



Location  
5115 North Biltmore Lane

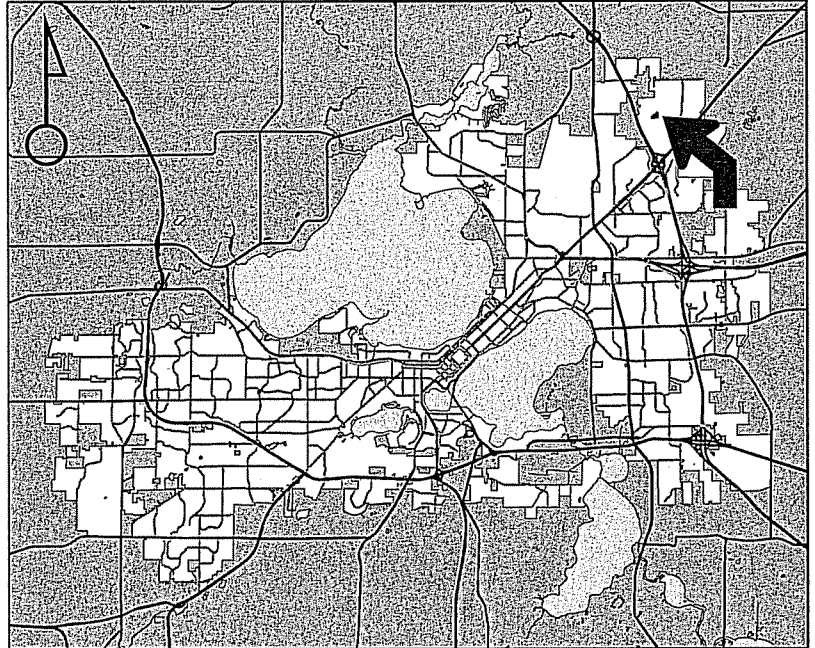
Project Name  
Madison Rehabilitation Hospital

Applicant  
UW Hospitals & Clinics Authority/Andrew Howick-UW Hospitals & Clinics Authority

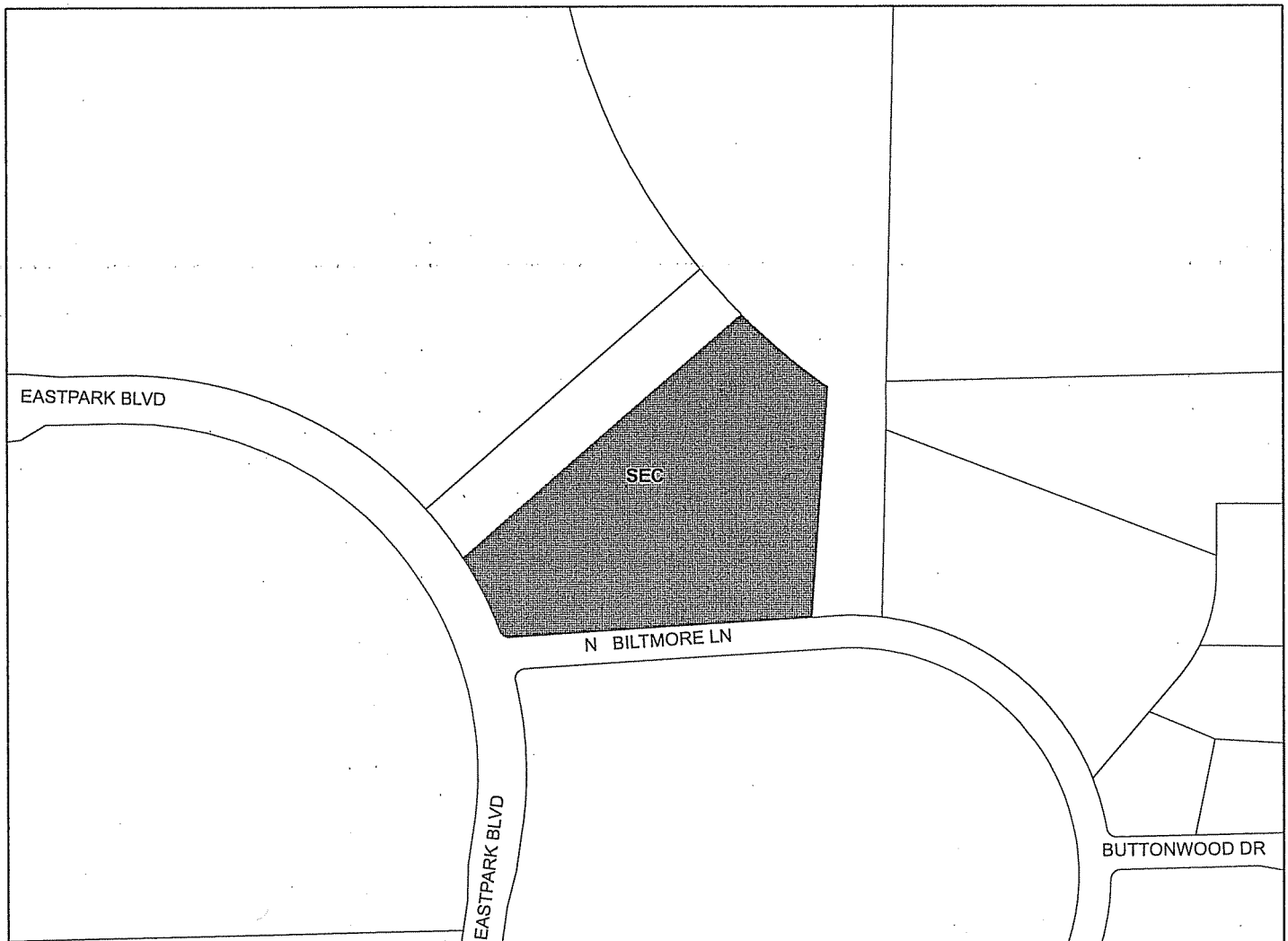
Existing Use  
Vacant Land

Proposed Use  
Construct rehabilitation hospital in the American Center

Public Hearing Date  
Plan Commission  
23 June 2014

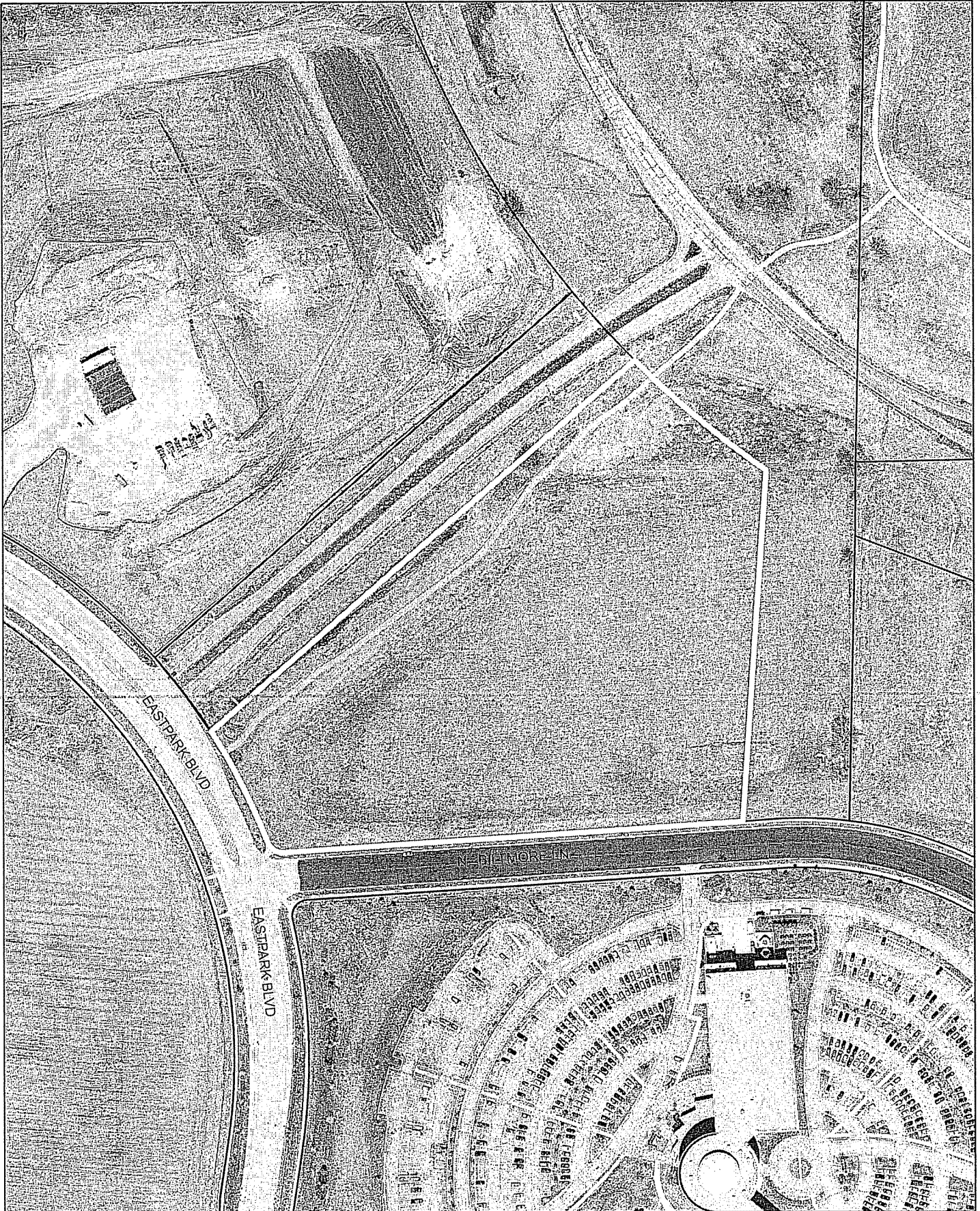


For Questions Contact: Tim Parks at: 261-9632 or [tparks@cityofmadison.com](mailto:tparks@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 13 June 2014





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

FOR OFFICE USE ONLY:	
Amt. Paid <u>EXCEPT.</u>	Receipt No. <u>                    </u>
Date Received <u>5/7/14</u>	
Received By <u>PDA</u>	
Parcel No. <u>0810-153-0207-9</u>	
Aldermanic District <u>17 JOE CLAUSIUS</u>	
Zoning District <u>SEL.</u>	
Special Requirements <u>                    </u>	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: <u>                    </u>

Form Effective: February 21, 2013

1. **Project Address:** 5115 N. Biltmore Lane  
**Project Title (if any):** Madison Rehabilitation Hospital

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from                      to
- Major Amendment to Approved PD-GDP Zoning       Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests:

3. **Applicant, Agent & Property Owner Information:**

**Applicant Name:** Ralph Turner      Company: University of Wisconsin Hospitals & Clinics Authority  
**Street Address:** 600 Highland Avenue      City/State: Madison, WI      Zip: 53792-8360  
**Telephone:** (608) 263-9207      Fax: ( )      Email: rturner@uwhealth.org

**Project Contact Person:** Andrew Howick, Director      Company: University of Wisconsin Hospitals & Clinics Authority  
**Street Address:** 600 Highland Avenue Room H4/878      City/State: Madison, WI      Zip: 53792-8340  
**Telephone:** (608) 263-9160      Fax: (608) 263-9830      Email: ahowick@uwhealth.org

**Property Owner (if not applicant):** University of Wisconsin Hospital and Clinics Authority c/o Ralph Turner  
**Street Address:** 600 Highland Avenue      City/State: Madison, WI      Zip: 53792-8360

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Plans call for the construction of a 50 bed Inpatient Rehabilitation Hospital that shall include patient care units, a dedicated Rehab Gym, Dining and Cafeteria, and support services needed to support the patients needs.

Development Schedule: Commencement                      Completion

**5. Required Submittal Information**

All Land Use applications are required to include the following:

**Project Plans including:\***

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

**6. Applicant Declarations**

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:  
Joe Clausius, 2/25/14

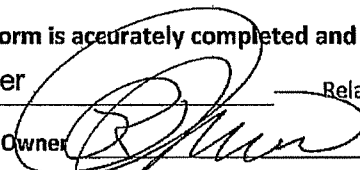
→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Development Assistance Team Date: 3/6/2014 Zoning Staff: Development Assistance Team Date: 3/6/2014

**The applicant attests that this form is accurately completed and all required materials are submitted:**

Name of Applicant Ralph Turner Relationship to Property: VP Facilities

Authorizing Signature of Property Owner  Date 7 May 2014



LETTER OF INTENT

**City of Madison Planning Commission**  
For  
**CONDITIONAL USE APPROVAL**  
for the  
**UW/CENTERRE HEALTHCARE INPATIENT REHABILITATION HOSPITAL**  
**5115 N. Biltmore Lane**

May 7, 2014

**STATEMENT OF USE AND PURPOSE**

*This project includes the design of a new Two-Story, 50-bed Inpatient Rehabilitation Hospital to be operated by Centerre Healthcare and UW. Programmatically, the building will include approximately 58,000 gross square feet on a site indicated in this package. The first floor of the building shall include a general rehabilitation unit on one wing of the building as well as dietary services, inpatient gym and therapy facilities, general support spaces, and central mechanical spaces on the other wing. The second floor of the proposed building shall include both a dedicated Brain Injury Unit as well as a dedicated Stroke Unit, with the balance of the floor dedicated to support services and administrative offices to support the proposed facility.*

*The proposed facility will be designed to meet the requirements of the most current International Building Code as well as the applicable NFPA Life Safety Codes being enforced by the authorities having jurisdiction over the project.*

*Occupancy and Construction Type:*

- *Occupancy Type = I-2*
- *Construction Type = Type IIA Fully Sprinklered (Type IIB is not allowed per IBC 504.2)*
  - *Allowable Area per floor =  $15,000 + [15,000 \times .75] + [15,000 \times 2] = 56,250$  sf*
  - *Allowable Floors = 2.*

*The site shall include approximately 140 to 160 parking stalls, and will like require a dedicated storm water management basin/pond. All paving shall be asphalt – heavy duty in drive aisles and light duty in parking stalls. The service court shall be paved in concrete. The Main Entrance drive shall be a specialty paving – exposed aggregate, scored, with integrally colored concrete.*

*Two outdoor courtyards shall be provided. The first is a small outdoor dining terrace adjacent to the dining room. The courtyard shall be paved in concrete, with a short (18") high brick seat wall enclosing it on the front side. The second courtyard is located adjacent to the therapy gym. This courtyard will consist of a variety of paving applications for gait training and other therapy exercises and shall be enclosed by an ornamental aluminum fence on three (3) sides. In addition to the gait training areas an exterior set of steps with tube steel handrails shall be provided.*

*Exterior enclosures, including the dumpster screen, shall be provided to match the skin of the main building. All screens will be 8" CMU with brick or stone clad to the outside surface to a height of 8 feet. Additionally a landscape screen will be provided at the edge of the service court as well as at the perimeter of a mechanical yard that will house outdoor mechanical and electrical equipment.*

# Transportation Demand Management (TDM) Plan

for



## Madison Rehabilitation Hospital American Center

May 7, 2014



SAA Design Group, Inc.  
101 E. Badger Road  
Madison, WI 53713  
Ph. 608.255.0800  
Fx. 608.255.7750  
[www.saa-madison.com](http://www.saa-madison.com)

# Madison Rehabilitation Hospital Transportation Demand Management Plan

## Introduction

The Madison Rehabilitation Hospital (MRH) is a 58,000 square foot 2 story facility being built on 10 acres in the American Center at the intersection of North Biltmore Lane and Eastpark Boulevard. It is adjacent and south of the new UW Health East Campus facility. This new rehabilitation facility will have a staff of up to 68 employees with 50 patients. The current site plan provides for 154 parking spaces (2.7 spaces per thousand square feet), 15 of which will be handicapped. (**Figure 1**)

This TDM Plan introduces a variety of programs and improvements that Madison Rehabilitation Hospital (MRH) will institutionalize in order to reduce the use of single occupancy vehicles for trips to the its new facility. The TDM plan consists of the following elements and is focused on immediate strategies that address the city of Madison's TDM requirements:

1. Facilitate expansion of transit service provided by Madison Metro, by the following means:
  - a. Implement infrastructure improvements as required, including bus stops, sidewalk linkages, and walkway connections
  - b. Provide transit passes at no cost to all employees
  - c. Post and provide transit and car pooling information to employees.
2. Facilitate and support carpooling and vanpooling by employees
3. Facilitate and promote the use of bicycling by employees through on-site design that emphasizes bicycle access and connectivity
4. Provide emergency rides home for transit riders and carpoolers

## Madison Metro

Madison Metro currently provides limited transit service (11 limited trips on weekdays between 8 a.m. and 5 p.m.) to the neighborhood within which the MRH will be located. The nearest accessible bus stop during non peak hours is approximately 1.5 miles from the main entrance of the MRH. MRH demonstrates its commitment to expanding transit service by providing free transit passes to its employees to encourage transit use.

We understand there are current discussions on various transit service options to the new facility with Madison Metro and the City. The level of service to be provided is at 30 minute intervals year round for the entire span of service operated each day. This service includes a transit stop within a ¼ mile walk of the entrance to the MRH and daily service at least every 30 minutes (16.5 hours each weekday, 14.5 hours each Saturday, 14 hours each Sunday). The MRH will work with Metro Transit to determine the most appropriate location for improvements such as a bus stops and pedestrian connections to facility entrances.

The facility is within ¼ of a mile of a proposed bus route and new bus stops on Eastpark Blvd. Madison Metro has preliminarily proposed two bus stops on Eastpark across from the new UW Health East facility and two bus stops in the vicinity of the Eastpark Boulevard/North Biltmore intersection. (**Figure 2**)

### **Facilitate carpooling**

The MRH will encourage potential carpoolers. The following tools will be utilized:

- a. MRH will also the Madison Metropolitan Planning Organization (MPO) rideshare program that is available for sign-up by its employees. This service matches other car pool riders that live and work in proximity to each other.
- b. MRH will utilize on-site bulletin boards, memoranda, and inter-office mail for those that may not be comfortable using the online service.
- c. MRH will establish a guaranteed ride home program to serve as a “safety net” for people who do not use their own car to get to work. The hospital will join the “Guaranteed Ride Home” service that is available through the Madison Metropolitan Planning Organization (MPO). This service will provide taxi vouchers to those participants that use transit and carpools that allow them to use the vouchers in the event that they cannot use transit or carpooling for a return trip from work.

### **Promote bicycling**

An internal path network is established at the American Family Center. Also, American Parkway and Eastpark Boulevard are improved with on-street bike lanes. **Figure 2** shows the planned on-site bicycle improvements for the MRH, and several measures to promote bicycling are provided below:

- a. Bikers can use on-street systems in the vicinity of the proposed MRH, with the following options:
  - i. Eastpark to Hanson to Portage Road provides linkage to Madison’s east side network
  - ii. Eastpark to American Family Parkway to High Crossing also provides linkage
  - iii. North Biltmore, to Buttonwood, to American Family Parkway provides another linkage option
- b. On-site, convenient, secure, and safe bicycle parking is a critical element of a TDM, and **Figure 2** illustrates proposed bicycle parking for the MRH totaling 15 bicycle parking spaces. 4 of these spaces will be provided near the employee entry and provide covered bike parking.
- c. The MRH site’s design provides for bicycle linkage to existing facilities as noted above.



- d. Bicycle commuters at MRH may be eligible for tax incentives to offset equipment and mileage costs. MRH will explore this option.

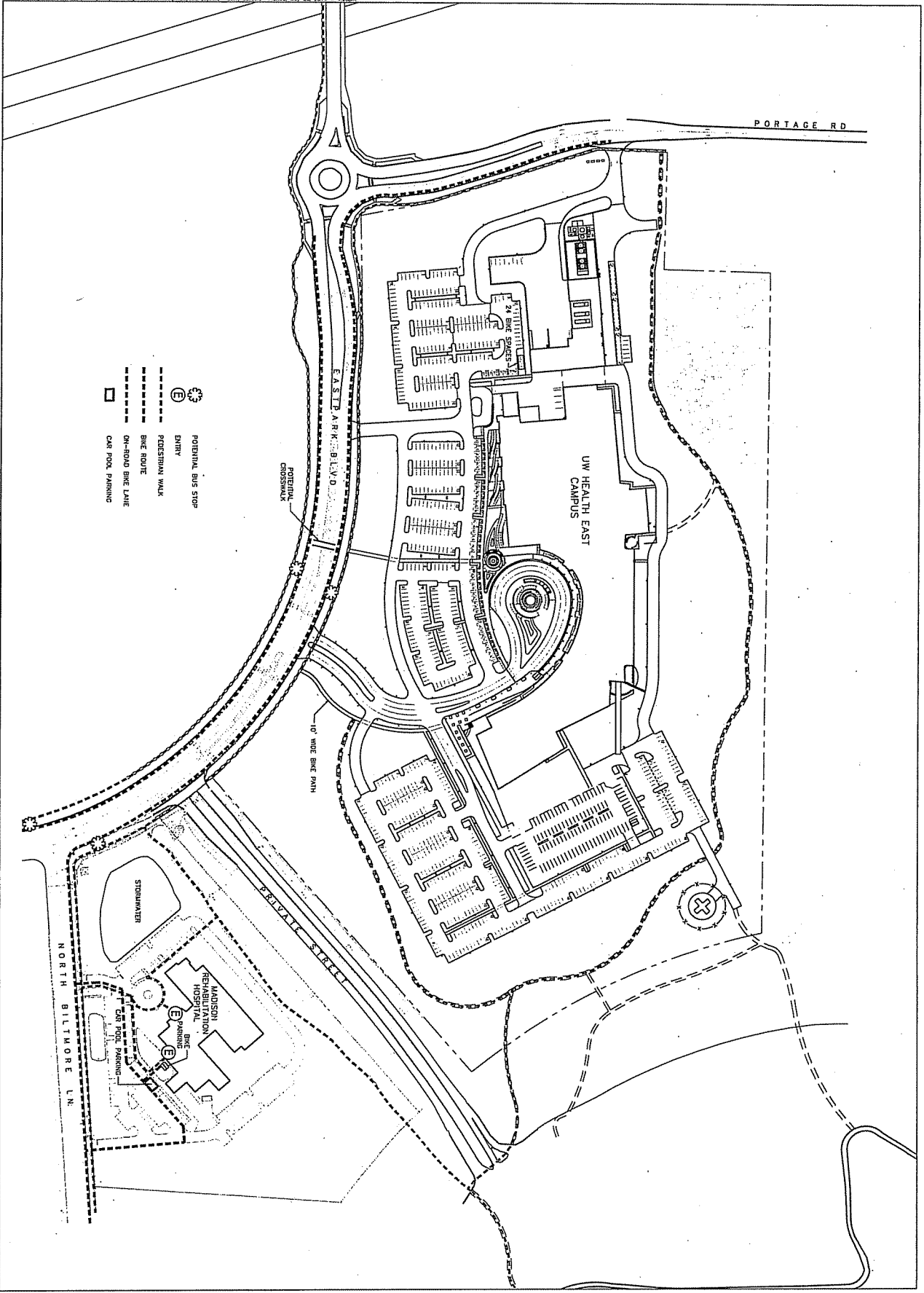
The site plan in **Figure 2** shows the location and access routes to the proposed transit stops, the location of the reserved car pool spaces, the location of the covered bike parking, and access to the new facility for pedestrians and bicyclists. Promotional material on transit service available to the facility will be posted in the employee lunch room and lobby of the hospital.

Based on the City of Madison policy on Transportation Demand Management (TDM) requirements, this development will need to implement TDM measures that meet a minimum of 50 points because it will be on a planned transit route and within ¼ mile of a transit stop.

The following is a breakdown of each of the five TDM measures that are being proposed and the point system that has been assigned to each for this particular development:

- Free bus passes to employees – 50 points.
- Spaces reserved for car poolers – 15 points
- Covered bike parking – 10 points
- Emergency rides home for transit riders and carpoolers – 15 points
- Post transit, bike and walk route information – 5 points

Based on the five TDM elements proposed, there are a total of 95 points provided, which well exceeds the minimum required for this development.



**SAA DESIGN GROUP**  
 SAA Group, Inc.  
 1000 W. Wisconsin Ave.  
 Madison, WI 53706  
 T: 608.277.7775  
 F: 608.277.7775

Professional Seal

Revision: D110

Project Name: Madison Rehabilitation Hospital

Madison, WI

Drawn By: AO  
 Checked By: JL  
 File:  
 Issued For: REVIEW  
 Date: 13\_0206  
 Project No: 2457

Sheet Title: Madison Rehabilitation Hospital Bicycle/Pedestrian Plan

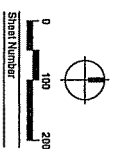


FIGURE 2

LETTER OF INTENT

City of Madison Planning Commission

For

CONDITIONAL USE APPROVAL

for the

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5115 N. Biltmore Lane

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## MADISON REHABILITATION HOSPITAL

MADISON

WISCONSIN

PACKAGE NAME : CONDITIONAL USE

DATE : MAY 7, 2014

JOB # : 13101.01

**EARL SWENSSON ASSOCIATES, INC.**

richard I. miller, architect

**RUEKERT-MIELKE**

**LUNDE WILLIAMS, LLC**

**PHOENIX DESIGN GROUP**

**-ARCHITECTURE + INTERIORS**

**- CIVIL ENGINEER**

**- LANDSCAPE ARCHITECT**

**- ELECTRICAL ENGINEER**

**SHEET INDEX:**

CIVIL:

C1.01 EXISTING CONDITIONS PLAN  
 C2.02 EROSION CONTROL PLAN  
 C3.01 SITE PLAN  
 C3.02 COURTYARD SITE PLAN DETAIL  
 C3.03 FRONT TERRACE SITE PLAN DETAIL  
 C4.01 SIGNAGE AND PAVEMENT MARKING PLAN  
 C5.01 GRADING PLAN  
 C5.02 STORMWATER BASIN GRADING DETAIL  
 C5.03 STORMWATER BASIN GRADING DETAIL  
 C5.04 STORMWATER BASIN GRADING DETAIL  
 C5.05 STORMWATER BASIN DETAILS  
 C6.01 STORM SEWER OVERALL PLAN  
 C6.02 SANITARY SEWER WATER MAIN OVERALL PLAN  
 C6.03 PROPOSED SANITARY SEWER PLAN  
 C6.04 PROPOSED WATER MAIN PLAN  
 C7.01 CONSTRUCTION DETAILS  
 C7.02 CONSTRUCTION DETAILS  
 C7.03 CONSTRUCTION DETAILS

ARCHITECTURAL:

G1.50 AXON VIEWS  
 A1.01 FIRST AND SECOND FLOOR ORIENTATION PLAN  
 A1.50 ROOF PLAN  
 A2.01 EXTERIOR ELEVATIONS  
 A2.02 EXTERIOR ELEVATIONS  
 A3.00 BUILDING SECTIONS

LANDSCAPE:

L1.01 LANDSCAPE PLAN  
 L1.02 ENTRY LANDSCAPE PLAN  
 L1.03 COURTYARD LANDSCAPE PLAN  
 L1.04 LANDSCAPE DETAILS



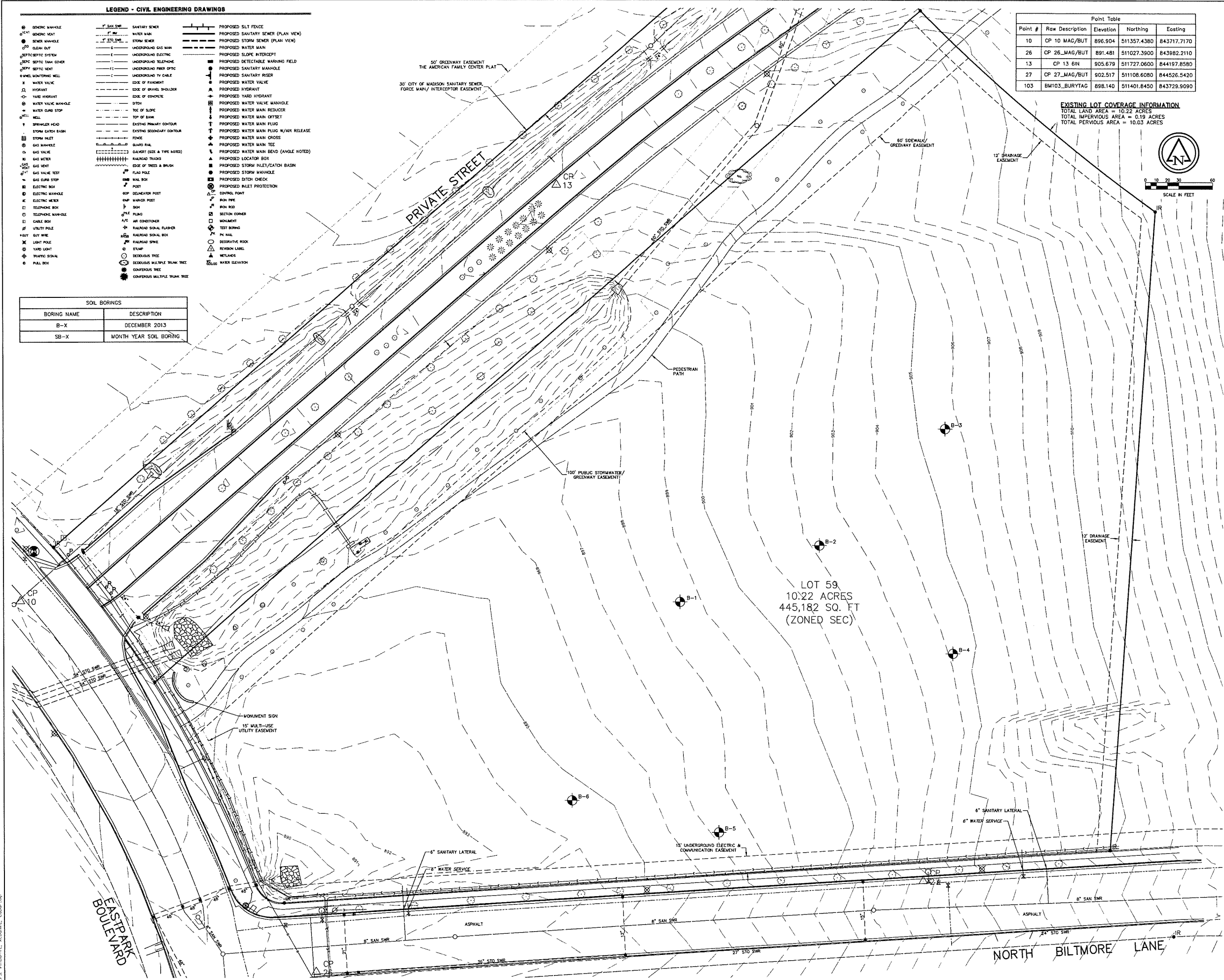
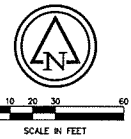
LEGEND - CIVIL ENGINEERING DRAWINGS

- ⊙ GENERAL MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ CLEAN OUT
- ⊙ SEPTIC TANK COVER
- ⊙ SEPTIC TANK COVER
- ⊙ WELDED WORKING WELL
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ YARD HYDRANT
- ⊙ WATER VALVE MANHOLE
- ⊙ WATER CURB STOP
- ⊙ WELL
- ⊙ SPRINKLER HEAD
- ⊙ STORM CATCH BASIN
- ⊙ STORM INLET
- ⊙ GAS MANHOLE
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ GAS VENT
- ⊙ GAS VALVE TEST
- ⊙ GAS CURB STOP
- ⊙ ELECTRIC BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRICAL METER
- ⊙ TELEPHONE BOX
- ⊙ TELEPHONE MANHOLE
- ⊙ CABLE BOX
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ LIGHT POLE
- ⊙ YARD LIGHT
- ⊙ TRAFFIC SIGNAL
- ⊙ PULL BOX
- ⊙ SANITARY SEWER
- ⊙ WATER MAIN
- ⊙ STORM SEWER
- ⊙ UNDERGROUND GAS MAIN
- ⊙ UNDERGROUND ELECTRIC
- ⊙ UNDERGROUND TELEPHONE
- ⊙ UNDERGROUND FIBER OPTIC
- ⊙ UNDERGROUND TV CABLE
- ⊙ EDGE OF PAVEMENT
- ⊙ EDGE OF GRAVEL SHOULDER
- ⊙ EDGE OF CONCRETE
- ⊙ DITCH
- ⊙ TIE OF SLOPE
- ⊙ TOP OF BANK
- ⊙ EXISTING PRIMARY CONTOUR
- ⊙ EXISTING SECONDARY CONTOUR
- ⊙ FENCE
- ⊙ GUARD RAIL
- ⊙ GARDEN (SEE A TYPE WORDS)
- ⊙ RAILROAD TRACKS
- ⊙ EDGE OF TREES & BRUSH
- ⊙ FLAG POLE
- ⊙ MAIL BOX
- ⊙ POST
- ⊙ DEGREASER POST
- ⊙ WARDEN POST
- ⊙ SIGN
- ⊙ PLUG
- ⊙ AIR CONDITIONER
- ⊙ RAMPING SIGNAL FLASHER
- ⊙ RAISING SIGNAL BOX
- ⊙ RAILROAD SIGNAL
- ⊙ STAMP
- ⊙ DECIDUOUS TREE
- ⊙ DECIDUOUS MULTIPLE TRUNK TREE
- ⊙ CONIFEROUS TREE
- ⊙ CONIFEROUS MULTIPLE TRUNK TREE
- ⊙ PROPOSED SILT FENCE
- ⊙ PROPOSED SANITARY SEWER (PLAN VIEW)
- ⊙ PROPOSED STORM SEWER (PLAN VIEW)
- ⊙ PROPOSED WATER MAIN
- ⊙ PROPOSED SLOPE INTERCEPT
- ⊙ PROPOSED DETECTABLE WARNING FIELD
- ⊙ PROPOSED SANITARY MANHOLE
- ⊙ PROPOSED SANITARY RISER
- ⊙ PROPOSED WATER VALVE
- ⊙ PROPOSED HYDRANT
- ⊙ PROPOSED YARD HYDRANT
- ⊙ PROPOSED WATER VALVE MANHOLE
- ⊙ PROPOSED WATER MAIN REDUCER
- ⊙ PROPOSED WATER MAIN OFFSET
- ⊙ PROPOSED WATER MAIN PLUG W/AIR RELEASE
- ⊙ PROPOSED WATER MAIN CROSS
- ⊙ PROPOSED WATER MAIN TEE
- ⊙ PROPOSED WATER MAIN BEND (ANGLE NOTED)
- ⊙ PROPOSED LOCATOR BOX
- ⊙ PROPOSED STORM INLET/CATCH BASIN
- ⊙ PROPOSED STORM MANHOLE
- ⊙ PROPOSED DITCH CHECK
- ⊙ PROPOSED INLET PROTECTION
- ⊙ CONTROL POINT
- ⊙ SIGN PIPE
- ⊙ SIGN BOX
- ⊙ SECTION CORNER
- ⊙ MONUMENT
- ⊙ TEST BORING
- ⊙ PEAK
- ⊙ DEPRESSIVE HOLE
- ⊙ REVISION LABEL
- ⊙ WETLANDS
- ⊙ WATER ELEVATION

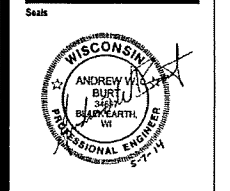
SOIL BORINGS	
BORING NAME	DESCRIPTION
B-X	DECEMBER 2013
SB-X	MONTH YEAR SOIL BORING

Point #	Raw Description	Elevation	Northing	Eastng
10	CP 10_MAG/BUT	896.904	511357.4380	843717.7170
26	CP 26_MAG/BUT	891.481	511027.3900	843982.2110
13	CP 13_BIN	905.679	511727.0600	844197.8580
27	CP 27_MAG/BUT	902.517	511108.6080	844526.5420
103	BMD3_BURYTAG	898.140	511401.8450	843729.9090

EXISTING LOT COVERAGE INFORMATION  
 TOTAL LAND AREA = 10.22 ACRES  
 TOTAL IMPERVIOUS AREA = 0.19 ACRES  
 TOTAL PERVIOUS AREA = 10.03 ACRES



Ruekert-Mielke  
 engineering solutions for a working world



MADISON REHABILITATION HOSPITAL

5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions	No.	Date	Description

Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: B212-10003.200  
 Drawn By: JTH | Checked By: ANB  
 Drawing Title: EXISTING CONDITIONS PLAN

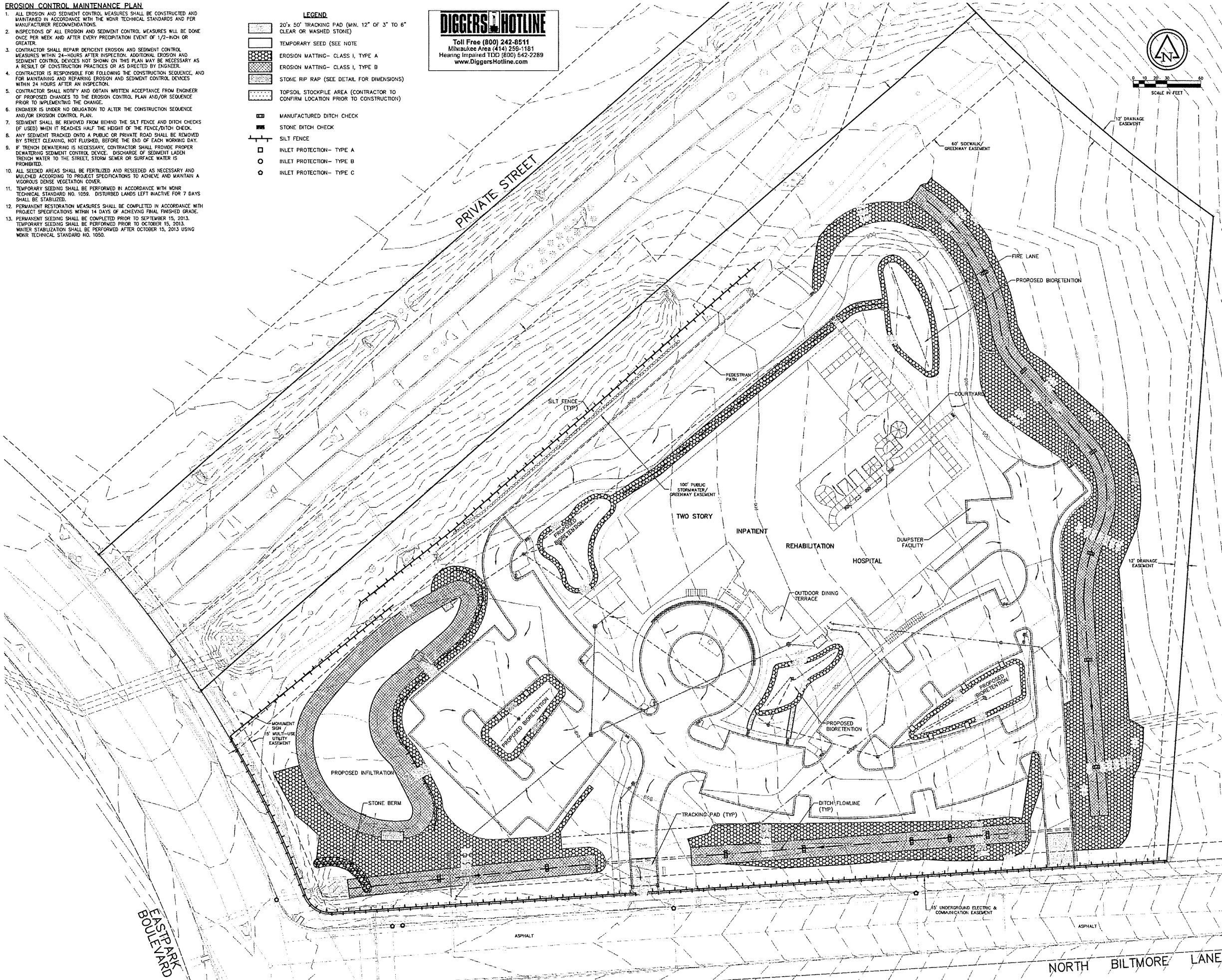
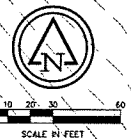
Sheet Number  
**C1.01**

May 06, 2014 11:18am PLOTTED BY: Administrator SAVED BY: Administrator  
 SAVE AS: N:\Projects\10003\Drawings\10003-10003-001-01-01-01.dwg Layout11  
 SHEETS: P:\Projects\10003\Drawings\10003-10003-001-01-01-01.dwg

- EROSION CONTROL MAINTENANCE PLAN**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MNR TECHNICAL STANDARDS AND PER MANUFACTURER RECOMMENDATIONS.
  2. INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE DONE ONCE PER WEEK AND AFTER EVERY PRECIPITATION EVENT OF 1/2-INCH OR GREATER.
  3. CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24-HOURS AFTER INSPECTION. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES NOT SHOWN ON THIS PLAN MAY BE NECESSARY AS A RESULT OF CONSTRUCTION PRACTICES OR AS DIRECTED BY ENGINEER.
  4. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE CONSTRUCTION SEQUENCE AND FOR MAINTAINING AND REPAIRING EROSION AND SEDIMENT CONTROL DEVICES WITHIN 24 HOURS AFTER AN INSPECTION.
  5. CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OF PROPOSED CHANGES TO THE EROSION CONTROL PLAN AND/OR SEQUENCE PRIOR TO IMPLEMENTING THE CHANGE.
  6. ENGINEER IS UNDER NO OBLIGATION TO ALTER THE CONSTRUCTION SEQUENCE AND/OR EROSION CONTROL PLAN.
  7. SEDIMENT SHALL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS (IF USED) WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/DITCH CHECK.
  8. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, NOT FLUSHED, BEFORE THE END OF EACH WORKING DAY.
  9. IF TRENCH DEWATERING IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICE. DISCHARGE OF SEDIMENT LADEN TRENCH WATER TO THE STREET, STORM SEWER OR SURFACE WATER IS PROHIBITED.
  10. ALL SEEDED AREAS SHALL BE FERTILIZED AND RESEEDED AS NECESSARY AND MULCHED ACCORDING TO PROJECT SPECIFICATIONS TO ACHIEVE AND MAINTAIN A VIGOROUS DENSE VEGETATION COVER.
  11. TEMPORARY SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH MNR TECHNICAL STANDARD NO. 1059. DISTURBED LANDS LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED.
  12. PERMANENT RESTORATION MEASURES SHALL BE COMPLETED IN ACCORDANCE WITH PROJECT SPECIFICATIONS WITHIN 14 DAYS OF ACHIEVING FINAL FINISHED GRADE.
  13. PERMANENT SEEDING SHALL BE COMPLETED PRIOR TO SEPTEMBER 15, 2013. TEMPORARY SEEDING SHALL BE PERFORMED PRIOR TO OCTOBER 15, 2013. WINTER STABILIZATION SHALL BE PERFORMED AFTER OCTOBER 15, 2013 USING MNR TECHNICAL STANDARD NO. 1050.

- LEGEND**
- 20' x 50' TRACKING PAD (MIN. 12" OF 3" TO 6" CLEAR OR WASHED STONE)
  - TEMPORARY SEED (SEE NOTE)
  - EROSION MATTING- CLASS I, TYPE A
  - EROSION MATTING- CLASS I, TYPE B
  - STONE RIP RAP (SEE DETAIL FOR DIMENSIONS)
  - TOPSOIL STOCKPILE AREA (CONTRACTOR TO CONFIRM LOCATION PRIOR TO CONSTRUCTION)
  - MANUFACTURED DITCH CHECK
  - STONE DITCH CHECK
  - SILT FENCE
  - INLET PROTECTION- TYPE A
  - INLET PROTECTION- TYPE B
  - INLET PROTECTION- TYPE C

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5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions

No.	Date	Description

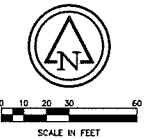
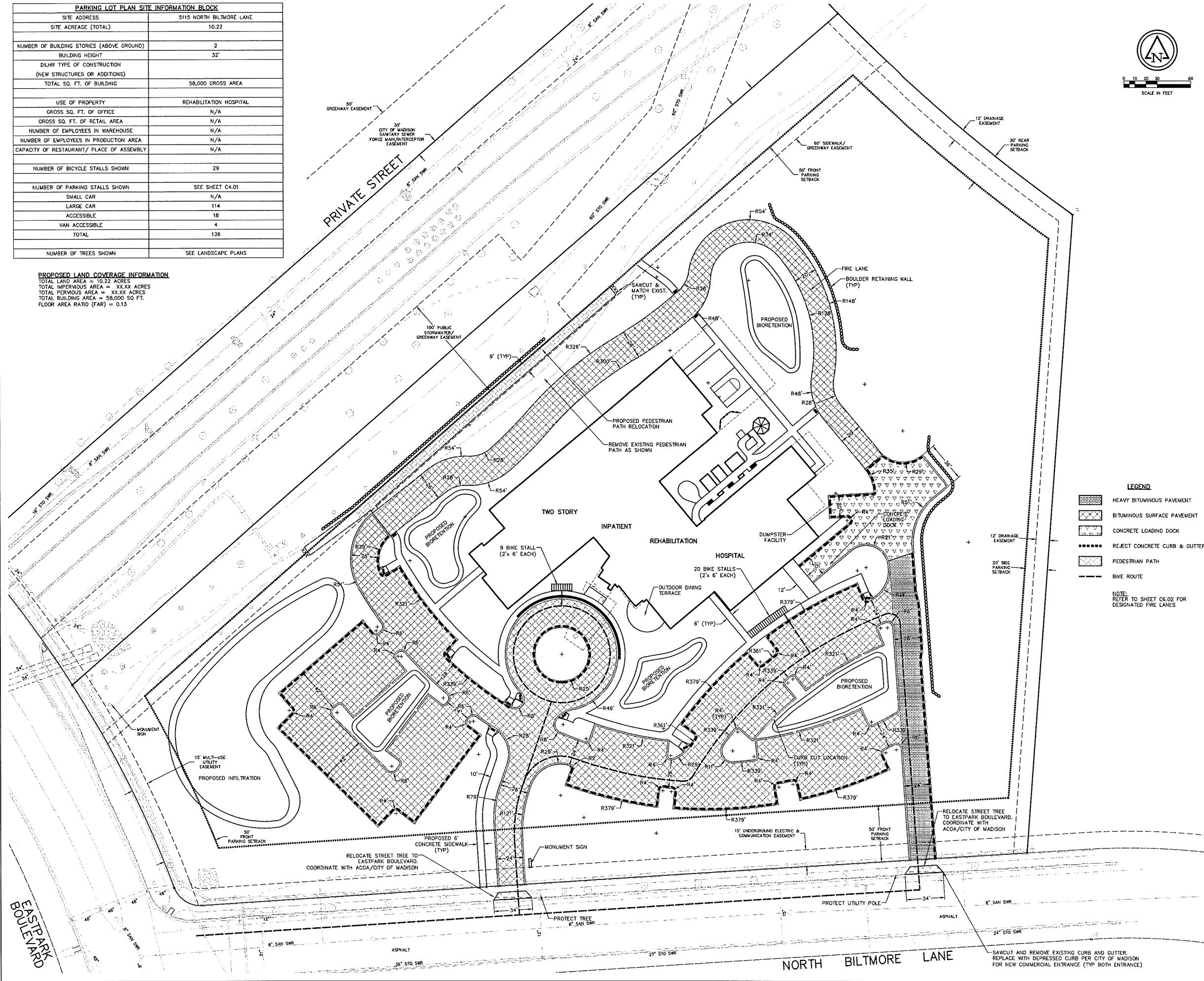
Issue Description: **CONDITIONAL USE**  
Issue Date: 5/7/14  
Project No: B212-10003.200  
Drawn By: JTN [Checked By] AWB  
Drawing Title

**EROSION CONTROL PLAN**  
Sheet Number  
**C2.02**

May 06, 2014 11:20am PLOTTED BY: Akwungar\_SAVED BY: Akwungar  
I:\GIS\2014\14-003\14-003-dp1-finan-Controll\_Plan-G202.dwg Layout1  
PAGES: C:\Users\akwungar\AppData\Local\Temp\14-003-dp1-finan-Controll\_Plan-G202.dwg  
PREFS: P:\admsrc\Color\93p; Kcbarr; E:\Users\akwungar; P:\admsrc\Urbanrc

PARKING LOT PLAN SITE INFORMATION BLOCK	
SITE ADDRESS	5115 NORTH BILTMORE LANE
SITE ACREAGE (TOTAL)	10.22
NUMBER OF BUILDING STORIES (ABOVE GROUND)	2
BUILDING HEIGHT	32'
DILHR TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS)	
TOTAL SQ. FT. OF BUILDING	58,000 GROSS AREA
USE OF PROPERTY	REHABILITATION HOSPITAL
GROSS SQ. FT. OF OFFICE	N/A
GROSS SQ. FT. OF RETAIL AREA	N/A
NUMBER OF EMPLOYEES IN WAREHOUSE	N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA	N/A
CAPACITY OF RESTAURANT/ PLACE OF ASSEMBLY	N/A
NUMBER OF BICYCLE STALLS SHOWN	29
NUMBER OF PARKING STALLS SHOWN	SEE SHEET C4.01
SMALL CAR	N/A
LARGE CAR	114
ACCESSIBLE	18
VAN ACCESSIBLE	4
TOTAL	136
NUMBER OF TREES SHOWN	SEE LANDSCAPE PLANS

**PROPOSED LAND COVERAGE INFORMATION**  
 TOTAL LAND AREA = 10.22 ACRES  
 TOTAL IMPERVIOUS AREA = XX.XX ACRES  
 TOTAL PERVIOUS AREA = XX.XX ACRES  
 TOTAL BUILDING AREA = 58,000 SQ. FT.  
 FLOOR AREA RATIO (FAR) = 0.13



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- LEGEND**
- HEAVY BITUMINOUS PAVEMENT
  - BITUMINOUS SURFACE PAVEMENT
  - CONCRETE LOADING DOCK
  - RE-ECT CONCRETE CURB & GUTTER
  - PEDESTRIAN PATH
  - BIKE ROUTE
- NOTE: REFER TO SHEET C6.02 FOR DESIGNATED FIRE LANES

**MADISON REHABILITATION HOSPITAL**

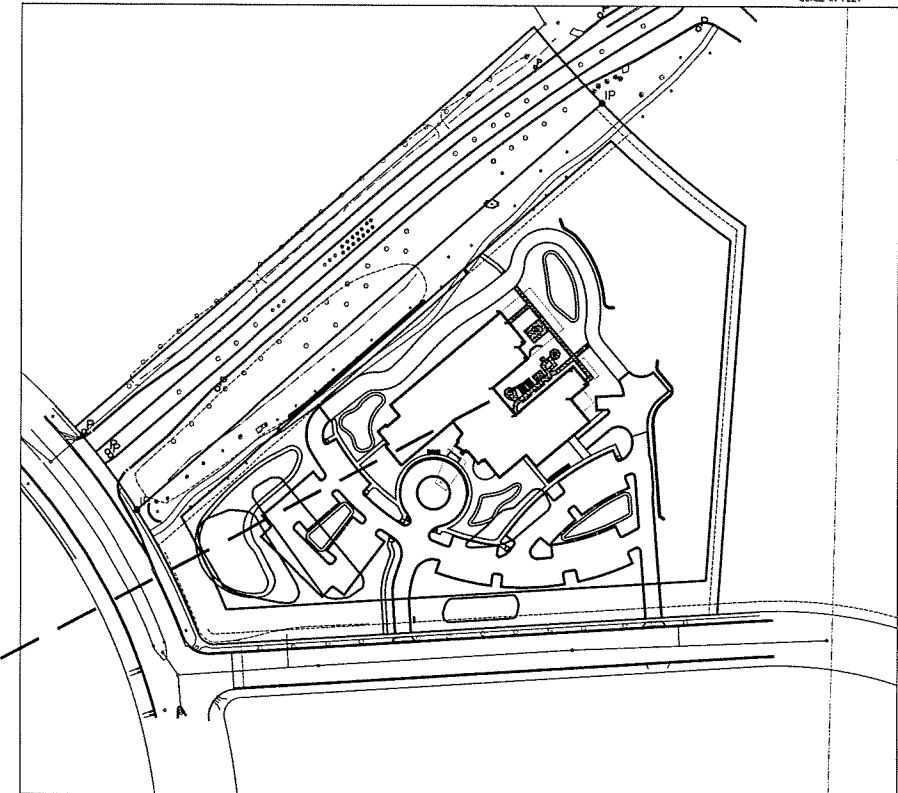
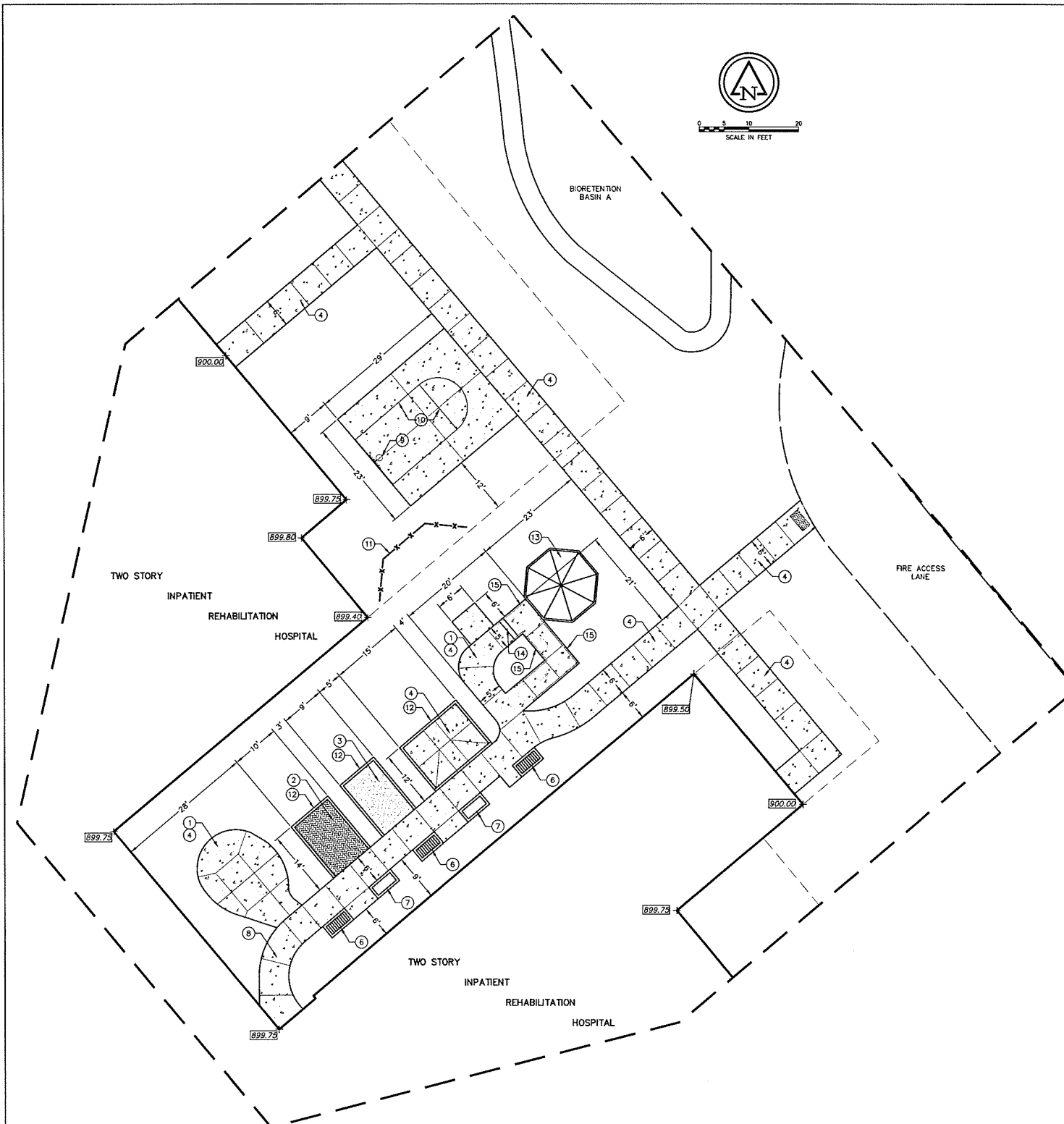
5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions		
No.	Date	Description

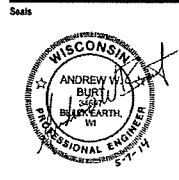
Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: B212-10003.200  
 Drawn By: JTH | Checked By: AYW  
 Drawing Title: SITE PLAN

Sheet Number  
**C3.01**

May 06, 2014 11:21am PLOTTED BY: AYW | Saved By: AYW |  
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 P:\Projects\B212\_10003\Drawings\Site\Site Plan - C3.01.dwg | Output:



- LEGEND**
- ① ASTROTURF PUTTING SURFACE
  - ② CONCRETE PAVER PATIO AND CURB
  - ③ GRAVEL BED AND CURB
  - ④ CONCRETE WALK
  - ⑤ CONCRETE ACCESSIBLE CURB RAMP
  - ⑥ BENCH SURFACE MOUNTED TO WALK WITH STAINLESS STEEL ANCHOR BOLTS
  - ⑦ STONE PLANTER
  - ⑧ CONCRETE STOOP (MINIMUM 6'x 6')
  - ⑨ BASKETBALL GOAL
  - ⑩ 2" WIDE PAINTED WHITE BASKETBALL COURT STRIPING
  - ⑪ CHIPPING BACKSTOP WITH NETTING AND POLES
  - ⑫ CONCRETE CURB
  - ⑬ SHELTER PAD AND GAZEBO
  - ⑭ STEPS (1 TREAD AT 12" WITH 2 RISERS AT 6" EACH)
  - ⑮ HANDRAIL (EXTEND 12" BEYOND BOTTOM OF STEP AND/OR RAMP)



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5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions	△	No.	Date	Description

Issue Description	CONDITIONAL USE
Issue Date	5/7/14
Project No	6212-10003.200
Drawn By	JTH
Checked By	AVB

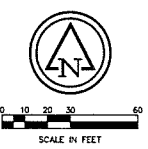
**COURTYARD SITE PLAN DETAIL**

Sheet Number  
**C3.02**

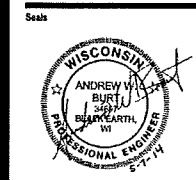
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 PLOT FILE: P:\admin\cadd\p505; E:\admin; B:\admin; C:\admin; X:\admin







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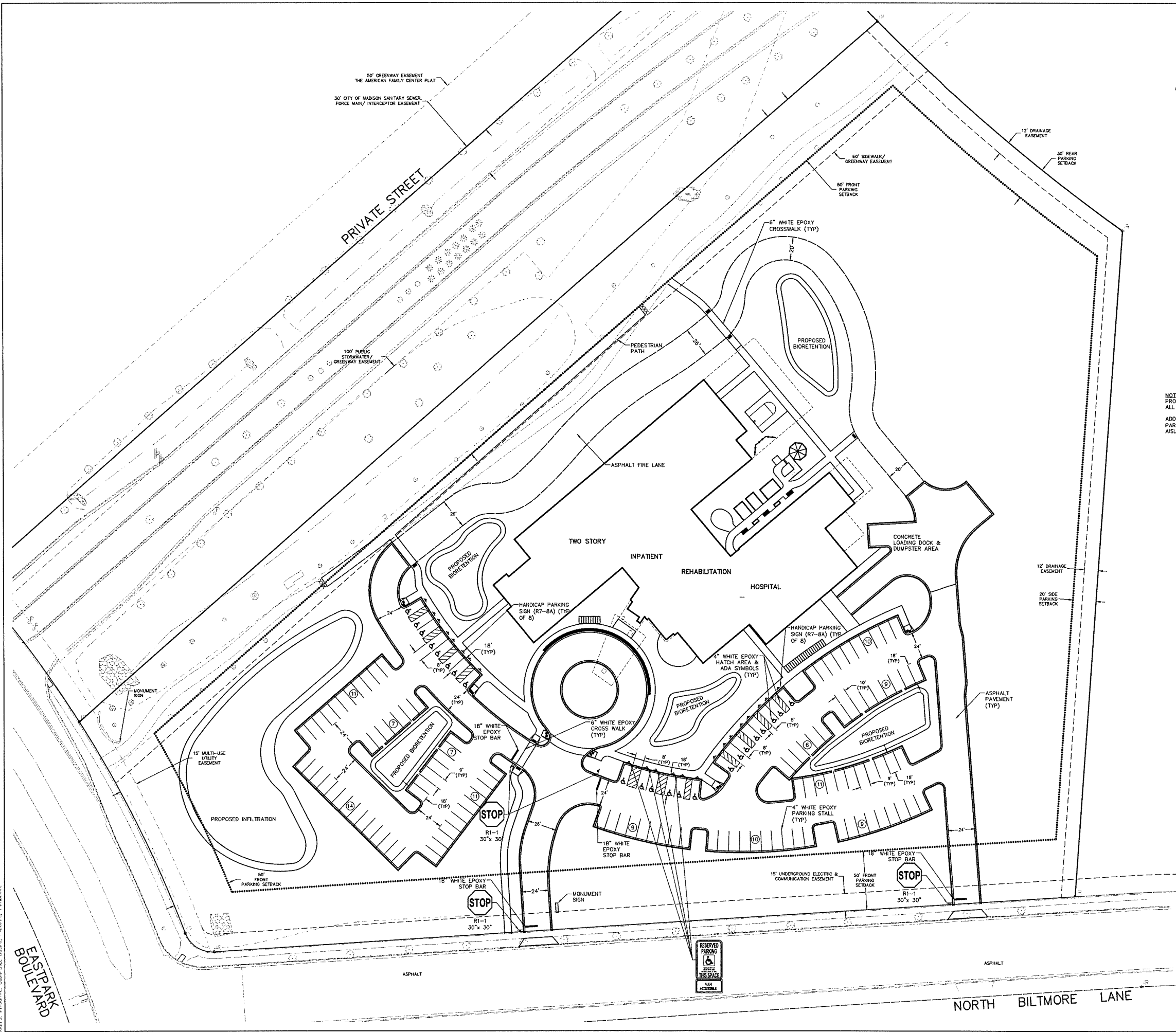


R7-8A  
 12' x 16'  
 (TYP)



R7-8V  
 12' x 6'  
 (TYP)

NOTES:  
 PROVIDE R7-8A SIGN TO ALL HANDICAP PARKING STALLS.  
 ADD R7-8V SIGN TO ALL PARKING STALLS ADJACENT TO 8' AISLES.



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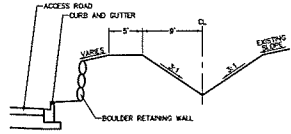
Revisions	Δ	Date	Description

Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003.200  
 Drawn By: JTN | Checked By: AWB  
 Drawing Title: SIGNAGE AND PAVEMENT MARKING PLAN

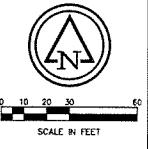
Sheet Number  
**C4.01**

May 06, 2014 11:23am PLOTTED BY: Administrator SAVED BY: Administrator  
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 REF: P:\Projects\8212-10003\Drawings\8212-10003-001-001.dwg  
 LAYOUT: SIGNAGE AND PAVEMENT MARKING PLAN

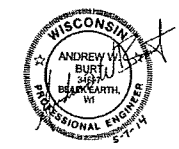
BOULDER RETAINING WALL		
LOCATION	TOP WALL ELEVATION	BOTTOM OF WALL ELEVATION
A	904.00	900.30
B	903.50	900.30
C	903.00	900.30
D	905.00	900.54
E	904.50	900.54
F	903.50	899.74
G	903.00	902.32
H	897.00	896.00
I	899.75	896.50
J	899.75	897.25
K	899.75	899.10



TYPICAL EAST DITCH SECTION NO SCALE

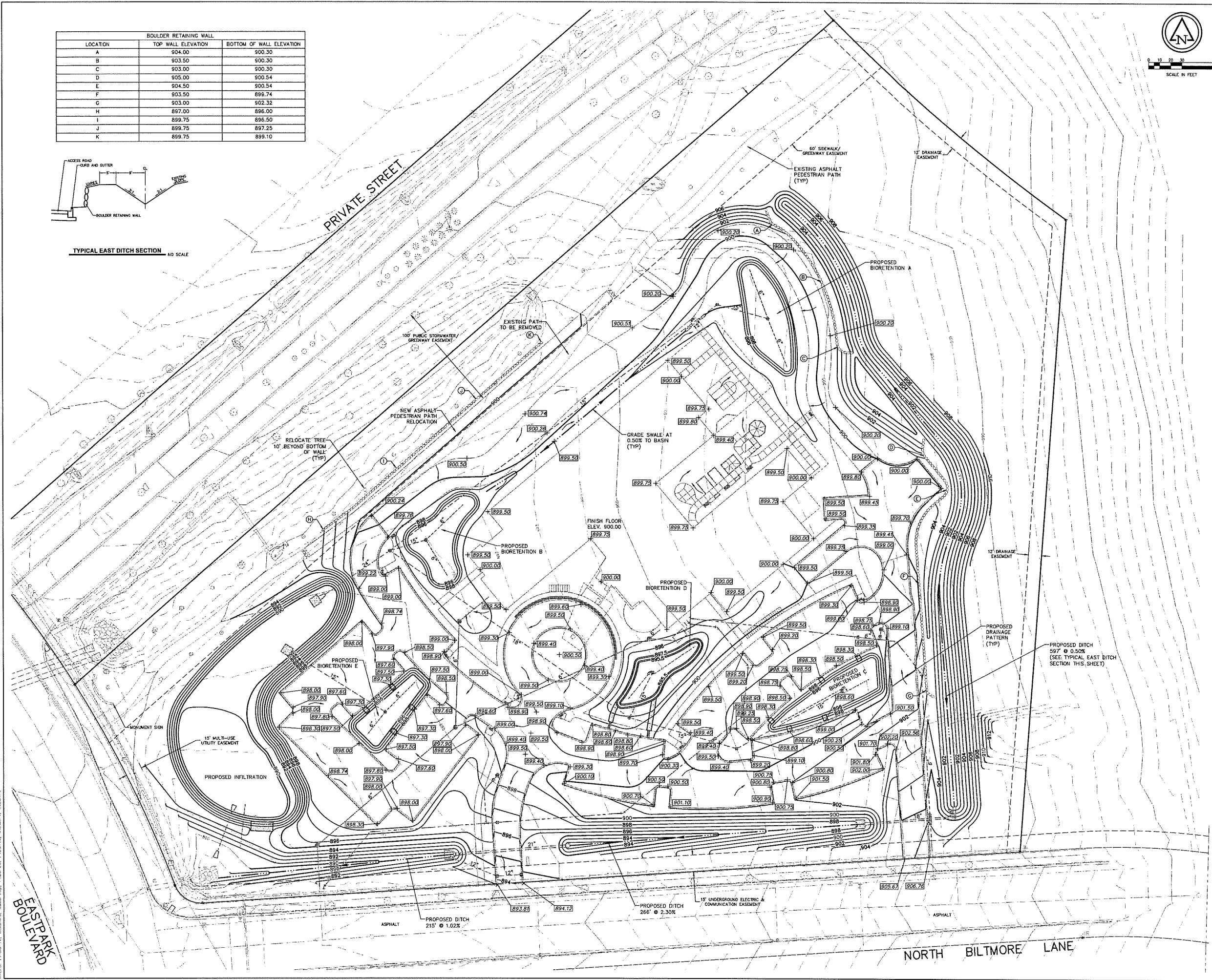


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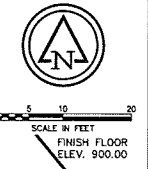
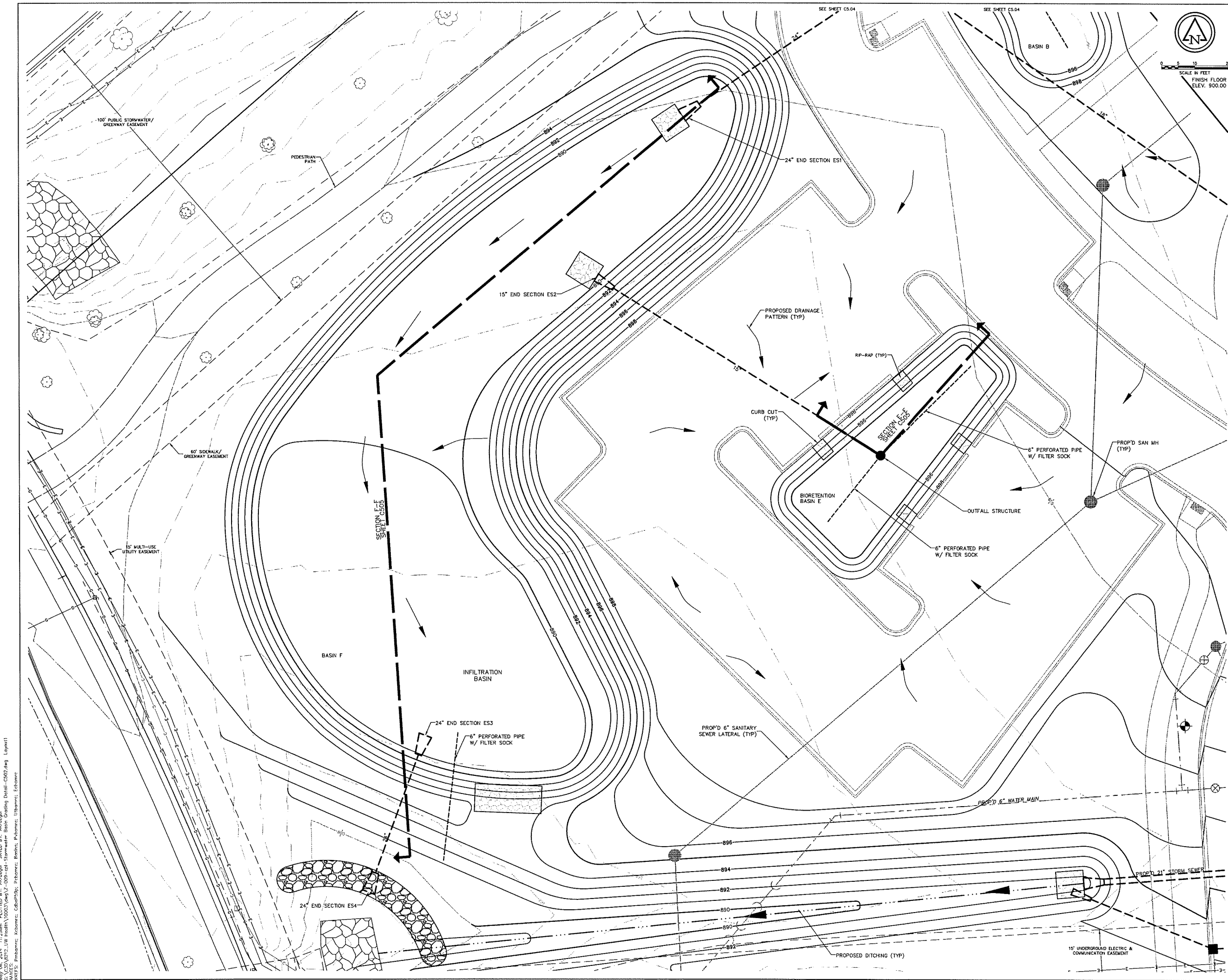


Revisions	
No.	Description

Issue Description: CONDITIONAL USE  
Issue Date: 5/7/14  
Project No: 8212-10003.200  
Drawn By: JTH | Checked By: AWB

Drawing Title: GRADING PLAN  
Sheet Number: C5.01

May 09, 2014 11:24am PLOTTED BY: Administrator SAVED BY: Administrator  
C:\Users\Administrator\Desktop\8212-10003.200\Drawings\Grading\Grading-550.dwg Layout1  
WATER: Problematic; KICKERS: Curb/Grp; PAVEMENT: Pavement; UTILITIES: Easement



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Revisions	No.	Date	Description

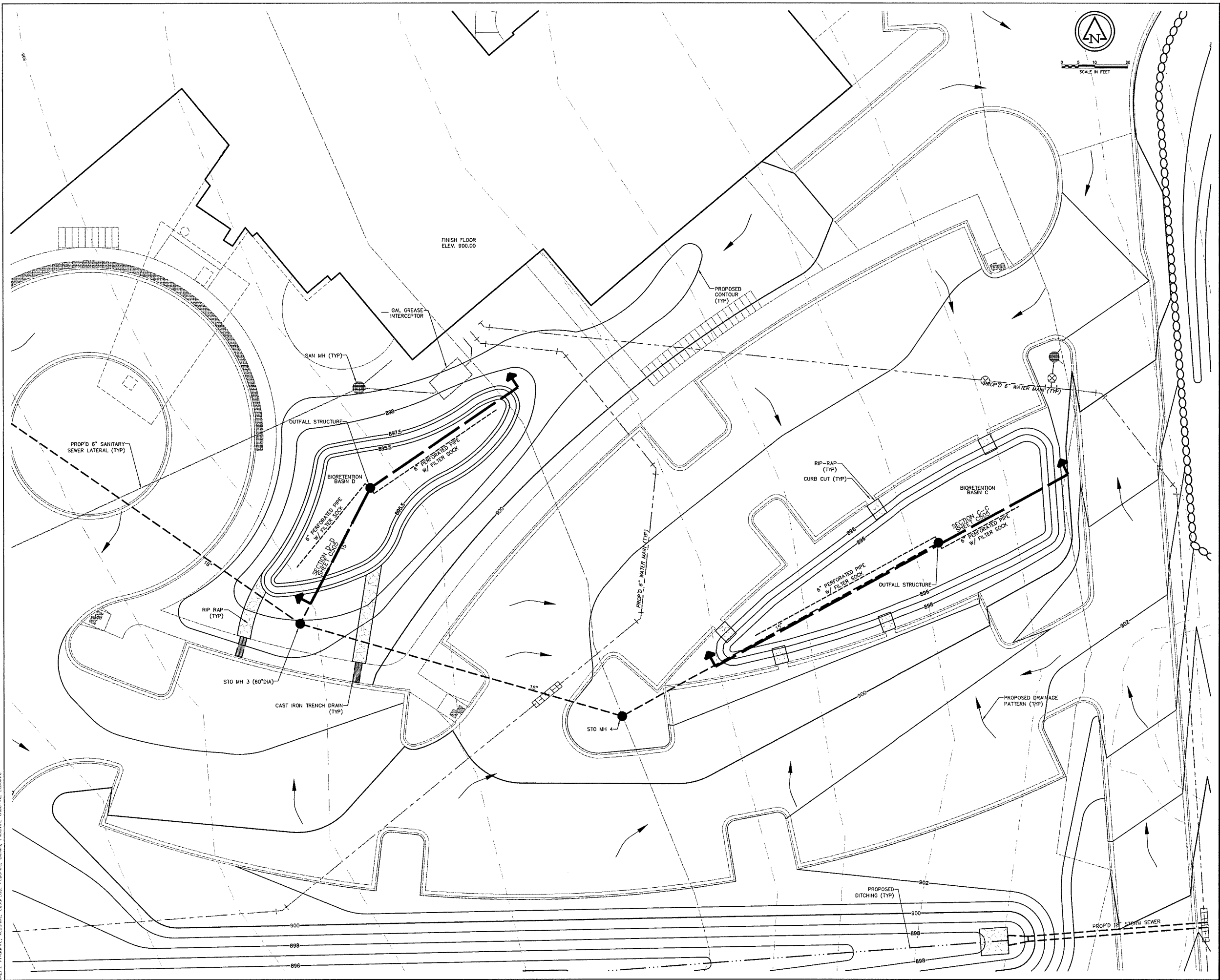
Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003.200  
 Drawn By: JTN | Checked By: AWB  
 Drawing Title:

**STORMWATER  
 BASIN GRADING  
 DETAIL**

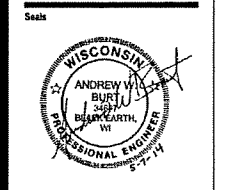
Sheet Number:  
**C5.02**

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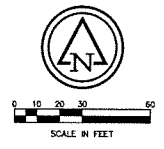
5115 N. BILTMORE LANE MADISON, WISCONSIN

Revision	Date	Description

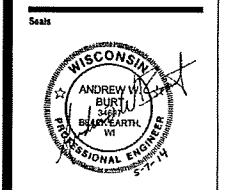
Issue Description: CONVENTIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003.200  
 Drawn By: JTN | Checked By: AWB  
 Drawing Title: STORMWATER BASIN GRADING DETAIL

Sheet Number  
**C5.03**

May 06, 2014 11:26am PLOTTED BY: Administrator SAVED BY: Administrator  
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 PLOTTER: HP DesignJet 5000 Series Plotter



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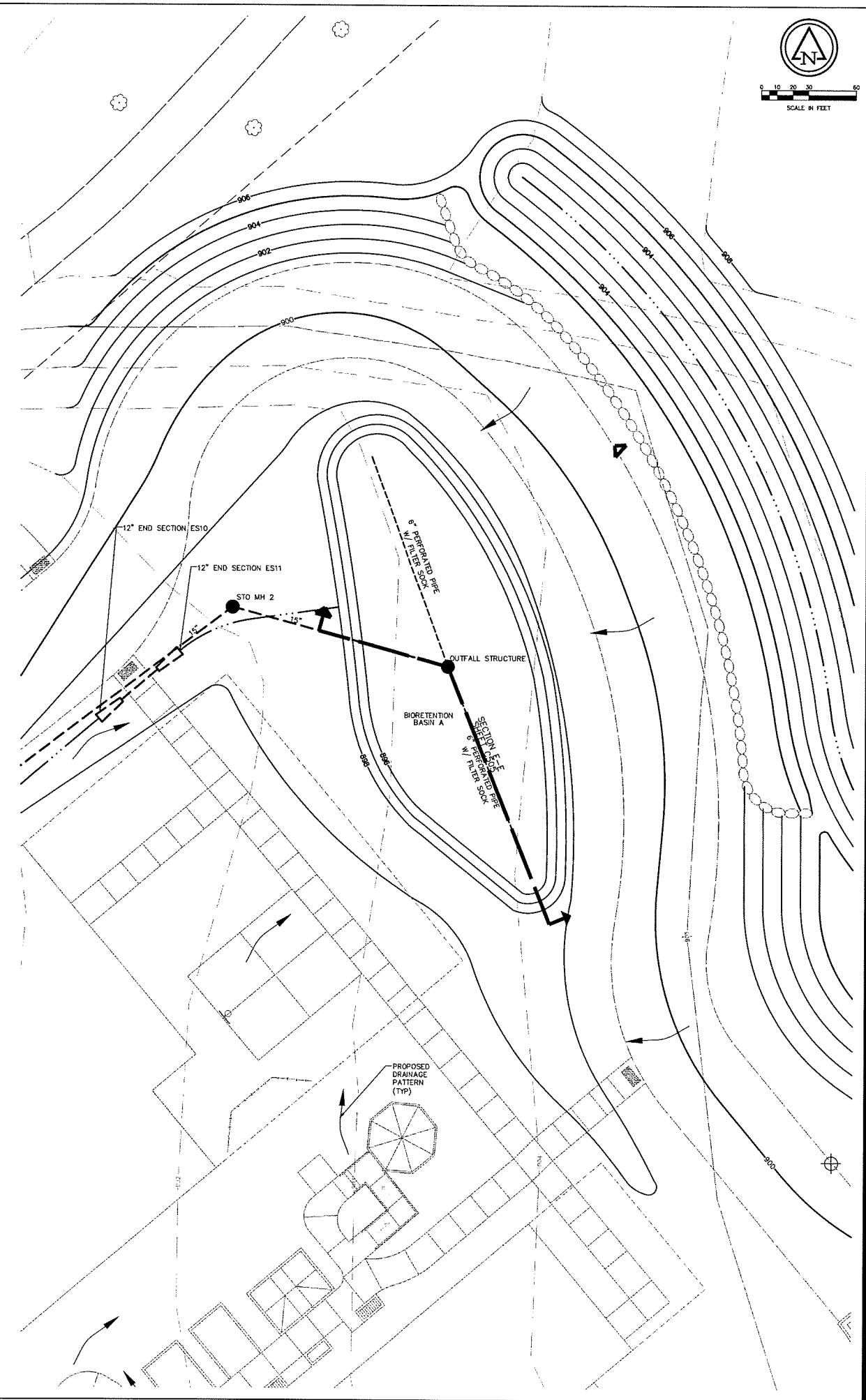
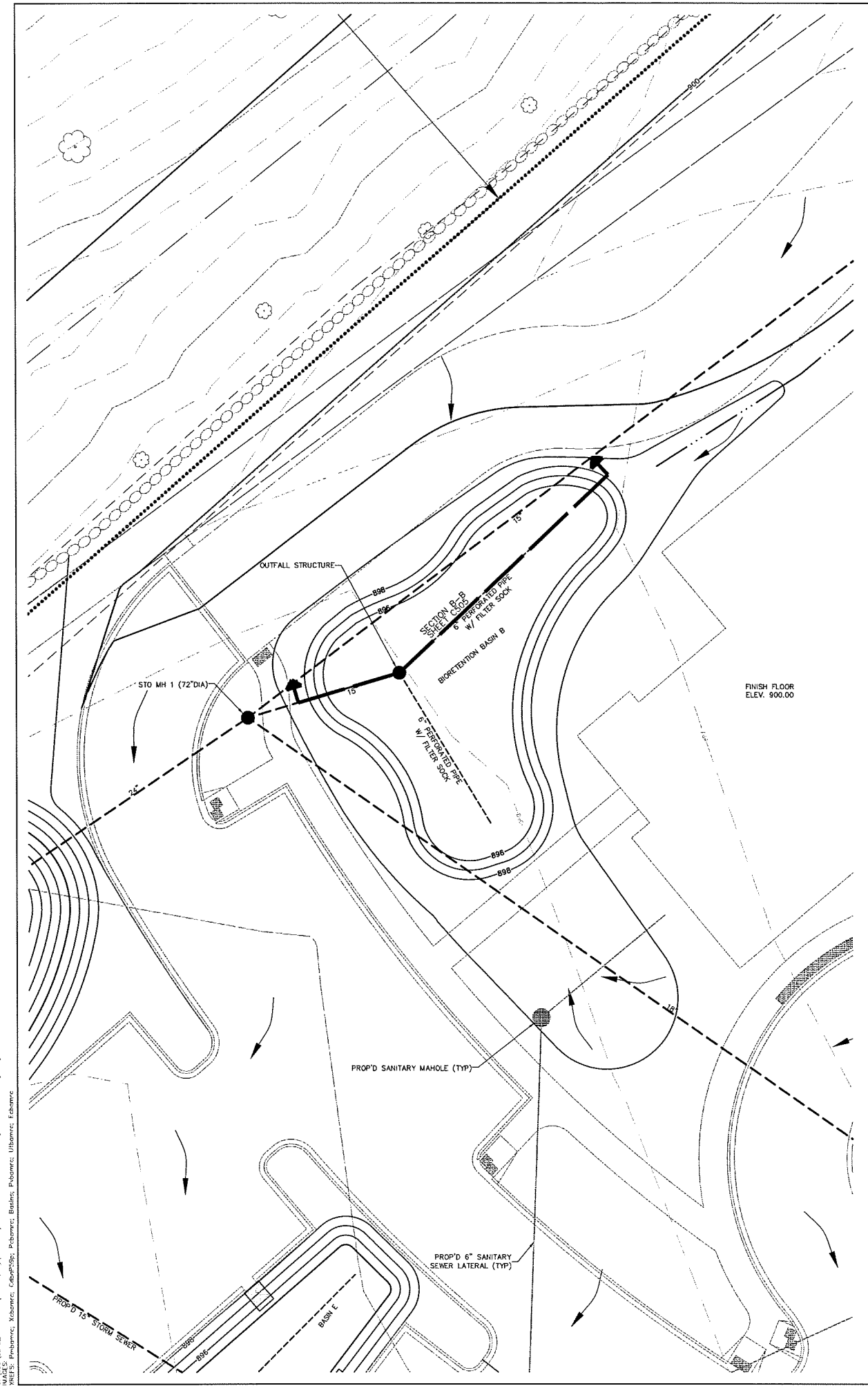
5115 N. BILTMORE LANE MADISON, WISCONSIN

Revision	Date	Description

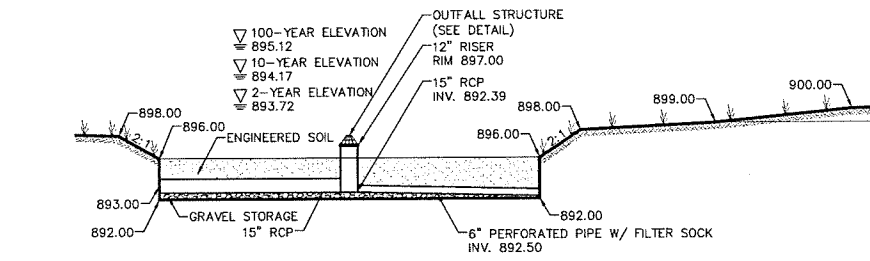
Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003.200  
 Drawn By: JTH | Checked By: AIVB

Drawing Title:  
**STORMWATER  
 BASIN GRADING  
 DETAIL**

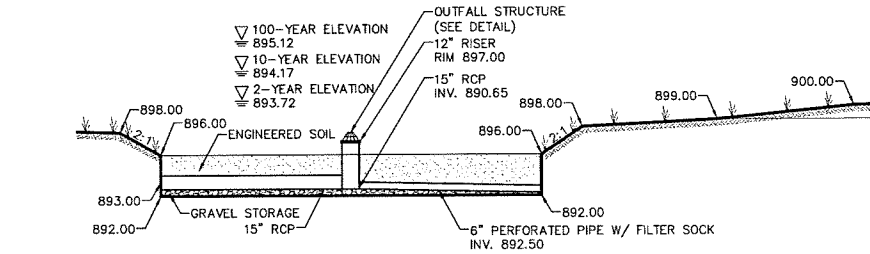
Sheet Number:  
**C5.04**



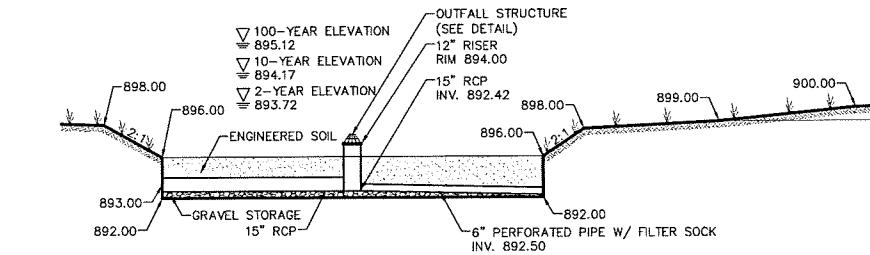
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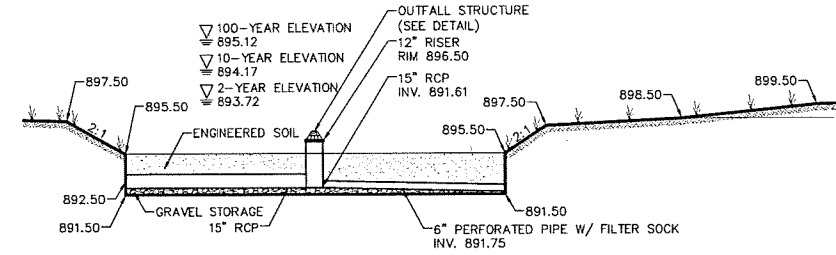
**A-A BIO-RETENTION BASIN A** NO SCALE  
 C504 Cypri-Pond Section A 20



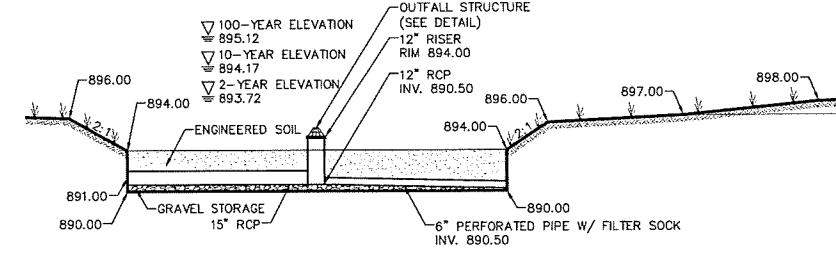
**B-B BIO-RETENTION BASIN B** NO SCALE  
 C504 Cypri-Pond Section B 20



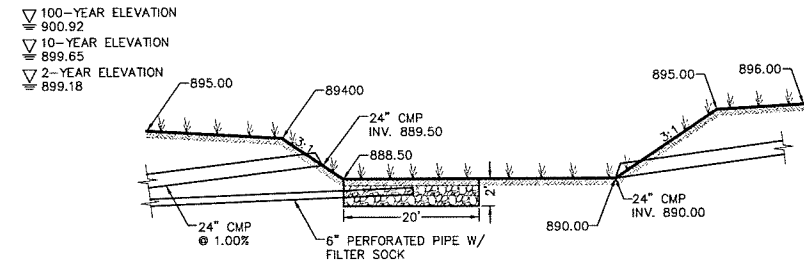
**C-C BIO-RETENTION BASIN C** NO SCALE  
 C503 Cypri-Pond Section C 20



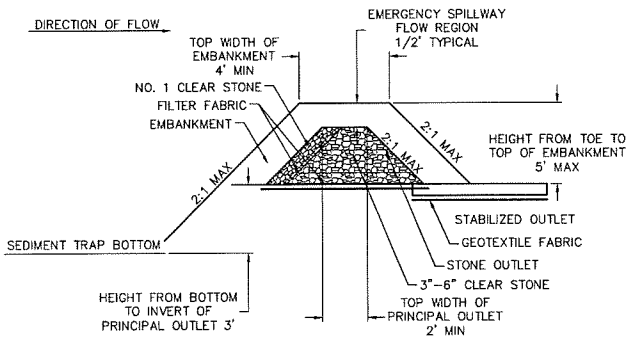
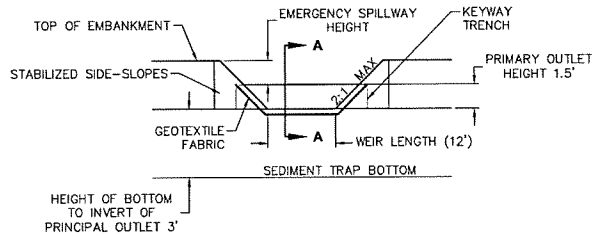
**D-D BIO-RETENTION BASIN D** NO SCALE  
 C503 Cypri-Pond Section D 20



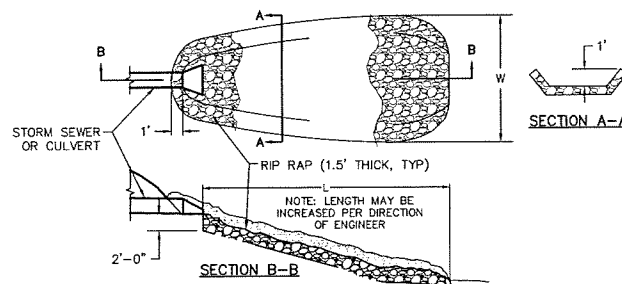
**E-E BIO-RETENTION BASIN E** NO SCALE  
 C502 Cypri-Pond Section E 20



**F-F INFILTRATION BASIN F** NO SCALE  
 C502 Cypri-Pond Section F-F 20



**SEDIMENT TRAP OUTLET** NO SCALE  
 EC-SEC-03 3



**RIP-RAP AT STORM OUTFALL** NO SCALE  
 EC-PA-04 66

PIPE DIA. (INCHES)	L (INCHES)	W (INCHES)
12	48	48
15	60	60
18	60	60
24	72	72
30	84	90
36*	96	108

\*REQUIRES JOINT TIES PER MADISON DETAIL 5.4.6 AND SECTION 504.2.

May 06, 2014 11:28am PLOTTED BY: AKAUGER SAVED BY: AKAUGER  
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**MADISON REHABILITATION HOSPITAL**

5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions	Δ	Description
No.	Date	

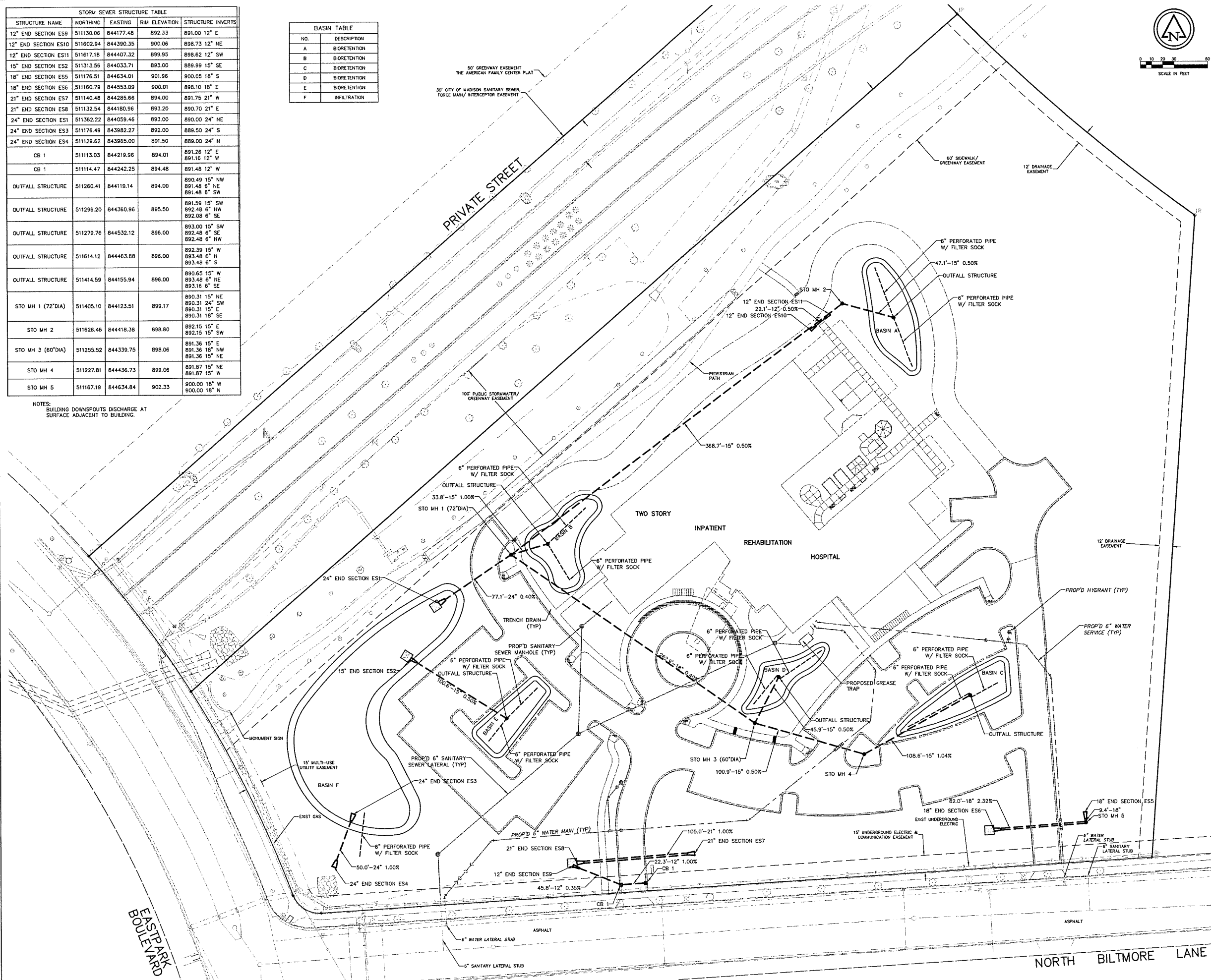
Issue Description	CONDITIONAL USE
Issue Date	5/7/14
Project No	6212-10003.200
Drawn By	JTN / Checked By AWB
Drawing Title	

**STORM WATER BASIN SECTIONS**

STORM SEWER STRUCTURE TABLE				
STRUCTURE NAME	NORTHING	EASTING	RIM ELEVATION	STRUCTURE INVERTS
12" END SECTION ES9	511130.06	844177.48	892.33	891.00 12" E
12" END SECTION ES10	511602.94	844390.35	900.06	898.73 12" NE
12" END SECTION ES11	511617.18	844407.32	899.95	898.62 12" SW
15" END SECTION ES2	511313.56	844033.71	893.00	889.99 15" SE
18" END SECTION ES5	511176.51	844634.01	901.96	900.05 18" S
18" END SECTION ES6	511160.79	844553.09	900.01	898.10 18" E
21" END SECTION ES7	511140.48	844285.66	894.00	891.75 21" W
21" END SECTION ES8	511132.54	844180.96	893.20	890.70 21" E
24" END SECTION ES1	511362.22	844059.46	893.00	890.00 24" NE
24" END SECTION ES3	511176.49	843982.27	892.00	889.50 24" S
24" END SECTION ES4	511129.62	843965.00	891.50	889.00 24" N
CB 1	511113.03	844219.96	894.01	891.26 12" E 891.16 12" W
CB 1	511114.47	844242.25	894.48	891.48 12" W
OUTFALL STRUCTURE	511260.41	844119.14	894.00	890.49 15" NW 891.48 6" NE 891.48 6" SW
OUTFALL STRUCTURE	511296.20	844380.96	895.50	891.59 15" SW 892.48 6" NW 892.08 6" SE
OUTFALL STRUCTURE	511279.76	844532.12	896.00	893.00 15" SW 892.48 6" SE 892.48 6" NW
OUTFALL STRUCTURE	511614.12	844463.88	896.00	892.39 15" W 893.48 6" N 893.48 6" S
OUTFALL STRUCTURE	511414.59	844155.94	896.00	890.65 15" W 893.48 6" NE 893.16 6" SE
STO MH 1 (72" DIA)	511405.10	844123.51	899.17	890.31 15" NE 890.31 24" SW 890.31 15" E 890.31 18" SE
STO MH 2	511626.46	844418.38	898.80	892.15 15" E 892.15 15" SW
STO MH 3 (60" DIA)	511255.52	844339.75	898.06	891.36 15" E 891.36 18" NW 891.36 15" NE
STO MH 4	511227.81	844436.73	899.06	891.87 15" NE 891.87 15" W
STO MH 5	511167.19	844634.84	902.33	900.00 18" W 900.00 18" N

BASIN TABLE	
NO.	DESCRIPTION
A	BIORETENTION
B	BIORETENTION
C	BIORETENTION
D	BIORETENTION
E	BIORETENTION
F	INFILTRATION

NOTES:  
BUILDING DOWNSPOUTS DISCHARGE AT SURFACE ADJACENT TO BUILDING.



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# MADISON REHABILITATION HOSPITAL

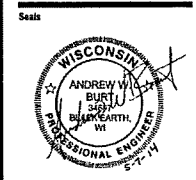
5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions	By	Date	Reason

Issue Description: CONDITIONAL USE  
Issue Date: 5/7/14  
Project No: 8212-10003.200  
Drawn By: JTN | Checked By: AWB  
Drawing Title: STORM SEWER OVERALL PLAN

Sheet Number  
**C6.01**

May 06, 2014 11:29am PLOTTED BY: Administrator SAVED BY: Administrator  
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PENS: Pen:100; Color:100; Utility:100; Blank:100; Polymark



**MADISON REHABILITATION HOSPITAL**

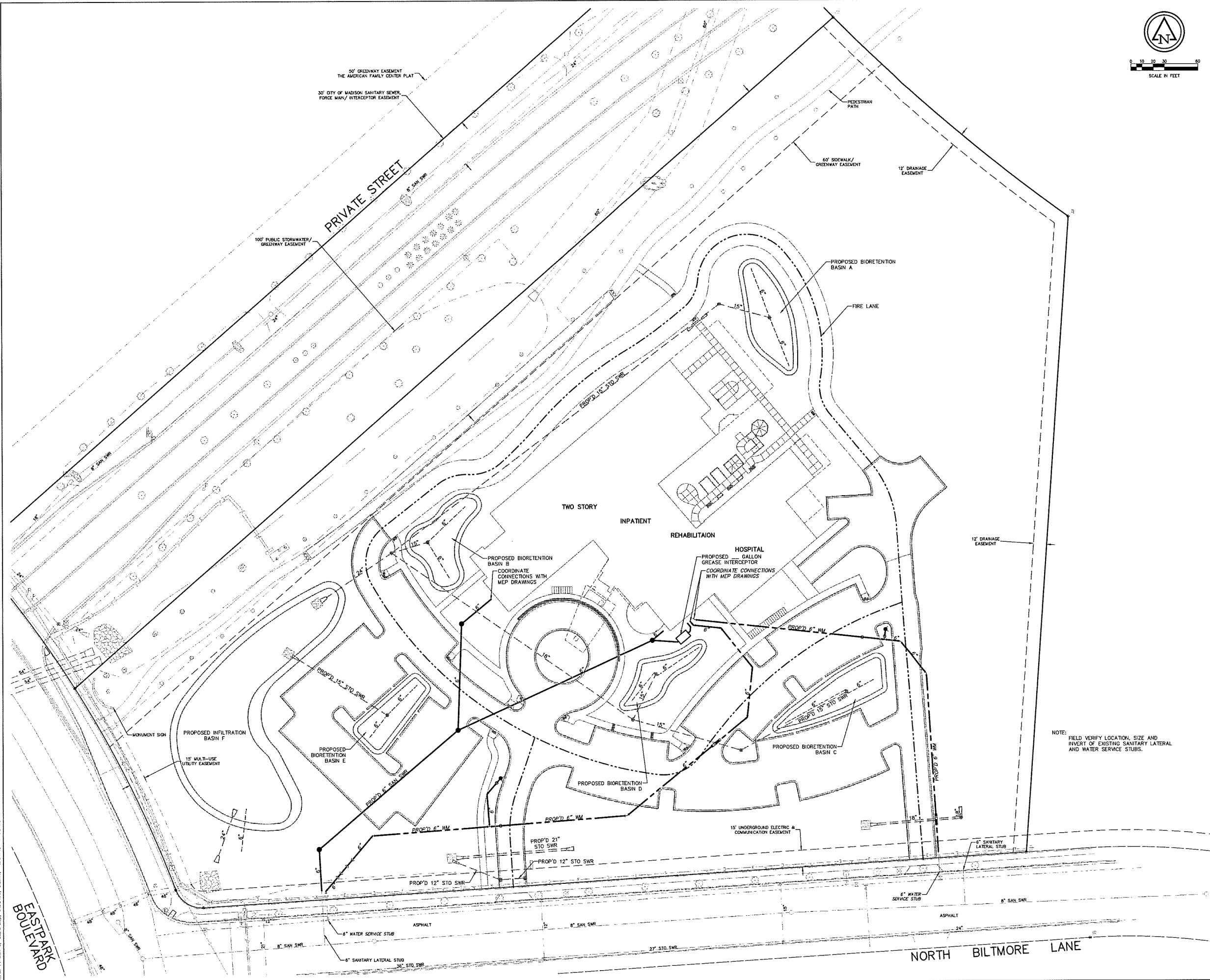
5115 N. BILTMORE LANE, MADISON, WISCONSIN

Revisions

No.	Date	Description

Issue Description: **CONDITIONAL USE**  
Issue Date: 5/7/14  
Project No: 8212-10003.200  
Drawn By: JTH | Checked By: AWB  
Drawing Title: **SANITARY SEWER & WATER MAIN OVERALL PLAN**

Sheet Number  
**C6.02**

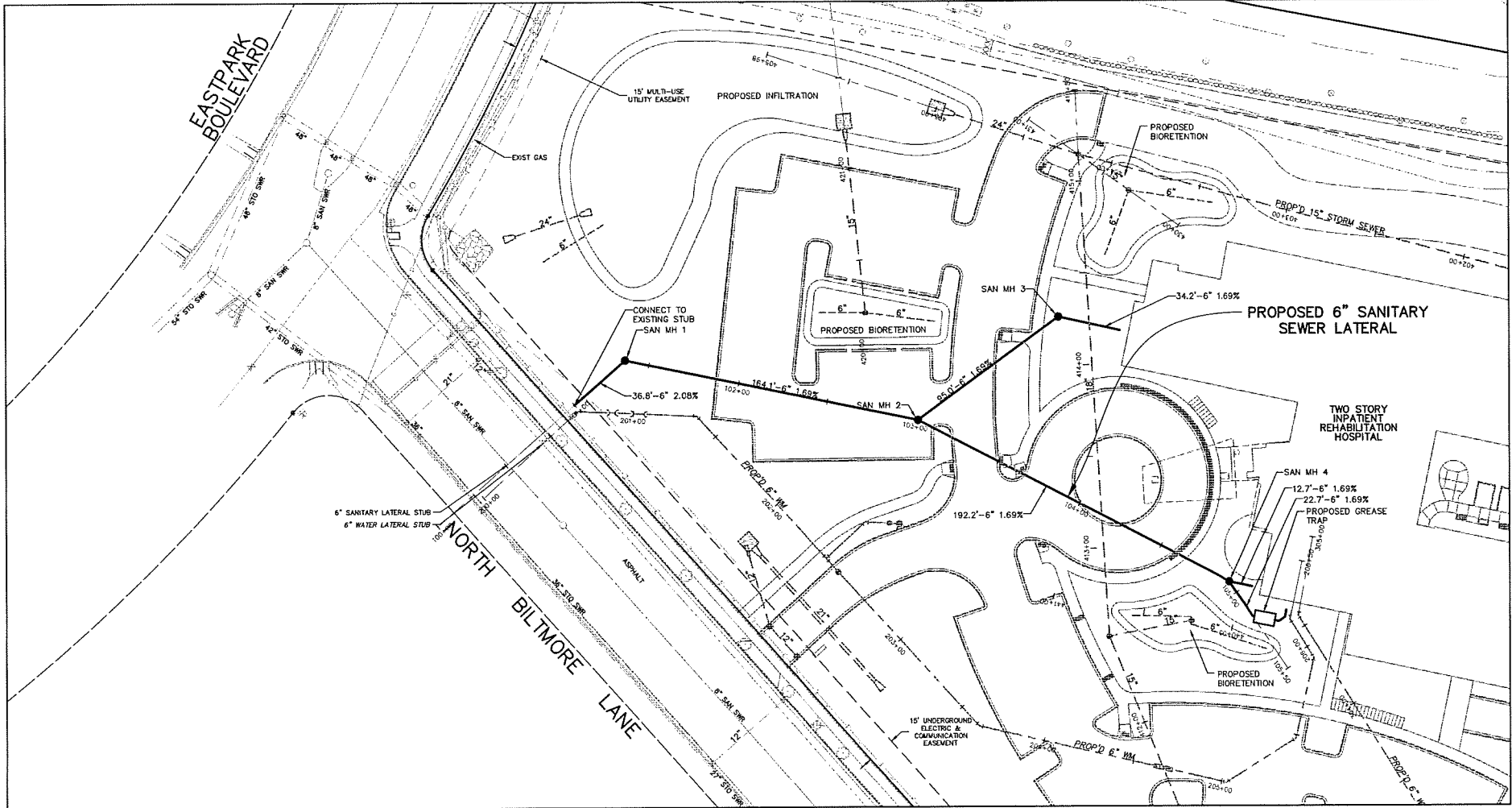


MAY 06, 2014 11:30am PLOTTED BY: A. W. BURT  
SCALE: 1/8\"/>

**EAST PARK BOULEVARD**

**NORTH BILTMORE LANE**

NOTE: FIELD VERIFY LOCATION, SIZE AND INVERT OF EXISTING SANITARY LATERAL AND WATER SERVICE STUBS.



SANITARY SEWER STRUCTURE TABLE					
STRUCTURE NAME	NORTHING	EASTING	ALIGNMENT STATIONING	RIM ELEVATION	STRUCTURE INVERTS
CONNECT TO EXIST 6" SANITARY LATERAL STUB	511103.89	844059.47	100+99.87		883.04 6" N
SAN MH 1	511140.59	844057.45	101+36.84	896.00	883.90 6" NE 883.80 6" S
SAN MH 2	511246.69	844182.67	103+00.77	897.80	886.68 6" SW 886.78 6" N 886.78 6" NE
SAN MH 3	511341.61	844186.06	103+43.11	899.00	888.38 6" S 888.48 6" NE
SAN MH 4	511326.17	844357.63	104+92.93	899.10	890.03 6" SW 890.13 6" NE 890.13 6" E

VERIFY CONNECTION POINT INVERT ELEVATION AND NOTIFY ENGINEER OF DISCREPANCY PRIOR TO COMMENCING WITH SANITARY INSTALLATION

# MADISON REHABILITATION HOSPITAL

5115 N. BILTMORE LANE, MADISON, WISCONSIN

Revisions	By	Date	Description

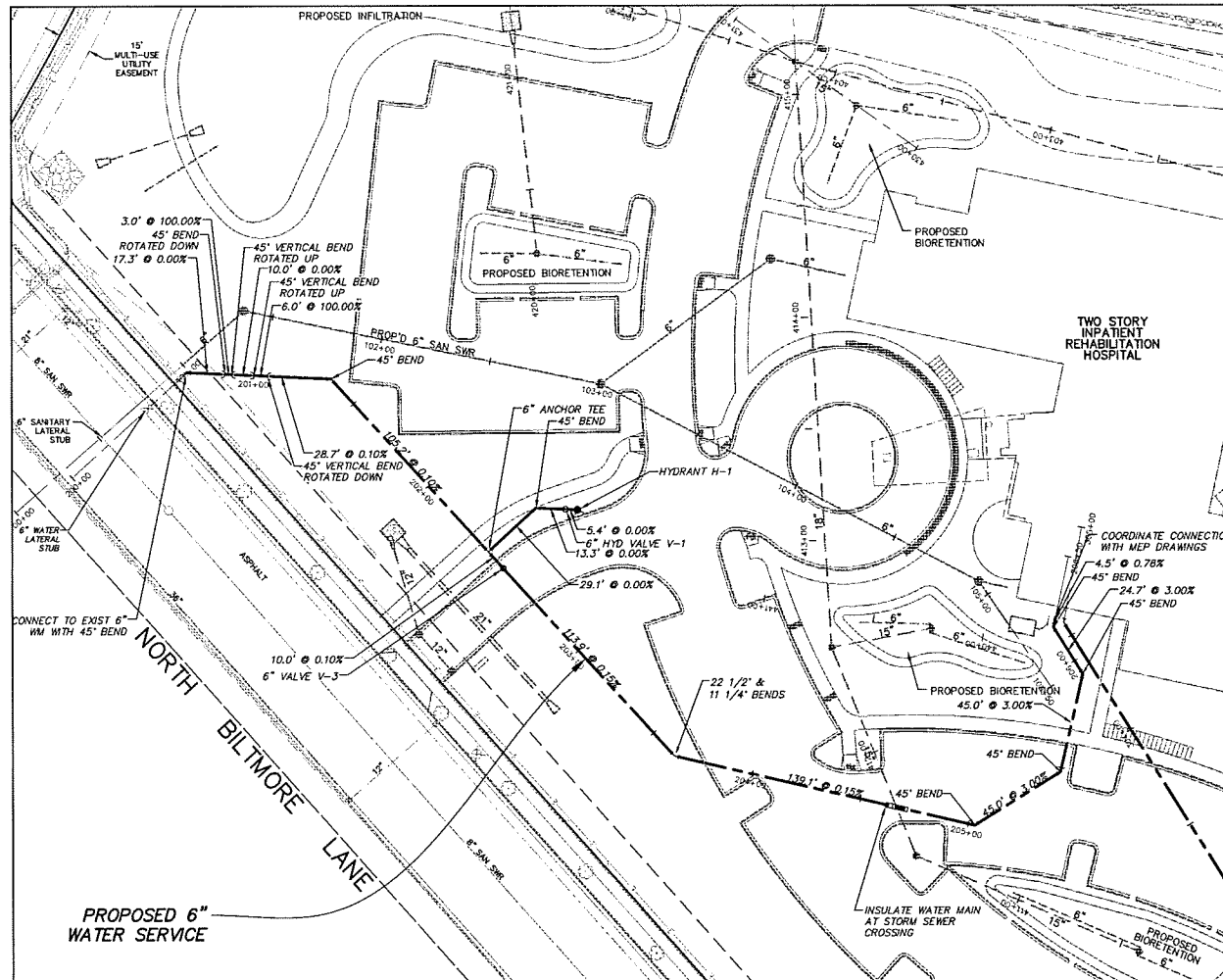
Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003.200  
 Drawn By: JTH | Checked By: AWB  
 Drawing Title:

## PROPOSED SANITARY SEWER PLAN

Sheet Number  
**C6.03**

May 06, 2014 11:30am PLOTTED BY: ANNEKE SAVEN; SAVER; ANNEKE SAVEN; 262.5725; 8212-10003.200; Health 10003.200; 05-05-14; Sanitary 71-0603.dwg; Layout1  
 PLOTS: Pensonic; C:\p\p\p; U:\bancr; B:\s\; I:\bancr; I:\bancr





WATER MAIN STRUCTURE TABLE				
STRUCTURE NAME	NORTHING	EASTING	ALIGNMENT STATIONING	STRUCTURE INVERTS
CONNECT TO EXIST 6" WM WITH 45° BEND	511103.29	844063.27	200+69.87	886.00 6" NE
45° BEND ROTATED DOWN	511116.37	844074.53	200+87.14	886.00 6" SW 886.00 6" NE
45° VERTICAL BEND ROTATED UP	511118.65	844078.49	200+90.14	883.00 6" SW 883.00 6" NE
45° VERTICAL BEND ROTATED UP	511126.23	844083.01	201+00.14	883.00 6" SW 883.00 6" NE
45° VERTICAL BEND ROTATED DOWN	511130.78	844086.92	201+06.14	889.00 6" SW 889.00 6" NE
45° BEND	511152.56	844105.66	201+34.87	889.03 6" SW 889.03 6" E
45° BEND	511189.44	844208.35	202+40.03	889.13 6" S 889.13 6" NE
6" ANCHOR TEE	511160.44	844210.53	202+40.03	889.13 6" W 889.13 6" E 889.13 6" N
6" HYD VALVE V-1	511199.51	844217.01	202+49.42	889.13 6" SW 889.13 6" NE
6" VALVE V-3	511161.19	844220.50	202+50.03	889.14 6" W 889.14 6" E
HYDRANT H-1	511203.61	844220.54	202+53.25	889.13 6" SW
22 1/2" & 11 1/4" BENDS	511169.72	844334.10	203+63.95	889.31 6" W 889.31 6" NE
45° BEND	511257.11	844442.33	205+03.06	889.52 6" SW 889.52 6" N
45° BEND	511301.86	844447.09	205+48.06	890.87 6" S 890.87 6" NW
45° BEND	511336.87	844418.82	205+93.06	892.22 6" SE 892.22 6" W
45° BEND	511339.48	844394.27	206+17.75	892.96 6" E 892.96 6" NW
COORDINATE CONNECTION WITH MEP DRAWINGS	511342.91	844391.40	206+22.22	893.00 6" SE

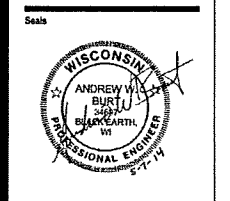
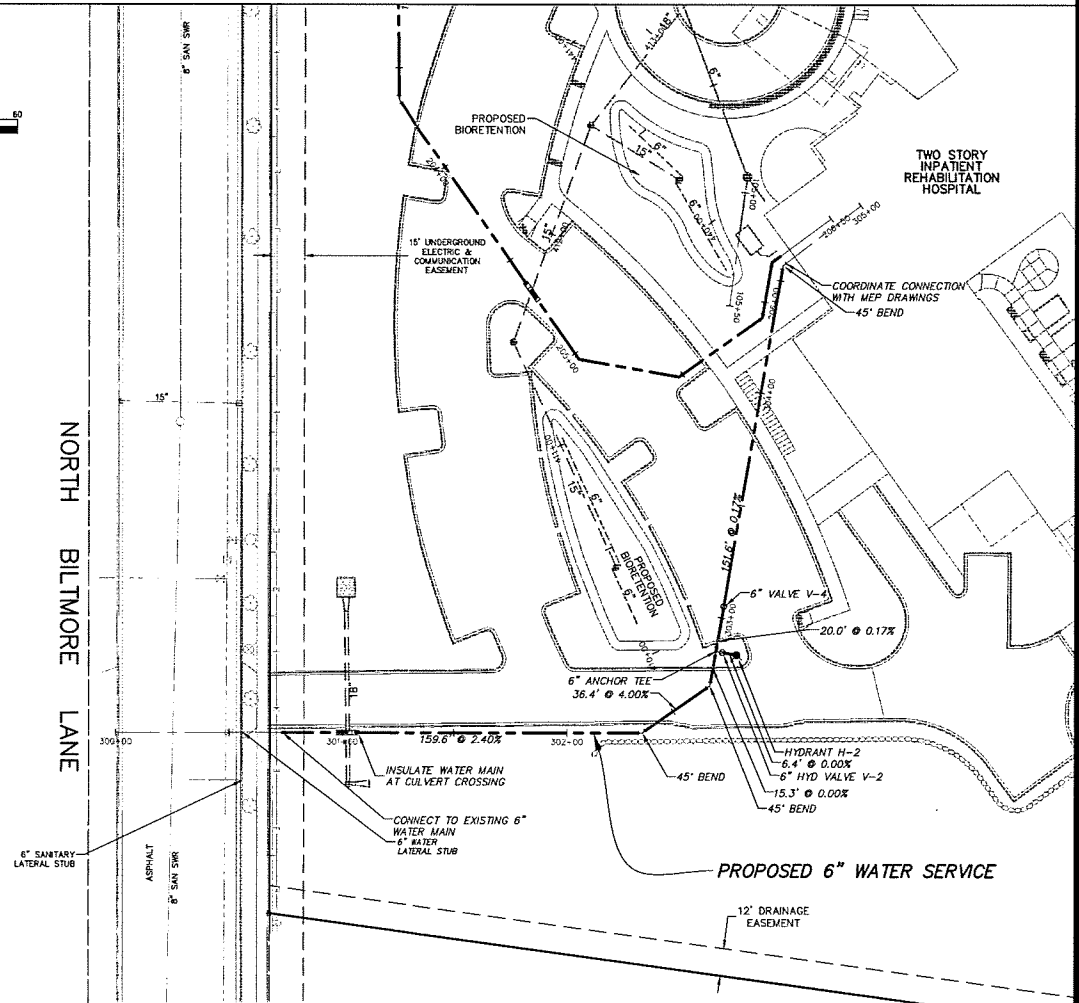
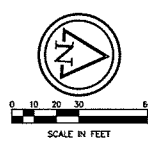
VERIFY CONNECTION POINT INVERT ELEVATION AND NOTIFY ENGINEER OF DISCREPANCY PRIOR TO COMMENCING WITH WATER MAIN INSTALLATION

PROPOSED 6" WATER SERVICE

May 06, 2014 11:31am PLOTTED BY: Administrator SAVES BY: Administrator  
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 PLOT DATE: 5/6/2014 11:31:31 AM PLOT BY: Administrator  
 PLOT SCALE: 1"=100'-0" PLOT SHEET: 1 OF 1

WATER MAIN STRUCTURE TABLE				
STRUCTURE NAME	NORTHING	EASTING	ALIGNMENT STATIONING	STRUCTURE INVERTS
CONNECT TO EXISTING 6" WATER MAIN	511136.72	844814.34	300+73.68	898.00 6" N
45° BEND	511296.03	844603.92	302+33.33	894.17 6" S 894.17 6" NW
45° BEND	511324.60	844581.24	302+69.81	892.71 6" SE 892.71 6" W
HYDRANT H-2	511335.43	844566.99	302+85.13	892.71 6" S
6" HYD VALVE V-2	511329.10	844566.30	302+85.14	892.71 6" N 892.71 6" S
6" ANCHOR TEE	511326.22	844566.00	302+85.14	892.71 6" E 892.71 6" W 892.71 6" N
6" VALVE V-4	511328.34	844546.11	303+05.14	892.74 6" E 892.74 6" W
45° BEND	511344.39	844395.37	304+56.73	893.00 6" E

VERIFY CONNECTION POINT INVERT ELEVATION AND NOTIFY ENGINEER OF DISCREPANCY PRIOR TO COMMENCING WITH WATER MAIN INSTALLATION



**MADISON REHABILITATION HOSPITAL**

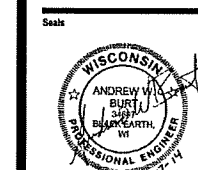
5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions		
No.	Date	Description

Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003-200  
 Drawn By: JTN | Checked By: AYW  
 Drawing Title: PROPOSED WATER MAIN PLAN

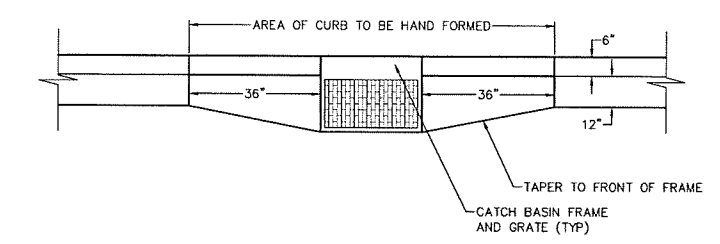




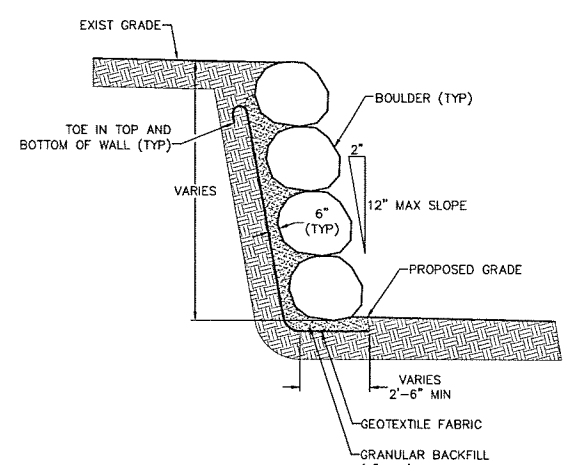


# MADISON REHABILITATION HOSPITAL

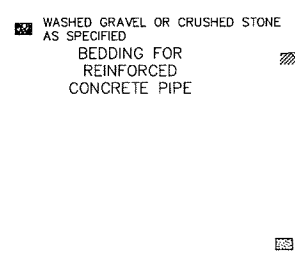
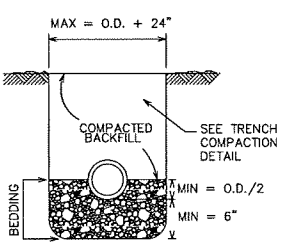
5115 N. BILTMORE LANE MADISON, WISCONSIN



**INTERIM CATCH BASIN** NO SCALE  
 STD-CB-07 32

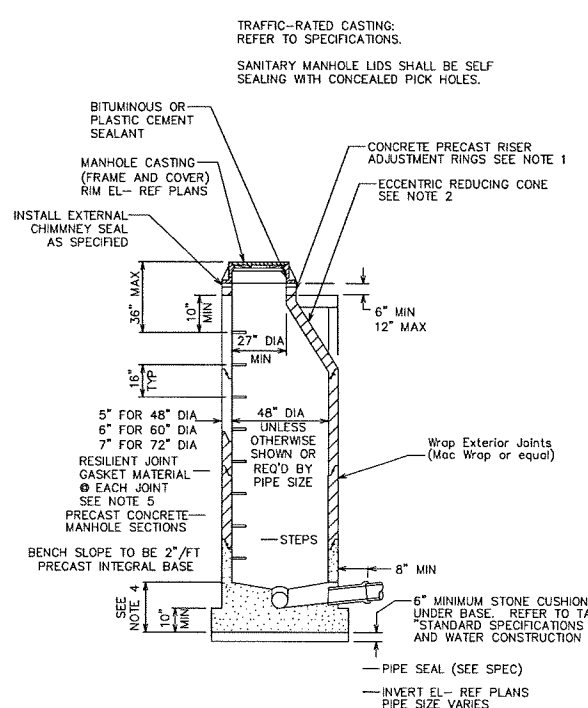


**BOULDER RETAINING WALL** NO SCALE  
 SS-WALL-01 4



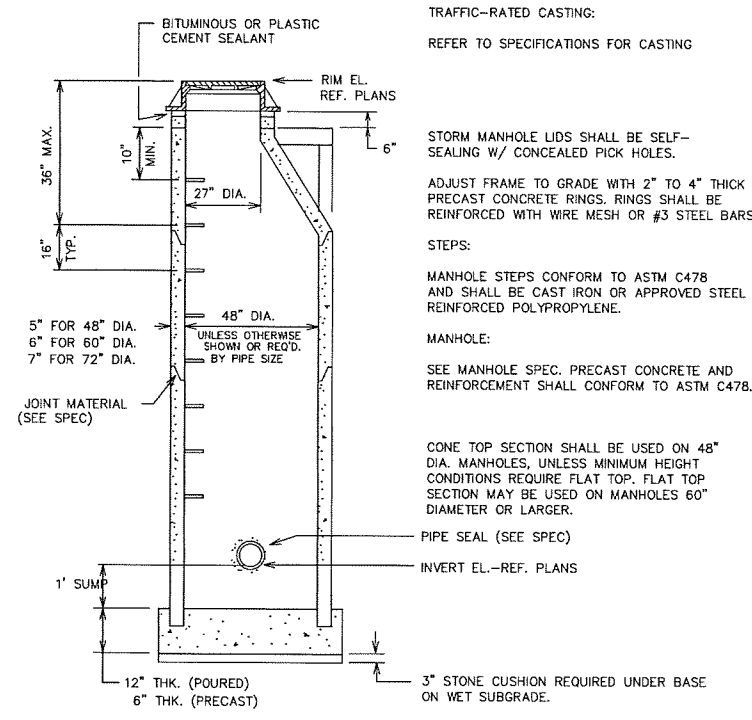
**PIPE BEDDING** NO SCALE  
 Cgt-Pipe Bedding 04

**NOTES:**  
 UNLESS OTHERWISE SPECIFIED, ALL SANITARY AND STORM SEWER PIPES, INCLUDING laterals AND LEADS, SHALL BE INSTALLED WITH THE TYPE OF BEDDING SHOWN FOR THE TYPE AND SIZE OF PIPE INSTALLED.  
 THE COSTS OF BEDDING SHALL BE INCLUDED IN THE UNIT PRICES BID FOR THE PIPE.  
 ALL BEDDING SHALL BE MECHANICALLY COMPACTED.  
 THE MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE O.D. + 24", AND SHALL APPLY FROM THE BOTTOM OF THE TRENCH TO A POINT 12" ABOVE THE TOP OF THE PIPE. WHERE THIS WIDTH IS EXCEEDED, THE CONTRACTOR SHALL FURNISH AND INSTALL A HIGHER TYPE OF BEDDING AT NO EXTRA COST.  
 O.D. EQUALS THE OUTSIDE DIAMETER OF THE PIPE. THE MINIMUM DISTANCE OF O.D./2 IS SPECIFIED FOR PLASTIC SEWER PIPE.

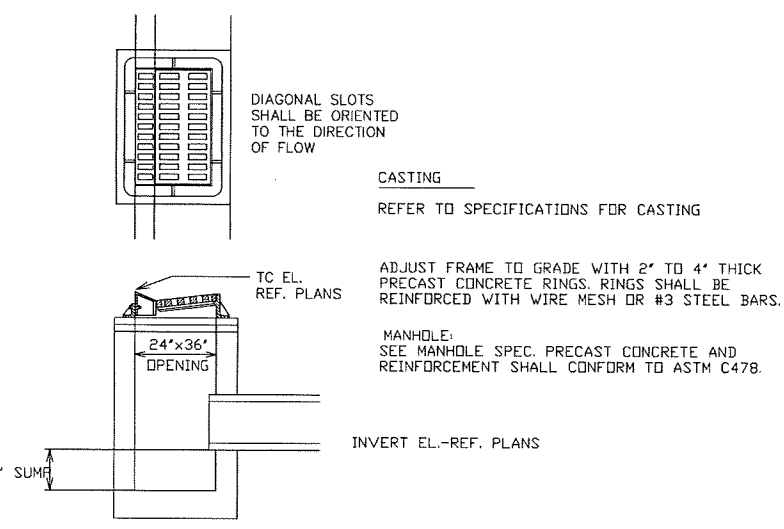


**NOTES:**  
 1. ADJUST FRAME TO GRADE WITH A MINIMUM OF TWO (2) 2" TO 4" THK PRECAST CONCRETE RISER RINGS.  
 2. TOP CONE SECTION SHALL BE USED ON 48" DIA MANHOLES, UNLESS MINIMUM HEIGHT CONDITIONS REQUIRE A FLAT TOP REDUCING SLAB. REDUCING SLAB MAY BE USED ON MANHOLES 60" IN DIA OR LARGER.  
 3. CONCRETE FOR CAST-IN-PLACE BASE SECTIONS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. THE MINIMUM CEMENT CONTENT SHALL BE 5 1/2 BAGS PER CUBIC YARD OF CONCRETE. REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF ASTM A615 GRADE 60.  
 4. JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING BUTYL RUBBER GASKETS AND SEALED EXTERNALLY USING MACWRAP OR APPROVED EQUAL.  
 5. CONCRETE BLOCK OR BRICK MANHOLES NOT ALLOWED.

**SANITARY MANHOLE DETAIL TYPE 1** NO SCALE  
 Cgt-Manhole Type 1 04



**STANDARD STORM SEWER MANHOLE** NO SCALE  
 CDD-STORM MANHOLE-01 36



**STANDARD CATCH BASIN DETAIL** NO SCALE  
 CDD-CATCH BASIN-01 36

Revision No	Date	Description

Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003-200  
 Drawn By: JTH / Checked By: AHB  
 Drawing Title: CONSTRUCTION DETAILS

**CONSTRUCTION DETAILS**

Sheet Number  
**C7.02**

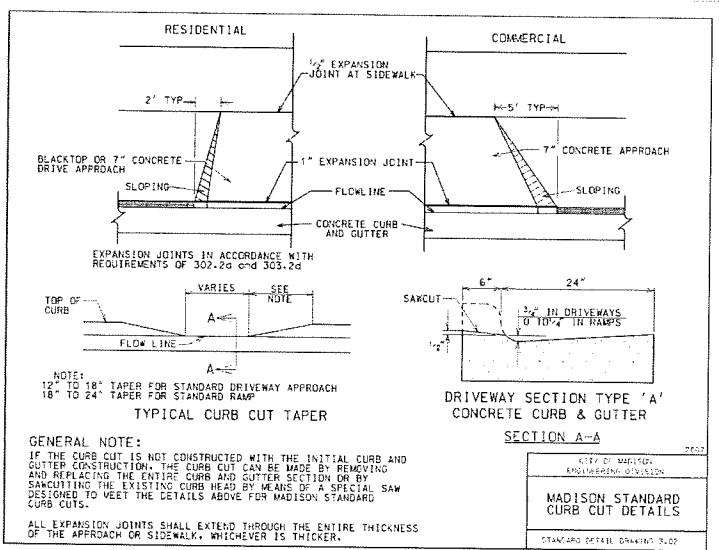
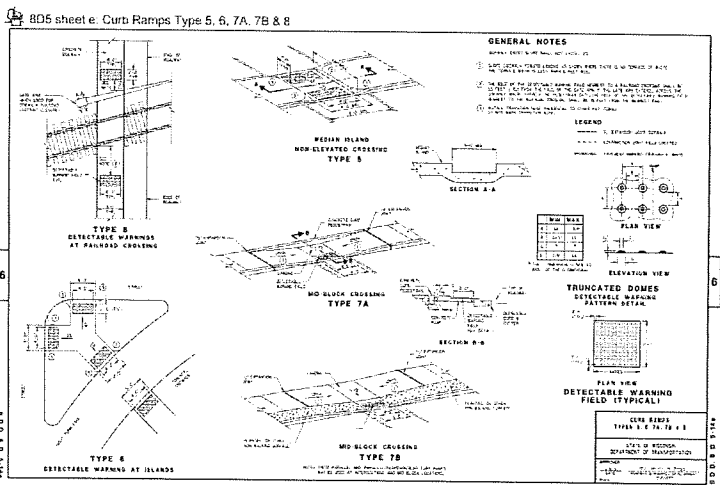
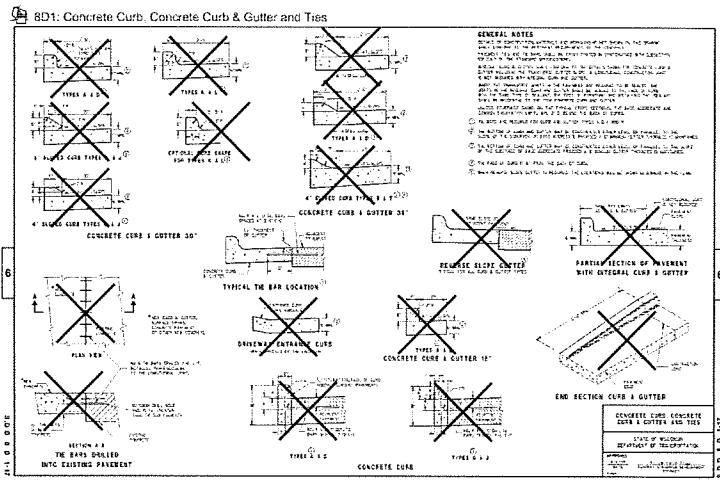
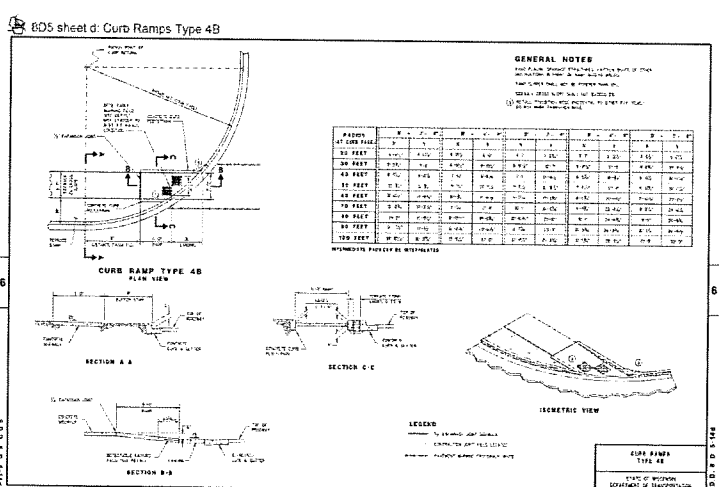
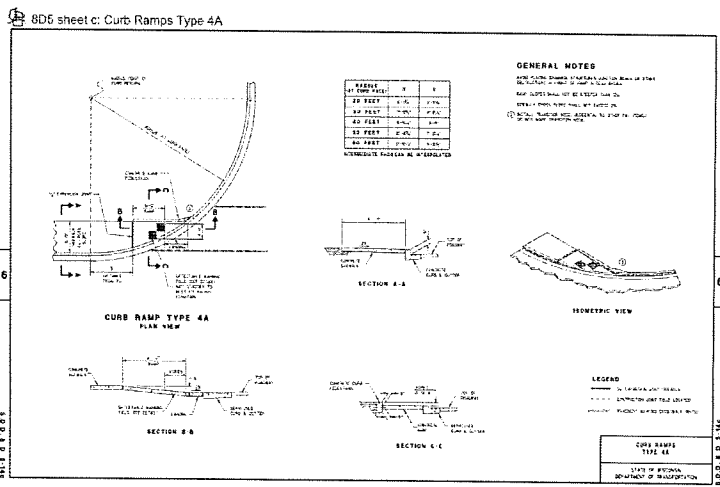
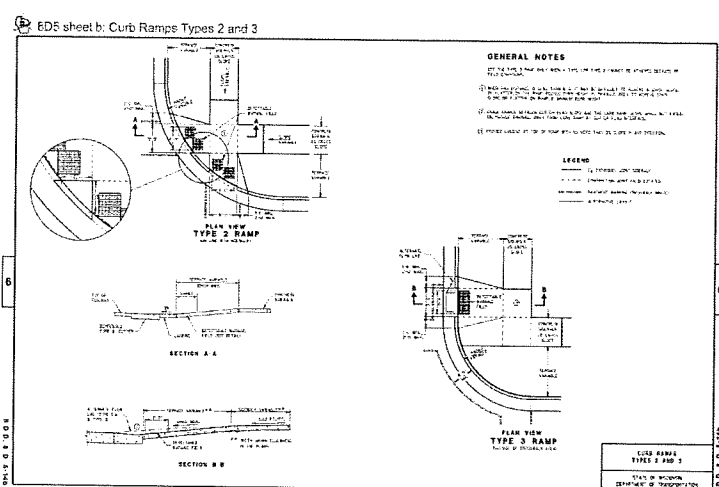
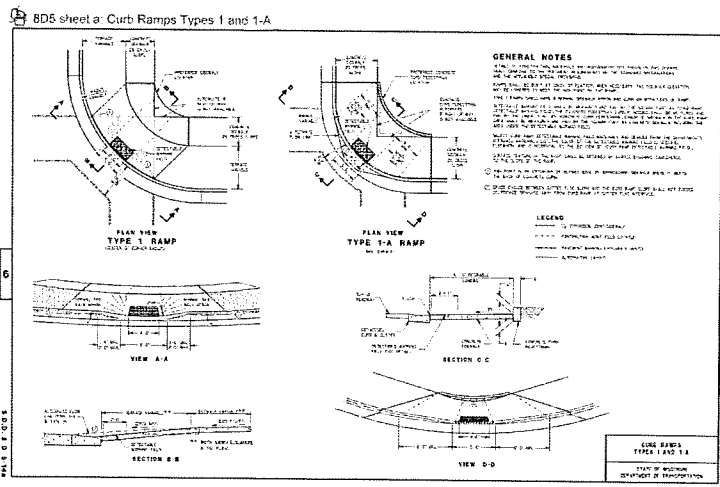
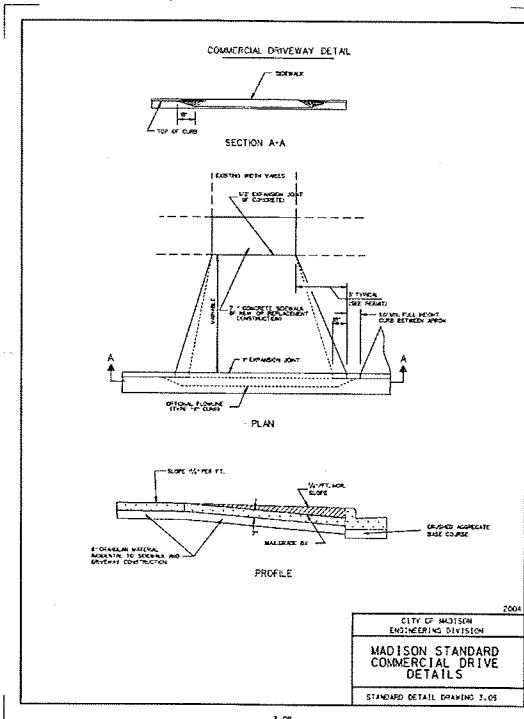
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**MADISON REHABILITATION HOSPITAL**

5115 N. BILTMORE LANE MADISON, WISCONSIN

REVISED BY: M. J. [unclear] DRAWN BY: M. J. [unclear]  
 PROJECT: 8212-10003.200  
 SHEET: C7.03  
 DATE: 05/03/2014  
 CITY OF MADISON ENGINEERING DIVISION  
 PROJECT NO: 8212-10003.200  
 SHEET NO: C7.03  
 PROJECT TITLE: MADISON REHABILITATION HOSPITAL  
 DRAWING TITLE: CONCRETE CURB & GUTTER AND TIES



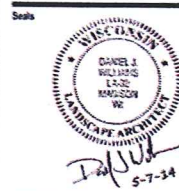
Revisions	
No.	Description

Issue Description: CONDITIONAL USE  
 Issue Date: 5/7/14  
 Project No: 8212-10003.200  
 Drawn By: JTN (Checked By: AWB)

**CONSTRUCTION DETAILS**

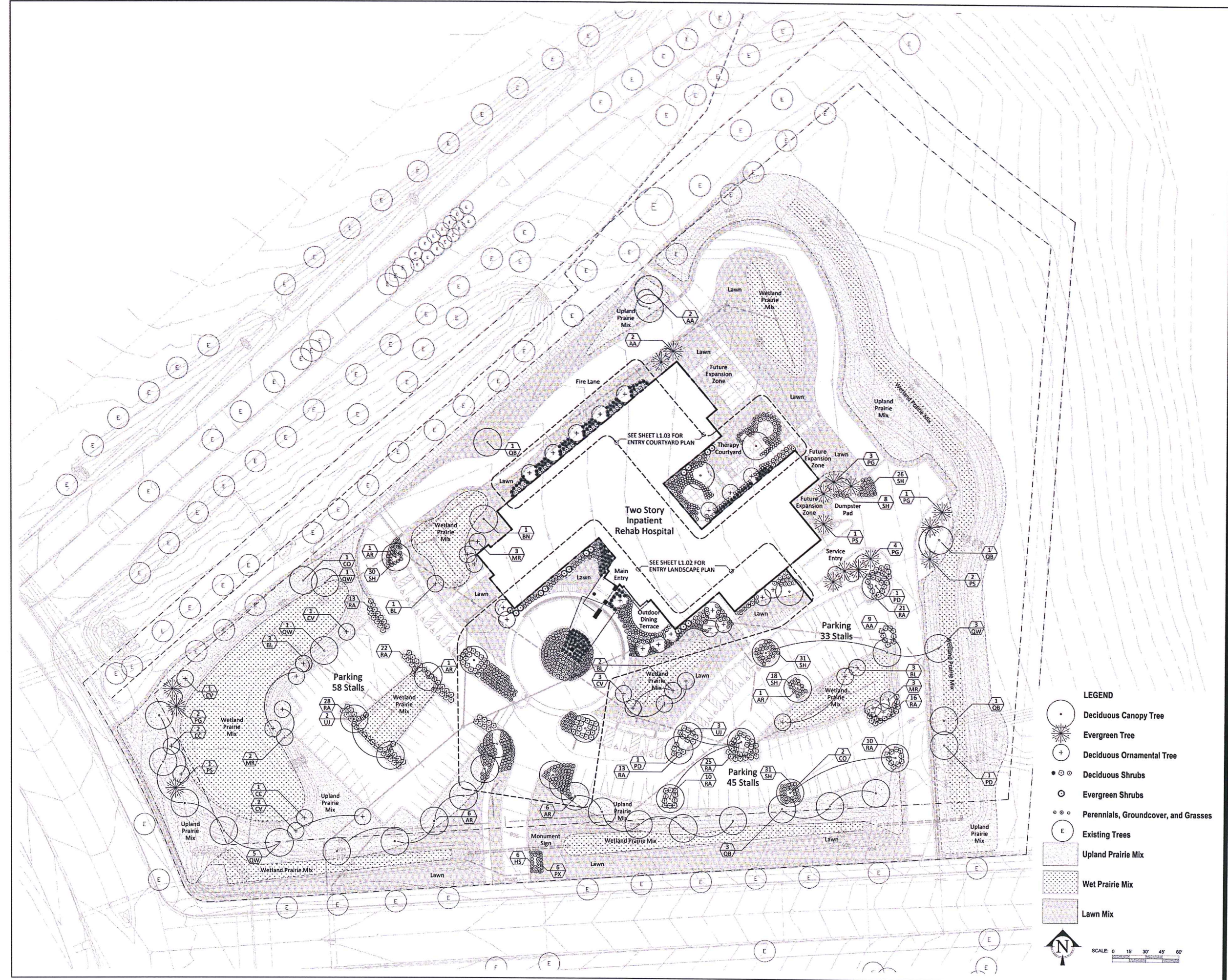
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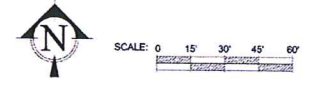


# MADISON REHABILITATION HOSPITAL

5115 N. BILTMORE LAND, MADISON, WISCONSIN



- LEGEND**
- Deciduous Canopy Tree
  - Evergreen Tree
  - Deciduous Ornamental Tree
  - Deciduous Shrubs
  - Evergreen Shrubs
  - Perennials, Groundcover, and Grasses
  - Existing Trees
  - Upland Prairie Mix
  - Wet Prairie Mix
  - Lawn Mix



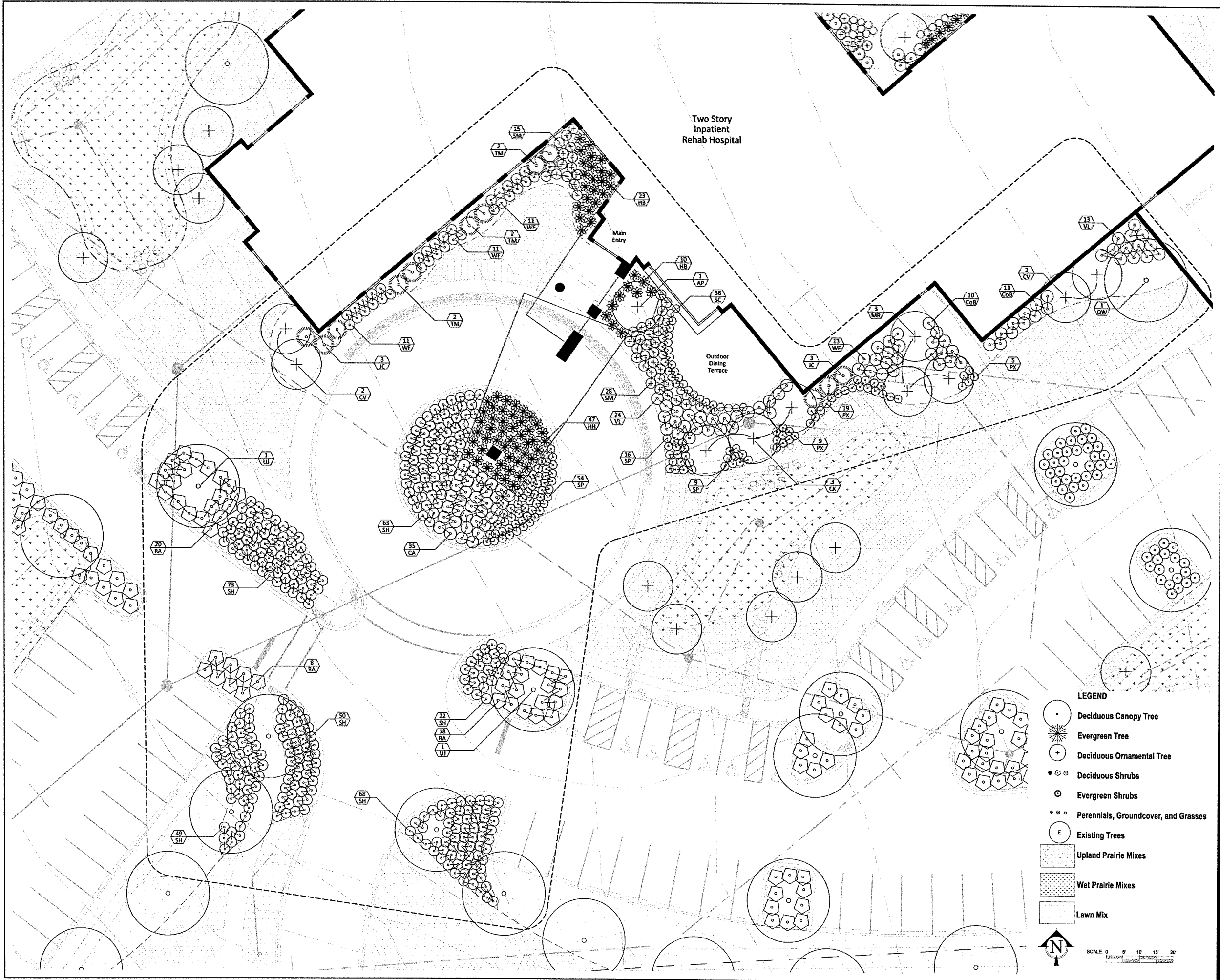
Revisions	Δ	No.	Date	Description

Issue Description: CONDITIONAL USE  
Issue Date: 05/07/14  
Project No: 1401  
Drawn By: DJW (Checked By: )  
Drawing Title: LANDSCAPE PLAN

Sheet Number: L1.01

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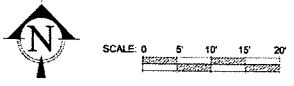




**MADISON REHABILITATION HOSPITAL**

5115 N. BILTMORE, MADISON, WISCONSIN

- LEGEND**
- Deciduous Canopy Tree
  - Evergreen Tree
  - Deciduous Ornamental Tree
  - Deciduous Shrubs
  - Evergreen Shrubs
  - Perennials, Groundcover, and Grasses
  - Existing Trees
  - Upland Prairie Mixes
  - Wet Prairie Mixes
  - Lawn Mix

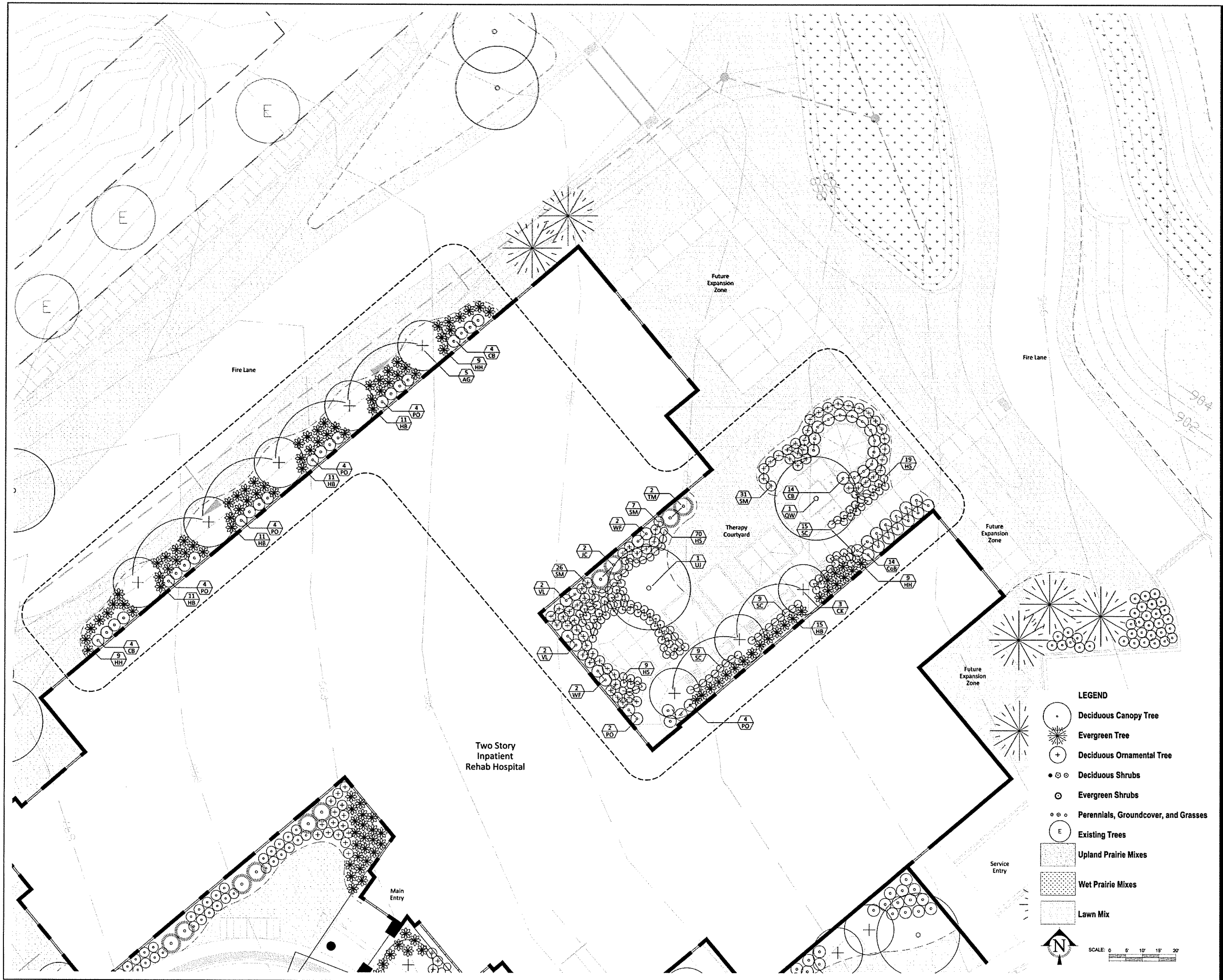


Revisions	By	Date	Director


Issue Description	CONDITIONAL USE
Issue Date	05/07/14
Project No.	1401
Drawn By	D.J.W.   Checked By
Drawing Title	

**ENTRY LANDSCAPE PLAN**

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







**LUNTZ - WILLIAMS**  
 Landscape Architects  
 2807 Reservoir Drive  
 Madison, Wisconsin 53717  
 608.235.4116


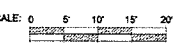
Scale  
  
 Daniel J. Williams  
 5-7-34

# MADISON REHABILITATION HOSPITAL

5115 N. BILTMORE, MADISON, WISCONSIN

**LEGEND**

-  Deciduous Canopy Tree
-  Evergreen Tree
-  Deciduous Ornamental Tree
-  Deciduous Shrubs
-  Evergreen Shrubs
-  Perennials, Groundcover, and Grasses
-  Existing Trees
-  Upland Prairie Mixes
-  Wet Prairie Mixes
-  Lawn Mix

 SCALE: 0 5' 10' 15' 20'  


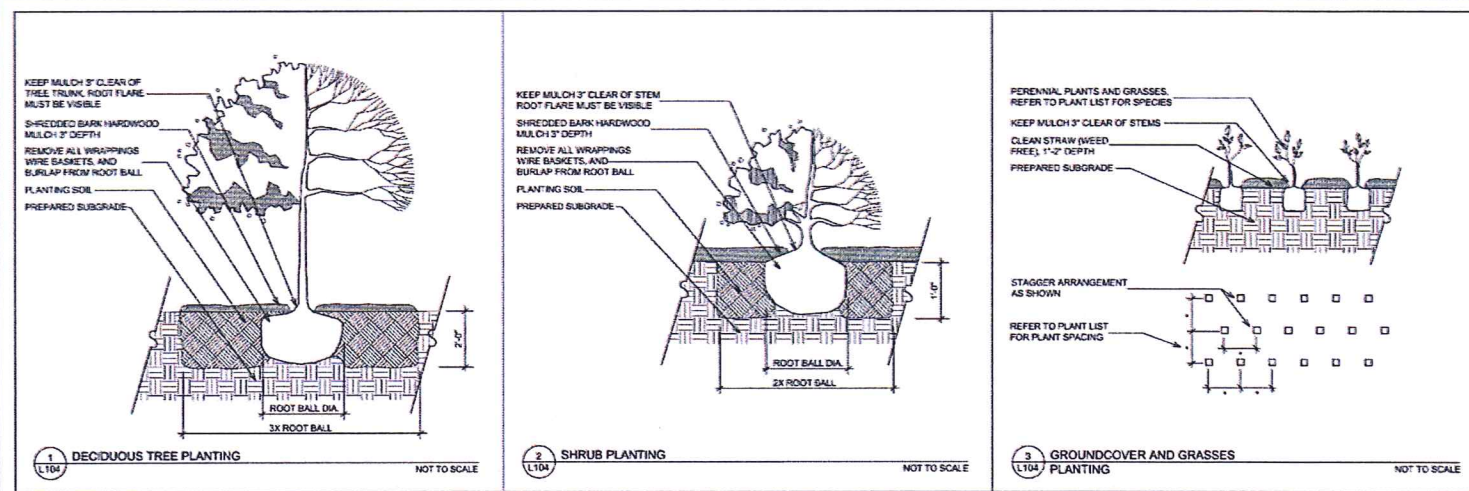
Revision No.	Description

Issue Description	CONDITIONAL USE
Issue Date	05/07/14
Project No.	1401
Drawn By	DJW / Checked By
Drawing Title	

**COURTYARD LANDSCAPE PLAN**  
 Sheet Number  
**L1.03**

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Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
<b>Deciduous Canopy Trees</b>						
AR	Acer rubrum 'Franksred'	Red Sunset Maple	15	2.5" Cal.	B & B	Single, straight leader with branching starting at 5' min.
BN	Betula nigra 'Cully'	Heritage River Birch	1	2" Cal.	B & B	Single to 3 leaders max. with branching starting at 5' min.
CO	Carya Ovata	Shagbark Hickory	3	2" Cal.	B & B	Single, straight leader with branching starting at 5' min.
PD	Populus deltoides 'Siouxland'	Siouxland Poplar	3	2" Cal.	B & B	Single, straight leader with branching starting at 5' min.
QB	Quercus bicolor	Swamp White Oak	6	2" Cal.	B & B	Single, straight leader with branching starting at 5' min.
QW	Quercus x. warei 'Long'	Regal Prince Oak	12	2" Cal.	B & B	Single, straight leader with branching starting at 5' min.
UI	Ulmus japonica x wilsoniana 'Morton'	Accolade Elm	8	2.5" Cal.	B & B	Single, straight leader with branching starting at 5' min.
<b>Deciduous Ornamental Trees</b>						
AP	Acer palmatum var. dissectum 'Crimson Queen'	Crimson Queen Japanese Red Maple	1	1.5" Cal.	B & B	Single leader specimen plant
AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5	8' Ht.	B & B	Multistem with max. 5 leaders, no overlapping leaders
BL	Betula nigra 'Little King'	Little King River Birch	9	2" Cal.	B & B	Single to 3 leaders max. with no overlapping leaders.
CC	Cercis canadensis	Eastern Redbud	3	2" Cal.	B & B	Single, straight leader specimen plant.
CV	Chionanthus virginicus	Fringetree	11	8' Ht.	B & B	Multistem with max. 5 leaders, no overlapping leaders
CK	Cornus kousa var. chinensis 'Milky Way'	Milky Way Dogwood	6	1.5" Cal.	B & B	Multistem with max. 3 leaders, no overlapping leaders
MR	Malus 'JFS-KWS'	Royal Raindrops Crabapple	11	2" Cal.	B & B	Single, straight leader specimen plant
<b>Evergreen Trees</b>						
PG	Picea glauca var. densata	Black Hills Spruce	10	6' Ht.	B & B	Single, straight leader specimen plant
PS	Pinus sylvestris 'Watereri'	Waterer Scots Pine	7	6' Ht.	B & B	Single, straight leader specimen plant
<b>Deciduous Shrubs</b>						
CB	Corylus cornuta	Beaked Hazelnut	22	5 Gal.	Cont.	Spaced as shown on plan
CoB	Cephalanthus occidentalis	Buttonbush	35	5 Gal.	Cont.	Spaced as shown on plan
PO	Potentilla opulifolius	Ninebark	22	5 Gal.	Cont.	Spaced as shown on plan
RA	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	214	5 Gal.	Cont.	Spaced as shown on plan
SM	Syringa meyeri 'Palabin'	Dwarf Korean Lilac	76	5 Gal.	Cont.	Spaced as shown on plan
VL	Viburnum lentago	Nannyberry Viburnum	41	5 Gal.	Cont.	Spaced as shown on plan
WF	Weigela florida 'Alexandra'	Wine & Roses Weigela	50	5 Gal.	Cont.	Spaced as shown on plan
<b>Evergreen Shrubs</b>						
JC	Juniperus chinensis 'Fairview'	Fairview Chinese Juniper	8	3' Ht.	Cont.	Spaced as shown on plan
TM	Taxus x media 'Taunton'	Taunton Yew	8	3' Ht.	Cont.	Spaced as shown on plan
<b>Perennials/Groundcovers/Grasses</b>						
CA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	35	1 Gal.	Cont.	Spaced as shown on plan
HS	Helictotrichon sempervirens	Blue Oat Grass	104	1 Gal.	Cont.	Spaced as shown on plan
HH	Hosta (Tardiana Group) 'Halcyon'	Halcyon Hosta	74	3 Gal.	Cont.	Spaced as shown on plan
HB	Hosta 'Blue Umbrellas'	Blue Umbrellas Hosta	92	3 Gal.	Cont.	Spaced as shown on plan
PX	Penstemon x 'Dark Towers'	Dark Towers Penstemon	39	1 Gal.	Cont.	Spaced as shown on plan
SC	Sedum Cauticola	Cauticola Sedum	69	1 Gal.	Cont.	Spaced as shown on plan
SP	Sedum 'Purple Emperor'	Purple Emperor Sedum	79	1 Gal.	Cont.	Spaced as shown on plan
SH	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	438	1 Gal.	Cont.	Spaced as shown on plan

Upland Prairie Mix	Quantity	Unit
Aquastach foeniculum	1/8	oz.
Aster azureus	1/8	oz.
Astragalus canadensis	1/4	oz.
Bidens coronata	1/8	oz.
Cassia fasciculata	1/8	oz.
Coreopsis lanceolata	1/8	oz.
Echinacea pallida	1/8	oz.
Campanula americana	1/8	oz.
Gentiana quinquefolia	1/8	oz.
Heliopsis helianthoides	1	oz.
Lobelia siphilitica	1/8	oz.
Monarda fistulosa	1/8	oz.
Penstemon digitalis	1/4	oz.
Pycnanthemum virginianum	1/8	oz.
Ratibida pinnata	1	oz.
Rudbeckia hirta	1	oz.
Rudbeckia triloba	1/4	oz.
Solidago flexicaulis	1/8	oz.
Solidago speciosa	1/8	oz.
Verbena stricta	1/4	oz.
Zizia aurea	1/4	oz.
<b>Grasses</b>		
Andropogon scoparius	1	oz.
Bouteloua curtipendula	1	oz.
Carex brevior	1/8	oz.
Elymus canadensis	1	oz.
Sphenopholis obtusata	1/8	oz.
Sorghastrum nutans	1	oz.

Wetland Mix	Quantity	Size	Unit
Acorus calamus	7%	2.5" - 5"	Plug
Asclepias incarnata	9%	2.5" - 5"	Plug
Calamagrostis canadensis	7%	2.5" - 5"	Plug
Carex bebbii	7%	2.5" - 5"	Plug
Carex bicknellii	7%	2.5" - 5"	Plug
Carex hystericida	7%	2.5" - 5"	Plug
Carex vulpinoidea	7%	2.5" - 5"	Plug
Iris virginica shrevei	7%	2.5" - 5"	Plug
Juncus effusus	7%	2.5" - 5"	Plug
Liatris spicata 'Kobold'	7%	2.5" - 5"	Plug
Mimulus ringens	7%	2.5" - 5"	Plug
Penstemon digitalis	7%	2.5" - 5"	Plug
Sagittaria latifolia	7%	2.5" - 5"	Plug
Scirpus atrovirens	7%	2.5" - 5"	Plug

**EXHIBIT D LANDSCAPE POINT CALCULATIONS**  
 See Separate Attachment

TOTAL NUMBER OF PARKING SPACES PROVIDED: 136

**CANOPY TREE REQUIREMENTS:**  
 (Required at 1 tree per 12 parking spaces or fraction thereof)

Number Required: 12  
 Number provided: 14

**LANDSCAPE POINT COMPUTATION**  
 (Required at the rate of 15 points per parking space - exclusive of canopy trees)

Total Required Points: 2,040

Land Elements:	Number of Elements	Points per Element
Canopy Trees (2-2.5' caliper) @ 50 pts. each	14	700
Canopy Trees (8-10 height) @ 30 pts. each	13	390
Evergreen Trees @ 30 pts. each	17	510
Ornamental Trees @ 20 pts. each	46	920
Tall Shrubs @ 6 pts. each	204	1,224
Medium Shrubs @ 6 pts. each	256	1,536
Low Shrubs @ 3 pts. each	0	0
<b>TOTAL POINTS PROVIDED:</b>		<b>5,892</b>

Source: Architectural and Development Guidelines/Chapter 6 (Landscape)  
 The American Center, Madison, Wisconsin  
 Note: Applicant may request points for decorative fences, earth berm, ground covers, existing vegetation and shrubs of less than 2' height. The number of points credited may be negotiated.  
 June 18, 2001 11

**CITY OF MADISON LANDSCAPE WORKSHEET**  
 Section 28.142 Madison General Ordinance

Project Location / Address: 5115 N. Biltmore Lane, Madison, WI  
 Name of Project: Madison Rehabilitation Hospital  
 Owner / Contact: University of Wisconsin  
 Contact Phone: \_\_\_\_\_ Contact Email: \_\_\_\_\_

\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

**Landscape Calculations and Distribution**  
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as all parts of the site that are not left in a natural state within a single contiguous boundary, including building footprints, parking and loading areas, driveways, internal sidewalks, patios, and outdoor activity areas. Developed area does not include other land within required setbacks and natural areas on the same property that are left undisturbed.

(a) One (1) landscape unit shall be provided for each three hundred (300) square feet of developed area, with the exception of the I1 and the IG districts as specified in (b) below.

Total square footage of developed area: 145,000  
 Developed area divided by three hundred (300) square feet = 484 Landscape Units

(b) Within the Industrial - Limited (I1) and Industrial - General (IG) districts, one (1) landscape unit shall be provided for every six hundred (600) square feet of developed area.

Total square footage of developed area: \_\_\_\_\_  
 Developed area divided by six hundred (600) square feet = \_\_\_\_\_ Landscape Units

(c) One landscape unit consists of five (5) landscape points. Landscape points are calculated as shown in the following table.

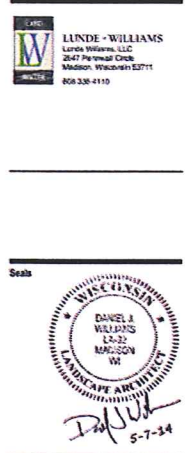
Landscape units multiplied by five (5) landscape points = 2,420 Total Points Required

**Tabulation of Points and Credits**  
 Use the table to indicate the quantity and points for all existing and proposed landscape elements. Calculations yielding a fraction up to one-half (1/2 or 0.5) shall be rounded down to the nearest whole number; fractions of more than one-half (1/2) shall be rounded up.

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper	35	0	0	23	805
Ornamental tree	1 1/2 inch caliper	15	0	0	46	690
Evergreen tree	3 feet tall	15	0	0	17	255
Shrub, deciduous	18" or 3 gallon container size	2	0	0	460	920
Shrub, evergreen	18" or 3 gallon container size	3	0	0	16	48
Ornamental grasses	18" or 3 gallon container size	2	0	0	166	332
Ornamental/decorative fencing or wall	n/a	4 per 10 linear ft.				
Sub Totals						3,050

Total Number of Points Provided: 3,050

3/2013 1

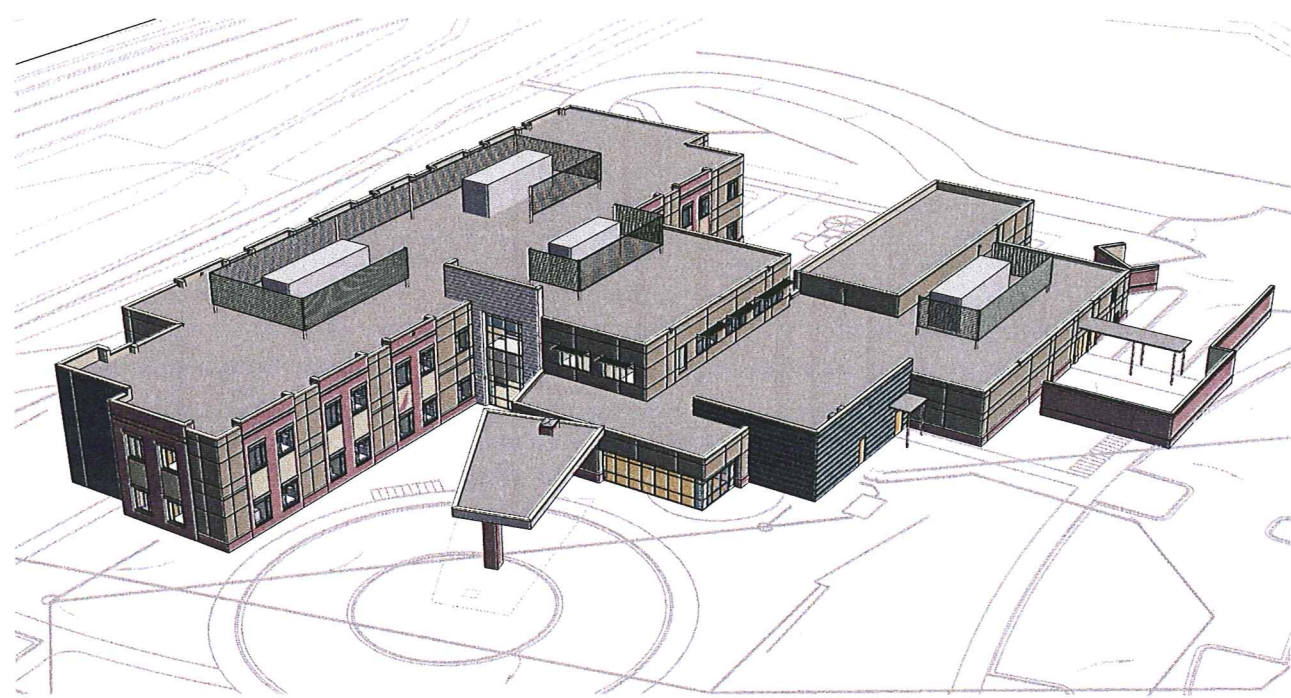
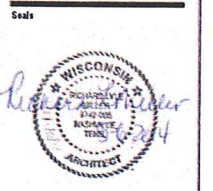


**MADISON REHABILITATION HOSPITAL**  
 5115 N. BILTMORE, MADISON, WISCONSIN

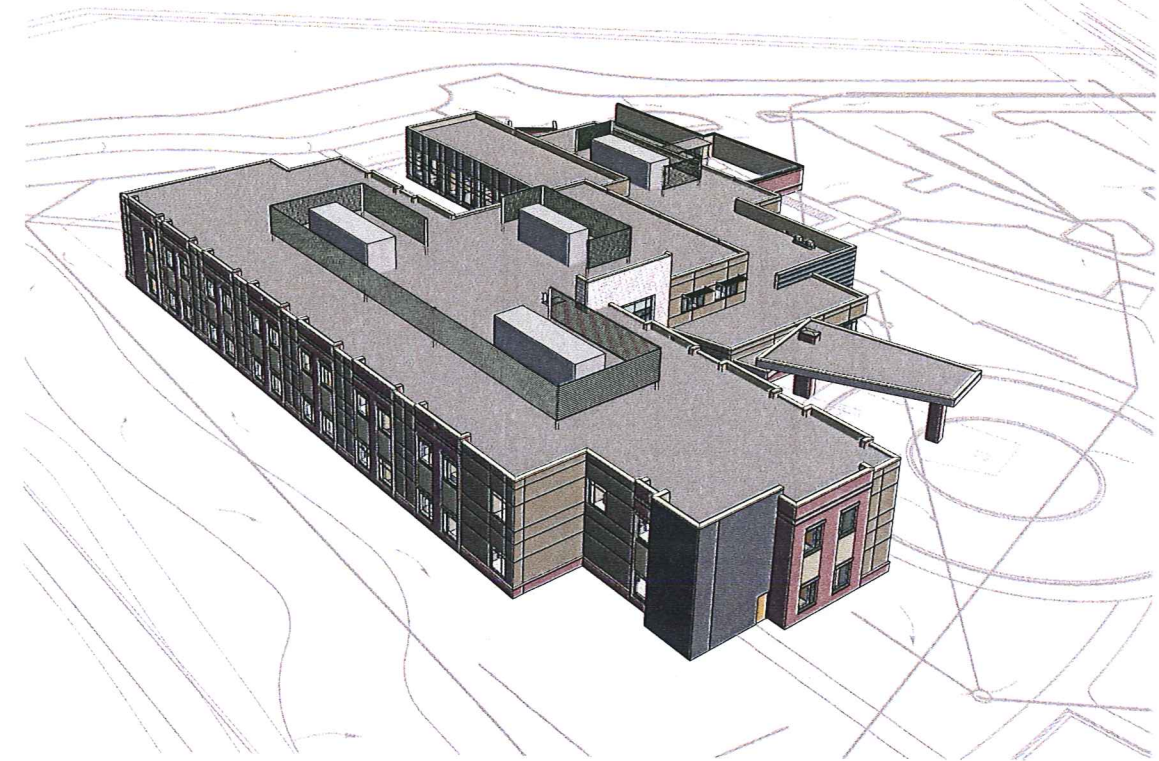
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 Issue Date: 05/07/14  
 Project No: 1401  
 Drawn By: D.J.W. Checked By: \_\_\_\_\_  
 Drawing Title: LANDSCAPE DETAILS

Sheet Number: L1.04





1 AXON VIEW 1 NTS



2 AXON VIEW 2 NTS



3 AXON VIEW 3 NTS



4 AXON VIEW 4 NTS

**MADISON REHABILITATION HOSPITAL**

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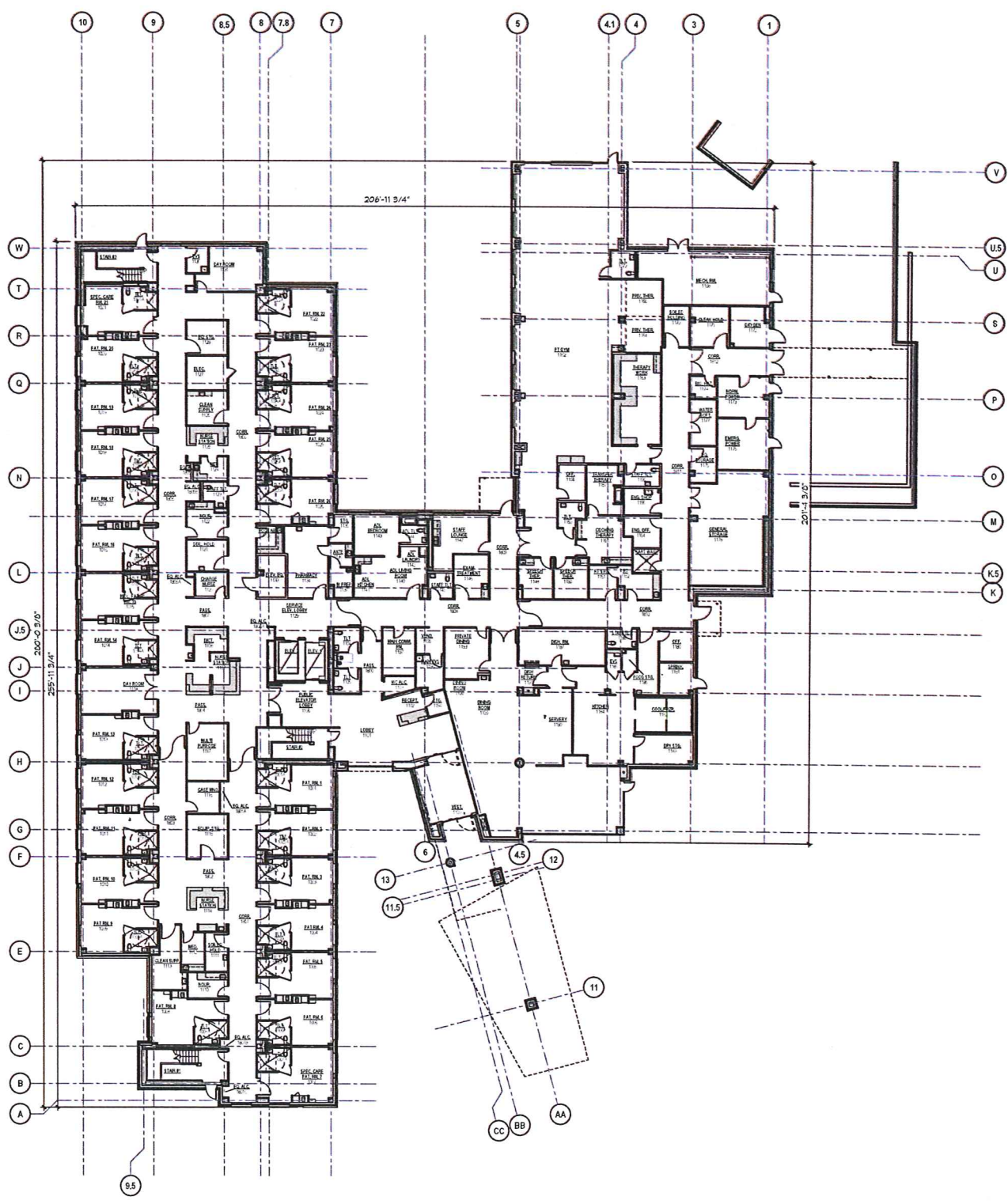
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No.	Date	Description

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 Project No: 13101.01  
 Drawn By: JF (Checked By) MM  
 Drawing Title:

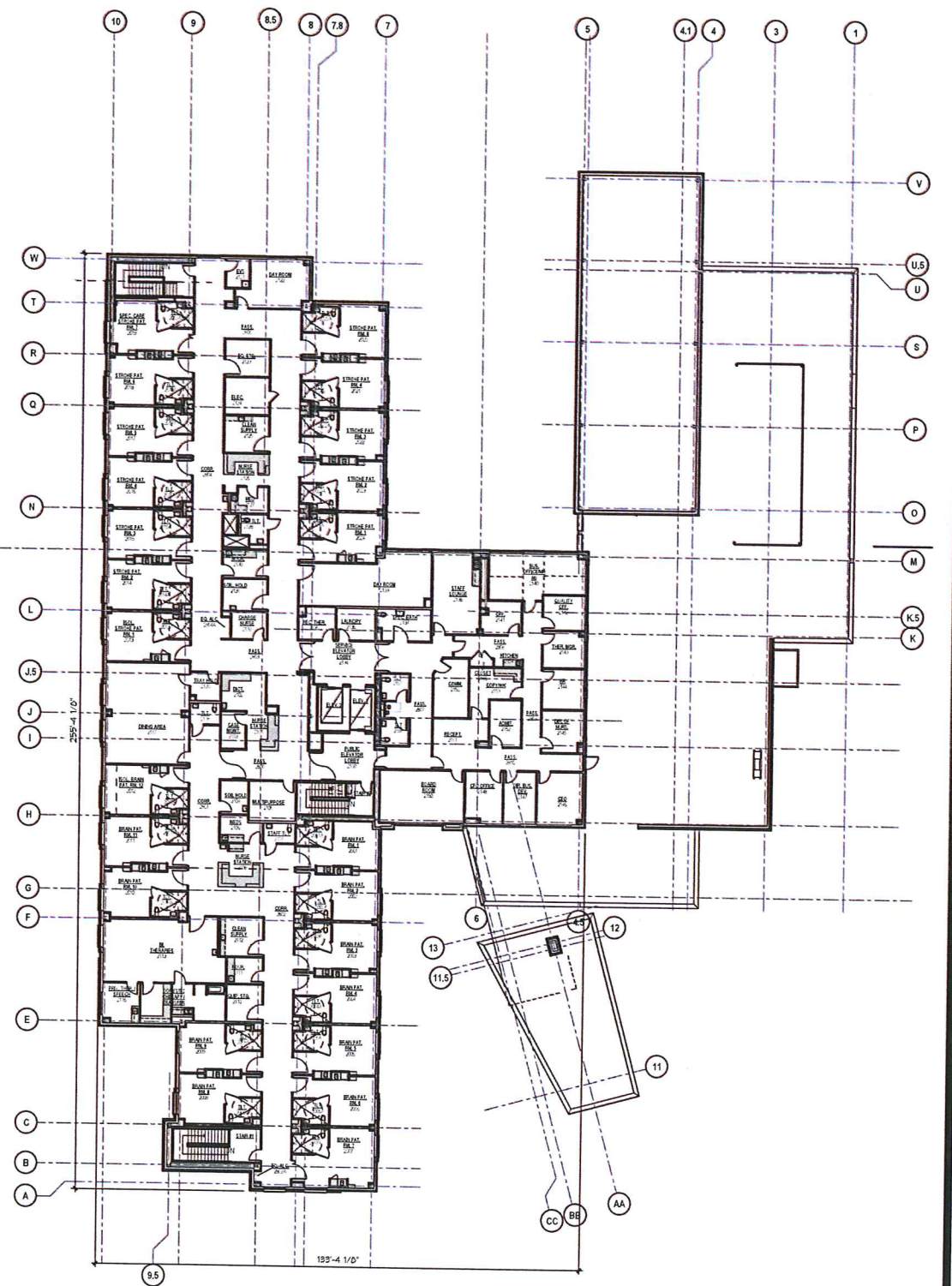
AXON VIEWS

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1ST FLOOR PLAN - OVERALL



2ND FLOOR PLAN - OVERALL



**MADISON REHABILITATION HOSPITAL**

5115 N. BILTMORE LANE MADISON, WISCONSIN

Revision	Date	Description

Issue Description	CONVENTIONAL USE
Issue Date	05/07/14
Project No	13101.01
Drawn By	VLP
Checked By	MLH
Drawing Title	

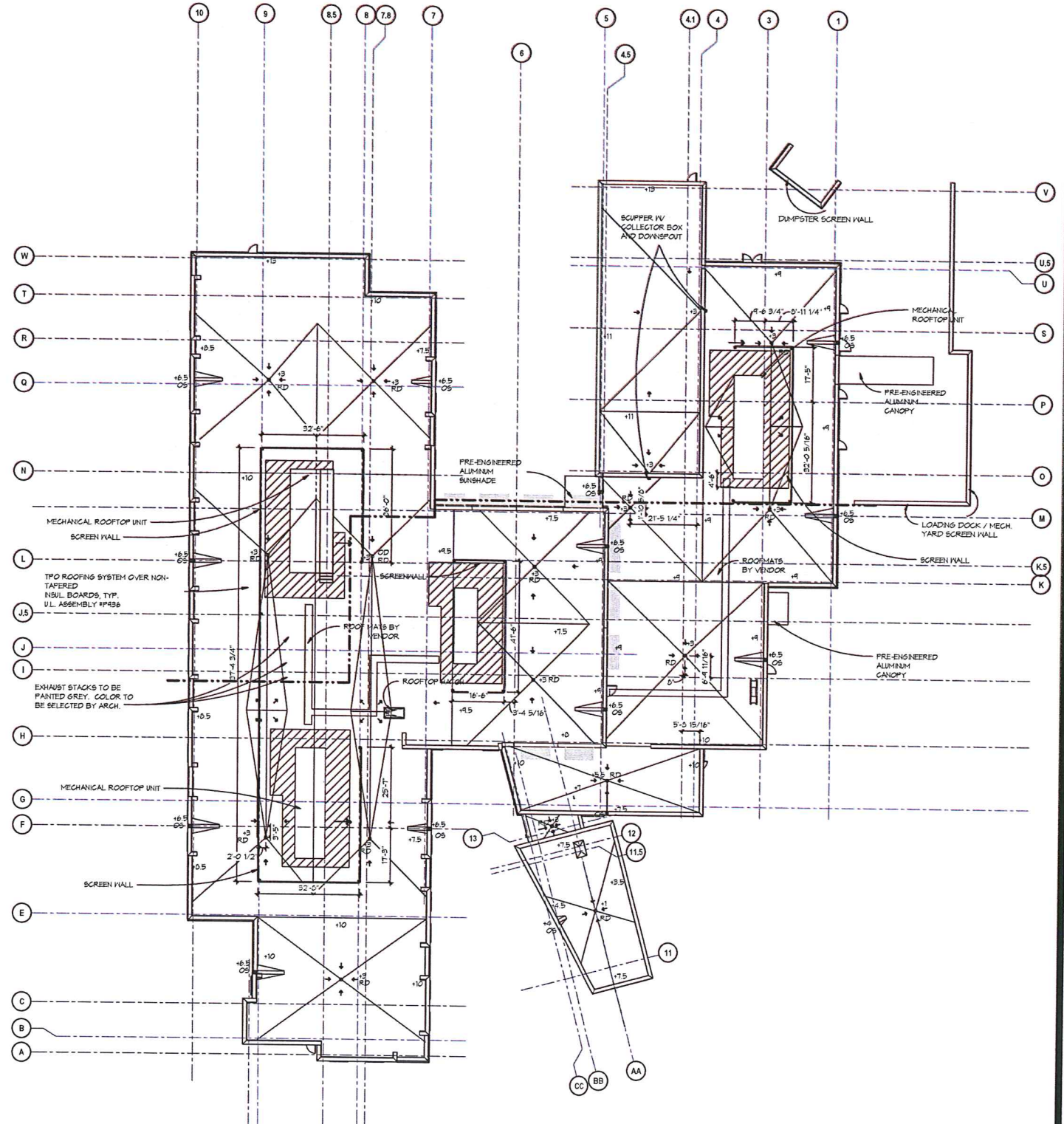
FIRST FLOOR AND SECOND FLOOR ORIENTATION

Sheet Number  
**A1.01**



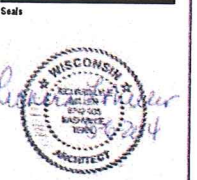
**GENERAL ROOF PLAN NOTES**

1. "R.D." INDICATES ROOF DRAIN. "O.D." INDICATES OVERFLOW DRAIN.
2. "O.S." INDICATES OVERFLOW SCUPPER IN EITHER PARAPET WALL OR GRAVEL STOP. SEE PLANS FOR LOCATIONS.
3. ARROWS ON THE ROOF PLAN INDICATE WATER DRAINAGE DIRECTION. ROOF SLOPES SHALL BE A MINIMUM OF 1/4" PER FOOT OR AS PER MANUFACTURER'S RECOMMENDATIONS.
4. RIGID INSULATION BOARD CRICKETS DIRECTING WATER TO ROOF DRAINS SHALL BE SLOPED TO DIRECT POSITIVE DRAINAGE TO THE ROOF DRAINS AT A MINIMUM OF 1/8" PER FOOT OR AS PER MANUFACTURER'S RECOMMENDATIONS.
5. THICKNESS INDICATED ON THE ROOF PLAN IS MINIMUM ALLOWED. THIS IS MEASURED FROM THE TOP OF DECK TO THE TOP OF LIGHTWEIGHT INSULATING CONCRETE AT THE ROOF CONSTRUCTION OF THE U.L. P-436 ROOF UNLESS OTHERWISE NOTED. BUILD UP EDGES OF ROOF THE THICKNESSES SHOWN.
6. ROOF DRAINS SHALL NOT BE LOCATED LESS THAN 12" FROM ANY BEAM CENTERLINE.
7. ALL EXPOSED MECHANICAL EQUIPMENT SHALL BE PAINTED TO MATCH THE ARCHITECT'S SELECTION.
8. SEE ELECTRICAL SHEETS FOR INFORMATION ON LIGHTNING PROTECTION.
9. SEE PLUMBING PLANS FOR ROOF DRAIN SIZES.
10. SEE PLUMBING PLANS FOR ALL VENT PIPE LOCATIONS.
11. ROOFING CONTRACTOR IS TO INSTALL FLASHING AT ALL ROOF PENETRATIONS AS PER MANUFACTURER'S STANDARD DETAILS.
12. ALL VENTS THROUGH ROOF SHALL MAINTAIN THE FOLLOWING MINIMUM DISTANCES:  
A. MECHANICAL FRESH AIR INTAKE - 25'-0"  
B. EDGE OF BUILDING - 5'-0"
13. APPROXIMATE LOCATION OF ROOF ANCHORS FOR WINDOW WASHING EQUIPMENT ARE INDICATED USING "R.A.". ANCHORS TO BE SECURED TO STRUCTURAL BUILDING STEEL. SEE STRUCTURAL FOR DETAIL.
14. SEE WALL SECTIONS FOR ROOF EDGE CONDITIONS.



**ESa**  
Earl Swenson Associates, Inc.  
Richard L. Miller, architect  
2100 West End Avenue, Suite 1200  
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Nashville, Tennessee 37203  
615-329-9445

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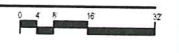
**MADISON REHABILITATION HOSPITAL**

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Revisions	
No.	Description

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Issue Date: 05/07/14  
Project No: 13101.01  
Drawn By: JF Checked By: MM  
Drawing Title: ROOF OVERALL PLAN

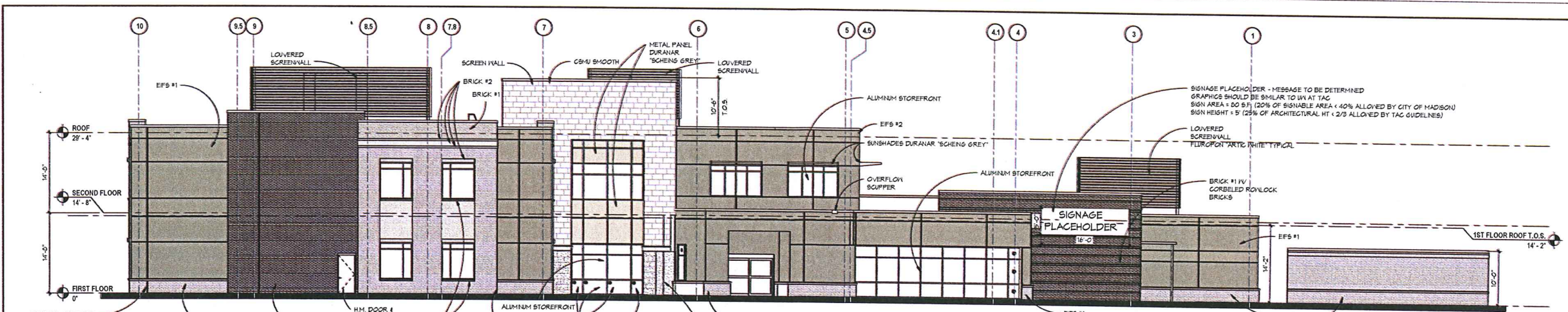
**ROOF PLAN**



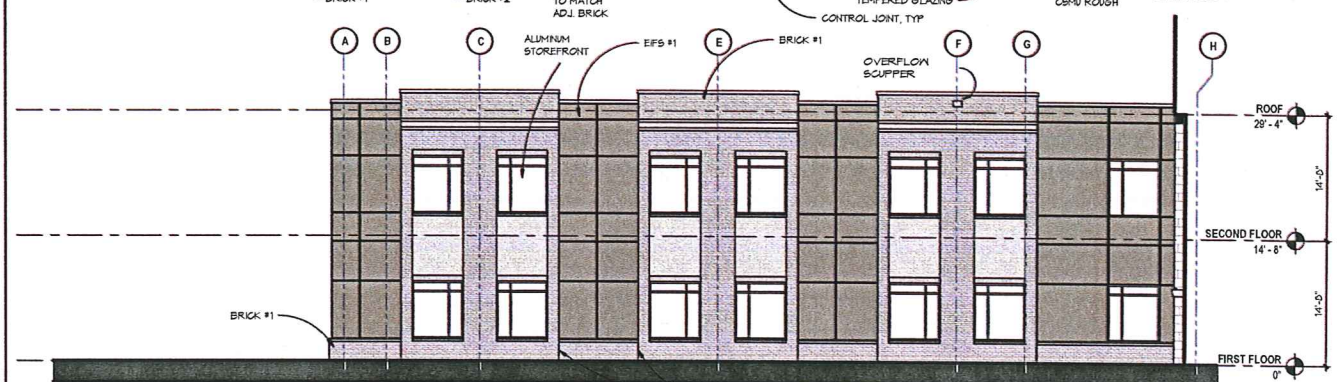
**ROOF OVERALL PLAN**

Sheet Number  
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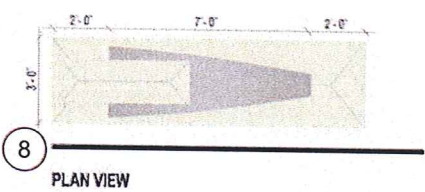




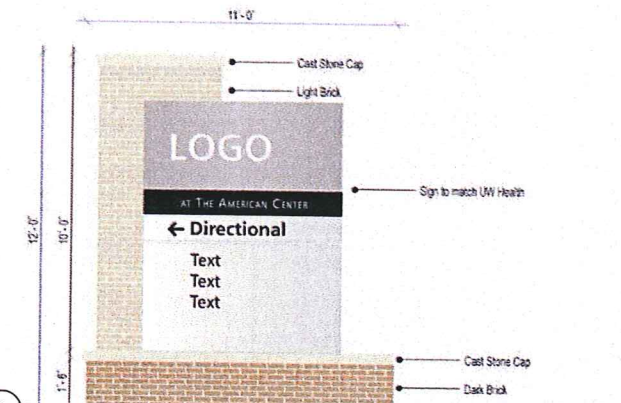
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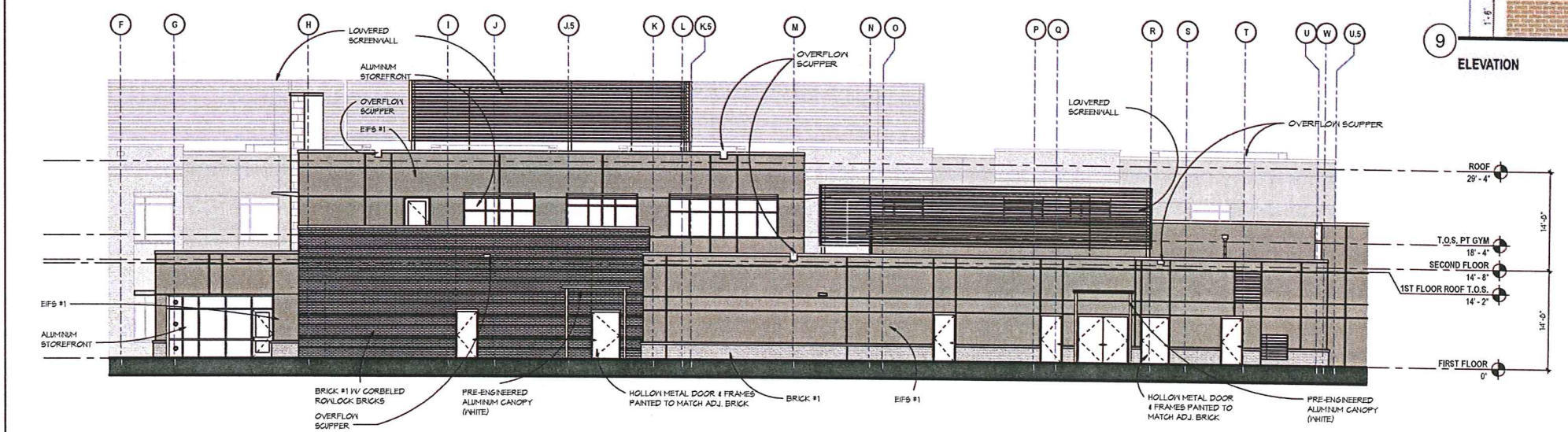
**2** PARTIAL SOUTHEAST ELEVATION



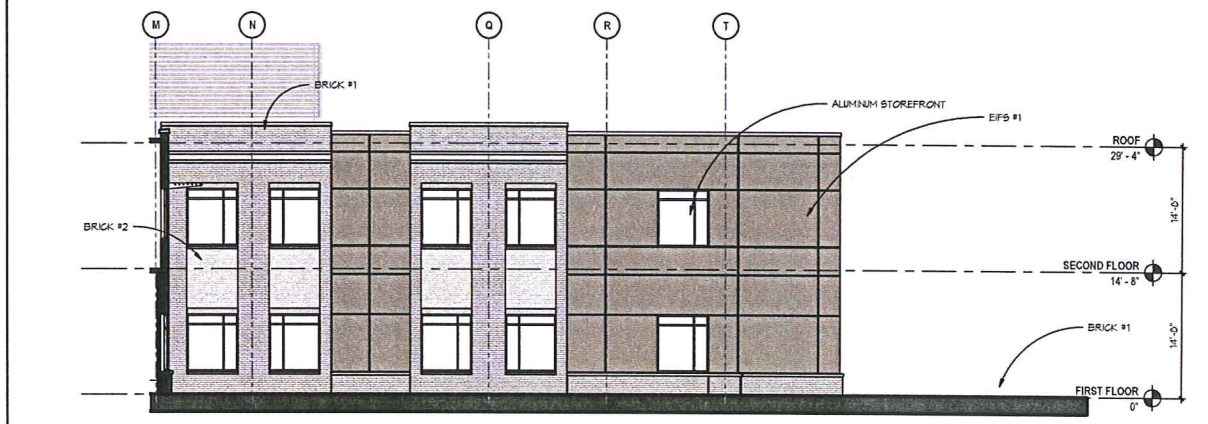
**8** PLAN VIEW



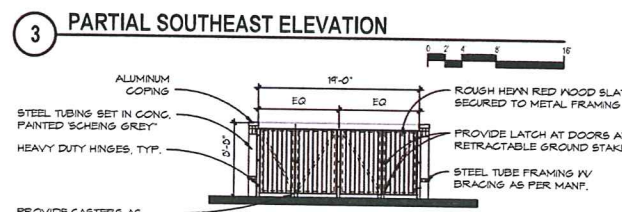
**9** ELEVATION



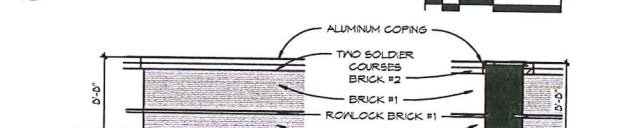
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[Pattern]	EIFS #1 -
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[Pattern]	CSMU SMOOTH STONE
[Pattern]	CSMU ROUGH STONE -



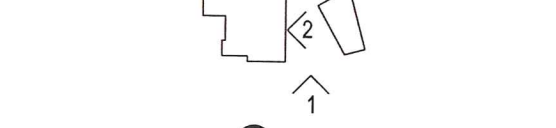
**4** PARTIAL SOUTHEAST ELEVATION



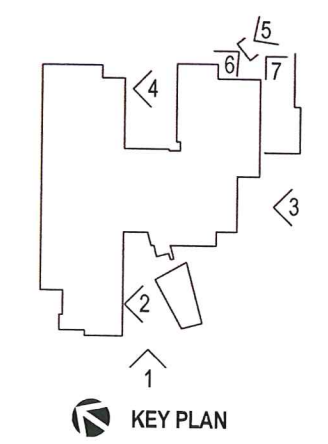
**5** DUMPSTER ELEVATION



**6** DUMPSTER ELEVATION B



**7** DUMPSTER ELEVATION C



**KEY PLAN**

**MADISON REHABILITATION HOSPITAL**

5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions	Description

Issue Description	CONDITIONAL USE
Issue Date	05/07/14
Project No	13101.01
Drawn By	JF
Checked By	MM
Drawing Title	

EXTERIOR ELEVATIONS

Sheet Number  
**A2.01**

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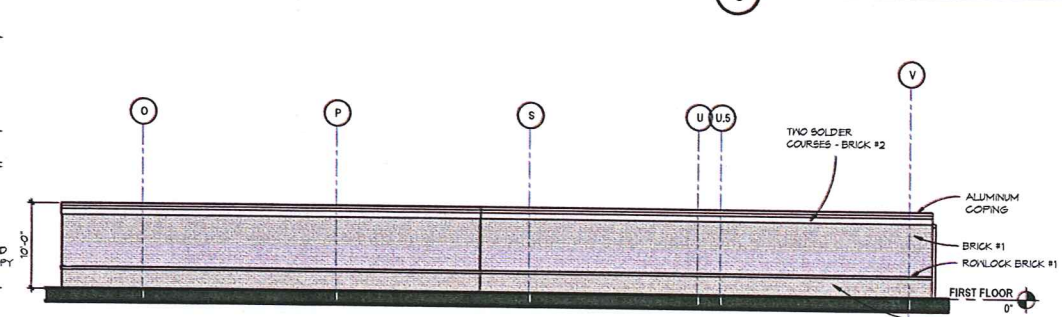
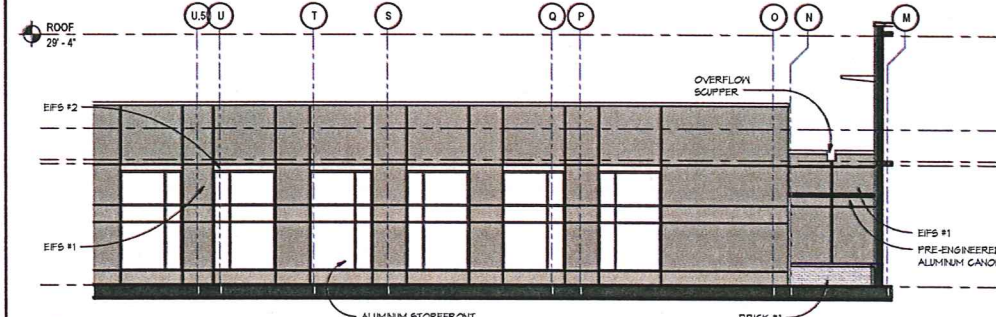
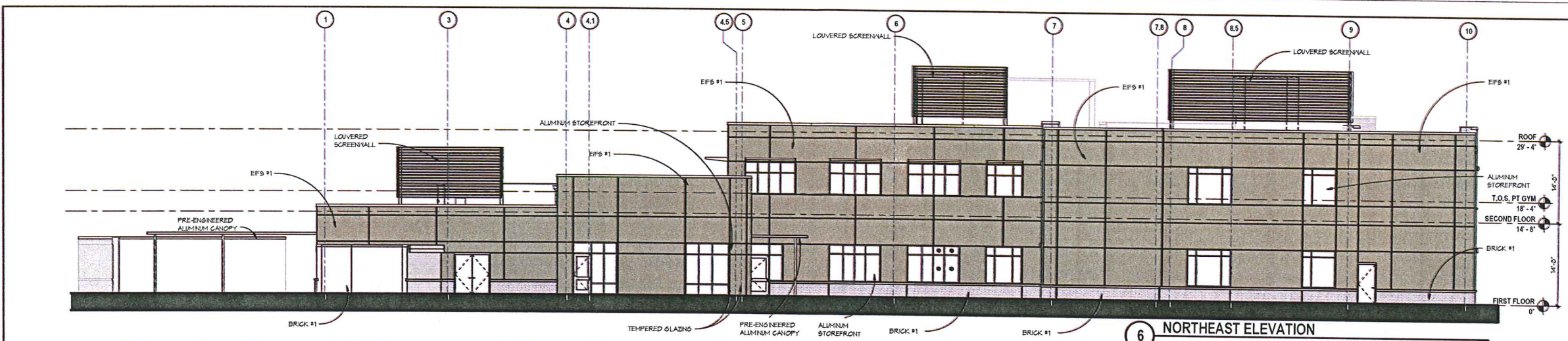


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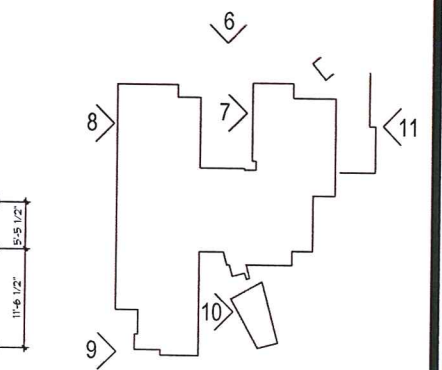
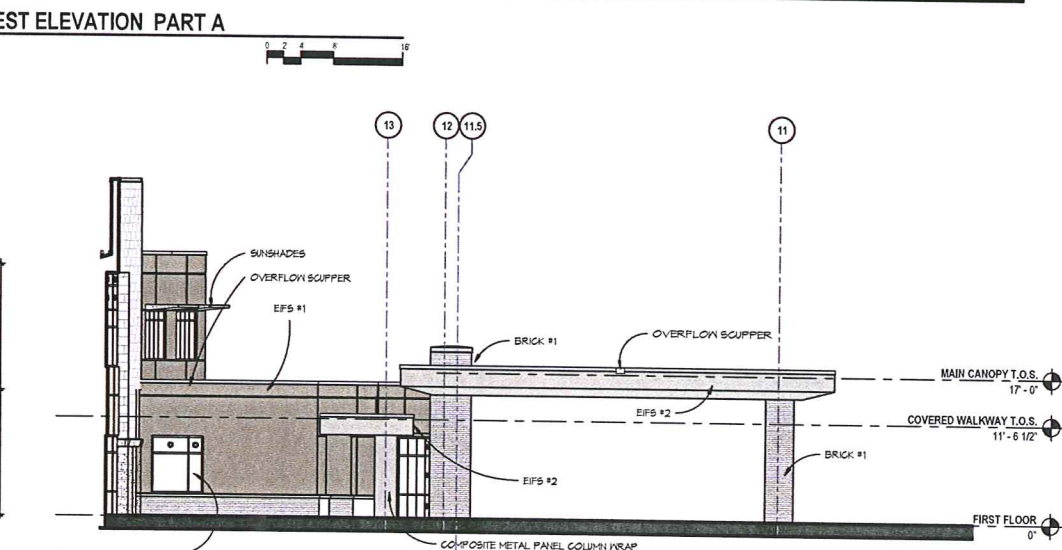
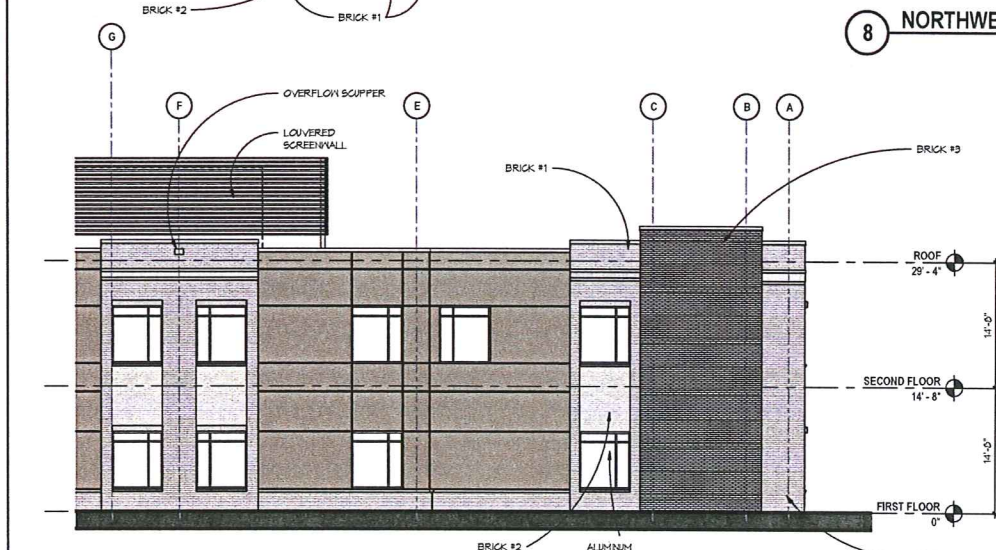
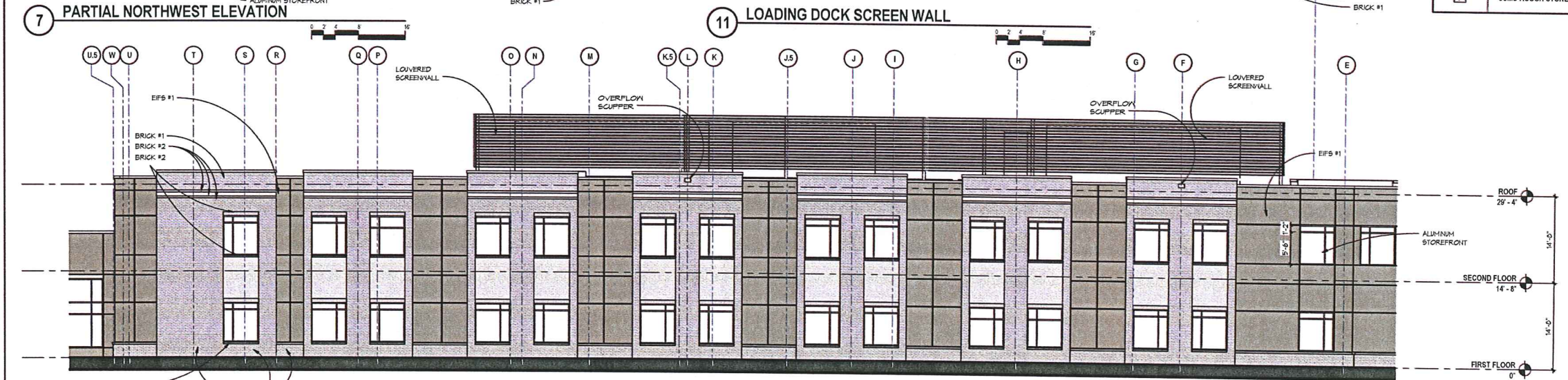
**MADISON REHABILITATION HOSPITAL**

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**ELEVATION MATERIAL LEGEND**

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**Revisions**

No.	Date	Description

Issue Description: CONDITIONAL USE  
 Issue Date: 05/07/14  
 Project No: 13101.01  
 Drawn By: JF Checked By: MM  
 Drawing Title: EXTERIOR ELEVATIONS

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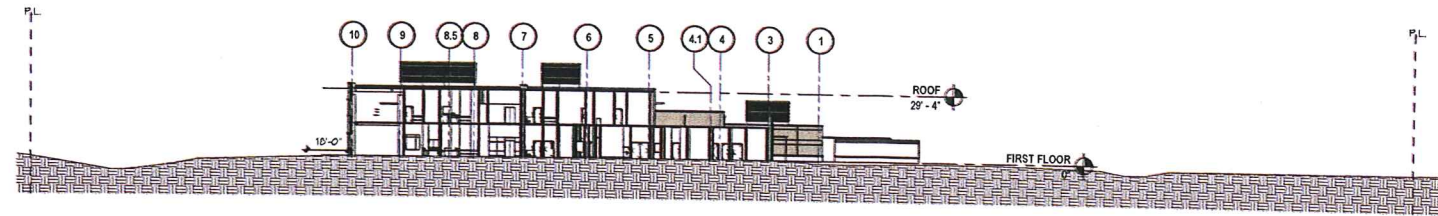
Earl Swenson Associates, Inc.

richard l. miller, architect  
2100 West End Avenue, Suite 1200  
Vanderbilt Plaza  
Nashville Tennessee 37203  
615-329-9445

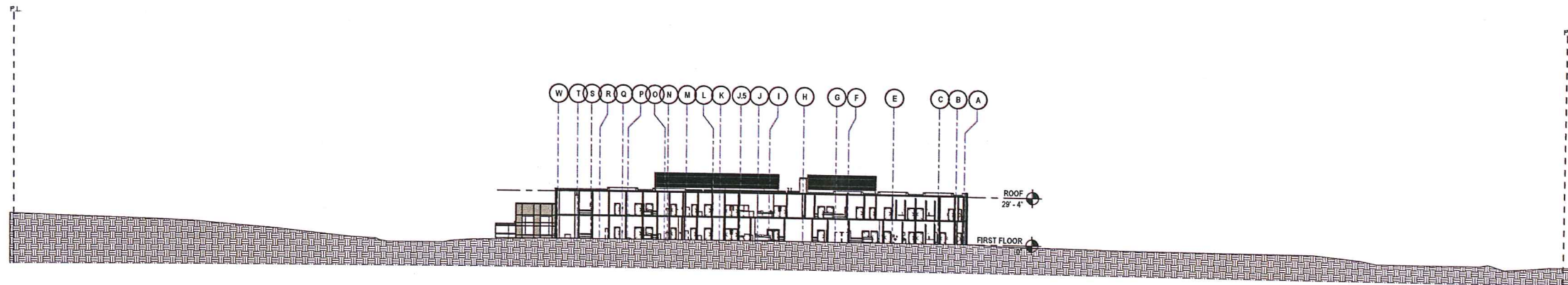
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Seals



1 NORTH/SOUTH SECTION



2 East/West Section



MADISON REHABILITATION HOSPITAL

5115 N. BILTMORE LANE MADISON, WISCONSIN

Revisions		
No.	Date	Description

Issue Description	CONDITIONAL USE
Issue Date	05/07/14
Project No	13101.01
Drawn By	JF
Checked By	MM

BUILDING SECTIONS

Sheet Number  
**A3.00**