

Louther & Associates Designs, LLC

**Casey Louther 120 Telemark Parkway, Mt. Horeb, WI 53572
Phone (608) 437-1202 Cell (608) 206-0185 Fax (608) 437-1201
E-MAIL DOOZERX@TDS.NET**

Demolition and Rebuild Notification

06-10-08

*Alder: Larry Palm
District 15
2502 Dahle St.
Madison, Wi. 53704*

Demolition & Construction Site: 617 North Oak St.

Scope of Work: Demolish existing 8 Unit Apartment Building and rebuild on existing foundation.

Specific Details

Equity Builders has retained Louther & Associates Designs to redesign a new 8 unit apartment building to replace the existing burned out 8 unit apartment building at 617 N. Oak St. Madison, Wi.

To accomplish this we will need to raze the existing burnt building thus requiring a Demolition Permit from the City of Madison. This requires 30 day notice to you before we can submit our application for demolition and application to the City Plan Commission for a new building.

I will forward to you, as soon as completed the plans for the new apartment building.

*Louther & Associates Designs LLC
Casey Louther*

Louther & Associates Designs, LLC

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Demolition and Rebuild Notification

06-10-08

*Eken Park Neighborhood
Paul Zumhagen-Krause
2360 Hoard St.
Madison, Wi. 53704*

Demolition & Construction Site: 617 North Oak St.

Scope of Work: Demolish existing 8 Unit Apartment Building and rebuild on existing foundation.

Specific Details

Equity Builders has retained Louther & Associates Designs to redesign a new 8 unit apartment building to replace the existing burned out 8 unit apartment building at 617 N. Oak St. Madison, Wi.

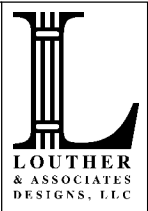
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I will forward to you, as soon as completed the plans for the new apartment building.

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Casey Louther*

WALL TYPES:

- 1 TYPICAL PARTY WALL; 1 HR. RATED
DOUBLE WALL, 2x4" STUDS AT 16" O.C. (W/ 1" GAP BETWEEN PLATES) W/ 1 LAYER 5/8" FIRE CODE GYP. BOARD ON EACH OUTER FACE & 1/2" EXT. GYP. SHEATING W/ 3 1/2" ATTENUATION BLANKET ON EACH STUD WALL. 1/2" AIR GAP BETWEEN WALLS. 1 LAYER 5/8" FIRE CODE GYP. BOARD ON RC-1 CHANNELS @ 24" O.C. WHERE PLUMBING WALL IS ALSO PARTY WALL, APPLY 5/8" GWB OVER ENTIRE WALL BEFORE SETTING TUB MODULES - ADJUST WALL DIMENSION AS REQ'D AT TUB & SHOWER MODULES. -UL ASSEMBLY U376
- 2 EXTERIOR 1 HR. WALL:
2x6" STUDS AT 16" O.C. W/ 1 LAYER 7/16" OSB AND 6" LAP SIDING ON EXTERIOR. 5/8" GYP. OVER VAPOR BARRIER W/ R-19 FIBREGLASS BATT INSULATION IN CAVITY. UL ASSEMBLY U356
- 3 INTERIOR CORRIDOR WALL, 1 HR. WALL:
2x4" STUDS @ 16" O.C. W/ 5/8" DRYWALL BOTH SIDES. W-3 1/2" INSULATION.
- 4 TYPICAL INTERIOR WALL:
2x4" STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES, PROVIDE 1/2" GWB ON BATHROOM SIDE.
- 5 TYPICAL PLUMBING WALL (NON-PARTY WALL):
2x4" STUDS AT 16" O.C. W/ 1/2" DRYWALL ON BOTH SIDES, PROVIDE 1/2" MOISTURE RESISTANT GWB ON BATHROOM SIDE.



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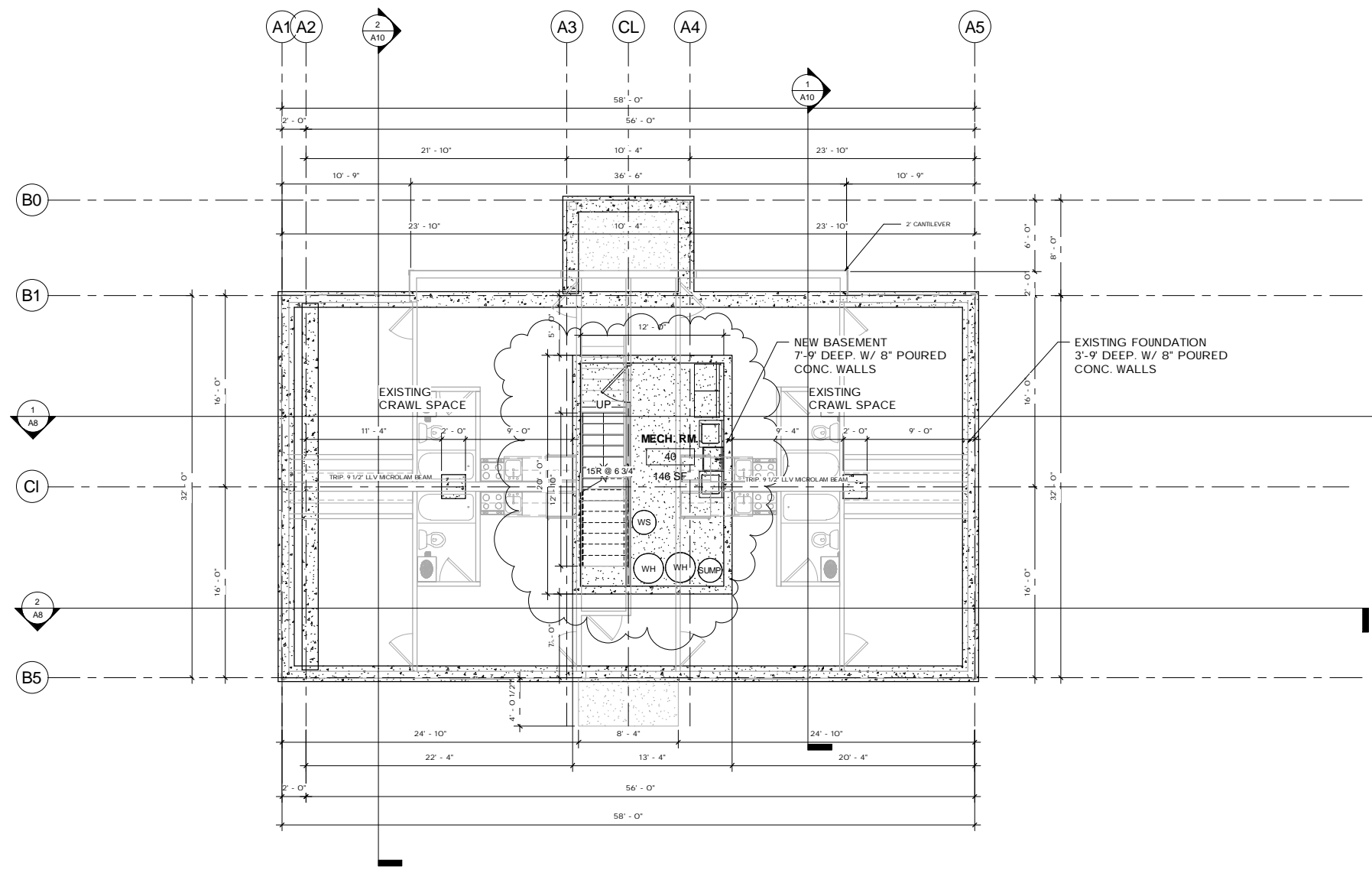
PROJECT
8 UNIT REBUILD
617 NORTH OAK STREET
SUN PRAIRIE, WI
PROJECT NO. 200813
PROJECT STATUS: PRELIMINARY

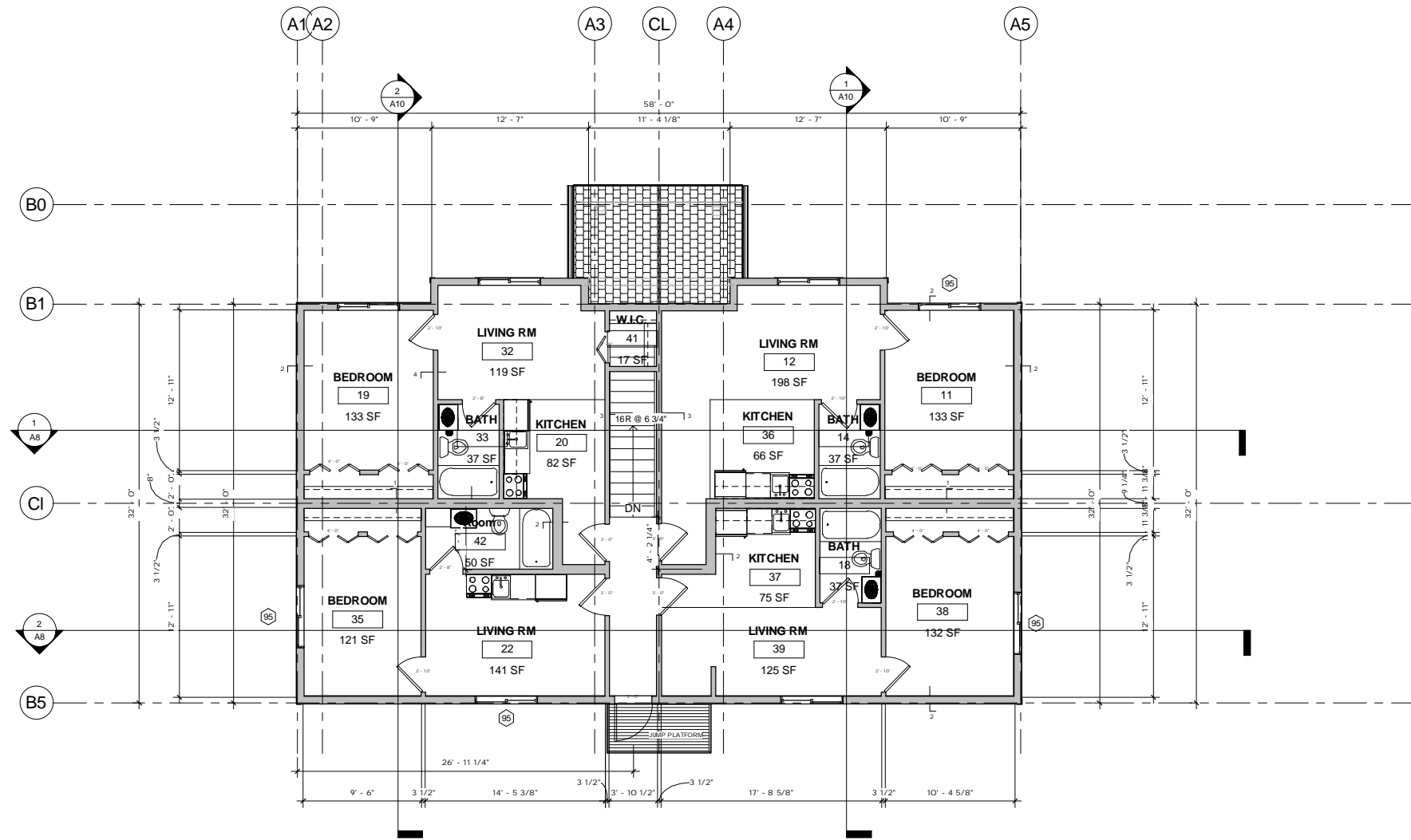
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Author
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06/10/08

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08/14/08
08/19/08

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of
16

BASEMENT PLAN
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SECOND FLOOR AREA 1,920 SQ. FT.

- WALL TYPES:
- 1 TYPICAL PARTY WALL; 1 HR. RATED
DOUBLE WALL, 2x4" STUDS AT 16" O.C. (W/ 1" GAP BETWEEN PLATES) W/ 1 LAYER 5/8" FIRE CODE GYP. BOARD ON EACH OUTER FACE & 1/2" EXT. GYP. SHEATING W/ 3 1/2" ATTENUATION BLANKET ON EACH STUD WALL - 1/2" AIR GAP BETWEEN WALLS, 1 LAYER 5/8" FIRE CODE GYP. BOARD ON RC-1 CHANNELS @ 24" O.C. WHERE PLUMBING WALL IS ALSO PARTY WALL, APPLY 5/8" GWB OVER ENTIRE WALL BEFORE SETTING TUB MODULES - ADJUST WALL DIMENSION AS REQ'D AT TUB & SHOWER MODULES. -UL ASSEMBLY U376
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2x4" STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES, PROVIDE 1/2" GWB ON BATHROOM SIDE.
 - 5 TYPICAL PLUMBING WALL (NON-PARTY WALL):
2x4" STUDS AT 16" O.C. W/ 1/2" DRYWALL ON BOTH SIDES, PROVIDE 1/2" MOISTURE RESISTANT GWB ON BATHROOM SIDE.



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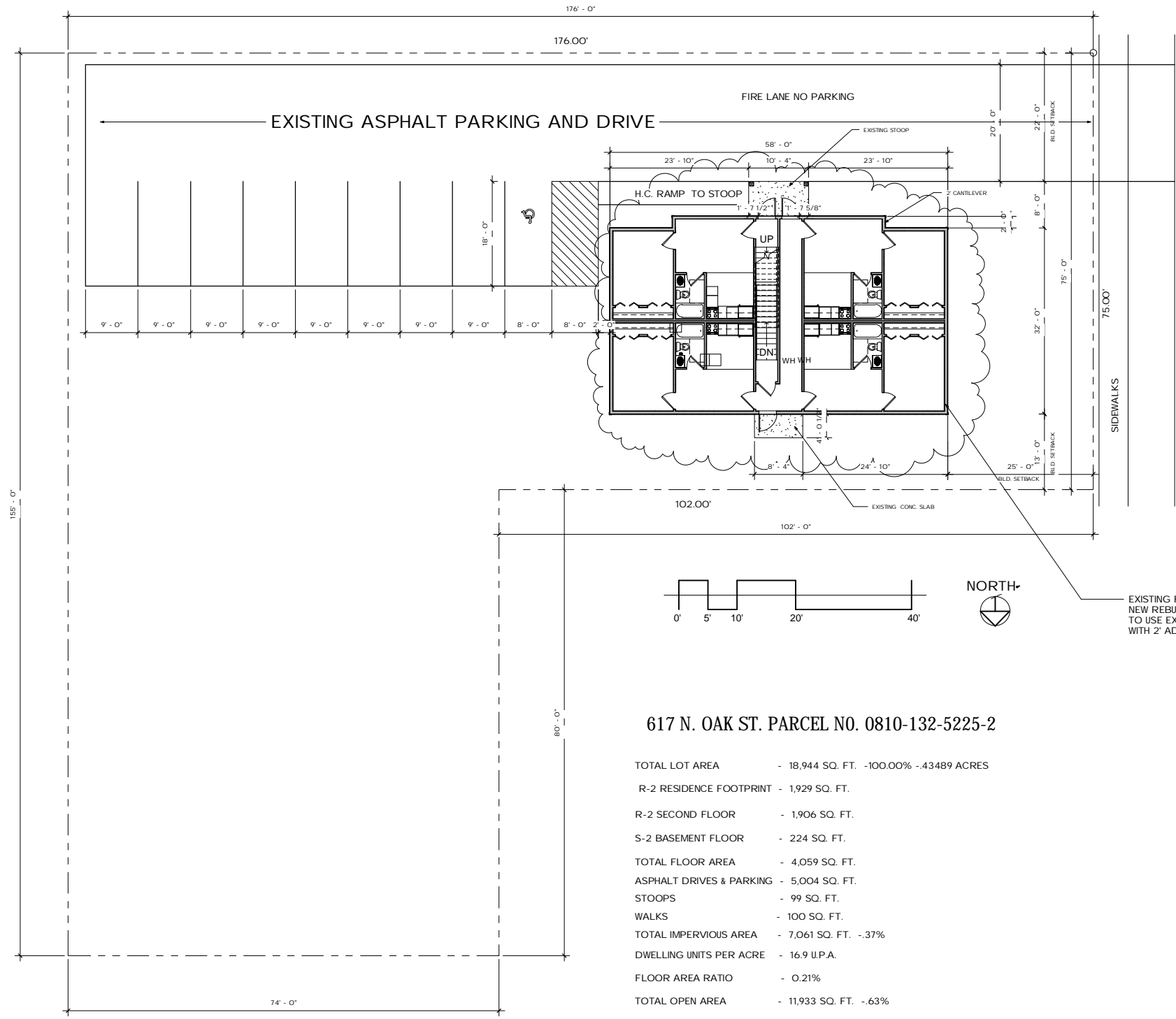
PROJECT
8 UNIT REBUILD
617 NORTH OAK STREET
SUN PRAIRIE, WI.
PROJECT NO. 200613
PROJECT STATUS: PRELIMINARY

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Author
DATE:
06/10/08

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08/14/08

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SECOND FLOOR PLAN PARTIAL
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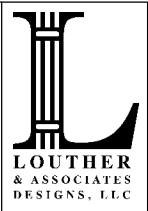


EXISTING FOUNDATION TO BE REUSED
 NEW REBUILD OF BURN-OUT APARTMENT
 TO USE EXISTING FOUNDATION, IN SAME LOCATION,
 WITH 2' ADDITION ON WEST SIDE OF BUILDING.

617 N. OAK ST. PARCEL NO. 0810-132-5225-2

TOTAL LOT AREA	- 18,944 SQ. FT. -100.00% -43489 ACRES
R-2 RESIDENCE FOOTPRINT	- 1,929 SQ. FT.
R-2 SECOND FLOOR	- 1,906 SQ. FT.
S-2 BASEMENT FLOOR	- 224 SQ. FT.
TOTAL FLOOR AREA	- 4,059 SQ. FT.
ASPHALT DRIVES & PARKING	- 5,004 SQ. FT.
STOOPS	- 99 SQ. FT.
WALKS	- 100 SQ. FT.
TOTAL IMPERVIOUS AREA	- 7,061 SQ. FT. -.37%
DWELLING UNITS PER ACRE	- 16.9 U.P.A.
FLOOR AREA RATIO	- 0.21%
TOTAL OPEN AREA	- 11,933 SQ. FT. -.63%

SITE PLAN
 1" = 10'-0"



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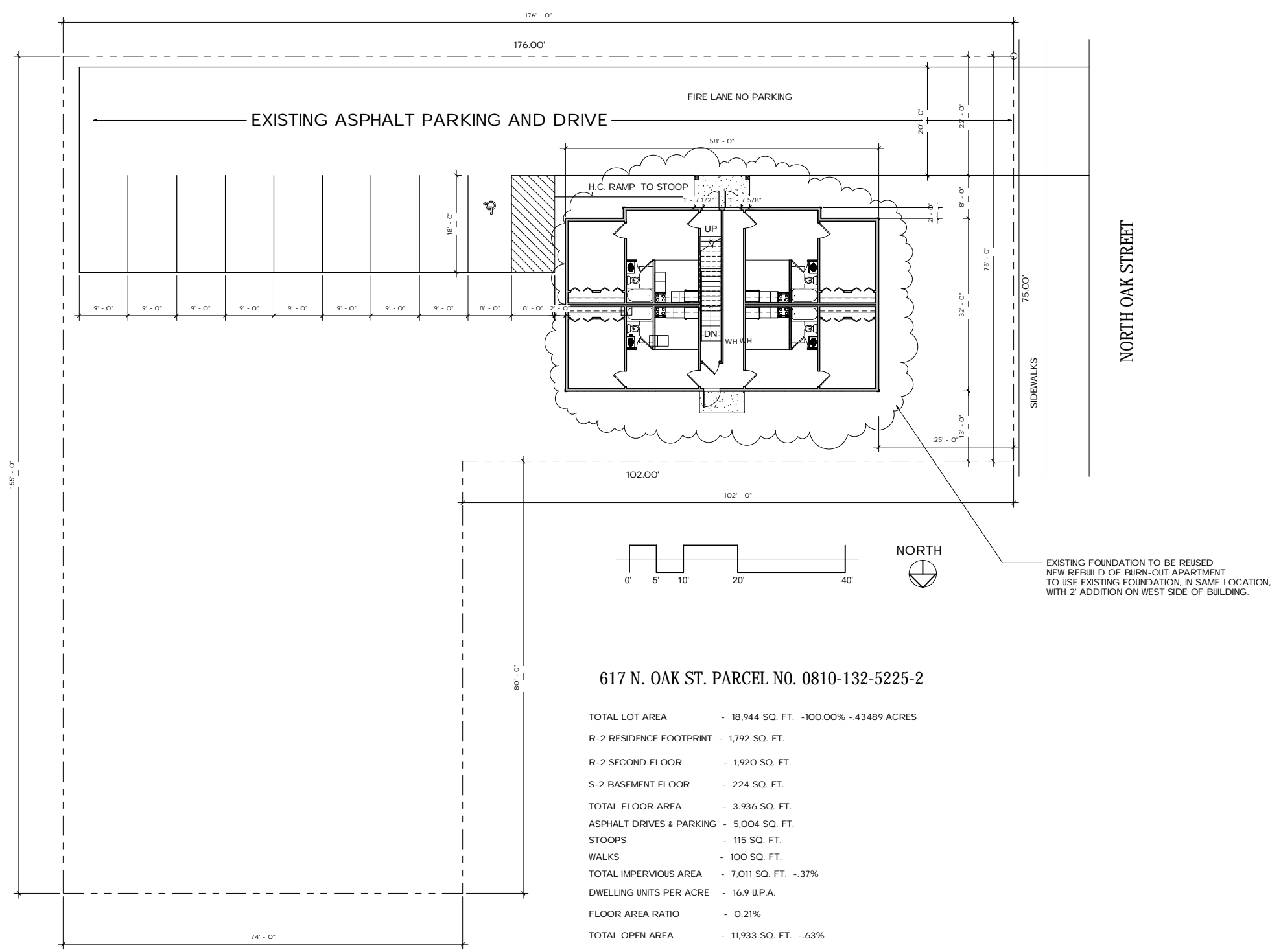
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 617 NORTH OAK STREET
 SUN PRAIRIE, WI.
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DRWN BY:
 C.L.
DATE:
 06/10/08

REVISION:
 08/14/08
 08/19/08

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 of
16

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617 N. OAK ST. PARCEL NO. 0810-132-5225-2

TOTAL LOT AREA	-	18,944 SQ. FT.	-100.00%	-0.43489 ACRES
R-2 RESIDENCE FOOTPRINT	-	1,792 SQ. FT.		
R-2 SECOND FLOOR	-	1,920 SQ. FT.		
S-2 BASEMENT FLOOR	-	224 SQ. FT.		
TOTAL FLOOR AREA	-	3,936 SQ. FT.		
ASPHALT DRIVES & PARKING	-	5,004 SQ. FT.		
STOOPS	-	115 SQ. FT.		
WALKS	-	100 SQ. FT.		
TOTAL IMPERVIOUS AREA	-	7,011 SQ. FT.	-37%	
DWELLING UNITS PER ACRE	-	16.9 U.P.A.		
FLOOR AREA RATIO	-	0.21%		
TOTAL OPEN AREA	-	11,933 SQ. FT.	-63%	

SITE PLAN
1" = 10'-0"



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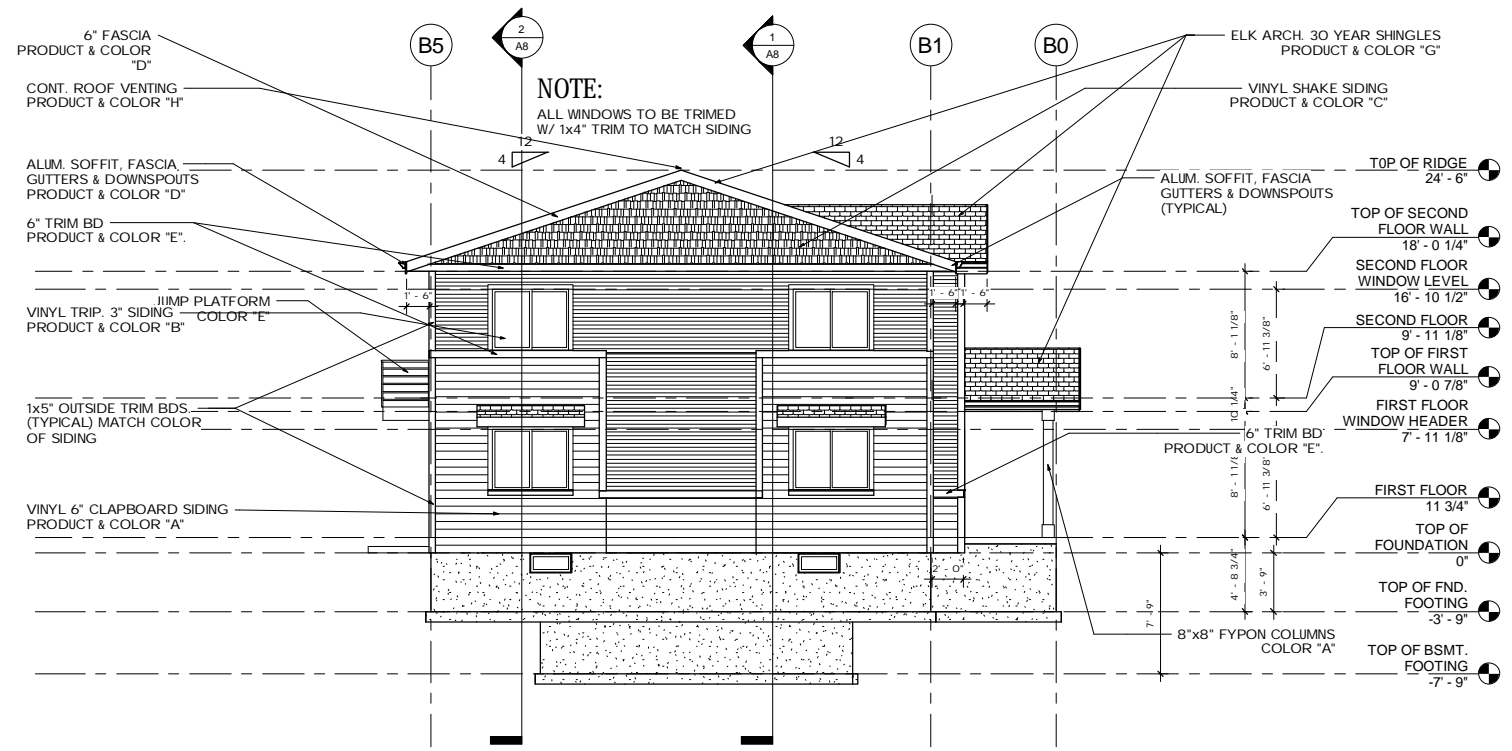
PROJECT
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SUN PRAIRIE, WI
PROJECT NO. 200613
PROJECT STATUS: PRELIMINARY

DRWN BY:
C.L.
DATE:
06/10/08

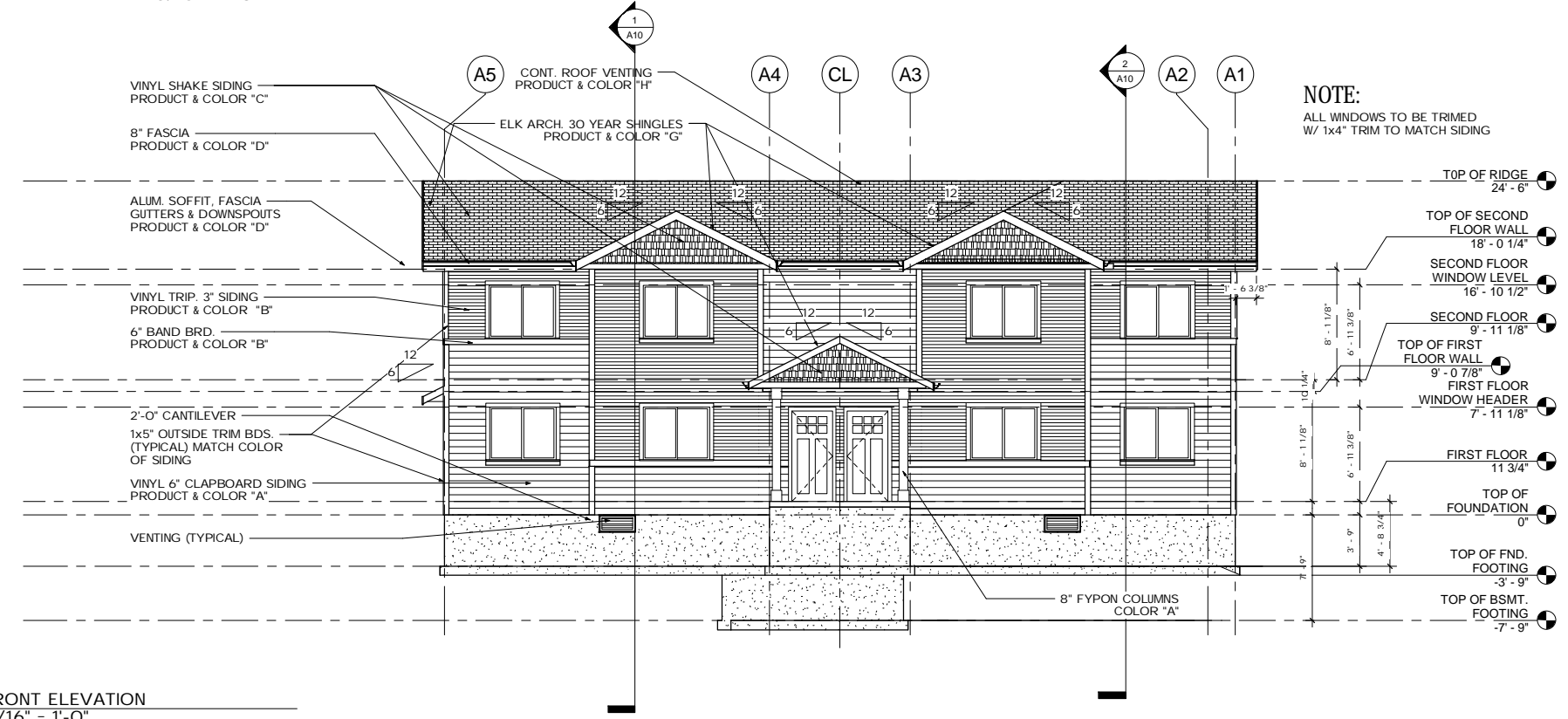
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08/14/08

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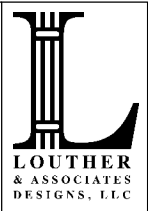
SITE PLAN
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SIDE ELEVATION NORTH
3/16" = 1'-0"



FRONT ELEVATION
3/16" = 1'-0"



**LOUTHER & ASSOCIATES
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PROJECT NO. 200613
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DRWN BY:
C.L.
DATE:
06/10/08

REVISION:
08/14/08
08/19/08
08/21/08

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A13
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16

ELEVATIONS
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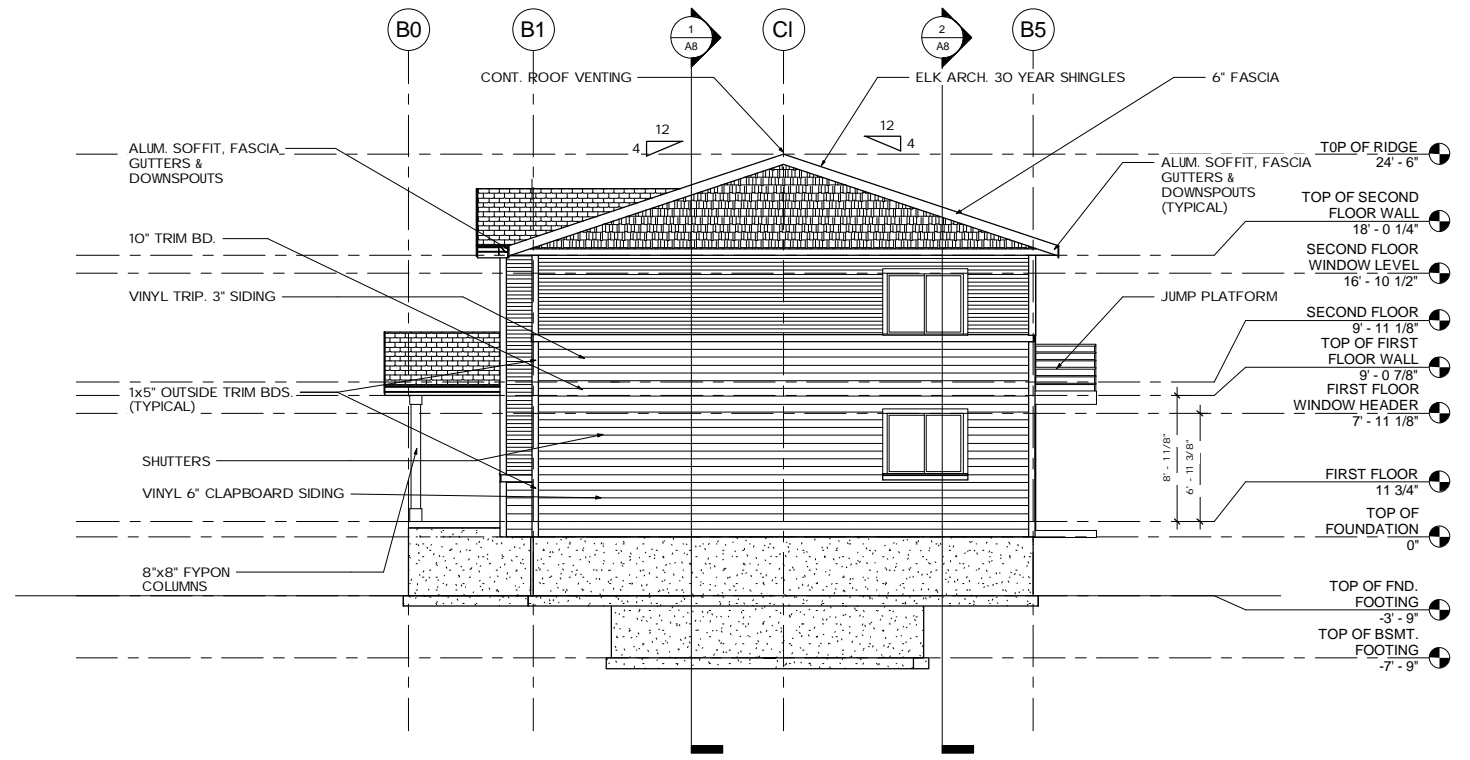
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PROJECT
8 UNIT REBUILD
617 NORTH OAK STREET
WINDSOR, WI
PROJECT NO. 200813
PROJECT STATUS: PRELIMINARY

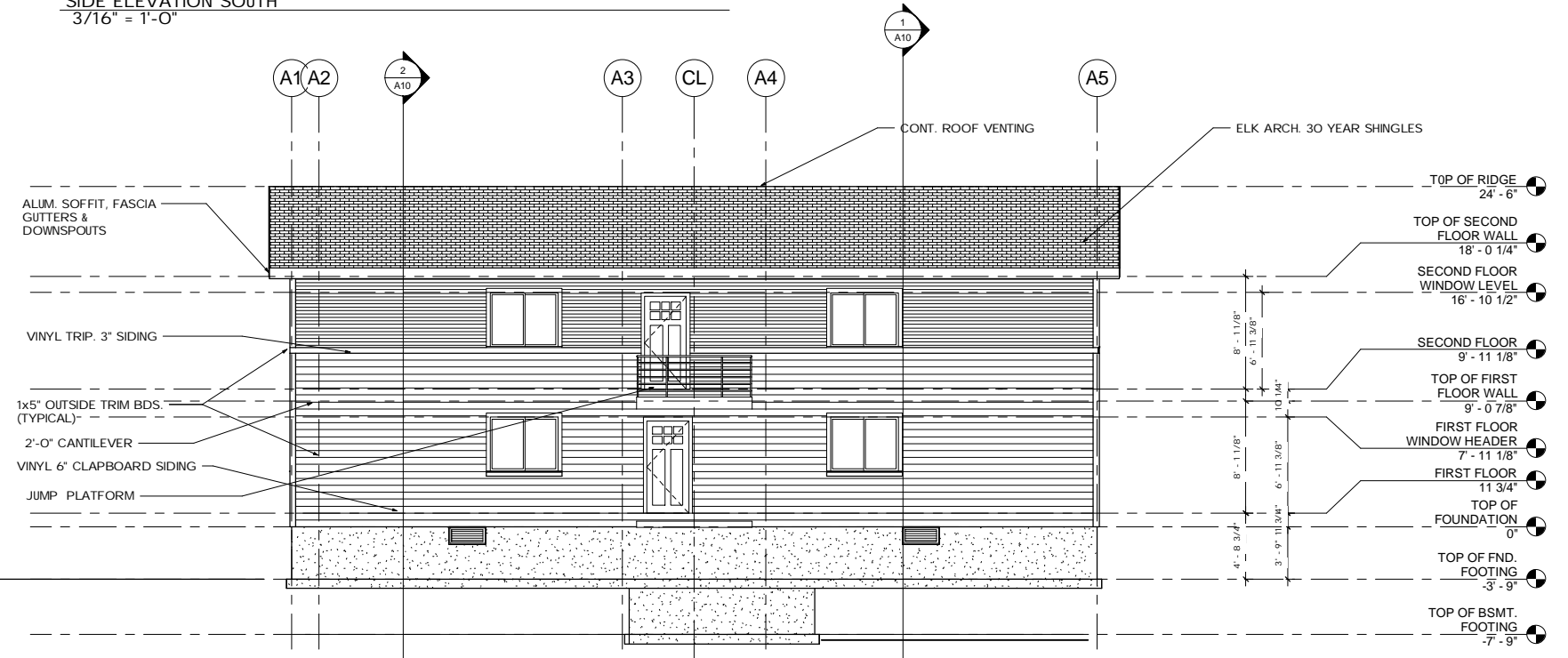
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REVISION:
08/14/08

SHEET
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of
16
ELEVATIONS

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SIDE ELEVATION SOUTH
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"

WALL TYPES:

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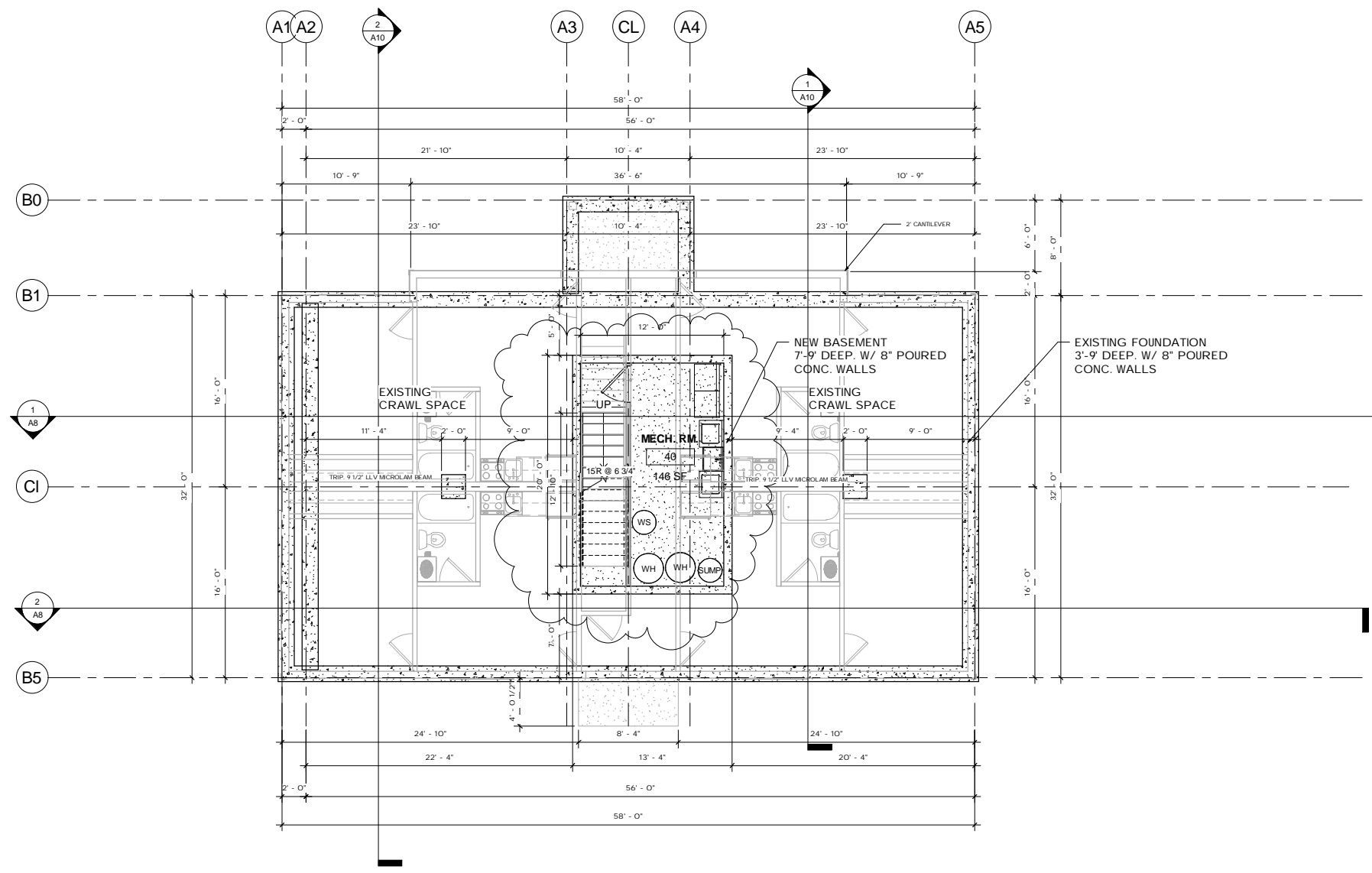
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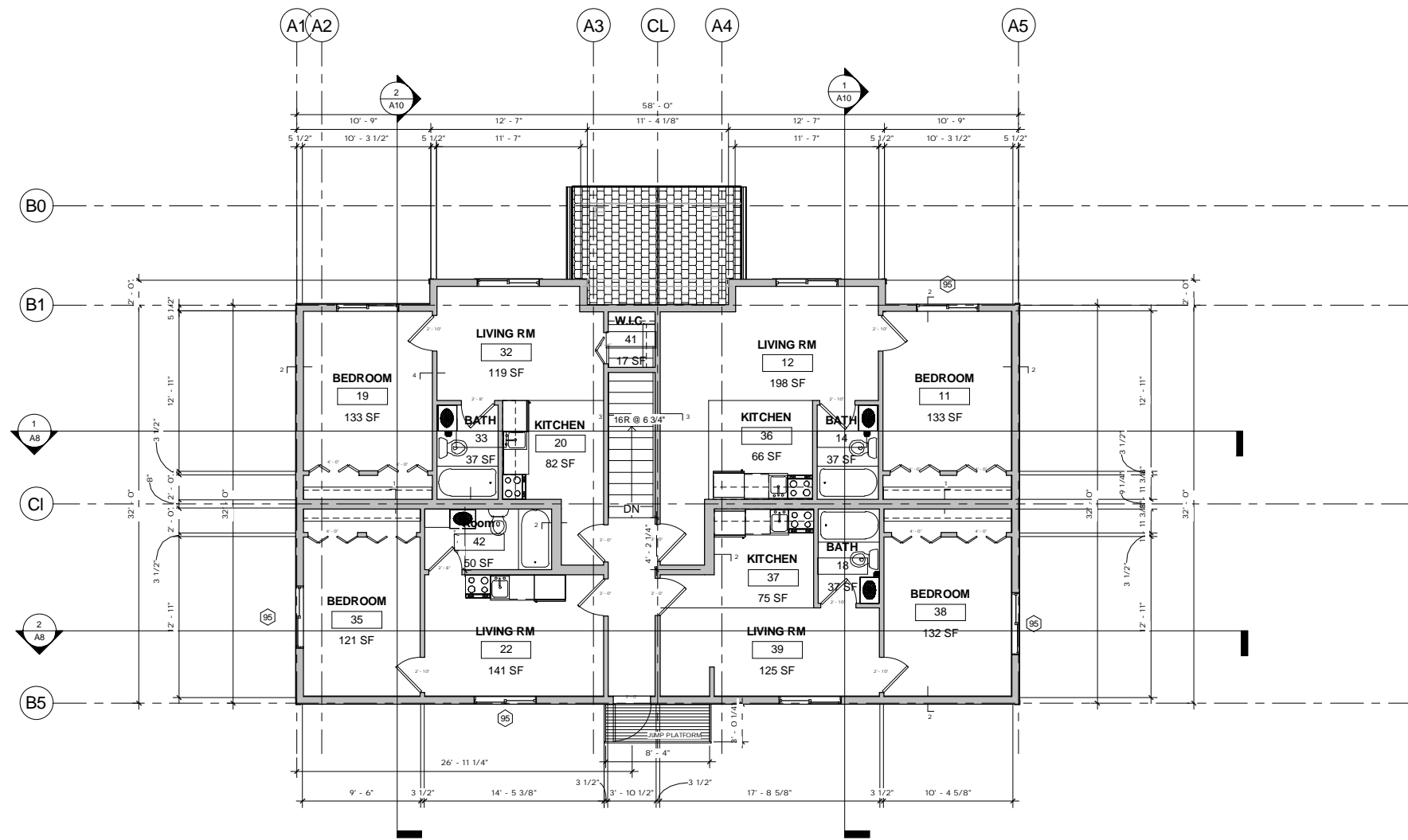
OWNER
EQUITY BUILDERS
528 LEXINGTON DRIVE
OREGON, WI 53575
608-239-9024

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8 UNIT REBUILD
617 NORTH OAK STREET
SUN PRAIRIE, WI
PROJECT NO. 200d13
PROJECT STATUS: PRELIMINARY

DRWN BY:
Author
DATE:
06/10/08
REVISION:
08/14/08

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of
16
BASEMENT PLAN
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SECOND FLOOR AREA 1,906 SQ. FT.

- WALL TYPES:
- 1 TYPICAL PARTY WALL; 1 HR. RATED
DOUBLE WALL, 2x4" STUDS AT 16" O.C. (W/ 1" GAP BETWEEN PLATES) W/ 1 LAYER 5/8" FIRE CODE GYP. BOARD ON EACH OUTER FACE & 1/2" EXT. GYP SHEATING W/ 3 1/2" ATTENUATION BLANKET ON EACH STUD WALL. 1/2" AIR GAP BETWEEN WALLS. 1 LAYER 5/8" FIRE CODE GYP. BOARD ON RC-1 CHANNELS @ 24" O.C. WHERE PLUMBING WALL IS ALSO PARTY WALL. APPLY 5/8" GWB OVER ENTIRE WALL BEFORE SETTING TUB MODULES - ADJUST WALL DIMENSION AS REQ'D AT TUB & SHOWER MODULES. -UL ASSEMBLY U376
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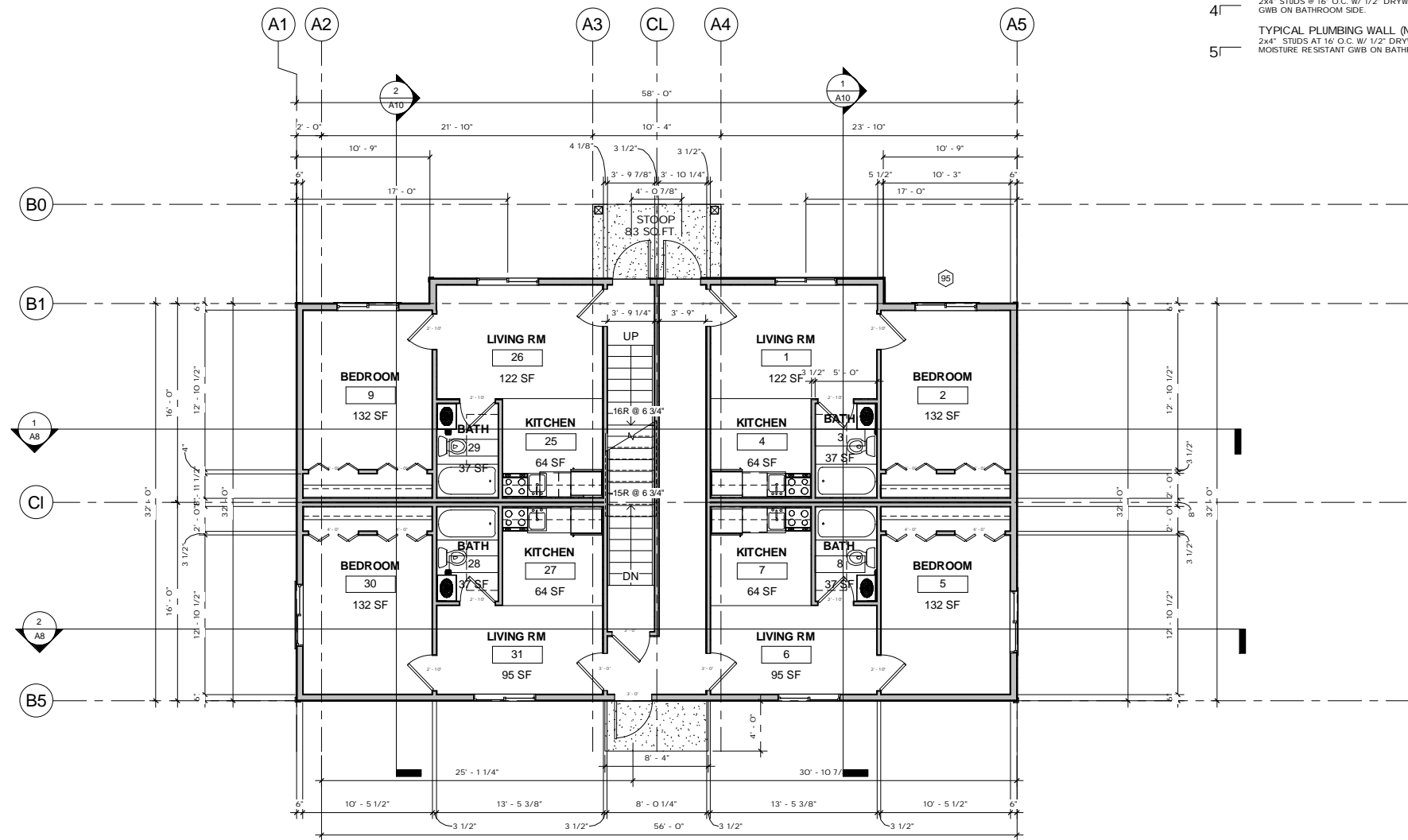
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A3
of
16

SECOND FLOOR PLAN
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FIRST FLOOR AREA 1,792 SQ. FT.

FIRST FLOOR
3/16" = 1'-0"

- WALL TYPES:
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DOUBLE WALL, 2x4" STUDS AT 16" O.C. (W/ 1" GAP BETWEEN PLATES) W/ 1 LAYER 5/8" FIRE CODE GYP. BOARD ON EACH OUTER FACE & 1/2" EXT. GYP. SHEATHING W/ 3 1/2" ATTENUATION BLANKET ON EACH STUD WALL. 1/2" AIR GAP BETWEEN WALLS. 1 LAYER 5/8" FIRE CODE GYP. BOARD ON RC-1 CHANNELS @ 24" O.C. WHERE PLUMBING WALL IS ALSO PARTY WALL. APPLY 5/8" GWB OVER ENTIRE WALL BEFORE SETTING TUB MODULES - ADJUST WALL DIMENSION AS REQ'D AT TUB & SHOWER MODULES. -UL ASSEMBLY U376
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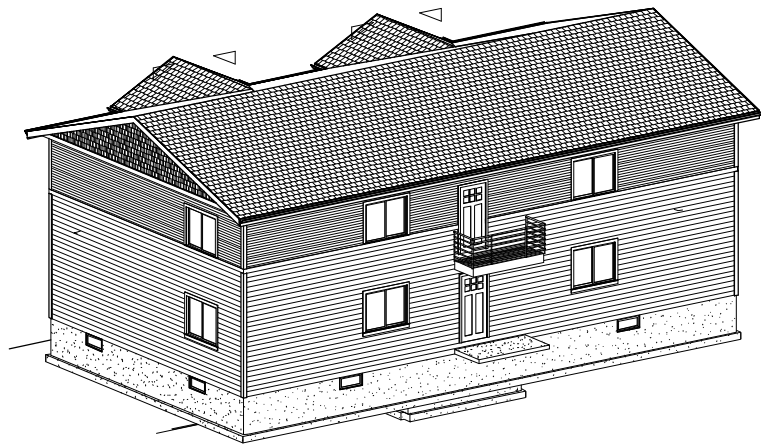
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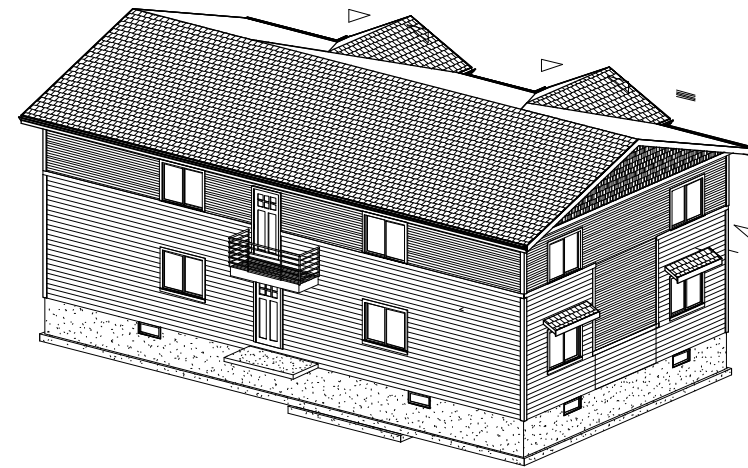
REVISION:
08/14/08

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16

FIRST FLOOR PLAN
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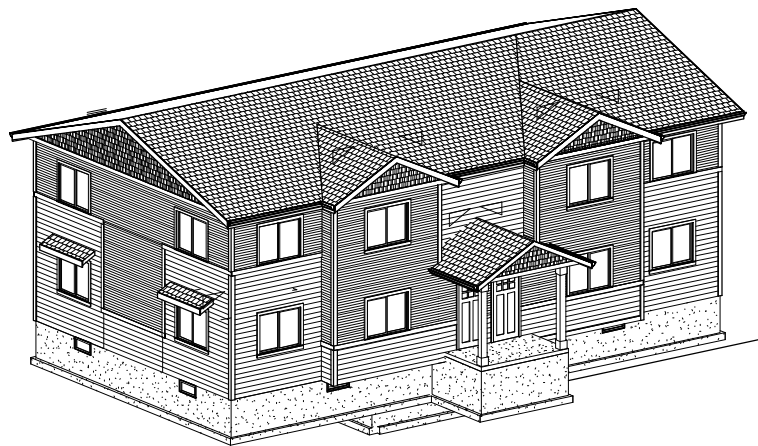
REAR-LEFT



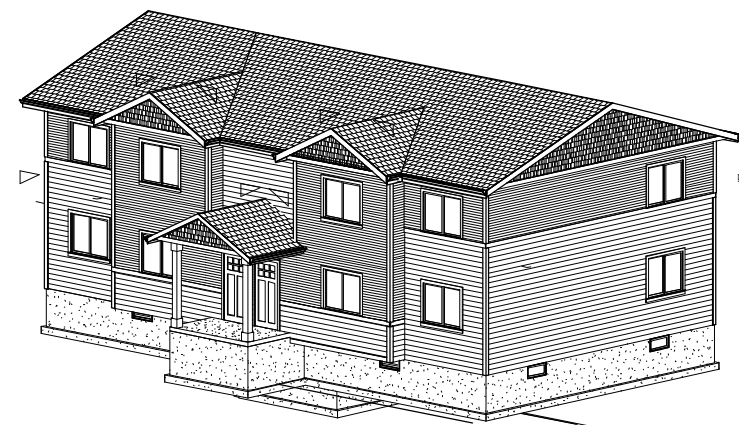
REAR-RIGHT



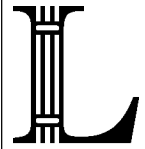
3D View 4 SHADED



FRONT-LEFT



FRONT-RIGHT



**LOUTHER
& ASSOCIATES
DESIGNS, LLC**

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DATE:

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REVISION:

08/14/08

08/19/08

08/21/08

SHEET

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of

16

PERSPECTIVE VIEWS
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OAK STREET SIDE (FRONT)



DRIVE SIDE (MAIN)
617 NORTH OAK STREET



SIDE (OPPOSITE MAIN)
617 NORTH OAK STREET



REAR (OPPOSITE OAK ST.)



OAK STREET SIDE (LEFT BLD.)



617 & 611 OAK ST.
ADJACENT BUILDINGS



611 OAK STREET
ADJACENT BUILDINGS



611 OAK STREET



OAK STREET & COMMERCIAL AVE.



OAK STREET SIDE
SURROUNDING BUILDINGS



OAK STREET & MOLAND ST.
SURROUNDING BUILDINGS



OAK STREET SIDE