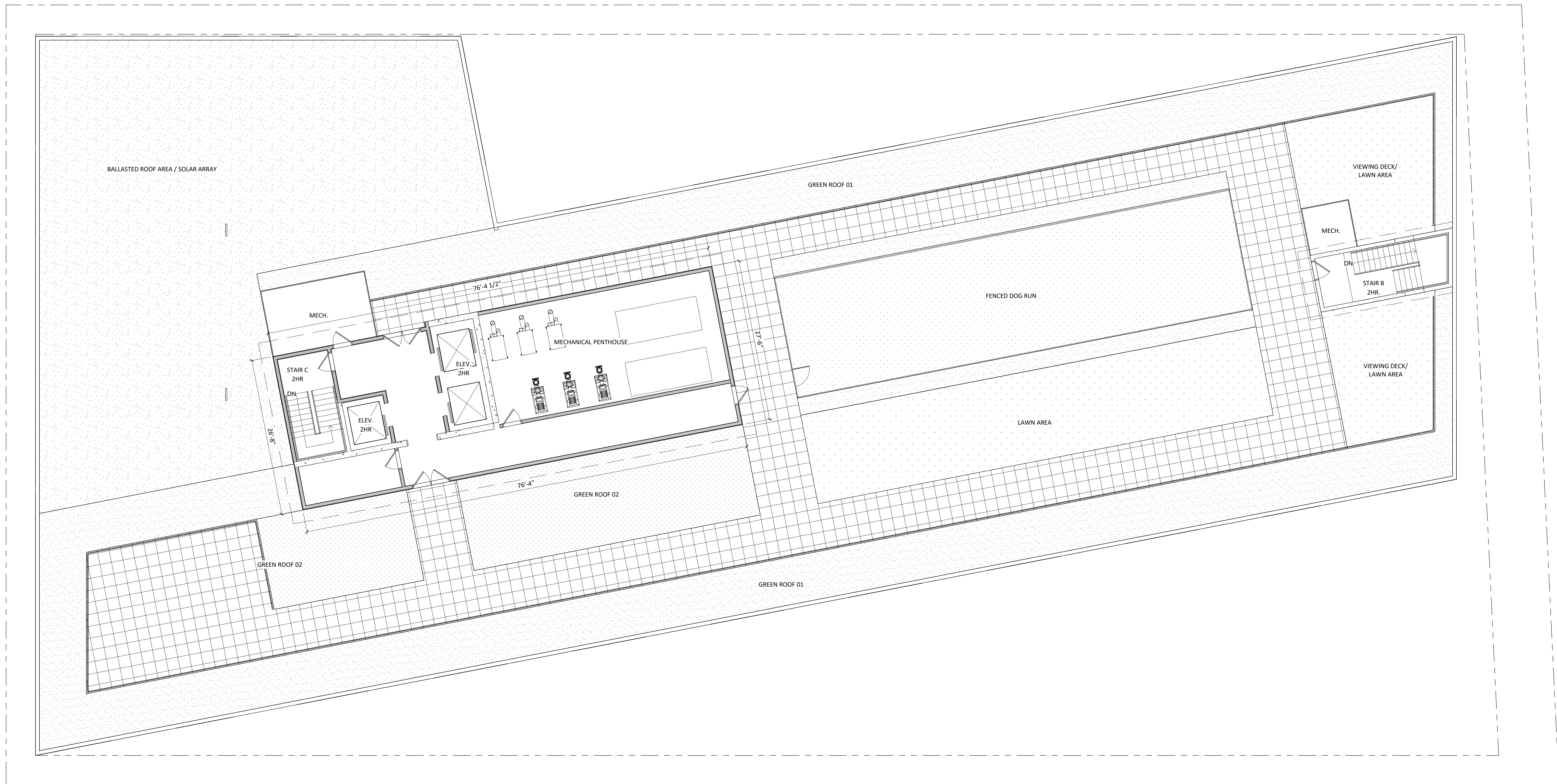
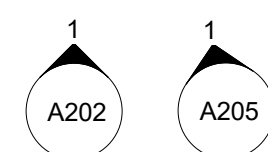
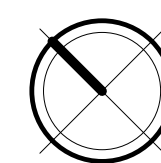
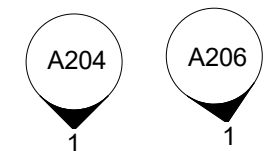
145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**ROOF PLAN**

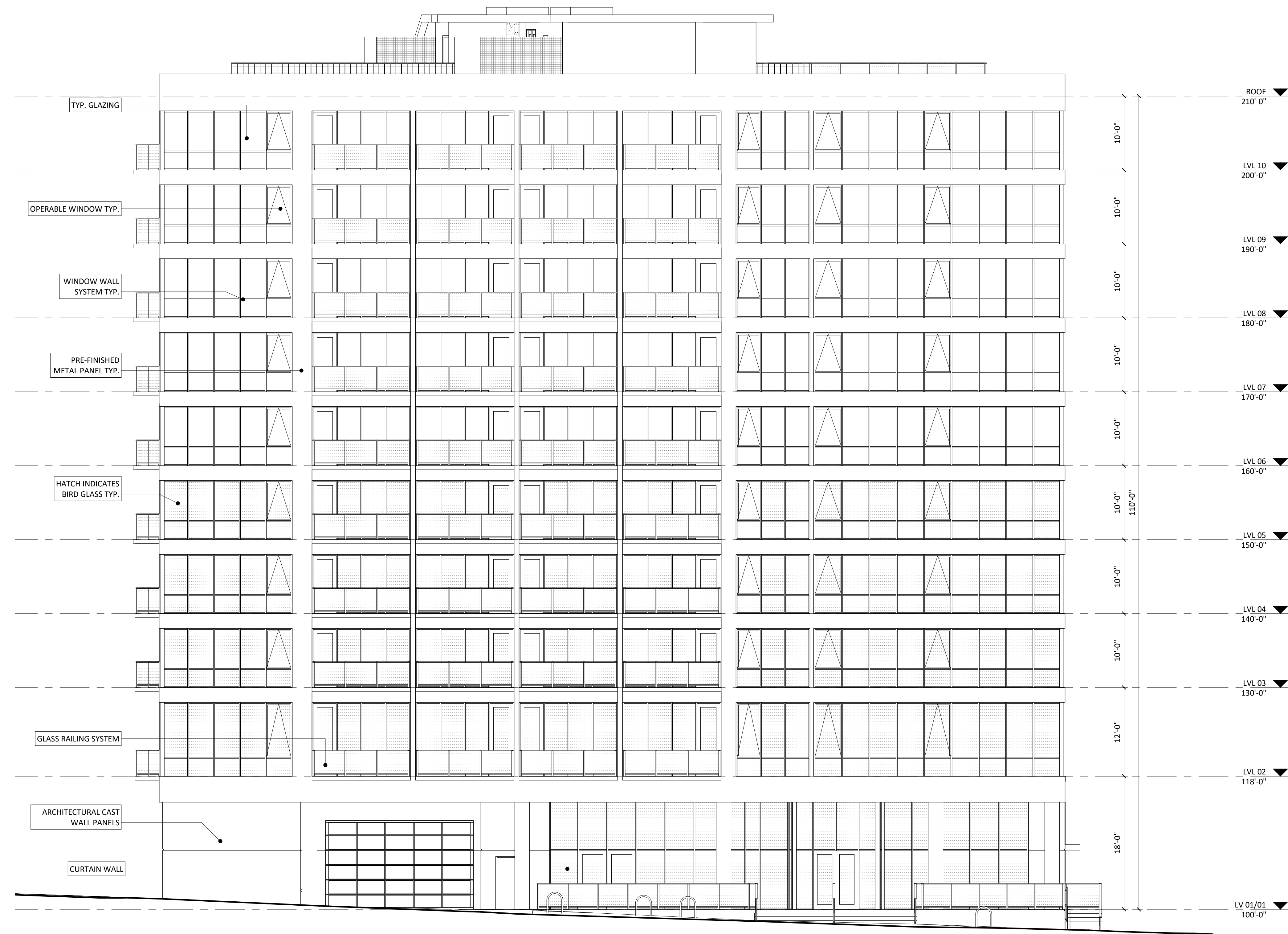
SHEET NUMBER

**A111**

PROJECT NUMBER 2017  
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1 ROOF PLAN  
A111 1/8" = 1'-0"



KEY PLAN

ISSUED  
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PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A201**

PROJECT NUMBER **2017**  
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**1** NORTH WEST ELEVATION - ALONG WILSON  
A201 1/8" = 1'-0"

| EXTERIOR MATERIAL SCHEDULE |                           |
|----------------------------|---------------------------|
| BUILDING ELEMENT           | COLOR                     |
| PRE-FINISHED METAL PANEL   | WHITE                     |
| ARCHITECTURAL CAST PANELS  | SANDRIFT                  |
| WINDOW WALL SYSTEM         | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT           | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES         | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS   | SANDRIFT                  |
| RAILINGS                   | GLASS RAILING - DARK GRAY |



KEY PLAN

ISSUED  
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PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A202**

PROJECT NUMBER **2017**  
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**1** SOUTH WEST ELEVATION - ALONG HENRY  
A202 1/8" = 1'-0"

| EXTERIOR MATERIAL SCHEDULE |                           |
|----------------------------|---------------------------|
| BUILDING ELEMENT           | COLOR                     |
| PRE-FINISHED METAL PANEL   | WHITE                     |
| ARCHITECTURAL CAST PANELS  | SANDRIFT                  |
| WINDOW WALL SYSTEM         | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT           | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES         | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS   | SANDRIFT                  |
| RAILINGS                   | GLASS RAILING - DARK GRAY |



KEY PLAN

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Re-Issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

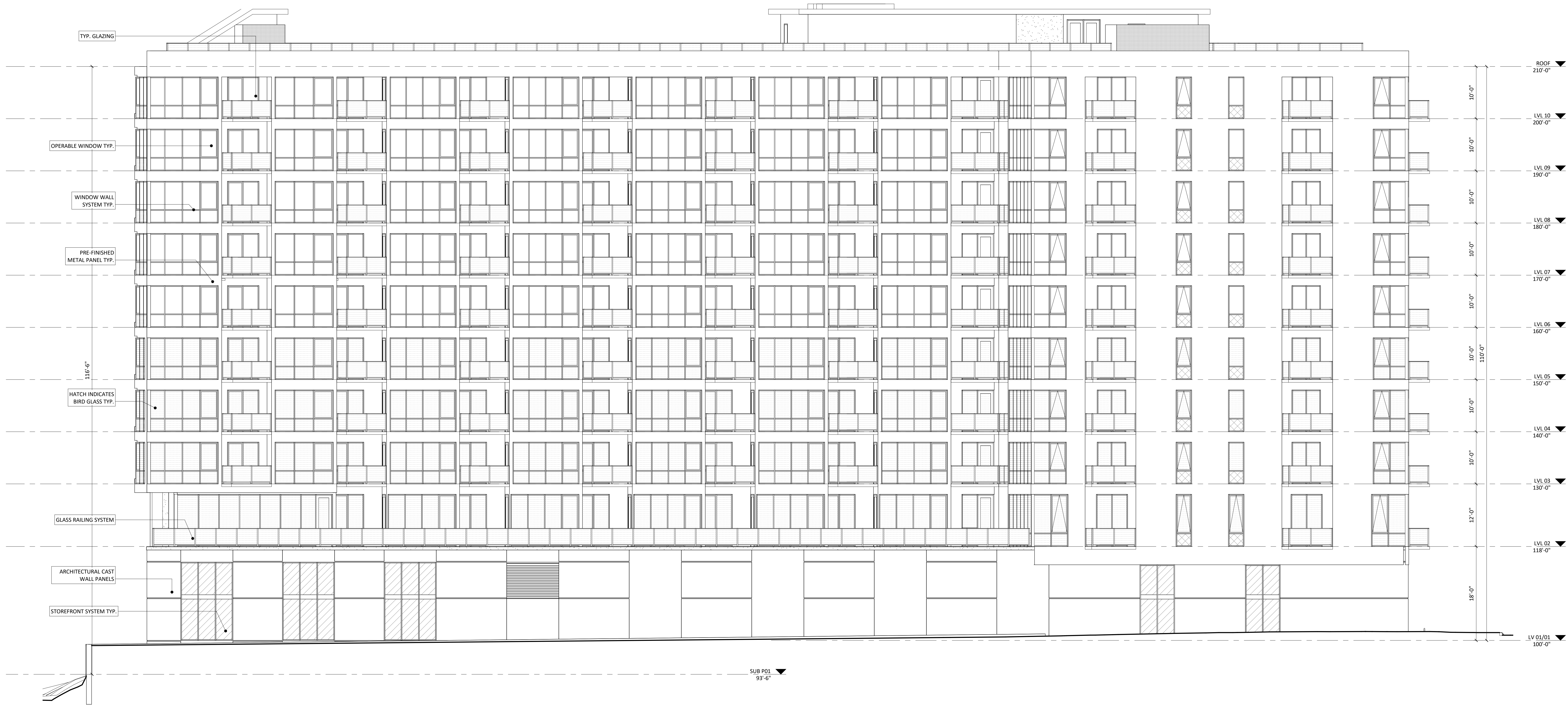
SHEET NUMBER

**A203**

PROJECT NUMBER **2017**  
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1 SOUTH EAST ELEVATION  
A203 1/8" = 1'-0"

| BUILDING ELEMENT          | COLOR                     |
|---------------------------|---------------------------|
| PRE-FINISHED METAL PANEL  | WHITE                     |
| ARCHITECTURAL CAST PANELS | SANDRIFT                  |
| WINDOW WALL SYSTEM        | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT          | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES        | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS  | SANDRIFT                  |
| RAILINGS                  | GLASS RAILING - DARK GRAY |



KEY PLAN

ISSUED  
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Re-Issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A204**

PROJECT NUMBER 2017

© Knothe & Bruce Architects, LLC

1 NORTH EAST ELEVATION  
A204 1/8" = 1'-0"

| EXTERIOR MATERIAL SCHEDULE |                           |
|----------------------------|---------------------------|
| BUILDING ELEMENT           | COLOR                     |
| PRE-FINISHED METAL PANEL   | WHITE                     |
| ARCHITECTURAL CAST PANELS  | SANDRIFT                  |
| WINDOW WALL SYSTEM         | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT           | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES         | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS   | SANDRIFT                  |
| RAILINGS                   | GLASS RAILING - DARK GRAY |



KEY PLAN

ISSUED  
Issued for LU - March 03, 2021  
Re-issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**COLOR  
ELEVATION**

SHEET NUMBER

**A207**

PROJECT NUMBER **2017**  
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1 NORTH WEST ELEVATION - ALONG WILSON - COLOR  
A207 1/8" = 1'-0"

| BUILDING ELEMENT          | COLOR                     |
|---------------------------|---------------------------|
| PRE-FINISHED METAL PANEL  | WHITE                     |
| ARCHITECTURAL CAST PANELS | SANDRIFT                  |
| WINDOW WALL SYSTEM        | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT          | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES        | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS  | SANDRIFT                  |
| RAILINGS                  | GLASS RAILING - DARK GRAY |



KEY PLAN

ISSUED  
Issued for LU - March 03, 2021  
Re-issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**COLOR  
ELEVATION**

SHEET NUMBER

**A208**

PROJECT NUMBER 2017

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| BUILDING ELEMENT          | COLOR                     |
|---------------------------|---------------------------|
| PRE-FINISHED METAL PANEL  | WHITE                     |
| ARCHITECTURAL CAST PANELS | SANDRIFT                  |
| WINDOW WALL SYSTEM        | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT          | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES        | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS  | SANDRIFT                  |
| RAILINGS                  | GLASS RAILING - DARK GRAY |



KEY PLAN

ISSUED  
Issued for LU - March 03, 2021  
Re-Issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**COLOR  
ELEVATION**

SHEET NUMBER

**A209**

PROJECT NUMBER **2017**  
© Knothe & Bruce Architects, LLC

1 SOUTH EAST ELEVATION - COLOR  
A209 1/8" = 1'-0"

| BUILDING ELEMENT          | COLOR                     |
|---------------------------|---------------------------|
| PRE-FINISHED METAL PANEL  | WHITE                     |
| ARCHITECTURAL CAST PANELS | SANDRIFT                  |
| WINDOW WALL SYSTEM        | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT          | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES        | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS  | SANDRIFT                  |
| RAILINGS                  | GLASS RAILING - DARK GRAY |



KEY PLAN

ISSUED  
Issued for LU - March 03, 2021  
Re-issued for LU - May 03, 2021

PROJECT TITLE  
**WEST WILSON ST  
DEVELOPMENT**

145-151 W WILSON ST.  
309-321 S HENRY ST.  
MADISON, WI

SHEET TITLE  
**COLOR  
ELEVATION**

SHEET NUMBER

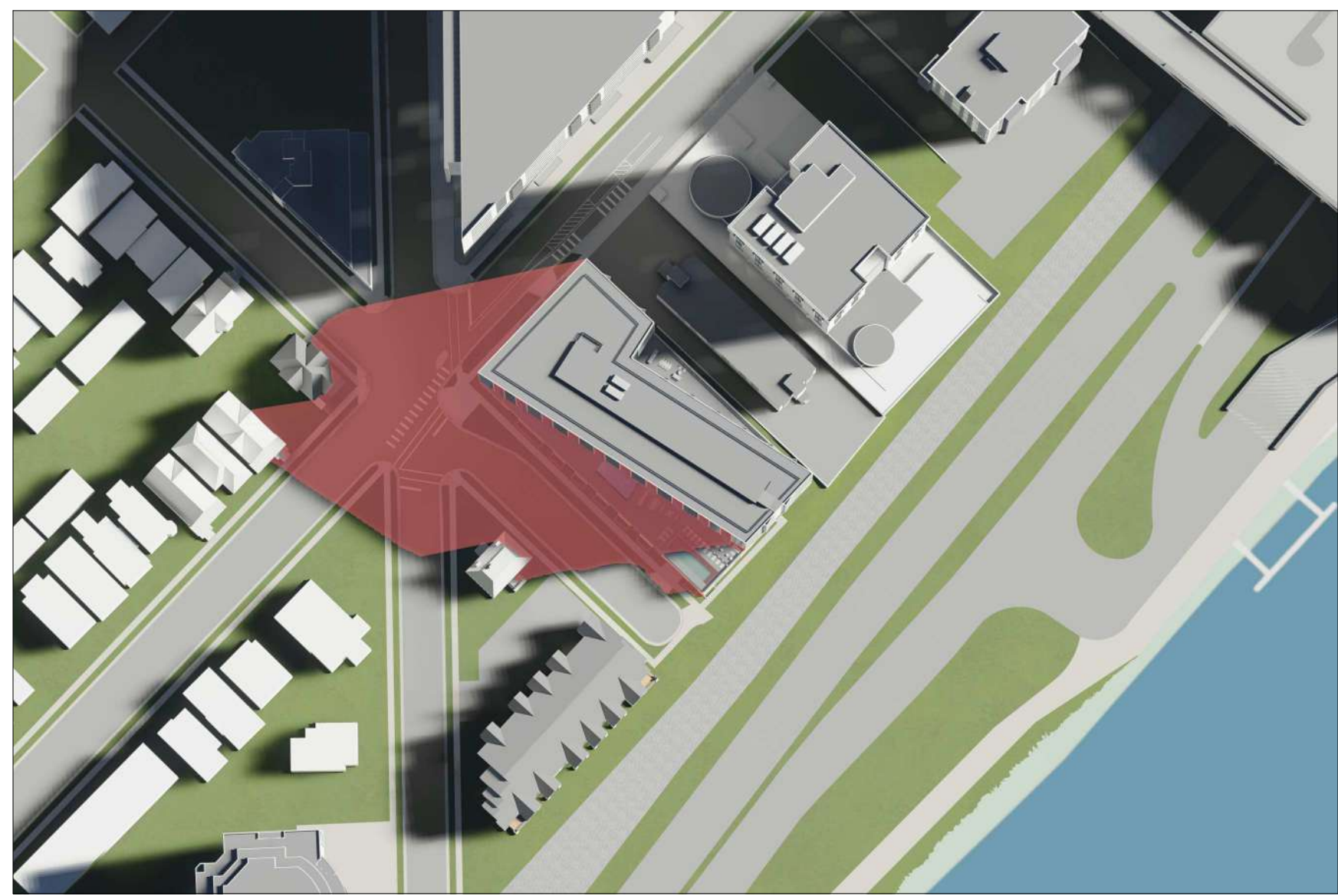
**A210**

PROJECT NUMBER **2017**

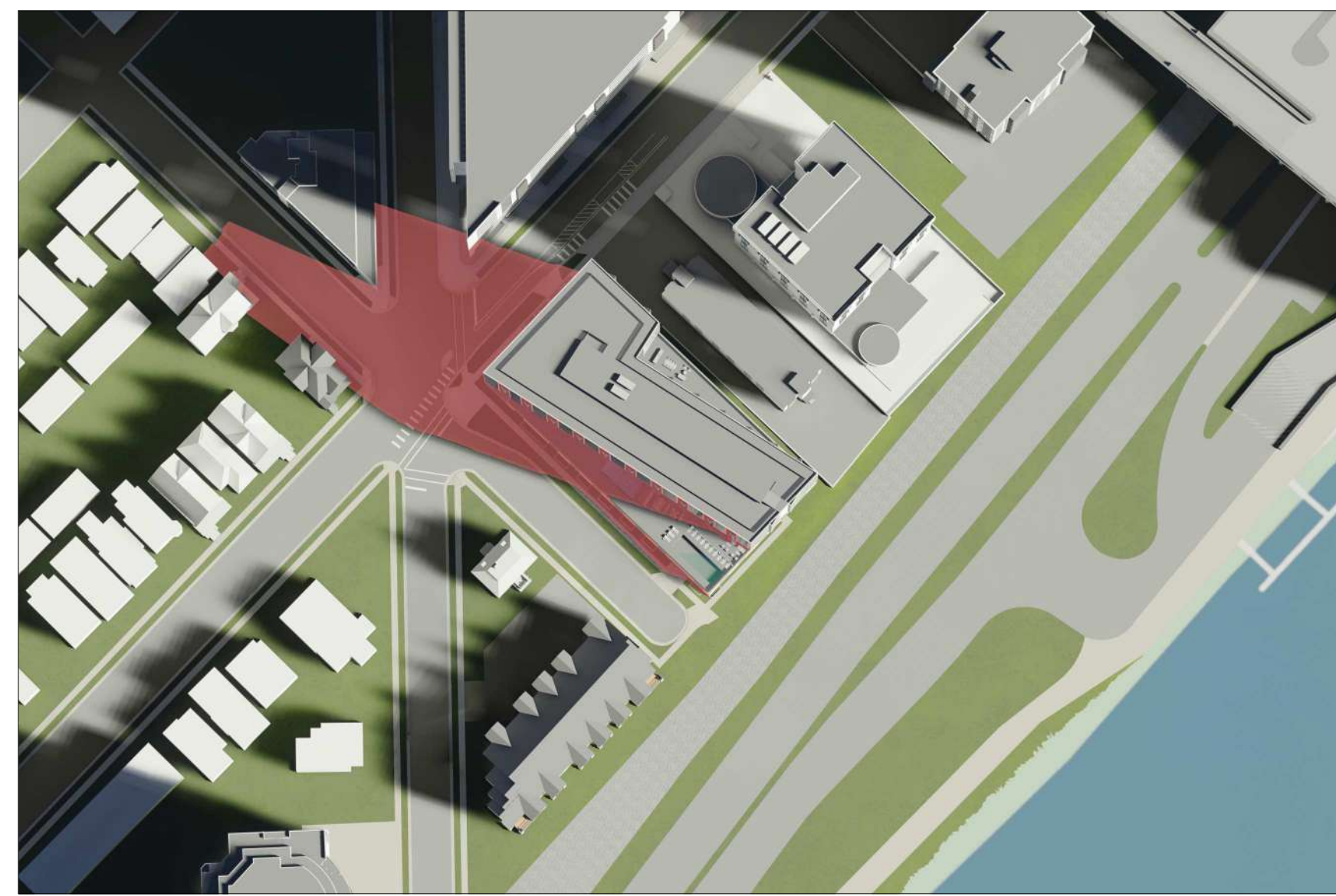
© Knothe & Bruce Architects, LLC

1 NORTH EAST ELEVATION - COLOR  
A210 1/8" = 1'-0"

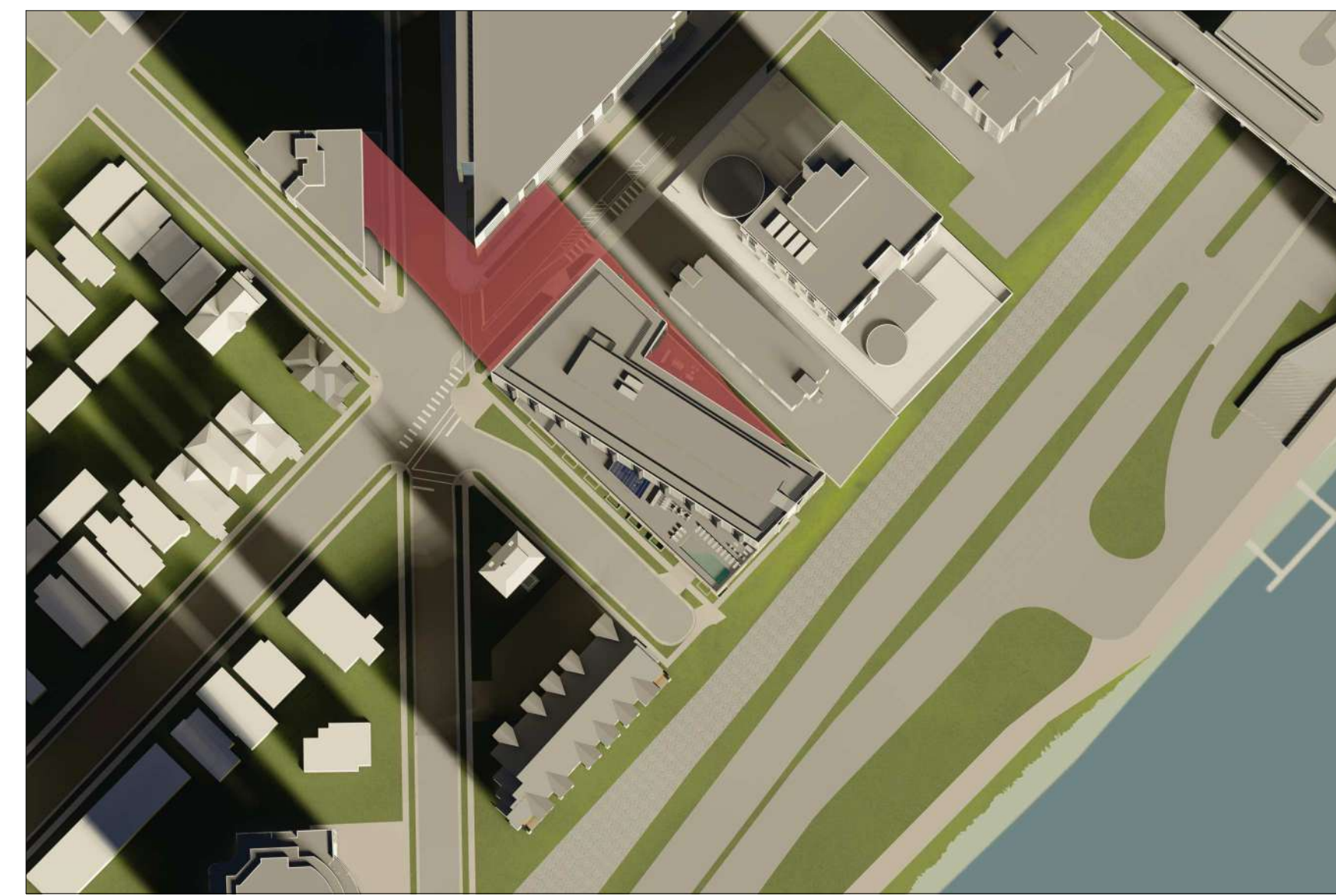
| EXTERIOR MATERIAL SCHEDULE |                           |
|----------------------------|---------------------------|
| BUILDING ELEMENT           | COLOR                     |
| PRE-FINISHED METAL PANEL   | WHITE                     |
| ARCHITECTURAL CAST PANELS  | SANDRIFT                  |
| WINDOW WALL SYSTEM         | ANODIZED DARK GRAY        |
| ALUM. STOREFRONT           | ANODIZED DARK GRAY        |
| METAL DOORS/FRAMES         | ANODIZED DARK GRAY        |
| CAST STONE SILLS & BANDS   | SANDRIFT                  |
| RAILINGS                   | GLASS RAILING - DARK GRAY |



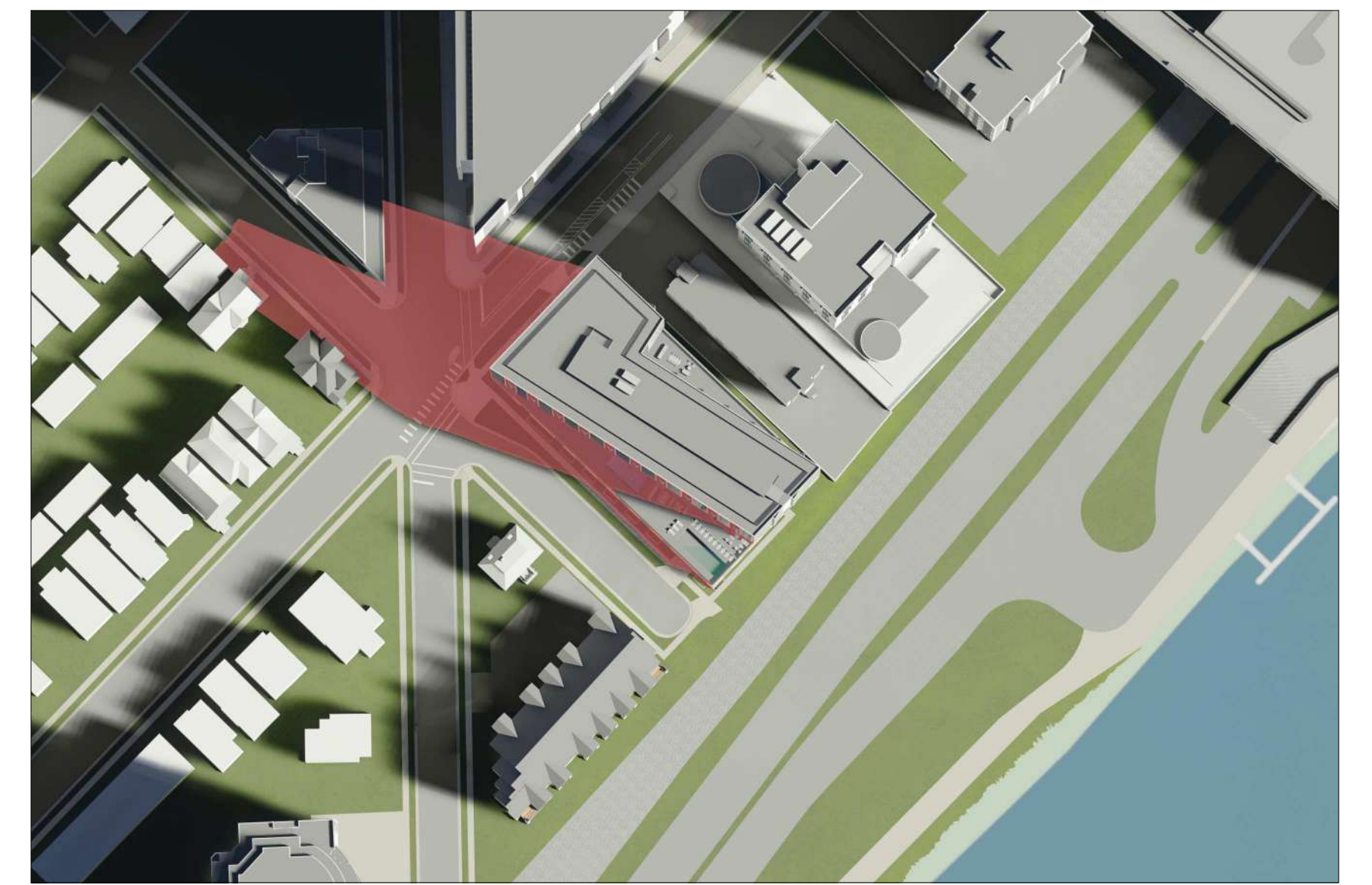
SUMMER - 7AM



FALL - 8AM



WINTER - 9AM



SPRING - 8AM



SUMMER - 12PM



FALL - 12PM



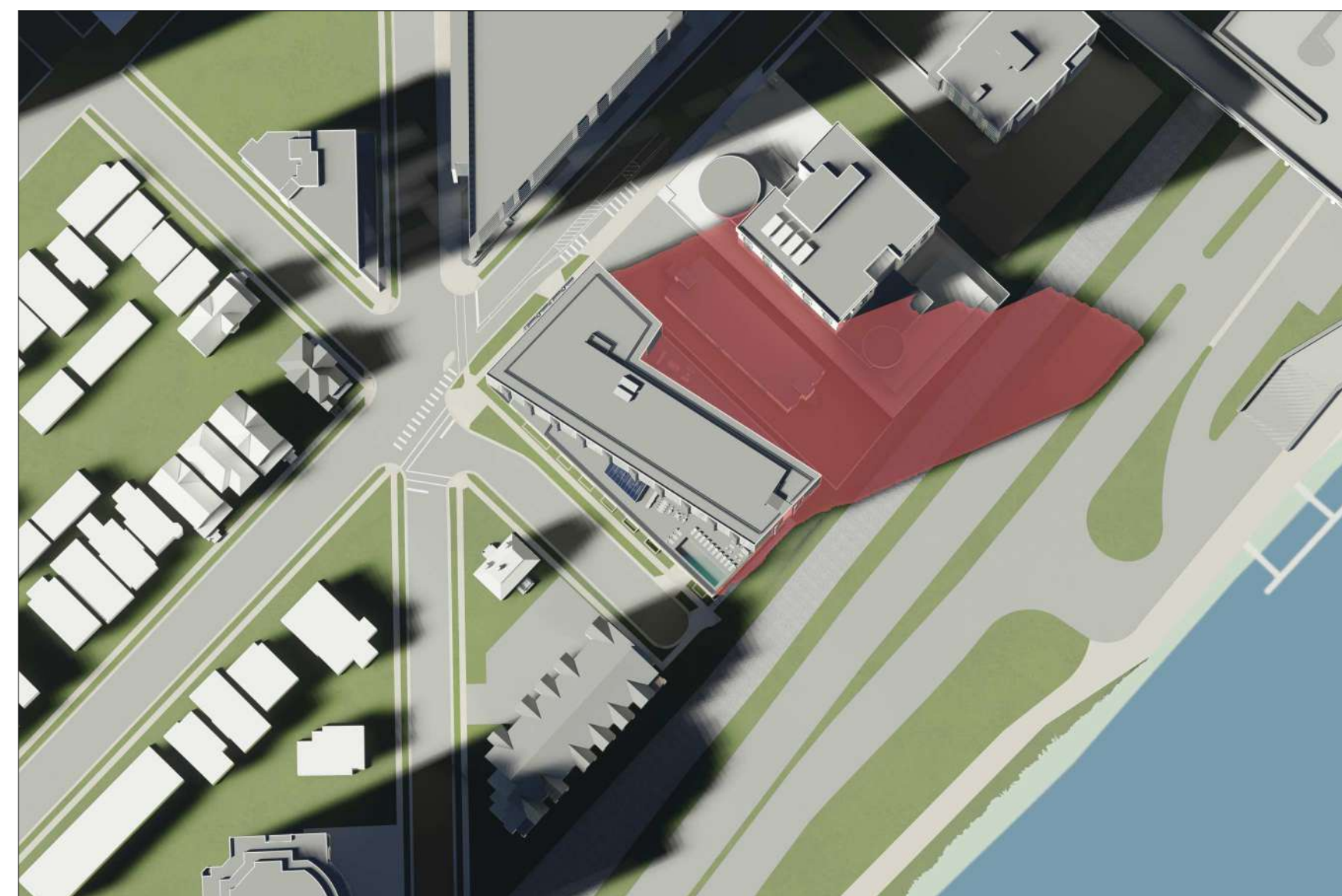
WINTER - 12PM



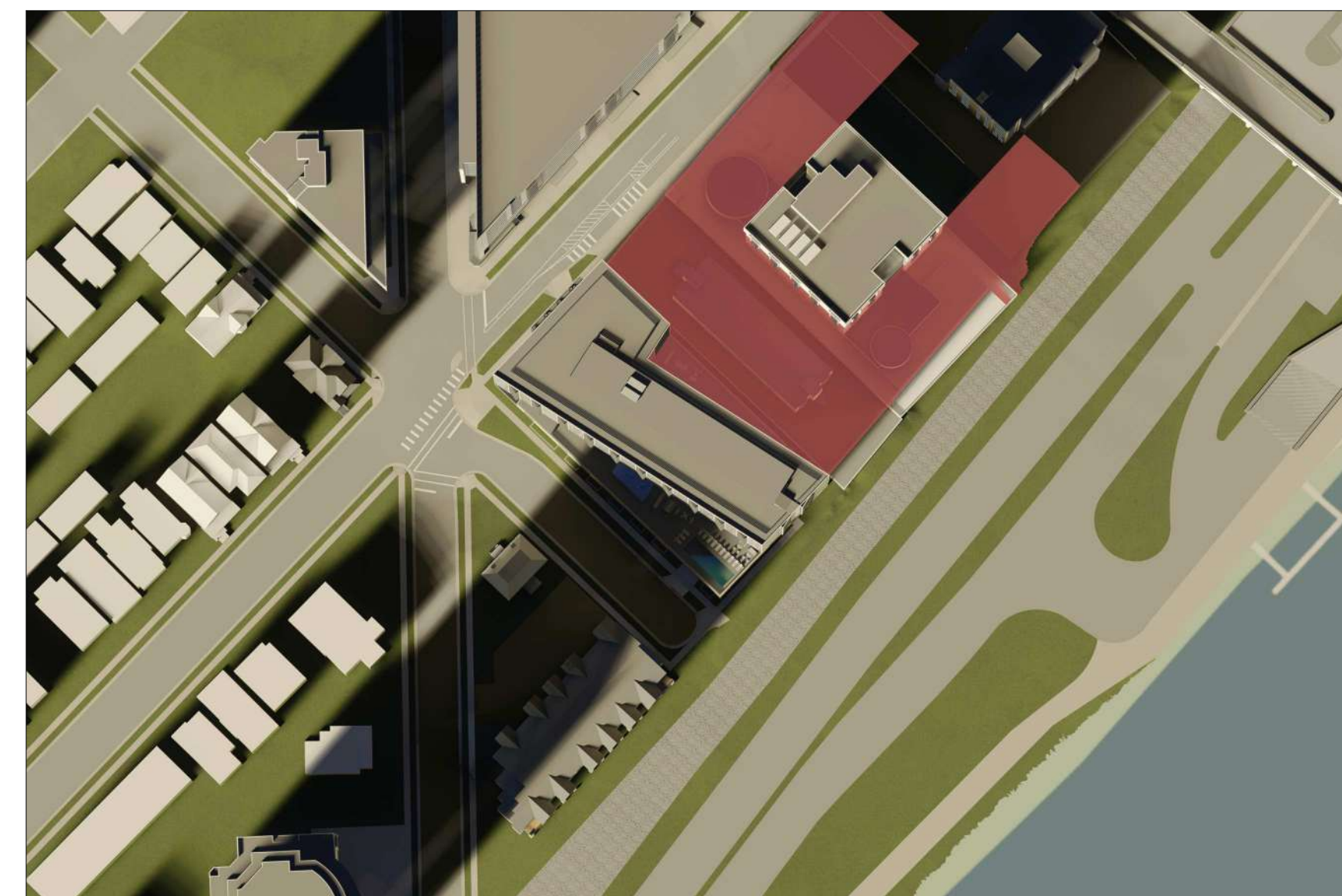
SPRING - 12PM



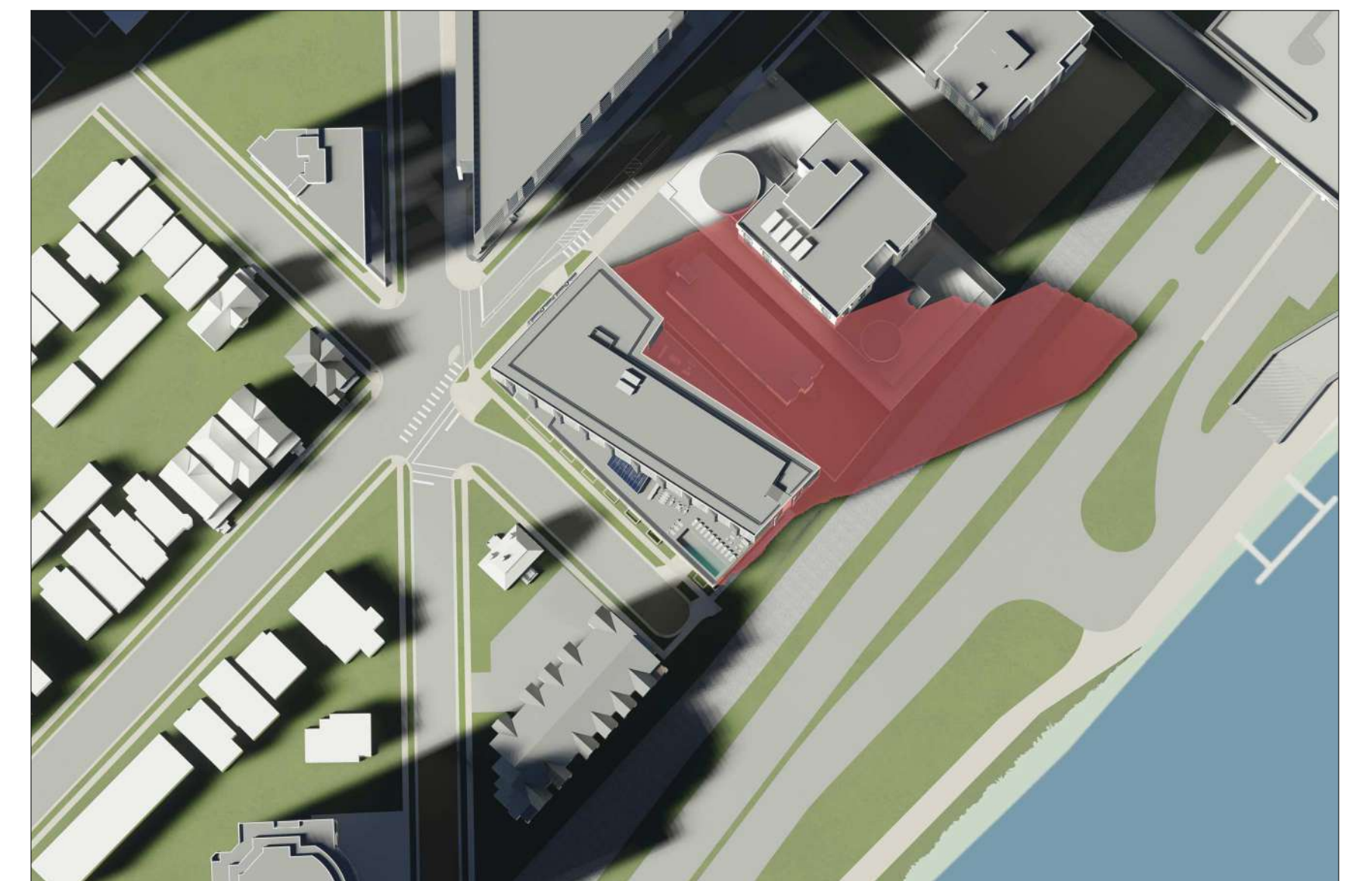
SUMMER - 5PM



FALL - 4PM



WINTER - 3PM



SPRING - 4PM

100 W WILSON  
100 W WILSON ST. MADISON, WI  
SUN STUDY

**Kahler Slater**







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