

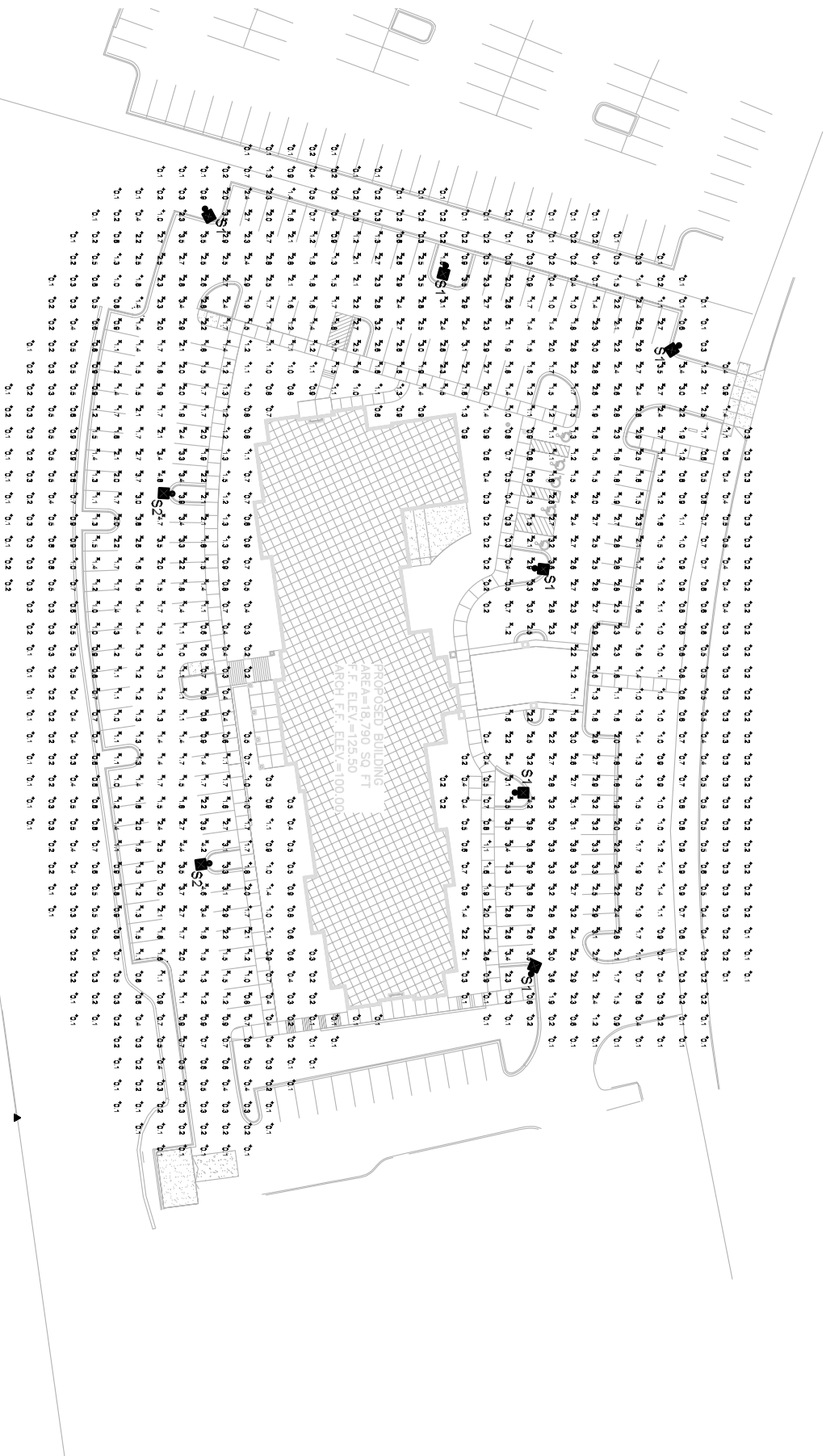
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 PROJECT: 200640
 CAD FILE: 220-200640
 DRAWN BY: DD
 DATE: 01/23/08

PROJECT:
FAIRFIELD INN & SUITES by Marriott
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 CLIENT:
RAYMOND MANAGEMENT COMPANY
 8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53562

CARY BRENK & ASSOCIATES
 ARCHITECTS
 8401 EXCELSIOR DRIVE
 MADISON, WI 53717
 608-829-3056 (PH)
 608-829-3056 (FAX)

- SITE LIGHTING PHOTOMETRIC CALCULATIONS**
- PARKING FACILITY ACTIVITY LEVEL: MEDIUM(10)
 - FIXTURE MOUNTING HEIGHT: 30FT
 - MINIMUM FC ON PAVEMENT: .5FC
 - AVERAGE FC ON PAVEMENT: 2.1FC
 - UNIFORMITY RATIO: 4.2:1
 - PAVEMENT SQUARE FOOTAGE: 53,306SQFT
 - LIGHTING WATTS (8 X 45S): 3640
 - WATTS/SQFT ON PAVEMENT: .068

FIXTURE SCHEDULE
 TYPE S1: LITHONIA AS2 400M SR4SC TB SPA
 TYPE S2: LITHONIA AS2 400M SR2 TB SPA



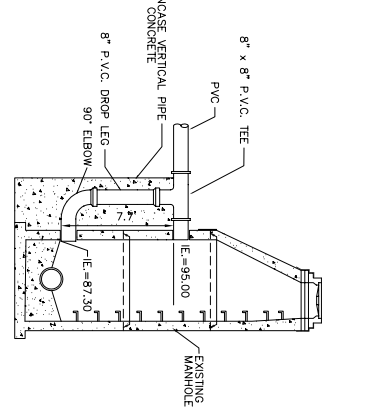
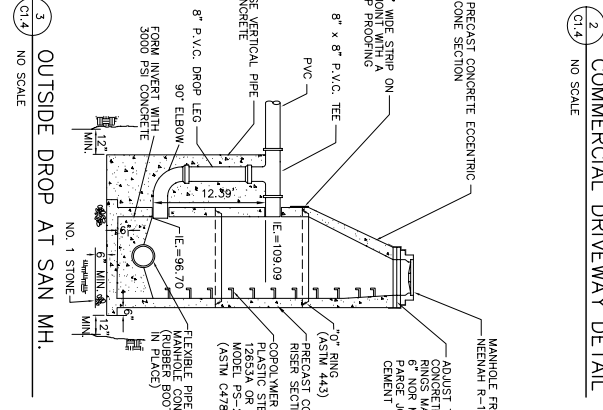
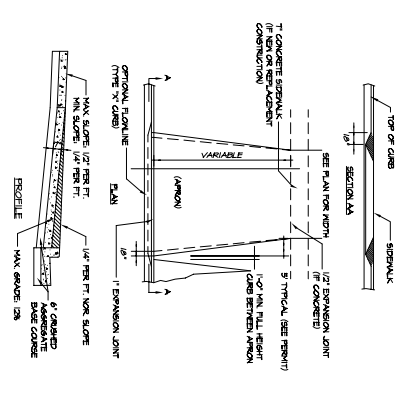
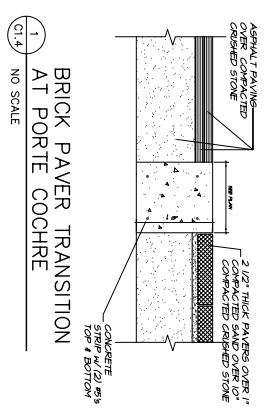
**SITE LIGHTING
 PHOTOMETRIC PLAN**

SCALE: 1"=30'-0"
 30' 0' 30'

PROJECT: FAIRFIELD INN & SUITES
 CLIENT: RAYMOND MANAGEMENT COMPANY
 DATE: 1/23/08

PROJECT: FAIRFIELD INN & SUITES by Marriott
 CLIENT: RAYMOND MANAGEMENT COMPANY
 200 CANTON BLVD, SUITE 200 WILMINGTON, DELAWARE 19801

TOTAL ELECTRIC
 1775 WILMINGTON BLVD
 WILMINGTON, DE 19801



CONSTRUCTION SEQUENCE		CONSTRUCTION START: 7-1-08
		CONSTRUCTION END: 6-1-09
PHASE	TYPE OF ACTION	
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DITCHES HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. CONTRACTOR TO MAKE SURE THE REGIONAL STORMWATER POND IS IN PLACE BEFORE CONSTRUCTION CAN BEGIN. 3. PLACE ALL SILT FENCE. 4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS. 5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. 6. CONSTRUCT TEMPORARY STORMWATER CONVEYANCE SYSTEMS. 7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.	
2. CONSTRUCTION ACTION	1. CLEAR AND GRUB TREES AND BRUSH AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE LOCATION (TOPSOIL PILE LOCATION BY OWNER) 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND EXISTING AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND FILL ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LAKES. 7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.	
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS. 3. CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL, INSPECTION AND MAINTENANCE.**	

POST CONSTRUCTION OPERATION AND MAINTENANCE PLAN

THE OWNER OF THE PROPERTY AFFECTED SHALL INSPECT AND MAINTAIN THE FOLLOWING STORMWATER MANAGEMENT SYSTEMS FREQUENTLY, ESPECIALLY AFTER HEAVY RAINFALLS, BUT AT LEAST ON AN ANNUAL BASIS UNLESS OTHERWISE SPECIFIED.

STORMWATER FACILITY	TYPE OF ACTION
1. LAWN AND LANDSCAPED AREAS	ALL LAWN AREAS SHALL BE KEPT CLEAR OF ANY MATERIALS THAT BLOCK THE FLOW OF STORMWATER. RILLS AND SMALL GULLIES SHALL IMMEDIATELY BE FILLED AND SEEDED OR HAVE SOIL PLACED IN THEM. THE LAWN SHALL BE KEPT MOWED. TREE SEEDINGS SHALL BE REMOVED, AND LITTER SHALL BE REMOVED FROM LANDSCAPED AREAS.
2. CATCH BASIN / CURB INLET GRATES	THE GRATE OPENINGS TO THESE STRUCTURES MUST BE KEPT CLEAR OF ANY CLOSING OR THE BLOCKING OF STORMWATER FLOW FROM INSERT.
3. FLO-GARD +PLUS FILTER	MAINTENANCE SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS GUIDELINES, WHICH AT A MINIMUM SHALL BE 3 INSPECTIONS PER YEAR. 3 CLEANINGS PER YEAR, AND 1 FILTER REPLACEMENT PER YEAR. MORE SPECIFICALLY, DEBRIS SHALL BE REMOVED AND THE FILTER MEDIA SHALL BE REPLACED ANY TIME THE FILTER MEDIA APPEARS TO BE SOAK COVERED WITH OIL AND GREASE. AT THE END OF THE YEAR, THE FILTER MEDIA SHALL BE REPLACED WITH NEW MEDIA. THE MEDIA SHALL BE REUSED OR RECYCLED. THE MEDIA SHALL BE REUSED OR RECYCLED.
4. INFILTRATION TRENCH (UNDERGROUND PIPE)	THE INFILTRATION TRENCH SHALL BE INSPECTED FOR BLOCKAGE OF THE INFILTRATION TRENCH. THE INFILTRATION TRENCH SHALL BE CLEANED AND REPAIRED AS NEEDED. THE INFILTRATION TRENCH SHALL BE REPAIRED AS NEEDED. THE INFILTRATION TRENCH SHALL BE REPAIRED AS NEEDED.
5. RECORD OF MAINTENANCE	THE OPERATION AND MAINTENANCE PLAN SHALL REMAIN ON SITE AND BE AVAILABLE FOR INSPECTION AND ALL MAINTENANCE RECORDS TO THE DEPARTMENT OR AGENT FOR THE LIFE OF THE SYSTEM.

SITE STABILIZATION & SEEDING NOTES

1. PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS.
2. PROVIDE EROSION CONTROL MATTING(NORTH AMERICAN GREEN S190) ON ALL SLOPES THAT ARE 4:1 AND GREATER.
3. ALL STORM WATER CONVEYANCE SMALLS SHALL BE SEEDED WITH WISCONSIN DOT MIX # 10 @ 4.0 LBS PER 1,000 SQ. FT. NORTH AMERICAN GREEN C125 OR EQUIVALENT EROSION MATTING SHALL BE PROVIDED.
4. EQUIVALENT AT A RATE OF 4 POUNDS PER 1,000 SQ. FT. OF DISTURBED AREA. THE SEEDING SHALL BE MULCHED WITH 90 BALES OF STRAW OR HAY PER ACRE. ALL SEEDING AREAS SHOULD BE REPEATED WITH 24-1-12 FERTILIZER AT A RATE OF 4 GALLONS PER 1,000 SQ. FT.

EROSION CONTROL SPECIFICATIONS

EROSION CONTROL SHALL STRICTLY COMPLY WITH THE EROSION CONTROL GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) EROSION CONTROL MANUAL (ECM) SHALL BE USED AS A REFERENCE. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.

DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MICH AND AIR TRANSPORTATION STANDARDS FOR CONSTRUCTION. CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.

SOME TRACKING PADS SHALL BE PLACED ON SITE AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. THE AGGREGATE USED SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE, AND SHALL BE 2 FEET WIDE AND 2 INCHES DEEP. TRACKING PADS SHALL BE 14 INCHES WIDE AND 2 INCHES DEEP. TRACKING PADS SHALL BE 14 INCHES WIDE AND 2 INCHES DEEP.

STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL CATCH BASINS, AND CURB INLETS. TYPE D PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2.

ALL SILT FENCE SHALL BE PLACED ON SITE AND SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6.

THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED IN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6.

ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.

TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO PERMANENT RESTORATION. PERMANENT RESTORATION SHALL BE COMPLETED WITHIN 90 DAYS OF THE END OF CONSTRUCTION. PERMANENT RESTORATION SHALL BE COMPLETED WITHIN 90 DAYS OF THE END OF CONSTRUCTION.

PERMANENT RESTORATION APPLIES TO AREAS WHERE PERMANENT VEGETATION COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 90 DAYS OF THE END OF CONSTRUCTION. PERMANENT STABILIZATION SHALL OCCUR WITHIN 90 DAYS OF THE END OF CONSTRUCTION.

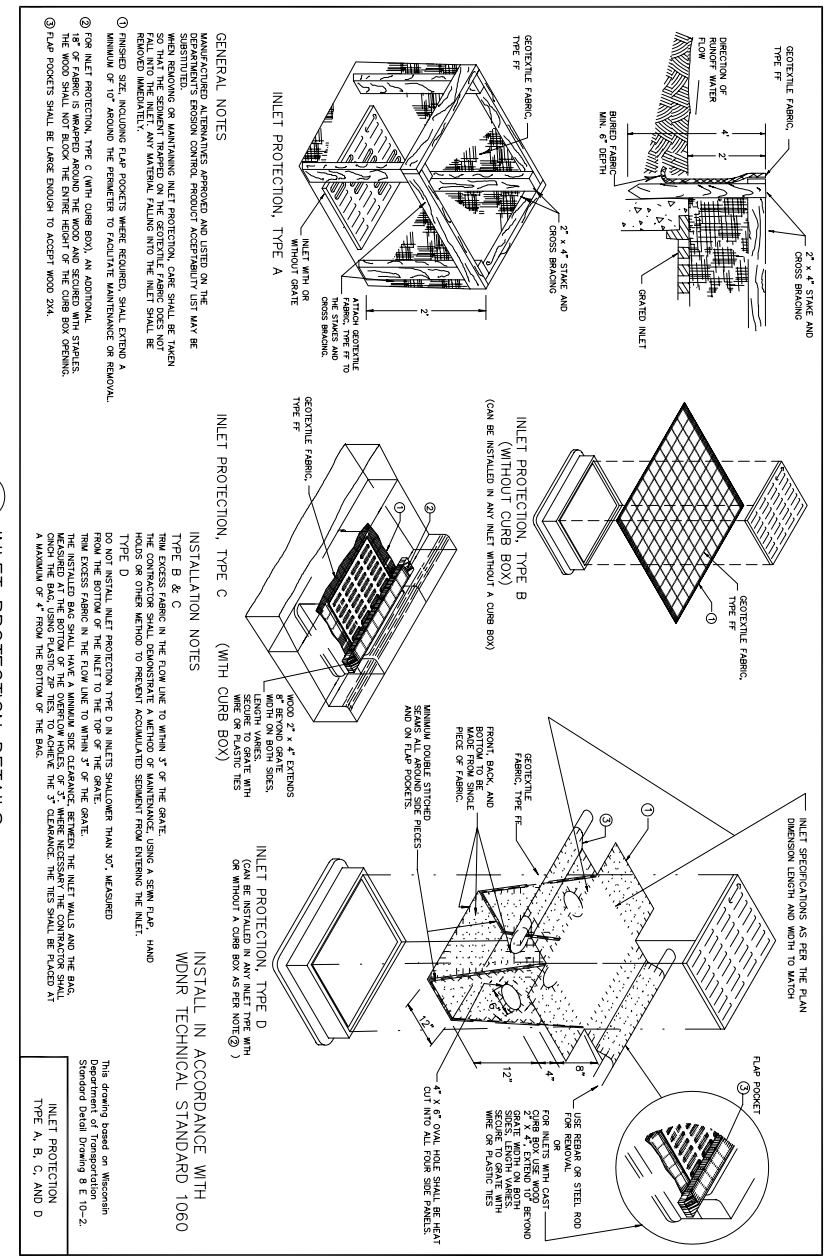
ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.

IF WATER MUST BE PLUMBED FROM THE SITE DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER TO OBTAIN A PLUMBING PLAN.

ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.



INLET PROTECTION DETAILS

This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2. INLET PROTECTION TYPE A, B, C, AND D.

DETAILS & SPECIFICATIONS

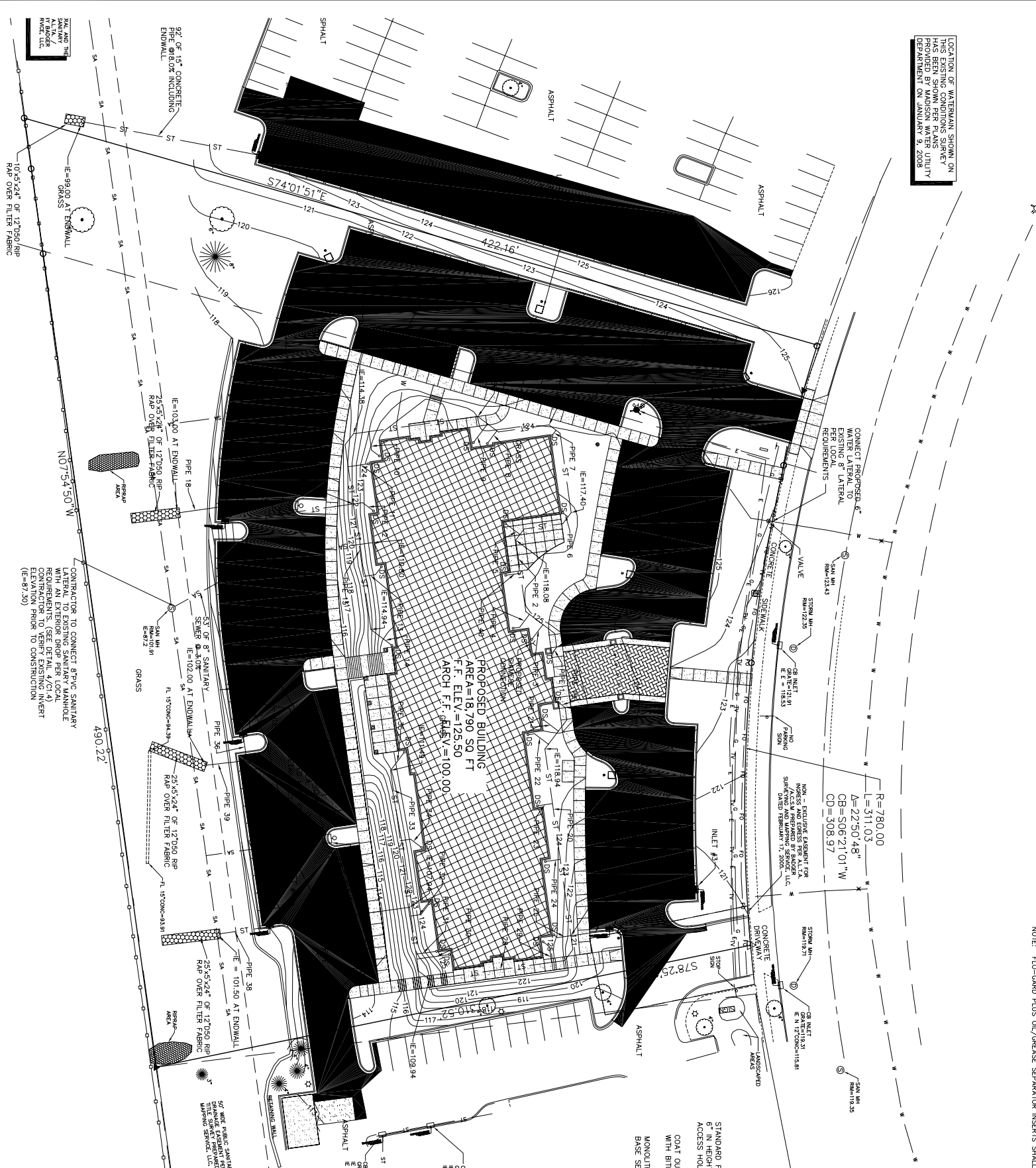
NOTE:
 CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATION AND DEPTH. ALL PROPOSED AND EXISTING PROPOSED CONNECTIONS (TO CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.

NOTE:
 ALL PROPOSED WATER PIPE SHALL BE 900 PVC FOR PIPE DIAMETERS OF 6" OR GREATER AND 906 PE FOR PIPE DIAMETERS OF 4" OR LESS.

NOTE:
 SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM EXTERIOR WALL OF FOUNDATION. RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISH FLOOR ELEVATION.

NOTE:
 UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER TRACER WIRE) OR COPPER COATED STEEL WIRE. TRACER WIRE MAY BE TAPED TO PLASTIC WATER OR DRAIN PIPE. IF ATTACHED THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.

LOCATION OF WATERMAIN SHOWN ON THIS PLAN IS BASED ON THE WATER MAIN AS SHOWN ON THE WATER MAIN PLAN PROVIDED BY MADISON WATER UTILITY DEPARTMENT ON JANUARY 9, 2008.



STORM SEWER STRUCTURE SCHEDULE

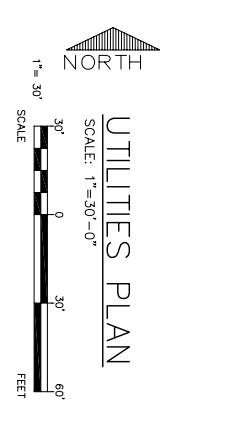
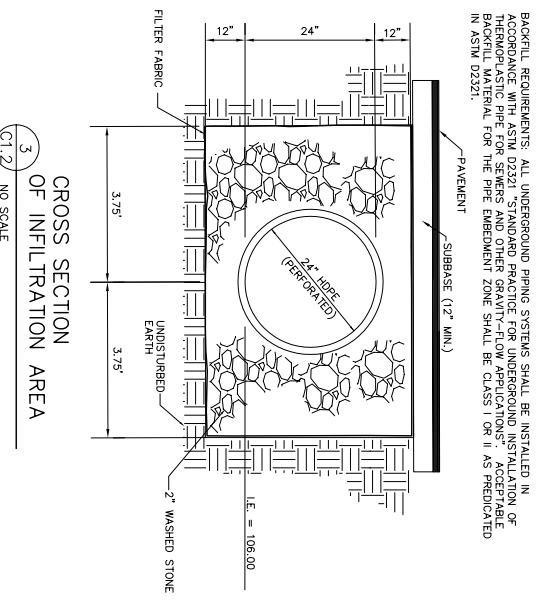
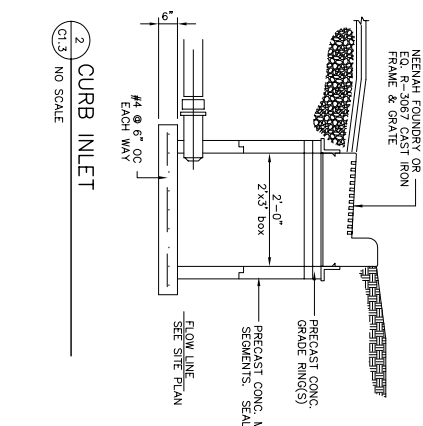
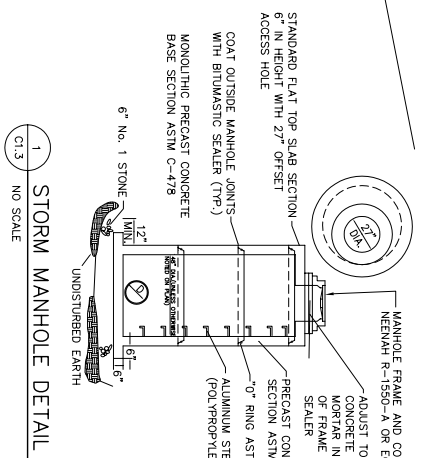
STRUCTURE NO.	RIM ELEV.	INFLOW INVERT(S)	OUTFLOW INVERT	SEE DETAIL	MH DIA.
MANHOLE #1	115.30	E.(S) 10"(HDP)=107.60	E.(W) 10"(CONC)=105.50	17/61.3	5'
INLET #2	114.95	E.(E) 10"(HDP)=111.00	E.(N) 10"(HDP)=108.00	2/61.3	N/A
		E.(S) 24"(HDP)=100.00			
INLET #3	119.55	E.(E) 8"(HDP)=114.54	E.(W) 8"(HDP)=115.54	2/61.3	N/A
INLET #4	119.35	E.(E) 8"(HDP)=114.54	E.(W) 8"(HDP)=115.54	2/61.3	N/A
MANHOLE #5	111.55	E.(N) 10"(HDP)=107.35	E.(W) 10"(CONC)=103.55	17/61.3	5'
INLET #6	110.50	E.(E) 8"(HDP)=106.50	E.(W) 10"(CONC)=102.85	2/61.3	N/A
INLET #7	111.50	E.(N) 24"(HDP)=106.00	E.(S) 10"(HDP)=108.00	2/61.3	N/A
INLET #8	122.00	E.(SW) 15"(CONC)=115.5	2/61.3	N/A	N/A

NOTE: FLO-GARD PLUS OIL/GREASE SEPARATOR INSERTS SHALL BE PROVIDED FOR ALL CURB INLETS.

STORM SEWER PIPE SCHEDULE

PIPE NO.	LENGTH (FT.)	PIPE SIZE	PIPE MATERIAL	% GRADE
PIPE 1	4'	6"	HDP	2%
PIPE 2	286'	6"	HDP	2%
PIPE 3	12'	6"	HDP	2%
PIPE 4	12'	6"	HDP	2%
PIPE 5	9'	6"	HDP	2%
PIPE 6	4'	6"	HDP	2%
PIPE 7	4'	6"	HDP	2%
PIPE 8	4'	6"	HDP	2%
PIPE 9	12'	6"	HDP	2%
PIPE 10	15'	6"	HDP	2%
PIPE 11	12'	6"	HDP	2%
PIPE 12	12'	6"	HDP	2%
PIPE 13	11'	6"	HDP	2%
PIPE 14	6'	6"	HDP	2%
PIPE 15	8'	6"	HDP	2%
PIPE 16	8'	6"	HDP	2%
PIPE 17	10'	6"	HDP	2%
PIPE 18	66'	10"	CONCRETE	4%
PIPE 19	25'	10"	CONCRETE	10%
PIPE 20	12'	6"	HDP	2%
PIPE 21	10'	6"	HDP	2%
PIPE 22	12'	6"	HDP	2%
PIPE 23	10'	6"	HDP	2%
PIPE 24	8'	6"	HDP	2%
PIPE 25	10'	6"	HDP	2%
PIPE 26	20'	8"	HDP	2%
PIPE 27	12'	6"	HDP	2%
PIPE 28	12'	6"	HDP	2%
PIPE 29	12'	6"	HDP	2%
PIPE 30	11'	6"	HDP	2%
PIPE 31	12'	6"	HDP	2%
PIPE 32	12'	6"	HDP	2%
PIPE 33	71'	8"	HDP	2%
PIPE 34	12'	6"	HDP	2%
PIPE 35	12'	6"	HDP	2%
PIPE 36	13'	10"	HDP	5%
PIPE 37	72'	8"	HDP	2%
PIPE 38	22'	10"	CONCRETE	5%
PIPE 39	8'	10"	CONCRETE	5%
PIPE 40	6'	6"	HDP	2%

NOTE: THE LENGTH OF PIPES 18, 38, AND 39 INCLUDE THE ENDWALL.



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DATE: JAN. 23, 2008
 DESIGN NO.: 712140

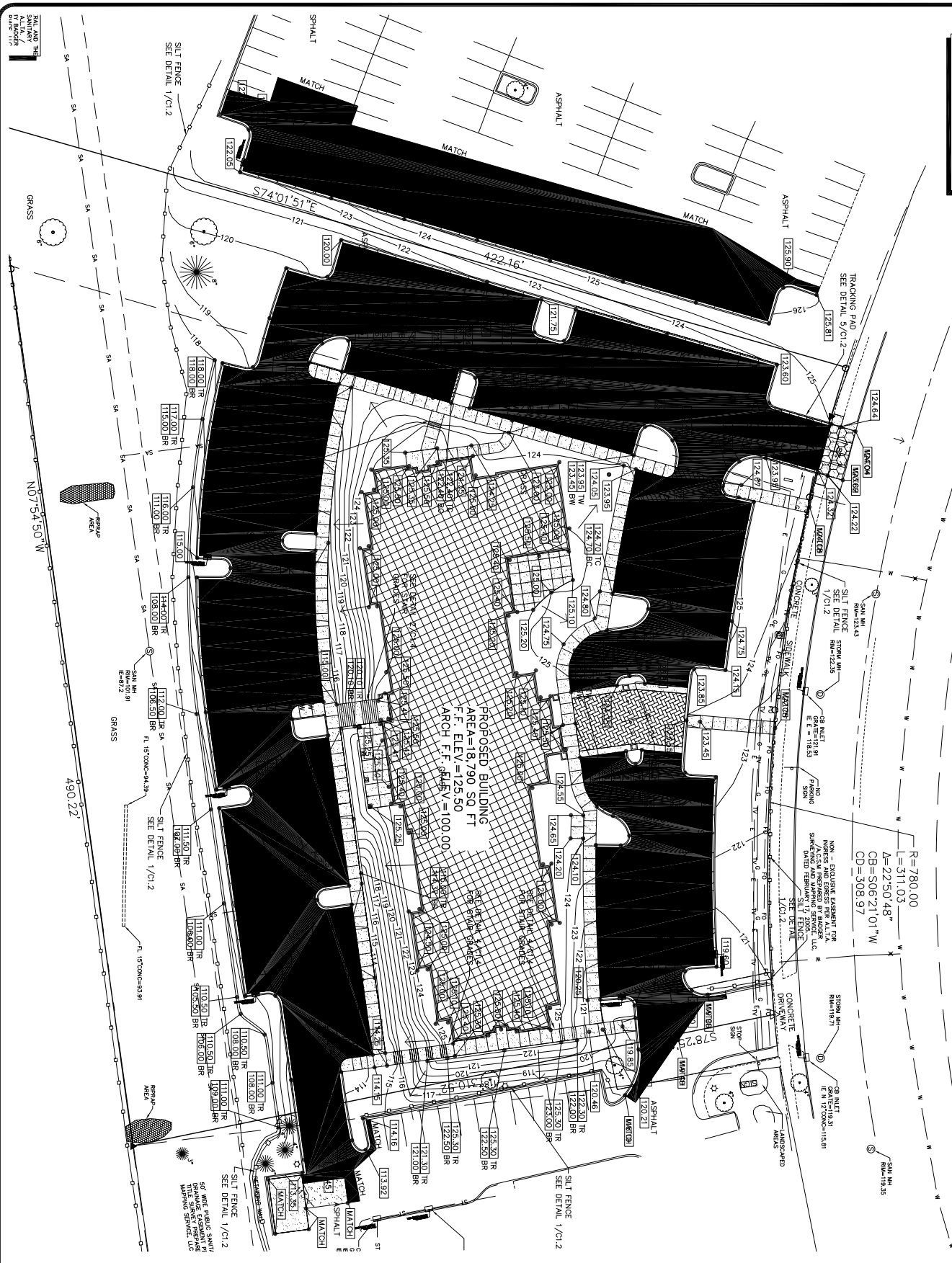
PROJECT: FAIRFIELD INN & SUITS
 2702 CROSSROADS DRIVE
 MADISON, WISCONSIN 53718

OWNER: RAYMOND MANAGEMENT CO.
 8333 GREENWAY BLVD., SUITE 200
 MIDDLETON, WI 53562

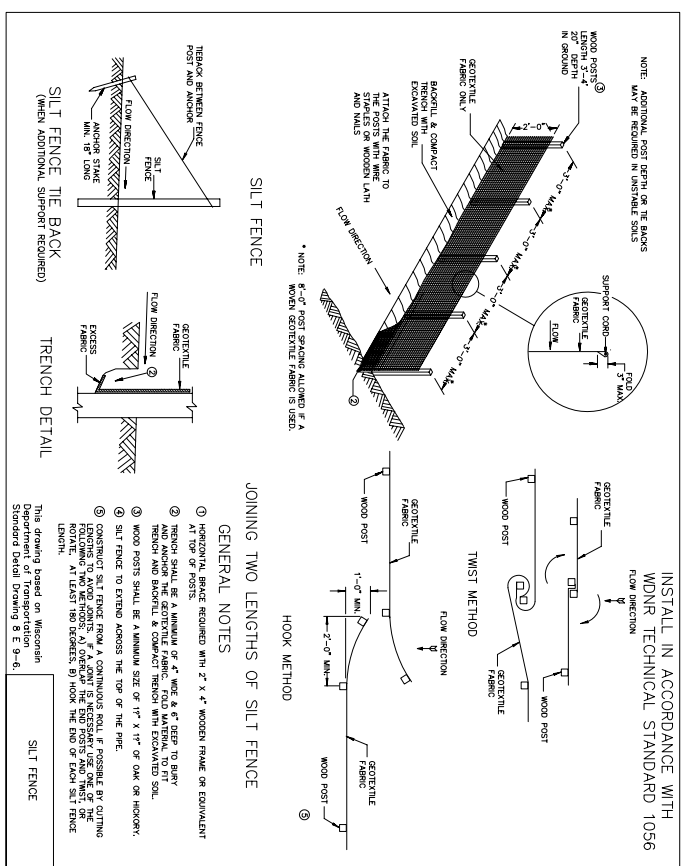
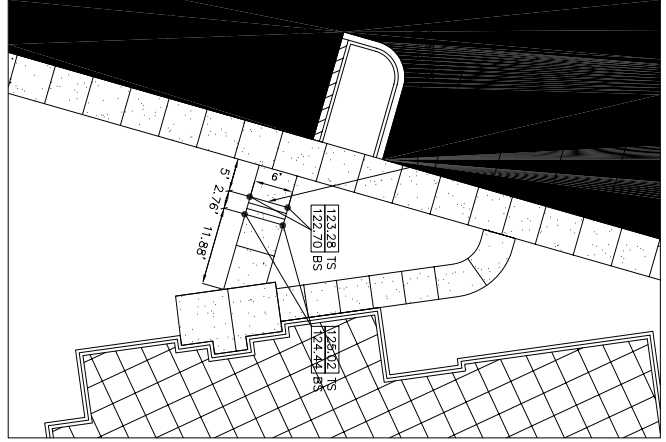
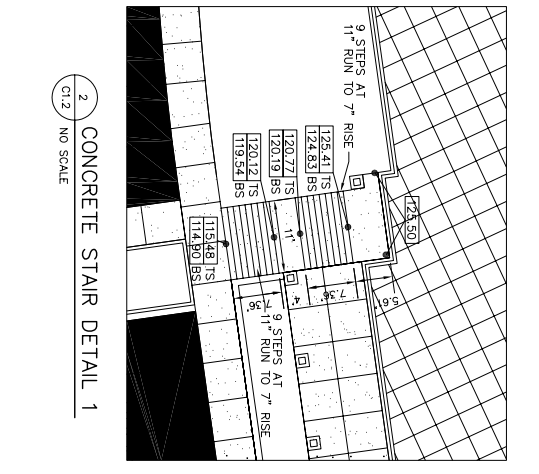
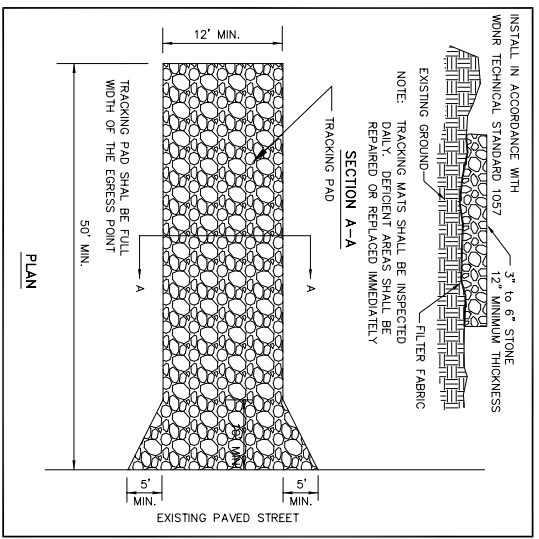
100 CAMELOT DRIVE
 FOND DU LAC, WI 54935
EXCEL ENGINEERING INC.
 PHONE: (920) 926-9800
 FAX: (920) 926-9801

SHEET ISSUE:
 JANUARY 23, 2008
 SEE THIS SHEET FOR REVISIONS.
 REVISIONS:

C1.3 SHEET



LOCATION OF WATERMAIN SHOWN ON THIS EXISTING CONDITIONS SURVEY HAS BEEN SHOWN PER PLANS UTILITY DEPARTMENT ON JANUARY 9, 2008



1 SILT FENCE - INSTALLATION DETAIL
C1.2 NO SCALE

3 CONCRETE STAIR DETAIL 2
C1.2 NO SCALE

4 CONCRETE STAIR DETAIL 3
C1.2 NO SCALE

2 CONCRETE STAIR DETAIL 1
C1.2 NO SCALE

5 TRACKPAD DETAILS
C1.2 NO SCALE

THE HORN
GRADING &
EROSION CONTROL PLAN
SCALE: 1"=30'-0"
1"=30'
30'
0
30'
60'
FEET

2007 © EXCEL ENGINEERING INC.

SHEET
C1.2

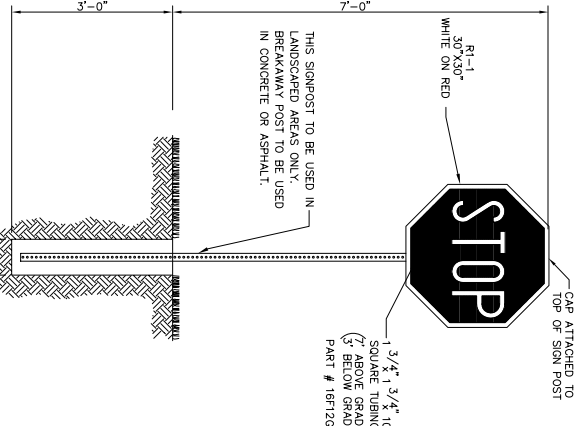
PROJECT:
FAIRFIELD INN & SUITS
2702 CROSSROADS DRIVE
MADISON, WISCONSIN 53718

OWNER:
RAYMOND MANAGEMENT CO.
8333 GREENWAY BLVD., SUITE 200
MIDDLETON, WI 53562

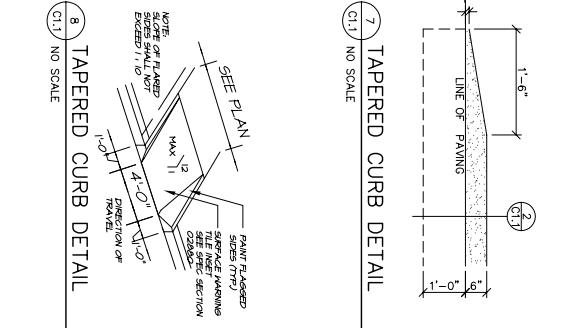
EXCEL
ENGINEERING INC.

100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

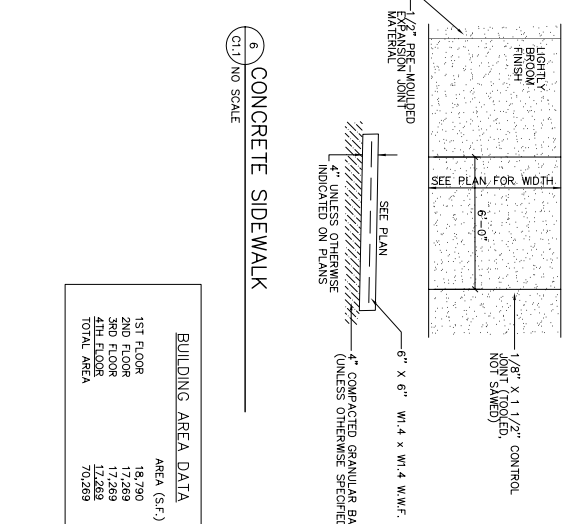
SHEET ISSUE:
JANUARY 23, 2008
SEE TITLE SHEET FOR CONSTRUCTION REVISIONS.
REVISIONS:



9 STOP SIGN DETAIL
NO SCALE



7 TAPERED CURB DETAIL
NO SCALE



6 CONCRETE SIDEWALK
NO SCALE

BUILDING AREA DATA

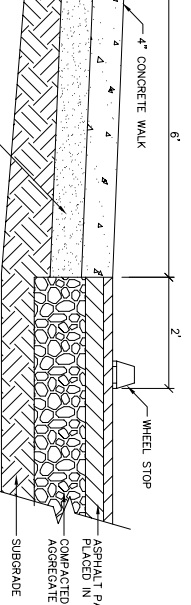
1ST FLOOR	18,290
2ND FLOOR	17,269
3RD FLOOR	17,269
4TH FLOOR	17,269
TOTAL AREA	70,299

SITE INFORMATION:
 SITE ADDRESS: 2702 CROSSROADS DRIVE
 PROPERTY AREA: AREA = 137,067 S.F. (3.15 ACRES).
 EXISTING ZONING: RPSM
 PROPOSED ZONING: RPSM
 PROPOSED USE: HOTEL
 SETBACKS: BUILDING: FRONT = 25', SIDE = 15', REAR = 30', PARKING: FRONT = 25', SIDE = 0', REAR = 0'
 PROPOSED BUILDING HEIGHT: 47' 8"
 NUMBER OF STORES ABOVE GRADE: 4
 PARKING REQUIRED: 1 SPACE PER EACH LODGING ROOM (131 SPACES REQ.)
 PARKING PROVIDED: 131 SPACES (5 H.C. ACCESSIBLE)
 HANDICAP STALLS REQUIRED: 5, HANDICAP STALLS PROVIDED: 5
 HOURS OF OPERATION: 24 HOURS - 7 DAYS A WEEK
 NUMBER OF BICYCLE STALLS SHOWN = 2 (1 PER 20 EMPLOYEES REQUIRED, 12 EMPLOYEES PROPOSED, MIN. OF 2 STALLS REQUIRED)
 SITE SOIL TYPE: RNB
 DISTRIBUTED AREA: 124,726 S.F. (2.86 ACRES)
 UTILITY CONTACTS: ELECTRICAL & GAS - MG&E (608) 282-7373
 WATER & SEWER - MADISON WATER UTILITIES (608) 266-4651
 BUILDING FLOOR AREA TO SITE AREA RATIO: 0.51
 DISTANCE TO NEAREST INTERSECTION: 387' (WALL STREET)

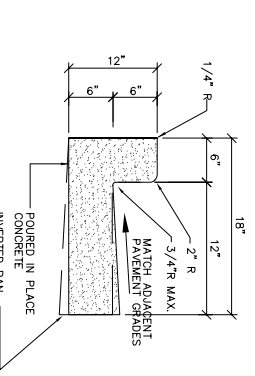
PROPOSED SITE DATA

PROJECT SITE	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	3.15	137,067	13.6%
PARKING (ASP. & CONC.)	0.43	18,790	38.1%
LANDSCAPE/OPEN SPACE	1.20	52,188	38.1%
TOTAL	1.52	66,099	48.3%

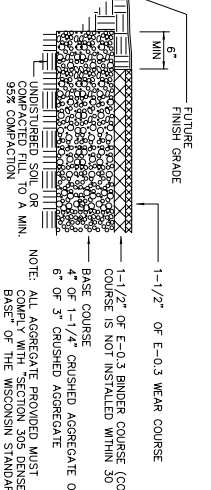
NOTES:
 1. 4" WIDE STRIPING FOR PARKING STALLS, TRAFFIC LANE, AND NO PARKING AREAS. YELLOW PAINT MARKINGS FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGE.
 2. ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES



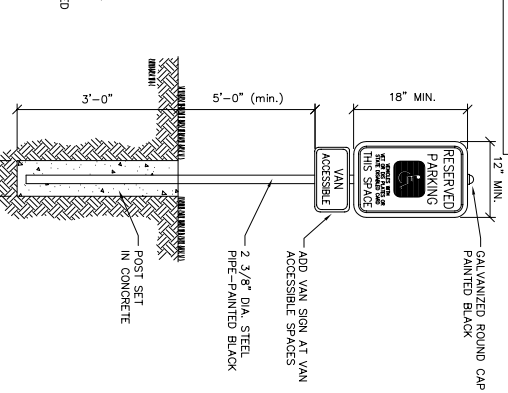
5 PARKING/WALK DETAIL
NO SCALE



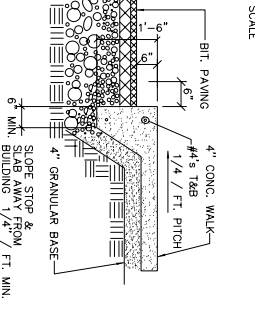
2 18" CONCRETE CURB & GUTTER DETAIL
NO SCALE



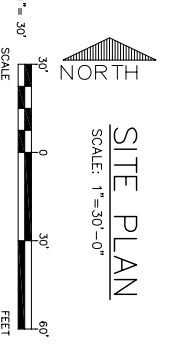
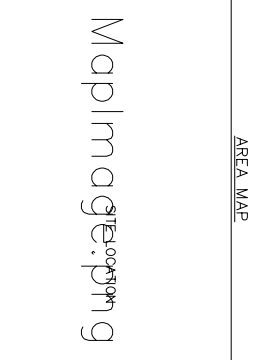
1 STANDARD ASPHALT PAVING DETAIL
NO SCALE



4 HANDICAP SIGNAGE DETAIL
NO SCALE



3 RAISED WALK DETAIL
NO SCALE



<p>PROJECT: FAIRFIELD INN & SUITS 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718</p>	<p>OWNER: RAYMOND MANAGEMENT CO. 8333 GREENWAY BLVD., SUITE 200 MIDDLETON, WI 53562</p>	<p>EXCEL ENGINEERING INC.</p>	<p>100 CAMELOT DRIVE FOND DU LAC, WI 54935 PHONE: (920) 926-9800 FAX: (920) 926-9801</p>	<p>SHEET ISSUE: JANUARY 23, 2008</p>
				<p>REVISIONS: SEE THIS SHEET TO CONFORM TO THE LATEST REVISIONS FOR CONSTRUCTION</p>
<p>DATE: JAN. 23, 2008 DESIGN NO.: 712140 SHEET: C1.1</p>	<p>2007 © EXCEL ENGINEERING INC.</p>	<p>SCALE: 1" = 30'-0"</p>		

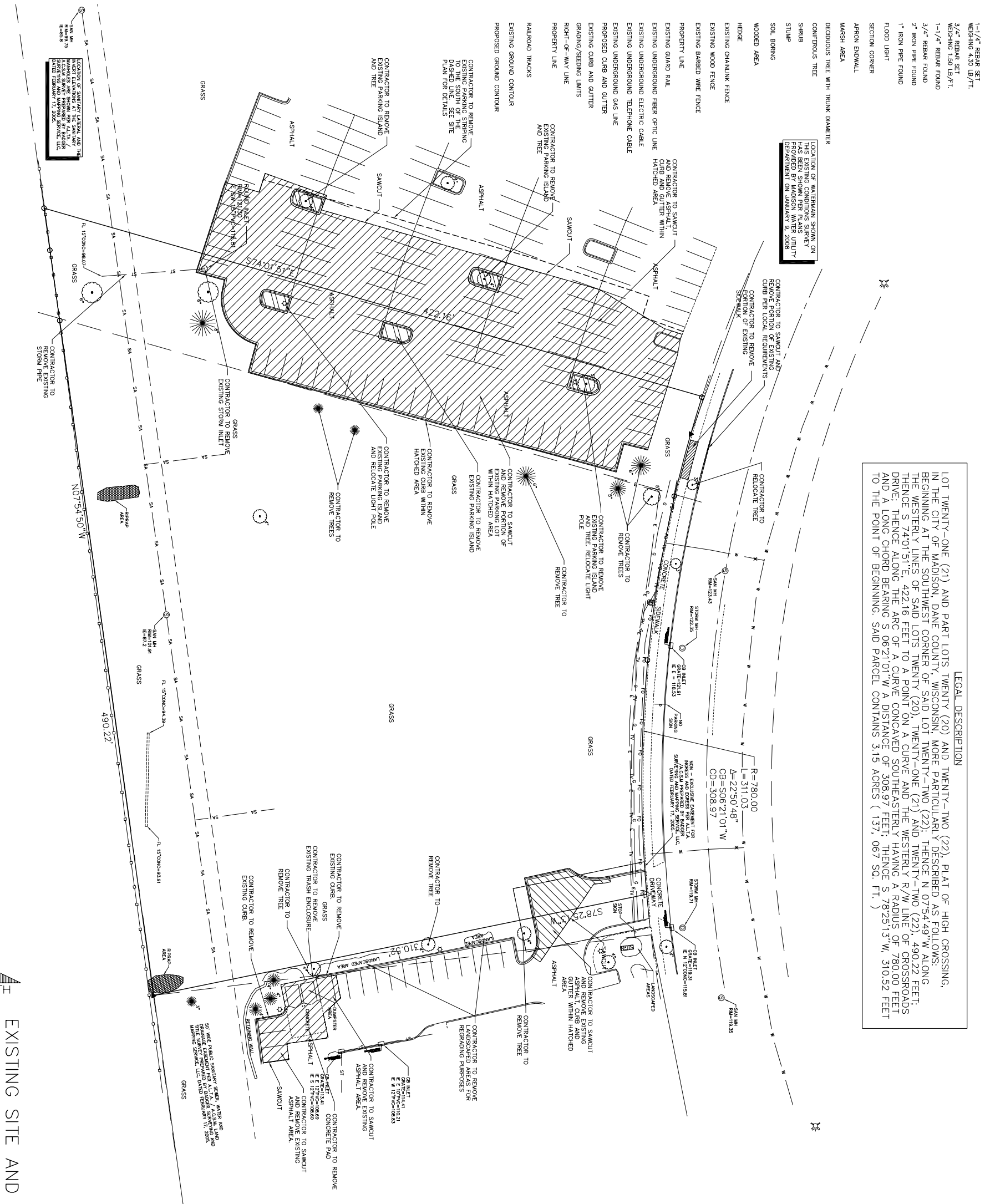
LEGEND:

- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS (TOP OF CURB HEAD, BOTTOM OF CURB HEAD)
- PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)
- PROPOSED SPOT ELEVATIONS (TOP OF RETAINING WALL, TOP OF GRADE AT BOTTOM OF RETAINING WALL)
- WATER VALVE IN BOX
- WATER VALVE IN MANHOLE
- WATER SERVICE VALVE
- TELEPHONE MANHOLE
- EXISTING SQUARE CATCH BASIN
- EXISTING SQUARE CATCH BASIN
- EXISTING CURB INLET
- PROPOSED CURB INLET
- UTILITY POLE
- UTILITY POLE WITH GUY WIRE
- STREET LIGHT
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- ELECTRIC BOX
- CABLE TV PEDESTAL
- ORANGE DRAINAGE FLOW
- PROPOSED DRAINAGE FLOW
- WELL
- EXISTING LIGHT POLE
- EXISTING SIGN
- CENTER LINE
- HANDICAP PARKING STALL
- GAS VALVE
- EXISTING STORM SEWER AND MANHOLE
- PROPOSED STORM SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- PROPOSED SANITARY SEWER AND MANHOLE
- EXISTING WATER LATERAL LINE
- EXISTING WATER LINE AND HYDRANT
- PROPOSED WATER LINE AND HYDRANT
- EXISTING OVERHEAD UTILITY LINE

TO OBTAIN LOCATION OF UTILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TELEFAX (414) 259-0947
 TDD (FOR THE HEARING IMPAIRED) 1-800-542-2289
 REQUIRES MANUAL OF 24 WORK DAYS NOTICE BEFORE YOU EXCAVATE

NOTES:
 DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING UTILITIES AND REMOVE AS NECESSARY. ALL UTILITIES OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
 CONTRACTOR TO FIELD VERIFY EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITIES AND OTHER EXISTING CONDITIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.

NOTE:
 AN UPDATED SURVEY AND TITLE SEARCH HAVE NOT BEEN AUTHORIZED AND THE BOUNDARY AND EASEMENTS SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.
 NOTE:
 EXISTING UTILITIES SHOWN ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS AND BE RESPONSIBLE FOR OBTAINING EXISTING RECORDS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SEWER AND WATER FROM THE OWNERS OF THE PROPERTY. CONTRACTOR SHALL BE NOTIFIED 72 HOURS PRIOR TO EXCAVATION.



LEGAL DESCRIPTION
 LOT TWENTY-ONE (21) AND PART LOTS TWENTY (20) AND TWENTY-TWO (22), PLAT OF HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT TWENTY-TWO (22); THENCE N. 07°54'49" W. ALONG THE WESTERLY LINE OF SAID LOTS TWENTY (20), TWENTY-ONE (21) AND TWENTY-TWO (22), 490.22 FEET; THENCE S. 4°01'51" E. 422.16 FEET TO A POINT ON A CURVE AND THE WESTERLY R/W LINE OF CROSSROADS DRIVE; THENCE ALONG THE ARC OF A CURVE CONCEALED SOUTHEASTERLY HAVING A RADIUS OF 780.00 FEET AND A LONG CHORD BEARING S. 06°21'01" W. A DISTANCE OF 308.97 FEET; THENCE S. 78°25'13" W. 310.52 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 3.19 ACRES (137, 067 SQ. FT.)

LOCATION OF WATERMAIN SIGNAL ON THIS EXISTING CONDITIONS SURVEY HAS BEEN SHOWN PER PLANS PROVIDED BY ST. JOSEPH'S UTILITY DISTRICT, MADISON, WI. 53706.

LOCATION OF EXISTING LATERAL AND THE HATCHED AREA AT THE SIGNIFY HATCHED AREA. CONTRACTOR TO REMOVE EXISTING LATERAL AND THE HATCHED AREA. CONTRACTOR TO REMOVE EXISTING LATERAL AND THE HATCHED AREA. CONTRACTOR TO REMOVE EXISTING LATERAL AND THE HATCHED AREA.



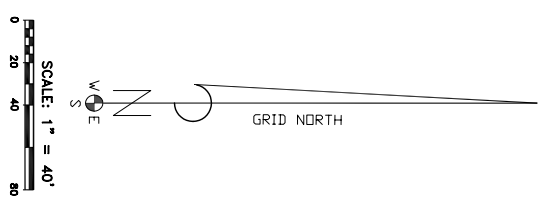
EXISTING SITE AND DEMOLITION PLAN

<p>DATE: JAN. 23, 2008 DESIGN NO.: 712140</p>	<p>PROJECT: FAIRFIELD INN & SUITS 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718</p>	<p>OWNER: RAYMOND MANAGEMENT CO. 8333 GREENWAY BLVD., SUITE 200 MIDDLETON, WI 53562</p>	<p>EXCEL ENGINEERING INC.</p> <p>100 CAMELOT DRIVE FOND DU LAC, WI 54935 PHONE: (920) 926-9800 FAX: (920) 926-9801</p>
<p>SHEET: 01.0</p>			<p>SHEET ISSUE: JANUARY 23, 2008 SEE TITLE SHEET TO CONFIRM THAT THIS SHEET HAS BEEN RELEASSED FOR CONSTRUCTION</p>

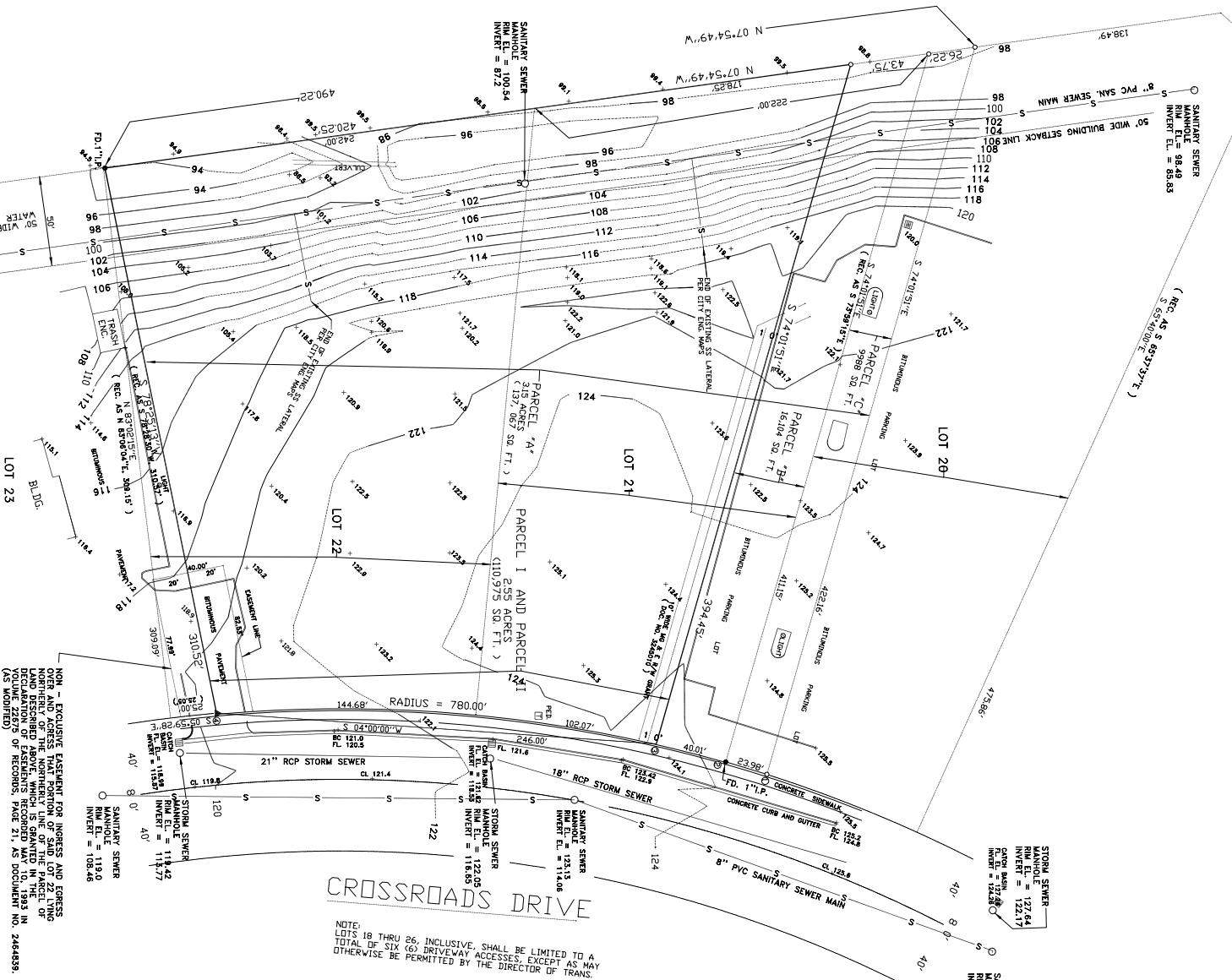
CAUTION !!
CALL DIGGERS HOTLINE
1-800-242-8511
BEFORE ANY CONSTRUCTION !

VICINITY
(NO SCALE)

INTERSTATE HIGHWAY " 90 & 94
(FORMERLY OUTLOT 1, HIGH CROSSING)
(NO VEHICULAR ACCESS)



LEGEND
FOUND IRON STAKE SIZE AND TYPE AS NOTED
SET 3/4" X 24" SOLID ROUND IRON STAKES =
SPOT ELEVATIONS
RECORDED AS INFORMATION



ALTA / ACSM LAND TITLE SURVEY

2618 - 2702 CROSSROADS DRIVE
MADISON, WISCONSIN

NOTES:
LOTS 18 THRU 26, INCLUSIVE, SHALL BE LIMITED TO A
TOTAL OF SIX (6) DRIVEWAY ACCESSES, EXCEPT AS MAY
OTHERWISE BE PERMITTED BY THE DIRECTOR OF TRANS-

NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS
NORTHERLY OF THE NORTHERLY LINE OF THE PARCEL OF
VOLUME 2529 OF RECORDS, PAGE 21, AS DOCUMENT NO. 2464839.

LEGAL DESCRIPTION (PER FIRST AMERICAN TITLE INSURANCE
COMPANY COMMITMENT NCS - 141 - 491 - MAD)
PARCEL 1, LOT TWENTY-ONE (21) HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPT
THAT PART COVERED BY DEEDS RECORDED AS DOCUMENT NO. 277044 AND 277045.
PARCEL 2, LOT TWENTY-TWO (22) HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, EXCEPT
THAT PART CONVERTED TO MIDWEST LODGING PARTNERS XII BY A DEED RECORDED AS DOCUMENT NO. 2678463.
SURVEYOR'S CERTIFICATE:
I, MARK STEVEN GERHARDT, WISCONSIN LAND SURVEYOR, S - 1983, IN AND FOR THE STATE OF WISCONSIN AND
LEGALLY DOING BUSINESS IN DANE COUNTY, DO HEREBY CERTIFY TO HIGH CROSSING LIMITED PARTNERSHIP,
THEIR SUCCESSORS AND ASSIGNS AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAN
HEREON SHOWN IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY AS DESCRIBED IN THE
DETAIL REQUIREMENTS FOR ALTA / ACSM LAND TITLE SURVEY AS ADOPTED BY THE AMERICAN LAND TITLE
ASSOCIATION, AMERICAN CONGRESS ON SURVEYING AND MAPPING AND THE NATIONAL SOCIETY OF PROFESSIONAL
SURVEYORS AND SPECIFIC CLIENT REQUIREMENTS FROM TABLE "A" OF THE NATIONAL SURVEY RESOLUTIONS
AND STATE TITLE REQUIREMENTS TABLE "A" AND "B" OF THE NATIONAL SURVEY RESOLUTIONS AND PRECISION
AND STATE TITLE REQUIREMENTS TABLE "A" AND "B" OF THE NATIONAL SURVEY RESOLUTIONS AND PRECISION
AND STATE TITLE REQUIREMENTS TABLE "A" AND "B" OF THE NATIONAL SURVEY RESOLUTIONS AND PRECISION
AND STATE TITLE REQUIREMENTS HAVE BEEN MODIFIED TO MEET THE CURRENT ANGULAR AND LINEAR
AND IN EFFECT ON THE DATE OF THIS CERTIFICATION OF AN "URBAN SURVEY".
THE PARTIES IN THE FIRST PARAGRAPH OF THIS CERTIFICATE ARE ENTITLED TO RELY ON THE SURVEY AND THIS
CERTIFICATE AS BEING TRUE AND ACCURATE.
THE UNDERSIGNED HAS RECEIVED AND EXAMINED A COPY OF FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NCS-141-491-491 AND THE LOCATION OF FIRST AMERICAN TITLE INSURANCE COMPANY
BE LOANED HAS BEEN SHOWN ON THIS SURVEY WITH THE APPROPRIATE RECORDING REFERENCE.
REGISTRATION NO. S - 1983
DATE OF SURVEY: FEBRUARY 17, 2005

LEGAL DESCRIPTION PARCELS A, B, AND C TO BE CONVEYED AND ACCOUNTED FOR AT A LATER DATE.

PARCEL "A"
LOT TWENTY-ONE (21) AND PART LOTS TWENTY (20) AND TWENTY-TWO (22), PLAT OF HIGH CROSSING,
IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT TWENTY-TWO (22); THENCE N 07°54'49"W ALONG
THE WESTERLY LINE OF SAID LOT TWENTY-TWO (22) A DISTANCE OF 422.16 FEET TO A POINT ON A CURVE
THENCE S 74°01'51"W, 422.16 FEET TO A POINT ON A CURVE AND THE WESTERLY R/W LINE OF CROSSROADS
DRIVE; THENCE ALONG THE ARC OF A CURVE CONCAVED SOUTHEASTERLY HAVING A RADIUS OF 780.00 FEET
AND A LONG CHORD BEARING S 06°21'01"W A DISTANCE OF 308.97 FEET; THENCE S 78°51'31"W, 310.52 FEET
TO THE POINT OF BEGINNING, SAID PARCEL CONTAINS 315 ACRES (137, 067 SQ. FT.)
PARCEL "B"
A PART OF LOT TWENTY-ONE (21), PLAT OF HIGH CROSSING, IN THE CITY OF MADISON, DANE COUNTY,
WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER
OF SAID LOT TWENTY-TWO (22); THENCE N 07°54'49"W ALONG THE WESTERLY LINE OF SAID LOT TWENTY-
ONE (21) A DISTANCE OF 422.16 FEET TO A POINT ON A CURVE AND THE WESTERLY R/W LINE OF CROSSROADS
DRIVE; THENCE ALONG THE ARC OF A CURVE CONCAVED SOUTHEASTERLY HAVING A RADIUS OF 780.00 FEET
AND A LONG CHORD BEARING S 06°21'01"W A DISTANCE OF 308.97 FEET; THENCE N 74°01'51"W, 422.16 FEET
TO THE POINT OF BEGINNING, SAID PARCEL CONTAINS 0.37 ACRES (9988 SQ. FT.)

CURVE NO.	RADIUS	CENTRAL ANGLE	LONG CHORD BEARING	DISTANCE
1 - 2	780.00'	01°45'41"	S 16°53'35"W	23.98'
2 - 3	780.00'	02°56'21"	S 14°32'34"W	40.01'
3 - 4	780.00'	18°08'46"	S 04°00'00"W	246.00'
1 - 4	780.00'	22°50'49"	S 06°21'01"W	308.97'

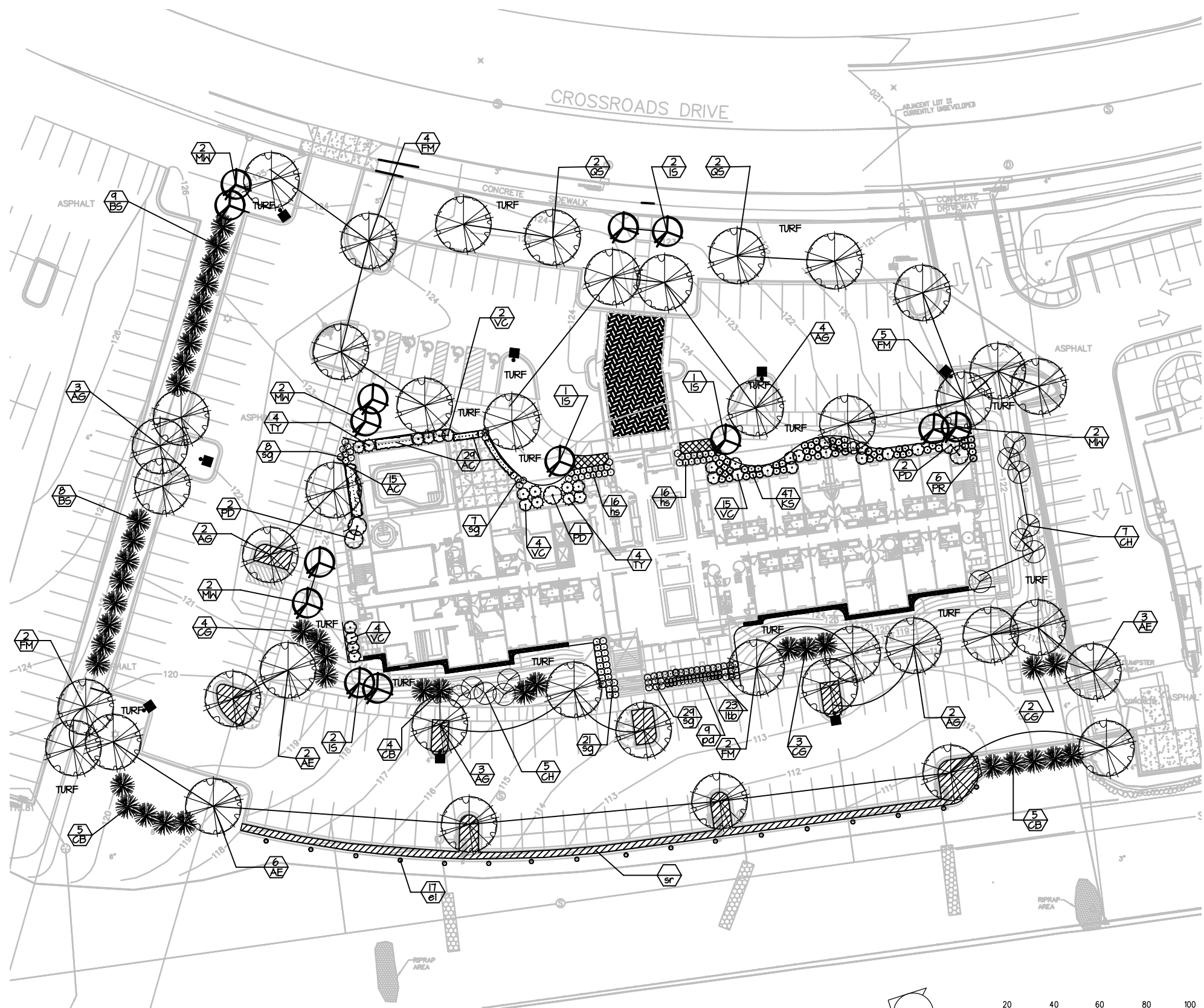
NOTES:
1) DRAINAGE SWALE REQUIREMENT AS NOTED ON THE PLAT OF HIGH CROSSING.
2) THIS PROPERTY IS SUBJECT TO THE FOLLOWING:
a) COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DDC NO. 2309109.
b) COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DDC NO. 2370426.
c) COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DDC NO. 2464838
AMENDED BY DDC NO. 2489317 AND RECORDED AS DDC NO. 2584532.
3) SUBJECT PROPERTY IS ZONED RESEARCH PARK SPECIALIZED MANUFACTURING
(RSPM) PER THE CITY OF MADISON ZONING DEPARTMENT.
4) FROM YARD SETBACK = 25 FEET OR 20 % OF BUILDING HEIGHT
REAR YARD SETBACK = 30 FEET OF 45 % OF BUILDING HEIGHT
FLOOD AREA RATIO SHALL NOT EXCEED 1 (BLDG. SQ. FOOTAGE CAN NOT EXCEED 1
TIMES THE LOT AREA)

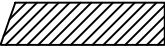


4) UTILITIES ARE SHOWN PER ON-SITE OBSERVATION IN ACCORDANCE WITH MAPS PROVIDED
BY THE CITY OF MADISON ENGINEERING DEPARTMENT AND MADISON GAS & ELECTRIC COMPANY.

PREPARED FOR:
T. WALL
P.O. BOX 7700
MADISON, WISCONSIN 53707 - 7700

BADGER SURVEYING AND MAPPING SERVICE, LLC
2700 INTERNATIONAL LANE, SUITE 111, MADISON, WISCONSIN 53704
PHONE: 608-261-4375
FAX: 608-261-4376
WWW.BADGERMAPPING.COM
DATE: FEBRUARY 17, 2005
DRAWN BY: M. S. GERHARDT
CHECKED BY: M. S. GERHARDT

ALTA / ACSM LAND TITLE SURVEY
DRAWING NUMBER
5G - 12



-  = Sedum reflexum groundcover
-  = Aluminum edging w/solid weed barrier fabric and washed stone mulch to match foundation.
-  = Annual flowers by owner

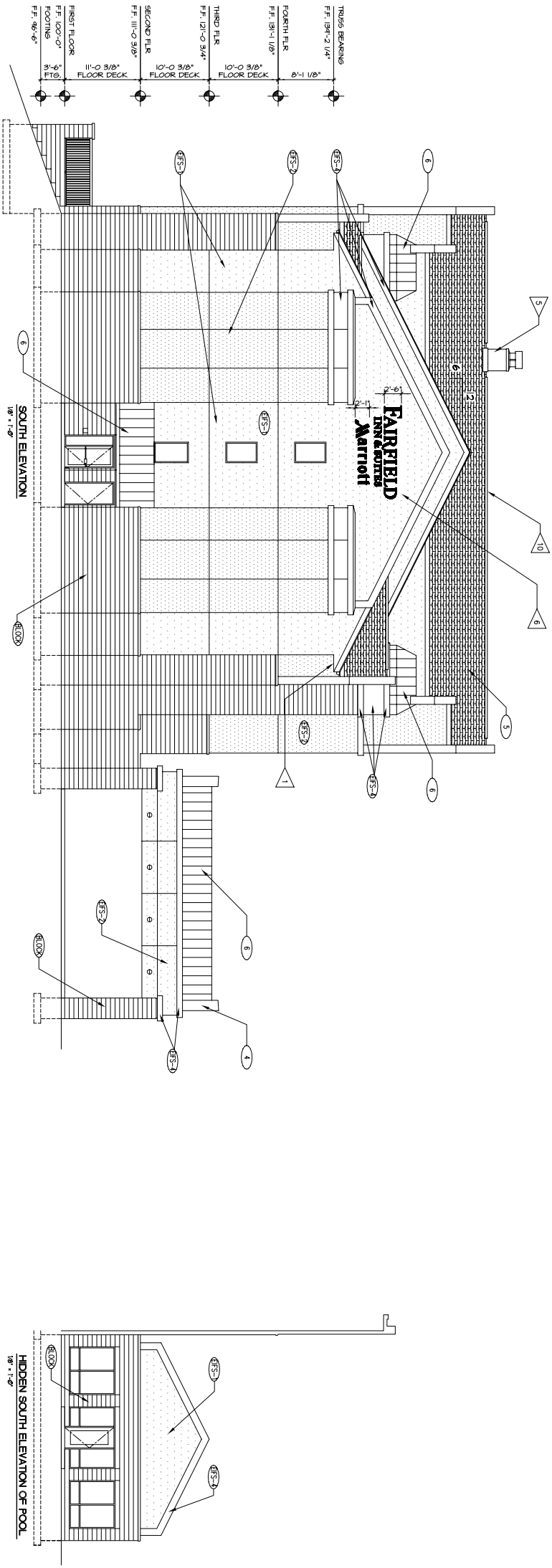
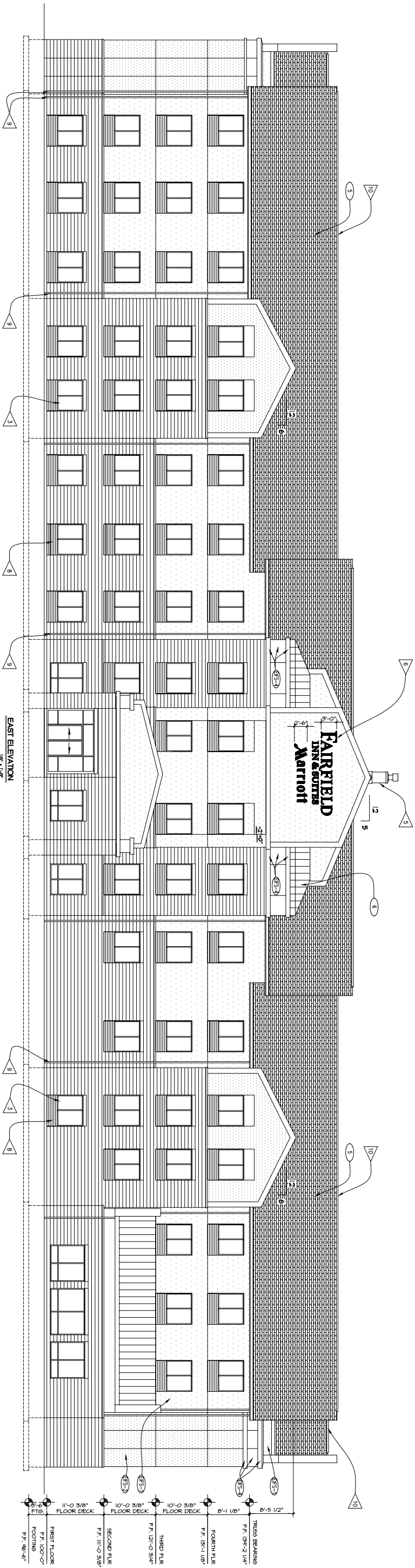
Fairfield Inn & Suites REPRESENTATIVE PLANT LIST						
key	botanical name	common name	size	root cond.	quant.	remarks
canopy trees						
FM	<i>Acer x freemanii</i> 'Morgan'	Morgan Maple	2 1/2" Cal.	BB	13	
AG	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	2 1/2" Cal.	BB	14	
OS	<i>Quercus x shuettei</i>	Hybrid Oak	2 1/2" Cal.	BB	4	
AE	<i>Ulmus japonica x wilsoniana</i> 'Morton'	Accolade Elm	2 1/2" Cal.	BB	11	
Intermediate ornamental trees						
MW	<i>Carpinus caroliniana</i>	Musclewood	1 1/2" Cal.	BB	8	single trunk
CH	<i>Crataegus crus galli</i>	Cockspur Hawthorn	5' Ht.	BB	12	multi-stemmed
IS	<i>Malus</i> 'Indian Summer'	Indian Summer Crabapple	1 1/2" Cal.	BB	6	single trunk
PD	<i>Cornus altemifolia</i>	Pagoda Dogwood	5' ht.	BB	5	multi-stemmed
evergreen trees						
BS	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	48" Ht.	BB	17	
CG	<i>Picea pungens</i>	Green Colorado Spruce	48" Ht.	BB	9	
CB	<i>Picea pungens glauca</i>	Blue Colorado Spruce	48" Ht.	BB	14	
evergreen and deciduous shrubs						
TY	<i>Taxus x media</i> 'tauntonii'	Tuanton Yew	18-24"	BB	8	
PR	<i>Rhododendron</i> P.J.M.	PJM Rhododendron	24" Ht.	BB	6	
AC	<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant	24" Ht.	BB	44	trim as hedge
KS	<i>Symphoricarpos x doorenbosii</i> 'Kordes'	Kordes Amethyst Snowberry	24" Ht.	BB	47	
VC	<i>Viburnum carlesii</i> 'Compactum'	Compact Korean Spice Viburnum	24" Ht.	BB	25	
ground covers / ornamental grass / perennials						
hs	<i>Hosta</i> 'Sagae'	Hosta	1 gal.	cont.	32	
sg	<i>Panicum virgatum</i> 'NorthWind'	Northwind Switch Grass	1 gal.	cont.	65	
ei	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	1 gal.	cont.	17	
lb	<i>Schizachyrium scoparium</i>	Little Blue Stem	1 gal.	cont.	21	no cultivars
sr	<i>Sedum reflexum</i>	Reflexum Stonecrop	24"/flat	cont.	2082	
pd	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	cont.	9	no cultivars

City of Madison - Landscape Worksheet		Fairfield Inn & Suites			
Number of Parking Stalls					145
Total Sq. Footage of Storage Area					0
Number of Canopy Shade Trees					11
Required - 2" - 2 1/2" cal.					634
No. of Landscape Points Required					0
Points for Loading Area Required					634
Number of Points Required					
		Credits			
Element	Point Value	Quantity	Achieved	Quantity	Points
Canopy Tree: 2" - 2 1/2"	35	31	1085		1085
Deciduous Shrub	2	135	270		270
Evergreen Shrub	3	8	24		24
Decorative Wall or Fence (per 10 L.F.)	5	320LF	135		135
Earth Berm (per 10 L.F.)			0	0	0
Avg. Height 30"	5				
Avg. Height 15"	2				
Evergreen Trees 3' height minimum	15	40	600		600
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15	31	465		465
Sub-Totals			2579	Total Points	2579

KEN SAIKI
DESIGN INC
LANDSCAPE CONSULTANTS
303 S. PATERSON SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600
Fax: 608 251-9330
www.ksd-la.com

PROJECT: **FAIRFIELD INN & SUITES**
CROSSROADS DRIVE MADISON, WISCONSIN
CLIENT: **RAYMOND MANAGEMENT COMPANY**
8533 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53562

LANDSCAPE PLAN

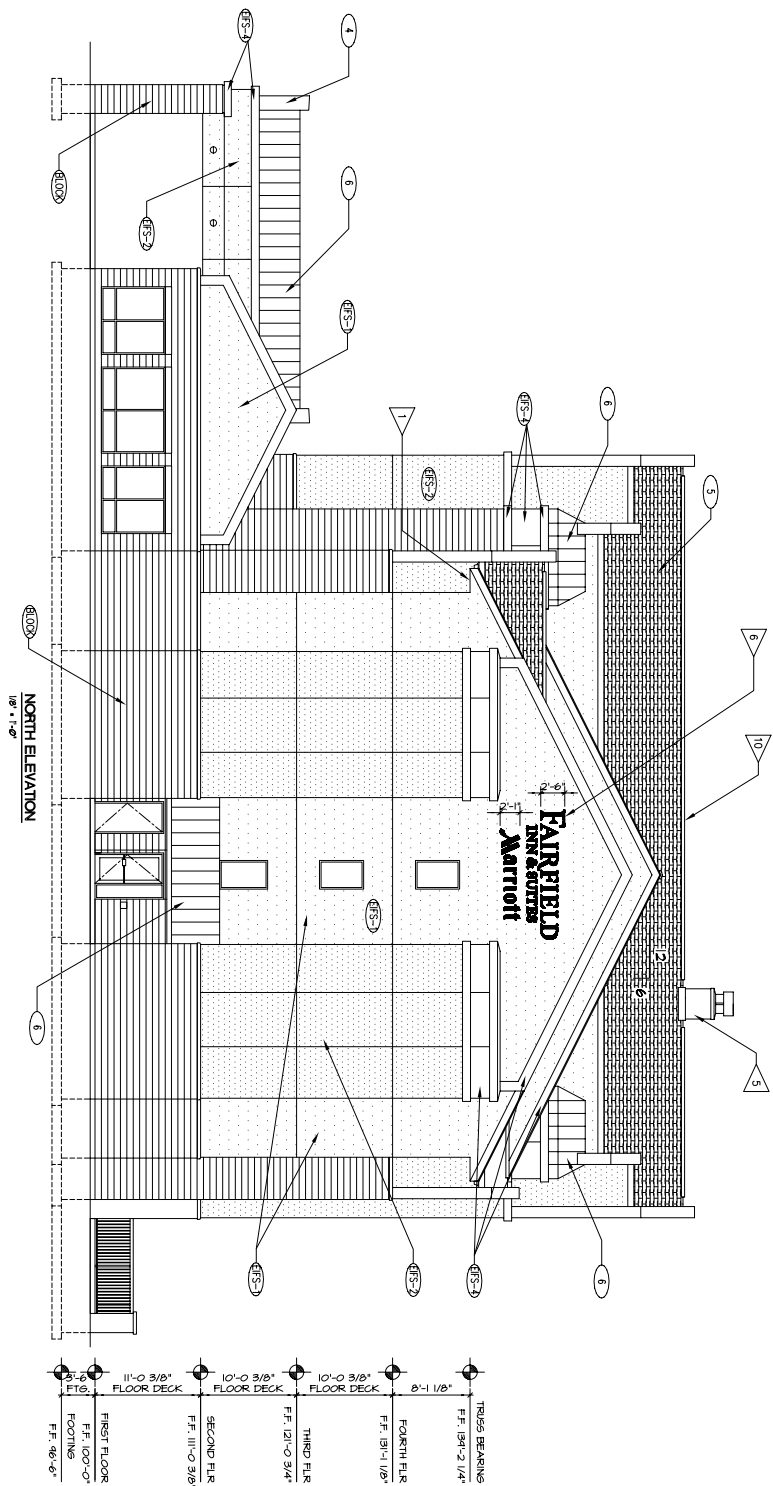


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 PROJECT: 200640
 CAD FILE: 601-200640.DD
 DRAWN BY: DD
 DATE: 01/23/08

PROJECT:
FAIRFIELD INN & SUITES by Marriott
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 CLIENT:
RAYMOND MANAGEMENT COMPANY
 8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53562

CARY BRINK & ASSOCIATES
 ARCHITECTS
 8401 EXCELSIOR DRIVE
 MADISON, WI 53717
 608-829-3056
 608-829-3056 (FAX)





Item	Material	COLOR	GENERAL NOTES
ROOFING	SMINKLES (3)	ANTIQUE SLATE	
GUTTERS	ALUMINUM	WHITE	5
DOWNSPOUTS	ALUMINUM	WHITE	3, 5
FASCIA	ALUMINUM	WHITE	6
SHEATH	VENTED ALUMINUM	WHITE	
WINDOWS	ALUMINUM OR VINYL	WHITE	
DOORWAY	ELF.S. FINISH COAT	ELF.S.-1	
CEILING AT ENTRIES	ELF.S. FINISH COAT / ALUMINUM	ELF.S.-4	
POOL FENCE	SPLIT FACE CMU / ALUMINUM	VARIES	
HVAC GRILLS	ALUMINUM	VARIES	8
RAKE TRAIL	WOOD W/ METAL	WHITE	6
METAL ROOF	METAL	CHARCOAL GREY	
PAINT COORDINATE CORNER	METAL	WHITE	

Graphic	Exterior Wall System	ALTERNATE BRICK
	ELF.S. - AUTO DRAIN FOR WOOD WHITE REFER TO DESIGN SPECIFICATIONS EXTERIOR FINISH INDEX	
	ELF.S.-2 - AUTO DRAIN FOR VERTICAL LACE REFER TO DESIGN SPECIFICATIONS EXTERIOR FINISH INDEX	
	ELF.S.-3 - AUTO DRAIN VERTICAL REFER TO DESIGN SPECIFICATIONS EXTERIOR FINISH INDEX	
	ELF.S.-4 - ARCHITECTURAL SPLIT FASD BLOCK	
	ELF.S.-5 - AUTO DRAIN FOR WHITE WHITE - ONE EXTERIOR	

Graphic	PTAC Grille and Integral Frames
	PTAC GRILLE WITH ARCHITECTURAL LINDER - WHITE TO MATCH WINDOW COLOR

- GENERAL NOTES**
1. FOR EXTERIOR FINISHES SEE EXTERIOR FINISH INDEX IN PROJECT SPECIFICATIONS.
 2. DOWNSPOUT ROOF AND DRESSED PORTION OF UNDERSPACING STORM SEWER PIPE TO BE PAINTED TO MATCH DOWNSPOUT.
 3. GUTTERS SHALL BE PREFINISHED ALUMINUM WITH MINIMUM THICKNESS OF .022. BEVELD PROFILE. SIZED AS REQ'D (24" MIN) W/ HIGHER BACK & NON-CORROSE LEAF SCREEN. DOWNSPOUTS SHALL BE PREFINISHED ALUMINUM W/ MINIMUM THICKNESS OF .027. SIZED AS REQ'D. (3" x 4" MIN.).
 4. COLOR TO MATCH PRE-FINISHED GUTTERS COLOR.
 5. PAINT ALL ROOF TOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ROOF.
 6. ALL DOWNERS AND HVAC GRILLES' COLOR TO MATCH ADJACENT MATERIAL COLOR EXCEPT WHERE NOTED.
 7. -
 8. -
 9. -
 10. -
 11. -
 12. -
 13. ALL ROOF PENETRATIONS ARE TO BE LOCATED ON THE REAR ELEVATION ROOF UNLESS NOTED OTHERWISE.
 14. -
 15. -
- CRITERIA NOTES**
1. NOT USED
 2. 1/2" V JOINT IN EPS (19)
 3. WINDOWS (TYPICAL)
 4. 6"-0" WIDE, C-301
 5. MECH. LOUVER
 6. 22-GAUGE SHEET METAL COP ON ALL
 7. FINISHES INTERNALLY ILLUMINATED BUILDING BY OTHERS - CONTRACTOR TO PROVIDE POWER TO J-BOX
 8. EPS RECESS TO MATCH WINDOW SIZE
 9. -
 10. -
 11. -
 12. -
 13. -
 14. -
 15. -

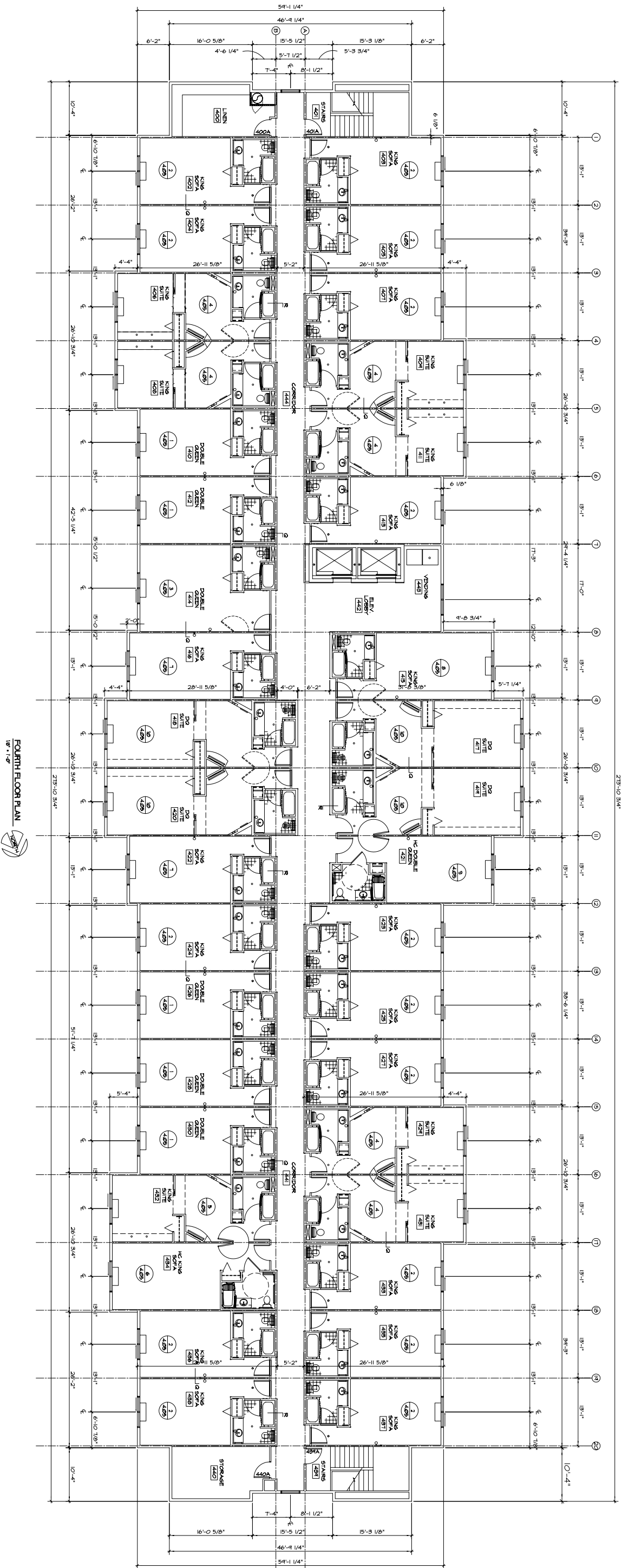


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 PROJECT: 601-200640
 CAD FILE: 601-200640.DD
 DRAWN BY: DD
 DATE: 01/23/08

PROJECT:
FAIRFIELD INN & SUITES by Marriott
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 CLIENT:
RAYMOND MANAGEMENT COMPANY
 8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53562

CARY BRINK & ASSOCIATES
 ARCHITECTS
 8401 EXCELSIOR DRIVE
 MADISON, WI 53717
 608-829-3056 (TEL)
 608-829-3056 (FAX)





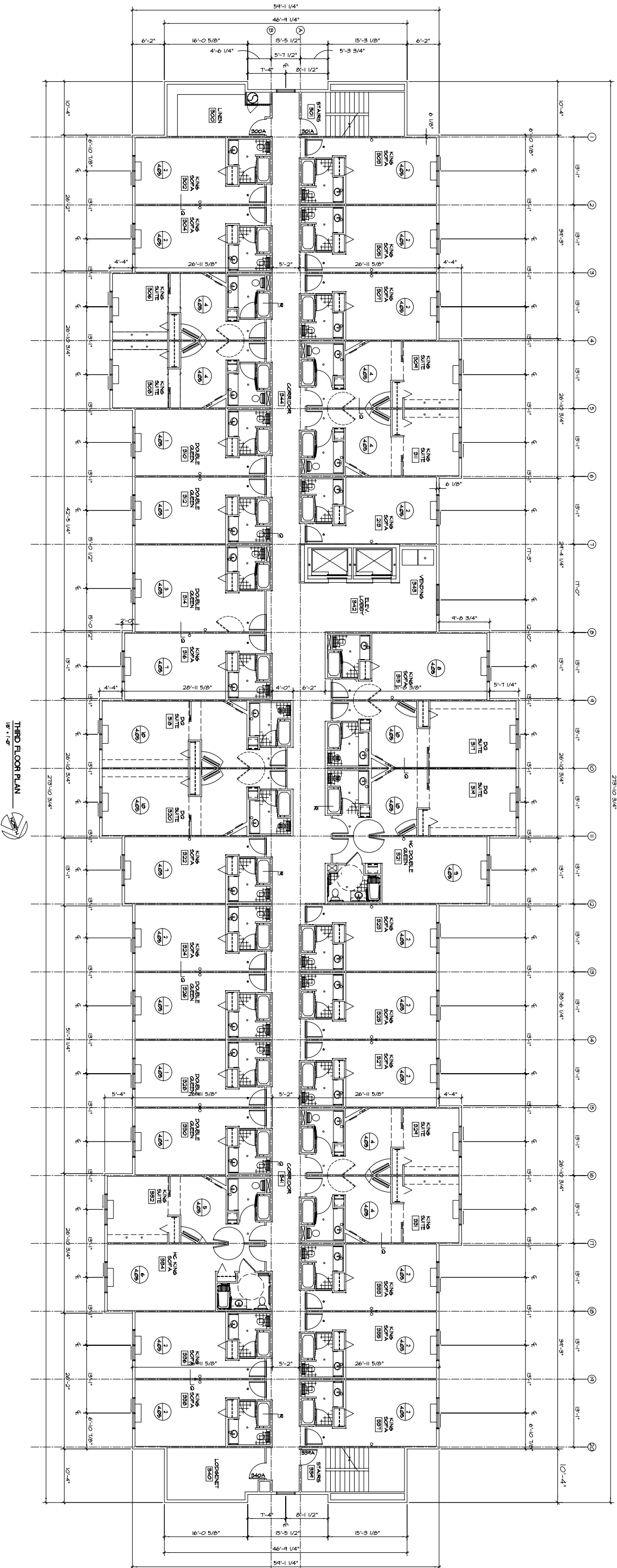
FOURTH FLOOR PLAN
1/8" = 1'-0"

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 PROJECT: CAD FILE: 404-200640
 DRAWN BY: DATE: 01/23/08

PROJECT:
FAIRFIELD INN & SUITES by Marriott
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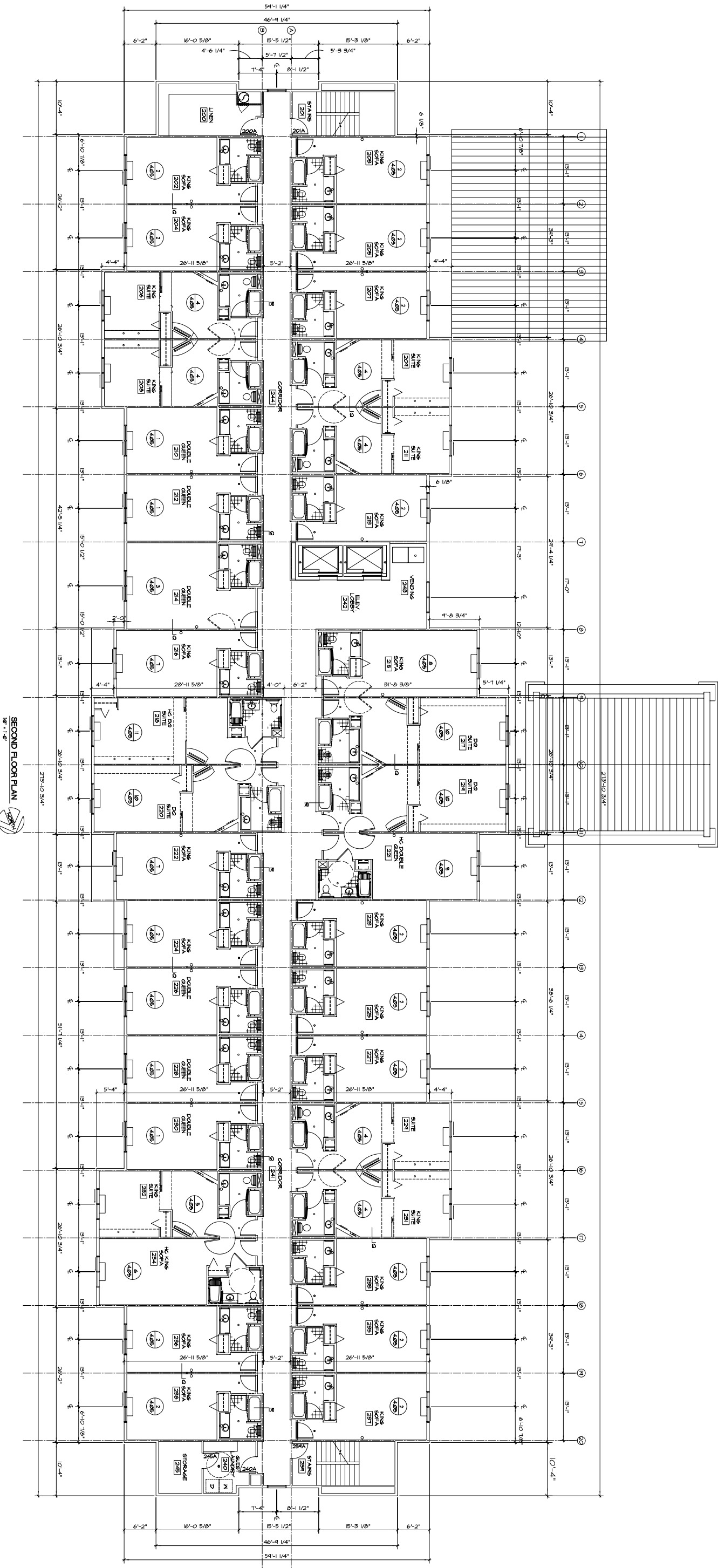
THIRD FLOOR PLAN
1/8" = 1'-0"

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 PROJECT: 403-200640
 CAD FILE: 403-200640.DD
 DRAWN BY: OI/23/08
 DATE:

PROJECT:
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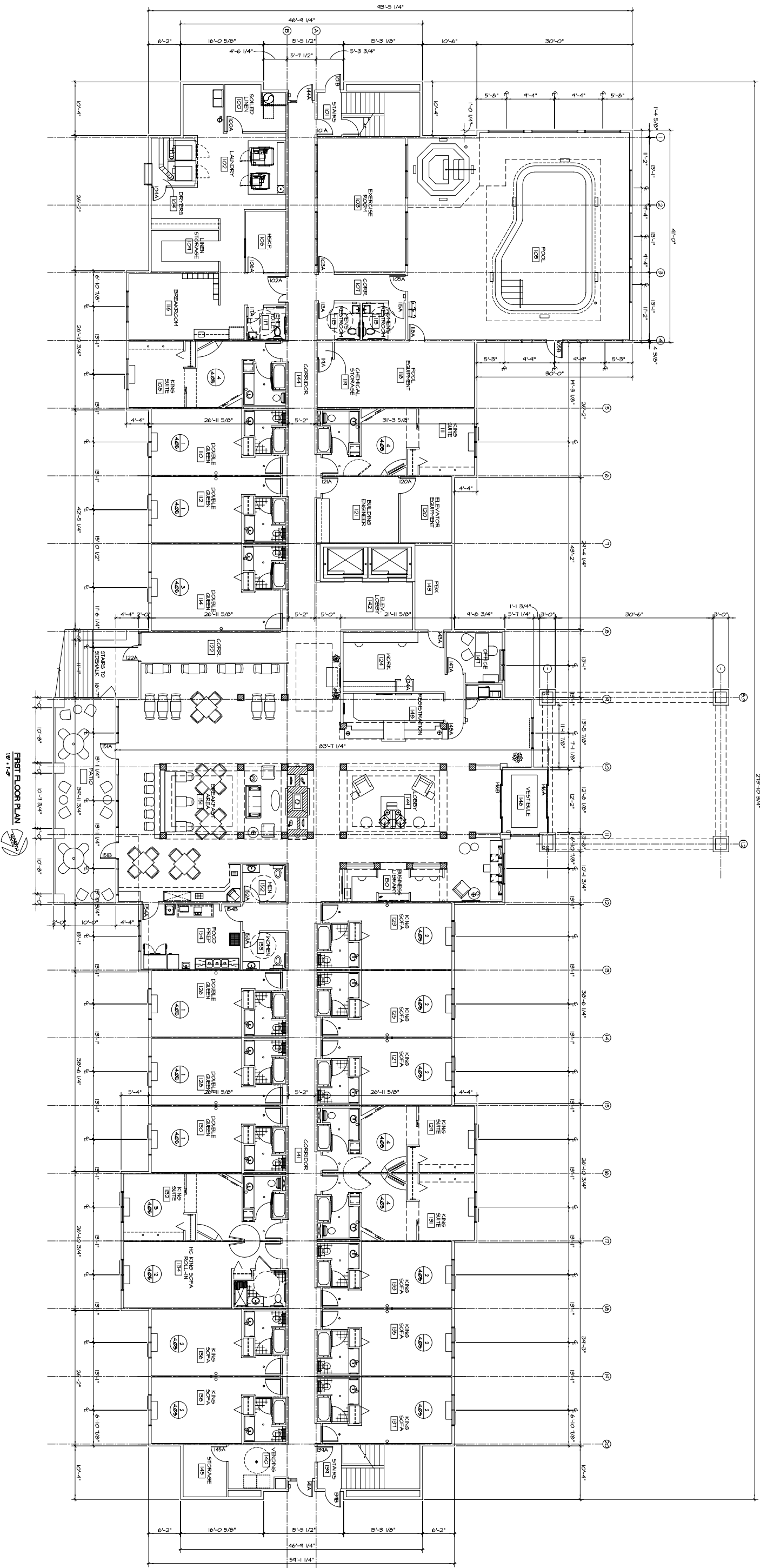
SECOND FLOOR PLAN
1/8" = 1'-0"

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 PROJECT: 200640
 CAD FILE: 402-200640
 DRAWN BY: DD
 DATE: 01/23/08

PROJECT:
FAIRFIELD INN & SUITES by Marriott
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 CLIENT:
RAYMOND MANAGEMENT COMPANY
 8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53562

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 ARCHITECTS
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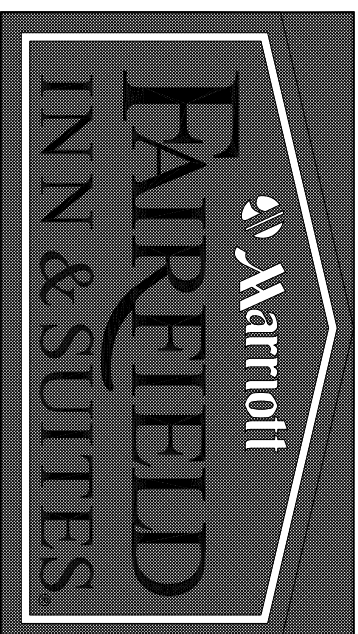
FIRST FLOOR PLAN
1/8" = 1'-0"

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 PROJECT: 401-200640
 CAD FILE: 401-200640.DD
 DRAWN BY: DJZ/BOB
 DATE: 01/23/08

PROJECT:
FAIRFIELD INN & SUITES by Marriott
 2702 CROSSROADS DRIVE MADISON, WISCONSIN 53718
 CLIENT:
RAYMOND MANAGEMENT COMPANY
 8333 GREENWAY BLVD., SUITE 2000 MIDDLETON, WISCONSIN 53562

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2702 CROSSROADS DRIVE MADISON, WISCONSIN

SHEET INDEX

COVER SHEET & PROJECT CONTACTS

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C1.2 GRADING & EROSION CONTROL PLAN

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6.01 EXTERIOR ELEVATIONS

6.02 EXTERIOR ELEVATIONS

DEVELOPER :

RAYMOND MANAGEMENT CO.
8333 GREENWAY BLVD, SUITE 2000
MIDDLETON, WISCONSIN 53562
PHONE: 608-682-8334
FAX: 608-682-8335
PRINCIPAL CONTACT: BARRY PERKEL

CIVIL ENGINEER:

EXCEL ENGINEERING
100 CAMELOT DRIVE
FOND DU LAC, WISCONSIN 54935
PHONE: 920-926-3800
FAX: 920-926-3801
PRINCIPAL CONTACT: JASON DAYE

SITE LIGHTING DESIGNER :

TOTAL ELECTRIC SERVICE, INC.
1807 WEST VETERANS PARKWAY, P.O. BOX 217
MARSHFIELD, WISCONSIN 54449
PHONE: 715-384-3311
FAX: 715-384-8167
PRINCIPAL CONTACT: DAN GOTTO

LANDSCAPE DESIGNER :

KEN SAIKI DESIGN
303 SOUTH PATERSON ST., SUITE ONE
MADISON, WISCONSIN 53703
PHONE: 608-251-3600
FAX: 608-251-2330
PRINCIPAL CONTACT: BRUCE WOODS

ARCHITECT :

GARY BRINK & ASSOCIATES, INC.
8401 EXCELSIOR DRIVE
MADISON, WISCONSIN 53717
PHONE: 608-829-1750
FAX: 608-829-3158
PRINCIPAL CONTACT: GARY BRINK



LOCATION MAP
3.15 ACRES (137,067 SQ. FT.)

JANUARY 23, 2008
JOB #200640