

PELTON PLACE RESIDENCES

PELTON RESIDENCES, LLC

1010 PARK STREET
MADISON, WI



Angus Young Architecture | Engineering
Interiors | Landscape

Balance in Creativity

www.angusyong.com
Janesville: 555 South River Street - Janesville, WI 53548 | Ph. 608.756.2326
Madison: 16 North Carroll Street - Madison, WI 53703 | Ph. 608.284.8225



RENDERING FOR CONCEPTUAL INTENT ONLY AND SHOULD NOT BE USED FOR BIDDING OR CONSTRUCTION PURPOSES

REGULATORY DATA

PROJECT ADDRESS
1010 PARK STREET
MADISON, WI

BUILDING CODES
BUILDING 2009 IBC
2009 IFC
2013 NFPA 10
2010 NFPA 13
ACCESSIBILITY 2003 ANSI A117.1

USE AND OCCUPANCY CLASSIFICATION
LOWER LEVEL - S-2 OCCUPANCY
1ST LEVEL - M OCCUPANCY, R2 OCCUPANCY
2ND-5TH LEVELS - R2 OCCUPANCY

SHEET INDEX

GENERAL
G001 COVER SHEET

CIVIL (BY OTHERS - REFERENCE ONLY)
C-1.0 EXISTING CONDITIONS PLAN
C-2.0 DEMOLITION PLAN
C-3.0 GRADING PLAN
C-4.0 UTILITY PLAN
C-5.0 NOTES & CONSTRUCTION DETAILS
C-6.0 EROSION CONTROL NOTES & DETAILS

LANDSCAPE (BY OTHERS - REFERENCE ONLY)
L-1.1 LANDSCAPE PLAN
L-2.1 LANDSCAPE PLAN - COURTYARD
L-3.1 LANDSCAPE DETAILS

ARCHITECTURAL
A100 LOWER LEVEL PLAN
A101 FIRST LEVEL FLOOR PLAN
A102 SECOND LEVEL FLOOR PLAN
A103 THIRD LEVEL FLOOR PLAN
A104 FOURTH LEVEL FLOOR PLAN
A105 LOFT LEVEL FLOOR PLAN
A106 FIFTH LEVEL FLOOR PLAN
A401 EXTERIOR ELEVATIONS
A402 EXTERIOR ELEVATIONS

ELECTRICAL
E5108 SITE AND BUILDING LIGHTING PHOTOMETRICS

PROJECT TEAM

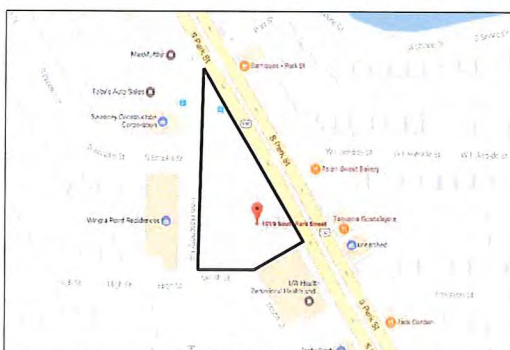
OWNER
PELTON RESIDENCES, LLC
7609 ELMWOOD AVE, SUITE 210
MIDDLETON, WI 53562
CONTACT: JON HEPNER, DEVELOPMENT MANAGER
EMAIL: JON@TOWALL ENTERPRISES.COM

ARCHITECT & STRUCTURAL ENGINEER
ANGUS YOUNG ASSOCIATES, INC.
16 NORTH CARROLL STREET
MADISON, WI 53703
CONTACT: JEFF DAVIS
EMAIL: JEFFD@ANGUSYOUNG.COM

CIVIL ENGINEER/ SITE ENGINEER
WERBICHER ASSOCIATES, INC.
599 FOURIER DR # 201
MADISON, WI 53717
CONTACT: RANDY KOLINSKI
EMAIL: RKOL@WERBICHER.COM

LANDSCAPE ARCHITECT
THE BRUCE COMPANY OF WISCONSIN, INC.
2830 PARKMETER ST
MIDDLETON, WI 53562
CONTACT: RICH STROHMENGER
EMAIL: RSTROHMENGER@BRUCECOMPANY.COM

FIRE PROTECTION, HVAC, ELECTRICAL, PLUMBING
UNDER DESIGN/BUILD CONTRACT



35	30	25	20	15	10	05
34	29	24	19	14	09	04
33	28	23	18	13	08	03
32	27	22	17	12	07	02
31	26	21	16	11	06	01

TITLE BLOCK

DETAILS IN THIS SET ARE PLACED ON THE SHEETS AND NUMBERED WITH RESPECT TO THE GRID ABOVE. CONSEQUENTLY, DETAILS ON A GIVEN SHEET MAY OR MAY NOT BE NUMBERED CONSECUTIVELY.

REGISTRATION STAMP AND SIGNATURE

PELTON PLACE RESIDENCES

PELTON RESIDENCES, LLC

PROJECT NUMBER 58830	REVIEWED BY AYA
APPROVED BY AYA	DRAWN BY AYA
ISSUANCES	REVISIONS
LAND USE APPLICATION - 05/10/2017	
UDC INITIAL/FINAL - 05/10/2017	
6/19/2017	3:12:24 PM

G001

Angus Young Associates, Inc., All Rights Reserved
Copyright © 2017

COPYING, SCANNING OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF ANGUS YOUNG ASSOCIATES, INC.

SCALE: AS SHOWN
PLOTTED BY:
ORIGINAL SIZE: 36" x 48"
DATE: 06/19/2017 10:58:00 AM

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

SURVEY LEGEND

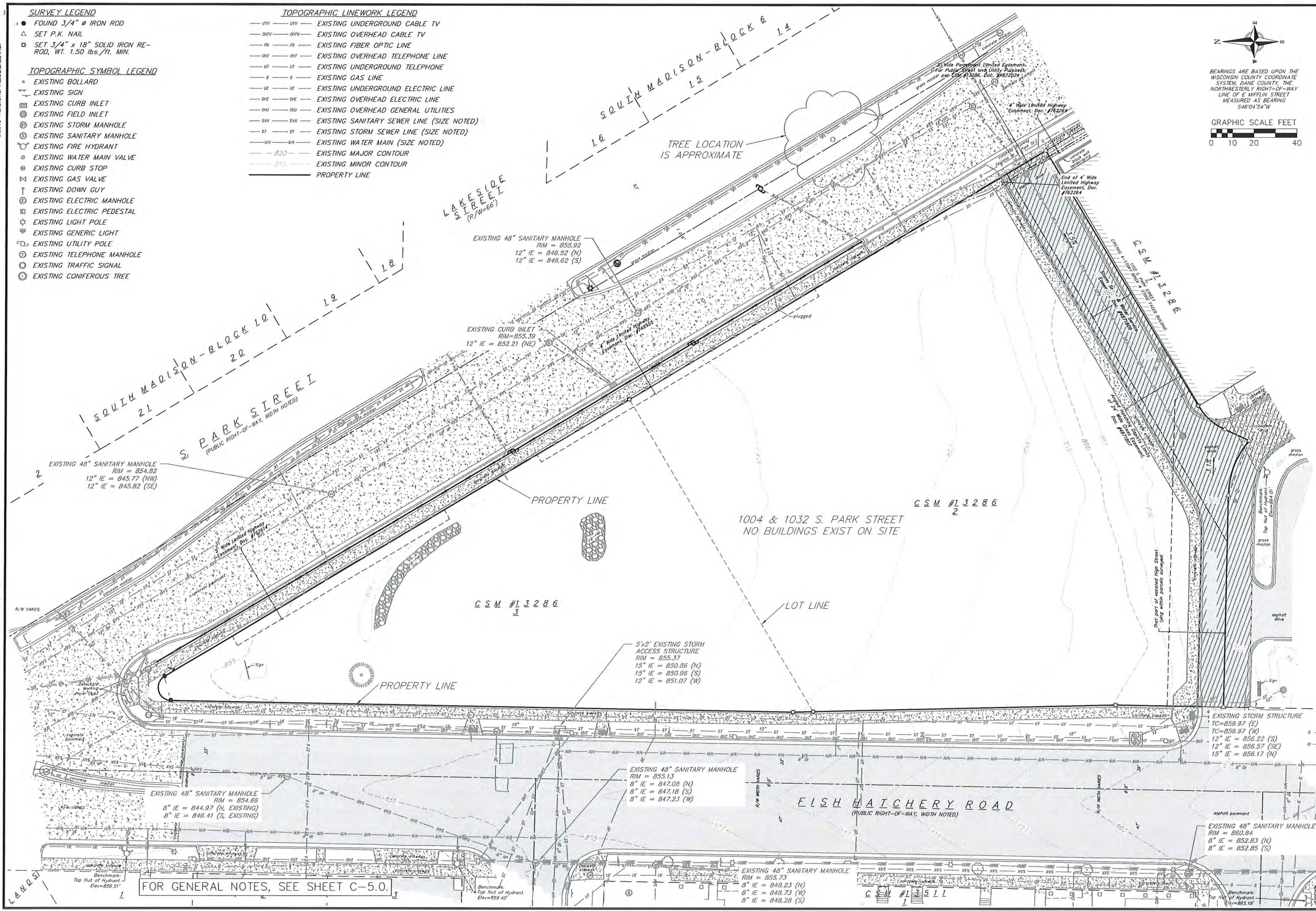
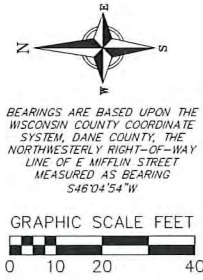
- FOUND 3/4" Ø IRON ROD
- △ SET P.K. NAIL
- ◻ SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING SIGN
- ▣ EXISTING CURB INLET
- ◊ EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING GAS VALVE
- ↑ EXISTING DOWN GUY
- ⊙ EXISTING ELECTRIC MANHOLE
- ⊙ EXISTING ELECTRIC PEDESTAL
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING GENERIC LIGHT
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING TELEPHONE MANHOLE
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING CONIFEROUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTV — UTV — EXISTING UNDERGROUND CABLE TV
- OHTV — OHTV — EXISTING OVERHEAD CABLE TV
- FO — FO — EXISTING FIBER OPTIC LINE
- OHT — OHT — EXISTING OVERHEAD TELEPHONE LINE
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- G — G — EXISTING GAS LINE
- UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- OUE — OUE — EXISTING OVERHEAD ELECTRIC LINE
- OGU — OGU — EXISTING OVERHEAD GENERAL UTILITIES
- SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WM — WM — EXISTING WATER MAIN (SIZE NOTED)
- 820 — 820 — EXISTING MAJOR CONTOUR
- 810 — 810 — EXISTING MINOR CONTOUR
- — — — PROPERTY LINE



Existing Conditions Plan
Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN

DATE 08/18/2017

DRAFTER

AMEA

CHECKED RKL

PROJECT NO. 140245

SHEET 1 OF 6

DWG. NO. C-1.0

vierbicher planners | engineers | architects | interior designers

RECESSBURG - MADISON - PRASLEE - CHRYSEN

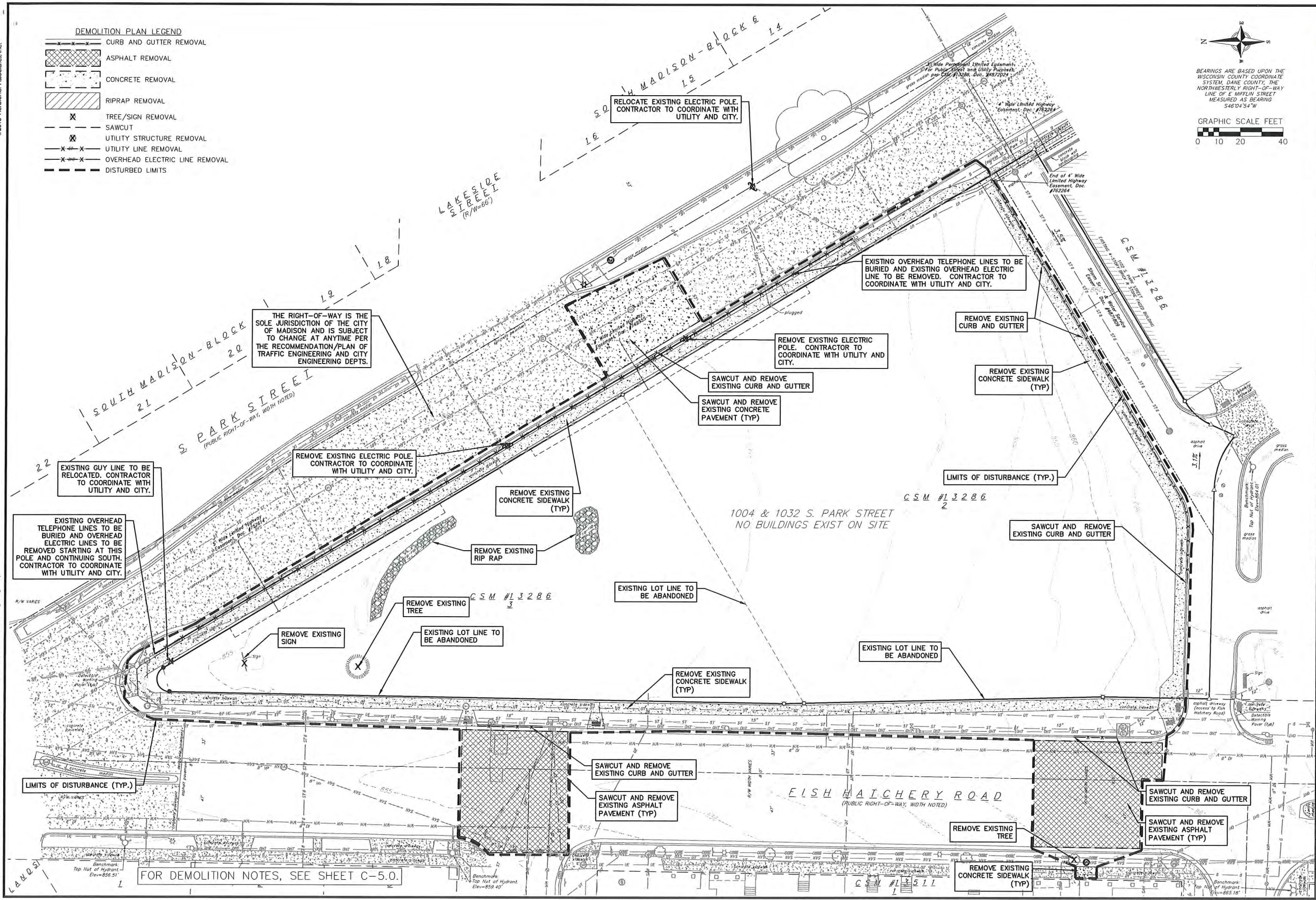
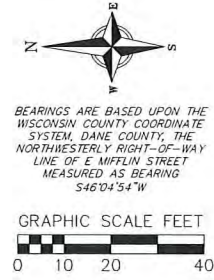
999 Fourstar Drive, Suite 201, Madison, Wisconsin 53717

Phone: (608) 894-6332 Fax: (608) 824-0330

FOR GENERAL NOTES, SEE SHEET C-5.0.

DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	RIPRAP REMOVAL
	TREE/SIGN REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL
	OVERHEAD ELECTRIC LINE REMOVAL
	DISTURBED LIMITS



Demolition Plan
Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 08/18/2017

DRAFTER

CHECKED RKOL

PROJECT NO. 140245

SHEET 2 OF 6

DWG. NO. C-2.0

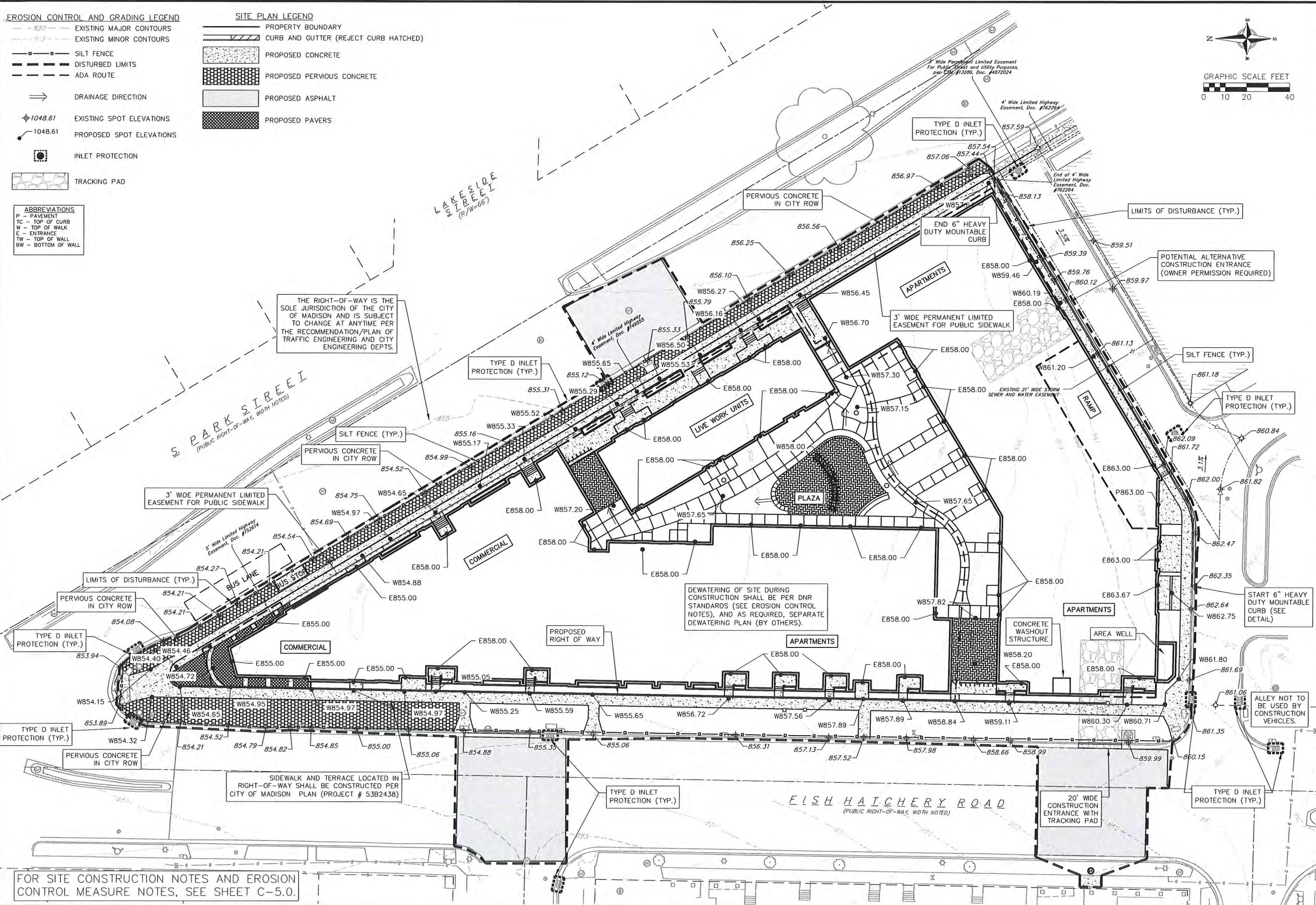
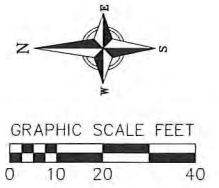
EROSION CONTROL AND GRADING LEGEND

- - - 52.0 - - - EXISTING MAJOR CONTOURS
- - - 91.3 - - - EXISTING MINOR CONTOURS
- — — SILT FENCE
- — — DISTURBED LIMITS
- — — ADA ROUTE
- ⇒ DRAINAGE DIRECTION
- ⊕ 1048.61 EXISTING SPOT ELEVATIONS
- ⊕ 1048.61 PROPOSED SPOT ELEVATIONS
- ⊙ INLET PROTECTION
- TRACKING PAD

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REJECT CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED PERVIOUS CONCRETE
- PROPOSED ASPHALT
- PROPOSED PAVERS

- ABBREVIATIONS**
- P - PAVEMENT
 - TC - TOP OF CURB
 - W - TOP OF WALK
 - E - ENTRANCE
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

DEWATERING OF SITE DURING CONSTRUCTION SHALL BE PER DNR STANDARDS (SEE EROSION CONTROL NOTES), AND AS REQUIRED, SEPARATE DEWATERING PLAN (BY OTHERS).

SIDEWALK AND TERRACE LOCATED IN RIGHT-OF-WAY SHALL BE CONSTRUCTED PER CITY OF MADISON PLAN (PROJECT # 53B243B)

FOR SITE CONSTRUCTION NOTES AND EROSION CONTROL MEASURE NOTES, SEE SHEET C-5.0.

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN
 DATE 08/18/2017
 DRAFTER AMEA
 CHECKED RKOL
 PROJECT NO. 140245
 SHEET 3 OF 6
 DWG. NO. C-3.0

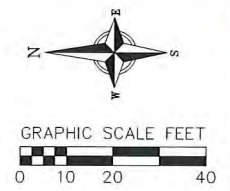
©2013 Vierbicher Associates, Inc.

18 Aug 2017 - 8:32p MAT Wall Enterprises LLC \140245_Winagra Point Phase 2\CA\DD\140245_base_eng.dwg by: kcl

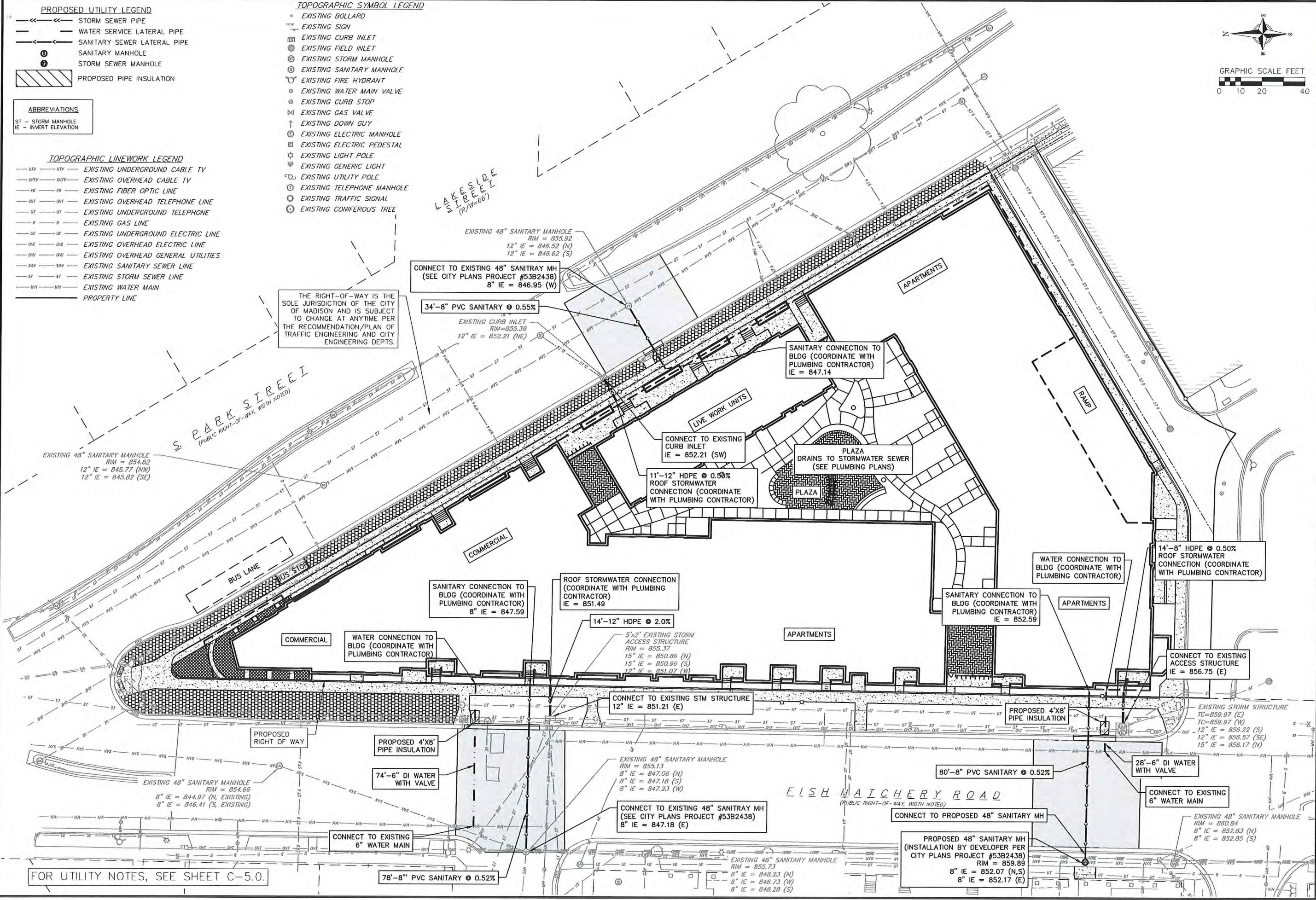
- PROPOSED UTILITY LEGEND**
- ST --- ST --- STORM SEWER PIPE
 - W --- W --- WATER SERVICE LATERAL PIPE
 - S --- S --- SANITARY SEWER LATERAL PIPE
 - ○ --- SANITARY MANHOLE
 - ○ --- STORM SEWER MANHOLE
 - ▨ --- PROPOSED PIPE INSULATION
- ABBREVIATIONS**
- ST --- ST --- STORM MANHOLE
 - IE --- IE --- INVERT ELEVATION

- TOPOGRAPHIC LINEWORK LEGEND**
- UTV --- UTV --- EXISTING UNDERGROUND CABLE TV
 - OHTV --- OHTV --- EXISTING OVERHEAD CABLE TV
 - FO --- FO --- EXISTING FIBER OPTIC LINE
 - OHT --- OHT --- EXISTING OVERHEAD TELEPHONE LINE
 - UT --- UT --- EXISTING UNDERGROUND TELEPHONE
 - G --- G --- EXISTING GAS LINE
 - UE --- UE --- EXISTING UNDERGROUND ELECTRIC LINE
 - OUE --- OUE --- EXISTING OVERHEAD ELECTRIC LINE
 - OGU --- OGU --- EXISTING OVERHEAD GENERAL UTILITIES
 - SAN --- SAN --- EXISTING SANITARY SEWER LINE
 - ST --- ST --- EXISTING STORM SEWER LINE
 - WM --- WM --- EXISTING WATER MAIN
 - --- --- PROPERTY LINE

- TOPOGRAPHIC SYMBOL LEGEND**
- --- EXISTING BOLLARD
 - --- EXISTING SIGN
 - ▭ --- EXISTING CURB INLET
 - --- EXISTING FIELD INLET
 - --- EXISTING STORM MANHOLE
 - --- EXISTING SANITARY MANHOLE
 - --- EXISTING FIRE HYDRANT
 - --- EXISTING WATER MAIN VALVE
 - --- EXISTING CURB STOP
 - --- EXISTING GAS VALVE
 - ↑ --- EXISTING DOWN GUY
 - --- EXISTING ELECTRIC MANHOLE
 - ▭ --- EXISTING ELECTRIC PEDESTAL
 - ☆ --- EXISTING LIGHT POLE
 - --- EXISTING GENERIC LIGHT
 - --- EXISTING UTILITY POLE
 - --- EXISTING TELEPHONE MANHOLE
 - --- EXISTING TRAFFIC SIGNAL
 - --- EXISTING CONIFEROUS TREE



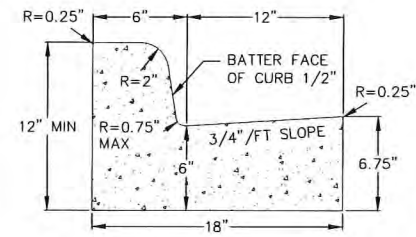
vierbicher
 planners | engineers | advisors
 REEDSBURG - MADISON - WAUKESHA - WAUWATOSA - WAUNAKEE - WISCONSIN
 999 Francis Street | Phone: (608) 824-5332 | Fax: (608) 824-5330



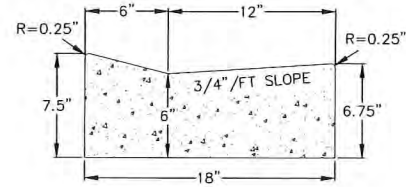
Utility Plan
 Peloton Residences
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

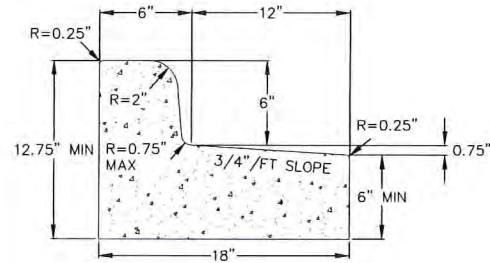
SCALE: AS SHOWN
 DATE: 08/18/2017
 DRAFTER: AMEA
 CHECKED: RKOL
 PROJECT NO.: 140245
 SHEET: 4 OF 6
 DWG. NO.: C-4.0



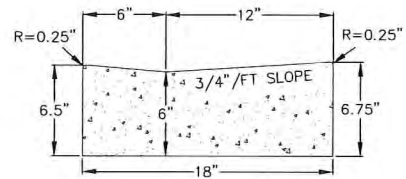
CURB AND GUTTER CROSS SECTION



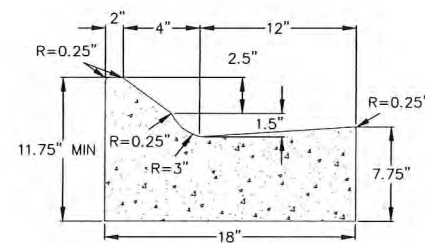
DRIVEWAY GUTTER CROSS SECTION



CURB AND GUTTER REJECT SECTION

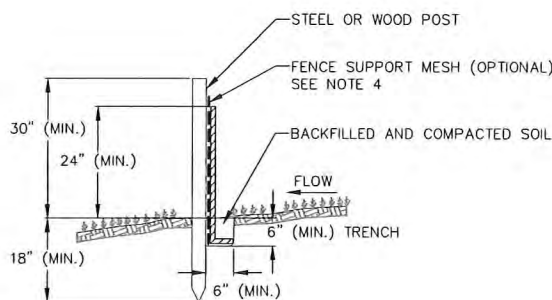


HANDICAP RAMP GUTTER CROSS SECTION



MOUNTABLE CURB AND GUTTER CROSS SECTION

1 18" CONCRETE CURB AND GUTTER
5 NOT TO SCALE



2 SILT FENCE
5 NOT TO SCALE

NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
4. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
8. STORM AND SANITARY LATERAL SIZES/LOCATIONS WERE OBTAINED FROM CITY OF MADISON GIS DATA.

DEMOLITION NOTES:

1. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
2. ALL DAMAGE TO THE PAVEMENT ON S. PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438) AND SHALL COMPLY WITH ALL PROVISIONS AS OUTLINED IN THE CITY OF MADISON STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
7. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

CONSTRUCTION SEQUENCE :

- PHASE 1 -
1. INSTALL SILT FENCE AND TRACKING PAD. APRIL 2016
 2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY. APRIL 2016
 3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY). APRIL 2016
 4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS. APRIL 2016
 5. ROUGH GRADE FOR BUILDINGS AND WALKS. MAY 2016
 6. CONSTRUCT FOUNDATION, BASEMENT AND BUILDING JUNE 2016 - FEB 2017
 7. CONSTRUCT UNDERGROUND UTILITIES. JUNE - JULY 2016
 8. INSTALL INLET PROTECTION ON NEW INLETS. JUNE - JULY 2016
 9. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA. SEPT - OCT 2016
 10. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2016

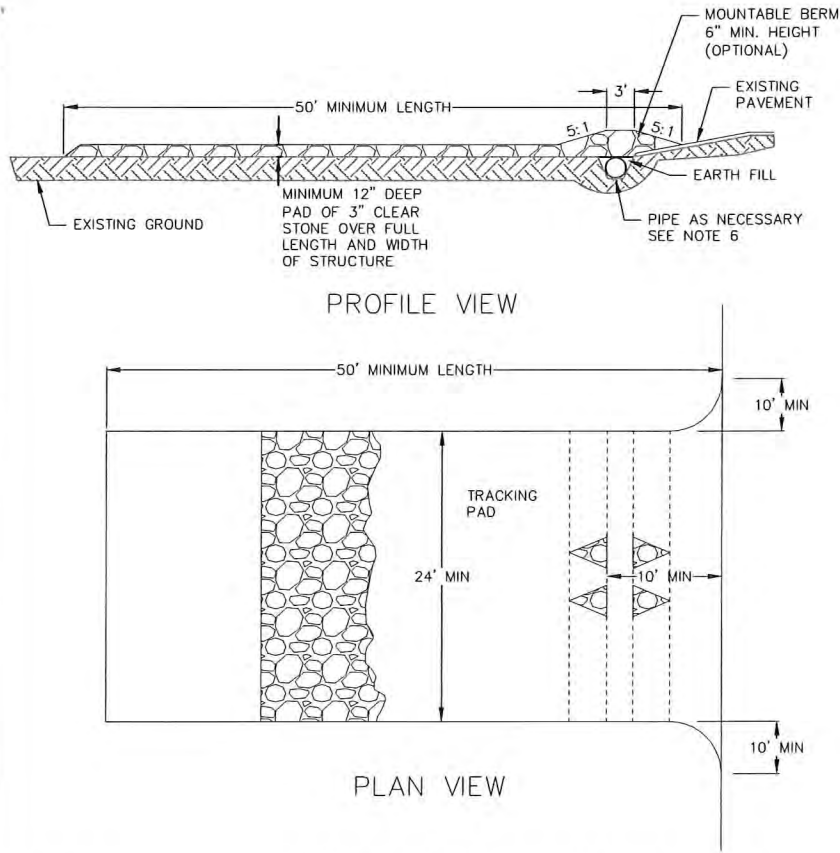
- PHASE 2 -
1. CONSTRUCT BUILDING APRIL 2017 - NOV 2017
 2. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH. SEPT 2017
 3. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED. NOV 2017

UTILITY NOTES:

1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
15. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).
16. ALL DAMAGE TO THE PAVEMENT ON SOUTH PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
17. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
18. UTILITY CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING STORM SEWER CONSTRUCTION.

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN
 DATE 08/18/2017
 DRAFTER AMEA
 CHECKED RCOL
 PROJECT NO. 140245
 SHEET 5 OF 6
 DWG. NO. C-5.0

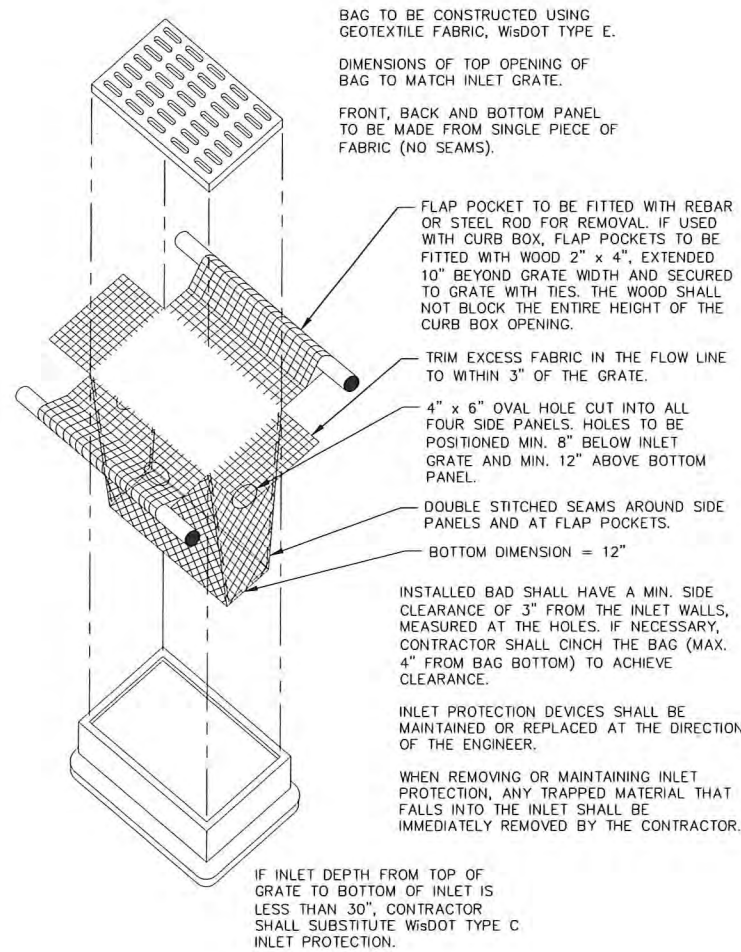


1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

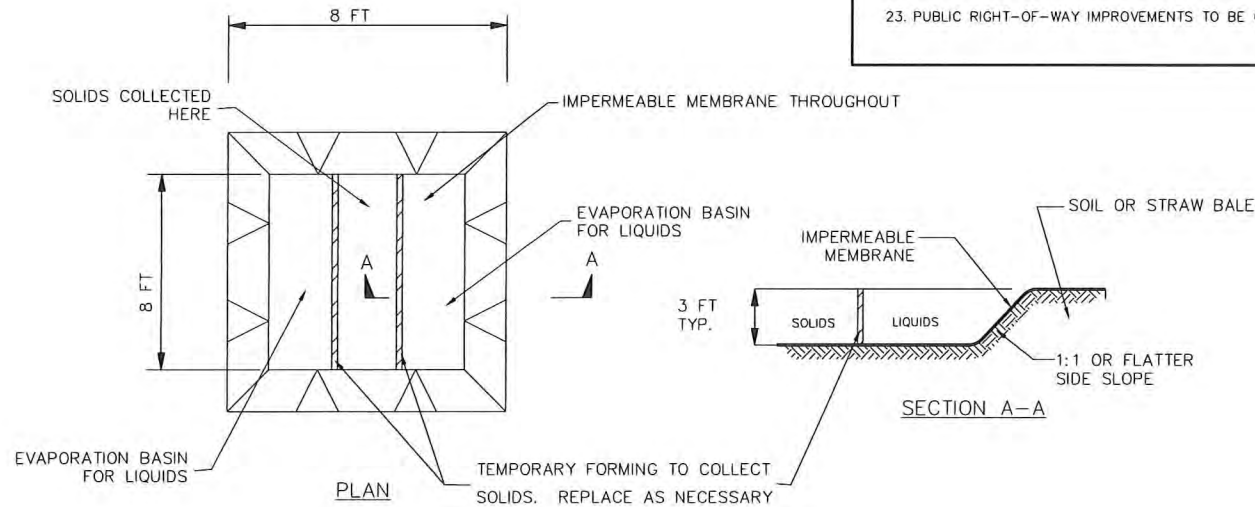
1 TRACKING PAD
 6 NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



2 INLET PROTECTION TYPE D
 6 NOT TO SCALE



3 CONCRETE WASHOUT STRUCTURE
 6 NOT TO SCALE

EROSION CONTROL MEASURE NOTES:

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. **STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. **SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED PER APPLICABLE DNR TECHNICAL STANDARDS, OR OTHER APPROPRIATE CONTROL MEASURES. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DEWATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER 53B2438).

SEEDING RATES:

- TEMPORARY:**
 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

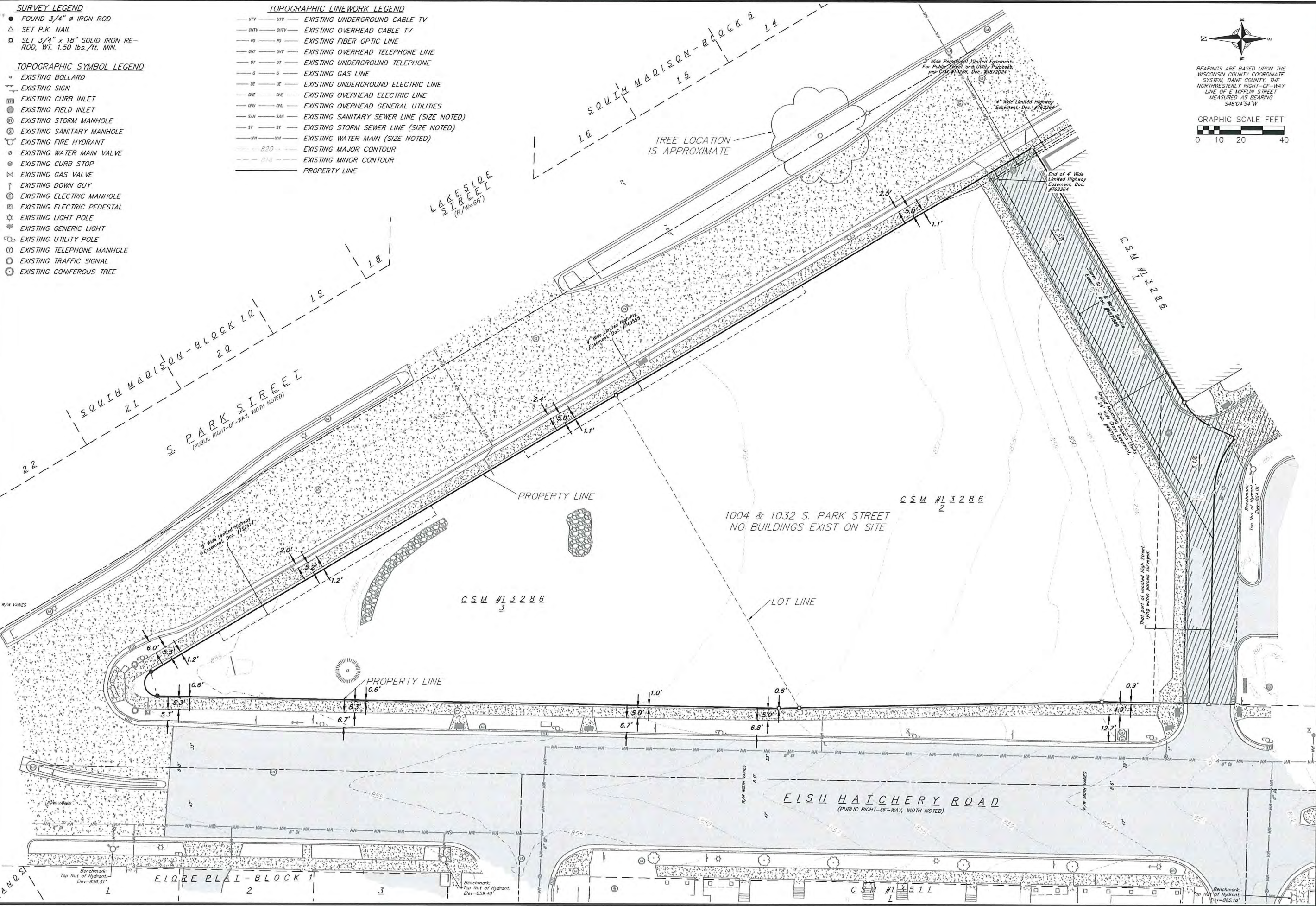
- PERMANENT:**
 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

- FERTILIZING RATES:**
TEMPORARY AND PERMANENT:
 USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

- MULCHING RATES:**
TEMPORARY AND PERMANENT:
 USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

REVISIONS	NO.	DATE	REMARKS

SCALE	AS SHOWN
DATE	08/18/2017
DRAFTER	AMEA
CHECKED	RKOL
PROJECT NO.	140245
SHEET	6 OF 6
DWG. NO.	C-6.0



SURVEY LEGEND

- FOUND 3/4" Ø IRON ROD
- △ SET P.K. NAIL
- SET 3/4" x 18" SOLID IRON RE-ROD, WT. 1.50 lbs./ft. MIN.

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- ⊕ EXISTING SIGN
- ▣ EXISTING CURB INLET
- ⊖ EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING GAS VALVE
- ↑ EXISTING DOWN GUY
- ⊙ EXISTING ELECTRIC MANHOLE
- ⊙ EXISTING ELECTRIC PEDESTAL
- ★ EXISTING LIGHT POLE
- ⊙ EXISTING GENERIC LIGHT
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING TELEPHONE MANHOLE
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING CONIFEROUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- UTV— OHTV— EXISTING UNDERGROUND CABLE TV
- FO— OHT— EXISTING OVERHEAD CABLE TV
- UT— OHT— EXISTING OVERHEAD TELEPHONE LINE
- G— — EXISTING GAS LINE
- UE— OHE— EXISTING UNDERGROUND ELECTRIC LINE
- OU— OHE— EXISTING OVERHEAD ELECTRIC LINE
- SAN— — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST— — EXISTING STORM SEWER LINE (SIZE NOTED)
- WH— — EXISTING WATER MAIN (SIZE NOTED)
- 820— — EXISTING MAJOR CONTOUR
- 815— — EXISTING MINOR CONTOUR
- — — — — PROPERTY LINE



vierbicher
 planners | engineers | advisors
 REEDSBURG - MADISON - PRAIRIE DU CHIEN
 999 Fox Fox Road
 Phone: (608) 824-9332 Fax: (608) 824-9330

Existing Conditions Exhibit
 Peloton Residences
 City of Madison
 Dane County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 08/18/2017

DRAFTER

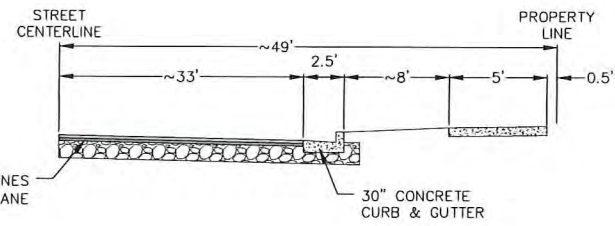
AMEA

CHECKED RKOL

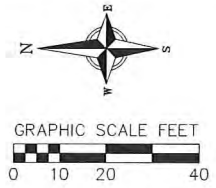
PROJECT NO. 140245

SHEET 1 OF 2

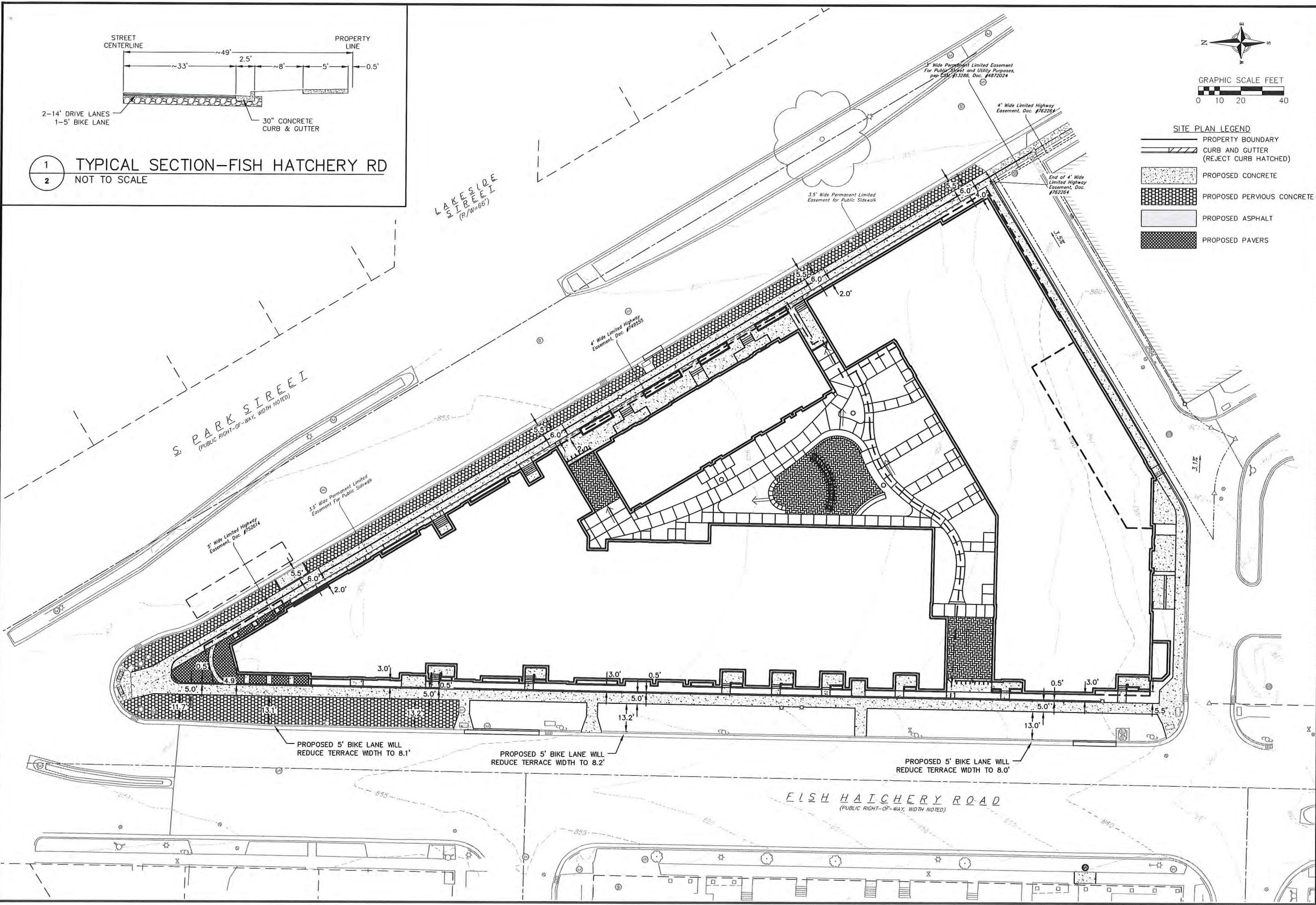
DWG. NO.



1 TYPICAL SECTION—FISH HATCHERY RD
2 NOT TO SCALE



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - ▨ CURB AND GUTTER (REJECT CURB HATCHED)
 - ▤ PROPOSED CONCRETE
 - ▥ PROPOSED PERVIOUS CONCRETE
 - ▧ PROPOSED ASPHALT
 - ▩ PROPOSED PAVERS



PROPOSED 5' BIKE LANE WILL REDUCE TERRACE WIDTH TO 8.1'

PROPOSED 5' BIKE LANE WILL REDUCE TERRACE WIDTH TO 8.2'

PROPOSED 5' BIKE LANE WILL REDUCE TERRACE WIDTH TO 8.0'

Site Plan Exhibit
Peloton Residences
City of Madison
Dane County, Wisconsin

REVISIONS NO.	DATE	REMARKS

SCALE AS SHOWN
DATE 08/18/2017
DRAFTER AMEA
CHECKED RKOL
PROJECT NO. 140245
SHEET 2 OF 2
DWG. NO.

Plant Material List

Quantity	Code Name	Common Name	Scientific Name	Planting Size
Broadleaf Deciduous				
3	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
3	AHH	Amer Hornbeam	Carpinus Caroliniana	2 1/2" B&B
Conifer Evergreen				
7	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4' B&B
7	ELY	Everlow Yew	Taxus X Media 'everlow'	18" B&B
6	TY	Taunton Yew	Taxus X Media 'tauntonii'	#5 CONT.
Perennial				
44	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
99	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
9	JH	June Hosta	Hosta 'june'	#1 CONT.
26	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
51	VMOG	Variiegated Moor Grass	Molina Caerulea 'variegata'	#1 CONT.
44	TSLF	Tassel Fern	Polystichum Polyblepharum	#1 CONT.
52	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.
Shrub				
1	FBWE	Fire Ball Winged Euonymus	Euonymus Alatus 'select'	3' B&B
25	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'klmsevensteen'	5 GAL.

MADISON LANDSCAPE WORKSHEET

Zoning district is GDP/SIP
 Total square footage of developed area = 12,500 SF
 Total square footage of first 5 acres of developed area + 300 square feet = 42 Landscape Units
 Total square footage of 0 additional acres of developed area + 100 square feet = 0 Landscape Units

NUMBER OF LANDSCAPE POINTS REQUIRED
 42 Landscape Units x 5 landscape points for first 5 acres = 210 points
 0 Landscape Units x 1 landscape point for additional acres = 0 points
 TOTAL LANDSCAPE POINTS REQUIRED = 210 points

PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING		TOTAL POINTS PROVIDED
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	3	105			
Tall Evergreen Tree : 5-6 feet tall	35					
Ornamental Tree : 1-1/2" Caliper (dbh)	15	3	45			
Upright Evergreen Shrub : 3-4 feet tall	10	7	70			
Shrub, deciduous : 3 gallon / 12"-24"	3	26	78			
Shrub, evergreen : 3 gallon / 12"-24"	4	13	52			
Ornamental grass/perennial : 1 gallon / 8"-18"	2	325	650			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					
Landscape furniture for public seating and/or transit connections	5 per 'seat'					
Sub Totals		1000	+	NA		= 1000

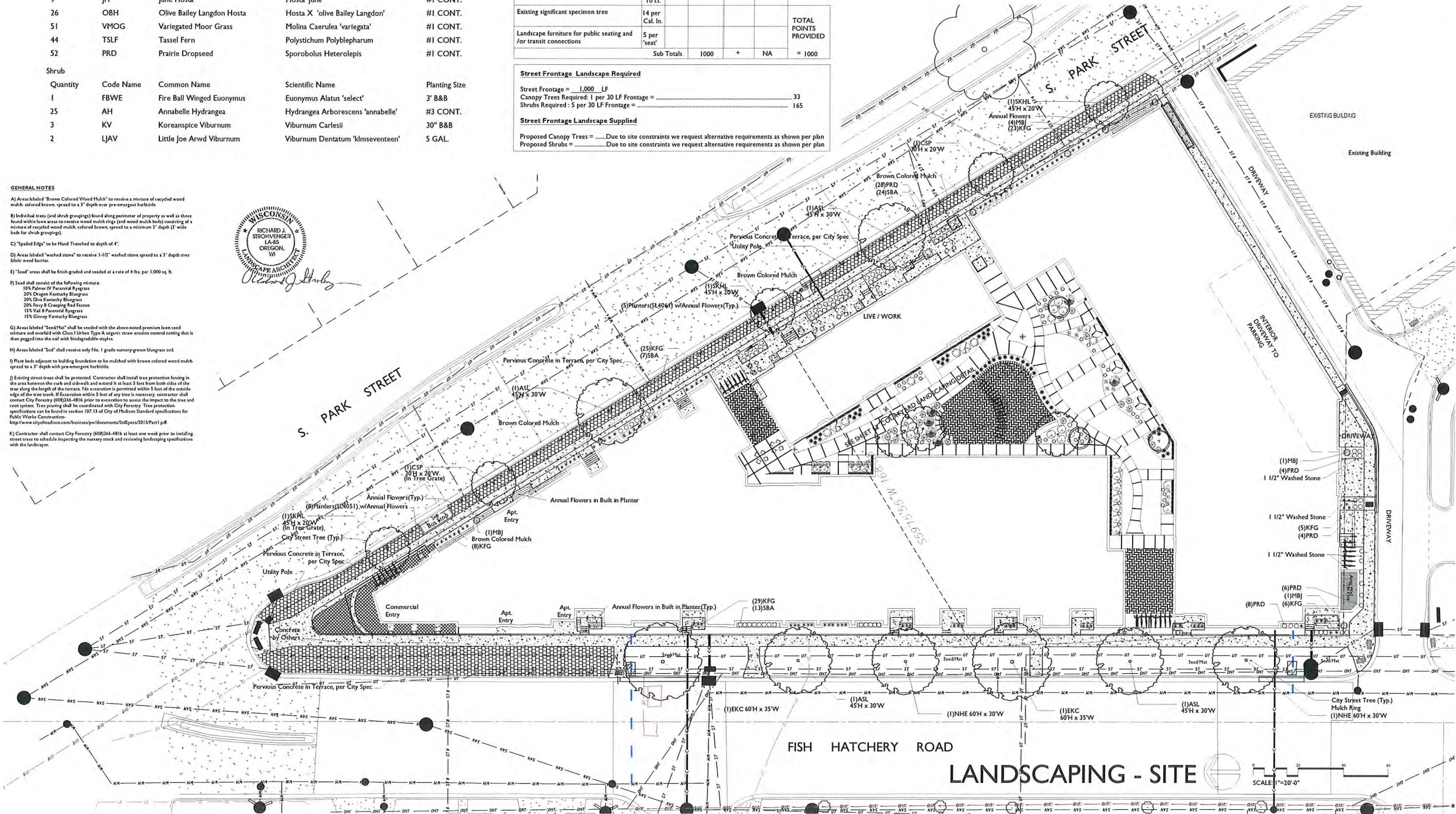
Street Frontage Landscape Required
 Street Frontage = 1,000 LF
 Canopy Trees Required: 1 per 30 LF Frontage = 33
 Shrubs Required: 5 per 30 LF Frontage = 165

Street Frontage Landscape Supplied
 Proposed Canopy Trees = Due to site constraints we request alternative requirements as shown per plan
 Proposed Shrubs = Due to site constraints we request alternative requirements as shown per plan

City Street Trees at Park Street and Fish Hatchery Road -- Plant Material List

Quantity	Code Name	Common Name (Mature Size)	Scientific Name	Planting Size
3	SKHL	Street Keeper Honeylocust (45'H x 20'W)	Gleditsia Triacan 'draves'	2 1/2" B&B
2	EKC	Espresso Kentucky Coffeetree (60'H x 35'W)	Gymnocladus Dioicus 'espresso-Jfs'	2 1/2" B&B
2	CSP	Cleveland Select Pear (30'H x 20'W)	Pyrus Calleryana 'Cleveland Select'	2 1/2" B&B
4	ASL	American Sentry Linden (45'H x 30'W)	Tilia Americana 'McKSentry'	2 1/2" B&B
2	NHE	New Horizon Elm (60'H x 30' W)	Ulmus 'new Horizon'	2 1/2" B&B

- GENERAL NOTES**
- Areas labeled "Brown Colored Wood Mulch" to receive a mixture of recycled wood mulch colored brown, spread to a 3" depth over pre-emergent herbicide.
 - Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch ring (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (1" wide beds for shrub groupings).
 - "Spaded Edge" to be Hand Trained to depth of 4".
 - Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
 - "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
 - Seed shall consist of the following mixture:
 10% Palmer IV Perennial Ryegrass
 20% Dragon Kentucky Bluegrass
 20% Dura Kentucky Bluegrass
 20% Fory II Creeping Red Fescue
 15% Val II Perennial Ryegrass
 15% Ginney Kentucky Bluegrass
 - Areas labeled "Seed Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with Class I Urban Type A organic straw erosion control netting that is then pegged into the soil with biodegradable staples.
 - Areas labeled "Sod" shall receive only No. 1 grade nursery grown bluegrass sod.
 - Plant beds adjacent to building foundation to be mulched with brown colored wood mulch spread to a 3" depth with pre-emergent herbicide.
 - Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)264-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction.
<http://www.cityofmadison.com/business/pw/documents/107dpecs2013/Part1.pdf>
 - Contractor shall contact City Forestry (608)264-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.



the price company
 LANDSCAPE ARCHITECTS
 LANDSCAPE CONTRACTORS
 2830 PARMENTER STREET
 P.O. BOX 620330
 MIDDLETON, WI 53562-0330
 TEL (608) 836-7041
 FAX (608) 831-6266

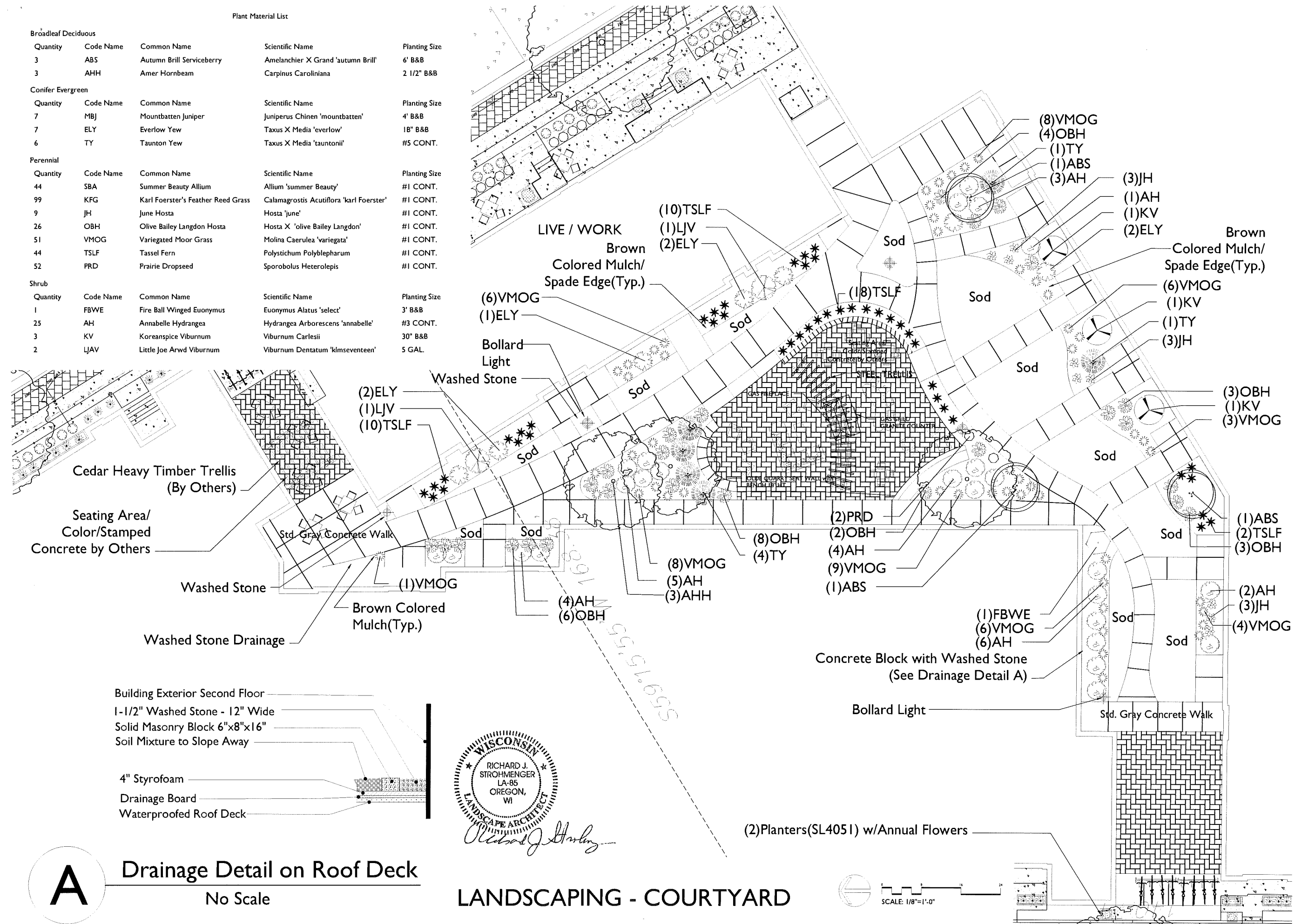
PELTON
 1004-1032 S. PARK STREET
 MADISON, WISCONSIN

Checked By: SS
 Drawn By: 8/17/16 RS
 Revised: 9/20/16 RS
 Revised: 4/5/17 RS
 Revised: 5/10/17 RS
 Revised: 8/2/17 RS
 Revised: 8/17/17 JH
 Revised:
 Revised:
 Revised:
 Revised:

L-1.1
 This plan made exclusively for the performance of the site work, it remains the property of The Price Company of Wisconsin, Inc. and may not be reproduced or implemented whole or in part by any method without prior written consent of The Price Company of Wisconsin, Inc.

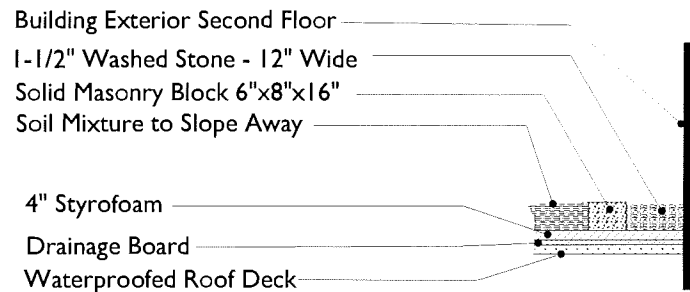
Plant Material List

Quantity	Code Name	Common Name	Scientific Name	Planting Size
Broadleaf Deciduous				
3	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'	6' B&B
3	AHH	Amer Hornbeam	Carpinus Caroliniana	2 1/2" B&B
Conifer Evergreen				
7	MBJ	Mountbatten Juniper	Juniperus Chinen 'mountbatten'	4' B&B
7	ELY	Everlow Yew	Taxus X Media 'everlow'	18" B&B
6	TY	Taunton Yew	Taxus X Media 'tauntonii'	#5 CONT.
Perennial				
44	SBA	Summer Beauty Allium	Allium 'summer Beauty'	#1 CONT.
99	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
9	JH	June Hosta	Hosta 'june'	#1 CONT.
26	OBH	Olive Bailey Langdon Hosta	Hosta X 'olive Bailey Langdon'	#1 CONT.
51	VMOG	Variiegated Moor Grass	Molina Caerulea 'variegata'	#1 CONT.
44	TSLF	Tassel Fern	Polystichum Polyblepharum	#1 CONT.
52	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.
Shrub				
1	FBWE	Fire Ball Winged Euonymus	Euonymus Alatus 'select'	3' B&B
25	AH	Annabelle Hydrangea	Hydrangea Arborescens 'annabelle'	#3 CONT.
3	KV	Koreanspice Viburnum	Viburnum Carlesii	30" B&B
2	LJAV	Little Joe Arwd Viburnum	Viburnum Dentatum 'klimseventeen'	5 GAL.



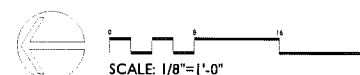
A Drainage Detail on Roof Deck

No Scale



Richard J. Strohmenger

LANDSCAPING - COURTYARD



the
bruce
company
LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS
2810 PARKER STREET
P.O. BOX 610330
MIDDLETON, WI 53562-0330
TEL: (608) 836-7541
FAX: (608) 831-6266

PELTON
1004-1032 S. PARK STREET
MADISON, WISCONSIN

Checked By: SS
Drawn By: B/17/16 RS
Revised: 9/20/16 RS
Revised: 4/5/17 RS
Revised: 5/10/17 RS
Revised: 8/2/17 RS
Revised: 8/17/17 JH
Revised: ----
Revised: ----
Revised: ----
Revised: ----

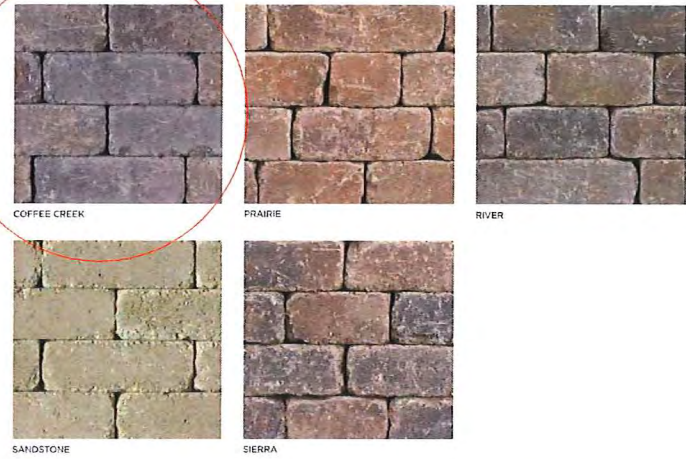
L-2.1

This plan made exclusively for the project named in the title block is the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or implemented in whole or part by any means without the prior written consent of The Bruce Company of Wisconsin, Inc.

OLDE QUARRY²

Whether your plans call for constructing a curved wall, seat wall, planters, steps, edging or even an outdoor kitchen, the look will be commanding and impressive with the antiqued finish of Olde Quarry. The flexibility of Olde Quarry makes it one of the most significant landscape design products available today. Available in a variety of colors, it can be matched to almost any paver project.

COLORS*



We recommend Unilock's LedgeStoneTM coping and pillar caps (page 95) to complement this great wall system.

PRODUCT SPECIFICATIONS



100

Visit Unilock.com for more Olde Quarry project ideas and information.

UMBRIANO[®]

N Z C UC

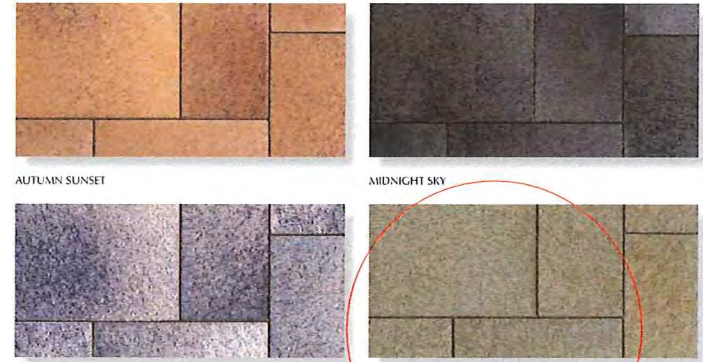


The ultimate in color and wear performance. Unilock's unmatched years of experience in the development of proprietary techniques leverage nature's inherent strength and enduring beauty.

The random dispersing of color and granite particles creates the beauty of Umbriano's[®] unique mottled surface resembling the appearance of natural granite. Umbriano, with ColorFusion[™] and

other superior features, make it an ideal selection for driveways, pool decks, patios, commercial plazas and offices.

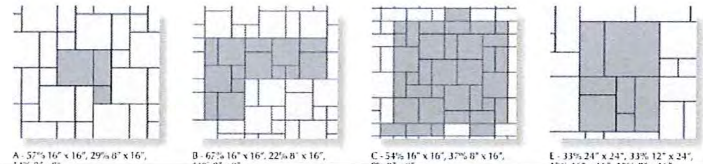
COLORS*



PRODUCT SPECIFICATIONS



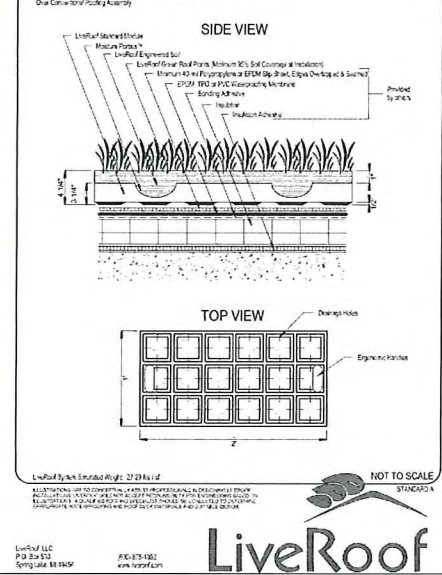
LAYING PATTERNS



RoofTop Proven[™] Giants Mix[™] Specifications



LiveRoof STANDARD SYSTEM

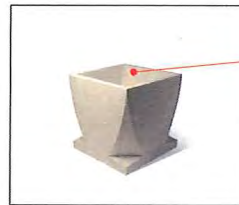


Concrete Colors and Finishes



Product Information

SL4061



Size: 42" Sq. x 42" H
Weight: 3,200-Lbs.
Material: Reinforced concrete
Reinforcing: 3/8" Dia. steel rebar
Logo Options: Inkjet or Cast
Drain Hole: (1) 2" Dia drain hole
Hardware: (2) 5/8" Dia lifting inserts

Note: Lifting inserts are to ONLY be used when planter is EMPTY

Accepts Reservoir System

Finish Options

- Standard -Weatherstone(B)
- Premium -Weatherstone Glass(C)

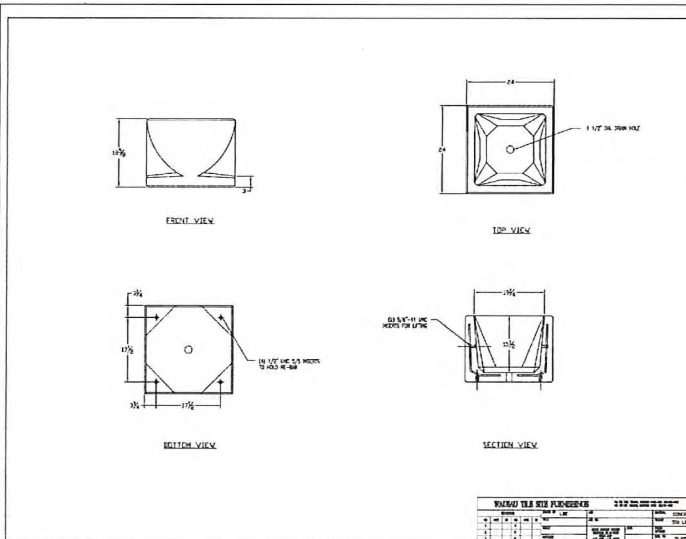
MADE IN WAUSAU
Wausau Tile
Site Furnishing Division PO Box 1520, Wausau, WI 54402-1520 (608) 368-8720
Date: 06/11/14

SL4051

A unique design for concrete planters.

ITEM NUMBER: SL4051
DIMENSIONS: 24" x 24" x 12"
WEIGHT: 50 lbs.
ADDITIONAL FEATURES: Precision 3/8" Dia. lifting inserts. Lifting inserts are to ONLY be used when planter is EMPTY.

MATERIAL: Concrete
SHAPE: Square
REINFORCEMENT: Yes



DETAILS

the bruce company
LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS
2819 PARKMEYER STREET
P.O. BOX 520339
MIDDLETON, WI 53562-0330
TEL (608) 836-7041
FAX (608) 831-6266

PELTON
1004-1032 S. PARK STREET
MADISON, WISCONSIN

Checked By: SS
Drawn By: 8/17/16 RS

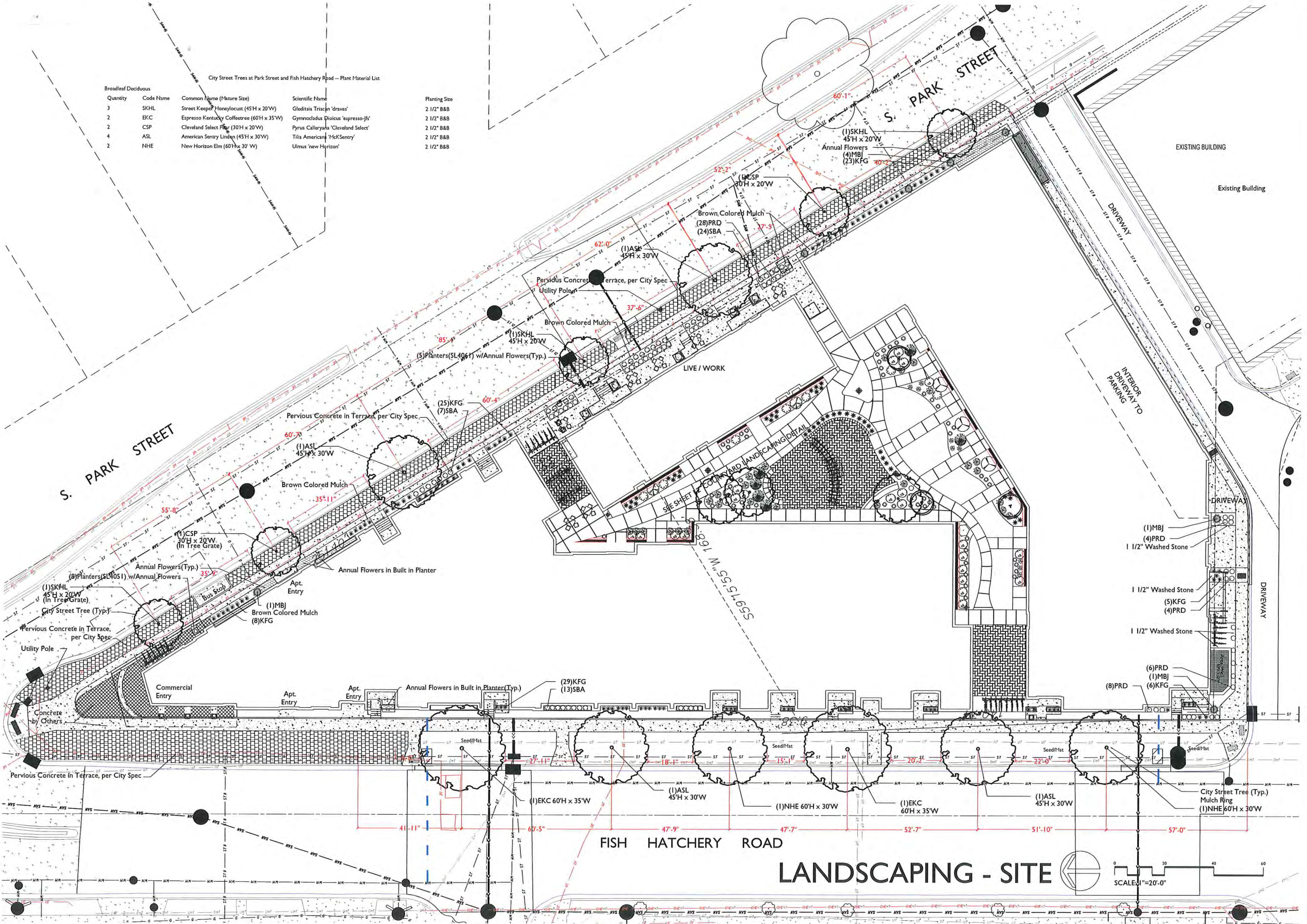
Revised: 9/20/16 RS
Revised: 4/5/17 RS
Revised: 5/10/17 RS
Revised: 8/2/17 RS
Revised: 8/17/17 JH
Revised: ----
Revised: ----
Revised: ----
Revised: ----

L-3.1

This plan was prepared exclusively for the party named in the title block. It remains the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or implemented in whole or part by any method without prior written consent of The Bruce Company of Wisconsin, Inc.

City Street Trees at Park Street and Fish Hatchery Road -- Plant Material List

Quantity	Code Name	Common Name (Mature Size)	Scientific Name	Planting Size
3	SKHL	Street Keeper Honeylocust (45'H x 20'W)	Gleditsia Triacanthoides	2 1/2" B&B
2	EKC	Espresso Kentucky Coffeetree (60'H x 35'W)	Gymnocladus dioica 'espresso-jf'	2 1/2" B&B
2	CSP	Cleveland Select Elm (30'H x 20'W)	Pyrus Calleryana 'Cleveland Select'	2 1/2" B&B
4	ASL	American Sentry Linden (45'H x 30'W)	Tilia Americana 'McKsentry'	2 1/2" B&B
2	NHE	New Horizon Elm (60'H x 30'W)	Ulmus 'new Horizon'	2 1/2" B&B



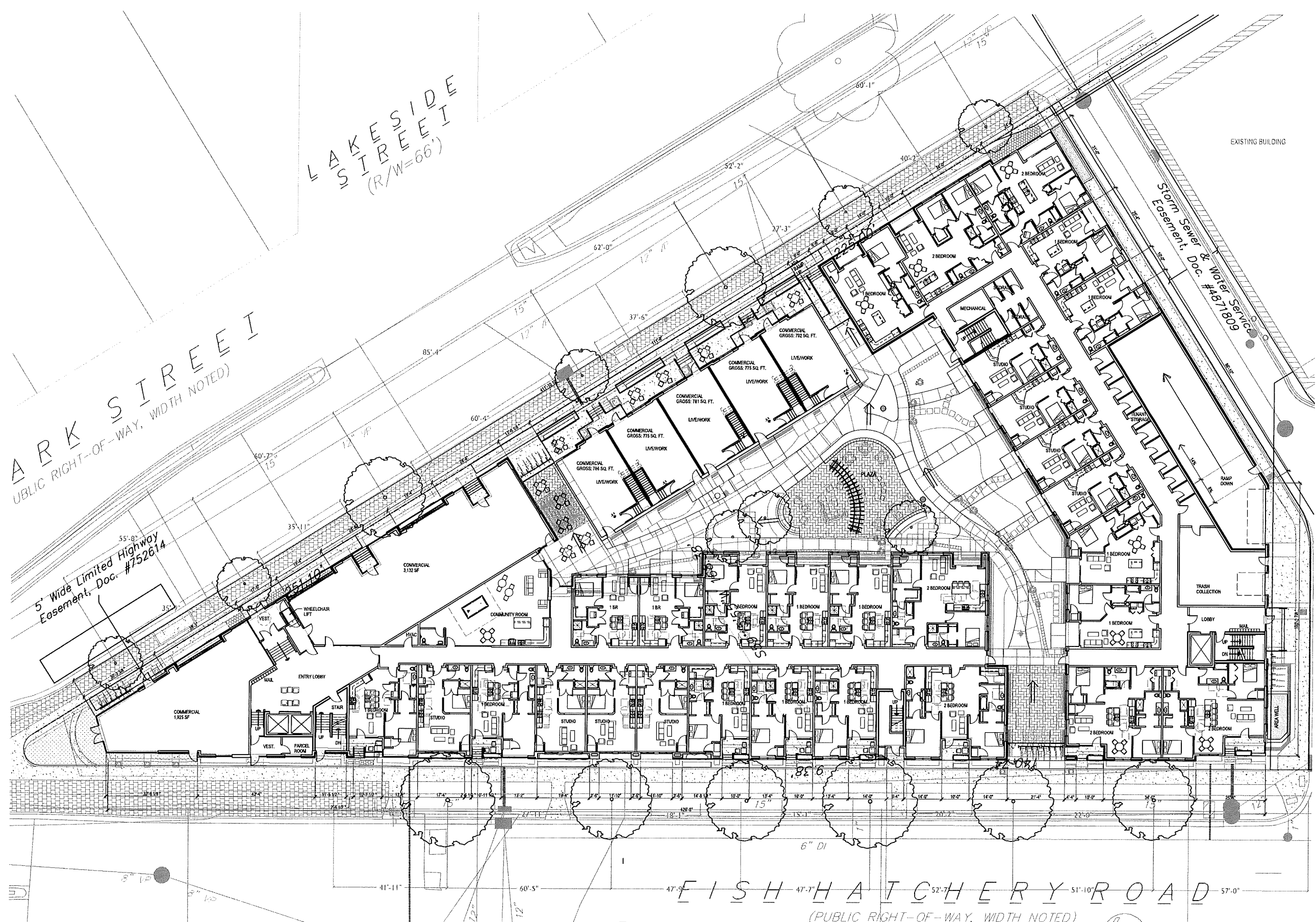
PELTON
 1004-1032 S. PARK STREET
 MADISON, WISCONSIN

Checked By: SS
 Drawn By: B/17/16 RS
 Revised: 9/20/16 RS
 Revised: 4/5/17 RS
 Revised: 5/10/17 RS
 Revised: 8/21/17 RS
 Revised: 8/17/17 JH
 Revised: ----
 Revised: ----
 Revised: ----
 Revised: ----

L4.1
CITY TREES
The plan made exclusively for the party named on this title block, it remains the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or employed in whole or part by any method without prior written consent of The Bruce Company of Wisconsin, Inc.

1521 S. CADDOESVILLE SHORTWING ROAD, POINT PELTON, WI 53591. SCALE: 1/8"=1'-0". PRINTED: 8/17/2017.

ORIGINAL SIZE = 34" x 48"
 X:\08182017\08182017.dwg
 SCALE: 1/16" = 1'-0"
 PLOTTED BY: mly/mw



FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

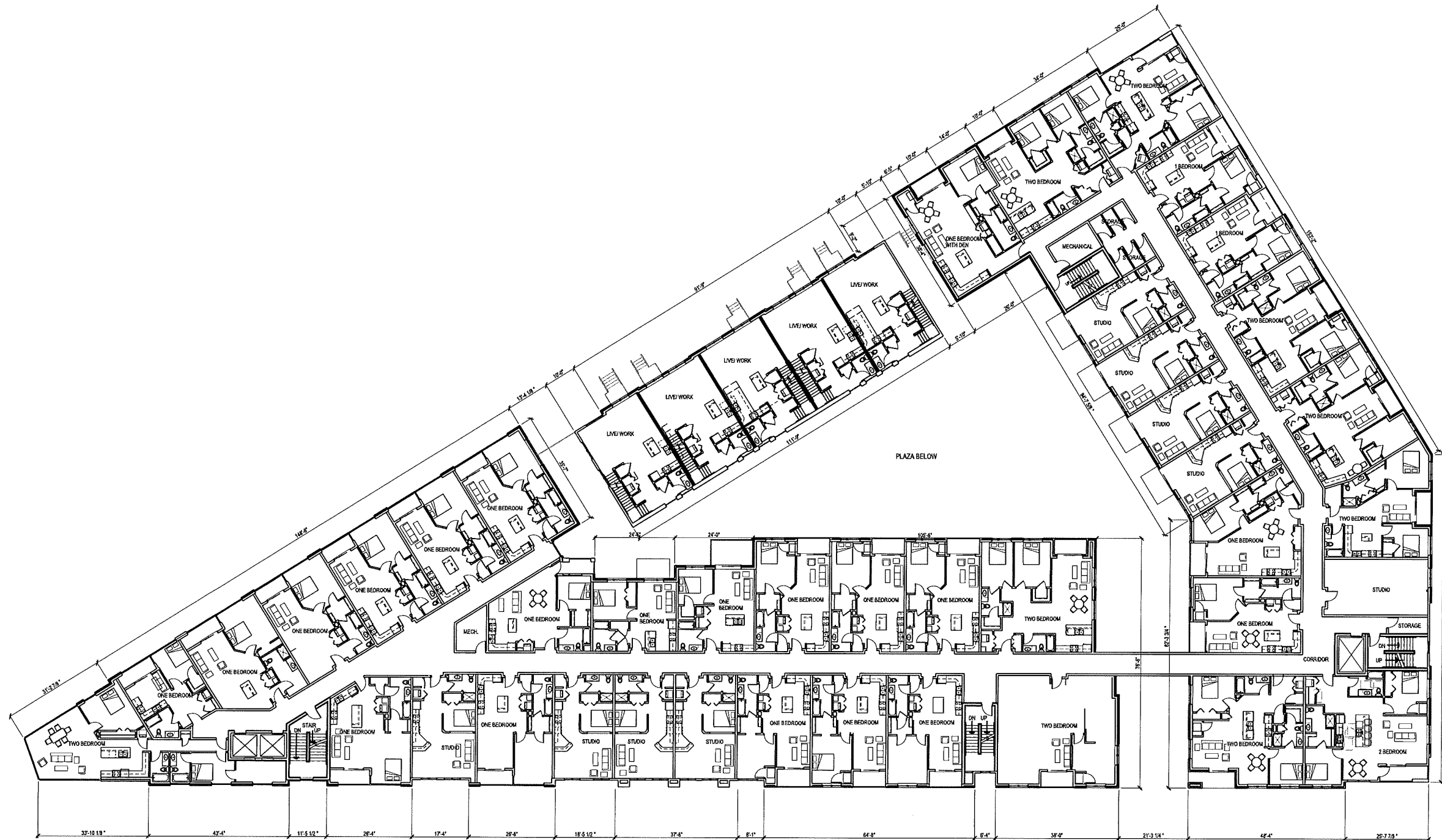
PROJECT NUMBER 58830	ISSUANCES UDC INITIAL/FINAL APPROVAL/PC - 05/10/2017
APPROVED BY XXX	REVISIONS
REVIEWED BY XXX	
DRAWN BY MBH	
DATE 8/18/2017 3:12:32 PM	
OVERALL FIRST FLOOR PLAN	

PELTON PLACE RESIDENCES
MIXED USE DEVELOPMENT
PELTON RESIDENCES, LLC
MADISON, WISCONSIN

Angus Young
 Architecture | Engineering
 Interiors | Landscape
 Balance in Creativity
 Juanda: 555 South River Street - Juanda, WI 53948 | Ph. 608.784.2326
 Madison: 16 North Canal Street - Madison, WI 53703 | Ph. 608.254.3225
 www.angusyong.com

Copyright © 2017 Angus Young Associates, Inc. All Rights Reserved

A101



SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

**PELTON PLACE RESIDENCES
MIXED USE DEVELOPMENT
PELTON RESIDENCES, LLC
MADISON, WISCONSIN**

PROJECT NUMBER: 5830
APPROVED BY: JAK
REVIEWED BY: JAK
DRAWN BY: MBH
DATE: 8/18/2017 3:12:45 PM

OVERALL
SECOND FLOOR
PLAN

A102

Angus Young
Architecture | Engineering
Interiors | Landscape

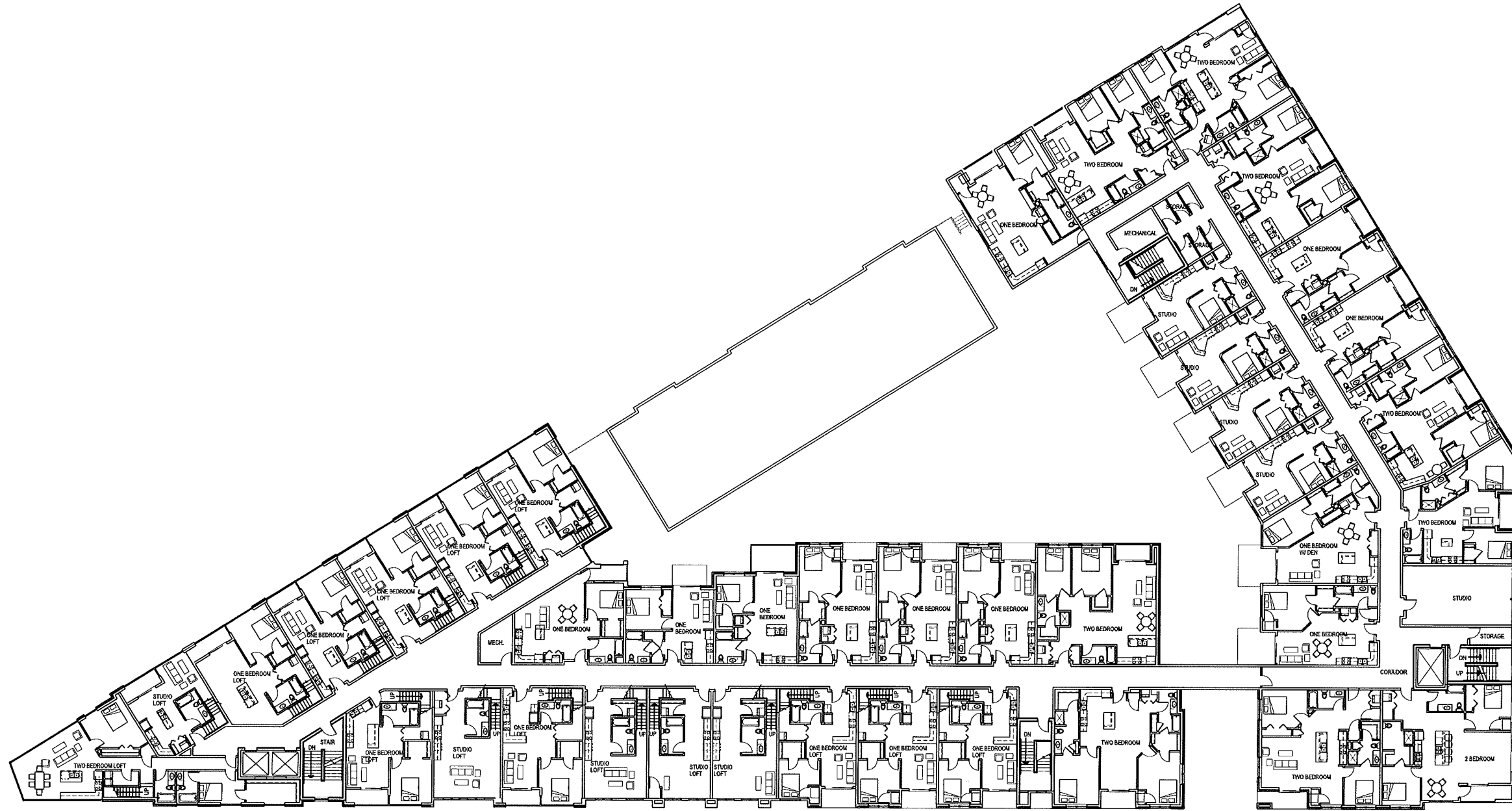
Balance in Creativity

1400 S. West River Street - Ironville, WI 53548 | Tel: 608.764.3235
1400 S. West River Street - Ironville, WI 53548 | Tel: 608.764.3235
www.angusyoung.com

Copyright © 2017 Angus Young Associates, Inc. All Rights Reserved

ISSUANCES	REVISIONS
UDC INITIAL/FINAL APPROVAL/PC - 05/10/2017	

PRELIMINARY - NOT FOR CONSTRUCTION



NORTH
FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

OVERALL
FOURTH FLOOR
PLAN

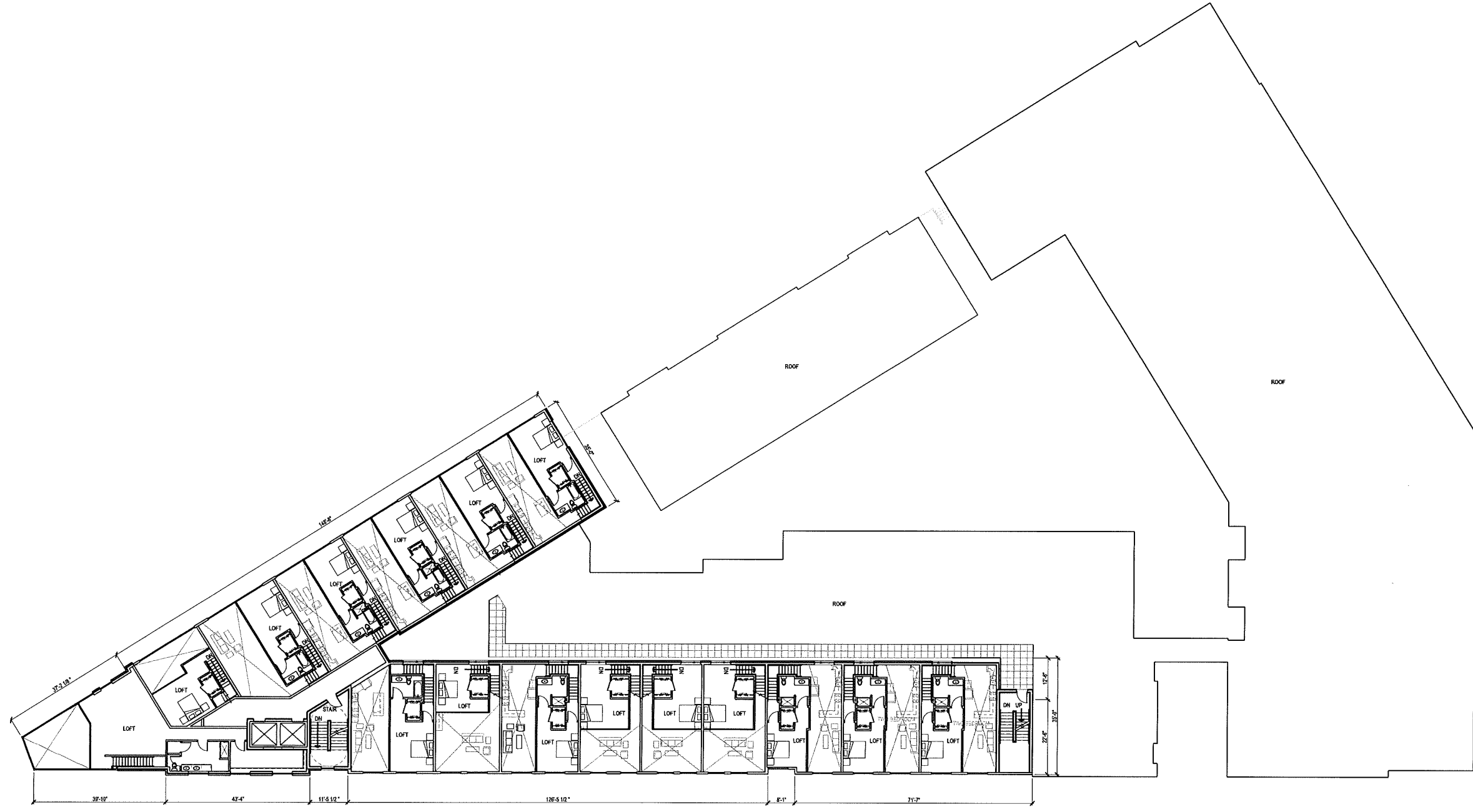
PELTON PLACE RESIDENCES
MIXED USE DEVELOPMENT
PELTON RESIDENCES, LLC
MADISON, WISCONSIN

Angus Young
Architecture | Engineering
Interiors | Landscape
Balance in Creativity
Juvonville, 555 South River Street, Juvonville, WI 53548 | Ph. 608.754.6226
Madison, 16 North Canal Street, Madison, WI 53703 | Ph. 608.254.8225
www.angusyoung.com

ISSUANCES	REVISIONS
UDC INITIAL/FINAL APPROVAL/PC - 05/10/2017	

SCALE: 1/16"=1'-0"
 PLOTTED BY: *ashlyn*

ORIGINAL SIZE: 24" x 36"
 X:\3000\madison\0910\A105.dwg



FIFTH FLOOR PLAN
 SCALE: 1/16"=1'-0"

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

**PELTON PLACE RESIDENCES
 MIXED USE DEVELOPMENT
 PELTON RESIDENCES, LLC
 MADISON, WISCONSIN**

PROJECT NUMBER: 59830
 APPROVED BY: *XXX*
 REVIEWED BY: *XXX*
 DRAWN BY: *MSH*
 8/18/2017 3:12:53 PM
 OVERALL FOURTH FLOOR PLAN

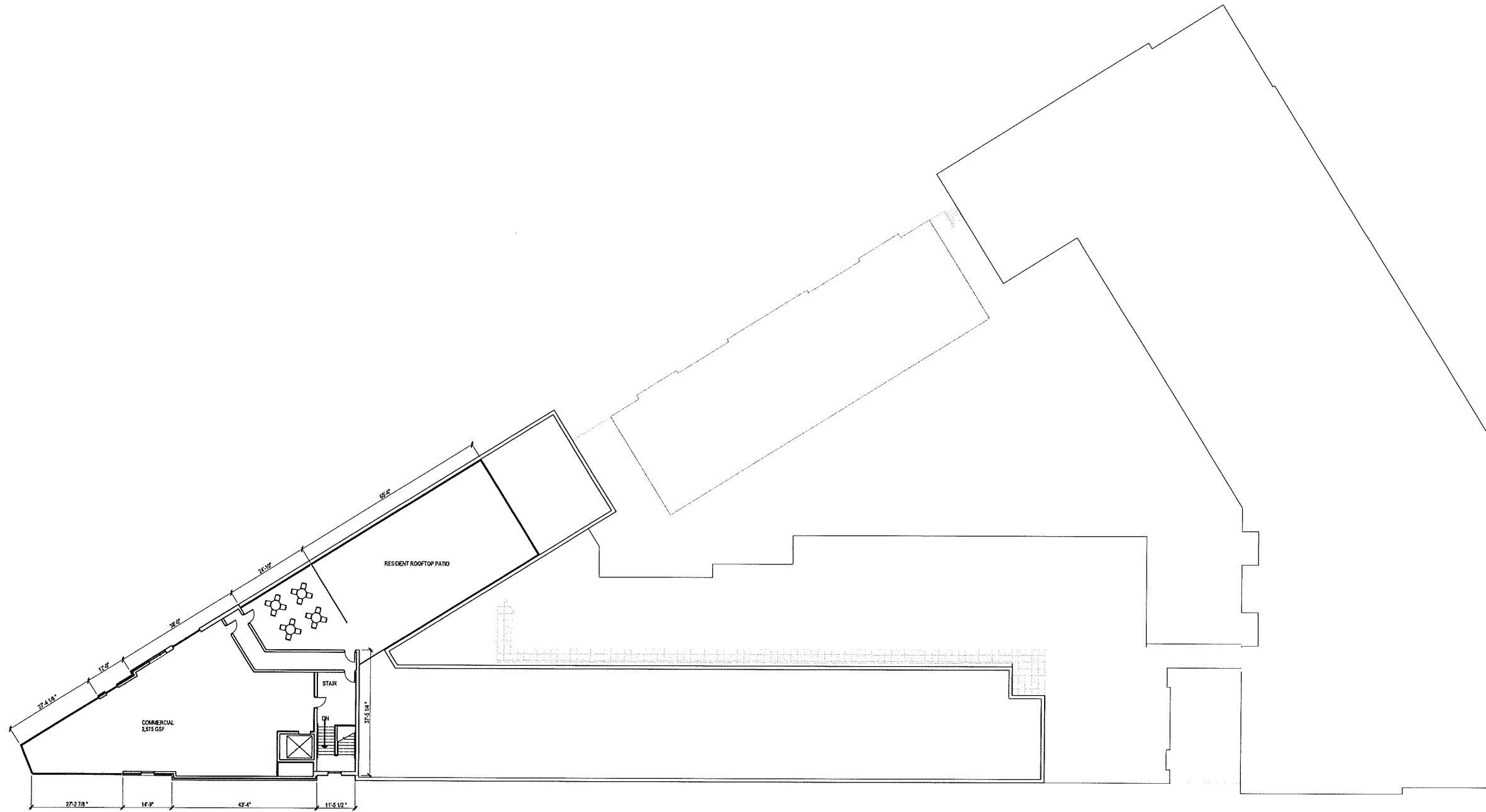
ISSUANCES	REVISIONS
UDC INITIAL/FINAL APPROVAL/PC - 05/10/2017	

Angus Young
 Architecture | Engineering
 Interiors | Landscape
 Balance in Creativity
 100 S. Park Street, Suite 200, Madison, WI 53703 | P: 608.726.2326
 100 S. Park Street, Suite 200, Madison, WI 53703 | F: 608.726.4327
 www.angusyoung.com

Copyright © 2017 Angus Young Associates, Inc. All Rights Reserved

PRELIMINARY - NOT FOR CONSTRUCTION

A105



NORTH
SIXTH FLOOR PLAN
 SCALE: 1/16"=1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

ISSUANCES	REVISIONS
UDC INITIAL/FINAL APPROVAL/PC - 05/10/2017	

**PELTON PLACE RESIDENCES
 MIXED USE DEVELOPMENT
 PELTON RESIDENCES, LLC
 MADISON, WISCONSIN**

PROJECT NUMBER
 58830
 APPROVED BY
 XXX
 REVIEWED BY
 XXX
 DRAWN BY
 JAD
 8/16/2017 3:12:55 PM

OVERALL
 6TH FLOOR PLAN
 PLAN

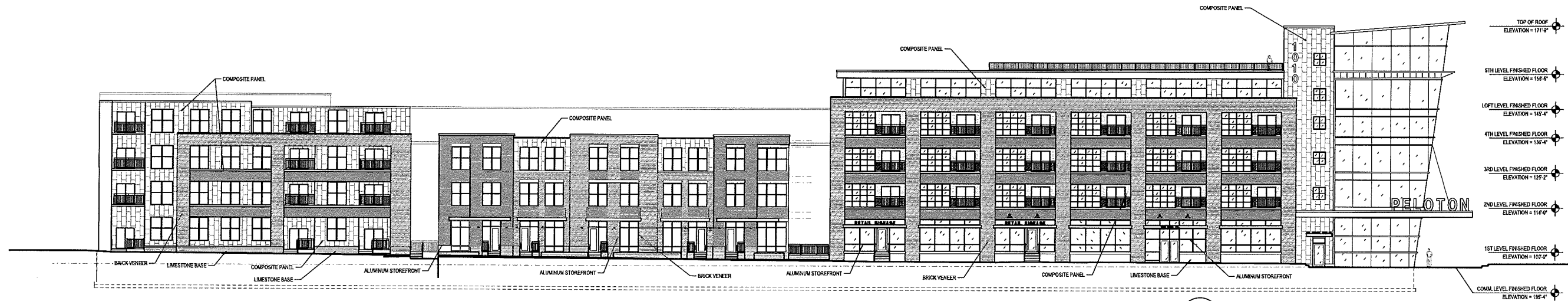
A106

Angus Young
 Architecture | Engineering
 Interiors | Landscape
 — Balance in Creativity —
 Juvenile: 555 Seward Street - Juvenile, WI 53544 | Ph. 608.756.2325
 Madison: 18 North Canal Street - Madison, WI 53703 | Ph. 608.254.8225
 www.angusyoung.com

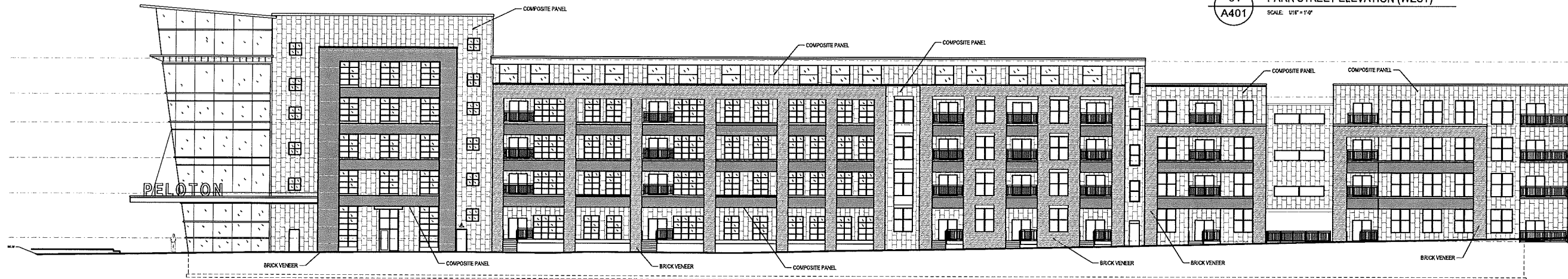
Copyright © 2017 Angus Young Associates, Inc. All Rights Reserved

SCALE: 1/8" = 1'-0"
PLOTTED BY: amyh

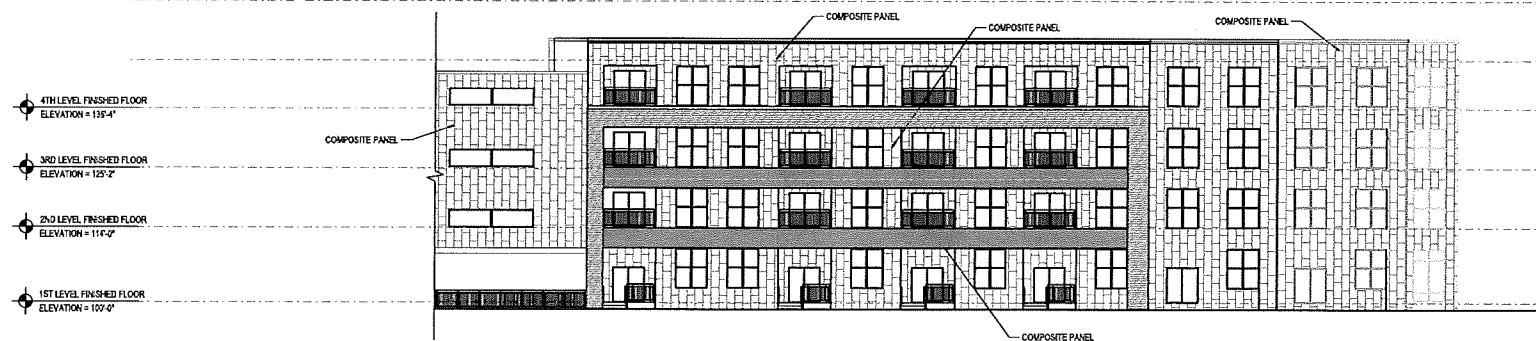
ORIGINAL SIZE: 24" x 36"
X:\000\000000000000\0001.dgn



01 PARK STREET ELEVATION (WEST)
A401 SCALE: 1/8" = 1'-0"



02 FISH HATCHERY STREET ELEVATION (EAST)
A401 SCALE: 1/8" = 1'-0"



03 WEST FACING COURTYARD ELEVATION
A401 SCALE: 1/8" = 1'-0"

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or areas.

REVISIONS
ISSUANCES
UDC INITIAL/FINAL APPROVAL/PC: 05/10/2017

Angus Young
Architecture | Engineering
Interiors | Landscape

Balance in Creativity

Madison, WI 53706 | Tel: 608.264.2325
Madison, WI 53706 | Tel: 608.264.2325
www.angusyoung.com

PELTON PLACE RESIDENCES
MIXED USE DEVELOPMENT
PELTON RESIDENCES, LLC
MADISON, WISCONSIN

PROJECT NUMBER	59830
APPROVED BY	XXX
REVIEWED BY	XXX
DRAWN BY	EMH
DATE	8/19/2017 3:12:59 PM

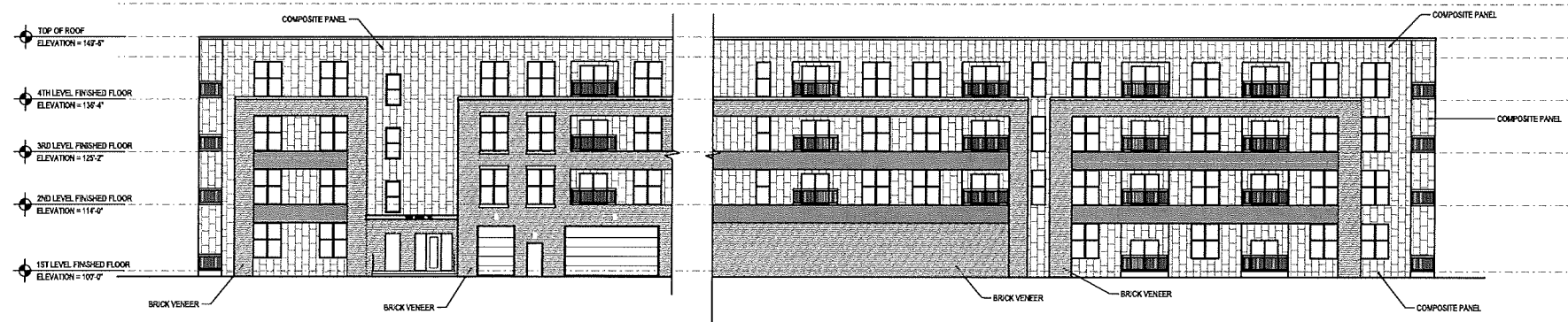
PROPOSED EXTERIOR ELEVATIONS

PRELIMINARY - NOT FOR CONSTRUCTION

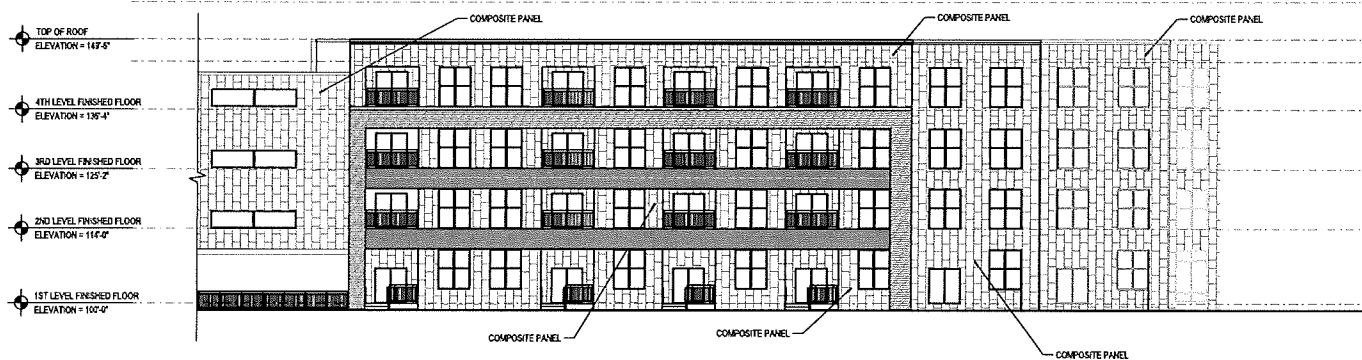
A401

SCALE: 1/16" = 1'-0"
 PLOTTED BY: ewj/msh

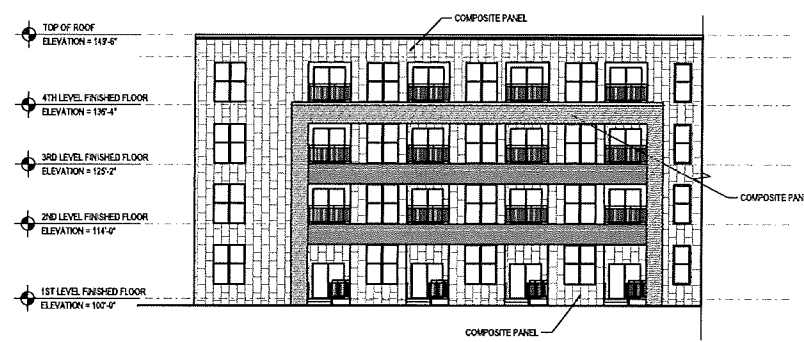
ORIGINAL SIZE: 24" x 36"
 X:\WORK\160510\160510\M02.dgn



01 SOUTH STREET ELEVATION (SOUTH)
 A401 SCALE: 1/16" = 1'-0"



02 INTERIOR COURTYARD (WEST)
 A401 SCALE: 1/16" = 1'-0"



03 INTERIOR COURTYARD (SOUTH)
 A401 SCALE: 1/16" = 1'-0"

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or sizes.

ISSUANCES	REVISIONS
UDC INITIAL/FINAL APPROVAL/PC - 08/10/2017	

Angus Young
 Architecture | Engineering
 Interiors | Landscape
 Balance in Creativity
 1400 S. Park Street - Jansville, WI 53548 | P: 608.756.2336
 Madison, WI 53706 | F: 608.346.4323
 www.angusyoung.com

PELTON PLACE RESIDENCES
 MIXED USE DEVELOPMENT
 PELTON RESIDENCES, LLC
 MADISON, WISCONSIN

PROJECT NUMBER: 160510
 APPROVED BY: XXX
 REVIEWED BY: XXX
 DRAWN BY: EMH
 8/18/2017 3:13:24 PM

PROPOSED EXTERIOR ELEVATIONS
 A401

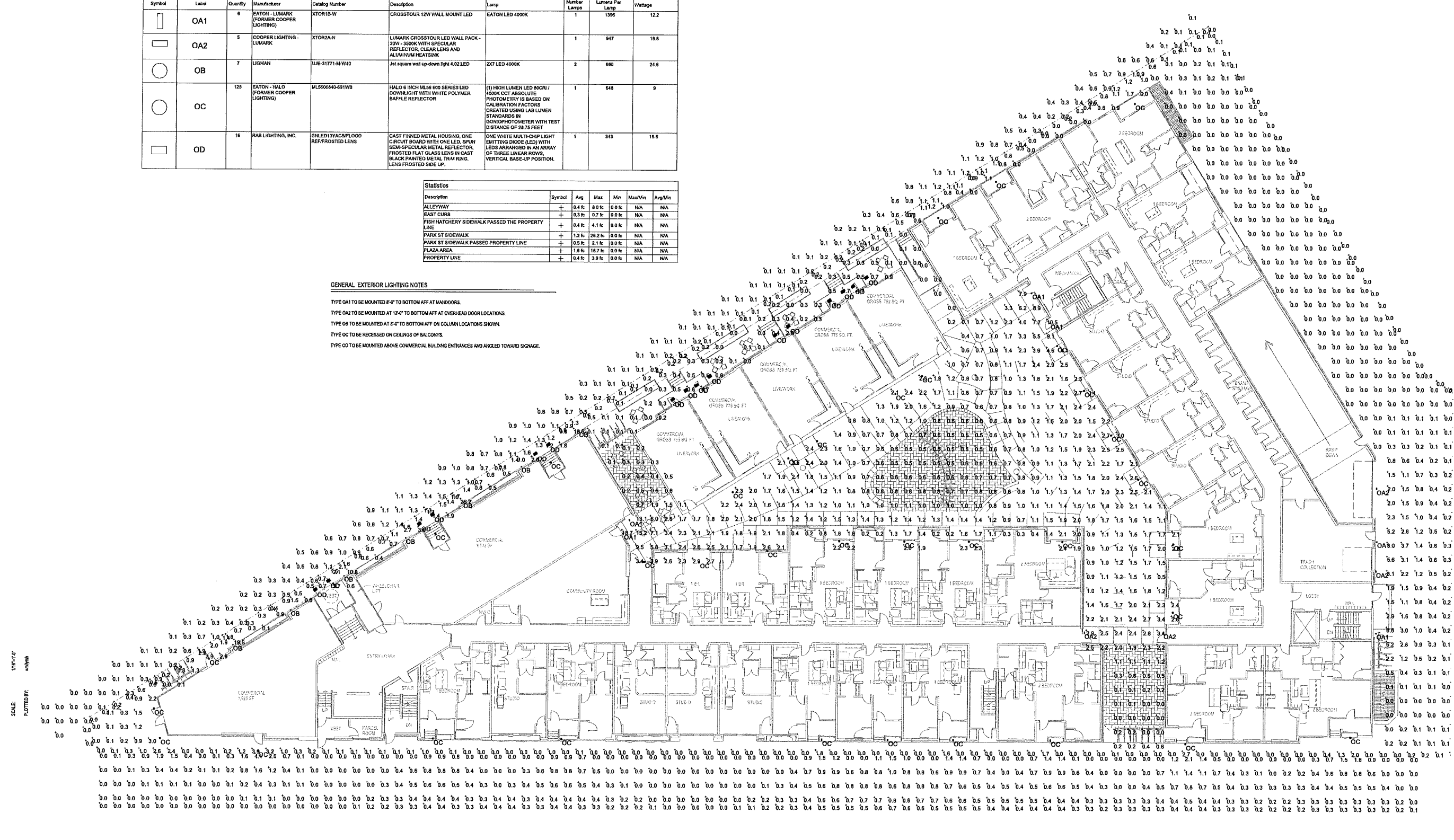
PRELIMINARY - NOT FOR CONSTRUCTION

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Wattage
□	OA1	6	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR18-W	CROSSTOUR 12W WALL MOUNT LED	EATON LED 4000K	1	1396	12.2
□	OA2	5	COOPER LIGHTING - LUMARK	XTOR2A-N	LUMARK CROSSTOUR LED WALL PACK - 2PW - 3500K WITH SPECULAR REFLECTOR, CLEAR LENS AND ALUMINUM HEATSINK		1	947	19.8
○	OB	7	LIGMAN	UJE-31771-44-W42	Jet square wall up-down light 4.02 LED	2X7 LED 4000K	2	680	24.6
○	OC	125	EATON - HALO (FORMER COOPER LIGHTING)	ML500640-691WB	HALO 8 INCH ML56 600 SERIES LED DOWNLIGHT WITH WHITE POLYMER BAFFLE REFLECTOR	(1) HIGH LUMEN LED 4000K CCT ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	648	9
□	OD	16	RAB LIGHTING, INC.	GRLED13YACB/FLOOD REFROSTED LENS	CAST FINNED METAL HOUSING, ONE CIRCUIT BOARD WITH ONE LED, SPUN SEMI-SPECULAR METAL REFLECTOR, FROSTED FLAT GLASS LENS IN CAST BLACK PAINTED METAL TRIM RING. LENS FROSTED SIDE UP.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED) WITH LEADS ARRANGED IN AN ARRAY OF THREE LINEAR ROWS, VERTICAL BASE-UP POSITION.	1	343	15.6

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ALLEYWAY	+	0.4 fc	8.0 fc	0.0 fc	N/A	N/A
EAST CURB	+	0.3 fc	0.7 fc	0.0 fc	N/A	N/A
FISH HATCHERY SIDEWALK PASSED THE PROPERTY LINE	+	0.4 fc	4.1 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK	+	1.2 fc	28.2 fc	0.0 fc	N/A	N/A
PARK ST SIDEWALK PASSED PROPERTY LINE	+	0.5 fc	2.1 fc	0.0 fc	N/A	N/A
PLAZA AREA	+	1.6 fc	18.7 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.4 fc	3.9 fc	0.0 fc	N/A	N/A

GENERAL EXTERIOR LIGHTING NOTES

- TYPE OA1 TO BE MOUNTED 8'-0" TO BOTTOM AFF AT WINDOWS.
- TYPE OA2 TO BE MOUNTED AT 12'-0" TO BOTTOM AFF AT OVER-HEAD DOOR LOCATIONS.
- TYPE OB TO BE MOUNTED AT 8'-0" TO BOTTOM AFF ON COLUMN LOCATIONS SHOWN.
- TYPE OC TO BE RECESSED ON CEILING OF BALCONYS.
- TYPE OD TO BE MOUNTED ABOVE COMMERCIAL BUILDING ENTRANCES AND ANGLED TOWARD SIGNAGE.



ORIGINAL SIZE: 34\"/>

Due to electronic distribution, this drawing may not be printed to the scale indicated on the drawings. Do NOT use scale to determine dimensions or areas.

PROJECT NUMBER: 59830
 APPROVED BY: JAK
 REVIEWED BY: XXX
 DRAWN BY: CTK
 DATE: 8/18/2017 3:13:09 PM
 SITE LIGHTING PHOTOMETRICS

ISSUANCES:
 UDC INITIAL/FINAL APPROVAL/PC - 05/10/2017

REVISIONS:

Angus Young
 Architecture | Engineering
 Interiors | Landscape
 Balance in Creativity
 Janesville: 551 South River Street - Janesville, WI 53408 | PH: 608.756.3336
 Madison: 16 North Canal Street - Madison, WI 53703 | PH: 608.264.4235
 www.angusyoung.com

PELOTON PLACE RESIDENCES
 MIXED USE DEVELOPMENT
 PELOTON RESIDENCES, LLC
 MADISON, WISCONSIN

Copyright © 2017
 Angus Young Associates, Inc., All Rights Reserved

PRELIMINARY - NOT FOR CONSTRUCTION

E510

"BUILDING" A:

TOTAL EXTERIOR PERIMETER = 527'-11"
 AERIAL ACCESS = 164'-8" (31.19%)
 Note: If existing overhead power lines on Fish Hatchery are buried, we will gain an additional 65'-0" of perimeter aerial access.

"BUILDING" B:

TOTAL EXTERIOR PERIMETER = 111'-8"
 AERIAL ACCESS = 61'-9" (55.30%)

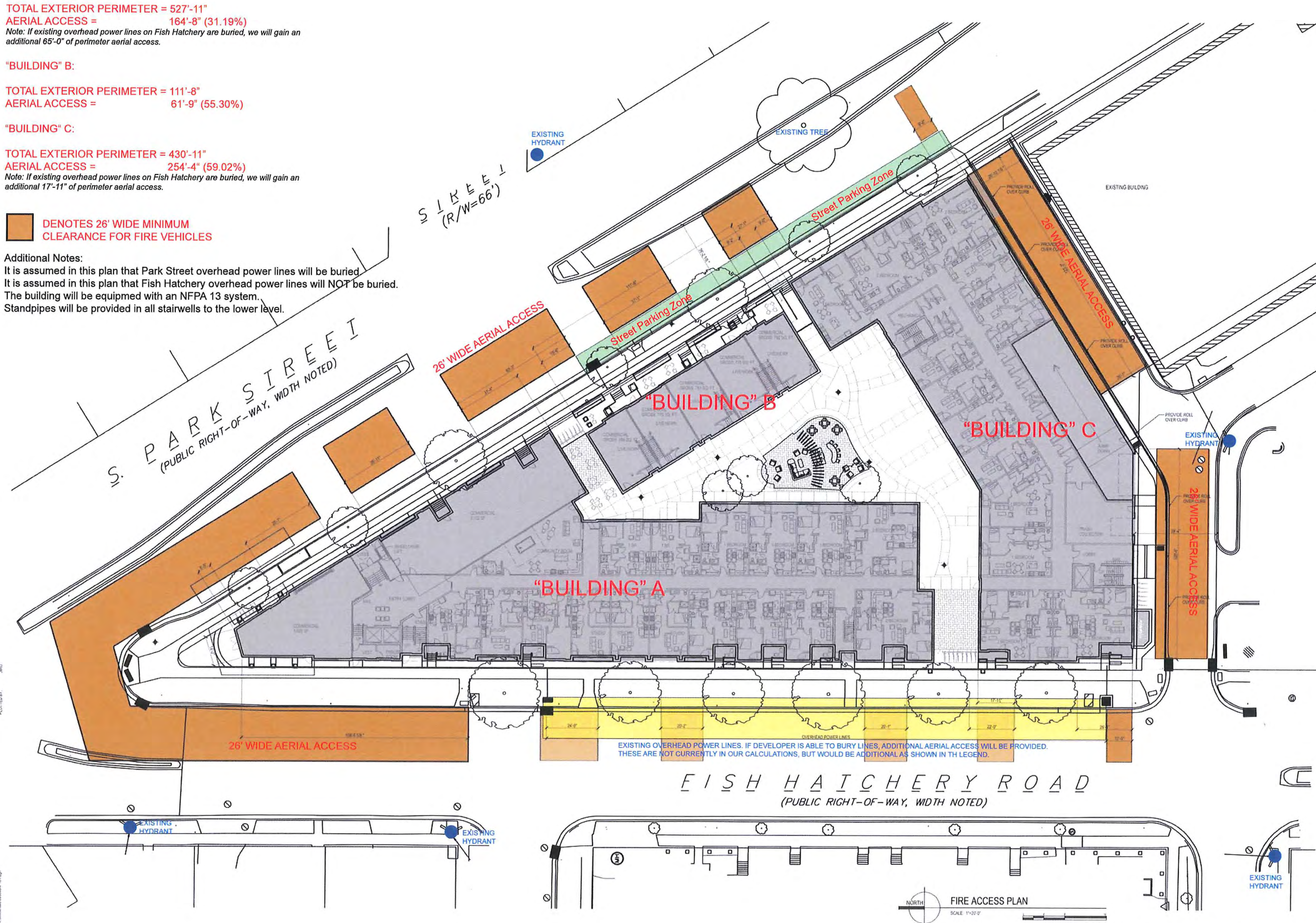
"BUILDING" C:

TOTAL EXTERIOR PERIMETER = 430'-11"
 AERIAL ACCESS = 254'-4" (59.02%)
 Note: If existing overhead power lines on Fish Hatchery are buried, we will gain an additional 17'-11" of perimeter aerial access.

 DENOTES 26' WIDE MINIMUM CLEARANCE FOR FIRE VEHICLES

Additional Notes:

It is assumed in this plan that Park Street overhead power lines will be buried. It is assumed in this plan that Fish Hatchery overhead power lines will NOT be buried. The building will be equipped with an NFPA 13 system. Standpipes will be provided in all stairwells to the lower level.

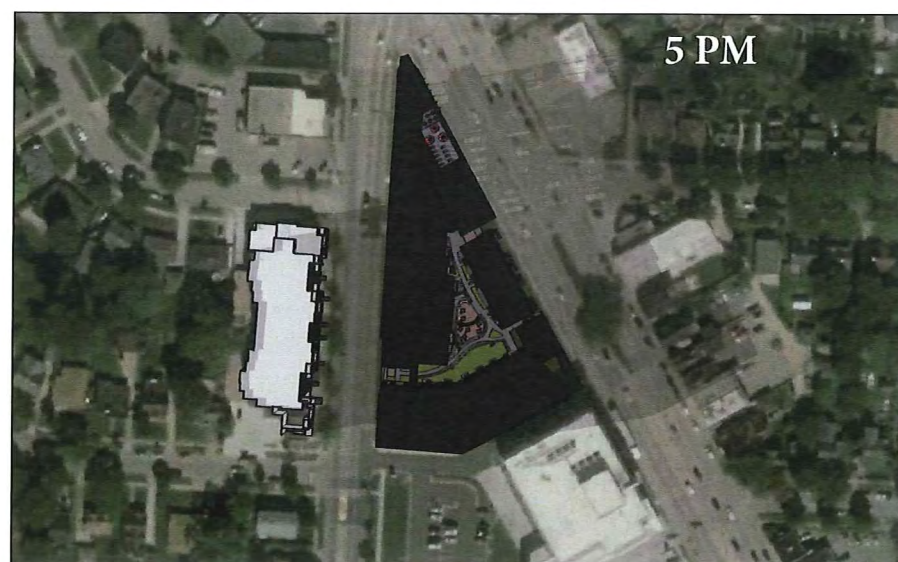
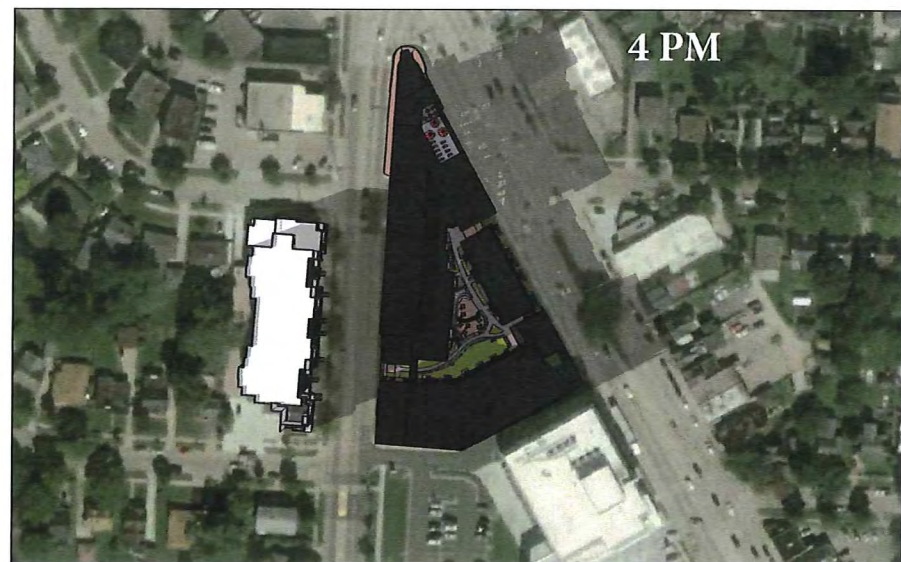
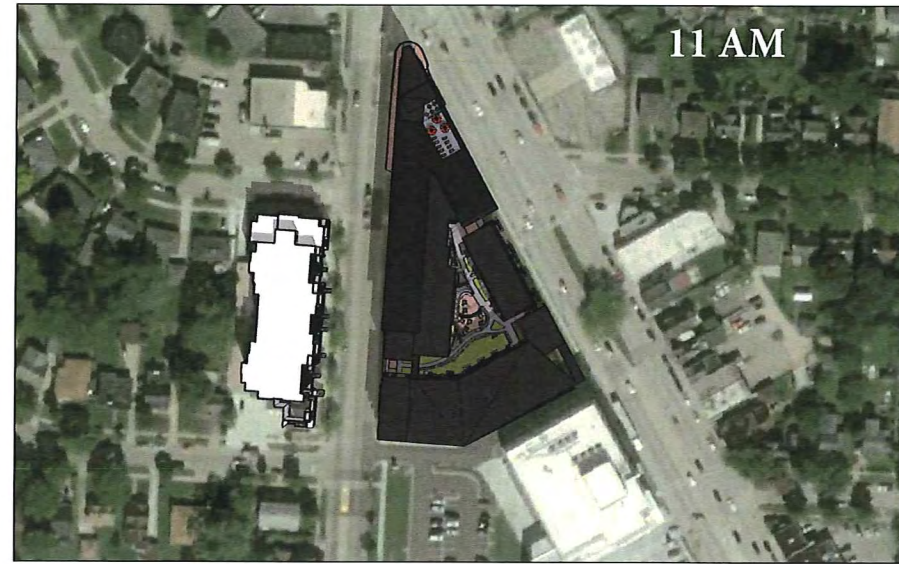
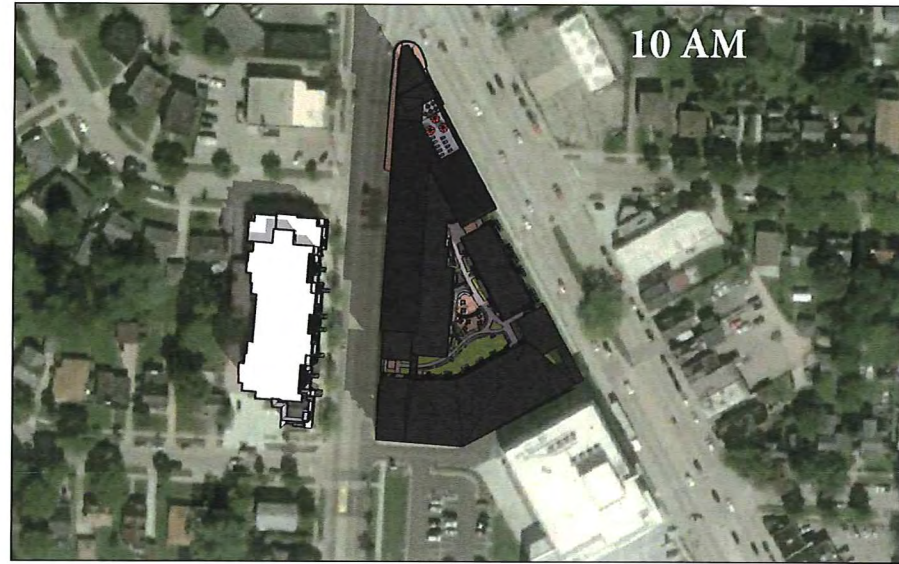


ISSUANCES	REVISIONS
UDC INITIAL FINAL APPROVAL/PC - 05/19/2017	

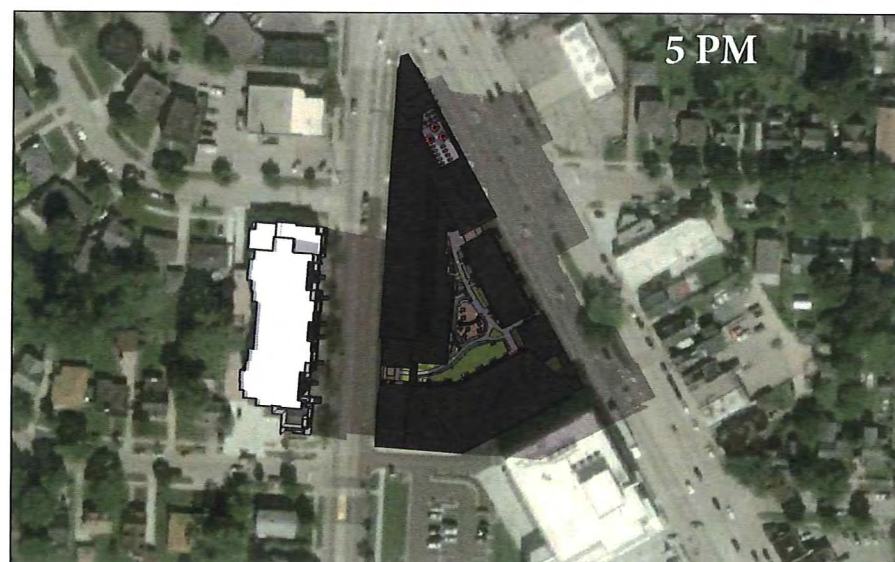
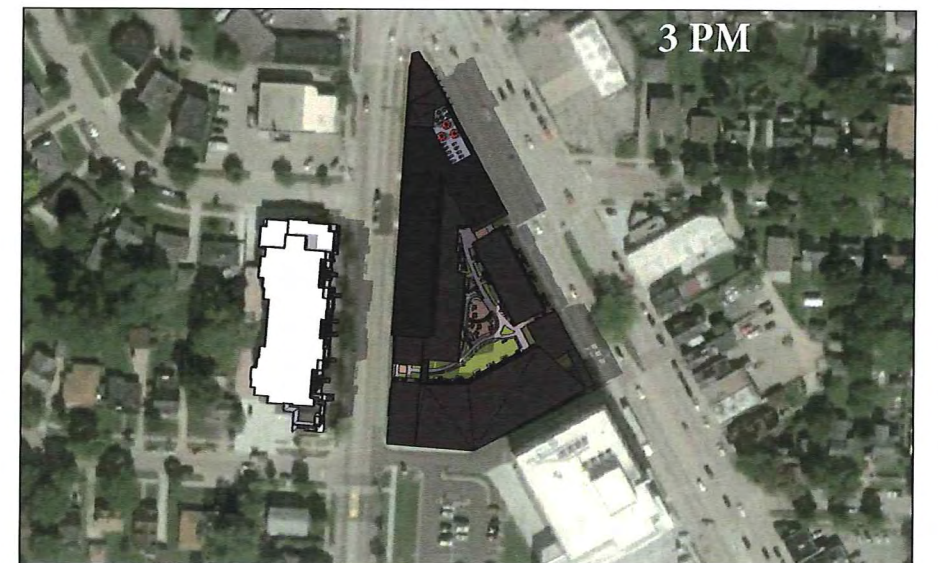
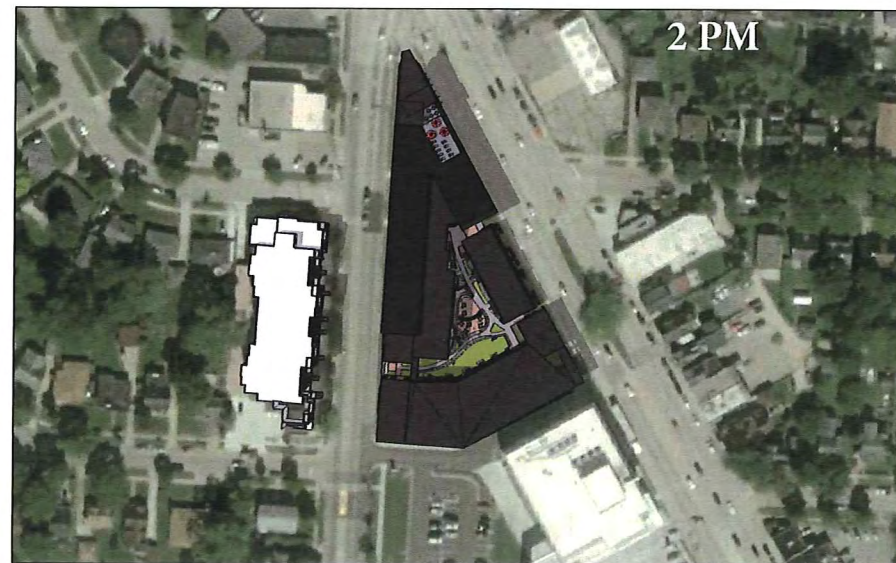
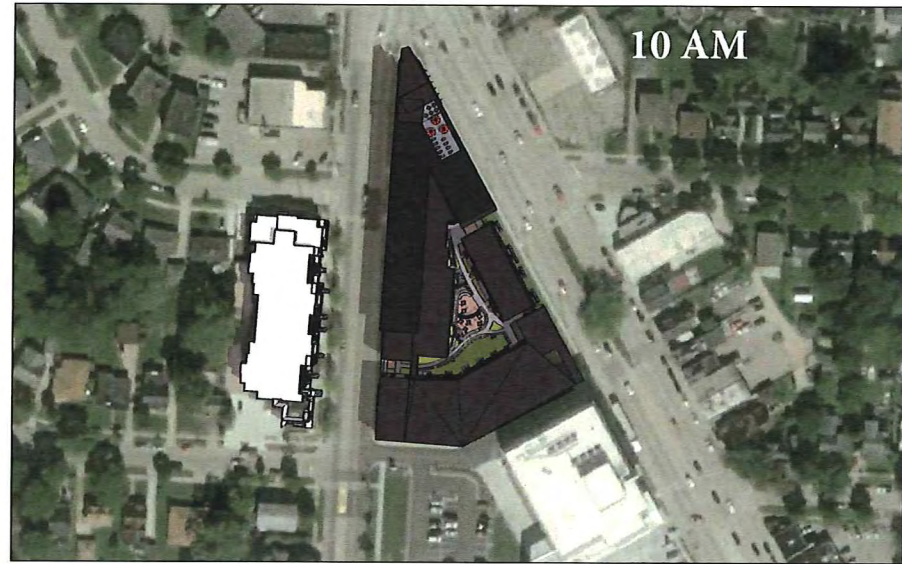
Angus Young
 Architecture | Engineering
 Interiors | Landscape
 Balance in Creativity
 1500 North Park Street, Madison, WI 53706 | P: 608.261.5135
 1600 North Lenoir Street, Madison, WI 53706 | P: 608.261.5225
 www.angusyoung.com

PELTON PLACE RESIDENCES
 MIXED USE DEVELOPMENT
 PELTON RESIDENCES, LLC
 MADISON, WISCONSIN

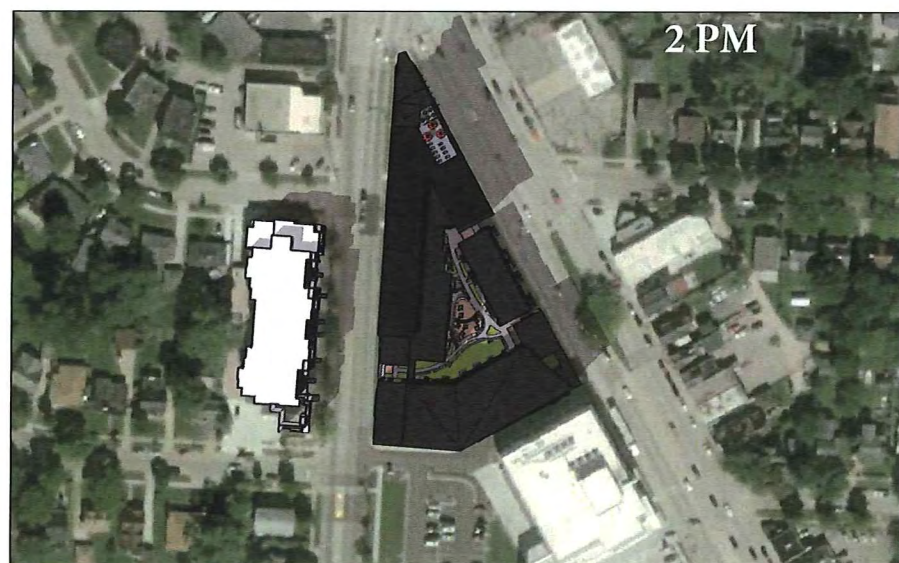
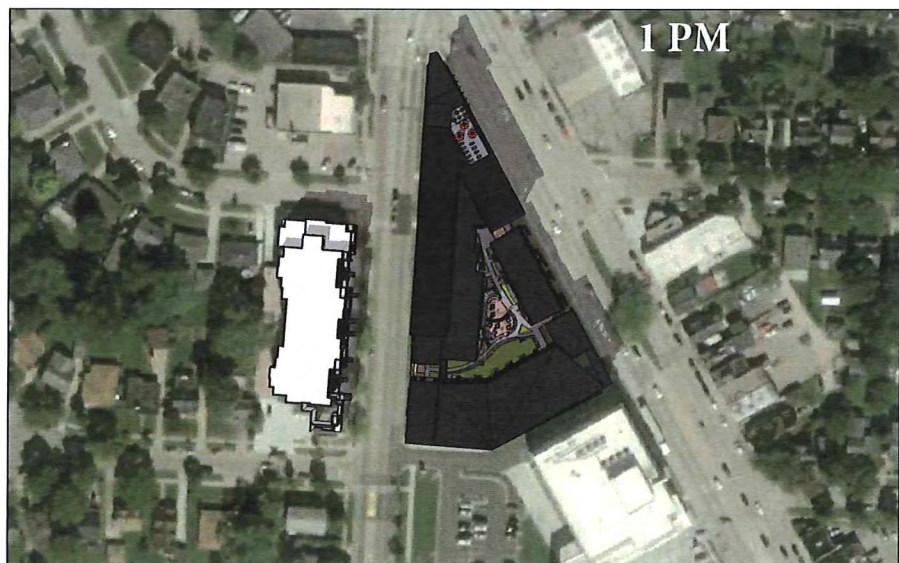
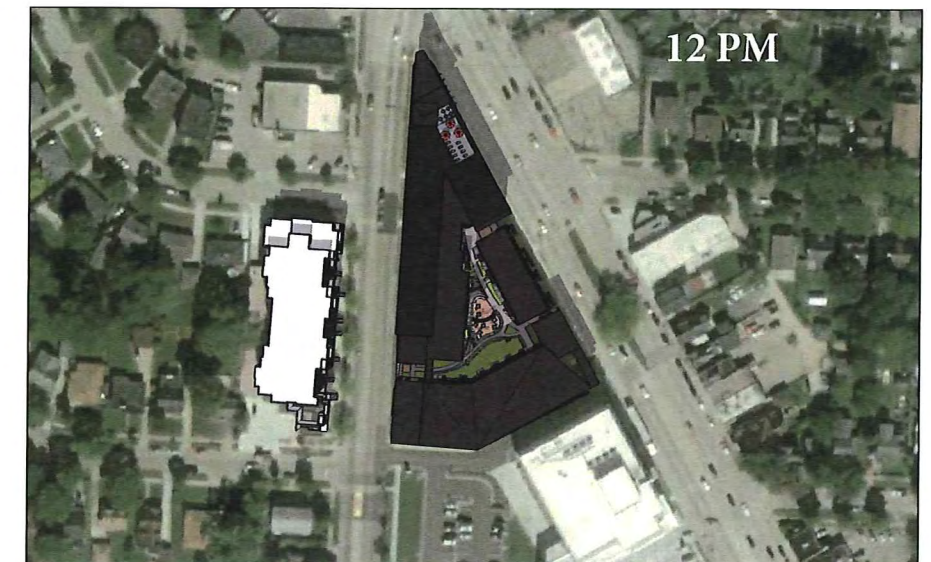
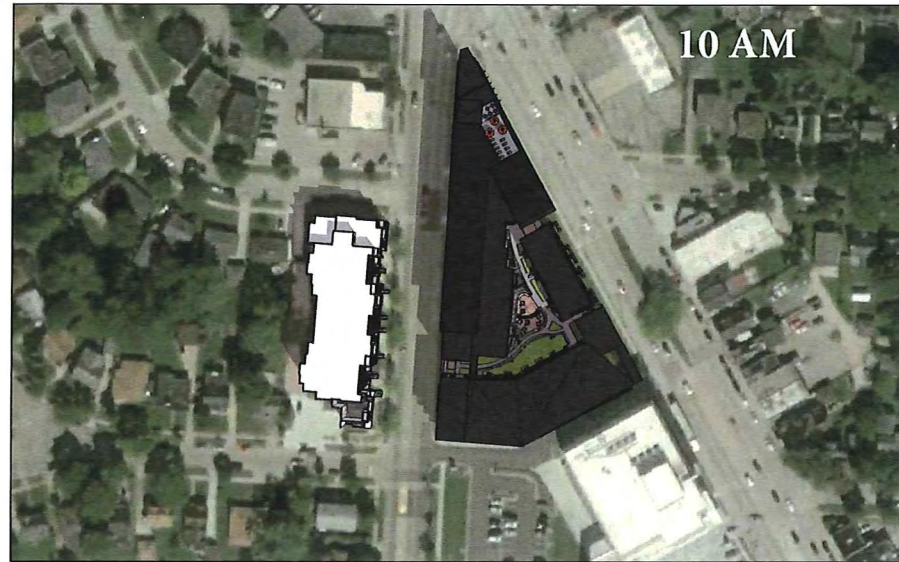
PROJECT NUMBER: 59830
 APPROVED BY: XXX
 REVIEWED BY: XXX
 DRAWN BY: JAO
 8/19/2017 12:20:55 PM
 FIRE ACCESS PLAN



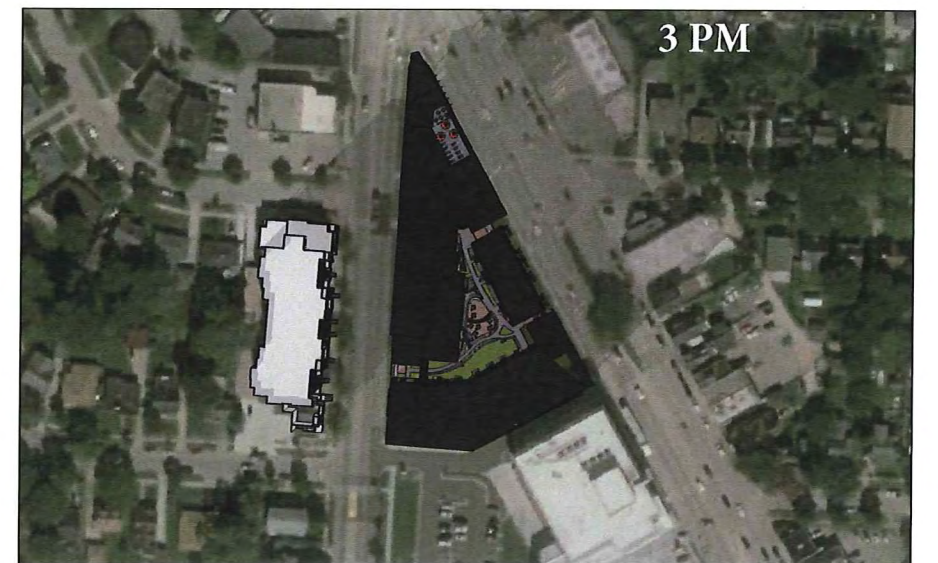
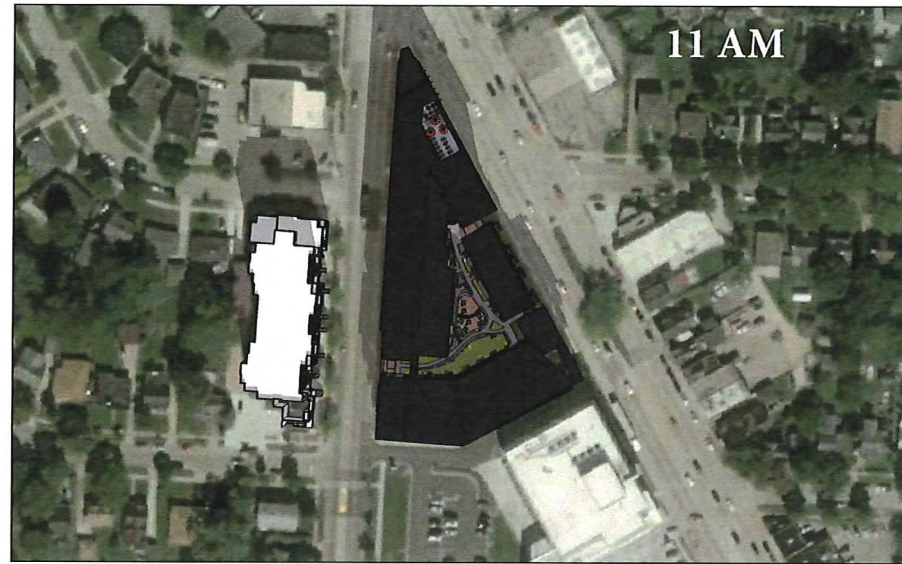
EXTERIOR SHADOW STUDY: MARCH 21ST



EXTERIOR SHADOW STUDY: JUNE 21ST



EXTERIOR SHADOW STUDY: SEPTEMBER 21ST



EXTERIOR SHADOW STUDY: DECEMBER 21ST