



City of Madison

Conditional Use

Location
1704 Autumn Lake Parkway

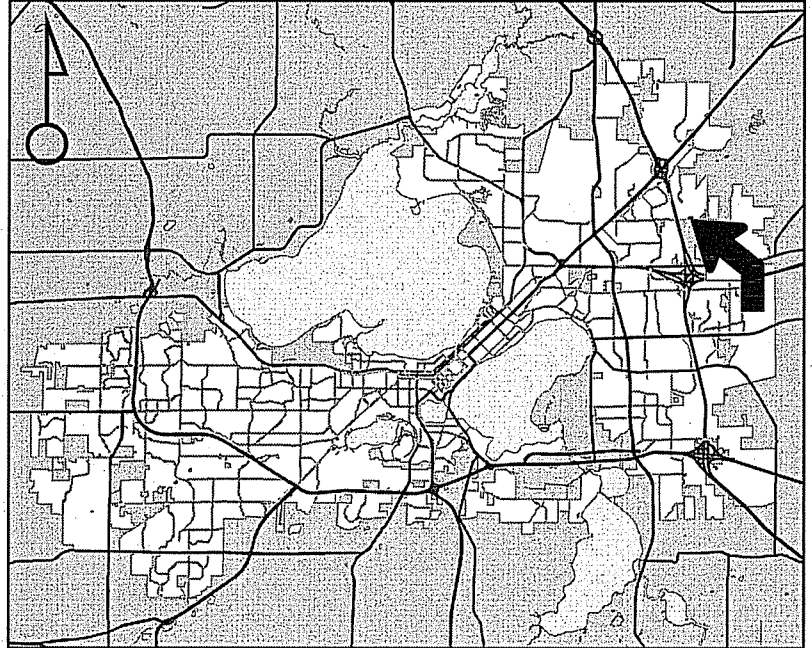
Project Name
Lot 564 of the Village at
Autumn Lake

Applicant
Grosse, Hanzel & Simon / Randy Bruce
- Knothe & Bruce Architects

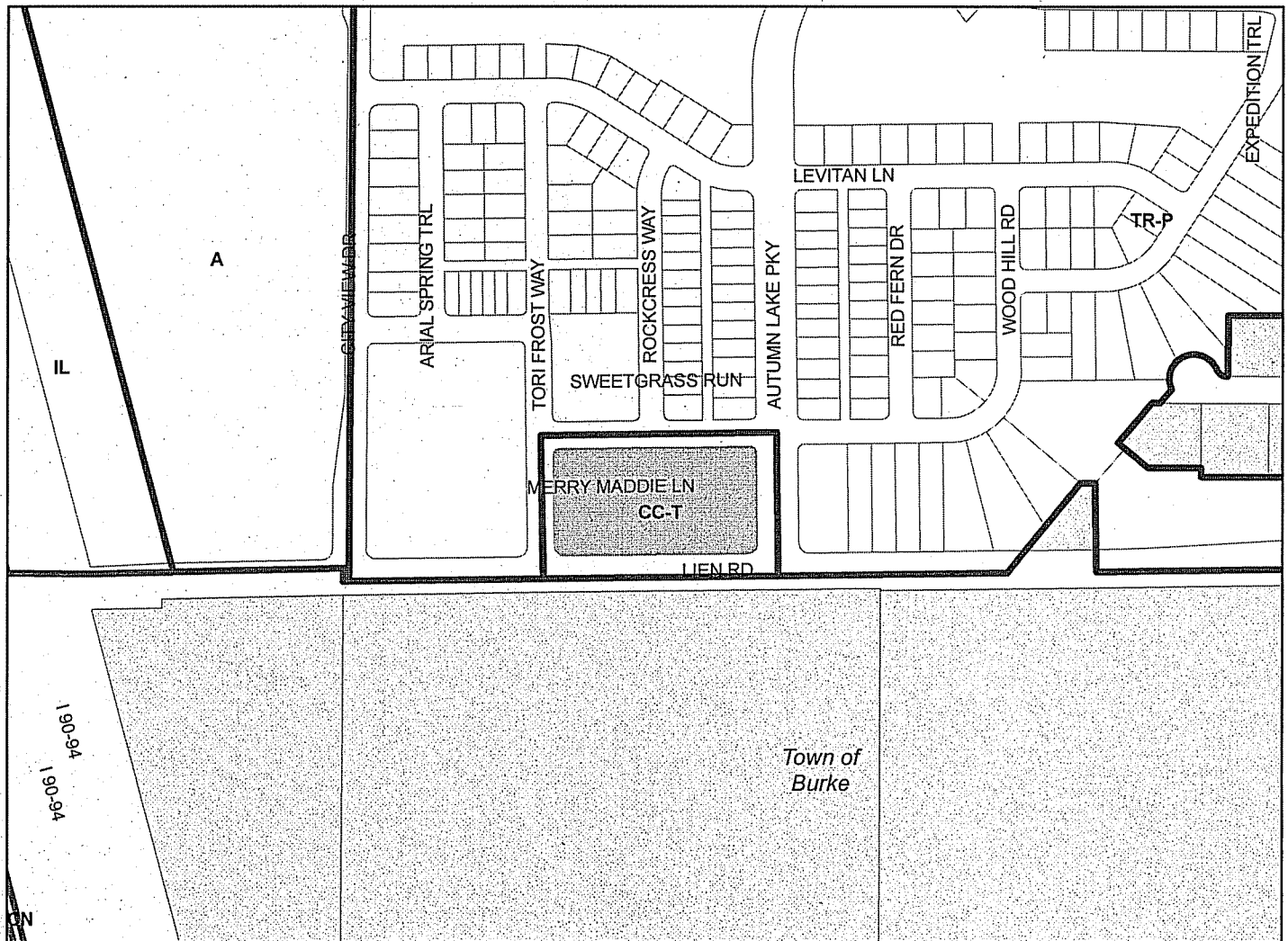
Existing Use
Vacant

Proposed Use
Construct 47-unit apartment building,
pool and clubhouse in CC-T zoning

Public Hearing Date
Plan Commission
03 April 2017

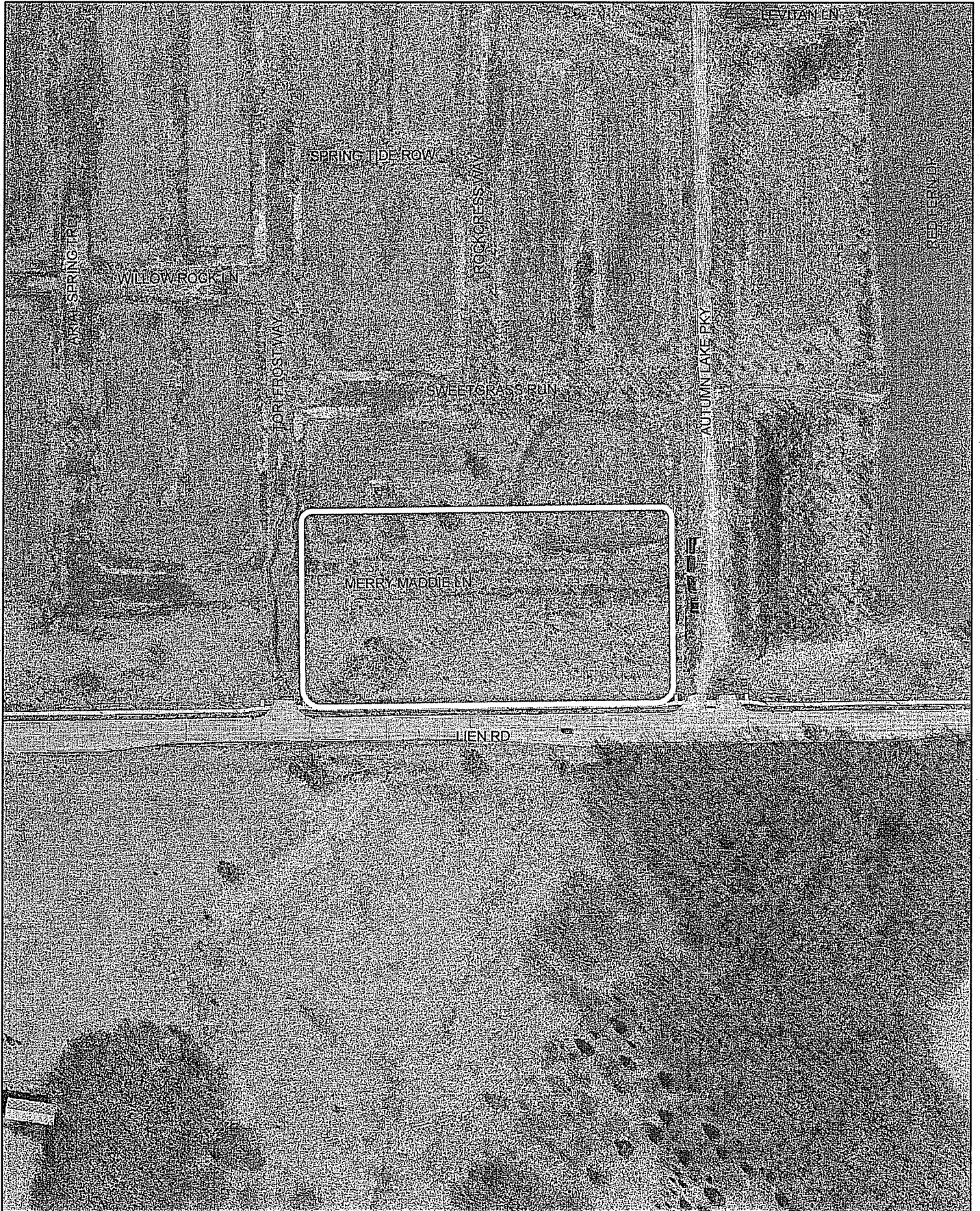


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 27 March 2017





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received <u>2/8/17</u>	
Received By <u>[Signature]</u>	
Parcel No. <u>0810-263-4801-2</u>	
Aldermanic District <u>17</u>	
Zoning District <u>TR-P</u>	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input checked="" type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 1704 Autumn Lake Parkway
Project Title (if any): Lot 564 of The Village at Autumn Lake

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Grosse, Hanzel, & Simon and/or assigns Company: same
Street Address: 6650 University Ave. City/State: Middleton, WI Zip: 53562
Telephone: (608) 575-9023 Fax: () Email: dickhanzel@yahoo.com

Project Contact Person: Randy Bruce Company: Knothe & Bruce Architects, LLC
Street Address: 7601 University Avenue, Suite 201 City/State: Middleton, WI Zip: 53562
Telephone: (608) 836-3690 Fax: () N/A Email: rbruce@knothebruce.com

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: One apartment buildings containing 47 units with underground parking, a clubhouse and a pool.

Development Schedule: Commencement June 2017 Completion August 2021

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alder Samba Baldeh District 17 December 15, 2016

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

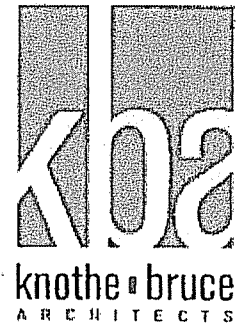
Planning Staff: Tim Parks Date: 01-05-2017 Zoning Staff: DAT Mtg Date: 01-05-2017

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Grosse, Hanzel & Simon Relationship to Property: OWNER
Authorizing Signature of Property Owner [Signature] Date 2-6-17

December 15, 2016

Alder Samba Baldeh
Aldersperson – District # 17
City-County Building
Common Council Office
210 Martin Luther King Jr. Blvd.
Madison, WI 53709-0001



Re: 5501 Spring Tide Way & 1704 Autumn Lane Parkway

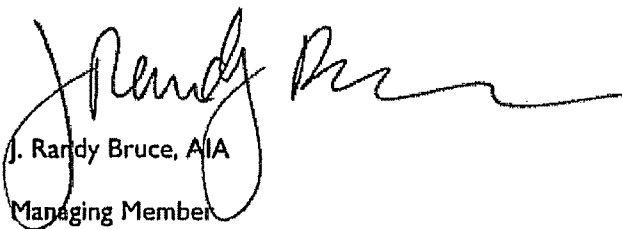
Dear Samba,

I understand that you met with Dan Brinkman last week to discuss a proposed development located at 5501 Spring Tide Way & 1704 Autumn Lane Parkway. As a follow up to that discussion, I would like to take this opportunity to formally notify you that we are planning to submit an application for conditional use approval on January 18, 2017.

The proposed development is an apartment community on Lots 520 & 564 of The Village of Autumn Lake Replat. There are a total of approximately 250 apartments, 2,000 square feet of commercial-residential flex-space and common amenities to support the apartment community.

We look forward to working with you to design a successful development for this property. If you have any questions, please contact me at 608-836-3690 or rbruce@knothebruce.com.

Sincerely,



J. Randy Bruce, AIA
Managing Member

From: Baldeh, Samba <district17@cityofmadison.com>
Sent: Thursday, December 15, 2016 11:17 AM
To: Randy Bruce
Cc: Dan Brinkman; Dan Day; Denise Salimes; Greg Held
Subject: Re: Autumn Lake Apartments

Morning Bruce -

Thank you for the letter, I appreciate the updates on this. Please keep me posted and let me know if anything.

Like I said to Dan I am looking forward to working with all of you on this project and hopefully others. Also mentioned to him about affordable units. I totally understand if the project could not accommodate a few in this phase but I just believe that having one or two affordable units will diversity the economic make up of the complex and also serves as give back to a community.

While this totally skip my mind and I did not bring this up to Dan, I generally like to engage neighbors very early on so their input can be factored in designs but this area is not that inhabited yet except to the South East of the proposed project site. I would therefore, like to have an informational session with the neighbors to the south east some time after your January 18th application is finalized.

Please let me know if you have any questions or concerns.

Thank you.

Alder Samba Baldeh
MCC - District 17
Email: district17@cityofmadison.com
www.cityofmadison.com/council/district17

From: Randy Bruce <RBruce@knothebruce.com>
Sent: Thursday, December 15, 2016 10:03 AM
To: Baldeh, Samba
Cc: Dan Brinkman; Dan Day; Denise Salimes; Greg Held
Subject: Autumn Lake Apartments

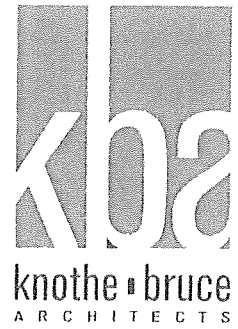
Samba,

Please see attached letter.

J. Randolph Bruce, AIA | Managing Member | Knothe & Bruce Architects, LLC | Ph: 608.836.3690, ext. 101
7601 University Avenue, Middleton, WI 53562 | rbruce@knothebruce.com

March 16, 2017

Tim Parks
Department of Planning & Development
City of Madison
126 S. Hamilton Street
PO Box 2985
Madison, Wisconsin 53701



Re: Design Progression Letter
Lot 564 Autumn Lake/ 1704 Autumn Lake Parkway
Madison, WI
KBA Project #1644

Mr. Parks:

The following design progressions have been made to the plans at 1704 Autumn lake Parkway since the Plan Commission submittal on February 8, 2017.

Site Plan

- The pool and grilling area was relocated to allow for additional vehicle parking stalls adjacent to the clubhouse.
- A common entry and sidewalk was added to the north side of the building.

Building Architecture

- The north and south elevations were revised in the central area where the common entry was added.

Floor Plans

- The basement plan has been updated. The number of vehicle parking stalls remains the same but there is one additional bike parking stall.
- A common entry was added to the north side of the building, therefore a two-bedroom unit changed to a one bedroom unit on the first floor plan.

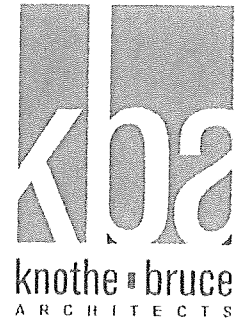
Thank you for your time reviewing our proposal.

Sincerely,

J. Randy Bruce
Managing Member

February 8, 2017
Revised March 16, 2017*

Ms. Heather Stouder
Department of Planning & Development
City of Madison
146 S. Hamilton Street
PO Box 2985
Madison, Wisconsin 53701



Re: Letter of Intent
1704 Autumn Lake Parkway
The Village at Autumn Lake – Lot 564
KBA Project # 1644

Ms. Heather Stouder:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

Organizational structure:

Owner:	Grosse, Hanzel & Simon and/or signs 6650 University Ave. Middleton, WI 608-575-9023 Contact: Dick Hanzel dickhanzel@yahoo.com	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 Contact: Randy Bruce rbruce@knothebruce.com
Engineer:	D'Onofrio & Kottke 7530 Westward Way Madison, WI 53717 (608) 833-7530 (608) 833-1089 fax Contact: Dan Day dday@donofrio.cc	Landscape Design:	Olson Toon Landscaping, Inc. 3570 Pioneer Road Verona, WI 53593 (608) 827-9401 Contact: Rich Carlson rich@olsontoon.com

Introduction:

The proposed site is Lot 564 of Village of Autumn Lake subdivision, located at the northeast corner of Lien Road and City View Drive in Madison, Wisconsin. This site will be developed along with Lot 520 by development team listed above. The site is zoned CC-T and a conditional-use approval is required to allow the proposed multifamily building with more than 8 units.

Project Description:

Lot 564 is designed as a two-phase development. The first phase is the subject of this proposal contains a two and three-story 47 unit apartment building along with a one-story clubhouse building. The clubhouse and associated swimming pool are provided for community social and recreation facilities to serve both Lots 564 and 520.

The subsequent phase of the Lot 564 development will be a residential apartment building that will allow 2,000 to 3,000 square feet of the residential space to transition to commercial space when the market will support it at this location. The intent is to create a predominantly residential development with neighborhood serving commercial space fronting Autumn Lake Parkway. This subsequent phase of Lot 564 will be submitted for City review in the very near future.

The exterior architecture is well articulated, using a combination of stone and horizontal siding to create a moderately dense residential village at the entrance to the Autumn Lake subdivision.

The site is bounded on all four sides by public streets and vehicular access to the site is achieved from two of them: Summer Shine Drive and Willow Rock Road. Underground parking is provided and includes a total of 50 resident parking stalls. An additional 34* parking spaces are located on grade and on-street parking is available to supplement on-site parking. Bicycle parking is dispersed throughout the site with covered bike parking conveniently located in each basement garage.

Site Development Data: (* indicates revision)

Densities:

Total Lot Area	131,849 S.F. / 3.1 Acres
Lot Area (this submittal)	94,126 S.F. / 2.16 Acres
Dwelling Units	47 DU
Lot Area / D.U.	2,003 S.F. / unit
Density	21.76 units/acre

Building Height 2 - 3 stories

Lot Coverage 50,072 S.F. = 53% (75% Max.)*
Usable Open Space 34,350 S.F. (731 S.F./D.U.)*

Dwelling Unit Mix:

Efficiency	3
One Bedroom	25*
<u>Two Bedroom</u>	<u>19*</u>
Total Dwelling Units	47*

Vehicle Parking:

Surface	34 stalls*
<u>Underground</u>	<u>50 stalls</u>
Total	84 stalls *
Ratio	1.8 stalls/unit*

Bicycle Parking:

Surface	7 stalls
Surface Guest	5 stalls
Underground Garage – Wall Hung	10 stalls*
<u>Underground Garage STD. 2'x6'</u>	<u>33 stalls*</u>
Total	55 stalls*

Letter of Intent –Conditional Use
The Village at Autumn Lake – Lot 564
1704 Autumn Lake Parkway, Madison, WI
March 16, 2017
Page 3 of 3

Project Schedule:

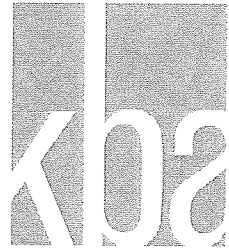
This site (Lot 564) will be constructed and managed as a single development along with the buildings on Lot 520. It is anticipated that the construction on this site will start in summer 2017 and that the 7 buildings on the two sites will be completed over a 4-year build-out.

Thank you for your time reviewing our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read "Randy Bruce", with a long horizontal flourish extending to the right and a large, loopy initial "R" below the name.

Randy Bruce, AIA



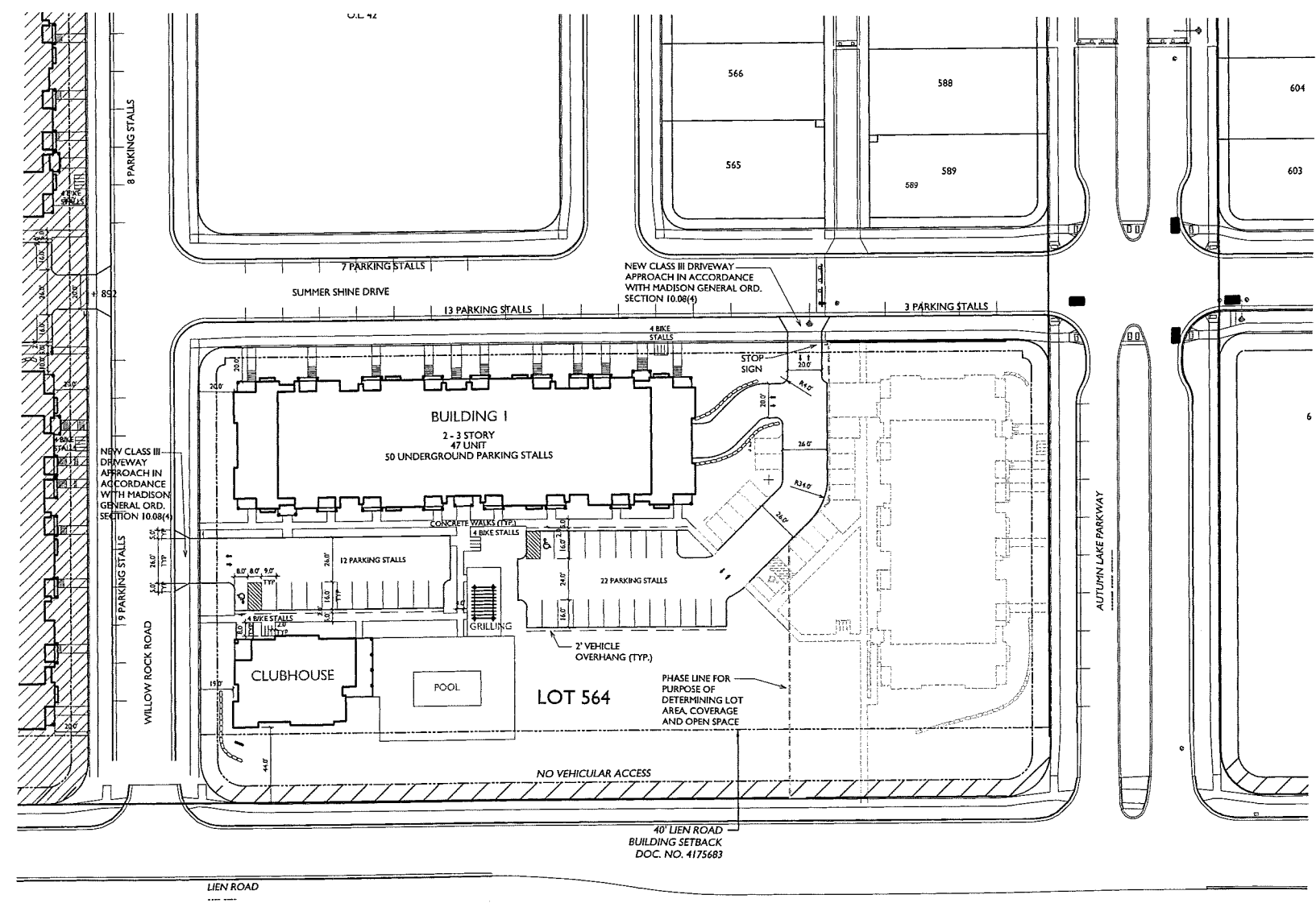
knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

SHEET INDEX	
SITE	
C-1.1	SITE PLAN
C-1.2a	OVERALL SITE LIGHTING PLAN
C-1.2b	ENLARGED SITE LIGHTING PLAN
C-1.3	FIRE DEPARTMENT ACCESS PLAN
C-1.4	USABLE OPEN SPACE
C-1.5	LOT COVERAGE
C-2.0	
C-2.0	SITE GRADING PLAN
C-3.0	SITE UTILITY PLAN
L-1.0	
L-1.0	LANDSCAPE PLAN
ARCHITECTURAL	
CLUBHOUSE	
A-1.0	FLOOR PLAN & ELEVATIONS
BUILDING #1	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

LOT 564 SITE DEVELOPMENT DATA	
DENSITIES	
TOTAL LOT AREA	131,849 S.F. / 3.1 ACRES
LOT AREA (THIS SUBMITTAL)	94,125 S.F. / 2.16 ACRES
DWELLING UNITS	47 DU
LOT AREA / D.U.	2,003 S.F. / DU
DENSITY	21.76 UNITS / ACRE
BUILDING HEIGHT	
	2-3 STORIES
LOT COVERAGE	
	50,072 S.F. = 53% (75% MAX)
USABLE OPEN SPACE	34,350 S.F.
USABLE OPEN SPACE / D.U.	731 S.F. / D.U.
DWELLING UNIT MIX:	
EFFICIENCY	3
ONE BEDROOM	25
TWO BEDROOM	19
TOTAL UNITS	47 UNITS
VEHICLE PARKING STALLS:	
SURFACE	34
UNDERGROUND	50
TOTAL	84 VEHICLE STALLS
RATIO	1.8 STALLS/UNIT
BICYCLE PARKING STALLS	
SURFACE	7
SURFACE GUEST	5
UNDERGROUND GARAGE - WALL HUNG	10
UNDERGROUND GARAGE STD. 2'X6'	33
TOTAL	55 BICYCLE STALLS

- GENERAL NOTES:**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 - ALL DAMAGE TO THE PAVEMENT, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
 - APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER, 266-4016.
 - EASEMENT LINES SHOWN ON THIS SHEET ARE FOR GENERAL REFERENCE ONLY - SEE CSM AND CIVIL SHEETS FOR ADDITIONAL AND MORE COMPLETE EASEMENT INFORMATION



ISSUED
Issued for Land Use - March 16, 2017

PROJECT TITLE
**Village at Autumn
Lake - Building I
& Clubhouse**

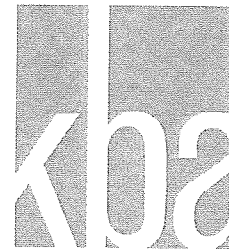
Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1

PROJECT NO. **1644**
© Knothe & Bruce Architects, LLC





knothe bruce
ARCHITECTS

Phone: 7401 University Ave, Ste 201
608.836.3670 Middleton, WI 53562

ISSUED
Issued for Land Use - March 16, 2017

PROJECT TITLE
**Village at Autumn
Lake - Building I
& Clubhouse**

Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
**Overall Site
Lighting Plan**

SHEET NUMBER

C-1.2a

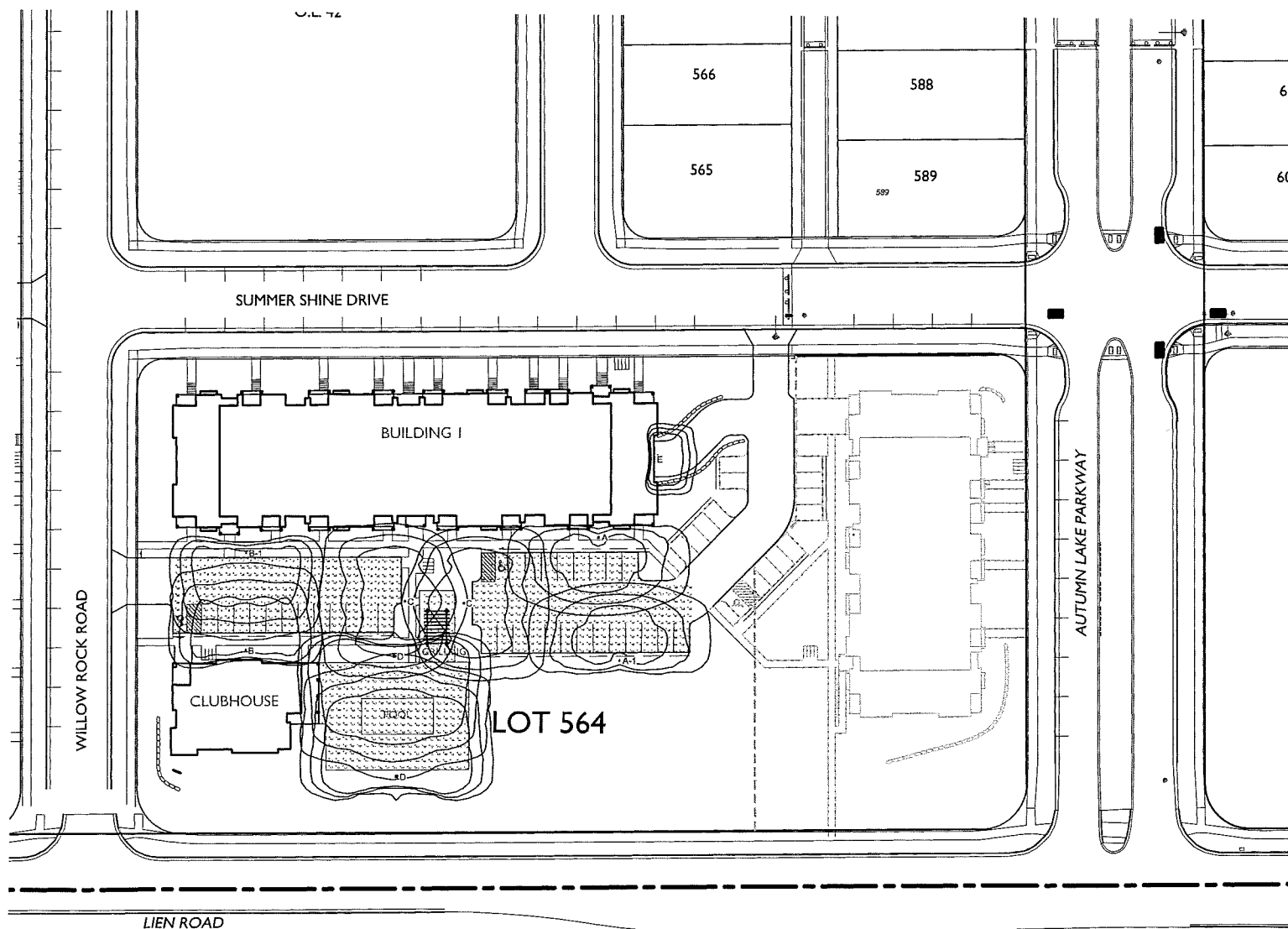
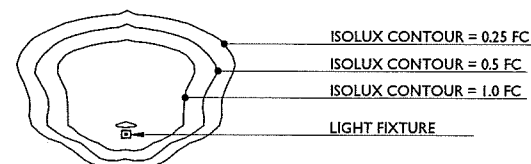
PROJECT NO. **1644**
© Knothe & Bruce Architects, LLC

SEE SHEET C-1.2b FOR ENLARGED LIGHTING PLAN

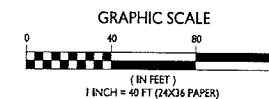
LOT #564 - STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lot #564 - East	+	1.0 fc	1.7 fc	0.4 fc	4.3:1	2.5:1
Lot #564 - Central	+	1.5 fc	2.5 fc	0.6 fc	4.2:1	2.5:1
Lot #564 - West	+	1.1 fc	2.3 fc	0.3 fc	7.7:1	3.7:1
Lot #564 - Pool Deck	+	6.1 fc	9.0 fc	3.7 fc	2.4:1	1.6:1

lot #564 - LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY	CATALOG	DESCRIPTION	LAMP	FILE	MOUNTING
□	A	1	ARE-EDG-3MB-**-06-E-UL-350-40K (350mA)	LED TYPE III MEDIUM OPTIC W/ FULL BACKLIGHT 700MA 4000K LEDWAY STREETLIGHT	60 WHITE LED, VERTICAL BASE-UP	ARE-EDG-3MB--06-E-UL-350-40K-CONFIGURED, IES	A 20'-0" POLE ON FLUSH CONC. BASE A-1 18'-0" POLE ON 2'-0" TALL CONC. BASE
○	B	1	ARE-EDG-4MB-**-06-E-UL-350-40K (350mA)	CREE EDGE AREA, TYPE IV MEDIUM W- FULL BLS, 120 LEDS, 525MA, 4000K	120 WHITE LED, VERTICAL BASE-UP	ARE-EDG-4MB--06-E-UL-350-40K-CONFIGURED, IES	B 20'-0" POLE ON FLUSH CONC. BASE B-1 18'-0" POLE ON 2'-0" TALL CONC. BASE
□	C	2	ARE-EDG-4M-**-06-E-UL-350-40K (350mA)	CREE EDGE AREA, TYPE IV MEDIUM 60 LEDS, 700MA, 4000K	60 WHITE LED, VERTICAL BASE-UP	ARE-EDG-4M--06-E-UL-350-40K-CONFIGURED, IES	C 18'-0" POLE ON 2'-0" TALL CONC. BASE
□	D	2	ARE-EHO-4MB-**-12-E-UL-700-40K (700mA)	CREE EDGE HIGH OUTPUT, TYPE IV MEDIUM W- FULL BLS, 120 LEDS, 1000mA, 4000K	120 WHITE LED, VERTICAL BASE-UP	ARE-EHO-4MB--12-E-UL-700-40K-CONFIGURED, IES	D 20'-0" POLE ON FLUSH CONC. BASE
○	E	1	SEC-EDG-4MB-**-02-E-UL-350-40K (350mA)	CREE EDGE AREA, TYPE IV MEDIUM W- FULL BLS, 120 LEDS, 525mA, 4000K	120 WHITE LED, VERTICAL BASE-UP	SEC-EDG-4MB--02-E-UL-350-40K-CONFIGURED, IES	E 8'-0" ABOVE GRADE ON SIDE OF BUILDING

EXAMPLE LIGHT FIXTURE DISTRIBUTION



1
C-1.2a
OVERALL SITE LIGHTING PLAN
1" = 40'-0"

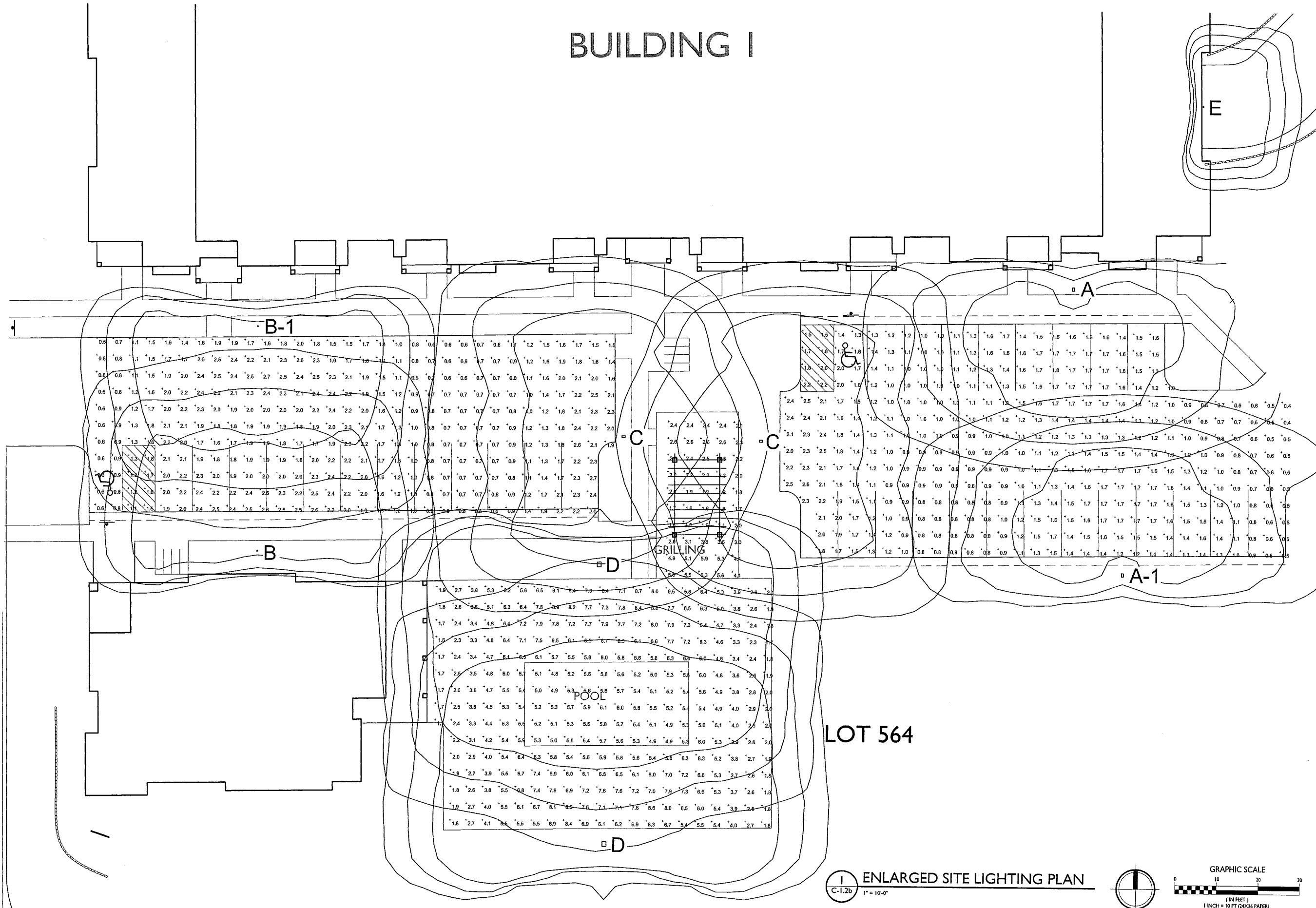


SHEET NUMBER

C-1.2a

PROJECT NO. **1644**
© Knothe & Bruce Architects, LLC

BUILDING I



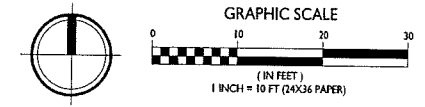
ISSUED
Issued for Land Use - March 16, 2017

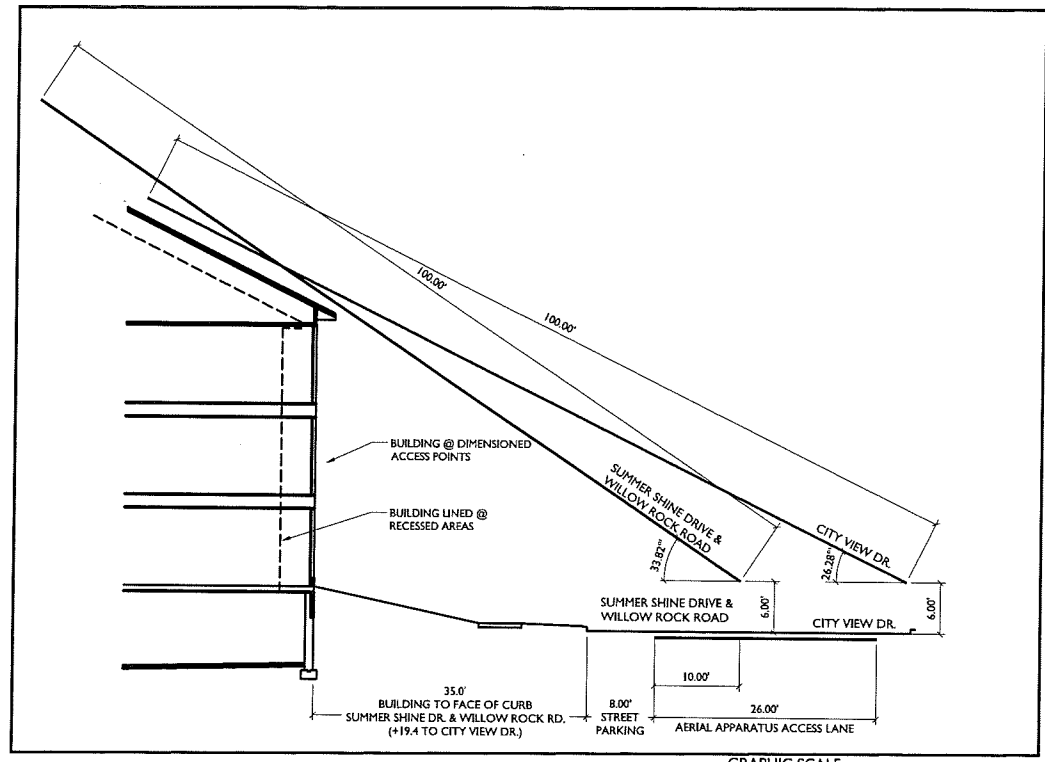
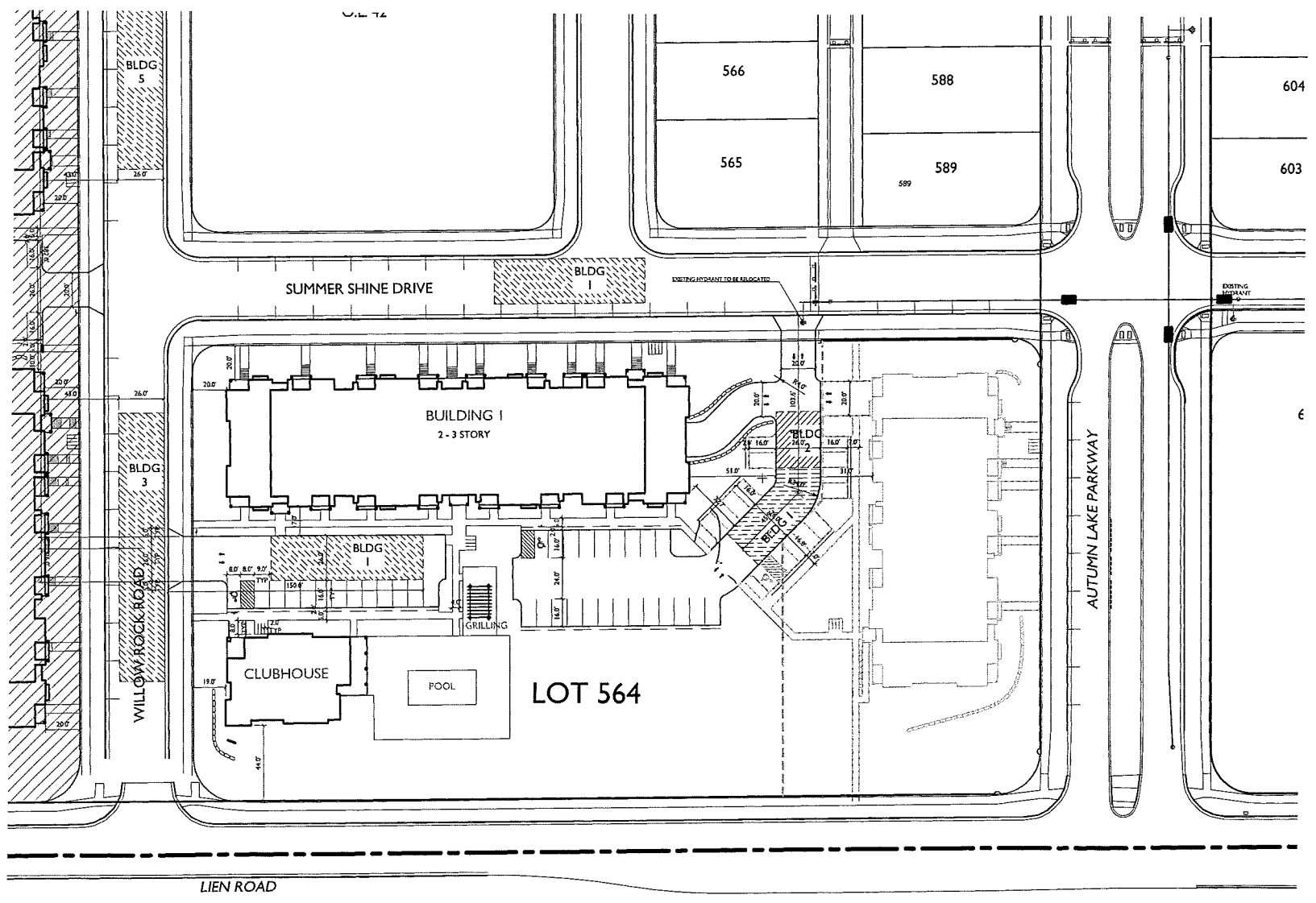
PROJECT TITLE
**Village at Autumn
Lake - Building I
& Clubhouse**

Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
**Enlarged Site
Lighting Plan**

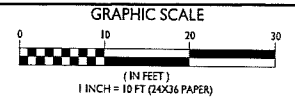
SHEET NUMBER
C-1.2b
PROJECT NO. **1644**
© Knothe & Bruce Architects, LLC

ENLARGED SITE LIGHTING PLAN
1" = 10'-0"





2 AERIAL ACCESS FROM STREETS
 C-1.2 1" = 10'-0"

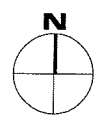


ISSUED
 Issued for Land Use - March 16, 2017

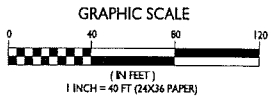
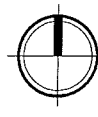
PROJECT TITLE
Village at Autumn Lake - Building I & Clubhouse


Lot 564
 1704 Autumn Lake Pkwy
 SHEET TITLE
Fire Department Access Plan

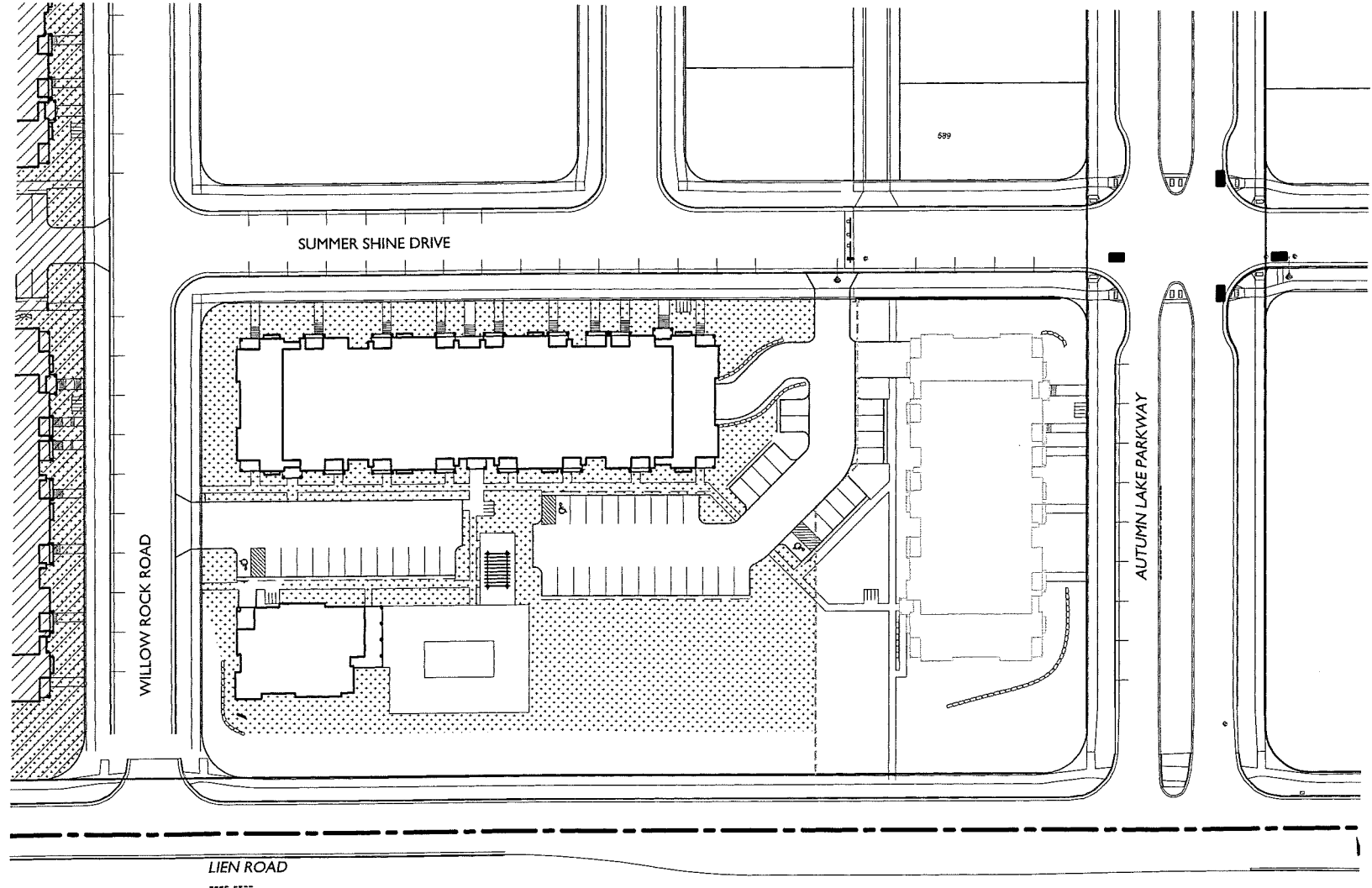
SHEET NUMBER
C-1.3
 PROJECT NO. **1644**
 © Knothe & Bruce Architects, LLC



1 FIRE DEPARTMENT ACCESS PLAN
 C-1.3 1" = 40'-0"




USABLE OPEN SPACE
 GROUND SPACE = 34,350 SF



ISSUED
 Issued for Land Use - March 16, 2017

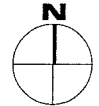
PROJECT TITLE
 Village at Autumn
 Lake - Building I
 & Clubhouse

Lot 564
 1704 Autumn Lake Pkwy
SHEET TITLE
 Usable Open
 Space

SHEET NUMBER

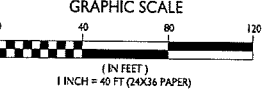
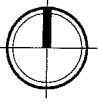
C-1.4

PROJECT NO. 1644
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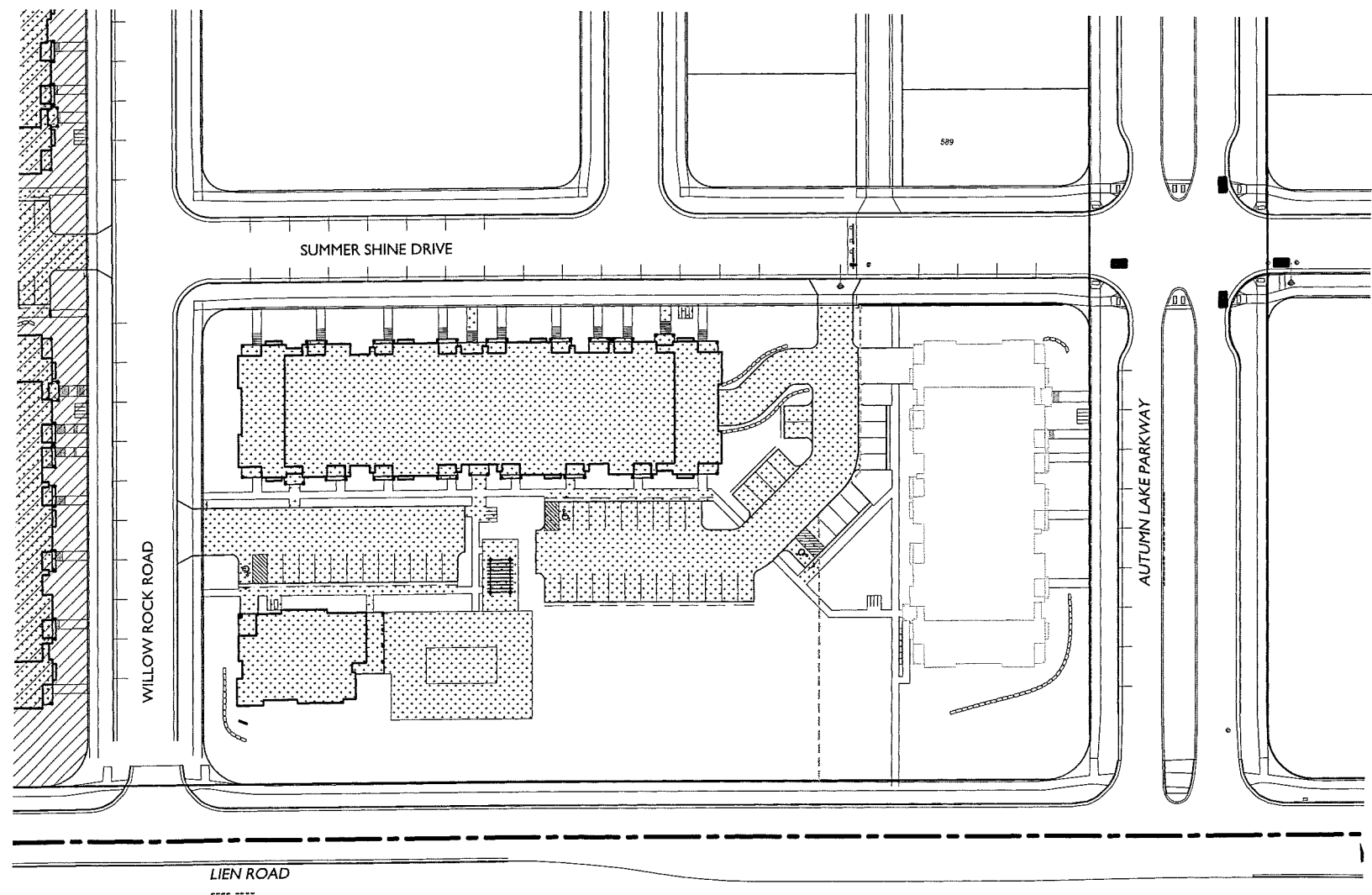


USABLE OPEN SPACE

1" = 40'-0"



LOT COVERAGE	
TOTAL LOT AREA	= 94,126 SF
LOT COVERAGE	= 50,072 SF
	= 53 %
ALLOWED	75 %



ISSUED
 Issued for Land Use - March 16, 2017

PROJECT TITLE
**Village at Autumn
 Lake - Building I
 & Clubhouse**

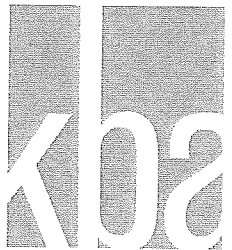
Lot 564
 1704 Autumn Lake Pkwy
 SHEET TITLE
Lot Coverage



SHEET NUMBER

C-1.5

PROJECT NO. **1644**
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ARCHITECTS

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ISSUED
Issued for Land Use & UDC - Jun. 18, 2017
Revised - March 16, 2017

PROJECT TITLE
**Village at Autumn
Lake**

Lot 564
1704 Autumn Lake Pkwy

SHEET TITLE
Grading Plan

SHEET NUMBER

C-2.0

PROJECT NO.

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LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
EP - EDGE OF PAVEMENT
FFE - FINISHED FLOOR ELEVATION
TC - TOP OF CURB
TW - TOP OF WALL (GROUND ELEVATION)
BW - BOTTOM OF WALL (GROUND ELEVATION)
HP - HIGHPOINT
- LIMITS OF DISTURBANCE
- SILT FENCE/SILT SOCK
- FLOW ARROW
- RETAINING WALL (DESIGN BY OTHERS)

GENERAL NOTES

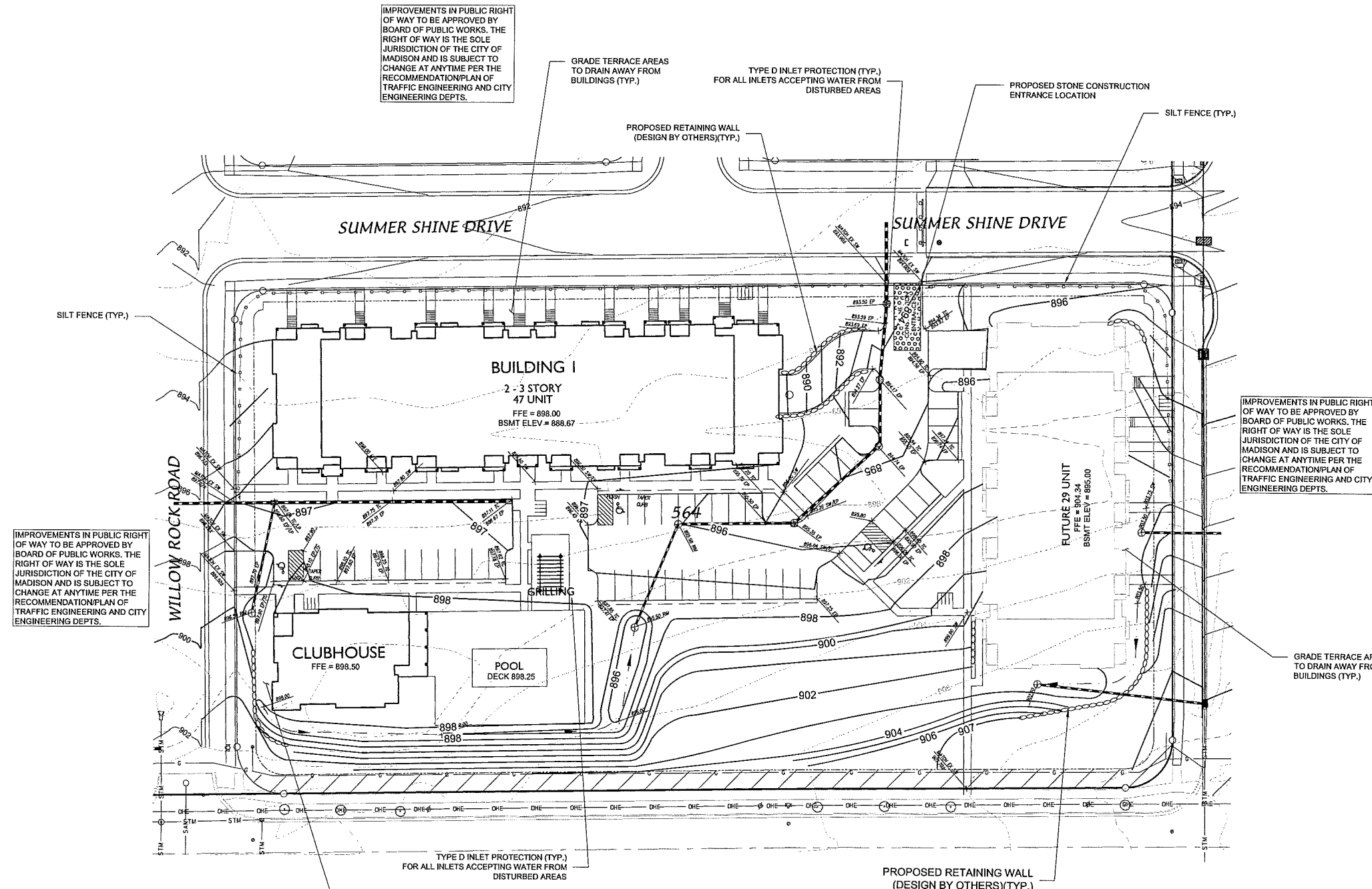
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARDSPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR
8. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB & GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION.
9. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB & GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION.
10. ALL DAMAGE TO THE PAVEMENT OF ADJACENT PUBLIC STREETS SHALL BE RESOTED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA

GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN, MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL TYPE D INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 4:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL, FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

SEQUENCE/ ANTICIPATED TIME SCHEDULE

1. INSTALL EROSION CONTROL
2. ROUGH SITE GRADING, BEGIN BUILDING CONSTRUCTION
3. FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, UTILITIES, RETAINING WALL, AND BUILDING CONSTRUCTION.
4. RESPREAD TOPSOIL AND FINAL RESTORATION
5. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.



IMPROVEMENTS IN PUBLIC RIGHT OF WAY TO BE APPROVED BY BOARD OF PUBLIC WORKS. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

GRADE TERRACE AREAS TO DRAIN AWAY FROM BUILDINGS (TYP.)

TYPE D INLET PROTECTION (TYP.) FOR ALL INLETS ACCEPTING WATER FROM DISTURBED AREAS

PROPOSED STONE CONSTRUCTION ENTRANCE LOCATION

SILT FENCE (TYP.)

SUMMER SHINE DRIVE

SUMMER SHINE DRIVE

BUILDING I
2-3 STORY
47 UNIT
FFE = 898.00
BSMT ELEV = 888.67

FUTURE 29 UNIT
FFE = 904.24
BSMT ELEV = 885.00

CLUBHOUSE
FFE = 898.50

POOL
DECK 898.25

GRILLING

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GRADE TERRACE AREAS TO DRAIN AWAY FROM BUILDINGS (TYP.)

TYPE D INLET PROTECTION (TYP.) FOR ALL INLETS ACCEPTING WATER FROM DISTURBED AREAS

PROPOSED RETAINING WALL (DESIGN BY OTHERS)(TYP.)

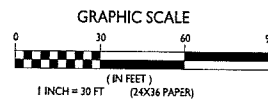
GRADE TERRACE AREAS TO DRAIN AWAY FROM BUILDINGS (TYP.)

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

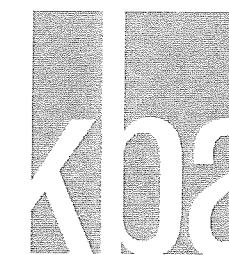


Dial 811 or
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DiggersHotline.com

1 GRADING PLAN
C-1.1 1" = 40'-0"



PRELIMINARY - NOT FOR CONSTRUCTION



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GENERAL NOTES

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SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING WATER, STORM AND SEWER PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY AND COORDINATE SANITARY, STORM AND WATER BUILDING SERVICE CONNECTION LOCATION, SIZES, & DEPTHS WITH ARCHITECTURAL PLUMBING PLAN PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
5. ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
6. ALL STORM CATCHBASINS TO BE 48" DIAMETER WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN
7. ALL STORM CURB INLETS TO BE 2'X3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
8. PLACE 8' X 4' X 2" WATERMAIN INSULATION AT ALL STORM SEWER CROSSINGS

ISSUED
Issued for Land Use & UDC - Jan. 18, 2017
Revised - March 16, 2017

PROJECT TITLE
Village at Autumn Lake

Lot 564
1704 Autumn Lake Pkwy

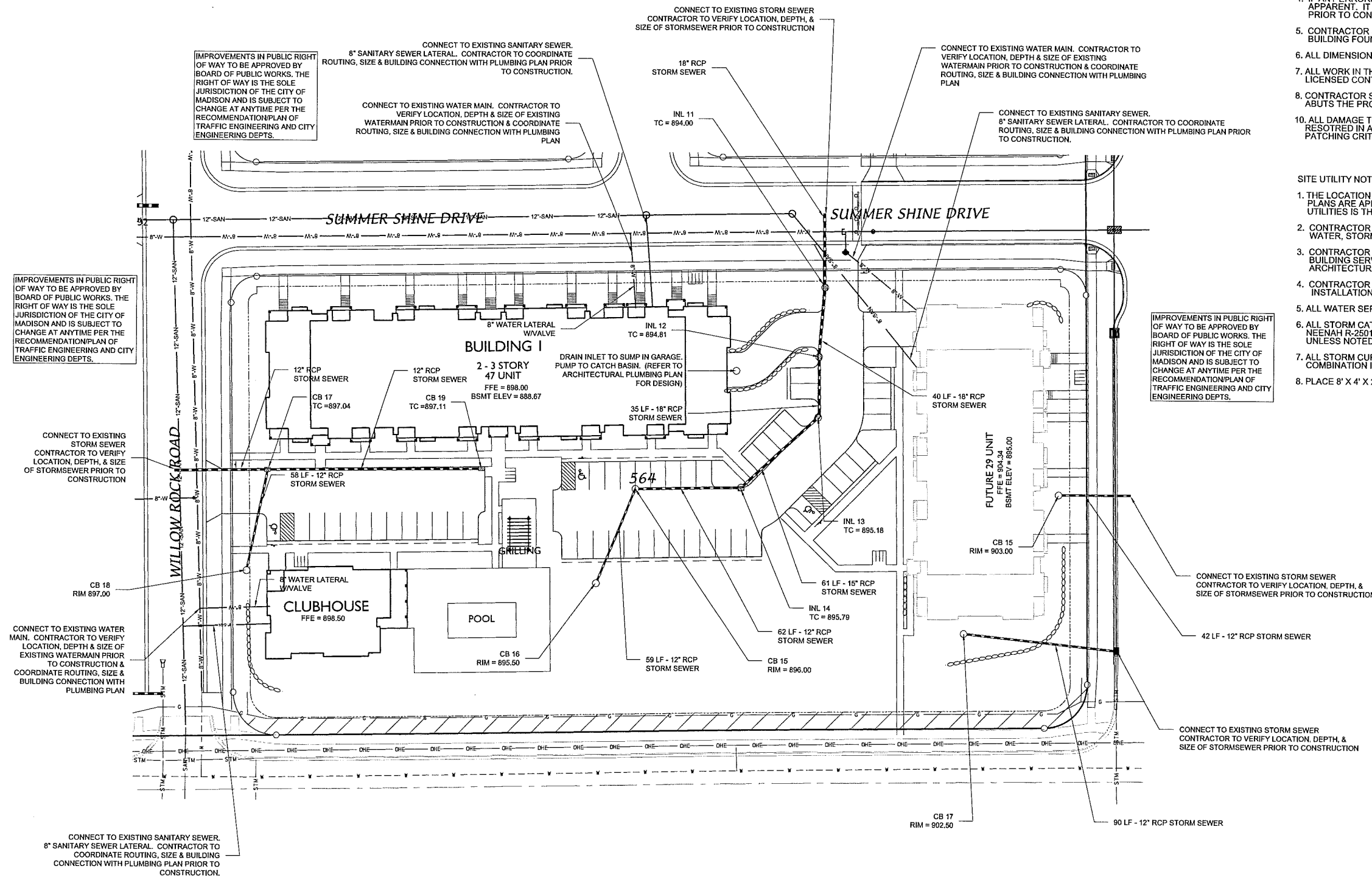
SHEET TITLE
Utility Plan

SHEET NUMBER

C-3.0

PROJECT NO.

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CONNECT TO EXISTING SANITARY SEWER. 8" SANITARY SEWER LATERAL. CONTRACTOR TO COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.

CONNECT TO EXISTING WATER MAIN. CONTRACTOR TO VERIFY LOCATION, DEPTH & SIZE OF EXISTING WATERMAIN PRIOR TO CONSTRUCTION & COORDINATE ROUTING, SIZE & BUILDING CONNECTION WITH PLUMBING PLAN

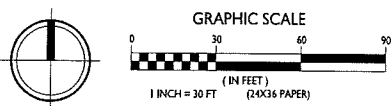
CONNECT TO EXISTING STORM SEWER. CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE OF STORMSEWER PRIOR TO CONSTRUCTION

CONNECT TO EXISTING STORM SEWER. CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE OF STORMSEWER PRIOR TO CONSTRUCTION

CONNECT TO EXISTING STORM SEWER. CONTRACTOR TO VERIFY LOCATION, DEPTH, & SIZE OF STORMSEWER PRIOR TO CONSTRUCTION

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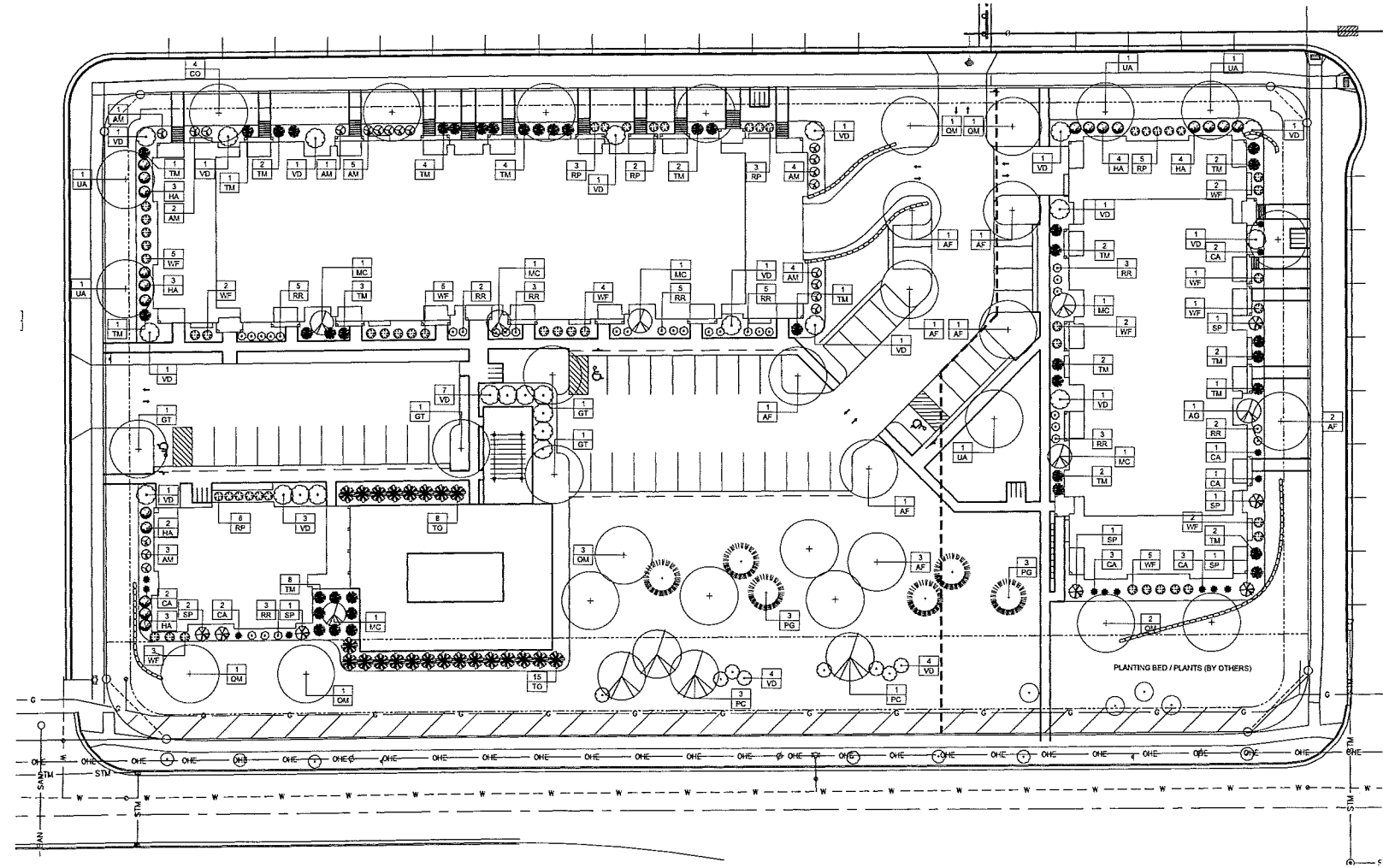
UTILITY PLAN
C-2.1 1" = 40'-0"



PRELIMINARY - NOT FOR CONSTRUCTION

KEY	DESCRIPTION	QTY	PLANT NO.	ROOT SIZE
DECIDUOUS TREES				
AM	Amelanchier alnifolia	11	212	8-12"
CO	Cornus florida	4	212	8-12"
CT	Quercus macrocarpa	4	212	8-12"
GM	Quercus macrocarpa	4	212	8-12"
LA	Liriodendron tulipifera	3	212	8-12"
ORNAMENTAL TREES				
AG	Amelanchier alnifolia	2	212	8-12"
MC	Malus domestica	1	212	8-12"
PC	Pyraulidoxylon	1	212	8-12"
SHRUBS				
HA	Hydrangea arborescens	4	212	8-12"
RR	Rosa rugosa	4	212	8-12"
PERENNIALS				
CA	Calluna vulgaris	1	212	8-12"
TO	Thalictrum aquilegifolium	1	212	8-12"
GRASSES				
GR	Grass	1	212	8-12"
GROUND COVERS				
GC	Groundcover	1	212	8-12"

- GENERAL NOTES:**
- BARK MULCH TO BE BROWN DYED, RECYCLED HARDWOOD, WITH PRE-EMERGENT HERBICIDE.
 - WASHED STONE TO BE 1.5" CAPITOL WASHED WITH WEED BARRIER FABRIC.
 - BED EDGING TO BE DIMEX EDGEPRO OR EQUIVALENT.
 - ALL CONCRETE AREAS, STEPS AND RAMPS TO BE UN-COLORED CONCRETE, BRUSH FINISHED.
 - SEE ASP-100 FOR SITE MATERIAL IMAGES.
- BIKE PARKING AND AMENITIES NOTES:**
- SEE SITE PLAN FOR DETAILED LAYOUT.
 - ALL SEATING SHOWN WILL BE SUPPLIED BY TENANT AND NON-PERMANENT FIXTURES.



3570 Pioneer Road
 Verona, WI 53593
 PH: (608) 827-9401
 FAX: (608) 827-9402
 WEB: www.olsontoon.com

AUTUMN LAKE - LOT 564

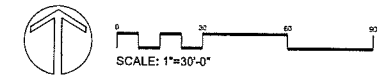
1704 Autumn Lake Parkway
 Madison, Wisconsin

L-1.0

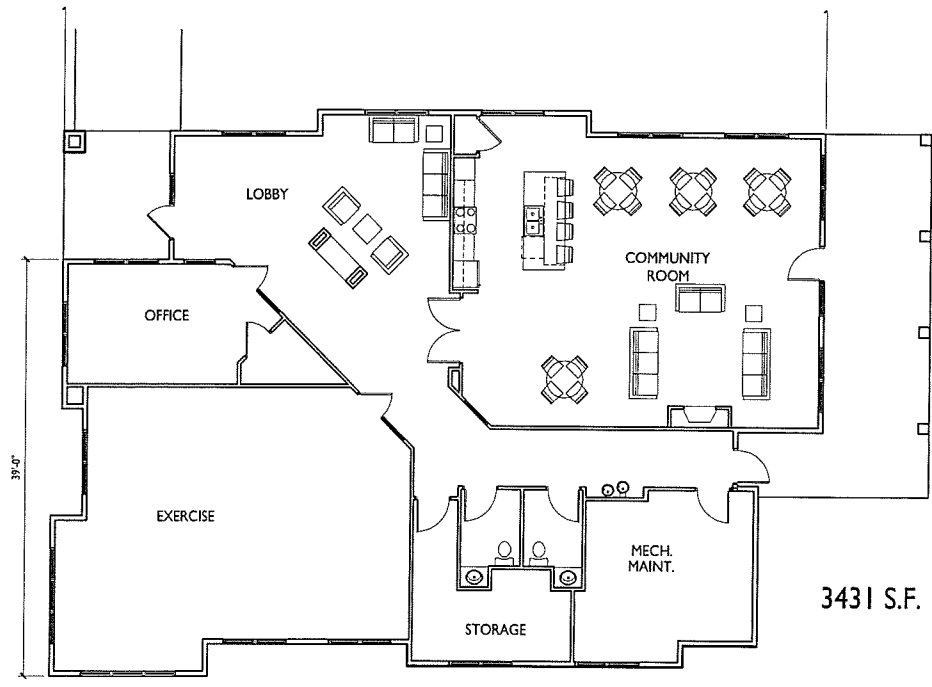
Date: 1/19/17
 Scale: 1" = 30'-0"
 Designer: rc/mm
 Job # 8758

Seal:

Revisions:
 2017.03.17 mm

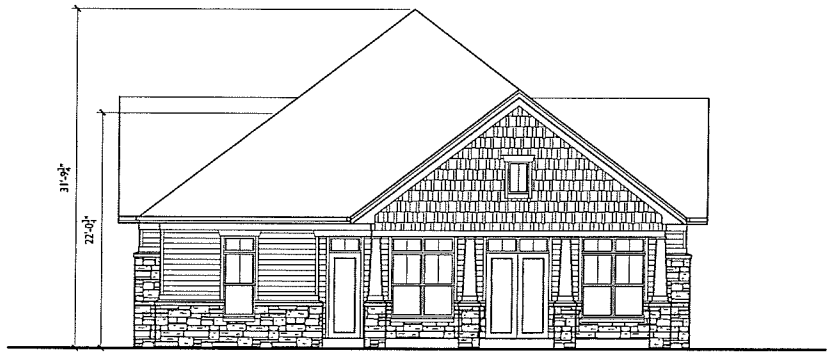


Reference Name:
 DSI - Autumn Lake

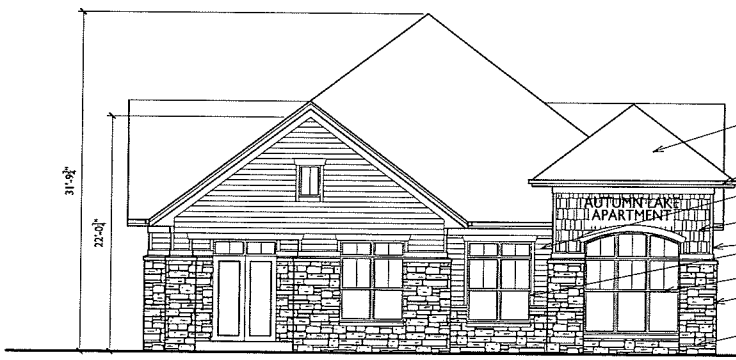


1 CLUBHOUSE FLOOR PLAN
 A-1.0 1/8" = 1'-0"

ISSUED
 Issued for Land Use & UDC - January 18, 2017
 Issued for Land Use - February 6, 2017



2 EAST ELEVATION
 A-1.0 1/8" = 1'-0"



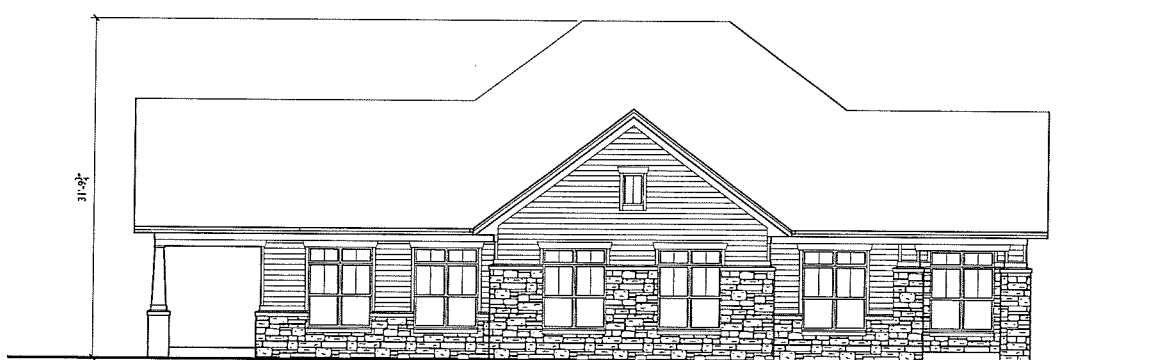
3 WEST ELEVATION
 A-1.0 1/8" = 1'-0"
 ALONG WILLOW ROCK ROAD

TYPICAL MATERIALS

- ASPHALT SHINGLES
- FASCIA
- HORIZONTAL SIDING
- SHAKES
- TRIM
- VINYL WINDOWS
- CAST STONE SILLS & BANDS
- STONE VENEER



4 SOUTH ELEVATION
 A-1.0 1/8" = 1'-0"



5 NORTH ELEVATION
 A-1.0 1/8" = 1'-0"

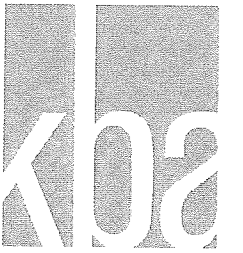
PROJECT TITLE
Village at Autumn Lake

Lot 564
 1704 Autumn Lake Pkwy
 SHEET TITLE
Clubhouse Plans & Elevations

SHEET NUMBER

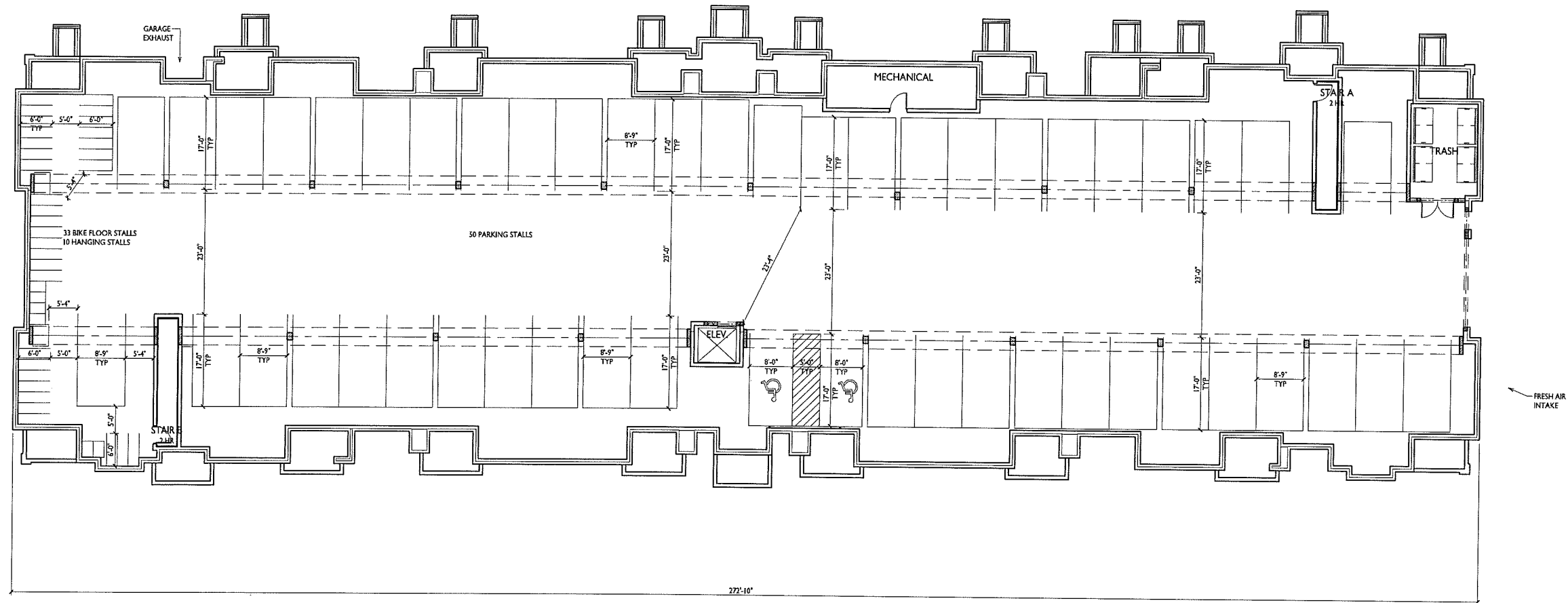
A-1.0

PROJECT NO. **1644**
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ARCHITECTS

Phone: 7401 University Ave, Ste 201
608.836.3690 Middleton, WI 53562



ISSUED
Issued for Land Use - March 16, 2017

PROJECT TITLE
**Village at Autumn
Lake - Building I**

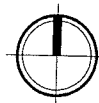
Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
Basement Plan

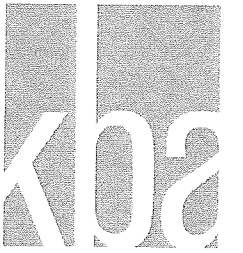
SHEET NUMBER

A-1.0

PROJECT NO. **1644**
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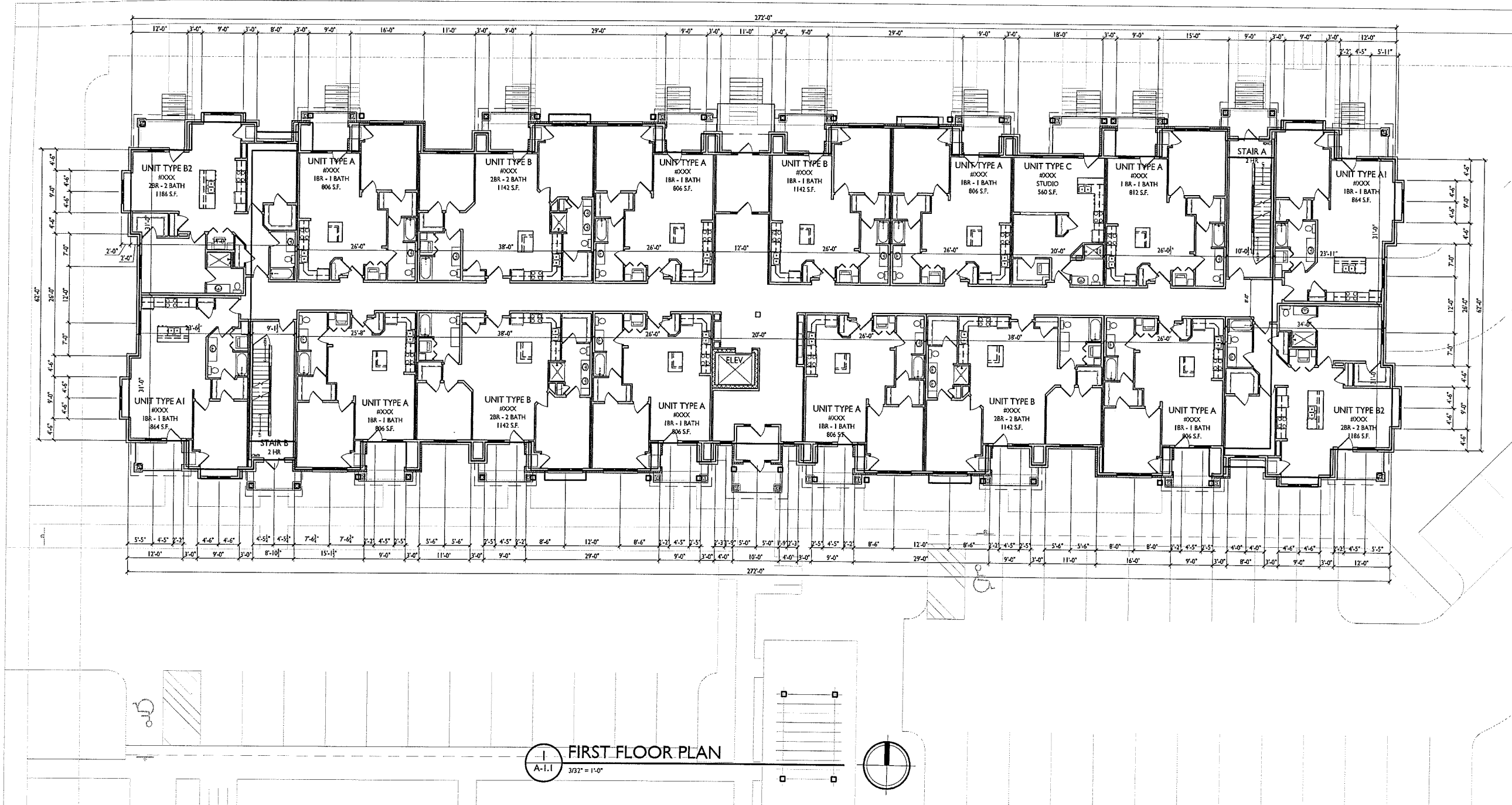
1 BASEMENT PLAN
A-1.0 3/16/17 = 1'-0"





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ARCHITECTS

Phone: 7601 University Ave, Ste 201
Middleton, WI 53562
608.836.3690



ISSUED
Issued for Land Use - March 16, 2017

PROJECT TITLE
**Village at Autumn
Lake - Building I**

Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
First Floor Plan

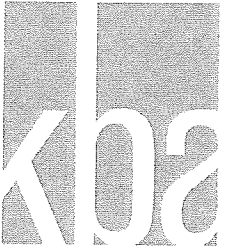
FIRST FLOOR PLAN
A-1.1 3/32" = 1'-0"



SHEET NUMBER

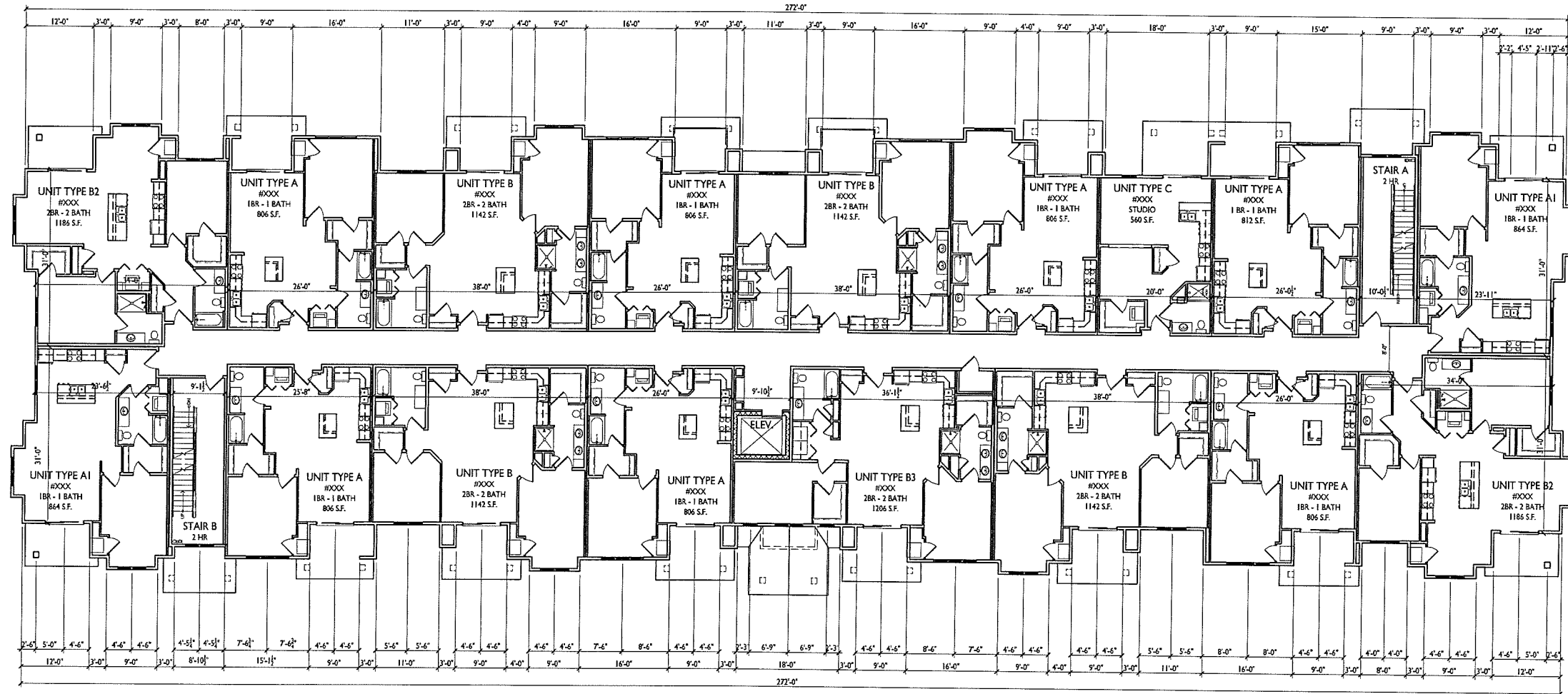
A-1.1

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ARCHITECTS

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ISSUED
Issued for Land Use - March 16, 2017

PROJECT TITLE
**Village at Autumn
Lake - Building I**

Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
Second Floor Plan

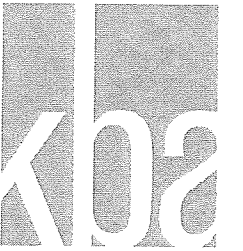
1 SECOND FLOOR PLAN
A-1.2 3/32" = 1'-0"



SHEET NUMBER

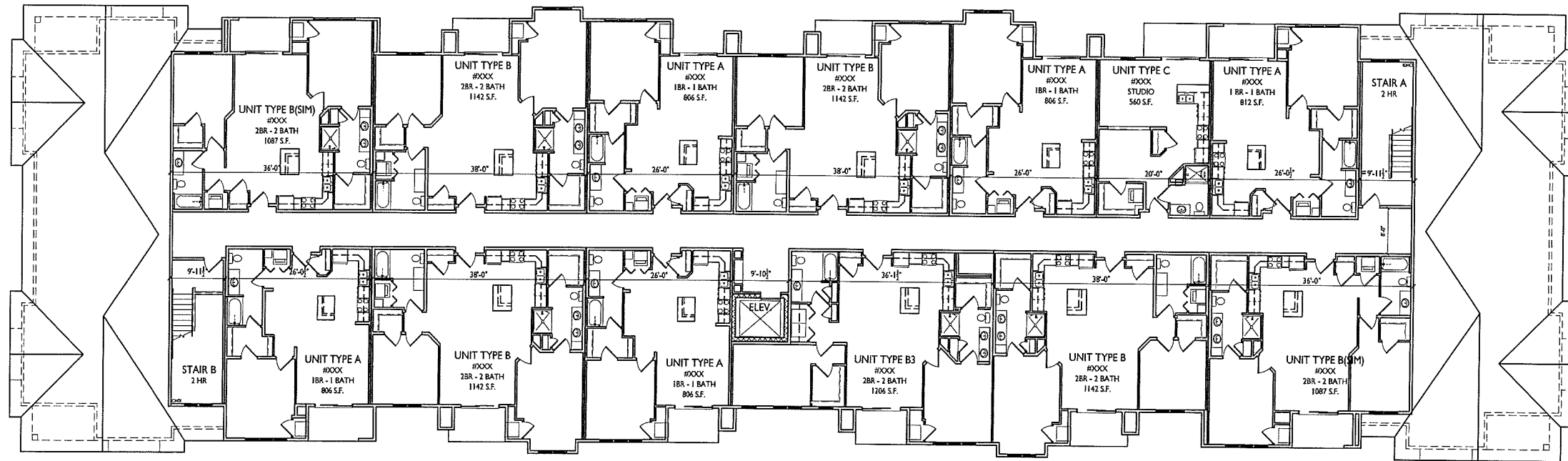
A-1.2

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ARCHITECTS

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ISSUED
Issued for Land Use - March 16, 2017

PROJECT TITLE
**Village at Autumn
Lake - Building I**

Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
Third Floor Plan

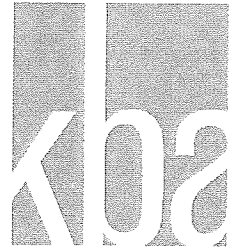
1 THIRD FLOOR PLAN
A-1.3 3/32" = 1'-0"



SHEET NUMBER

A-1.3

PROJECT NO. **1644**
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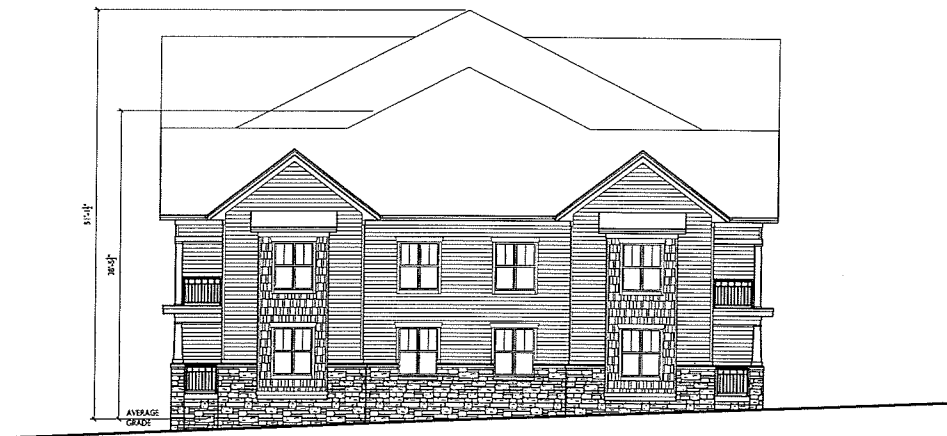
TYPICAL MATERIALS

- ASPHALT SHINGLES
- FASCIA
- VINYL WINDOWS
- HORIZONTAL SIDING
- TRIM
- SHAKES
- ALUMINUM RAILINGS
- CAST STONE SILLS & BANDS
- STONE VENEER

ISSUED
Revised - March 16, 2017



1 SOUTH ELEVATION
A-2.1 1/8"=1'-0"



2 WEST ELEVATION
(ALONG WILLOW ROCK ROAD)
A-2.1 1/8"=1'-0"

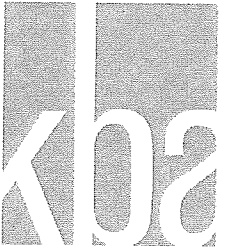
PROJECT TITLE
Village at Autumn
Lake - Building I

Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.1

PROJECT NO. 1644
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TYPICAL MATERIALS

- ASPHALT SHINGLES
- FASCIA
- VINYL WINDOWS
- HORIZONTAL SIDING
- TRIM
- SHAKES
- ALUMINUM RAILINGS
- CAST STONE SILLS & BANDS
- STONE VENEER



1
A-2.2
1/8"=1'-0"
NORTH ELEVATION
(ALONG SUMMER SHINE DRIVE)

ISSUED
Revised - March 16, 2017



2
A-2.2
1/8"=1'-0"
EAST ELEVATION

PROJECT TITLE
**Village at Autumn
Lake - Building 1**

Lot 564
1704 Autumn Lake Pkwy
SHEET TITLE
**Exterior
Elevations**

SHEET NUMBER

A-2.2

PROJECT NO. **1644**
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