



knothe • bruce
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ISSUED
Land Use & UDC Submittal - February 07, 2022
Updated Land Use & UDC Submittal - May 10, 2022
Updated Land Use & UDC Submittal - Oct. 26, 2022

PROJECT TITLE
430, 432, 444
State Street

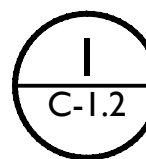
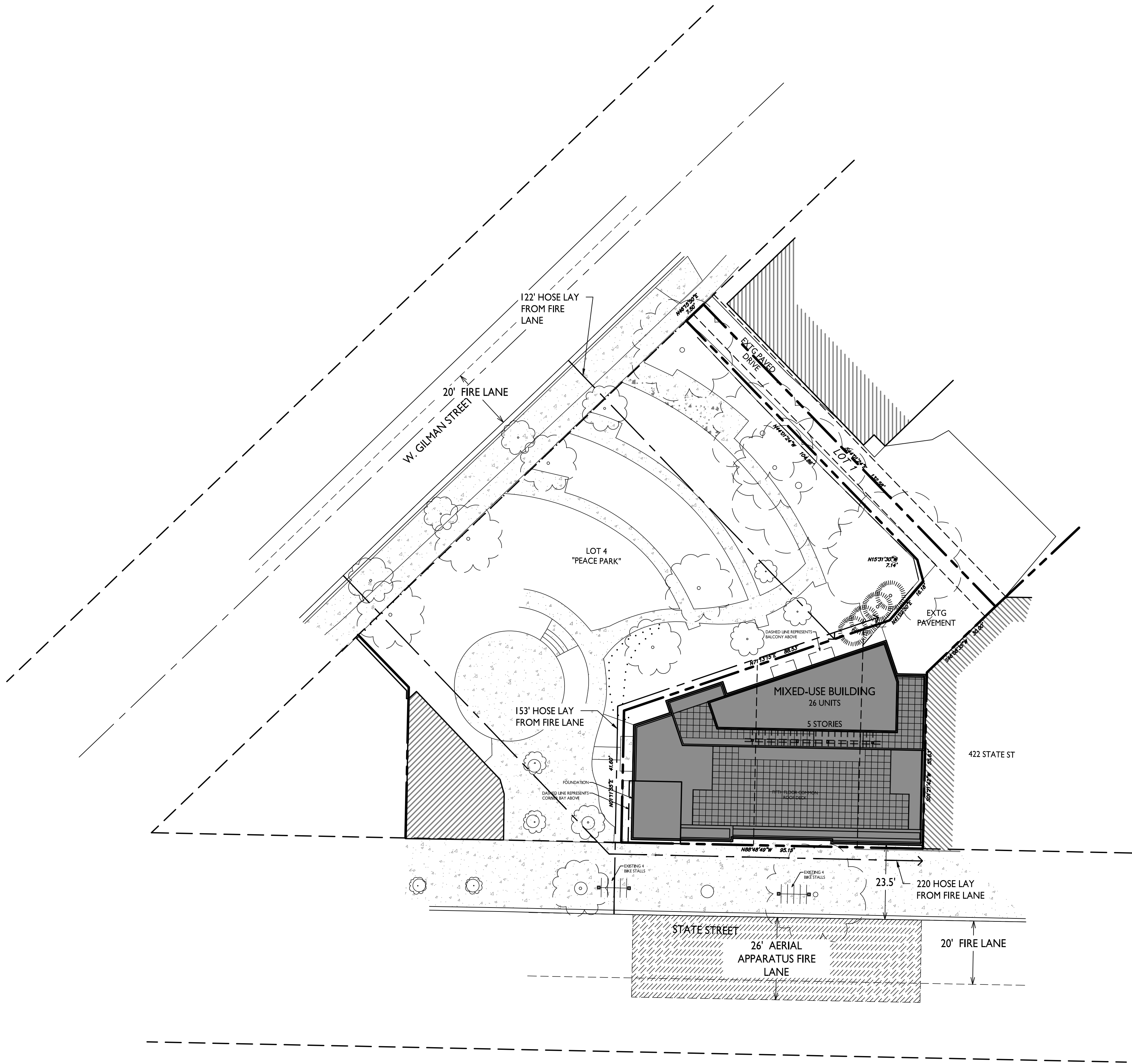
Madison, Wisconsin
SHEET TITLE
Fire Department
Access Plan

SHEET NUMBER

C-1.2

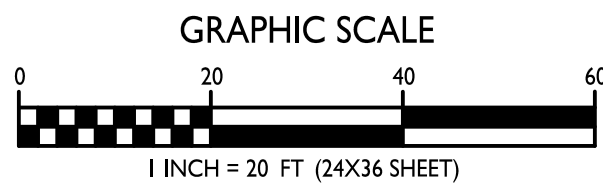
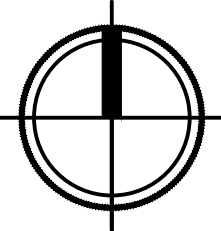
PROJECT NO. 1939

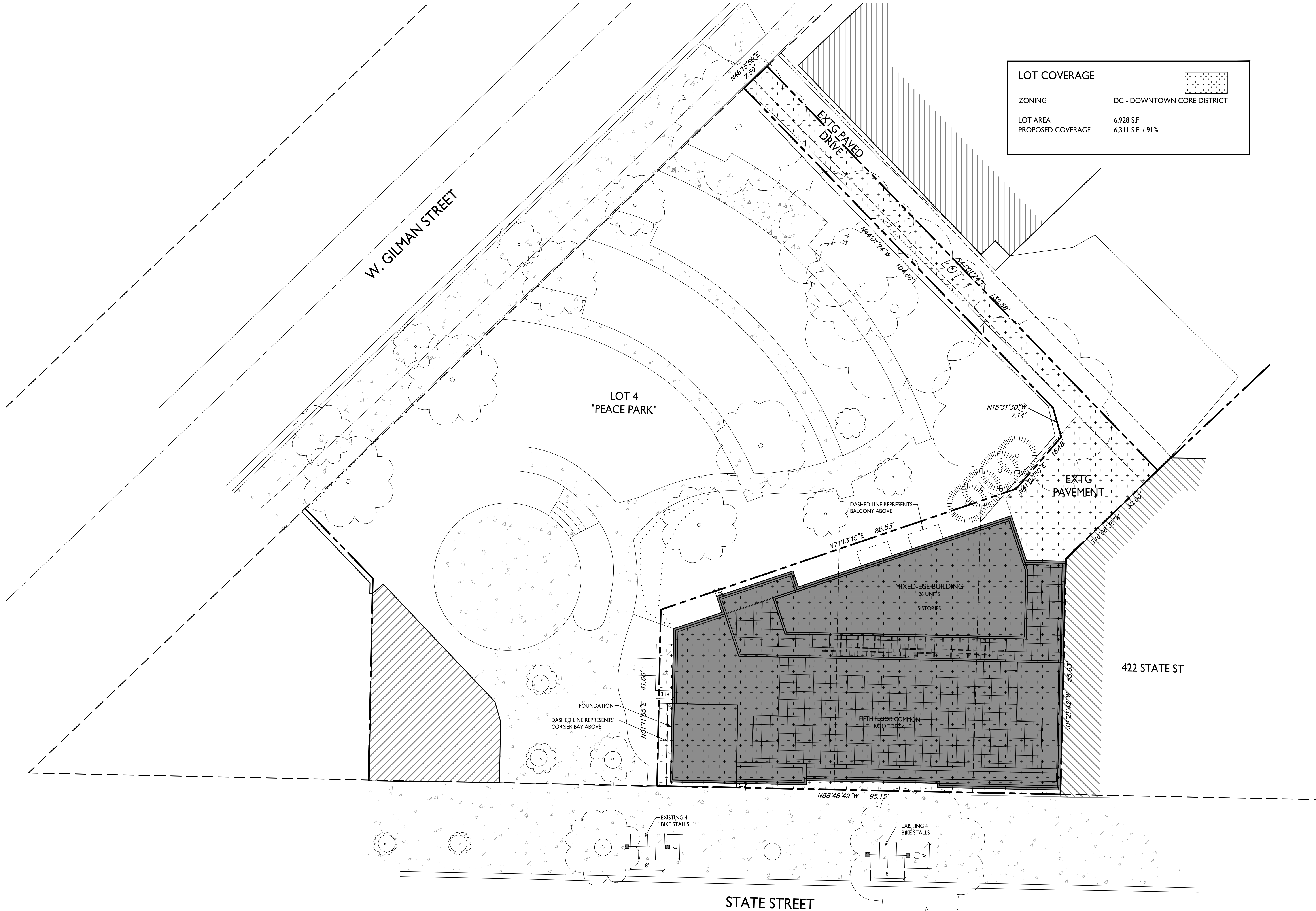
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FIRE DEPARTMENT ACCESS PLAN

1" = 20'-0"





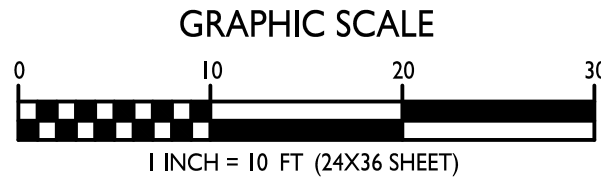
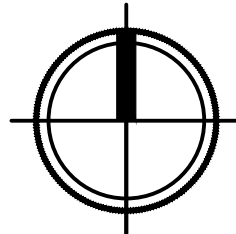
LOT COVERAGE	
ZONING	DC - DOWNTOWN CORE DISTRICT
LOT AREA	6,928 S.F.
PROPOSED COVERAGE	6,311 S.F. / 91%

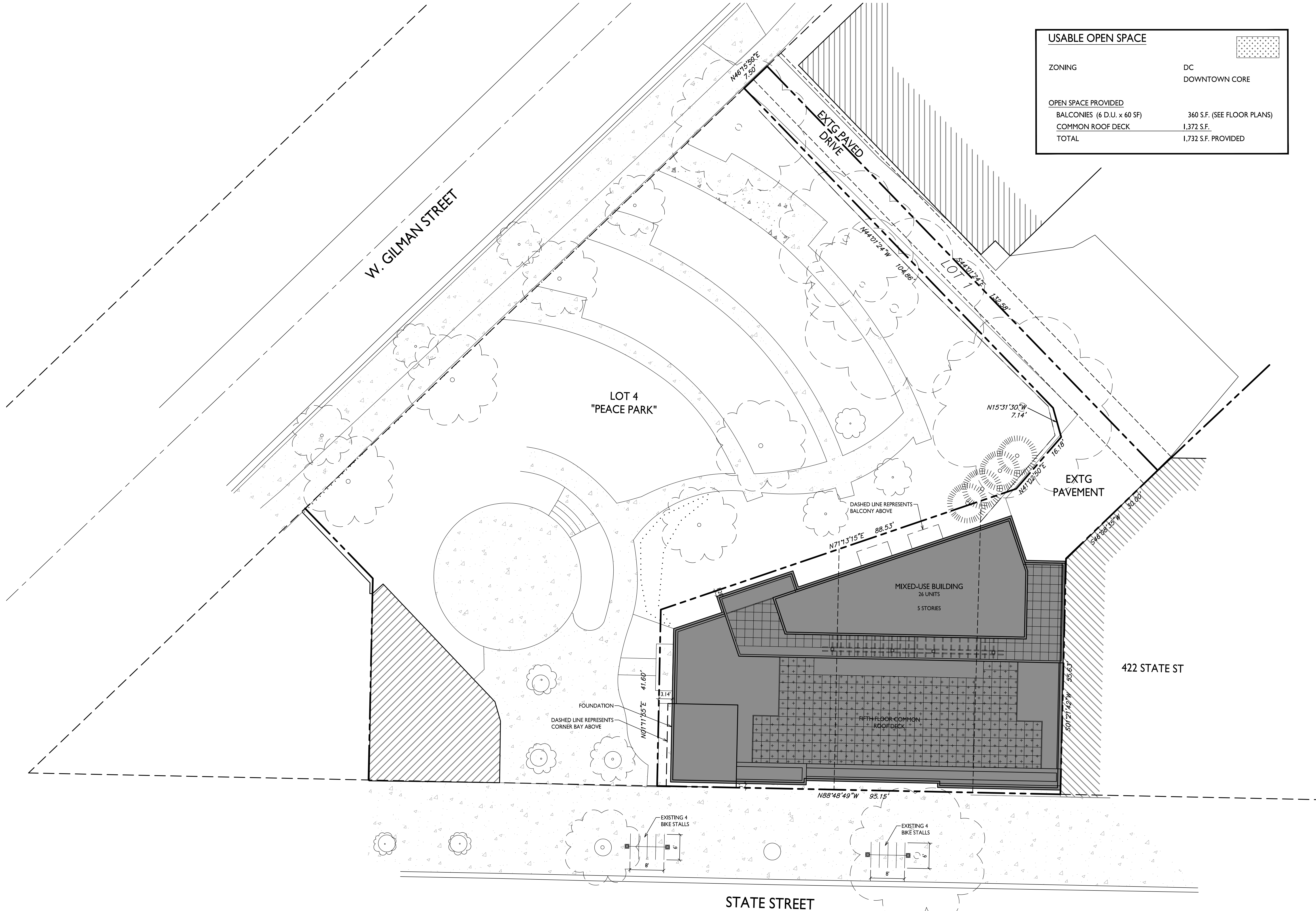
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PROJECT TITLE
430, 432, 444
State Street

Madison, Wisconsin
SHEET TITLE
Lot Coverage

SHEET NUMBER





USABLE OPEN SPACE	
ZONING	DC DOWNTOWN CORE
OPEN SPACE PROVIDED	
BALCONIES (6 D.U. x 60 SF)	360 S.F. (SEE FLOOR PLANS)
COMMON ROOF DECK	1,372 S.F.
TOTAL	1,732 S.F. PROVIDED

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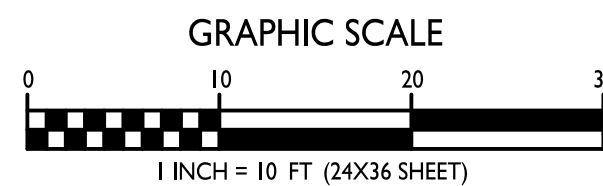
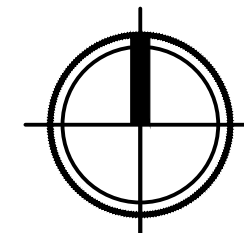
PROJECT TITLE
430, 432, 444
State Street

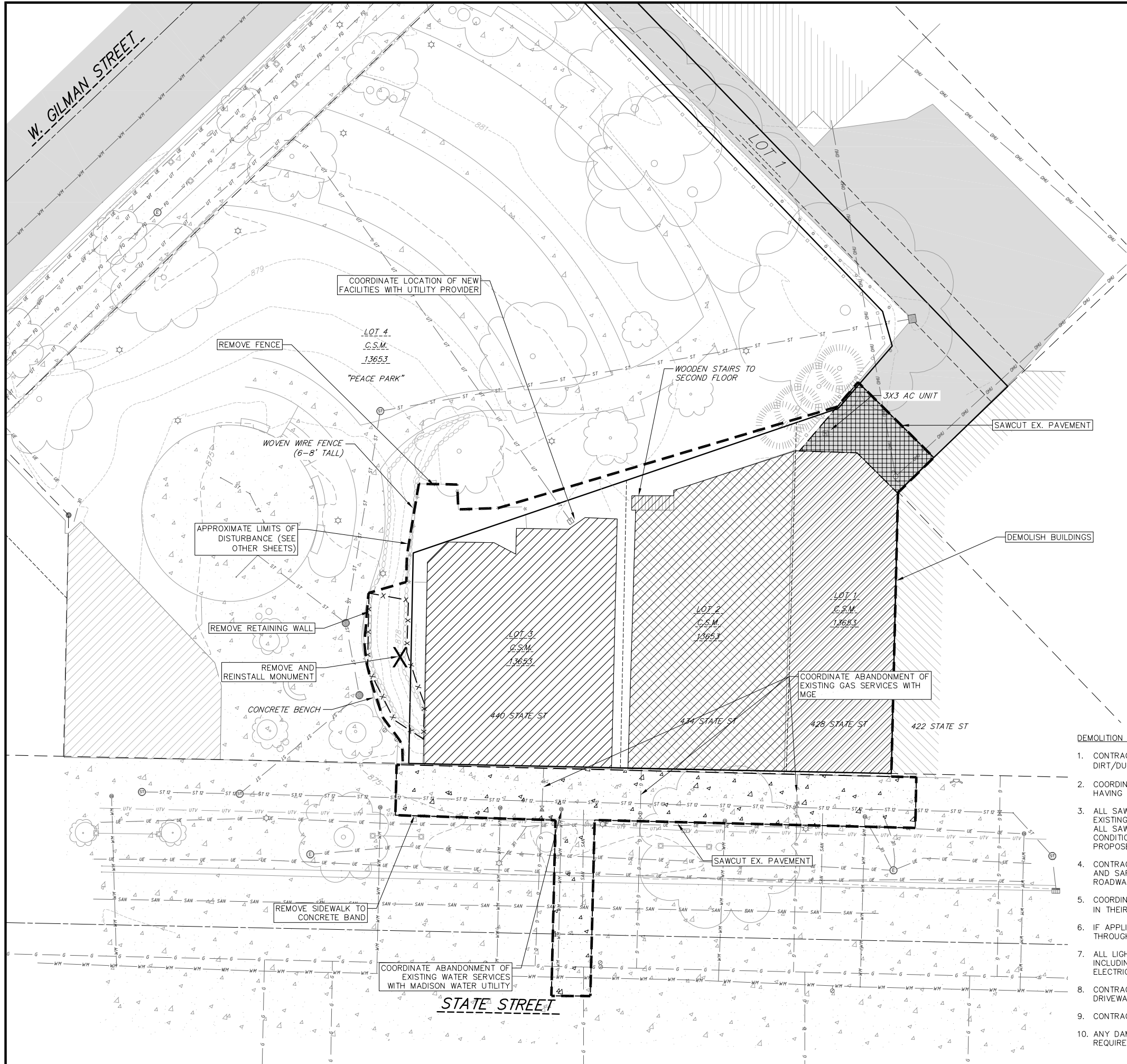
Madison, Wisconsin
SHEET TITLE
Usable Open Space

SHEET NUMBER

C-1.4
PROJECT NO. **1939**
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USABLE OPEN SPACE
1" = 10'-0"





TOPOGRAPHIC SYMBOL LEGEND

- EXISTING POST
- EXISTING PARKING METER
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS VALVE
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING UTILITY POLE
- EXISTING CURB STOP

SURVEY LEGEND

- FOUND 1" Ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING FIBER OPTIC LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING GENERAL FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

SITE PLAN LEGEND

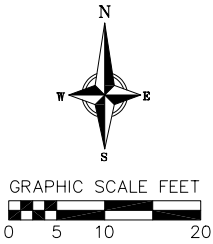
- PROPERTY BOUNDARY
- DISTURBED LIMITS

DEMOLITION PLAN LEGEND

- SAWCUT
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL

DEMOLITION NOTES:

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
- IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
- ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

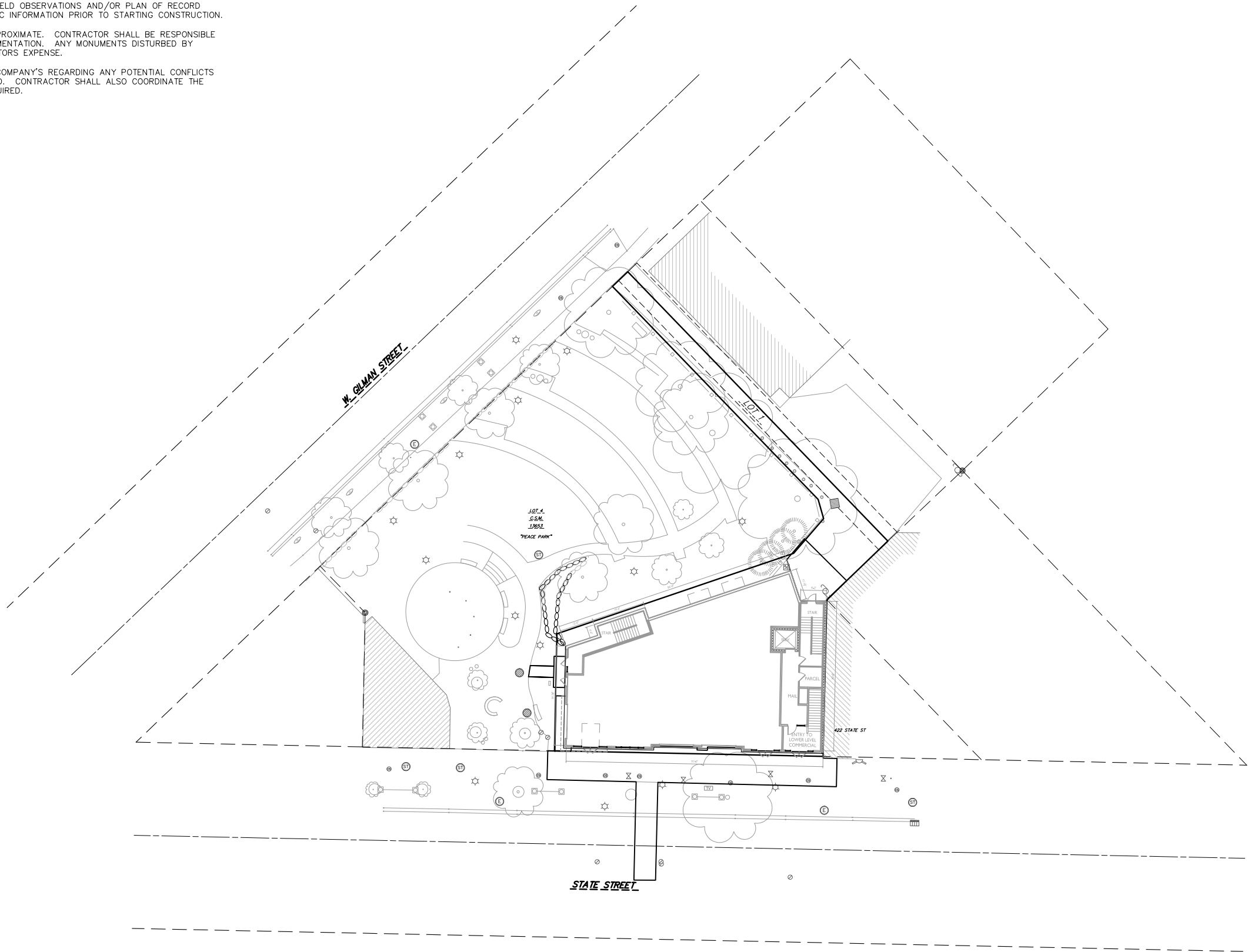
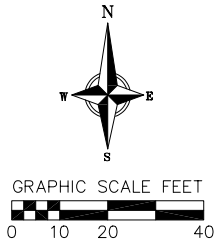


EXISTING CONDITIONS AND DEMOLITION PLAN

430, 432, 444 State Street
CITY OF MADISON
DANE COUNTY, WI

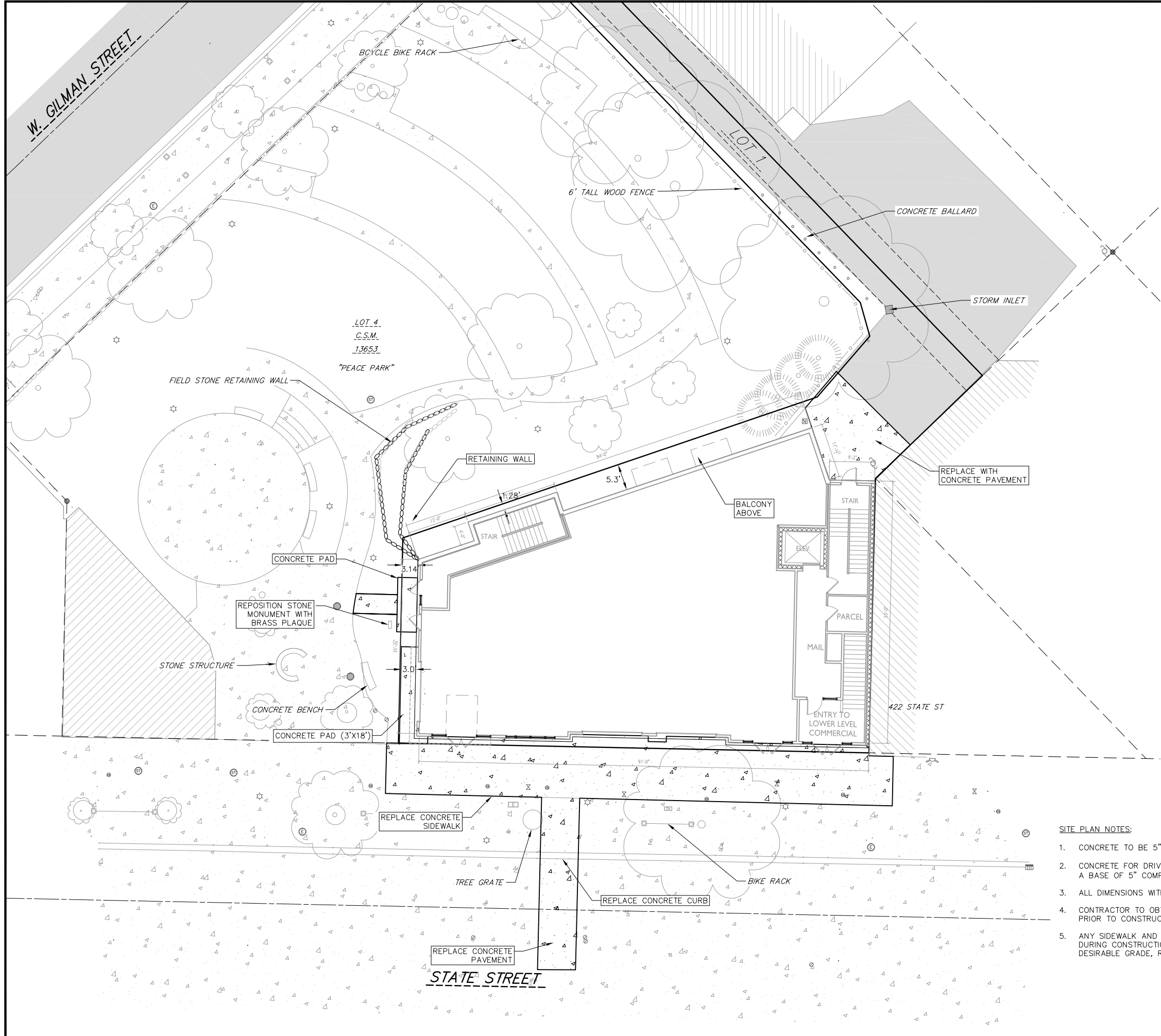
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	02/07/2022	2	03/24
2	03/24	3	05/09/22
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4	10/28	5	
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- GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
 2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
 3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
 4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.



OVERALL SITE PLAN
430, 432, 444 State Street
CITY OF MADISON
DANE COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
3	3/24	1	02/07/2022
5	5/9/22	2	
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TOPOGRAPHIC SYMBOL LEGEND

- EXISTING POST
- EXISTING PARKING METER
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS VALVE
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING UTILITY POLE
- EXISTING CURB STOP

SURVEY LEGEND

- FOUND 1" Ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD

TOPOGRAPHIC LINEWORK LEGEND

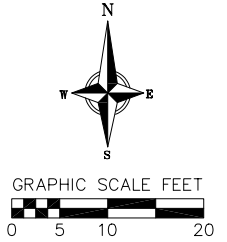
- EXISTING RETAINING WALL
- EXISTING WOOD FENCE

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL

SITE PLAN NOTES:

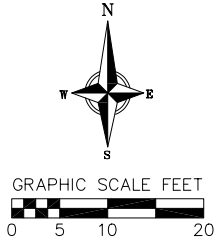
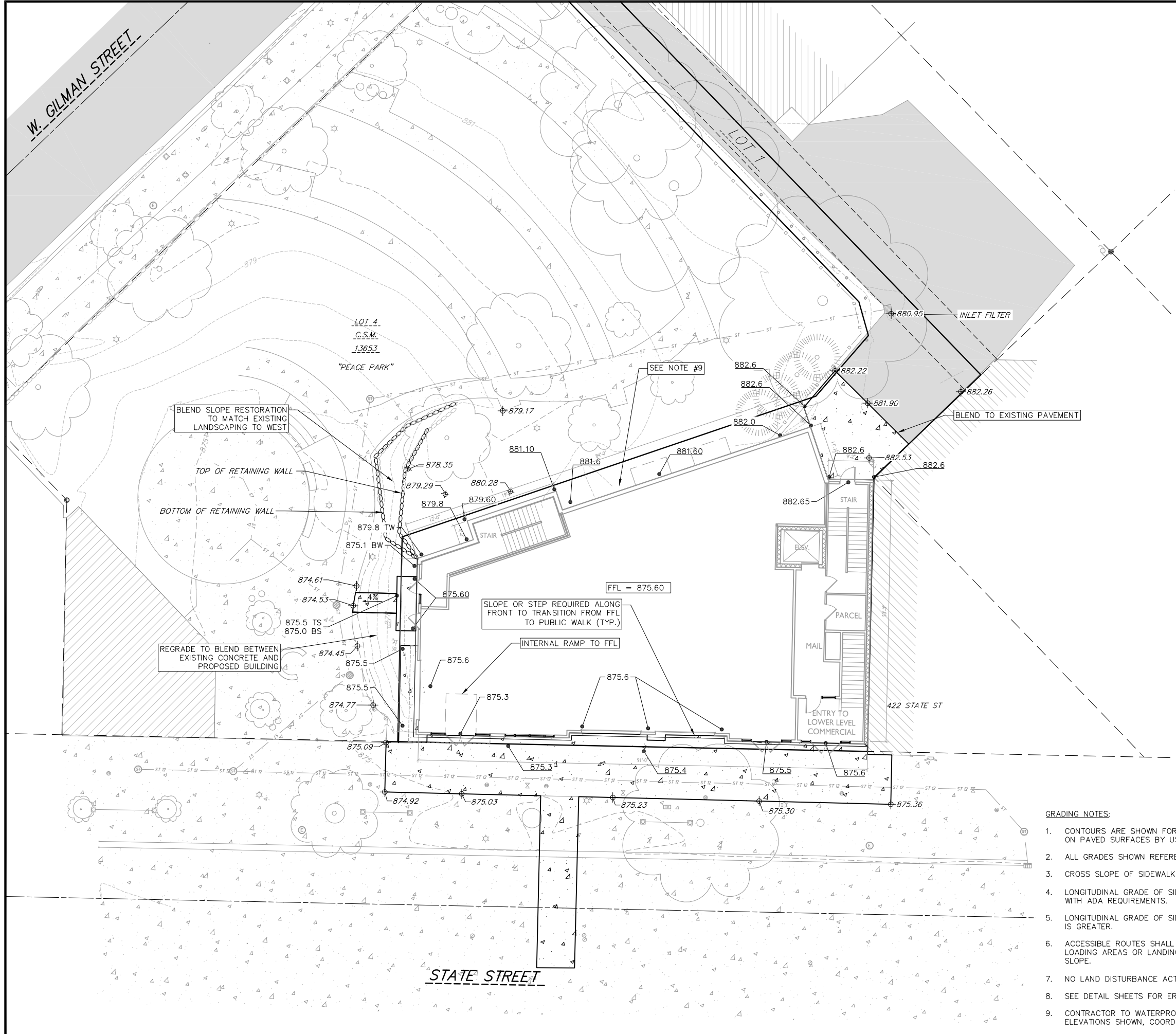
- CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
- CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



DETAILED SITE PLAN

430, 432, 444 State Street
CITY OF MADISON
DANE COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
	3/24		
	5/9/22		
	10/28		
DATE 02/07/2022			
DRAFTER			
DPER			
CHECKED TSCH			
PROJECT NO. 210421			
C103			



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING POST
- EXISTING PARKING METER
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING GAS VALVE
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING UTILITY POLE
- EXISTING CURB STOP

SURVEY LEGEND

- FOUND 1" Ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 3/4" Ø IRON ROD

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING WOOD FENCE
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING RETAINING WALL

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL

GRADING LEGEND

- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- PROPOSED SLOPE ARROWS

GRADING NOTES:

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
- CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
- NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- CONTRACTOR TO WATERPROOF BUILDING ALONG BACK AND SIDE ELEVATIONS TO ALLOW PROPOSED ELEVATIONS SHOWN, COORDINATE WITH ARCHITECTURAL DRAWINGS



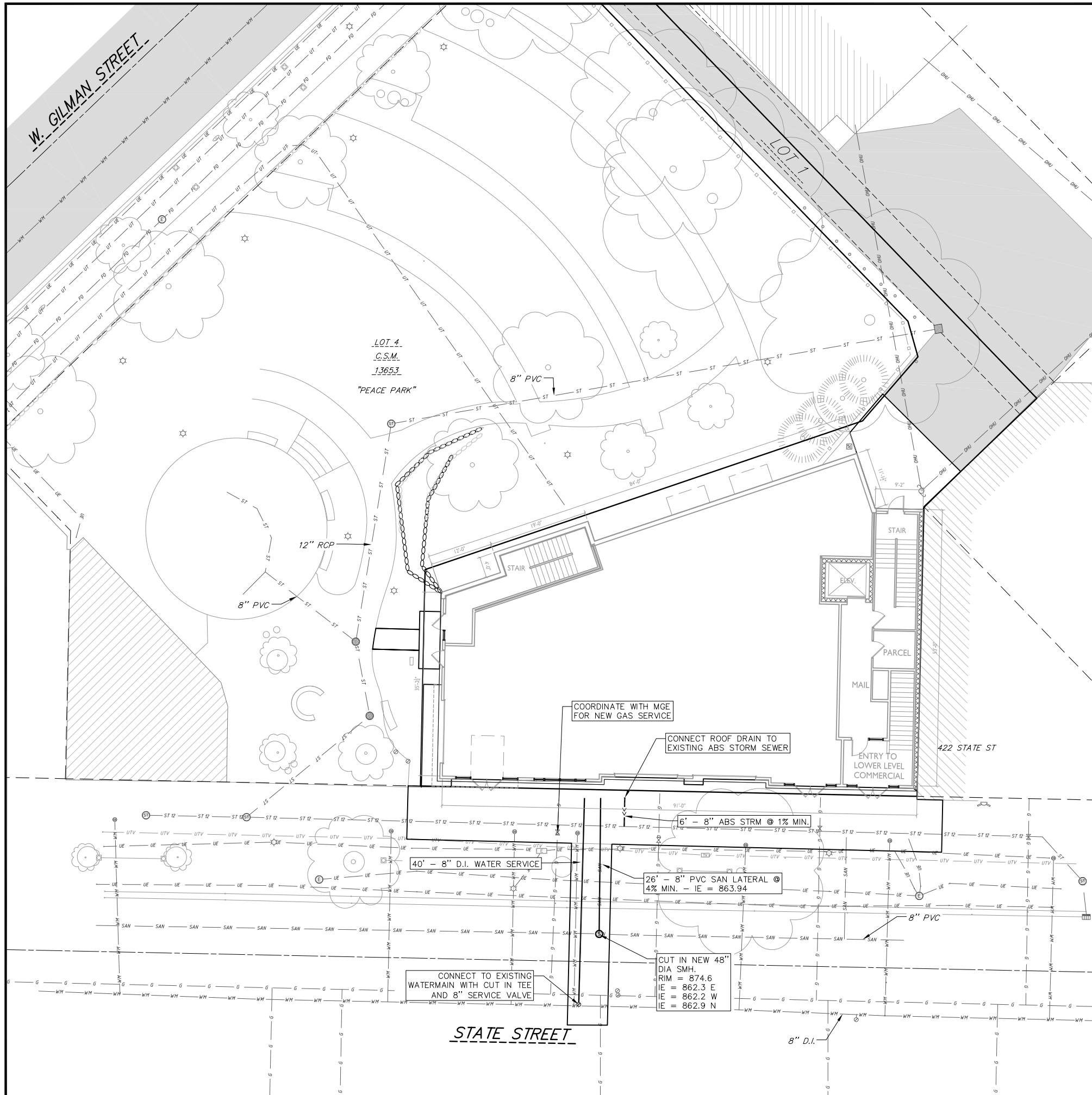
vierbicher
planners | engineers | advisors

Phone: (800) 261-3898

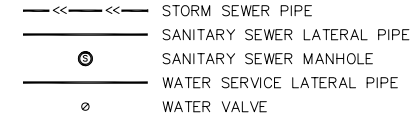
GRADING AND EROSION CONTROL PLAN

430, 432, 444 State Street
CITY OF MADISON
DANE COUNTY, WI

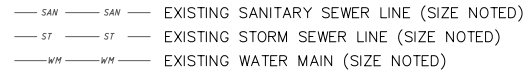
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NO.	DATE	NO.	DATE
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3/24	3/24	5/9/22	5/9/22
PLAN REVIEW	PLAN REVIEW	PLAN UPDATE	PLAN UPDATE
10/28	10/28	PLAN UPDATE	PLAN UPDATE
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PROPOSED UTILITY LEGEND

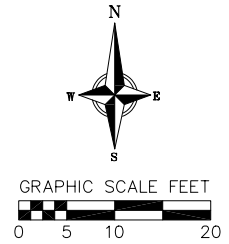


EXISTING UTILITIES LEGEND



ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE



UTILITY NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
3. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
4. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
6. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
9. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
11. UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
12. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
13. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
14. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
15. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
16. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
17. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
19. CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
20. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
21. SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
22. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
23. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
24. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
25. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
	3/24		
	5/9/22		
3	10/28		

DATE
02/07/2022

DRAFTER

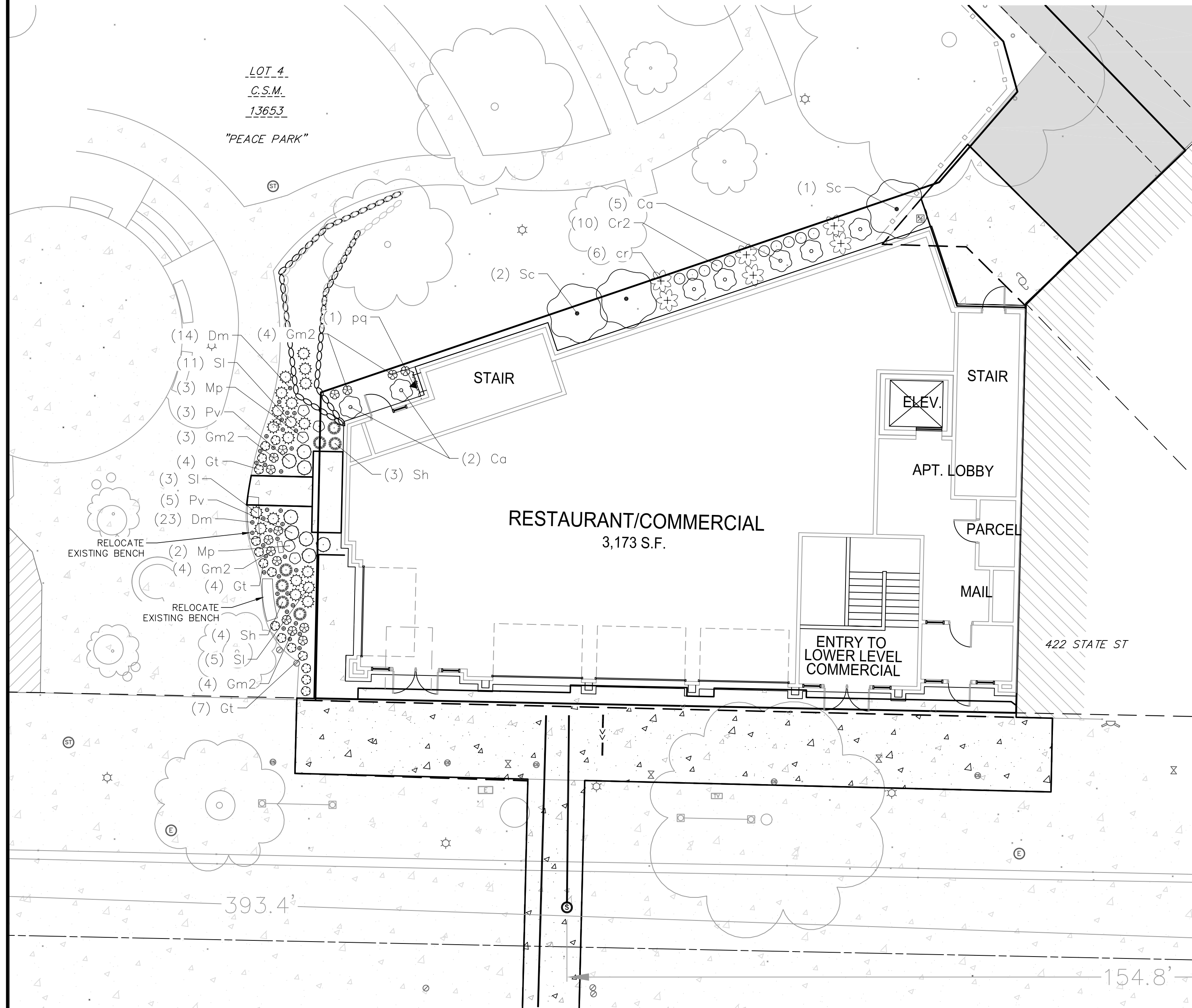
DPER
CHECKED

TSCH
PROJECT NO.

210421

C202

LANDSCAPE PLAN: AT GRADE

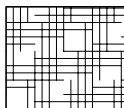


PLANT SCHEDULE

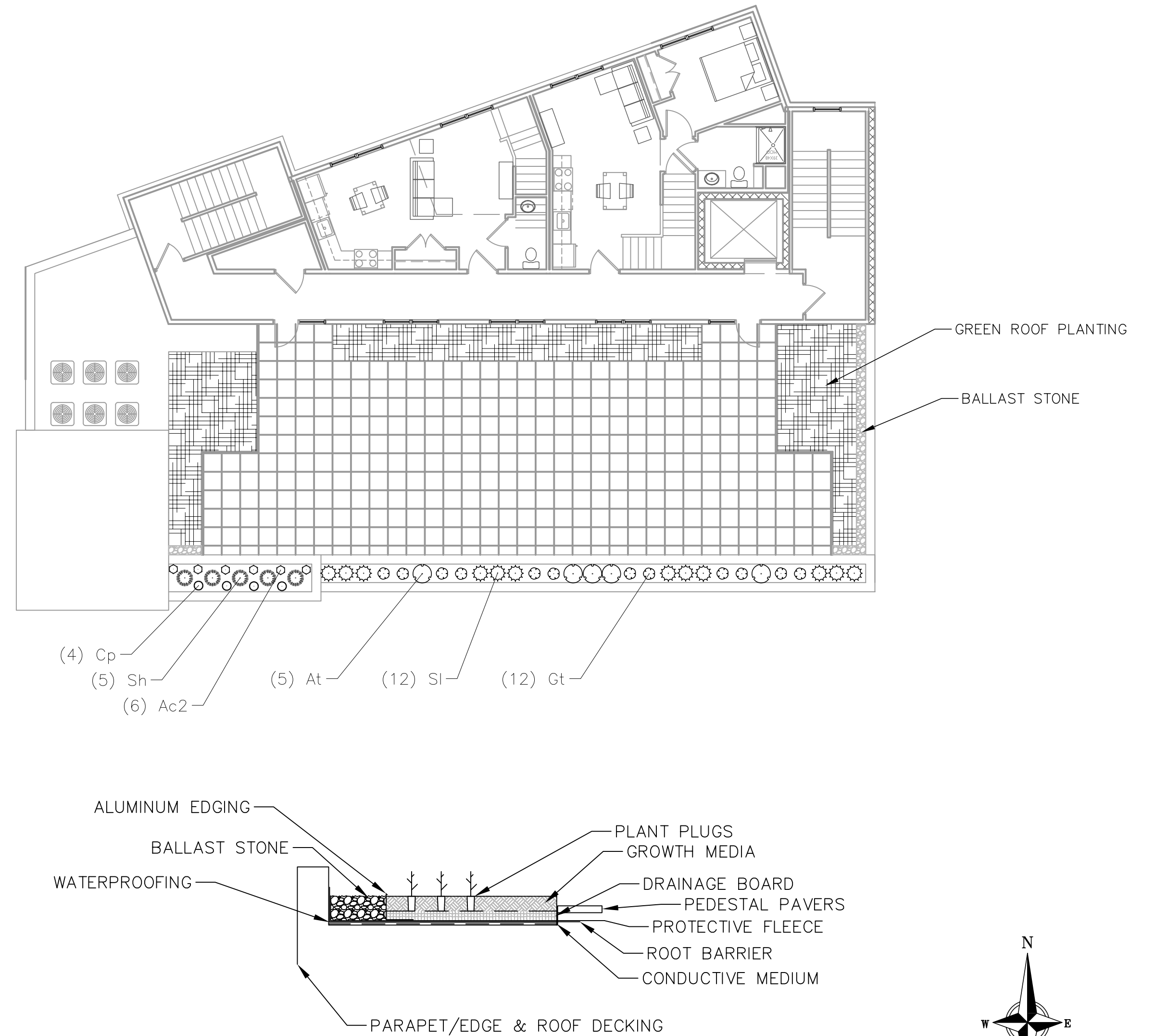
<u>DECIDUOUS SHRUBS</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>QTY</u>
Ca	Ceanothus americanus / New Jersey Tea	Cont.	5 Gal.	7
Sc	Sambucus canadensis / American Elderberry	Cont.	5 Gal.	3

<u>PERENNIALS</u>	<u>BOTANICAL / COMMON NAME</u>	<u>ROOT COND.</u>	<u>SIZE</u>	<u>QTY</u>
Ac2	Allium cernuum / Nodding Onion	Cont.	Pint	6
At	Asclepias tuberosa / Butterfly Milkweed	Cont.	1 Gal.	5
Cr2	Carex rosea / Rosy Sedge	Cont.	Pint	10
cr	Cimicifuga racemosa / Black Cohosh	Cont.	1 Gal.	6
Cp	Coreopsis palmata / Stiff Tickseed	Cont.	Pint	4
Dm	Dodecatheon meadia / Shooting Star	Cont.	Pint	37
Gm2	Geranium maculatum / Spotted Geranium	Cont.	1 Gal.	15
Gt	Geum triflorum / Prairie Smoke	Cont.	1 Gal.	27
Mp	Monarda punctata / Spotted Horsemint	Cont.	Pint	5
Pv	Panicum virgatum / Switch Grass	Cont.	1 Gal.	8
pq	Parthenocissus quinquefolia engelmannii / Engelmann Virginia Creeper	Cont.	2 Gal.	1
Sl	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	31
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	12

CONCEPT PLANT SCHEDULE

	GREEN ROOF PLANTING	445	sf
	Allium cernuum / Nodding Onion	32	
	Asclepias tuberosa / Butterfly Milkweed	42	
	Asclepias verticillata / Whorled Milkweed	32	
	Bouteloua curtipendula / Side Oats Grama	84	
	Carex bicknellii / Prairie Sedge	63	
	Coreopsis lanceolata / Lanceleaf Tickseed	21	
	Coreopsis palmata / Stiff Tickseed	32	
	Dalea candida / White Prairie Clover	32	
	Dalea purpurea / Purple Prairie Clover	32	
	Eragrostis spectabilis / Purple Lovegrass	63	
	Geum triflorum / Prairie Smoke	32	
	Koeleria macrantha / Prairie Junegrass	63	
	Liatris aspera / Rough Blazing Star	42	
	Liatris cylindracea / Cylindrical Blazing Star	42	
	Lupinus perennis / Wild Lupine	32	
	Monarda punctata / Spotted Horsemint	32	
	Phlox pilosa / Downy Phlox	32	
	Rudbeckia hirta / Black-eyed Susan	32	
	Ruellia humilis / Wild Petunia	32	
	Schizachyrium scoparium / Little Bluestem	125	
	Sporobolus heterolepis / Prairie Dropseed	136	
	Symphoricarpos ericoides / Heath Aster	21	

LANDSCAPE PLAN: ROOF DECK



1 SEMI-INTENSIVE GREEN ROOF
1 NOT TO SCALE

PLANT MATERIAL NOTES:

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDED/SODDED.

2. LANDSCAPE BEDS TO BE MULCHED WITH WHITE CEDAR MULCH TO 3" DEPTH MIN. WHERE ADJACENT TURF GRASS, EDGE PERENNIAL PLANTED BEDS WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE $\frac{3}{16}$ "X4" OR EQUAL, COLOR BLACK ANODIZED.

SOD PLANTING NOTES:

1. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE REPAIRED WITH TURFGRASS SOD. SELECT SOD GROWN IN MINERAL SOILS WITH ESTABLISHED ROOT SYSTEM. SOD GROWN IN PEAT WILL BE REJECTED. STAGGER SEAMS AND ROLL TO ENSURE SOIL CONTACT. MAINTAIN ADEQUATE SOIL MOISTURE UNTIL FINAL ACCEPTANCE.

GREEN ROOF NOTES:

1. INSTALLATION TO UTILIZE A SEMI-INTENSIVE VEGETATED ROOFING SYSTEM, HANGING GARDENS SYSTEM #2210 OR EQUAL.
2. FOLLOW ALL SPECIFICATIONS OUTLINED BY SYSTEM MANUFACTURER.
3. INSTALL GREEN ROOF PLUG PLANTINGS AS 2" X 2" X 4" OR 2.25" X 2.25" X 5" DEEP PLUGS, 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES IN ODD NUMBERED GROUPS OF 5-9 PLANTS, DISTRIBUTING EACH SPECIES RANDOMLY ACROSS PLANTING AREA FOR NATURAL APPEARANCE.

L101	PROJECT NO.										
	210421										
	CHECKED										
	TSCH										
	EGOR										
DATE		10/28/2022									
				NO.		DATE		REVISIONS			
		A		5/9/22		PLAN UPDATE					
		A		10/28/22		PLAN UPDATE					

ISSUED

Issued To DAT - Sept. 13, 2019
Issued for UDC Information - Jan. 24, 2022
Land Use & UDC Submittal - February 07, 2022
Updated Land Use & UDC Submittal - October 26, 2022

PROJECT TITLE

430, 432, 444
State Street

Madison, Wisconsin

SHEET TITLE

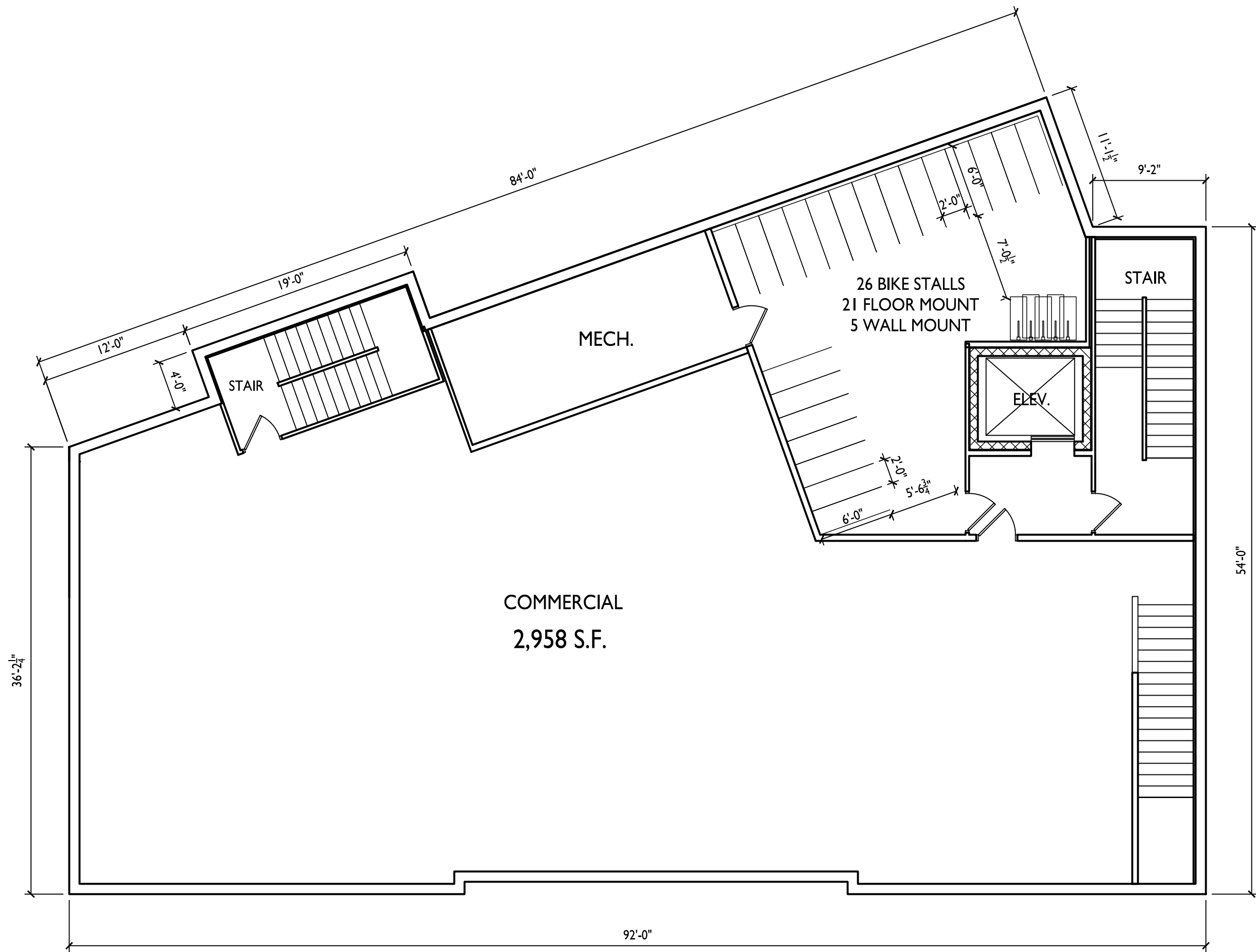
Basement Floor
Plan

SHEET NUMBER

A-1.0

PROJECT NO. 1939

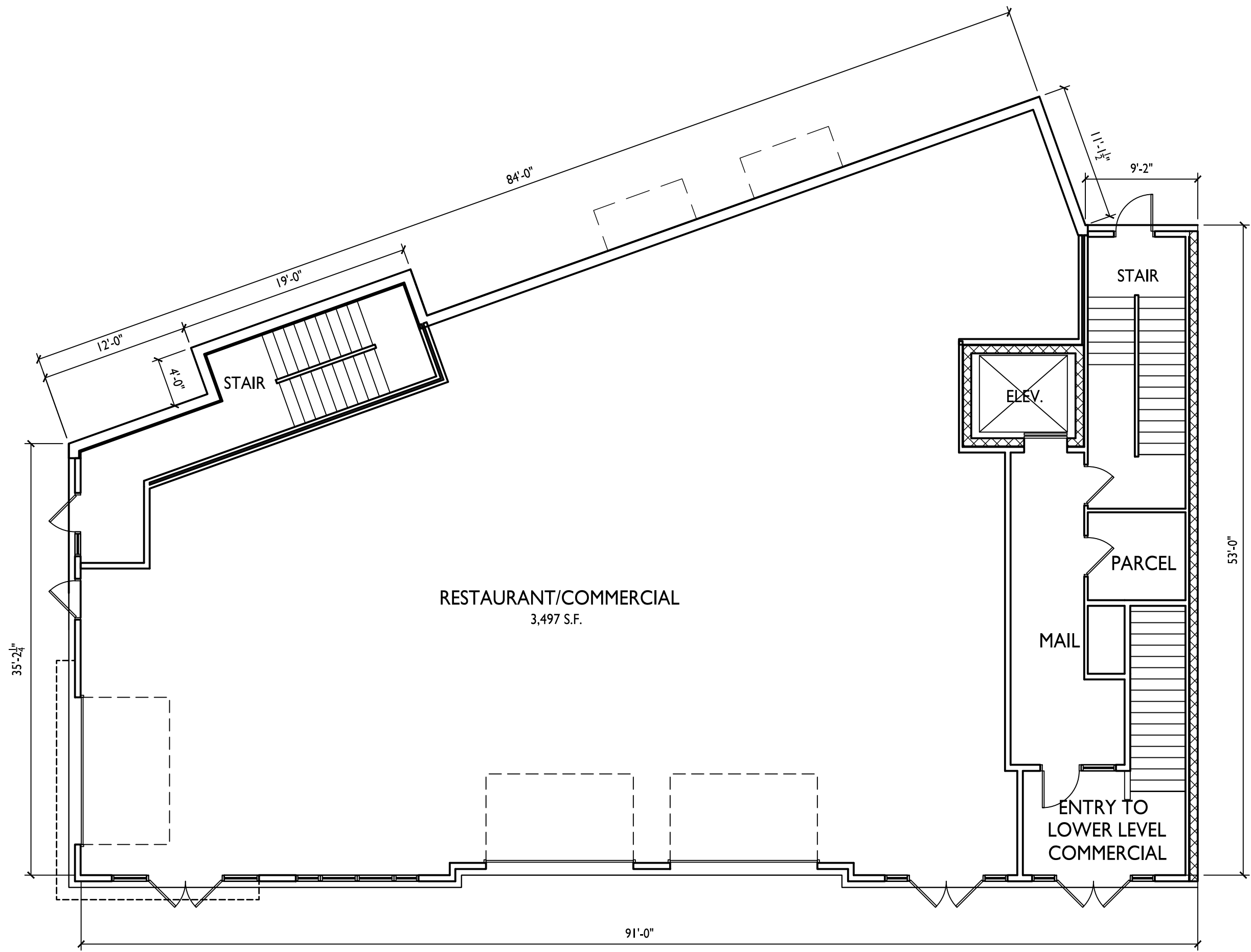
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I
A-1.0

1/8" = 1'-0"

BASEMENT FLOOR PLAN



I

A-1.1

FIRST FLOOR PLAN

1/8" = 1'-0"

ISSUED

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PROJECT TITLE

430, 432, 444
State Street

Madison, Wisconsin

SHEET TITLE

First Floor Plan

SHEET NUMBER

A-1.1

PROJECT NO. 1939

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430, 432, 444
State Street

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SHEET TITLE

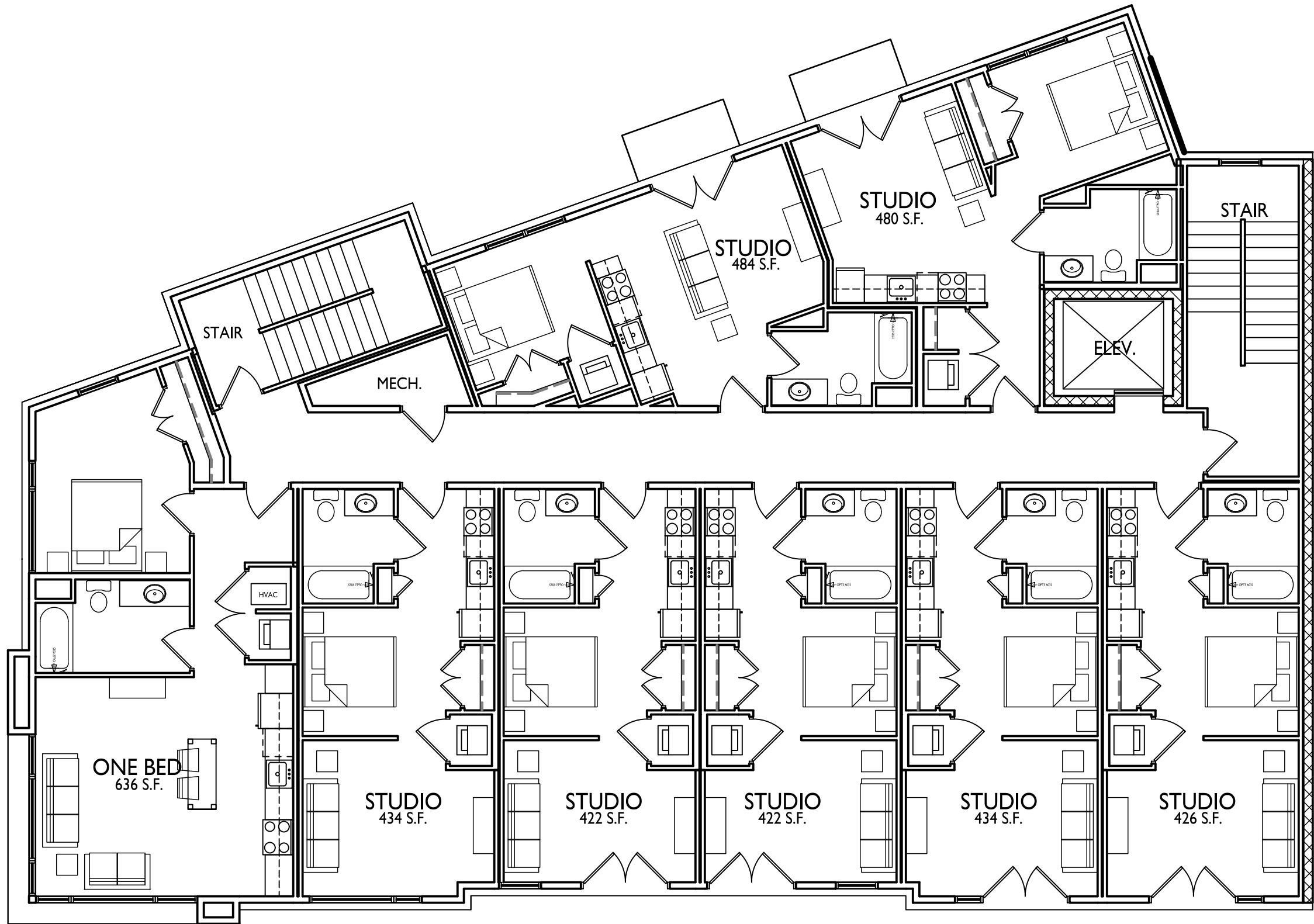
Second Floor Plan

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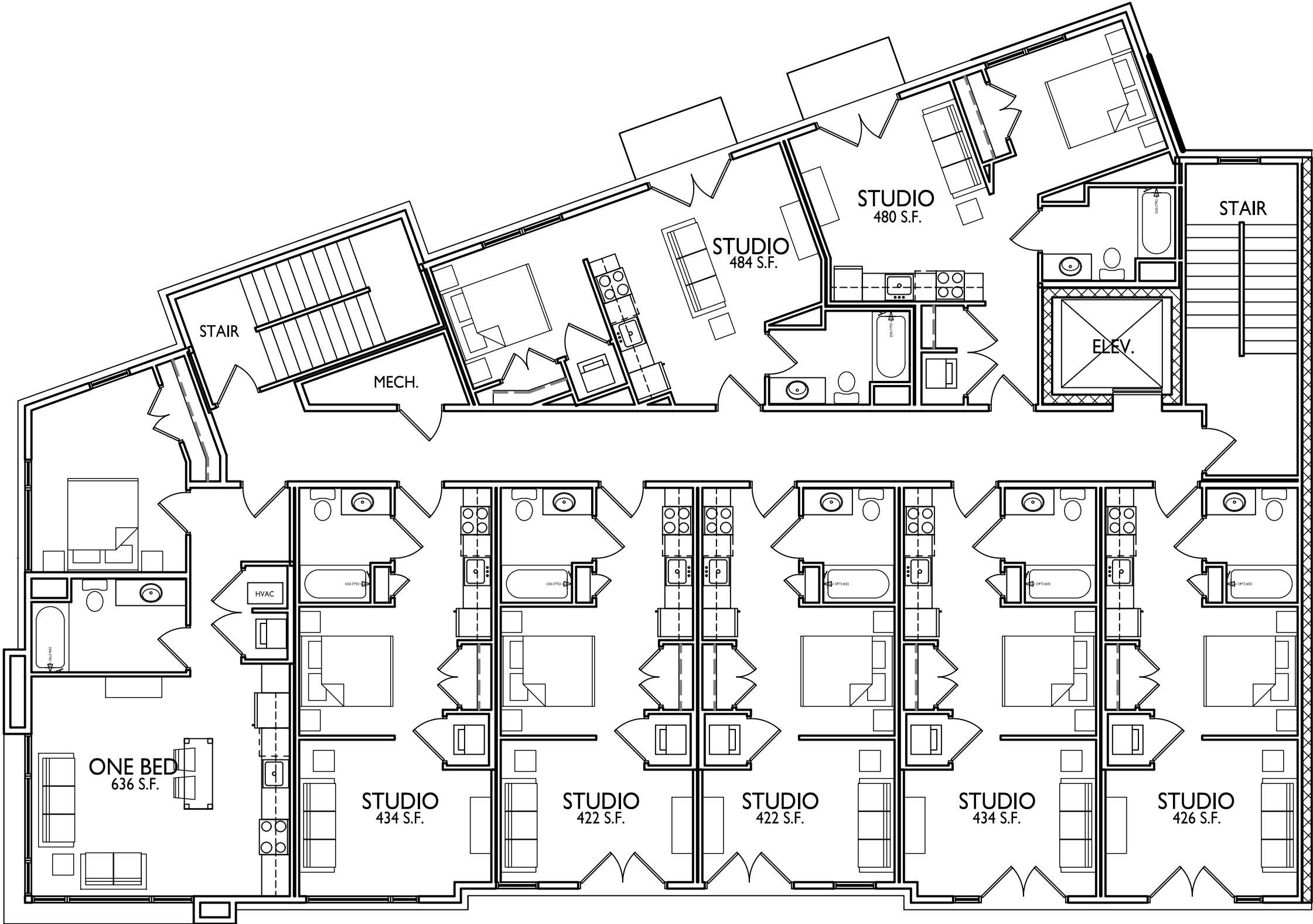
PROJECT NO. 1939

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1
A-1.2
1/8" = 1'-0"

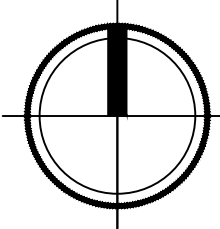
SECOND FLOOR PLAN



I
A-1.3

THIRD FLOOR PLAN

1/8" = 1'-0"



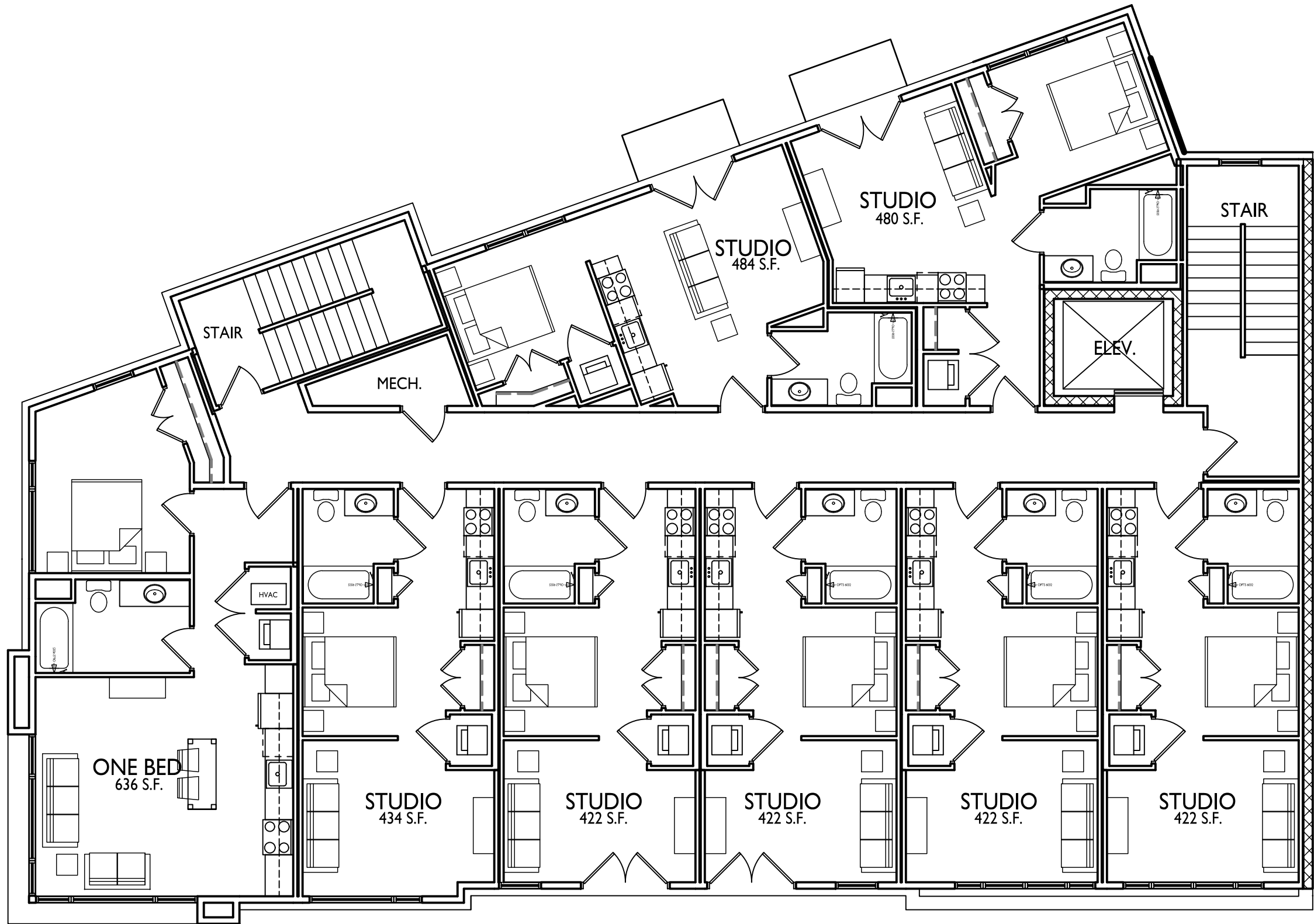
ISSUED
Issued To DAT - Sept. 13, 2019
Issued for UDC Information - Jan. 24, 2022
Land Use & UDC Submittal - February 07, 2022
Updated Land Use & UDC Submittal - October 26, 2022

PROJECT TITLE
430, 432, 444
State Street

Madison, Wisconsin
SHEET TITLE
Third Floor Plan

SHEET NUMBER

A-1.3
PROJECT NO. 1939
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I
A-1.4

FOURTH FOURTH PLAN

1/8" = 1'-0"

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Updated Land Use & UDC Submittal - October 26, 2022

PROJECT TITLE
430, 432, 444
State Street

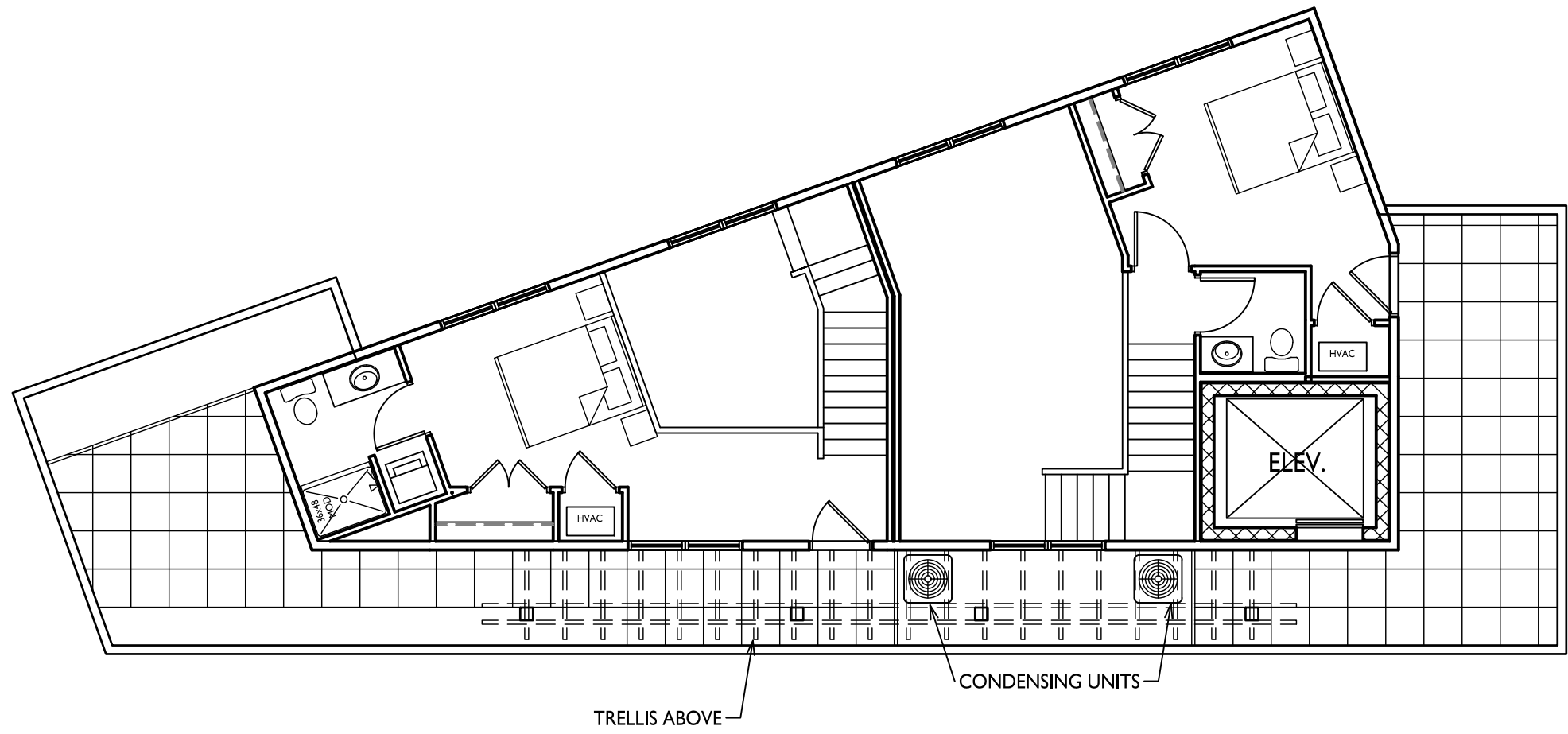
Madison, Wisconsin
SHEET TITLE
Fourth Floor Plan

SHEET NUMBER
A-1.4
PROJECT NO. 1939
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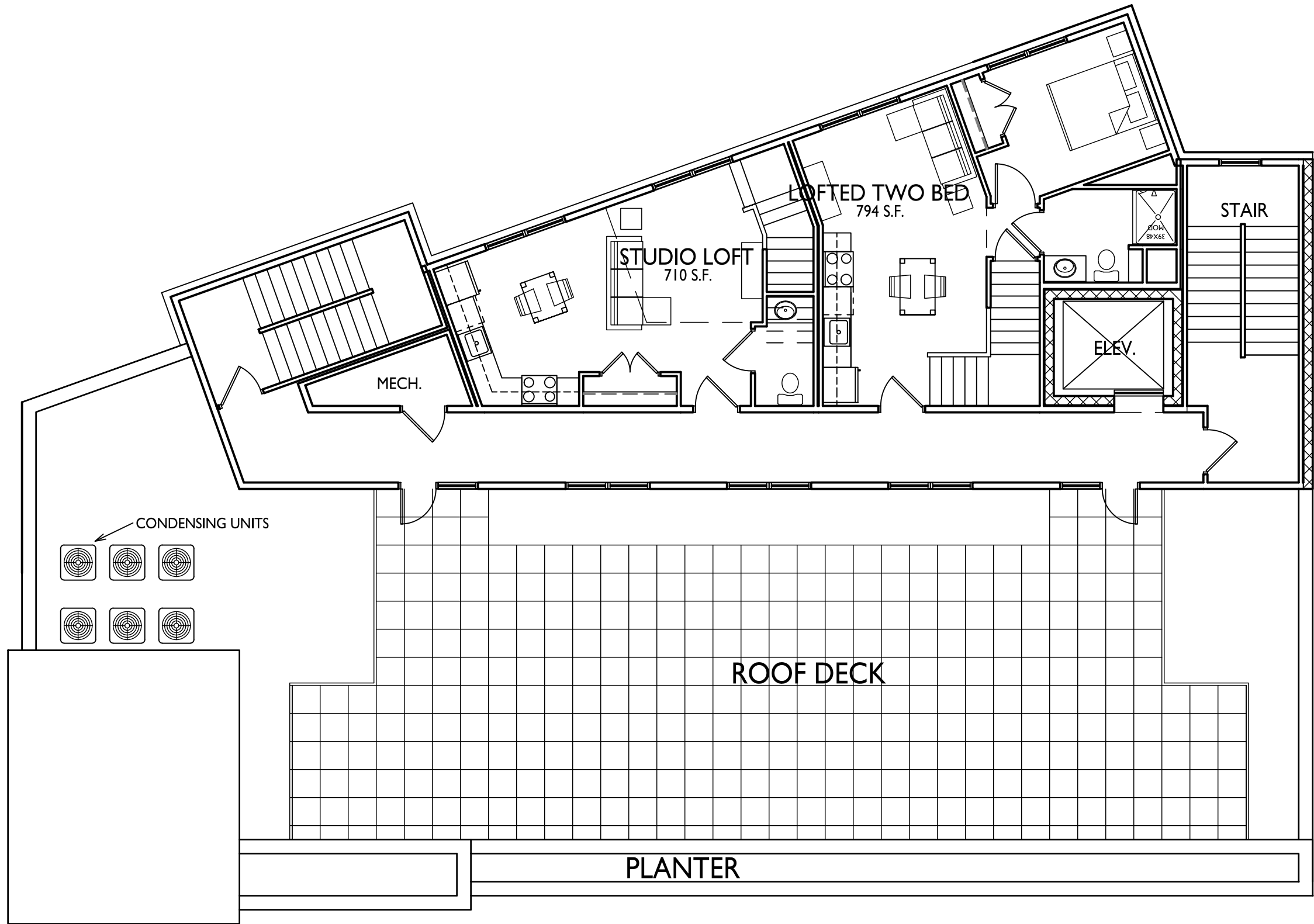


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ARCHITECTS

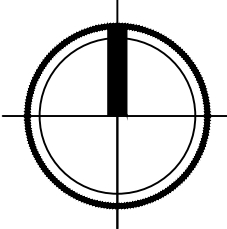
Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562



2 LOFT LEVEL FLOOR PLAN
A-I.5 1/8" = 1'-0"



1 FIFTH FLOOR PLAN
A-I.5 1/8" = 1'-0"



ISSUED
Issued To DAT - Sept. 13, 2019
Issued for UDC Information - Jan. 24, 2022
Land Use & UDC Submittal - February 07, 2022
Updated Land Use & UDC Submittal - October 26, 2022

PROJECT TITLE
430, 432, 444
State Street

Madison, Wisconsin
SHEET TITLE
Fifth Floor Plan

SHEET NUMBER

A-I.5

PROJECT NO. **1939**

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Updated Land Use & UDC Submittal - October 26, 2022

PROJECT TITLE

430, 432, 444
State Street

Madison, Wisconsin

SHEET TITLE

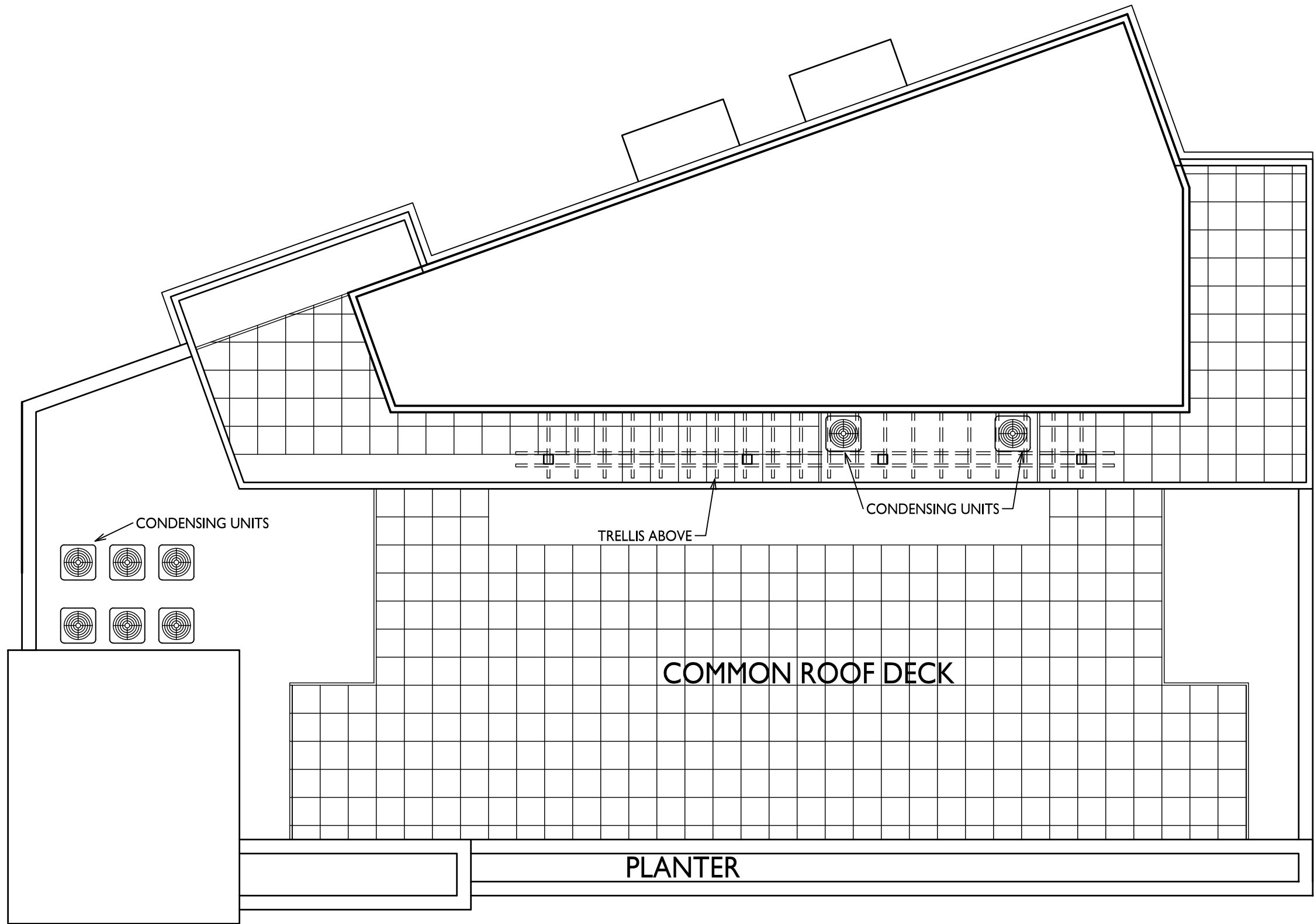
Roof Plan

SHEET NUMBER

A-1.6

PROJECT NO. 1939

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I
A-1.6

1/8" = 1'-0"

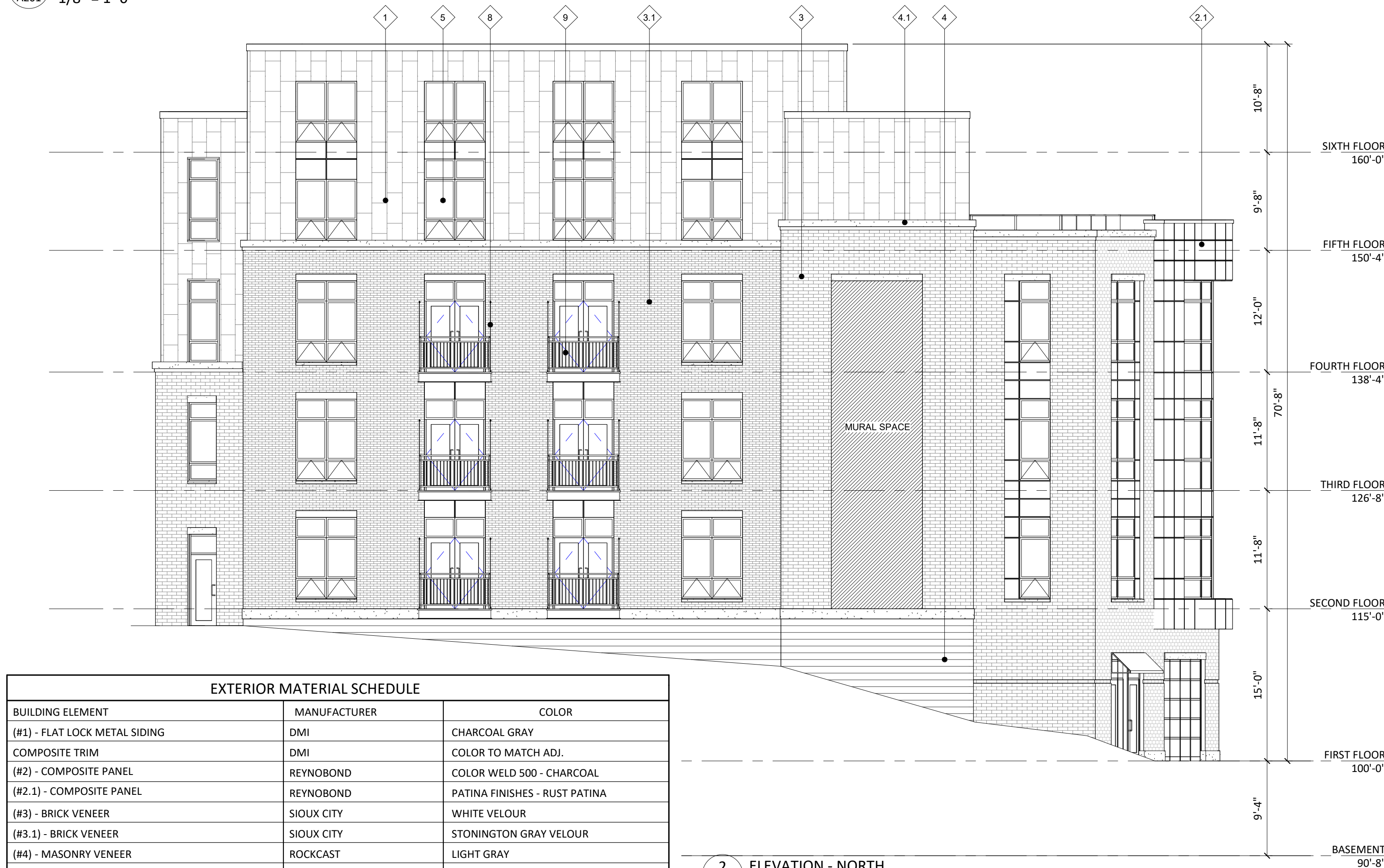
ROOF PLAN



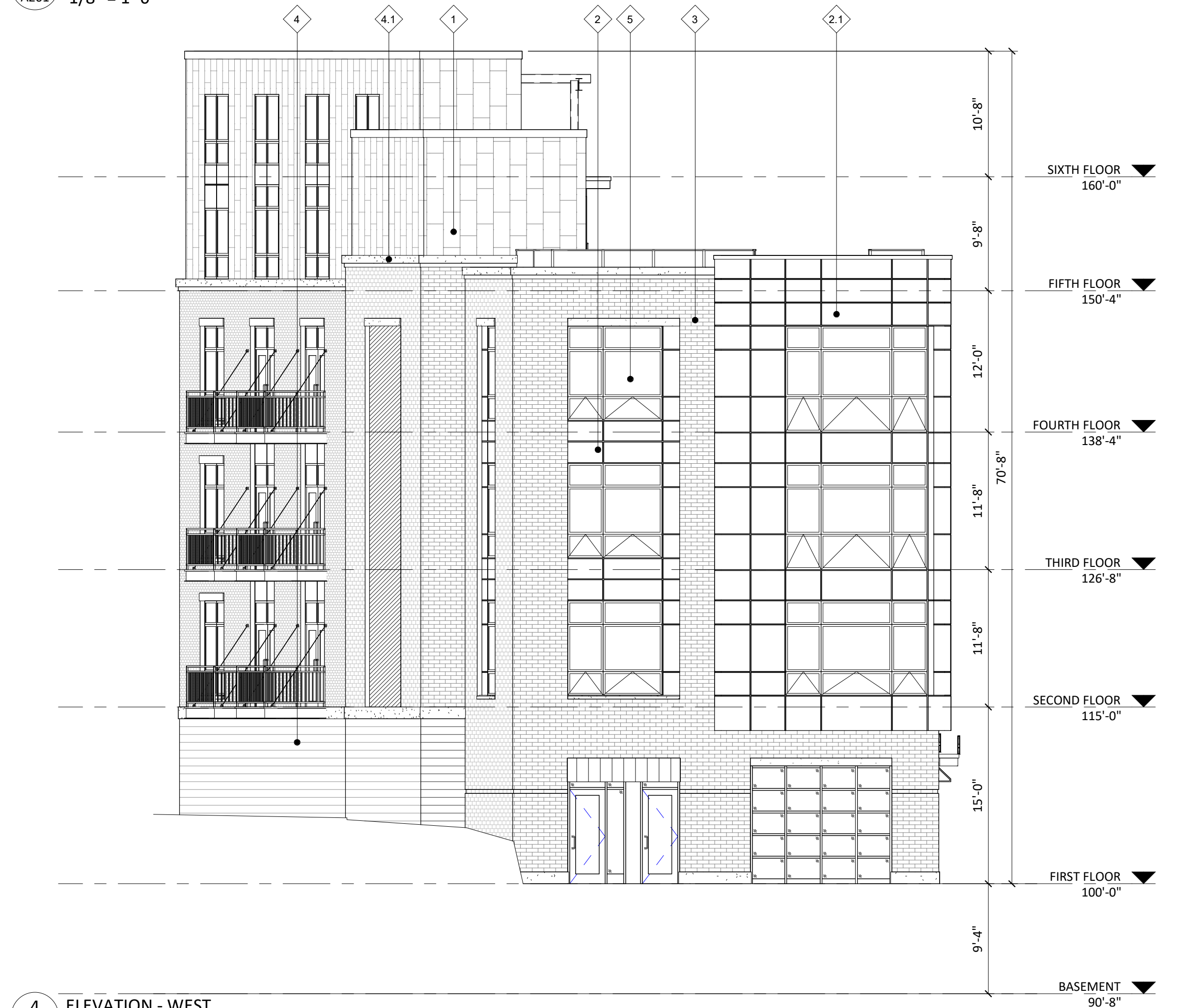
1 ELEVATION - SOUTH
A201 1/8" = 1'-0"



3 ELEVATION - EAST
A201 1/8" = 1'-0"

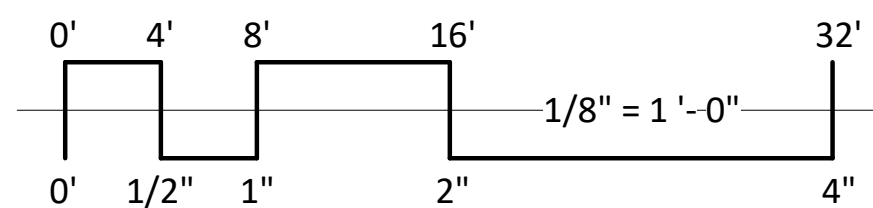


2 ELEVATION - NORTH
A201 1/8" = 1'-0"



4 ELEVATION - WEST
A201 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	CHARCOAL GRAY
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	REYNOBOND	COLOR WELD 500 - CHARCOAL
(#2.1) - COMPOSITE PANEL	REYNOBOND	PATINA FINISHES - RUST PATINA
(#3) - BRICK VENEER	SIOUX CITY	WHITE VELOUR
(#3.1) - BRICK VENEER	SIOUX CITY	STONINGTON GRAY VELOUR
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#4.1) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#5) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#6) - ALUM. STOREFRONT	N/A	BLACK
(#7) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#8) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#9) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



NOT FOR CONSTRUCTION

ISSUED
Updated Land Use & UDC Submittal
October 26, 2022

PROJECT TITLE
434-444 State
Street

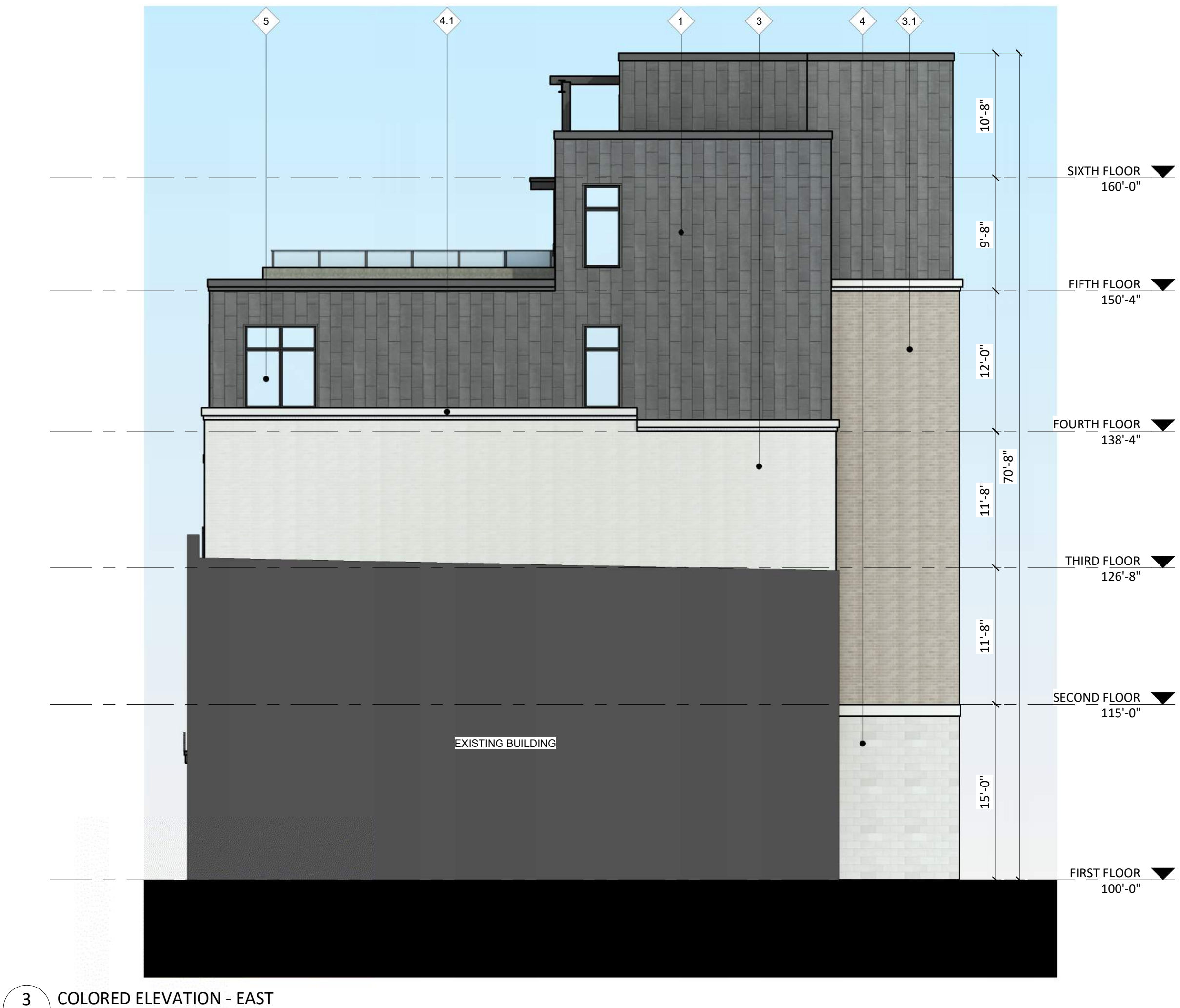
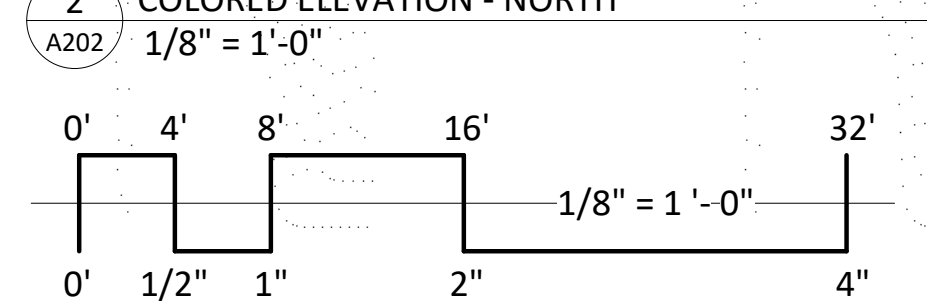
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NUMBER

A201
PROJECT NUMBER 1939



EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - FLAT LOCK METAL SIDING	DMI	CHARCOAL GRAY
COMPOSITE TRIM	DMI	COLOR TO MATCH ADJ.
(#2) - COMPOSITE PANEL	REYNOBOND	COLOR WELD 500 - CHARCOAL
(#2.1) - COMPOSITE PANEL	REYNOBOND	PATINA FINISHES - RUST PATINA
(#3) - BRICK VENEER	SIOUX CITY	WHITE VELOUR
(#3.1) - BRICK VENEER	SIOUX CITY	STONINGTON GRAY VELOUR
(#4) - MASONRY VENEER	ROCKCAST	LIGHT GRAY
(#4.1) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#5) - COMPOSITE WINDOWS	ANDERSEN 100	BLACK
(#6) - ALUM. STOREFRONT	N/A	BLACK
(#7) - INSULATED METAL DOORS/FRAMES	N/A	BLACK
CANOPY & BAY SOFFITS	TBD	COLOR TO MATCH ADJ. TRIM/SIDING
(#8) - TENSION ROD DECK ASSEMBLY	N/A	BLACK
(#9) - RAILINGS & HANDRAILS	SUPERIOR	BLACK
TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED



4 COLORED ELEVATION - WEST
1/8" = 1'-0"

NOT FOR CONSTRUCTION



SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

LOOKING NORTH-EAST





LOOKING NORTH



LOOKING NORTH-WEST



LOOKING SOUTH-EAST



AERIAL LOOKING NORHT-WEST