

DAYTON MIFFLIN HOTEL

Madison, WI



LAND USE APPLICATION

APRIL 11, 2022

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PROJECT TEAM:

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Madison WI, 53703
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608.616.0705

CIVIL ENGINEER:

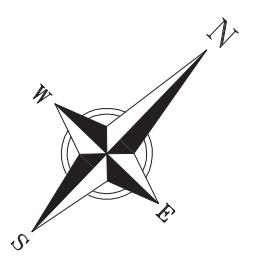
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ARCHITECT OF RECORD:

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800 W Broadway Ste 200
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DESIGN ARCHITECT:

Eastman Lee Architects
Chicago, IL
Contact: Tom Lee
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SYMBOL LEGEND

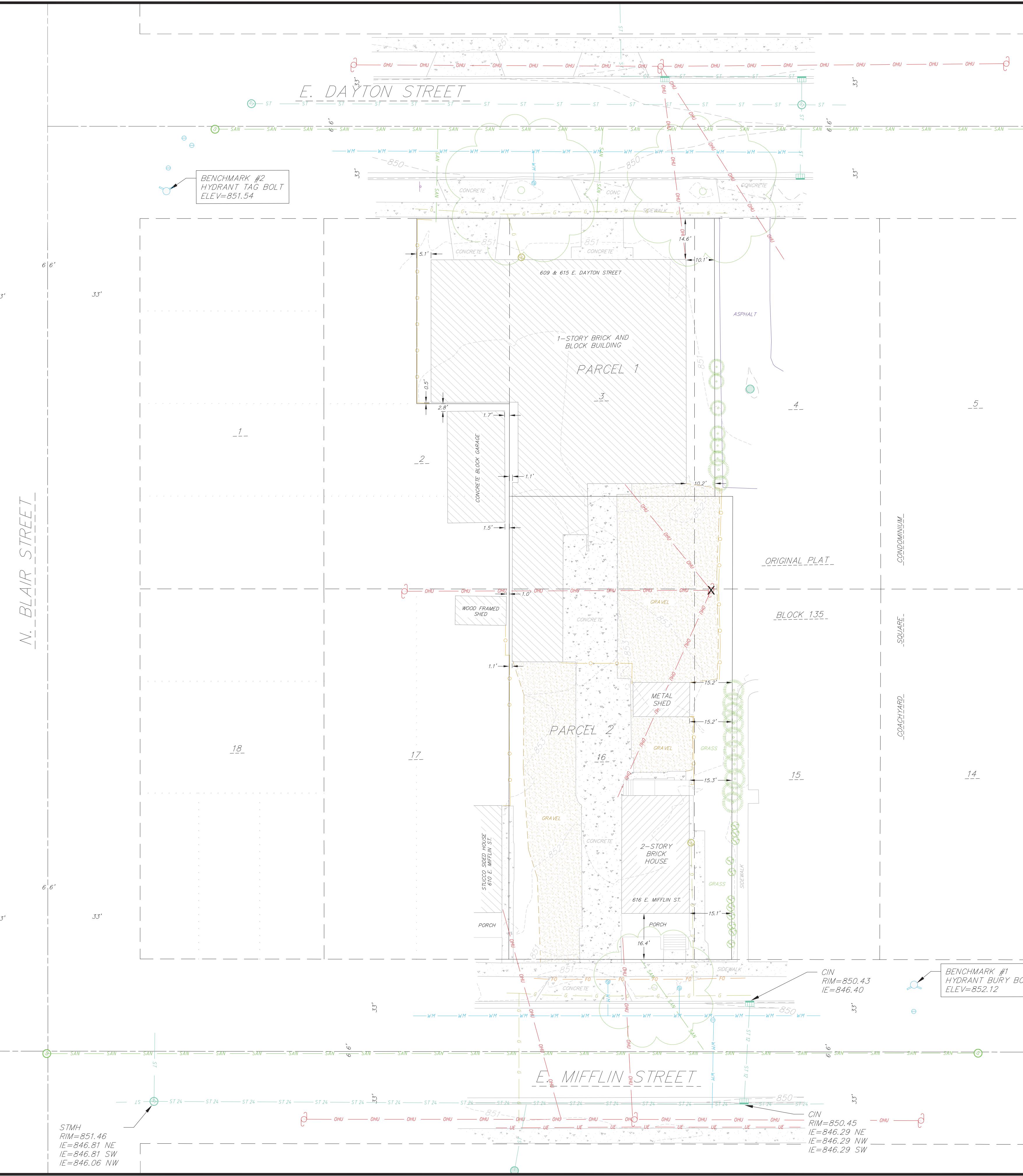
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING FIELD INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING UTILITY POLE
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

LINWORK LEGEND

- FO FO EXISTING FIBER OPTIC LINE
- O O EXISTING CHAIN LINK FENCE
- G G EXISTING GAS LINE
- OHU OHU EXISTING OVERHEAD GENERAL UTILITIES
- SAN SAN EXISTING SANITARY SEWER LINE
- ST ST EXISTING STORM SEWER LINE
- WM WM EXISTING WATER MAIN
- 820 — EXISTING MAJOR CONTOUR
- 818 — EXISTING MINOR CONTOUR

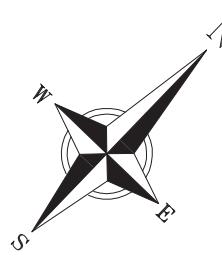
ORIGINAL PLAT
BLOCK 118

N. BLAIR STREET



EXISTING CONDITIONS PLAN
615 E DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

DATE	REVISIONS	REMARKS	NO.	REVISIONS	REMARKS	NO.	REVISIONS	REMARKS
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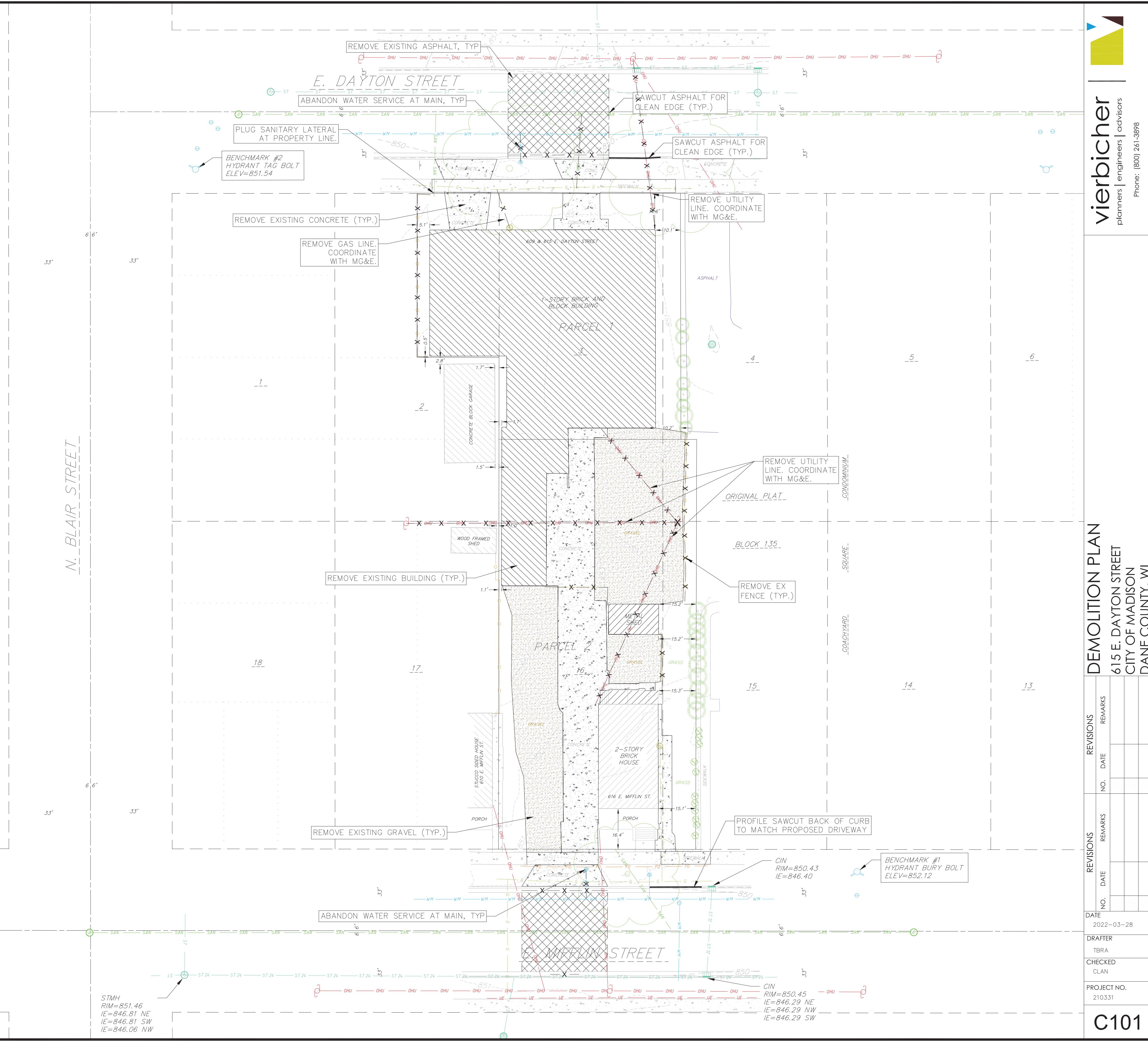
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DEMOLITION PLAN LEGEND

- CURB AND GUTTER REMOVAL
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- BUILDING REMOVAL
- GRAVEL REMOVAL
- TREE REMOVAL
- SAWCUT
- UTILITY STRUCTURE REMOVAL
- UTILITY LINE REMOVAL
- FENCE REMOVAL

DEMOLITION NOTES:

1. INSTALL APPLICABLE EROSION CONTROL MEASURES PRIOR TO DEMOLITION.
2. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
3. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
4. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
5. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
6. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUNDED TO 12" BELOW PROPOSED SUBGRADE. ALL BRUSH SHALL BE CLEARED/REMOVED WITHIN THE DISTURBANCE LIMITS.
7. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS FROM THE LOCAL MUNICIPALITY/UTILITY AGENCY.
9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
11. ANY STREET TREE REMOVALS REQUESTED AFTER PLAN APPROVAL WILL REQUIRE A MINIMUM 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.



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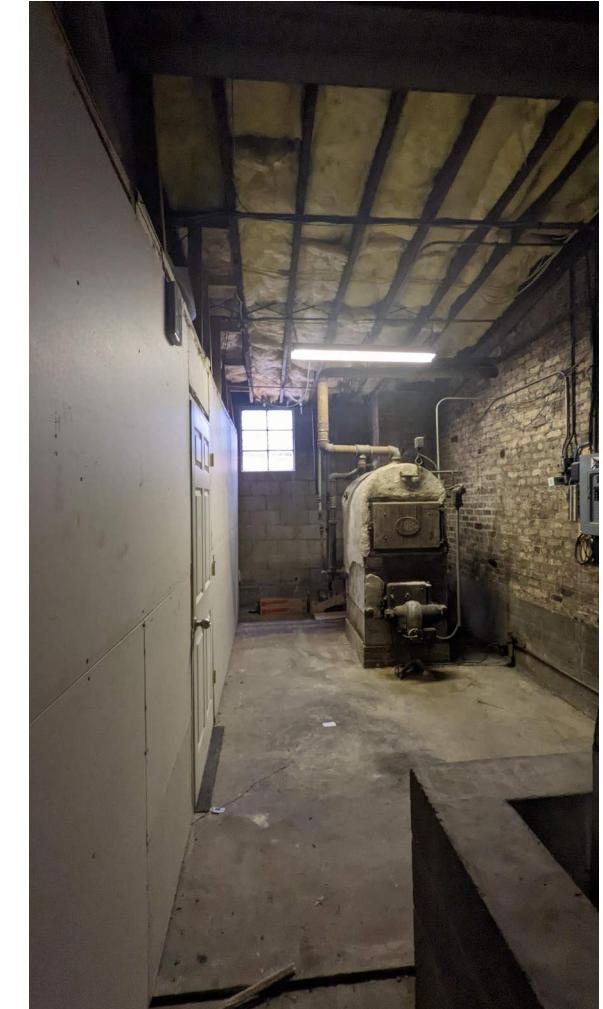
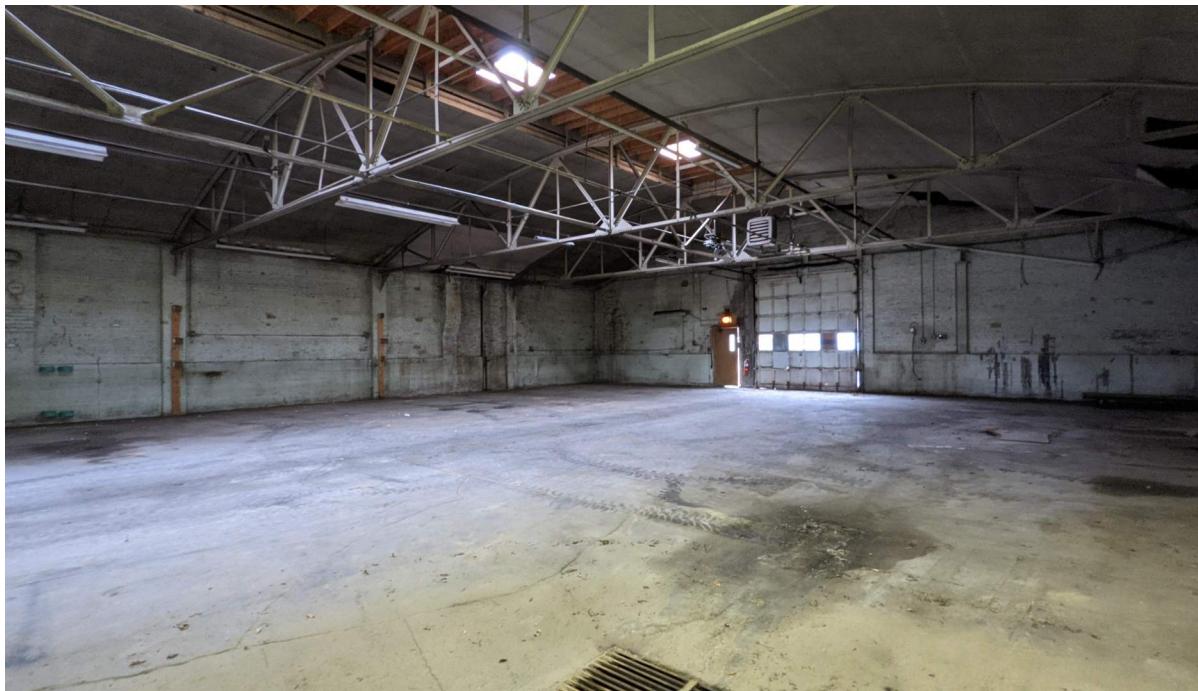
JLA
ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

DAYTON-MIFFLIN HOTEL

Demolition Photos - Exterior

JLA PROJECT No:	21-1006
DATE OF ISSUANCE:	APRIL 11, 2022
REVISION DATE:	

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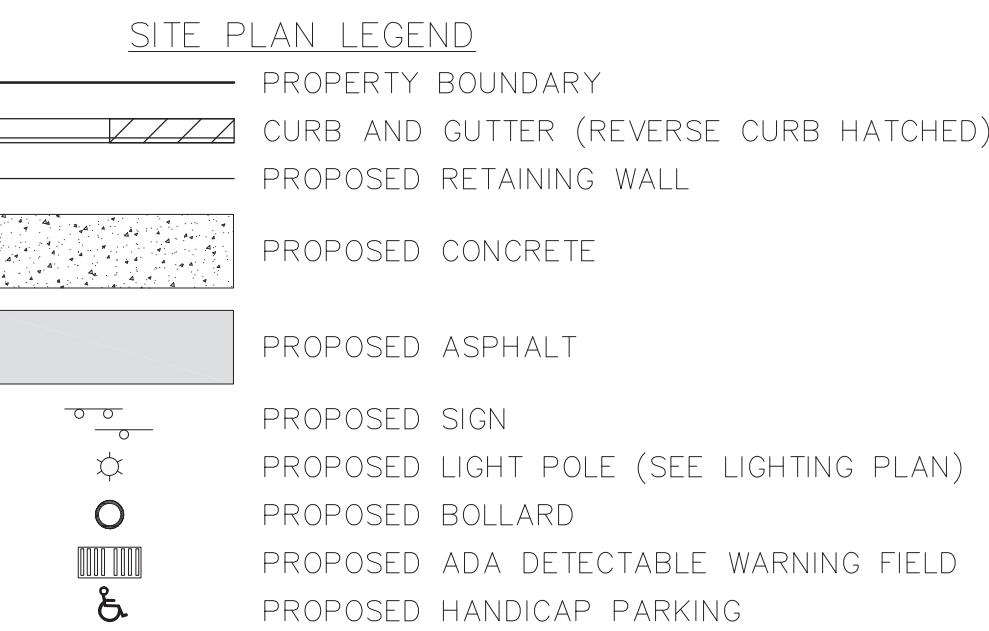
JLA
ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

DAYTON-MIFFLIN HOTEL

Demolition Photos - Interior

JLA PROJECT No:	21-1006
DATE OF ISSUANCE:	APRIL 11, 2022
REVISION DATE:	

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SITE NOTES:

- CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF SITE RELATED ITEMS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.

Parking Lot Plan Site Information Block

Site Address: 615 E Dayton Street
Site acreage (total) = 1.21 ACRES

Number of building stories (above grade): 3
Building height: Average Existing Grade to Top of Building = 34' - 8"
DILHR type of construction (new structures): 5B NF 13 SM

Use of property: Mixed Use - HOTEL & CAFE
Gross square feet of building: 48,950 SF
Gross square feet of retail area: N/A SF
Number of employees: 8
Number of employees in production area: N/A
Capacity of restaurant/place of assembly: 24

Number of bicycle stalls shown: 2 floor mounted internal stalls
4 external stalls

Number of parking stalls:

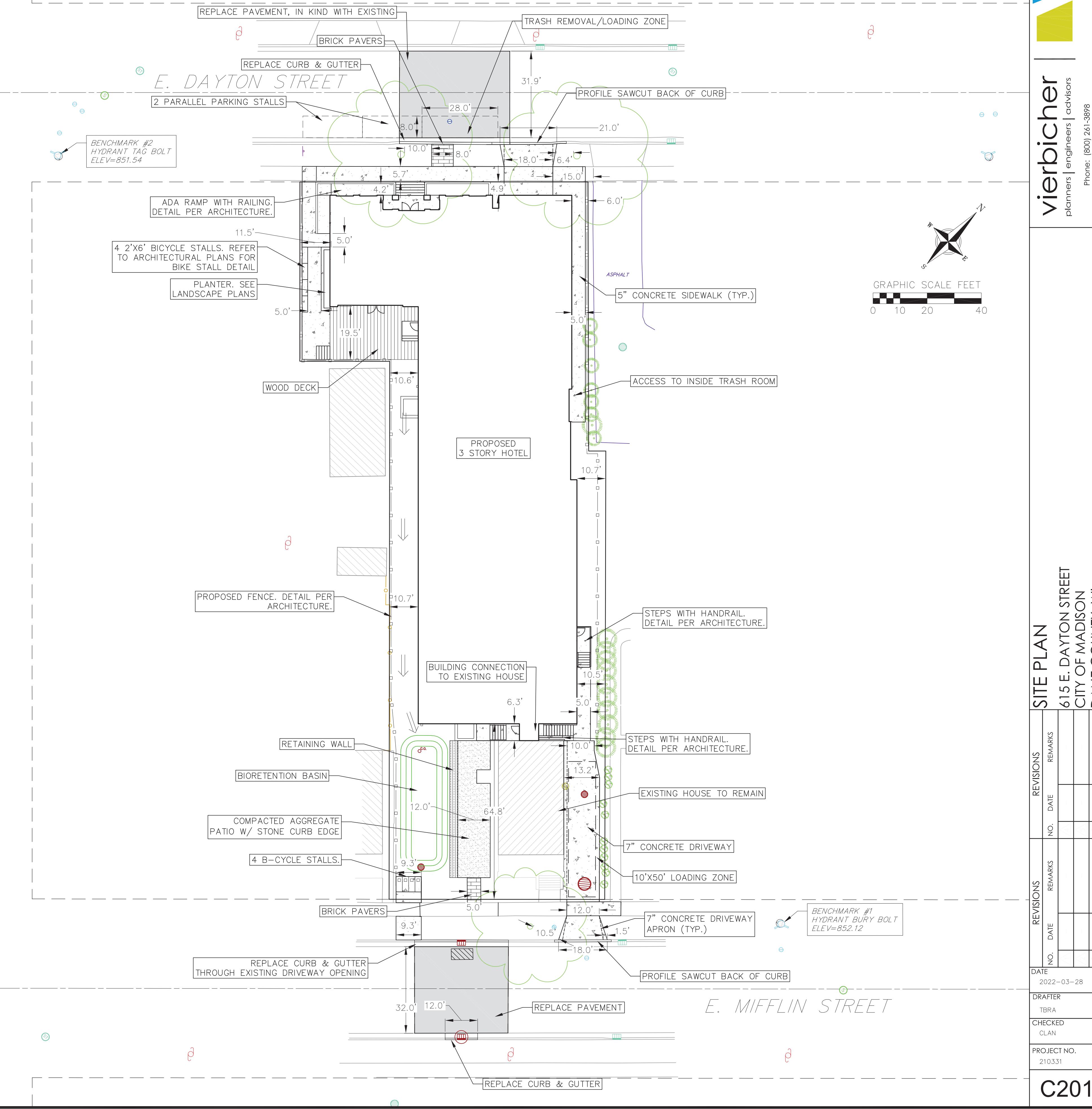
Proposed (Site)	0 Large + 0 Compact = 0
Proposed (Covered)	23 Large + 2 Compact = 25
Accessible	0 (Site) + 0 (Covered) = 0
Van Accessible	0 (Site) + 2 (Covered) = 2
EV Stalls	0 (Site) + 2 (Covered) = 2
EV Ready Stalls	0 (Site) + 5 (Covered) = 5
Total Stalls	25

Number of trees shown: See Landscape Plan

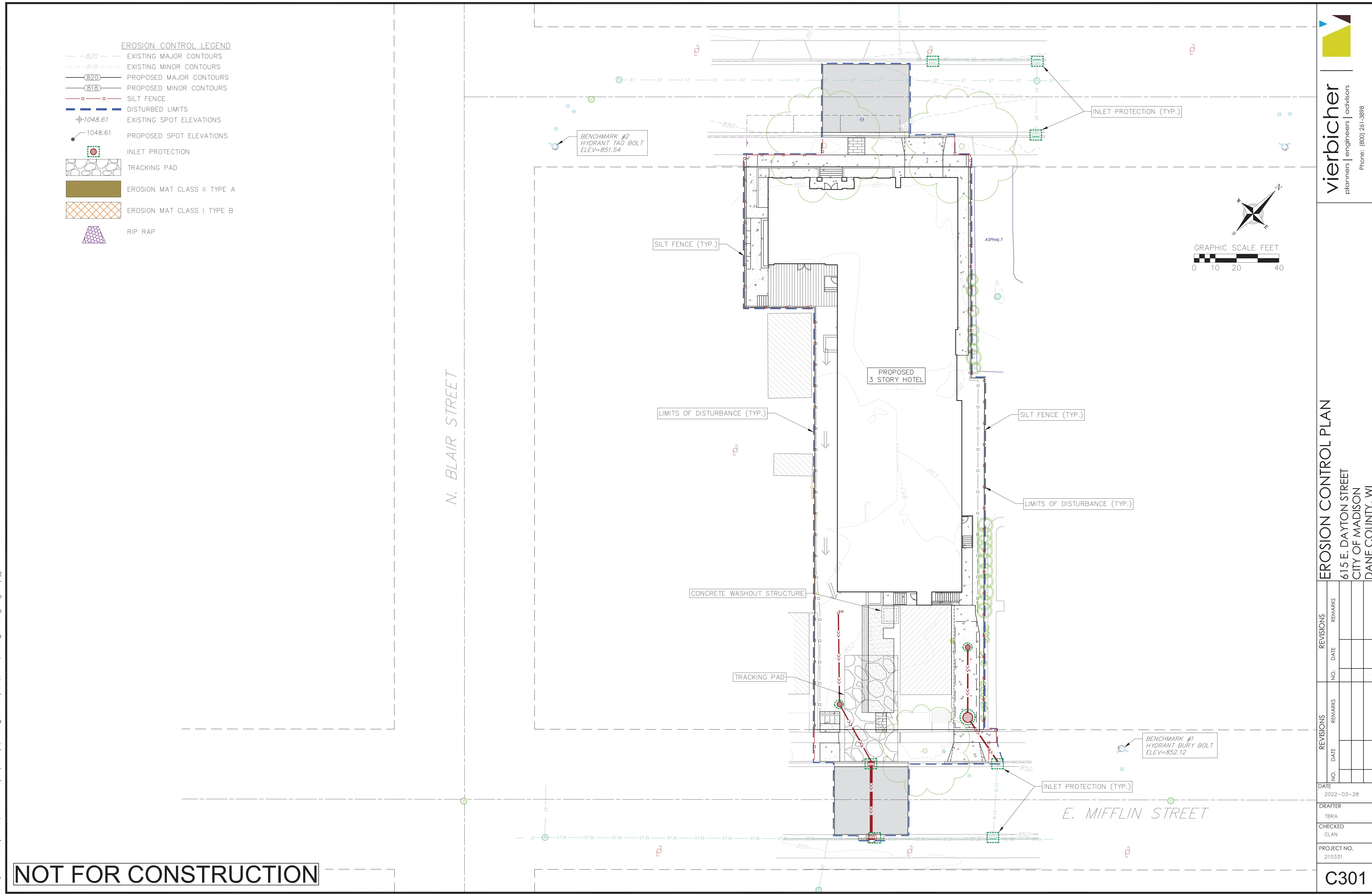
LOT COVERAGE:
COVERED LOT = 0.93 AC
TOTAL LOT = 1.21 AC
PERCENT LOT COVERAGE = 76.9%
MAXIMUM ALLOWABLE LOT COVERAGE = 85.0%

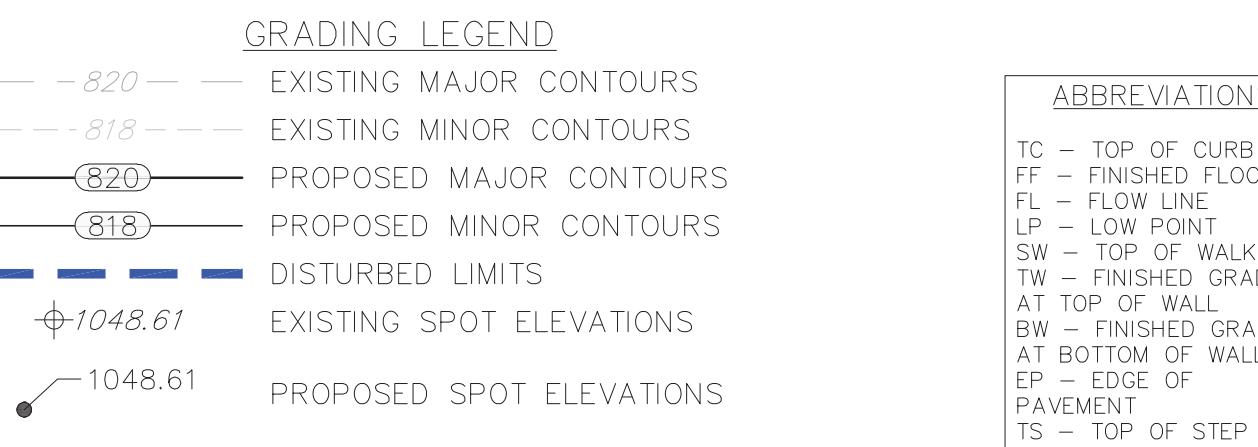
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N. BLAIR STREET

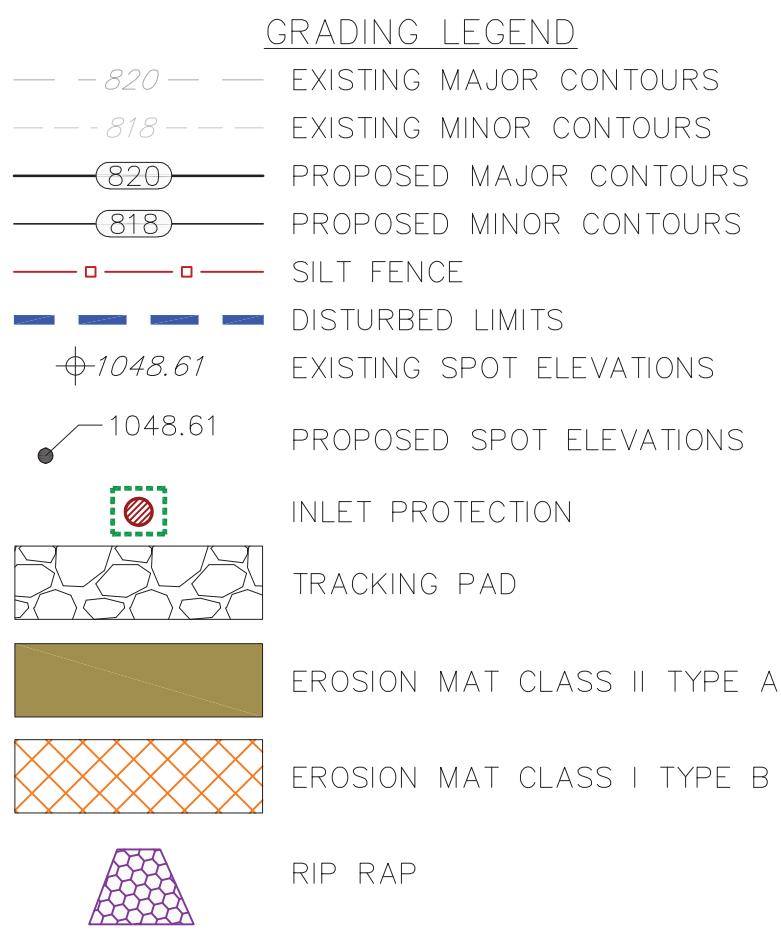


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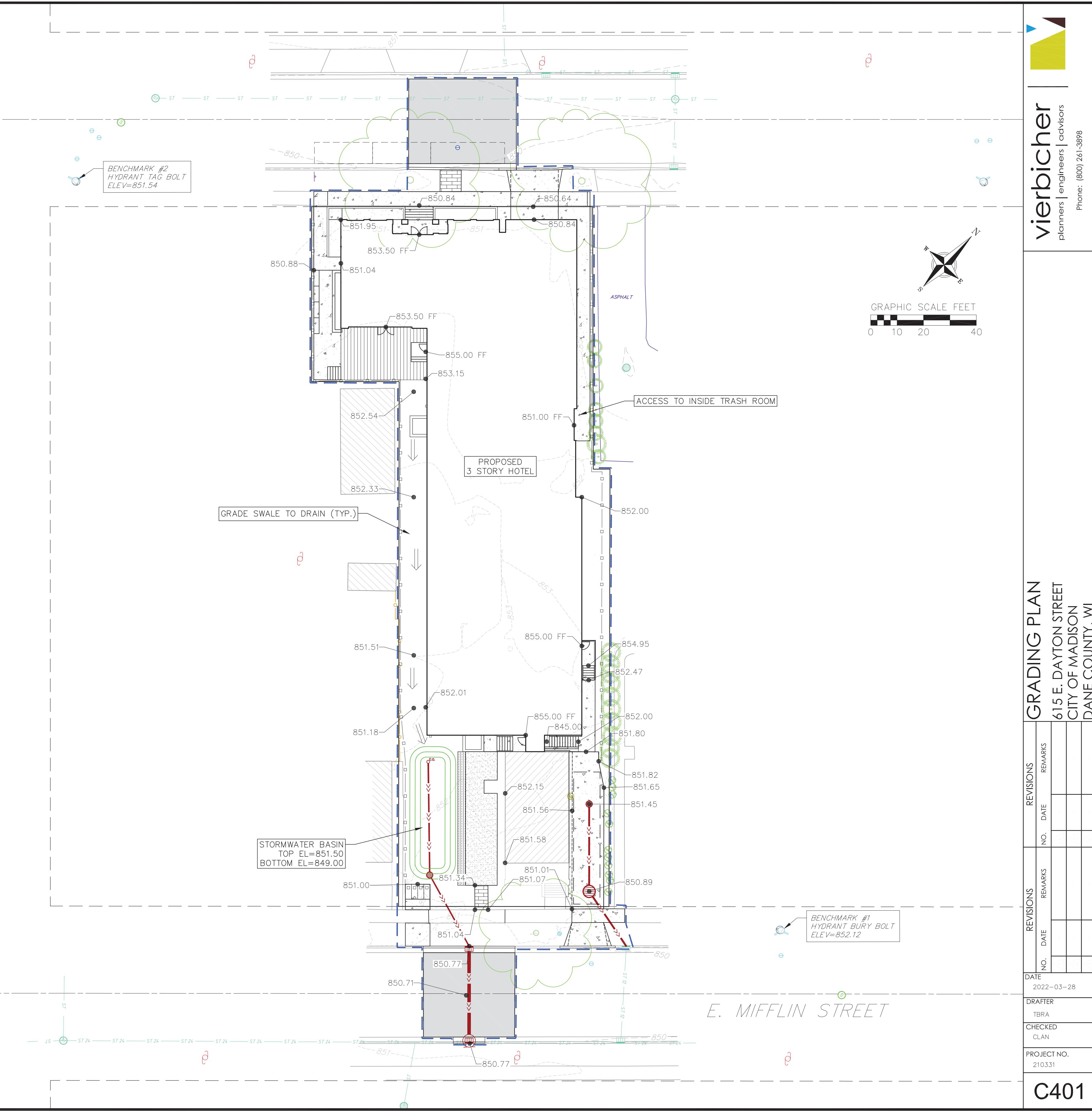


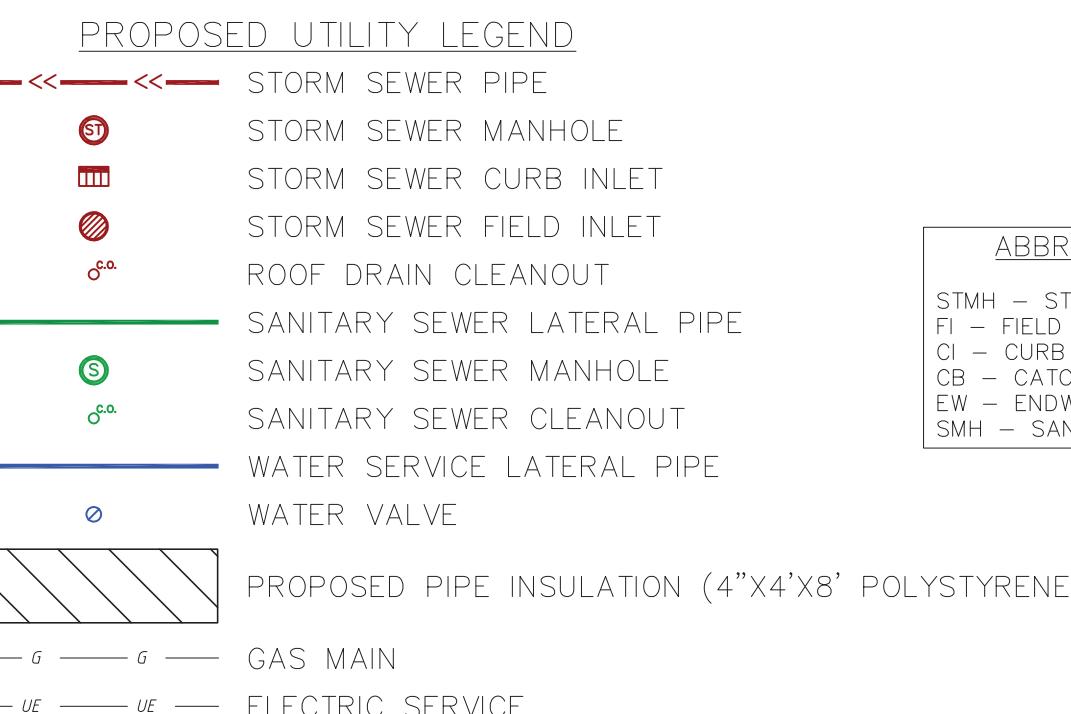
**GRADING NOTES:**

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. CROSS-SLOPE OF SITE SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
3. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
4. SPOT ELEVATIONS REPRESENT FINISHED GRADE.

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N. BLAIR STREET

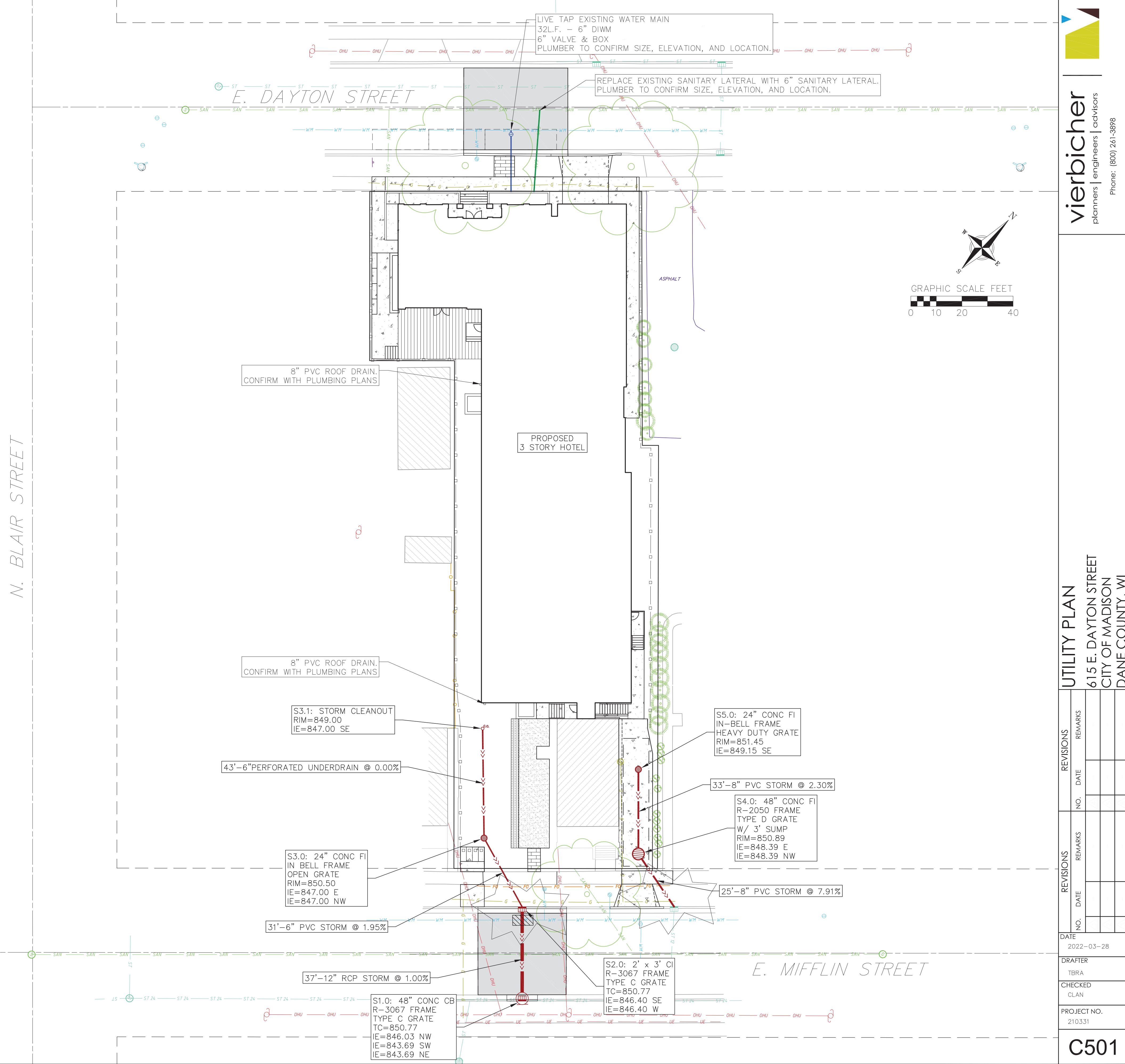


UTILITY NOTES:

- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF Dewatering operations exceed 70 gallons per minute of pumping capacity, a dewatering well permit shall be obtained prior to starting any dewatering activities.
- A copy of the approved utility plans, specifications and plumbing permit approval letter shall be on-site during construction and open to inspection by authorized representatives of the department of safety and professional services and other local inspectors.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
- INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
- UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.

ULO - CAUTION UNDERGROUND UTILITIES. FOR ALL LOCATIONS MARKED "ULO" CONTRACTOR TO ULO PRIOR TO CONSTRUCTION TO CONFIRM NO CONFLICTS EXIST. ALL CONFLICTS TO BE REPORTED TO ENGINEER IMMEDIATELY PRIOR TO START OF UTILITY CONSTRUCTION.

NOT FOR CONSTRUCTION



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EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DE-WATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE GRADING AND EROSION CONTROL PLAN FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. THE FILTERS SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE BOTH 70% RESTORED AND PAVED.
13. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
14. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
15. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
16. EROSION MAT (CLASS I, TYPE B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
18. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
19. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
20. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
21. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
22. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
23. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY AND STATE.
24. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
25. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

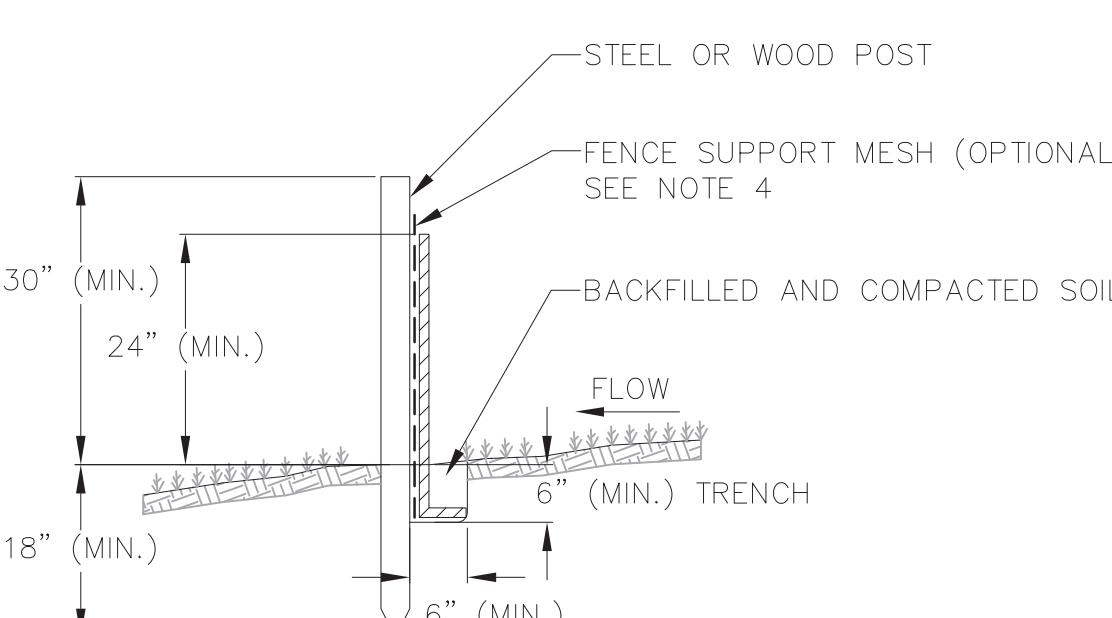
PERMANENT: SEE LANDSCAPE PLAN.

FERTILIZING RATES:

TEMPORARY AND PERMANENT: USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT: USE $\frac{1}{2}$ " TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



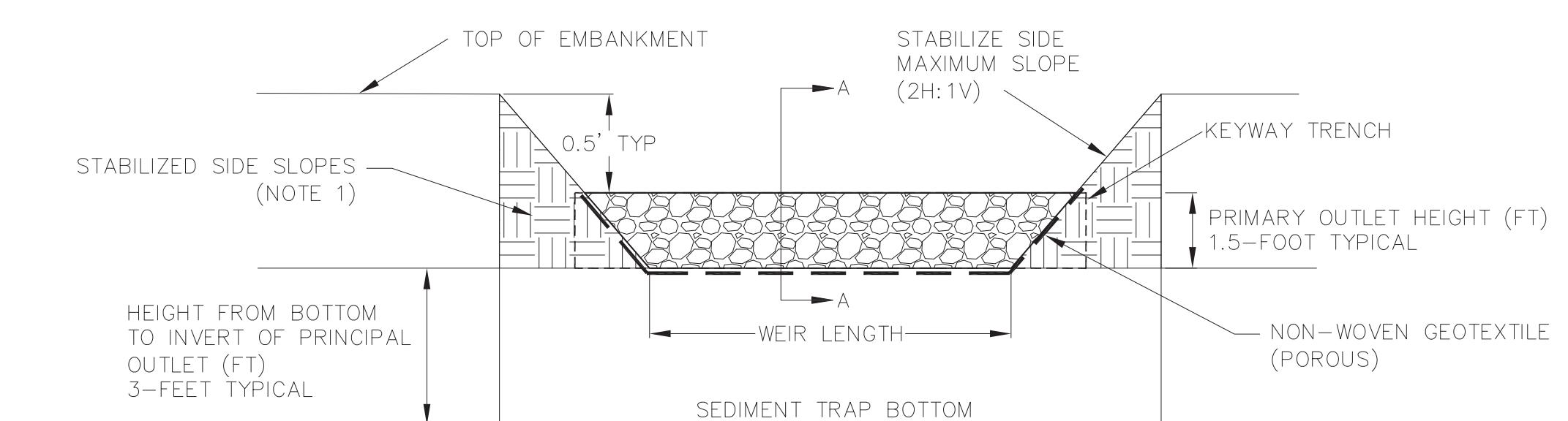
NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

SILT FENCE
NOT TO SCALE

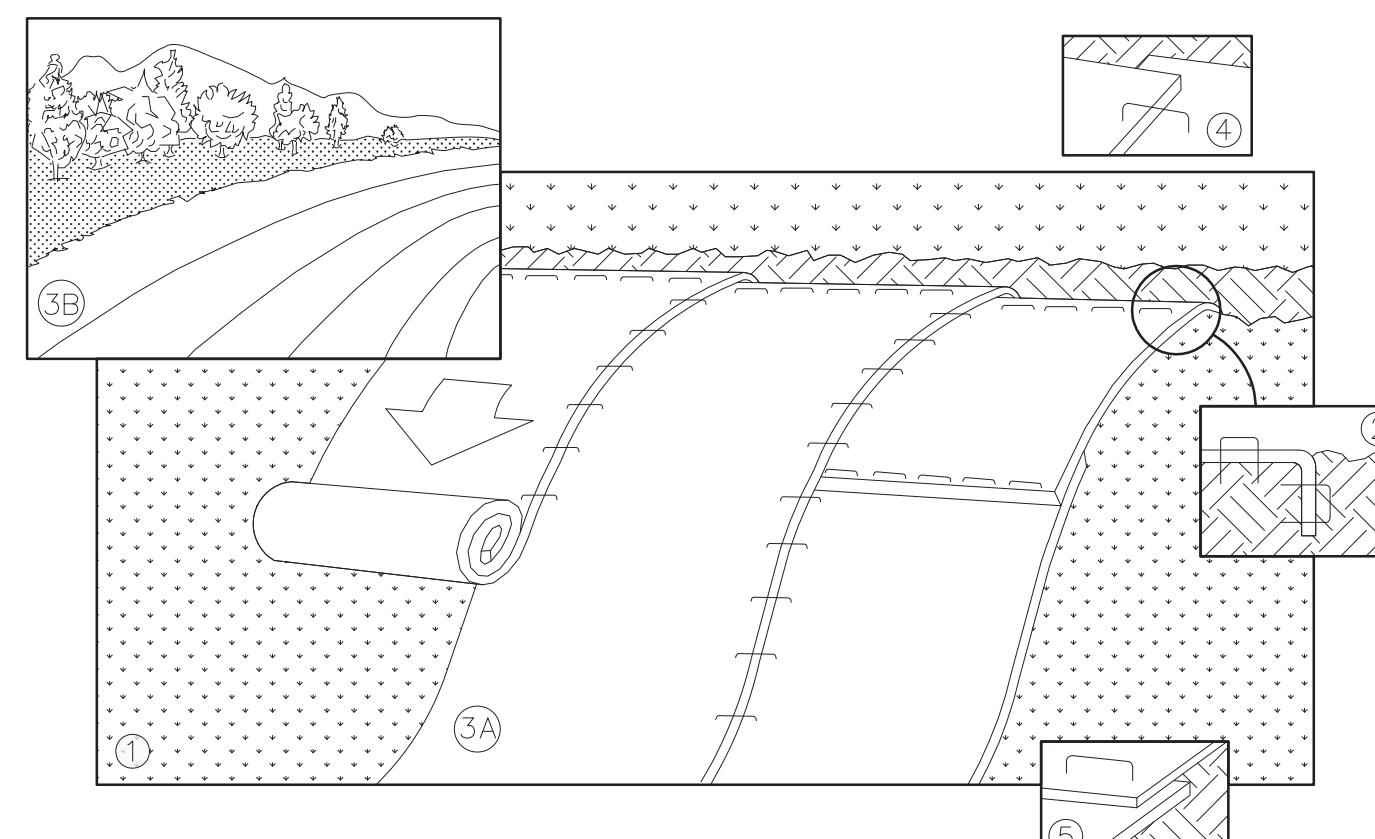
CONSTRUCTION SEQUENCE:

1. INSTALL EROSION CONTROL MEASURES
2. CONDUCT DEMOLITION
3. STRIP TOPSOIL
(UNWORKED AREAS MAY REMAIN NON-STABILIZED FOR A MAXIMUM OF 14 DAYS)
4. ROUGH GRADE SITE
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION IN NEW INLETS
7. CONSTRUCT BUILDING
8. CONSTRUCT PAVEMENT
9. FINAL GRADE AND PERMANENTLY RESTORE DISTURBED AREAS
10. REMOVE EROSION CONTROL MEASURES AFTER DISTURBED AREAS ARE 70% RESTORED OR PAVED.
11. CONSTRUCT BIO-RETENTION BASIN



CROSS SECTION OF PRINCIPAL OUTLET

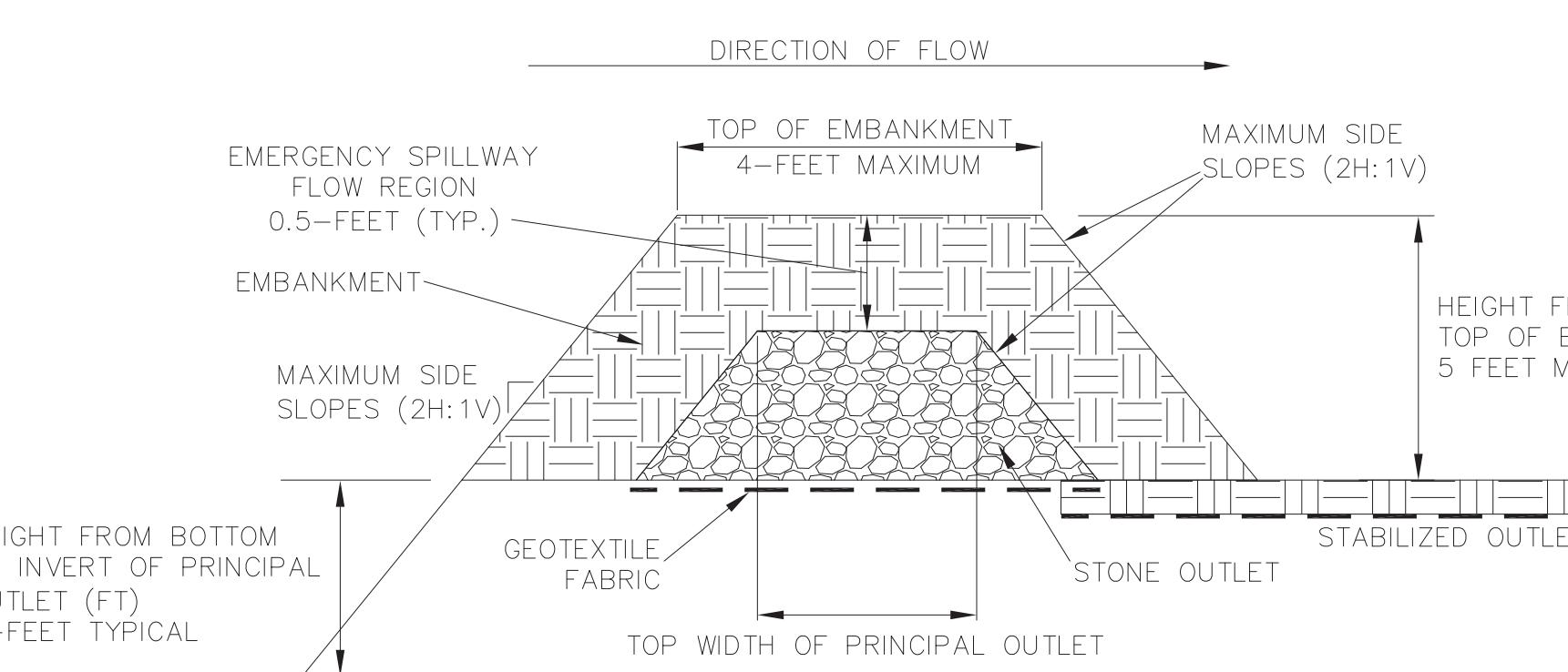
NOTE 1: SIDE SLOPES AND FACES OF EARTHEN EMBANKMENT AROUND OUTLET SHALL BE ARMORED WITH RIPRAP OR STABILIZED WITH EROSION MAT SUFFICIENT TO HANDLE FLOWS FROM THE 10-YEAR STORM.



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

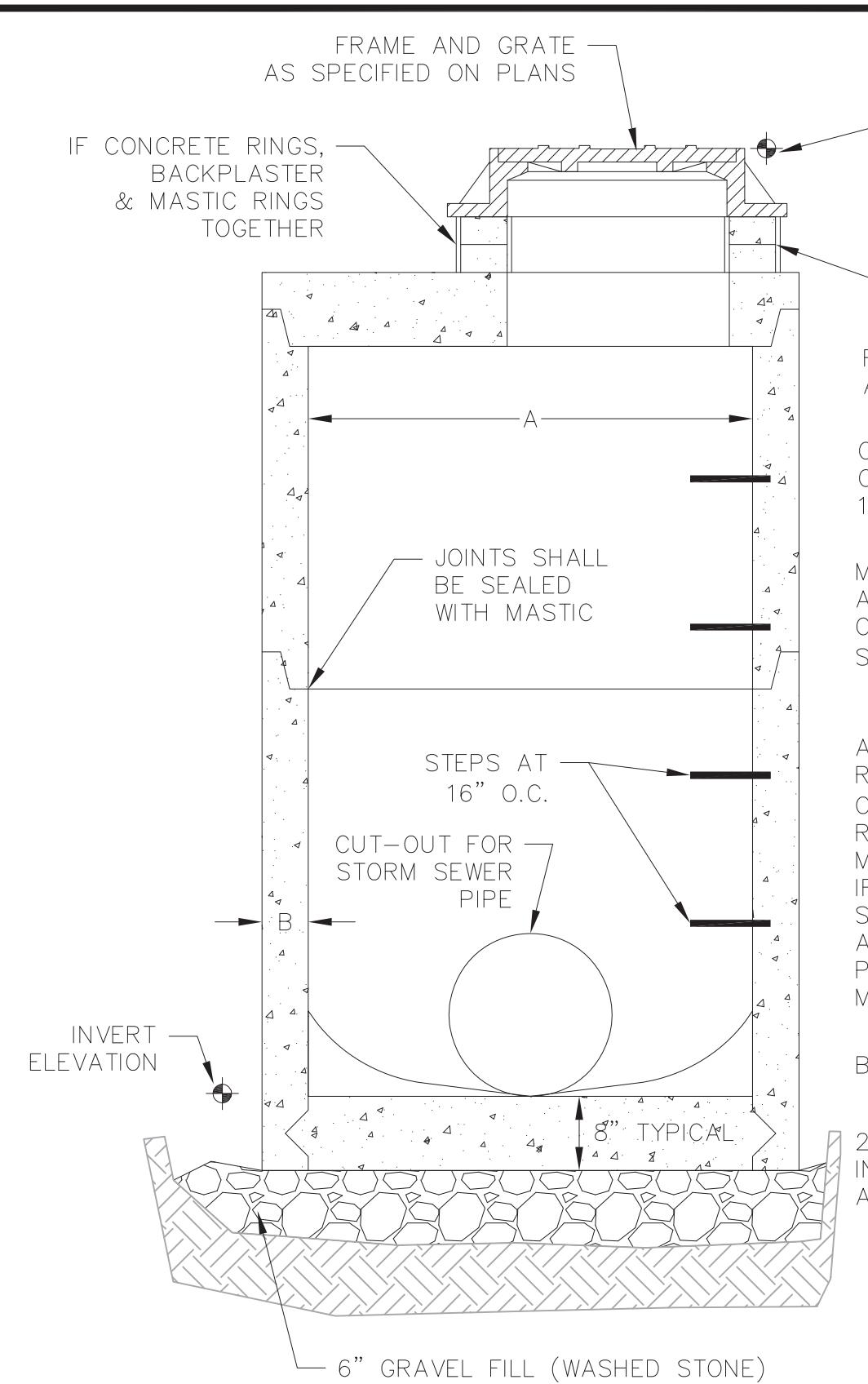
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA.
CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A> DOWN, OR HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION MAT
NOT TO SCALE

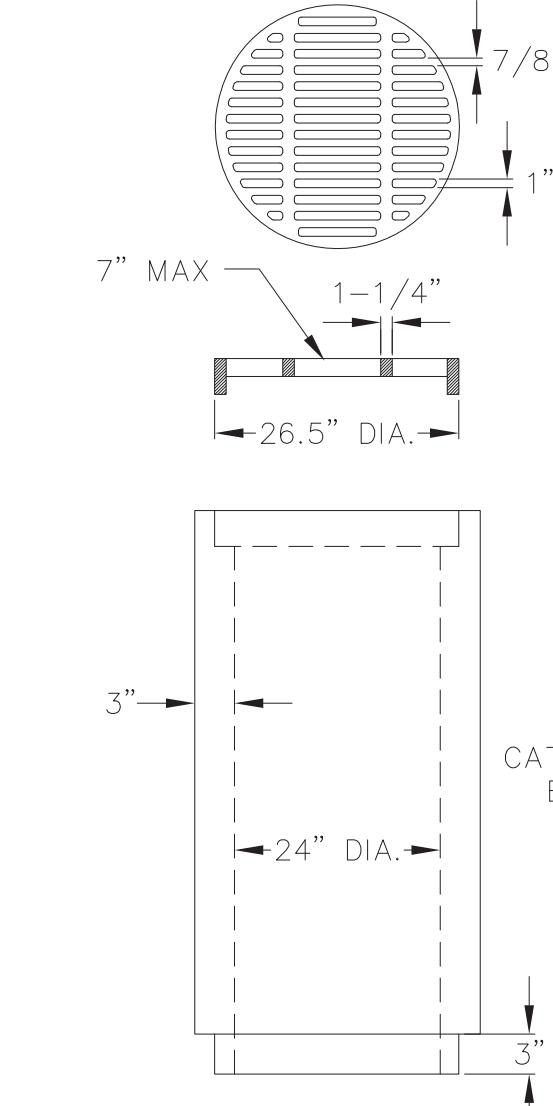


VIEW A-A OF PRINCIPAL OUTLET

SEDIMENT TRAP
NOT TO SCALE



IF CONCRETE RINGS, BACKPLASTER & MASTIC RINGS TOGETHER
CASTING SHALL BE 1/2" BELOW FINISHED PAVEMENT OR AS ESTABLISHED BY THE ENGINEER
ADJUSTING RINGS - CONCRETE, LADTECH HDPE, OR APPROVED EQUAL
FRAME AND GRATE AS SPECIFIED ON PLANS
CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1~2% AIR ENTRAINMENT.
JOINTS SHALL BE SEALED WITH MASTIC
MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY CO. R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.
ADJUST FRAME WITH A MINIMUM OF 2 RINGS OF VARIABLE THICKNESS. A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. IF USING CONCRETE RINGS, ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.
INVERT ELEVATION
BENCH SLOPE 1" PER FOOT.
2x3 OPENING IS REQUIRED FOR STORM INLET MANHOLES WITH CASTING AND RINGS AS SHOWN ON PLANS.
6" GRAVEL FILL (WASHED STONE)



IN BELL GRATE IN CUSTOM MANUFACTURED BY THE WESTWICK FOUNDRY COMPANY TO MADISON CONCRETE PIPE SPECIFICATIONS

GRATE IS CAST GRAY IRON MANUFACTURED TO MEET ASTM A-48 CLASS 35 B AND AASHTO M105 SPECIFICATIONS

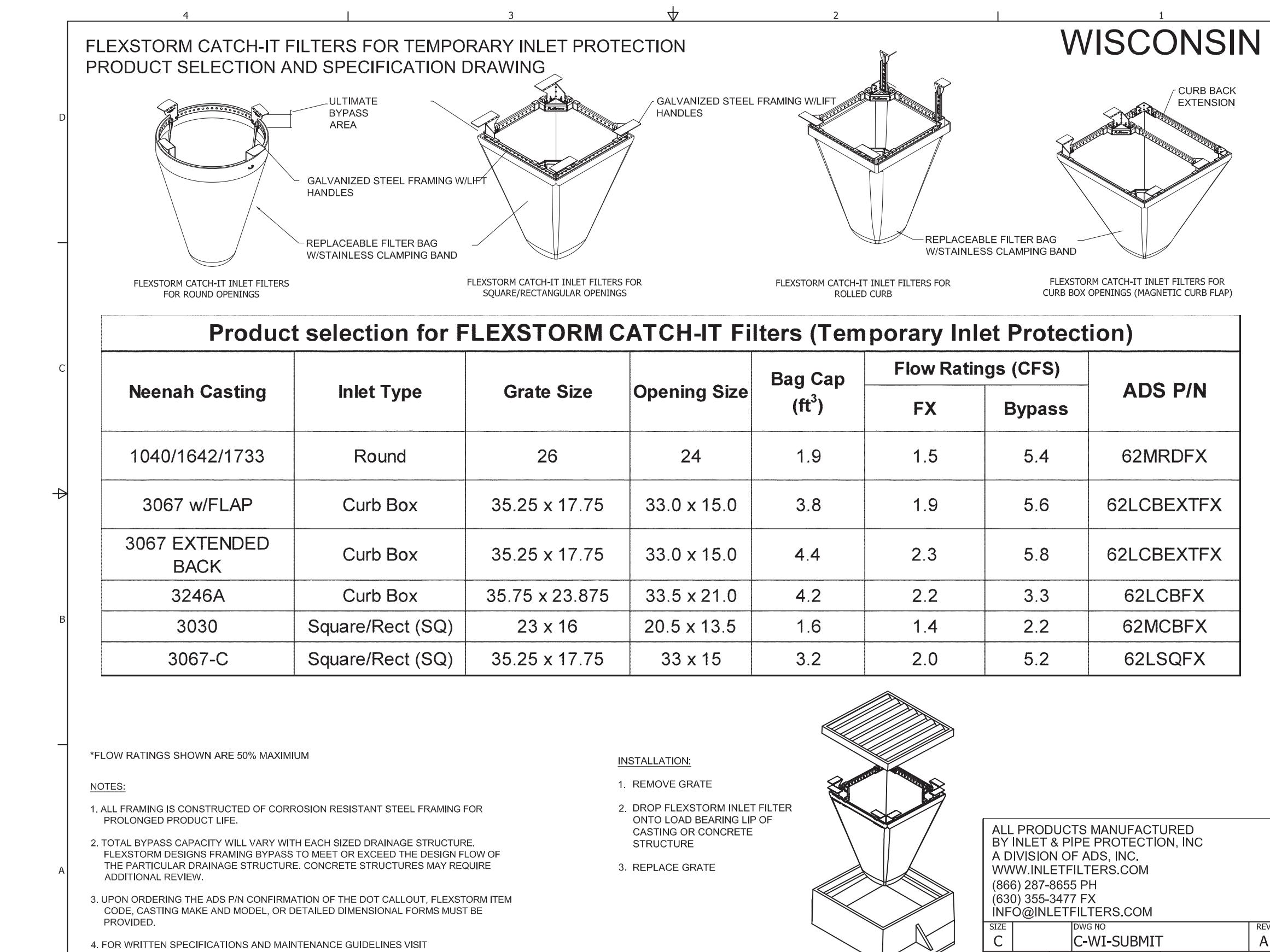
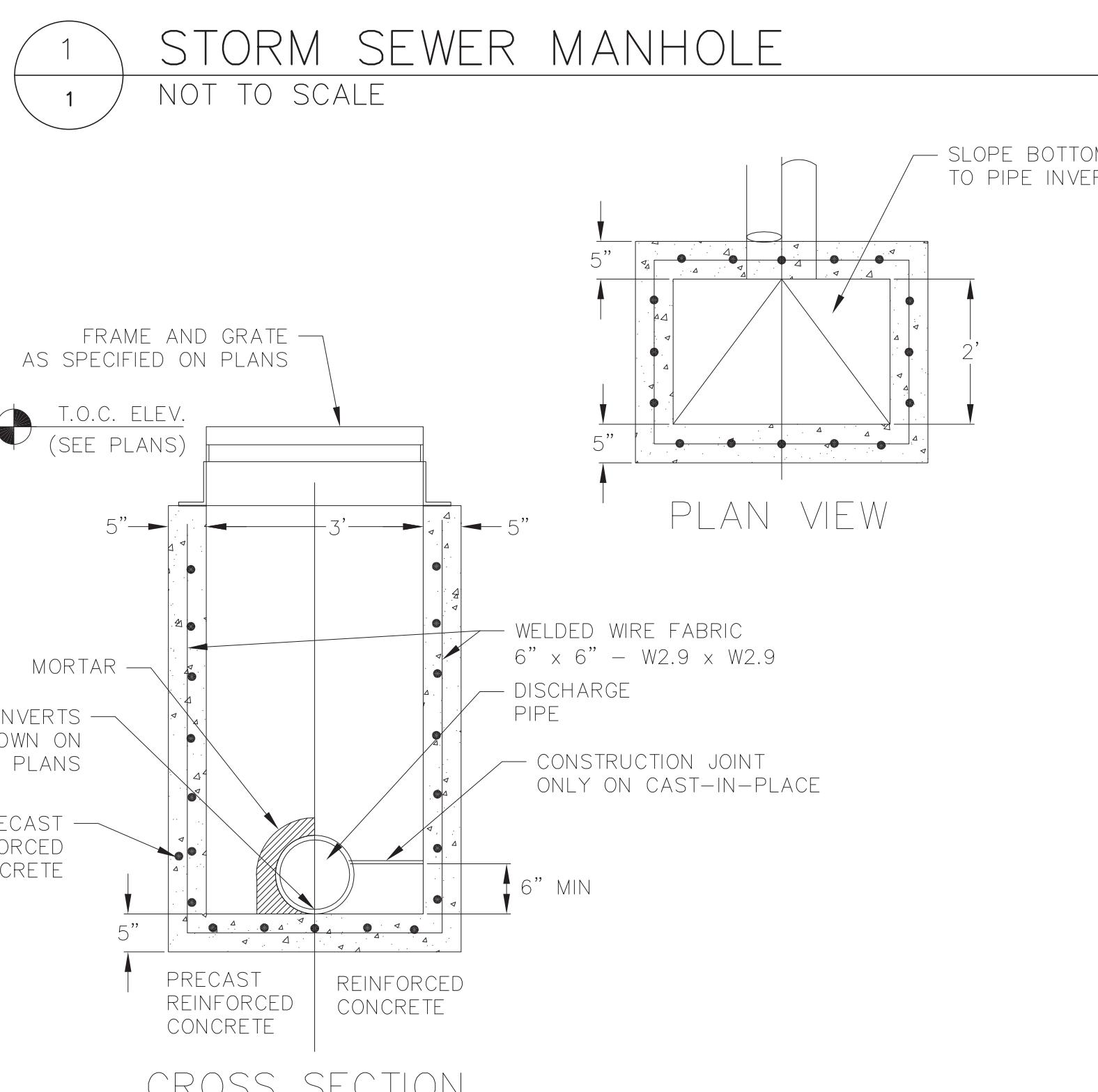
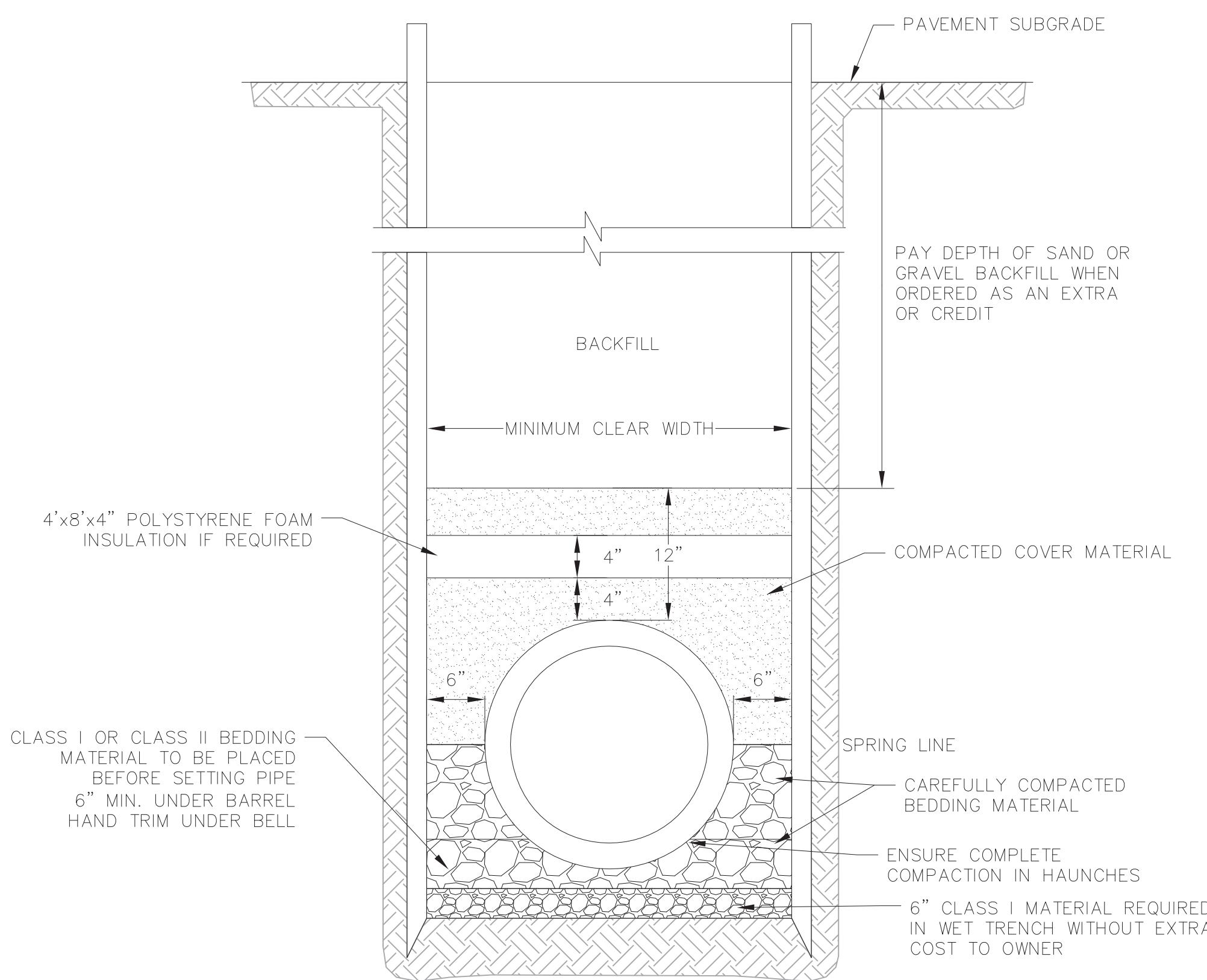
GRATES ARE AASHTO H20 LOAD RATED
GRATE SETS FLUSH WITH TOP OF CATCH BASIN BELL

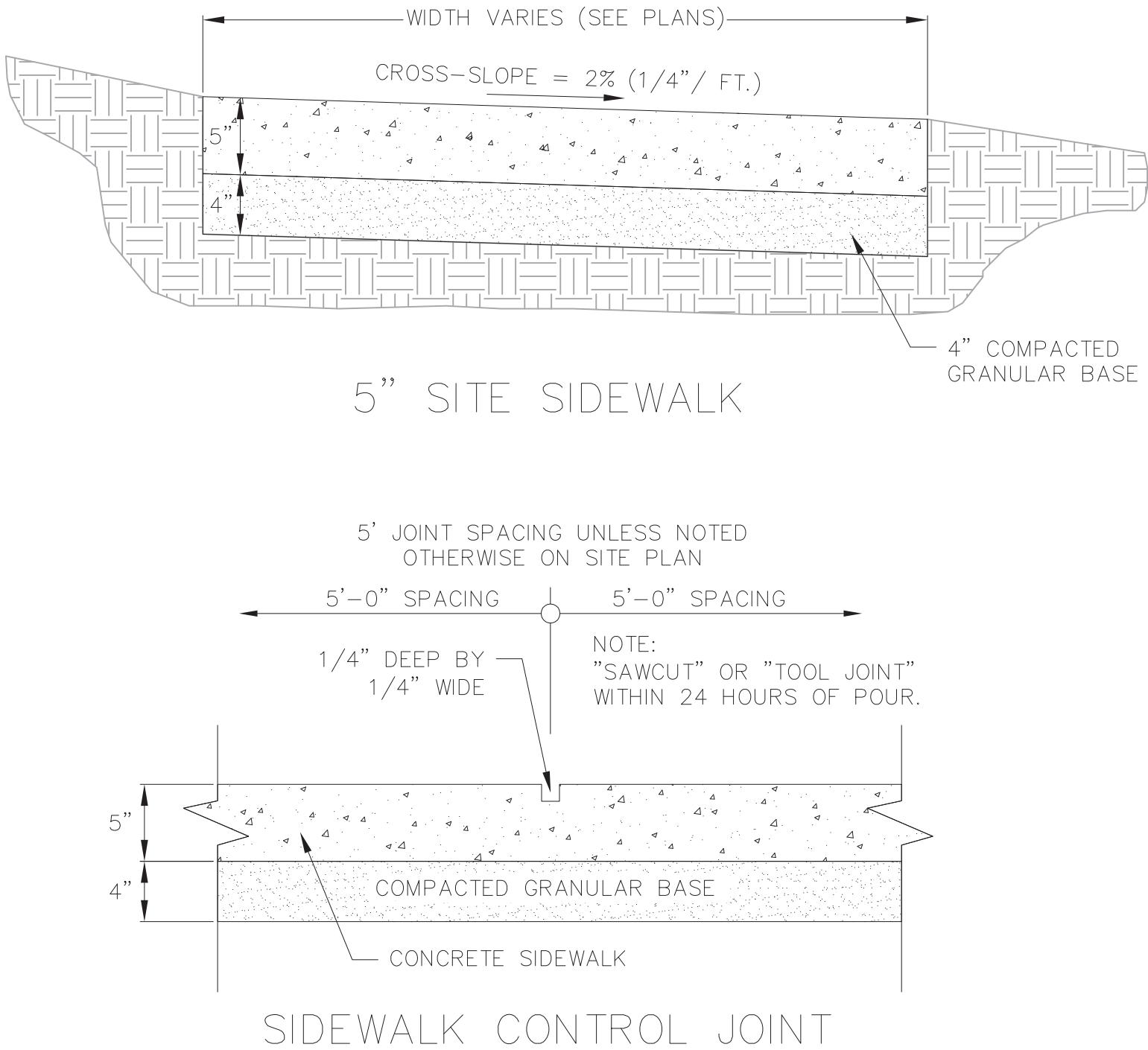
PRECAST REINFORCED CONCRETE CATCH BASIN IN MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS

STANDARD CATCH BASIN BARREL HEIGHTS: 2'-0", 3'-0" OR 4'-0"

STOCK 24" DIA. CATCH BASIN HAS NO BASE, BUT MAY BE ORDERED WITH A 3" THICK INTEGRAL BASE OR AS SPECIFIED
CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 OR EQUIVALENT WHICH MEETS OR EXCEEDS FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990

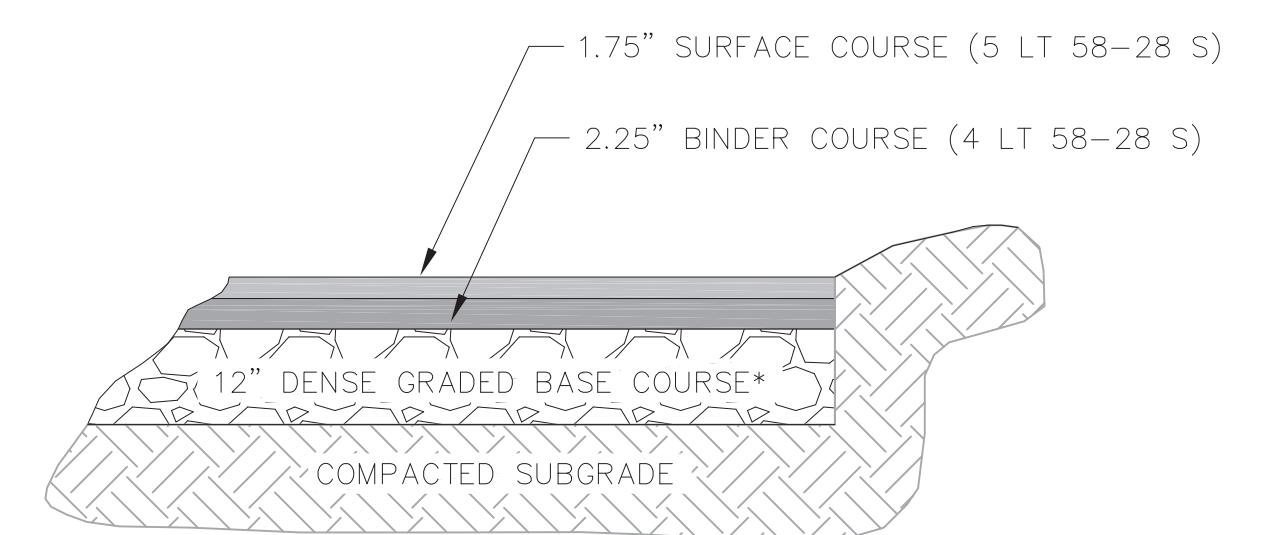
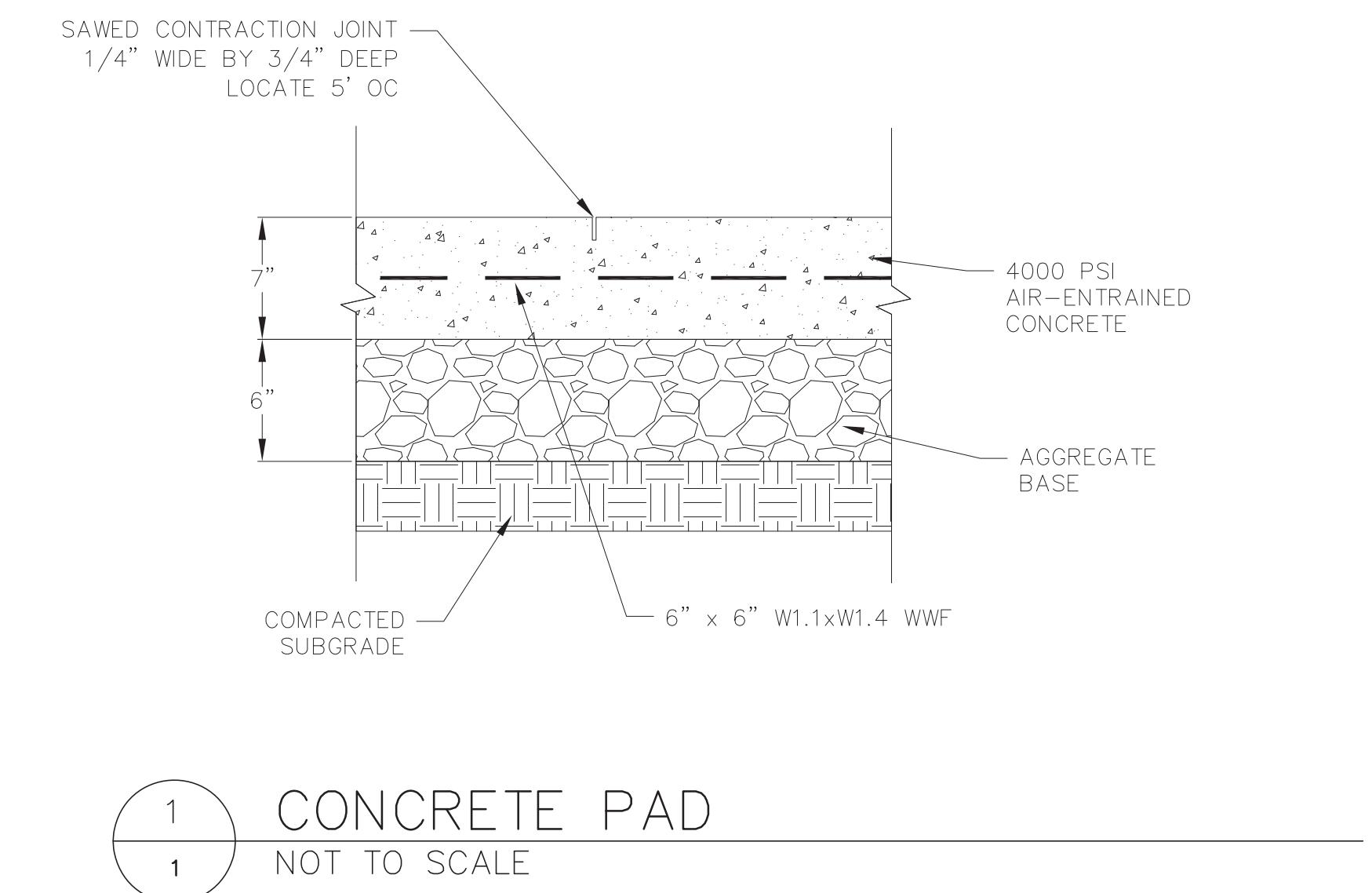
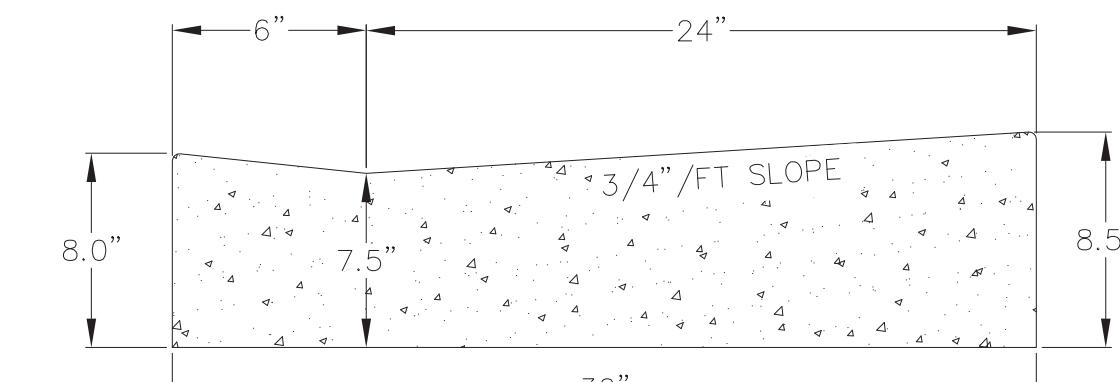
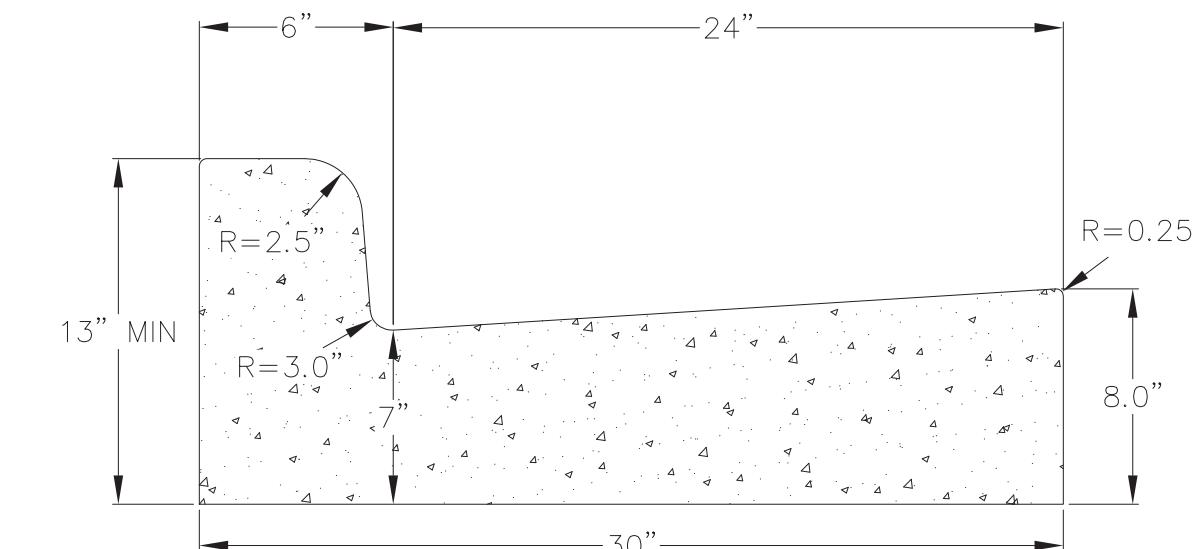
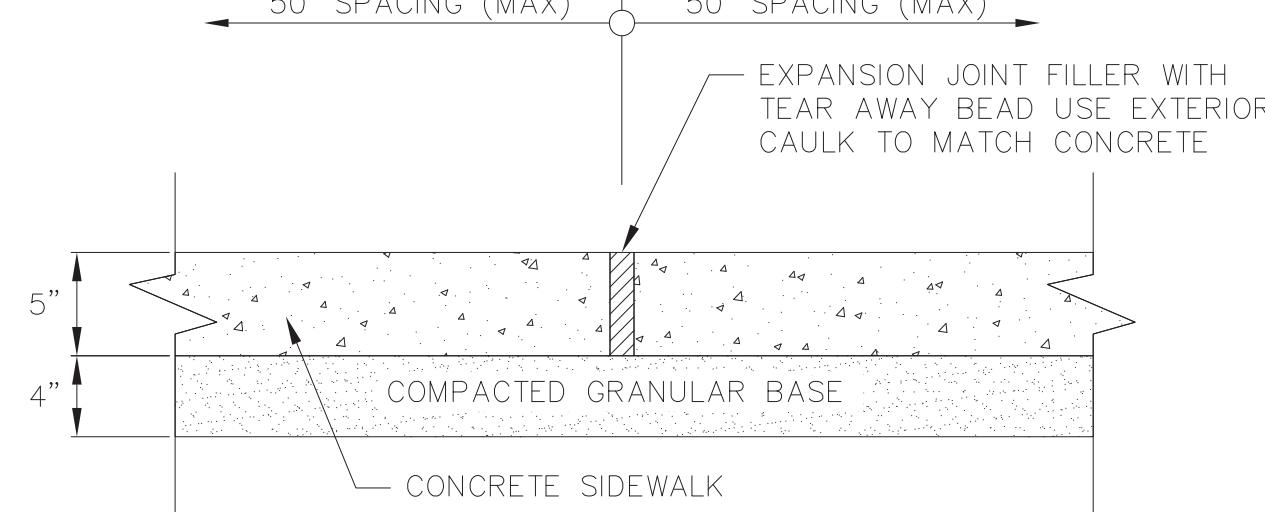
PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL OR EQUIVALENT WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923





5" SIDEWALK
NOT TO SCALE

30" CONCRETE CURB AND GUTTER
NOT TO SCALE



1
1
SITE PAVEMENT
NOT TO SCALE

CONSTRUCTION DETAILS
615 E DAYTON STREET
CITY OF MADISON
DANE COUNTY, WI

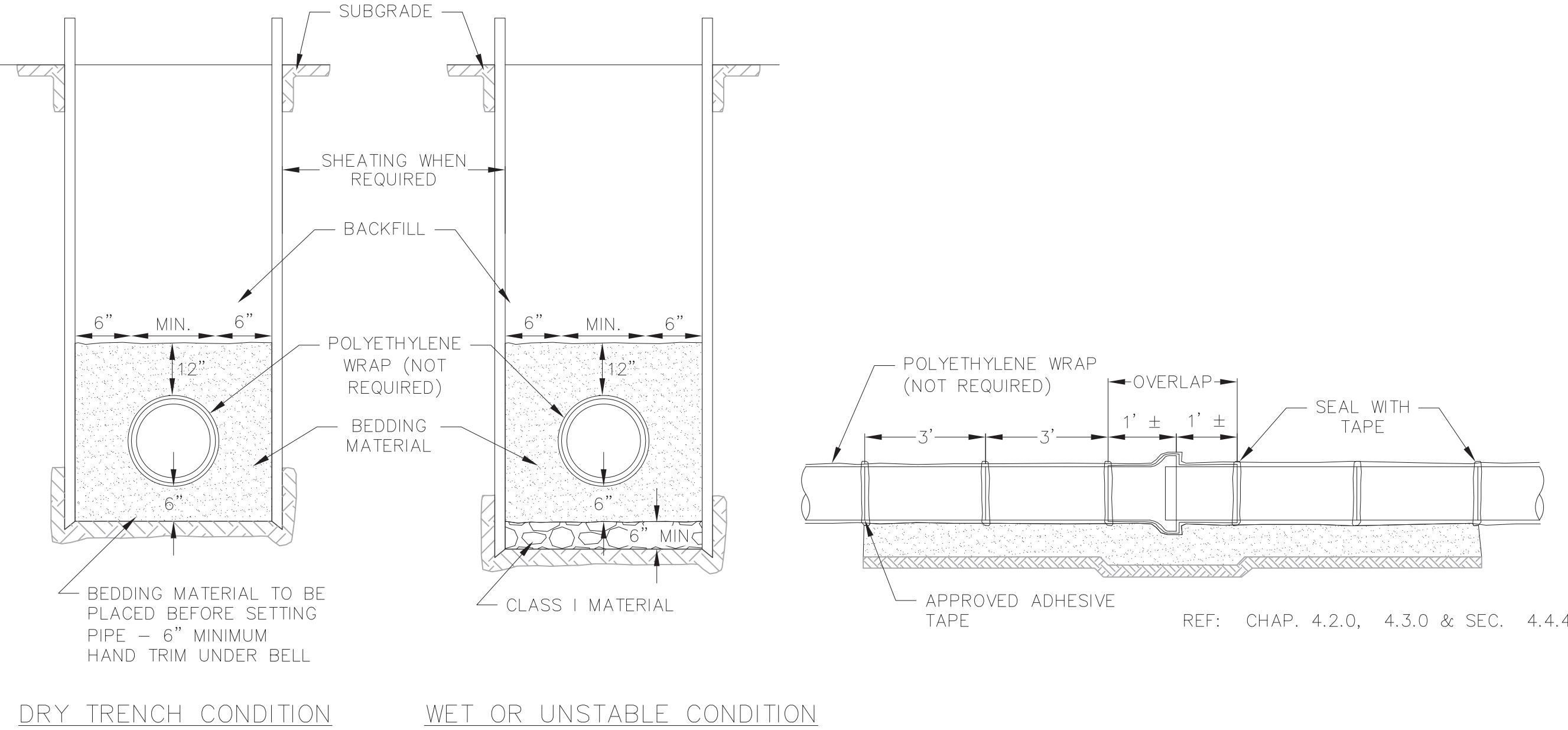
DATE
2022-03-28

DRAFTER
TBRA

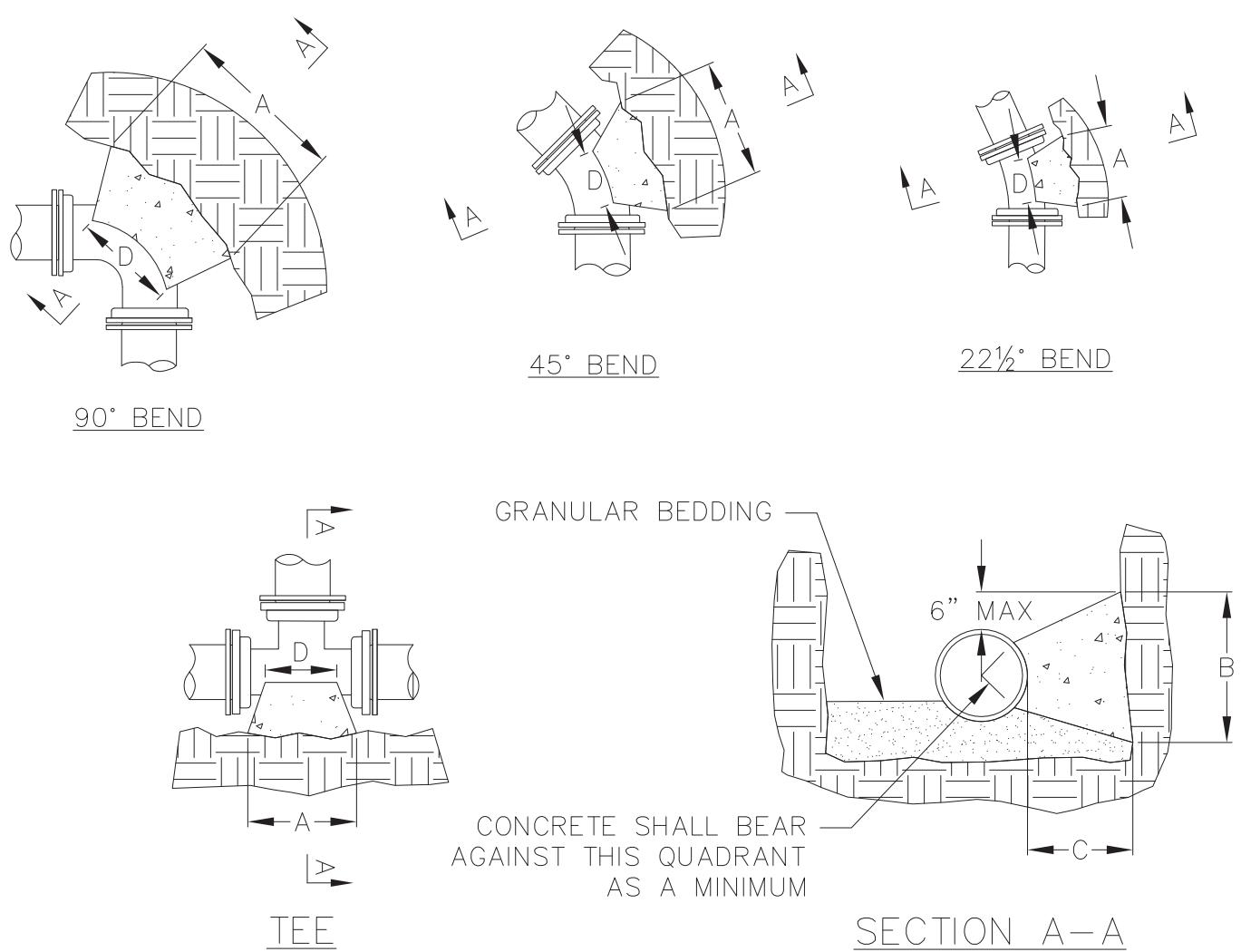
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CLAN

PROJECT NO.
210331

C704



STANDARD WATER MAIN TRENCH SECTION



DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.

DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "Q" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

CONCRETE SHALL BE CLASS "C", SEE SECTION 03301

BUTTRESS DIMENSIONS									
PIPE SIZE*	TEES		22.5° BEND		45° BEND		90° BEND		
	A	B	A	B	A	B	A	B	
4	0'-10"	1'-6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"	
6	1'-6"	1'-8"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"	
8	1'-9"	2'-4"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"	
10	1'-9"	2'-4"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"	
12	2'-3"	1'-7"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"	
16	3'-8"	2'-10"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"	
20	5'-0"	3'-10"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"	
24	5'-4"	4'-8"							

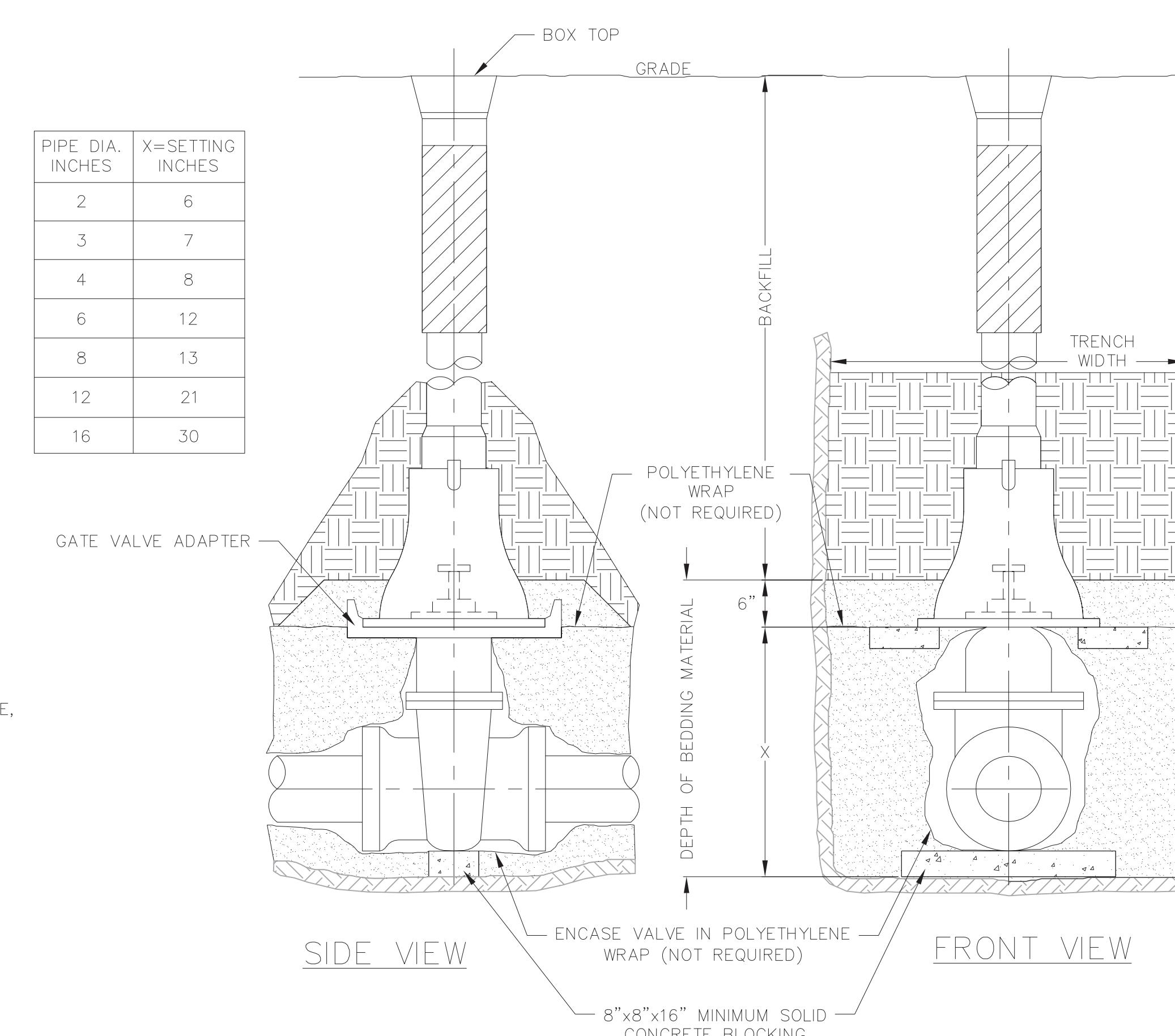
DIMENSIONS IN THE TABLE
ARE BASED ON A WATER
PRESSURE OF 150 PSI
SOIL RESISTANCE OF 200
LBS/SQ FT

* = FOR TEE THIS WILL
THE BRANCH PIPE

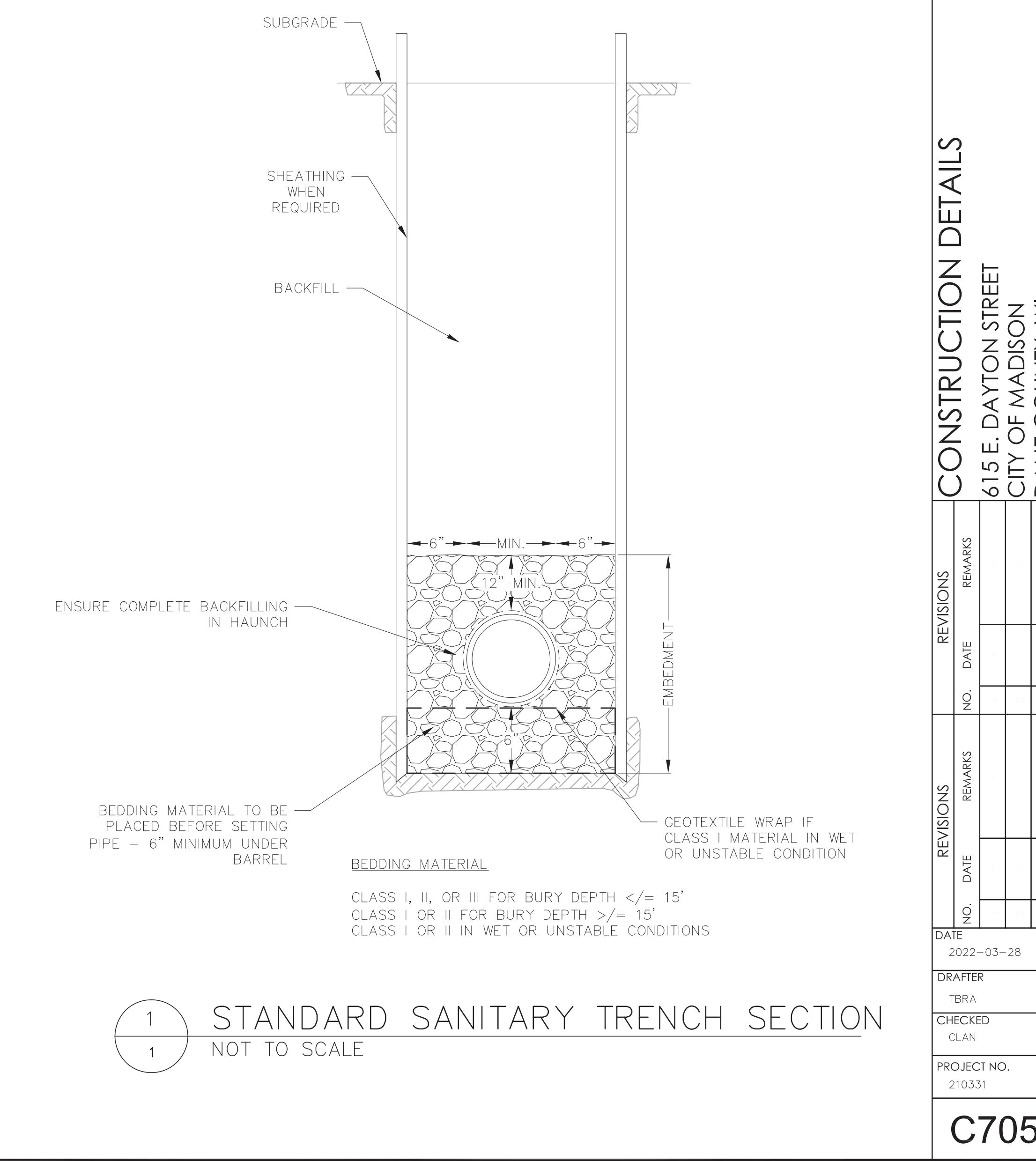


BUTTRESS FOR BENDS

NOT TO SCALE



1 STANDARD GATE VALVE BOX SETTING
1 NOT TO SCALE



1 STANDARD SANITARY TRENCH SECTION
1 NOT TO SCALE

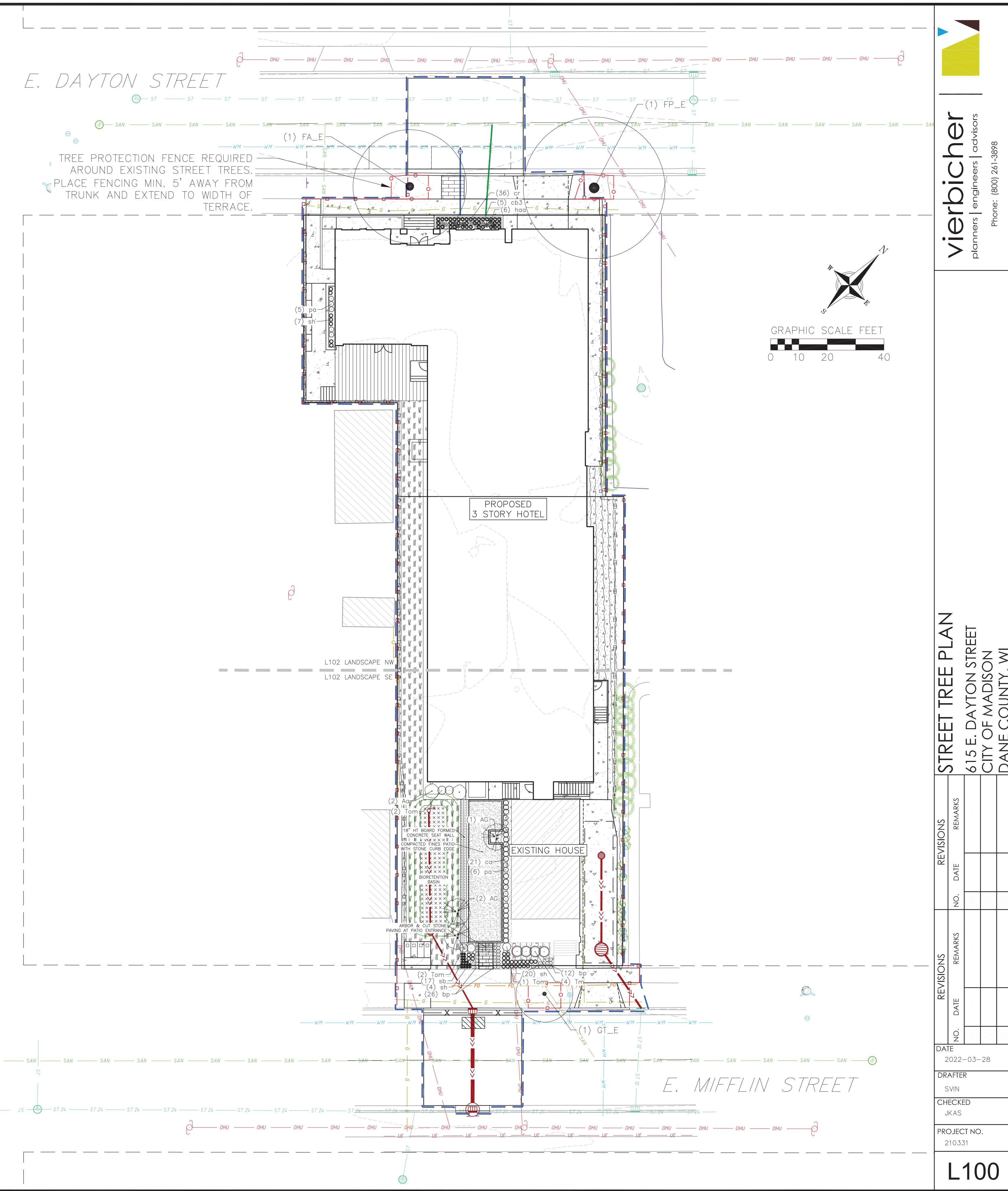
PLANT SCHEDULE

EXISTING STREET TREES	BOTANICAL / COMMON NAME	ROOT COND.	QTY	REMARKS
FA_E	Fraxinus americana / White Ash	Existing	1	24" dia.
FP_E	Fraxinus pennsylvanica / Green Ash	Existing	1	32" dia.
GT_E	Gleditsia triacanthos / Honey Locust	Existing	1	22" dia.

CITY OF MADISON FORESTRY NOTES:

1. All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson who's district is affected by the tree removal(s) prior to a tree removal permit being issued.
2. As defined by Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/specs.cfm>
3. Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation shall be required.
4. Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.
5. On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and, extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
6. Street tree pruning shall be coordinated with City Forestry a minimum of two weeks prior to the start of construction. Contact City Forestry at 608.266.4816. All pruning shall follow the American National Standards Institute (ANSI) A300—Part 1 Standards for pruning.

NOT FOR CONSTRUCTION



PLANT SCHEDULE

	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
EXISTING STREET TREES					
FA_E	Fraxinus americana / White Ash	Existing			1
FP_E	Fraxinus pennsylvanica / Green Ash	Existing			1
GT_E	Gleditsia triacanthos / Honey Locust	Existing			1
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
AG	Amelanchier x grandiflora 'Robin Hill' / Robin Hill Apple Serviceberry	B & B	6' ht.	Multi-Stem	3
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Ao	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry	Cont.	5 Gal.		2
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
Tm	Taxus x media 'Everlow' / Everlow Yew	Cont.	5 Gal.		4
Tom	Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae	Cont.	5 Gal.		5
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	NOTES	QTY
bp	Bergenia purpurea / Purple Bergenia	Cont.	4 In		38
ca	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass	Cont.	1 Gal.		21
cr	Carex rosea / Rosy Sedge	Cont.	4 In		36
cb3	Cimicifuga racemosa 'Brunette' / Snakeroot	Cont.	4 In		5
hau	Hosta x 'Awakening Angel' / Awakening Angel Hosta	Cont.	4 In		6
pa	Persicaria atriplicifolia 'Little Spire' / Little Spire Russian Sage	Cont.	1 Gal.		11
sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.		31
sb	Stachys byzantina 'Big Ears' / Big Ears Lamb's Ear	Cont.	1 Gal.		17

PLUG, SEEDING & AGGREGATE SCHEDULE

	BIO-RETENTION PLUGS	390 sf
	Allium cernuum / Nodding Onion	33
	Baptisia alba / White Wild Indigo	25
	Carex comosa / Bottlebrush Sedge	41
	Carex hystericina / Porcupine Sedge	41
	Carex stipata / Awl-fruited Sedge	41
	Carex vulpinoidea / Fox Sedge	41
	Iris virginica / Blue Flag Iris	33
	Liatris pycnostachya / Gayfeather	33
	Lobelia cardinalis / Cardinal Flower	25
	Lobelia siphilitica / Great Lobelia	33
	Monarda fistulosa / Bergamot	33
	Rudbeckia hirta / Black-eyed Susan	33
	NO-MOW SEEDING	1,754 sf
	COMPACTED FINE AGGREGATE PATIO	548 sf
	1" QUARTZ STONE MULCH	1,520 sf

PLANT MATERIAL NOTES:

1. ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
3. CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
4. ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.

LANDSCAPE MATERIAL NOTES:

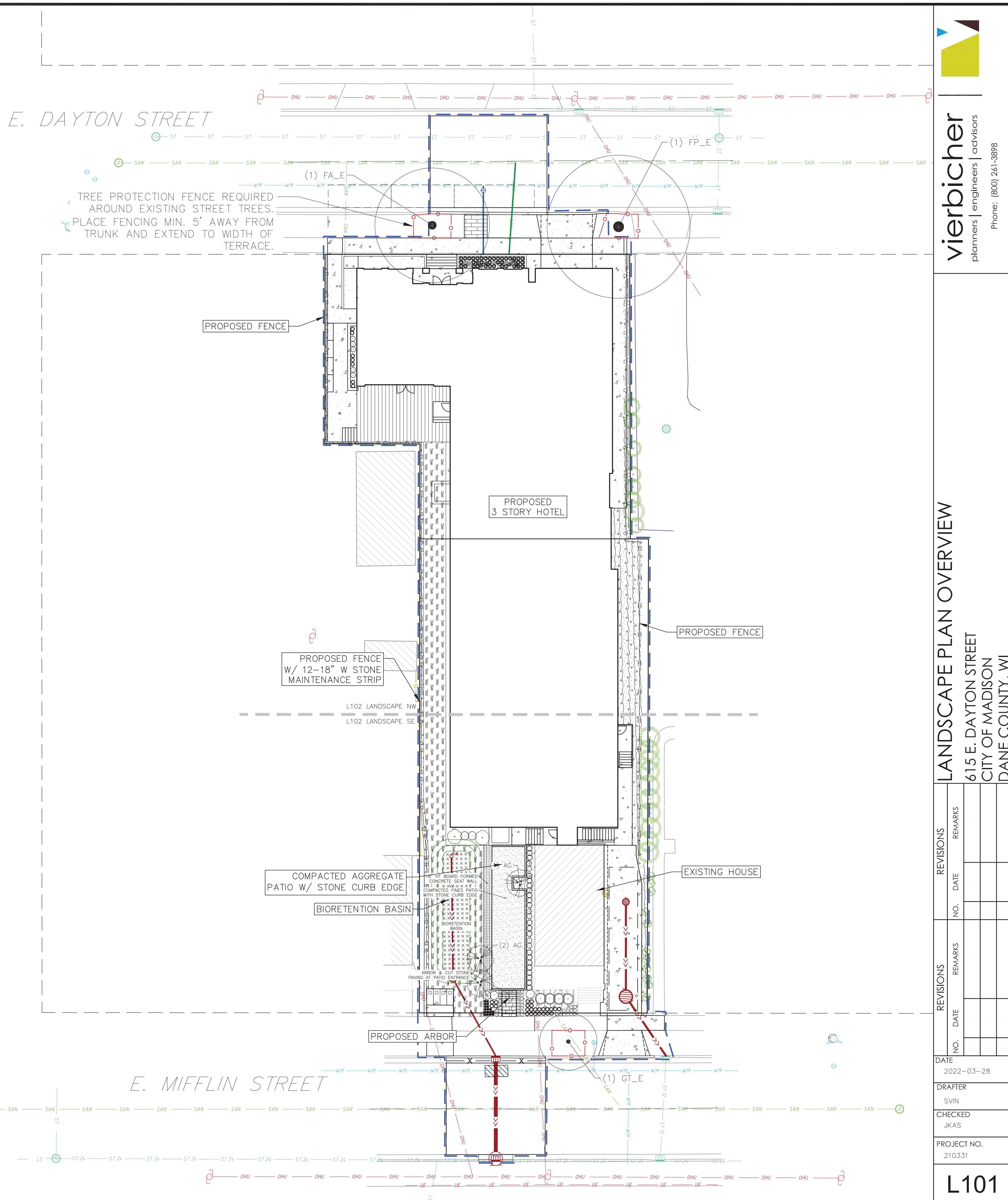
1. CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEDED/SODDED.
2. LANDSCAPE BEDS TO BE MULCHED WITH 1" PURPLE QUARTZ STONE (REGAL AMETHYST) TO 3" DEPTH MIN. OVER WEED BARRIER FABRIC. EDGE BEDS WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 18"X4" OR EQUAL, COLOR BLACK ANODIZED.

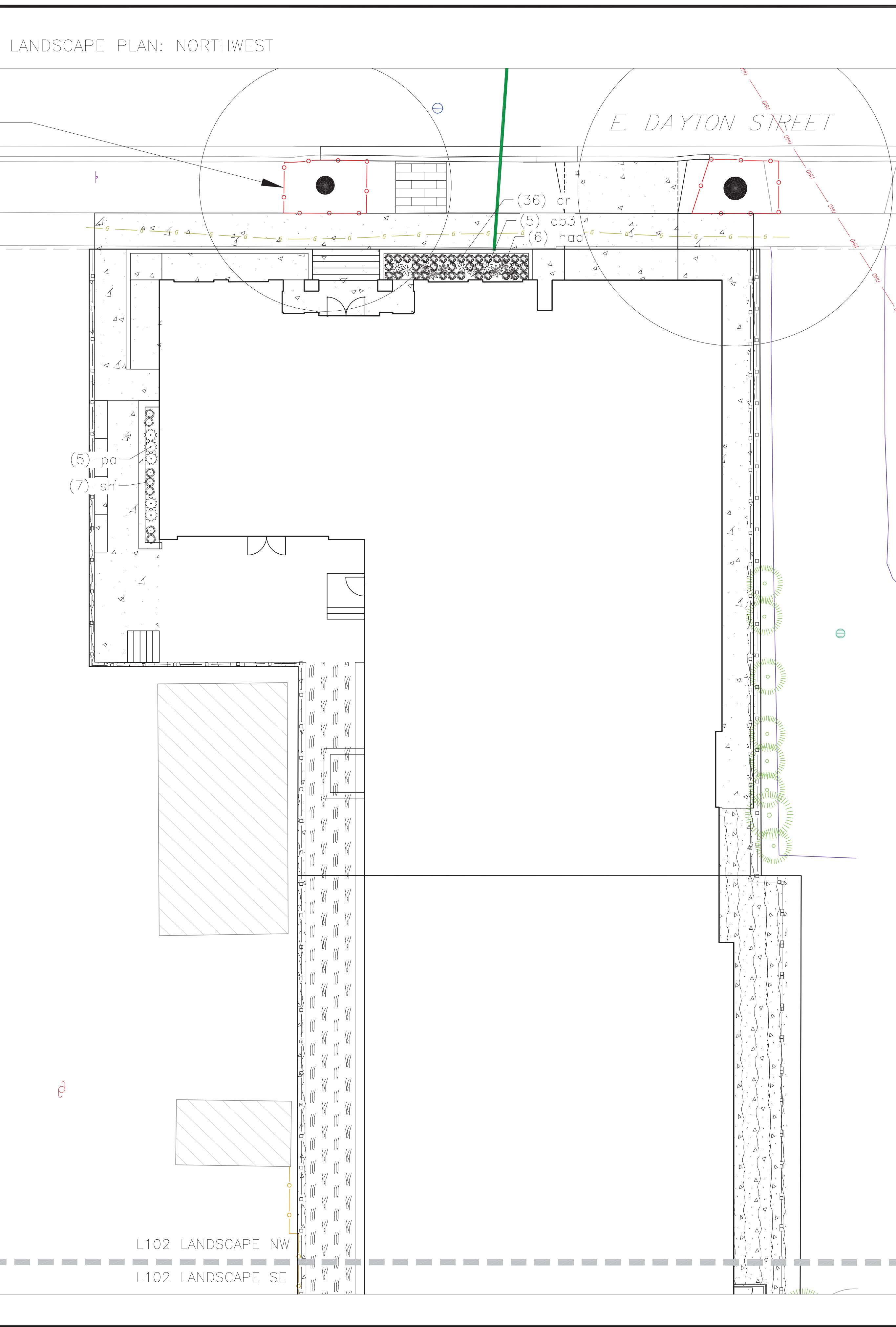
SEEDING AND PLUG PLANTING NOTES:

1. STREET TERRACES AND ALL OTHER DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SEDED WITH 'MADISON PARKS' MIX BY 'LACROSSE SEED COMPANY' OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL SEDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE.
2. INSTALL BIORETENTION PLUG PLANTINGS AS 2" X 2" X 4" DEEP PLUGS, 12" ON CENTER IN A TRIANGULAR GRID PATTERN. PLANT SPECIES IN ODD NUMBERED GROUPS OF 5-9 PLANTS, DISTRIBUTING EACH SPECIES RANDOMLY ACROSS PLANTING AREA FOR NATURAL APPEARANCE.

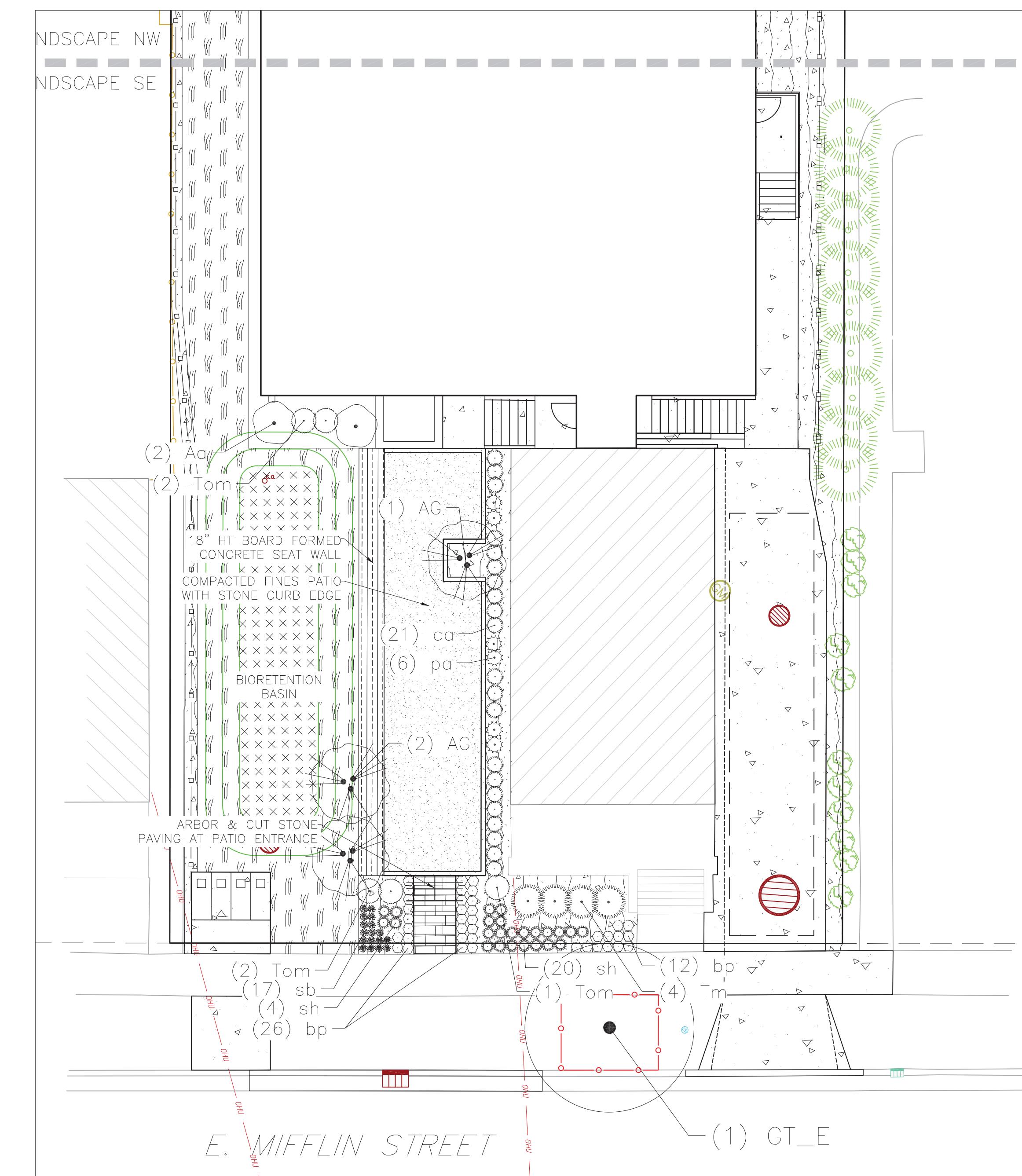
GRAPHIC SCALE FEET
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NOT FOR CONSTRUCTION

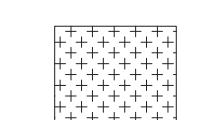




LANDSCAPE PLAN: SOUTHEAST

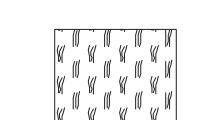


PLUGS, SEEDING & AGGREGATES



BIO-RETENTION PLUGS

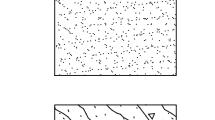
Allium cernuum / Nodding Onion	33	390 sf
Baptisia alba / White Wild Indigo	25	
Carex comosa / Bottlebrush Sedge	41	
Carex hystericina / Porcupine Sedge	41	
Carex stipata / Awl-fruited Sedge	41	
Carex vulpinoidea / Fox Sedge	41	
Iris virginica / Blue Flag Iris	33	
Liatris pycnostachya / Gayfeather	33	
Lobelia cardinalis / Cardinal Flower	25	
Lobelia siphilitica / Great Lobelia	33	
Monarda fistulosa / Bergamot	33	
Rudbeckia hirta / Black-eyed Susan	33	



NO-MOW SEEDING

-

1,754 sf



COMPACTED FINE AGGREGATE PATIO

548 sf



1" QUARTZ STONE MULCH

-

1,520 sf

PLANT SCHEDULE

EXISTING STREET TREES

FA_E
FP_E
GT_E

UNDERSTORY TREES

AG

DECIDUOUS SHRUBS

Aa

EVERGREEN SHRUBS

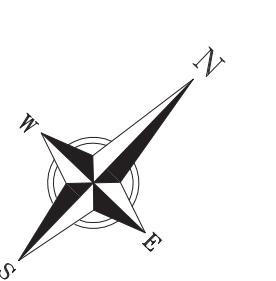
Tm

PERENNIALS

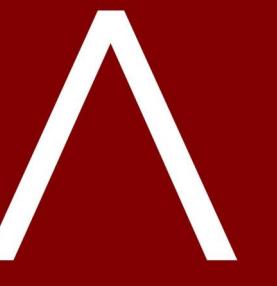
bp
ca
cr
cb3
haa
pa
sh
sb

BOTANICAL / COMMON NAME	
Fraxinus americana /	White Ash
Fraxinus pennsylvanica /	Green Ash
Gleditsia triacanthos /	Honey Locust
BOTANICAL / COMMON NAME	
Amelanchier x grandiflora 'Robin Hill' /	Robin Hill Apple Serviceberry
BOTANICAL / COMMON NAME	
Aronia arbutifolia 'Brilliantissima' /	Brilliant Red Chokeberry
BOTANICAL / COMMON NAME	
Taxus x media 'Everlow' /	Everlow Yew
Thuja occidentalis 'Hetz Midget' /	Hetz Midget Arborvitae
BOTANICAL / COMMON NAME	
Bergenia purpurea /	Purple Bergenia
Calamagrostis x acutiflora 'Overdam' /	Overdam Feather Reed Grass
Carex rosea /	Rosy Sedge
Cimicifuga racemosa 'Brunette' /	Snakeroot
Hosta x 'Awakening Angel' /	Awakening Angel Hosta
Perovskia atriplicifolia 'Little Spire' /	Little Spire Russian Sage
Sporobolus heterolepis /	Prairie Dropseed
Stachys byzantina 'Big Ears' /	Big Ears Lamb's Ear

REVISIONS	REMARKS	REVISIONS	REMARKS
NO. DATE	REMARKS	NO. DATE	REMARKS

DATE
2022-03-28DRAFTER
SVINCHECKED
JKASPROJECT NO.
210331GRAPHIC SCALE FEET
0 5 10 20

NOT FOR CONSTRUCTION



J L A A R C H I T E C T S

MADISON : MILWAUKEE
jla-ap.com

Eastman Lee Architects

JLA PROJECT NUMBER: 21-1006

21-1006

McGRATH Property Group

DAYTON-MIFFLIN HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 11, 2013

APRIL 11 20

REVISION SCHEDULE

SET TITLE

POWER LAW DISTRIBUTION

ITEM NUMBER

A100

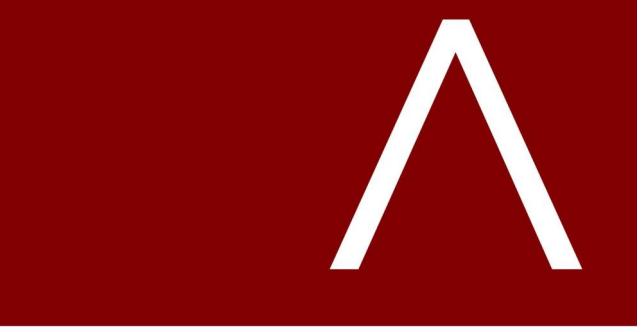
LOWER FLOOR OVERALL SF: 12,717.97 S.F.

This architectural floor plan illustrates the layout of the Lower Floor with a total area of 12,717.97 S.F. The plan includes the following key features and dimensions:

- Rooms and Areas:** KIOSK, UNEXCAVATED, COMPACT, PARKING, NVA, and two STORAGE areas.
- Dimensions:** Overall width is 27'-8" to 22'-2". Column widths range from 8'-0" to 16'-0". Column heights range from 9'-0" to 17'-0" TYP.
- Structural and Equipment:** Includes A300 and 6 A300 ductwork symbols, a central support column, and a staircase labeled "UP".
- Labels:** Labels include 1 through 25, A, B, and "EXISTING HOUSE".
- Annotations:** Annotations include "RAMP UP", "RAMP DN", "UNEXCAVATED", "COMPACT", "PARKING", "NVA", "STORAGE", and "EXISTING HOUSE".

17 LOWER LEVEL PLAN
3/32" = 1'-0"

4/11/2022 8:07:24 AM



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ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

**Eastman
Lee**
Architects

JLA PROJECT NUMBER: 21-1006

McGRATH
Property Group

DAYTON-MIFFLIN
HOTEL

SCHEMATIC DESIGN

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

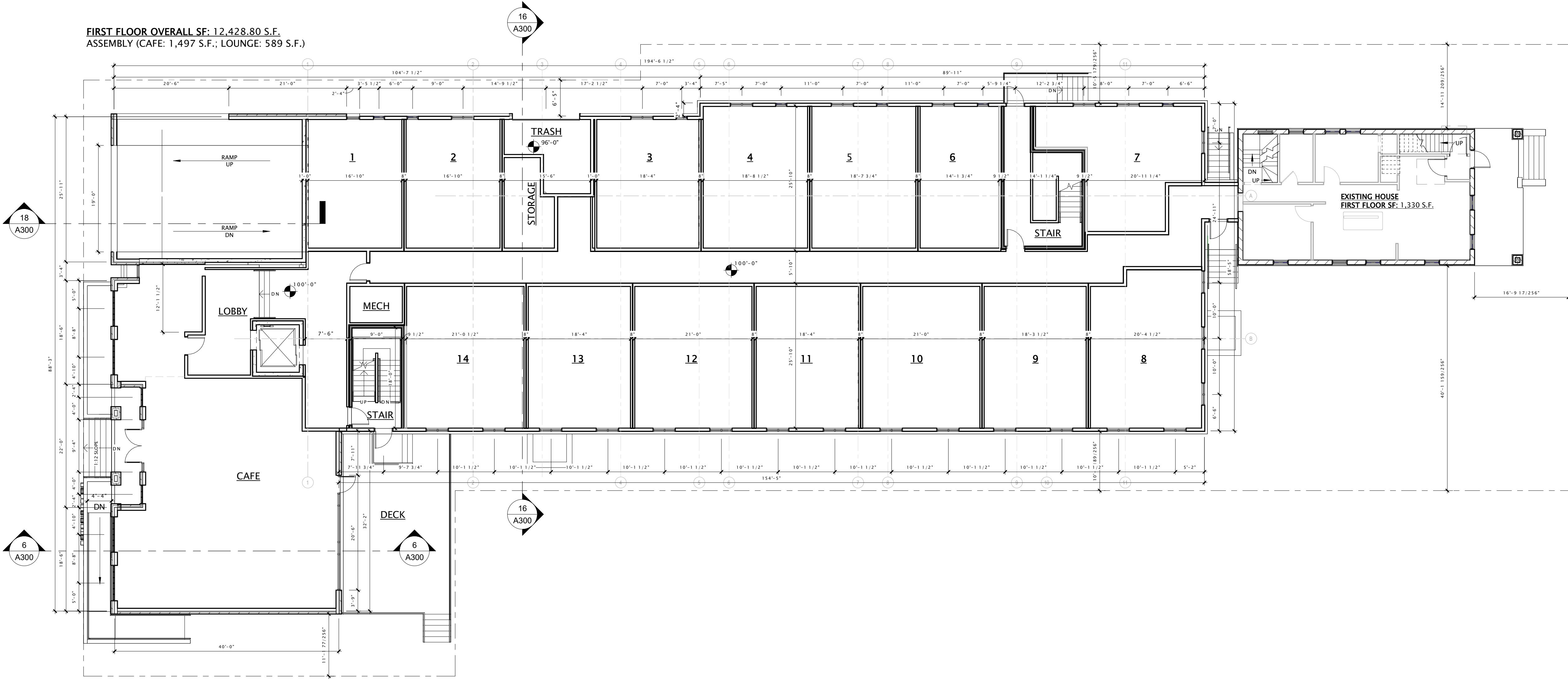
DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark | Description | Date

SHEET TITLE FIRST FLOOR PLAN

SHEET NUMBER A101





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DATE OF ISSUANCE APRIL 11, 2022

APRIL 11 2022

REVISION SCHEDULE

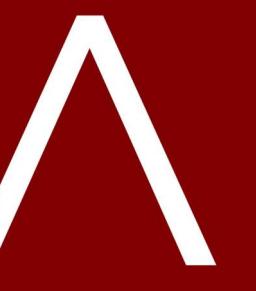
Mark	Description	Date
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STREET TITLE

SECOND FLOOR PLAN

STREET NUMBER

A102



J L A

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Eastman

Eastman Lee Architects

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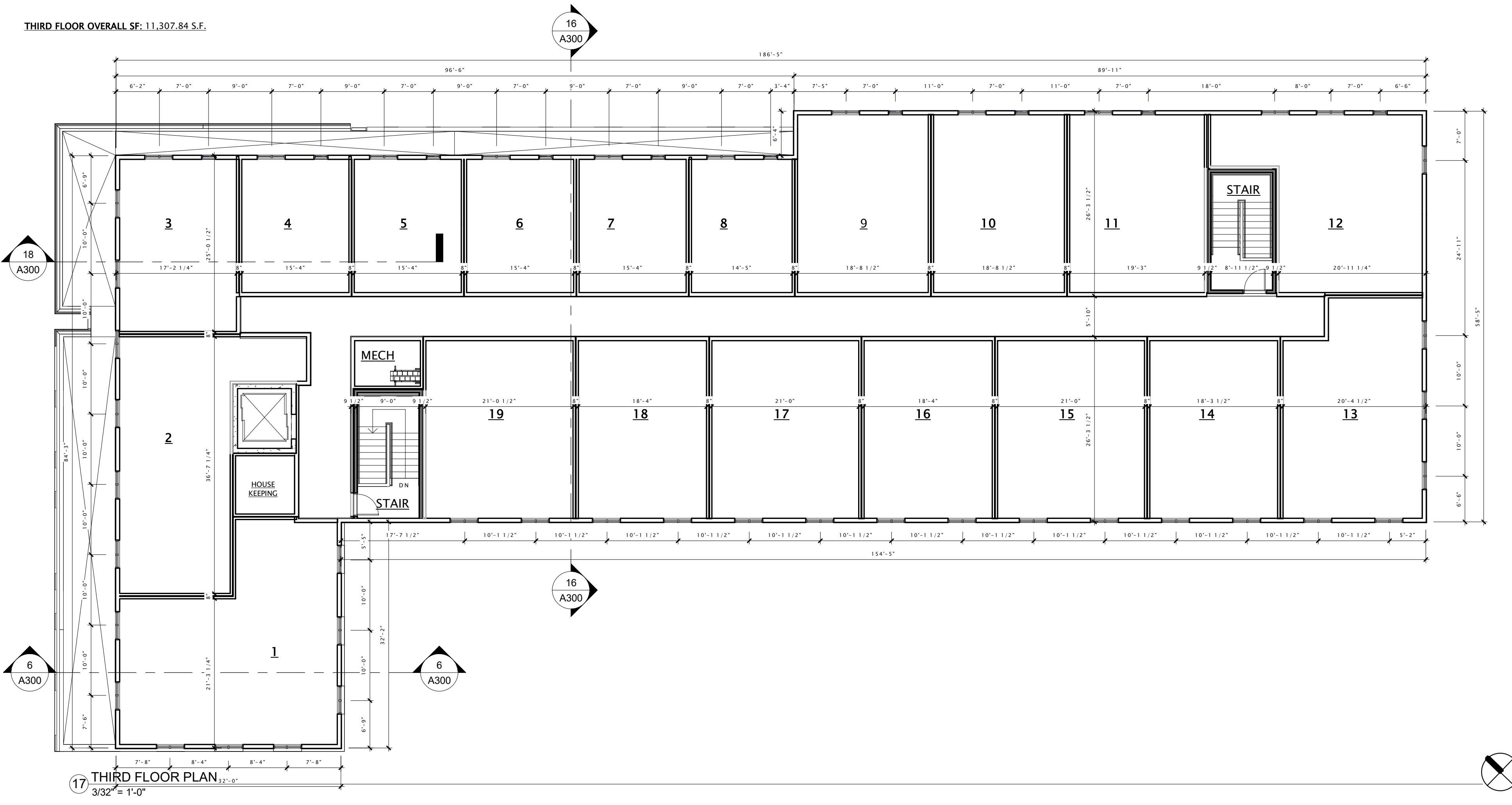
PROGRESS DOCUMENTS

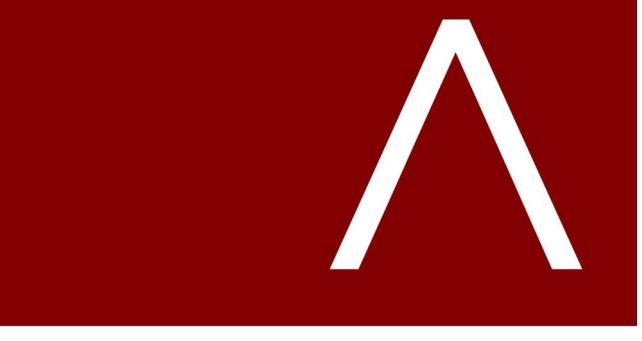
DATE OF ISSUANCE	APRIL 11, 2022	
REVISION SCHEDULE		
Mark	Description	Date

THIRD FLOOR PLAN

SET NUMBER

A103





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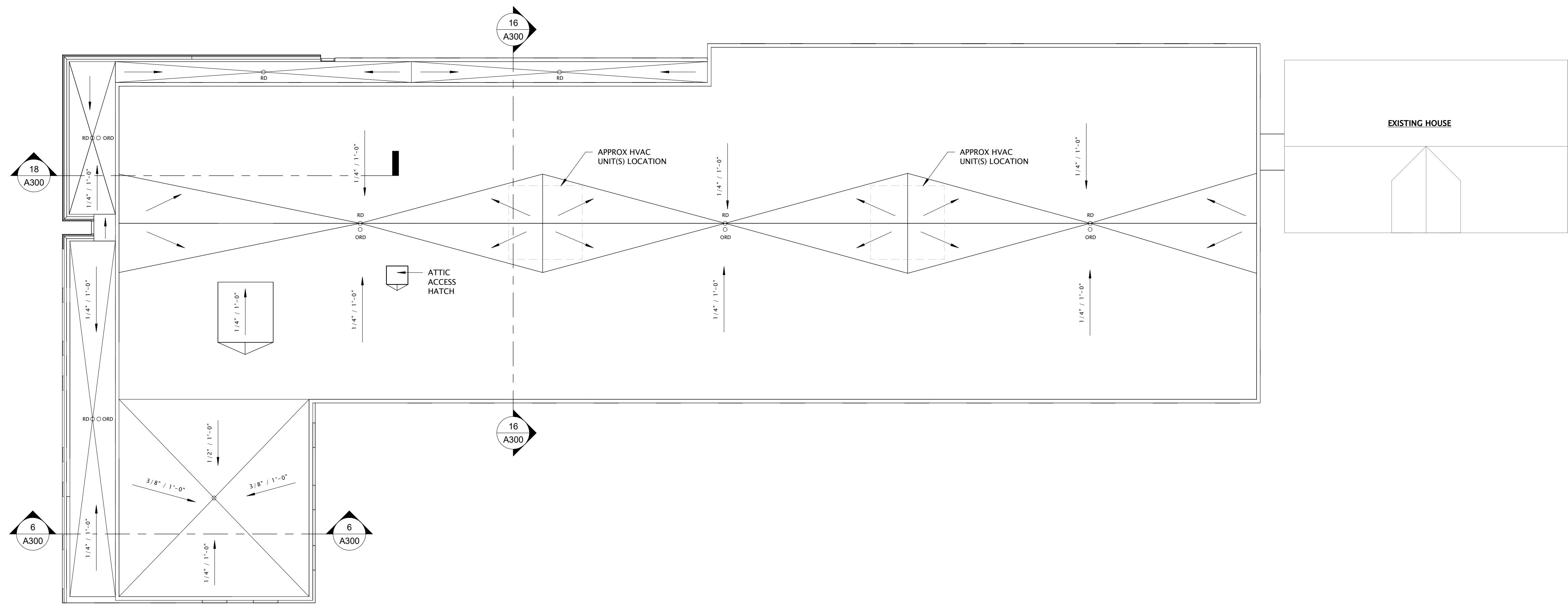
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Lee**
Architects

JLA PROJECT NUMBER: 21-1006

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SCHEMATIC DESIGN

PROGRESS DOCUMENTS

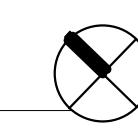
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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE ROOF PLAN

SHEET NUMBER A110





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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE EXTERIOR ELEVATIONS

SHEET NUMBER A200

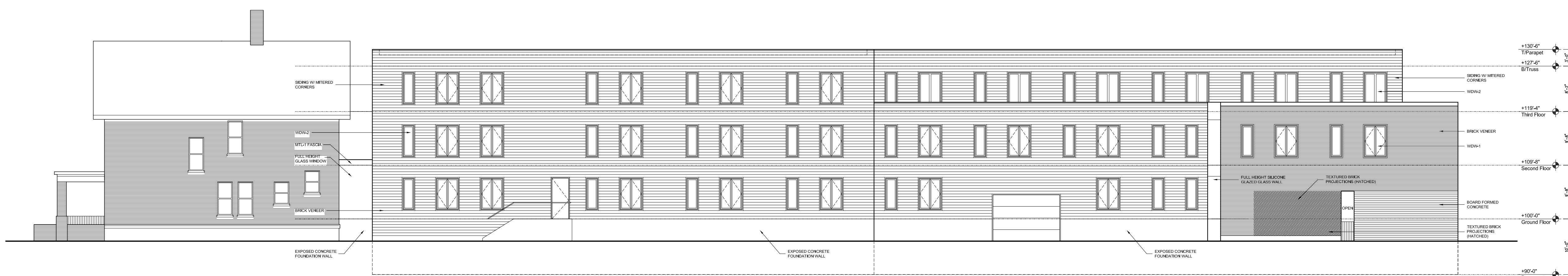
EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY



North Elevation

scale: 3/32" = 1'-0"



East Elevation

scale: 3/32" = 1'-0"



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ARCHITECTS

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Architects

DESIGN ARCHITECT

JLA PROJECT NUMBER: 21-1006

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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark	Description	Date
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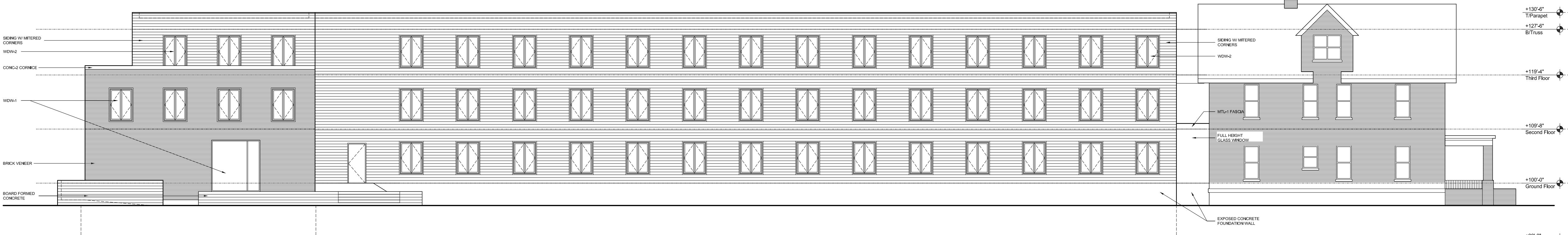
SHEET TITLE EXTERIOR ELEVATIONS

SHEET NUMBER

A201

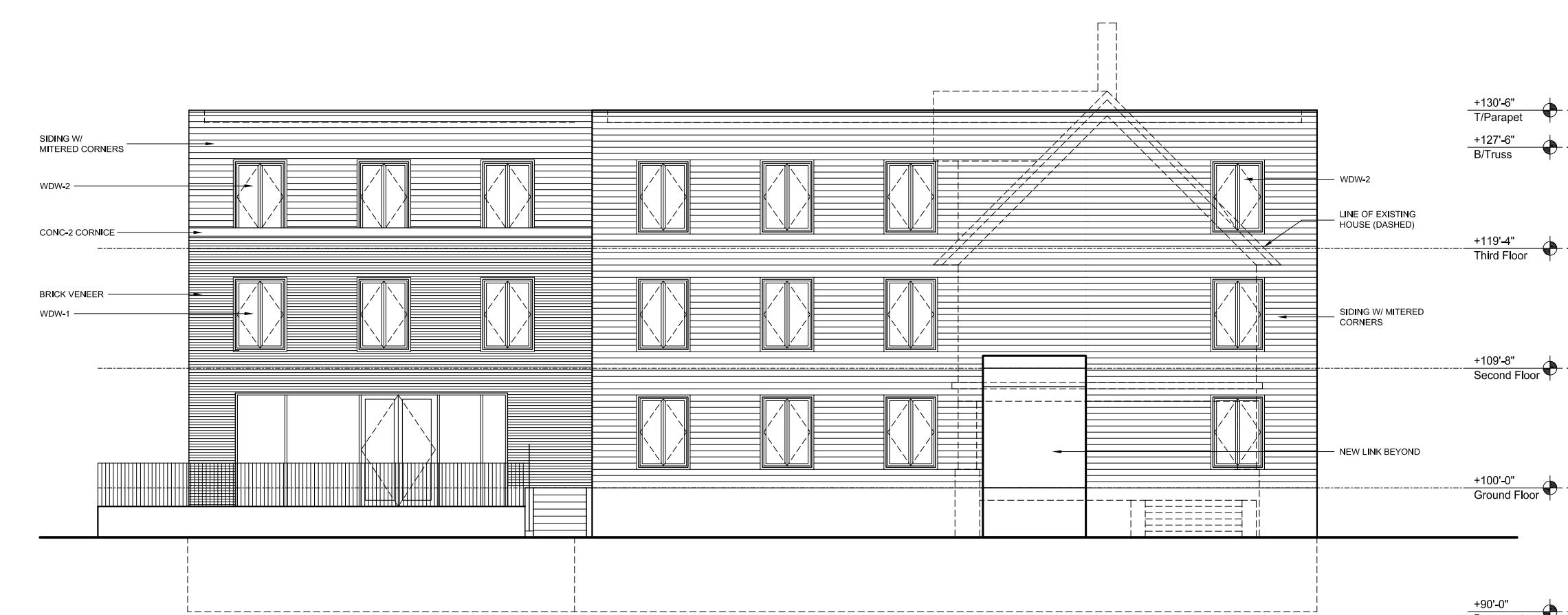
EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY



West Elevation

scale: 3/32" = 1'-0"



South Elevation

scale: 3/32" = 1'-0"



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Lee**
Architects

DESIGN ARCHITECT

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Property Group

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PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark Description Date

SHEET TITLE EXTERIOR ELEVATIONS

SHEET NUMBER

A202

EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY



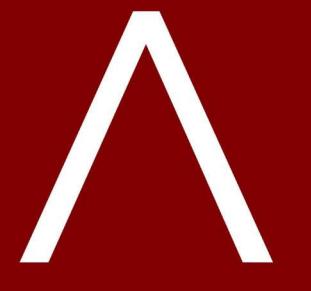
North Elevation

scale: 3/32" = 1'-0"



East Elevation

scale: 3/32" = 1'-0"



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Lee**
Architects

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DATE OF ISSUANCE APRIL 11, 2022

REVISION SCHEDULE

Mark Description Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A203

EXTERIOR MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	TYPE / STYLE	COLOR / APPEARANCE
BRICK-1	BRICK VENEER	TBD	TBD	RED ORANGE BLEND
MTL-1	METAL CANOPY AND LINTELS	TBD	TBD	BLACK
SIDING	6" PAINTED SIDING	TBD	TBD	WARM GREY
CONC-1	BOARD FORMED CONCRETE	-	-	EXPOSED CONCRETE W/ BOARD FORMED TEXTURE
CONC-2	ACID ETCHED PRECAST CONCRETE	TBD	TBD	COLOR TO MATCH BRICK
WDW-1	FIBERGLASS WINDOWS AT BRICK	TBD	TBD	BLACK
WDW-2	FIBERGLASS WINDOWS AT WOOD SIDING	TBD	TBD	WARM GREY



West Elevation

scale: 3/32" = 1'-0"

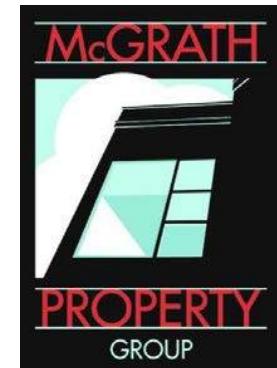


South Elevation

scale: 3/32" = 1'-0"



Dayton Street Elevation



DESIGN ARCHITECT

**Eastman
Lee**
Architects

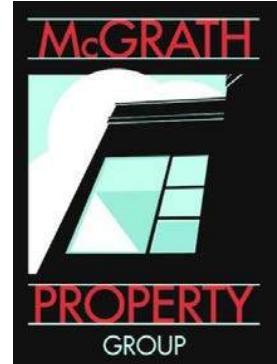
ARCHITECT OF RECORD

JLA
ARCHITECTS

Dayton Hotel
609 E. Dayton Street | Madison, Wisconsin



Mifflin Street Elevation



DESIGN ARCHITECT

**Eastman
Lee**
Architects

ARCHITECT OF RECORD

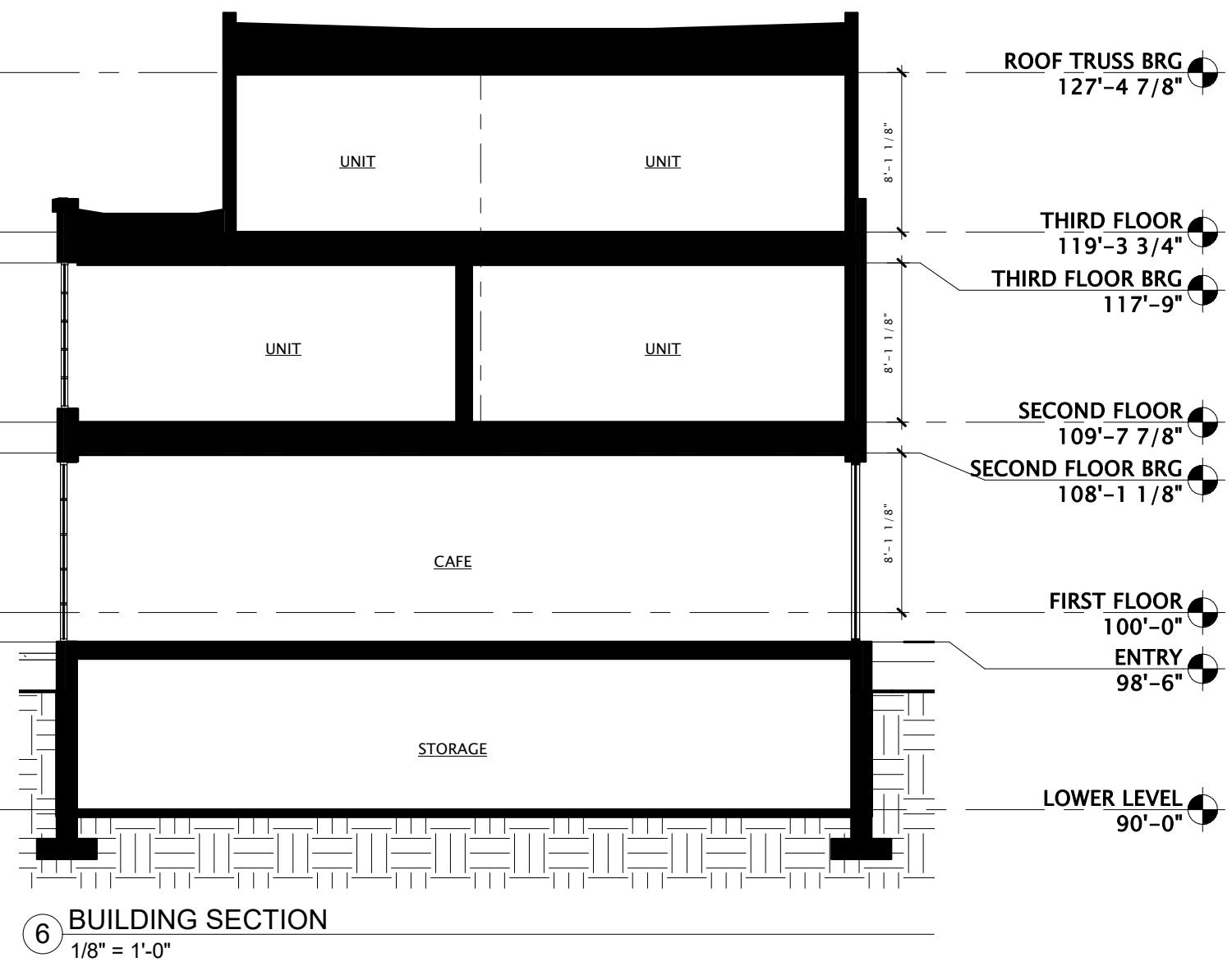
JLA
ARCHITECTS

Dayton Hotel
609 E. Dayton Street | Madison, Wisconsin

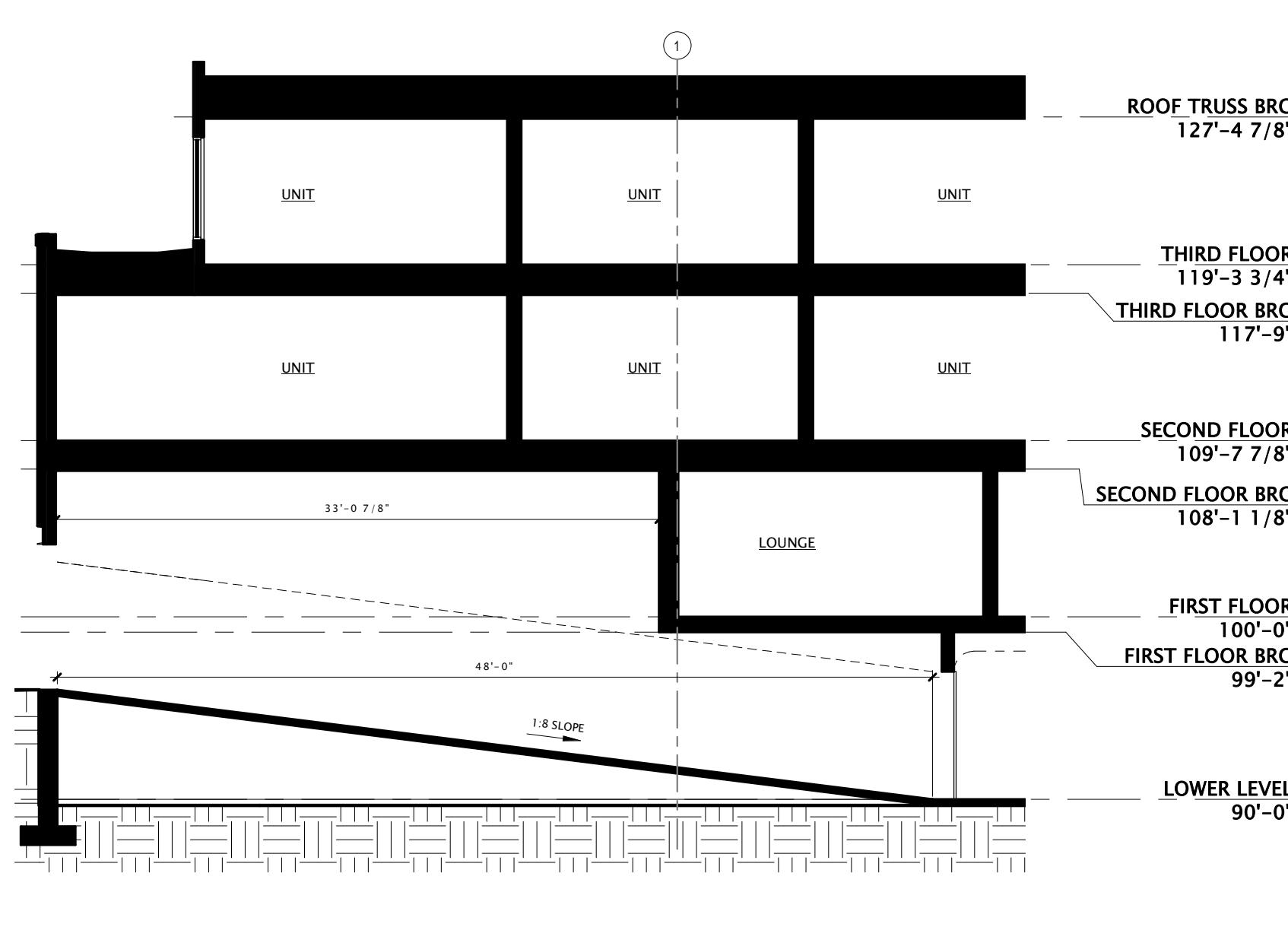
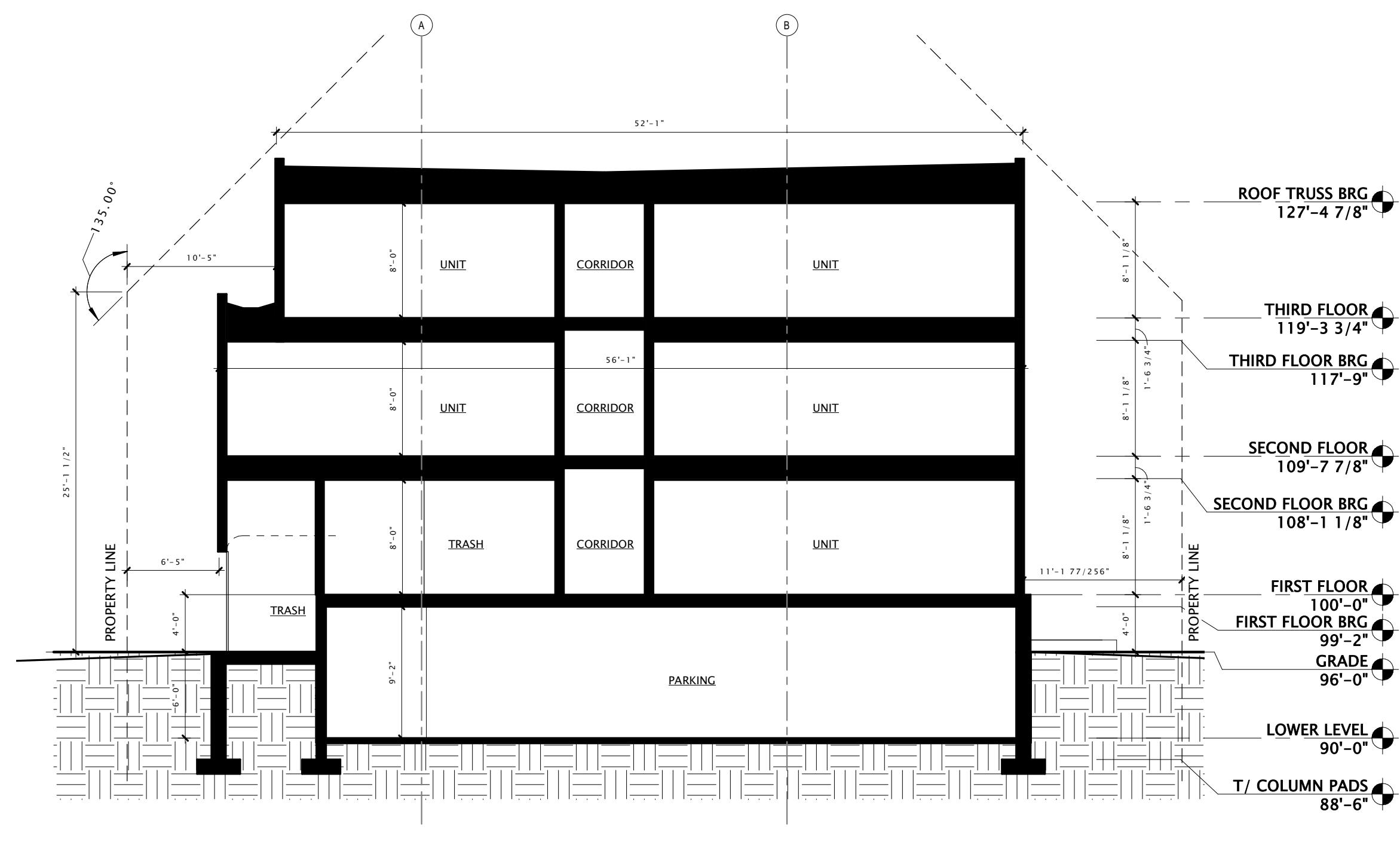
JLA PROJECT NUMBER: 21-1006

McGRATH
Property Group

DAYTON-MIFFLIN
HOTEL



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SHEET TITLE: BUILDING SECTIONS

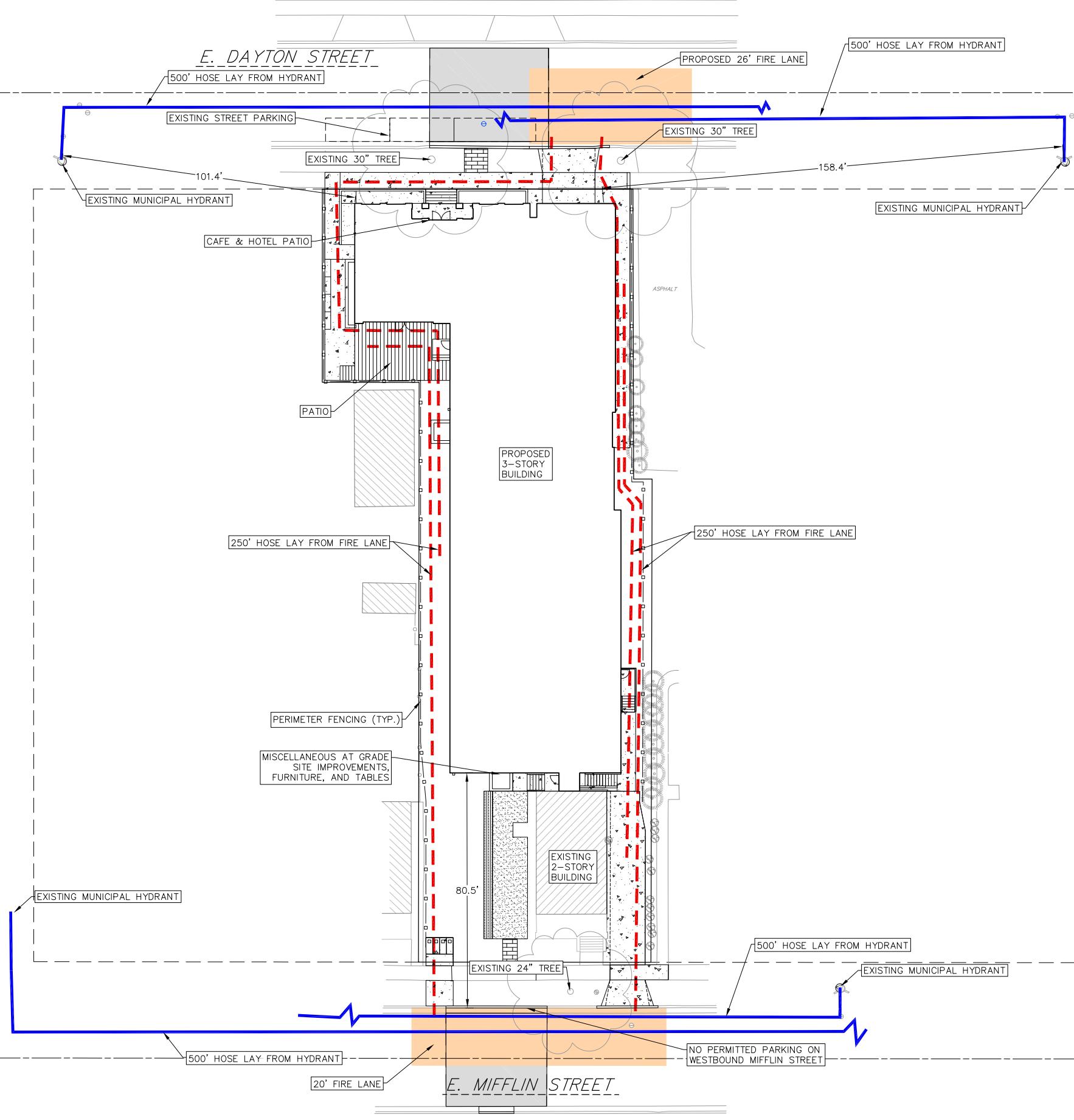
SHEET NUMBER: A300



GRAPHIC SCALE FEET
0 10 20 40

LINWORK LEGEND
— 500' HOSE LAY FROM HYDRANT
- - - 250' HOSE LAY FROM FIRE LANE
— FIRE LANE

N. BLAIR STREET



NOT FOR CONSTRUCTION

FIRE ACCESS PLAN
615 E DAYTON ST
CITY OF MADISON
DANE COUNTY, WI
DATE: 2022-2-1
DRAFTER: CLAN
CHECKED: ###
PROJECT NO.: 210331
EXH 1