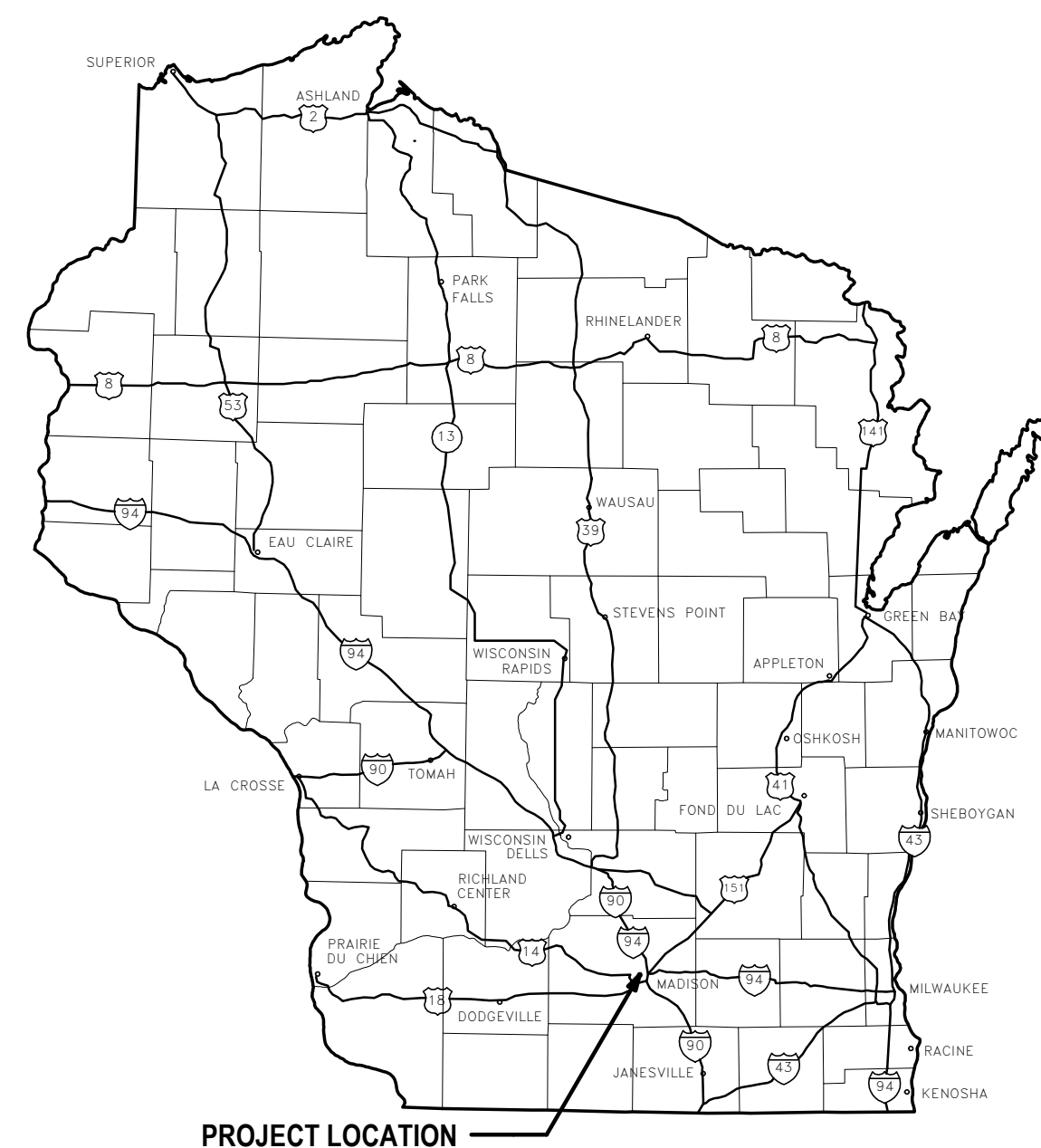


MSP - UNIVERSITY AVE. APARTMENTS

2206 UNIVERSITY AVE. MADISON, WI

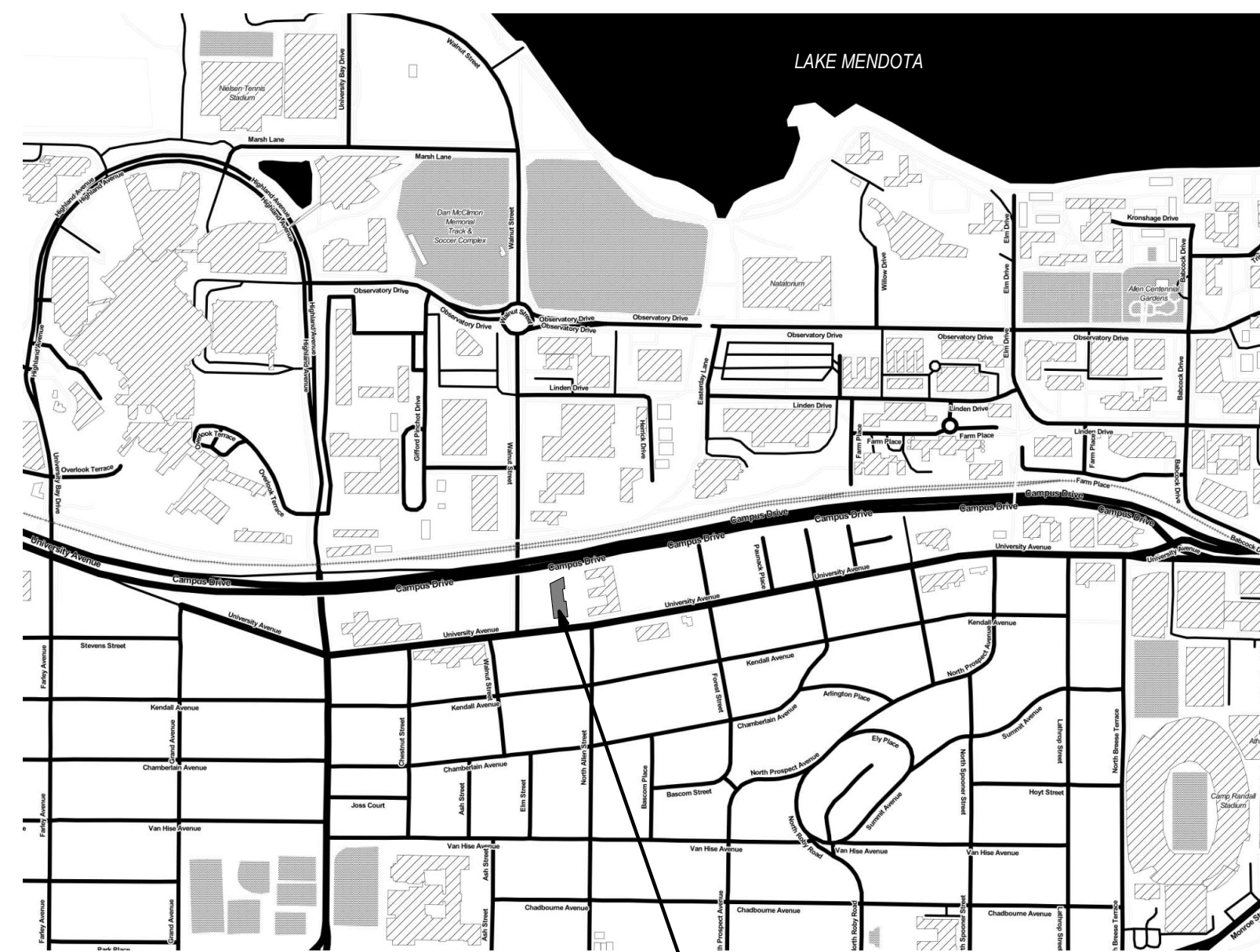


3D View to NW from University Ave



PROJECT LOCATION

STATE MAP



PROJECT LOCATION

VICINITY MAP

Architecture : **Dimension IV - Madison Design Group**
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Civil Engineer: **CJ Engineering**
9205 W. Center Street, Suite 214, Milwaukee, WI 53222
p: 414.443.1312 www.cj-engineering.com

Landscape Architect: **R.A. Smith National**
5250 E. Terrace Drive, Suite 108, Madison, WI 53718
p: 608.467.3034 www.rasmithnational.com

PROJECT/BUILDING DATA

NEW 6-STORY MIXED-USE RESIDENTIAL BUILDING
ZONING DISTRICT: TSS (TRADITIONAL SHOPPING STREET)

BUILDING AREAS*	
TOTAL BUILDING AREA:	109,319 SQFT
BASEMENT (PARKING LEVEL):	18,874 SQ FT
FIRST LEVEL:	14,796 SQ FT
COMMERCIAL AREA:	750 SQ FT
SECOND LEVEL:	15,578 SQ FT
THIRD LEVEL:	15,578 SQ FT
FOURTH LEVEL:	14,922 SQ FT
FIFTH LEVEL:	14,922 SQ FT
SIXTH LEVEL:	14,649 SQ FT

* BUILDING GROSS AREA IS MEASURED TO THE EXTERIOR FACE OF CONCRETE, CMU, OR EXTERIOR FACE OF STUDS AT EACH FLOOR LEVEL. UNENCLOSED BALCONIES, ALCOVES, CANOPIES, AND ROOFS ARE EXCLUDED.

UNIT COUNT

TOTAL UNITS:	79 UNITS
1 BEDROOM:	42 UNITS
2 BEDROOM:	21 UNITS
3 BEDROOM:	16 UNITS

PARKING COUNTS

TOTAL PARKING STALLS (GARAGE): 47 STALLS (2 ADA STALLS)

TOTAL BICYCLE PARKING STALLS: 94 STALLS

COVERED:	84	SURFACE:	10
GROUND:	69	GUEST:	8
VERTICAL:	15	SHORT-TERM:	1
		COMMERCIAL:	1

LOT COVERAGE

LOT AREA:	24,592 SQ FT
BUILDING FOOTPRINT:	14,431 SQ FT (59% COVERAGE)

USABLE OPEN SPACE

REQUIRED:	3,160 SQ FT
PROVIDED:	4,440 SQ FT

LIST OF DRAWINGS

GENERAL

G0.1	COVER SHEET
G0.2	EXISTING CONDITIONS PHOTOS AND AERIAL MAP

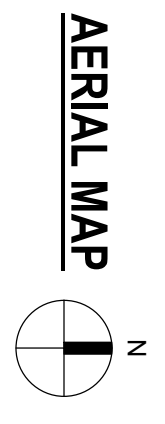
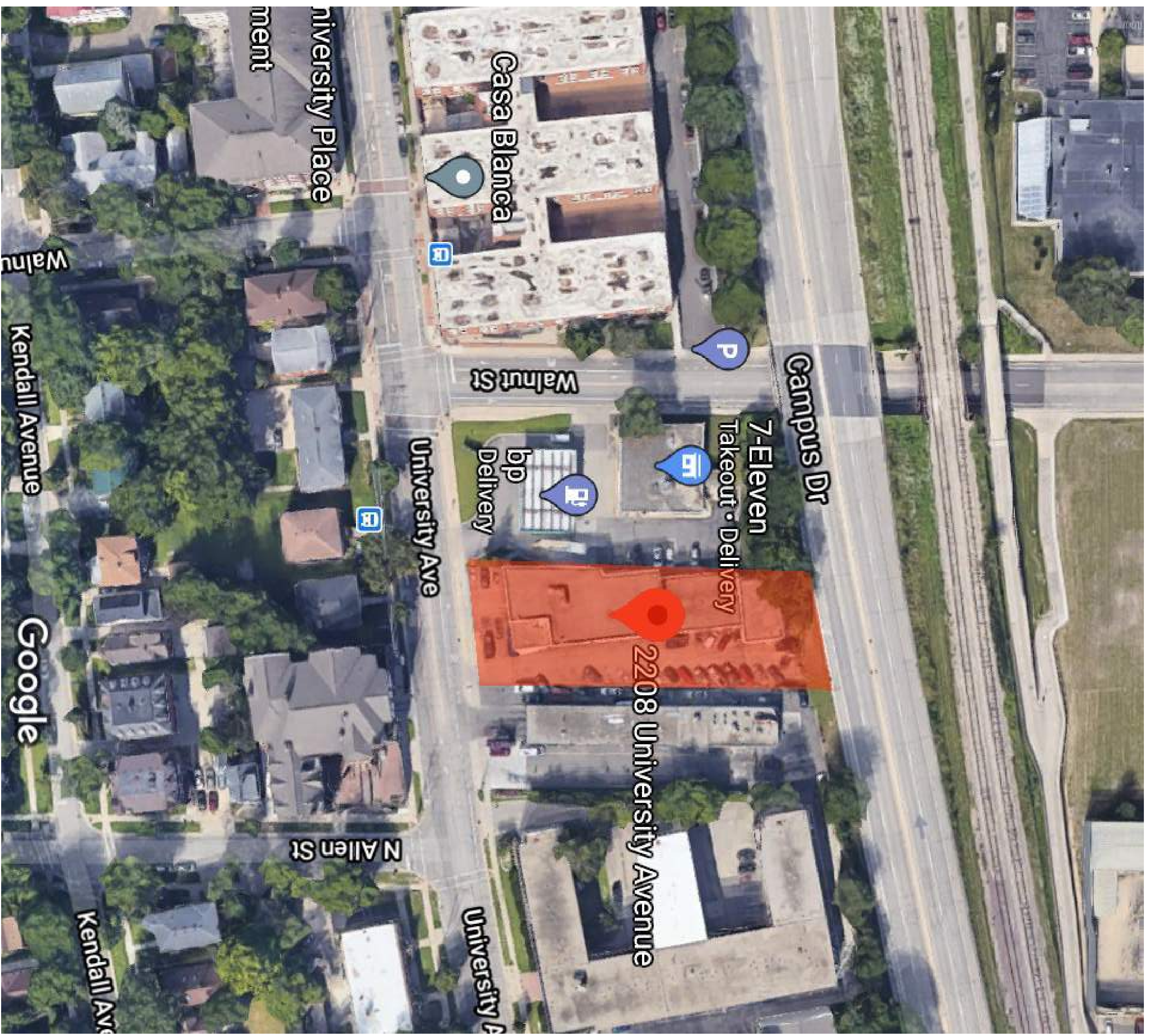
CIVIL


AL-01	ALTA SURVEY
C1.0	SITE PLAN
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	EROSION CONTROL PLAN
C5.0	FIRE ACCESS PLAN
L1.0	PRELIMINARY LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
L2.1	LANDSCAPE SPECIFICATIONS
SL1.0	SITE LIGHTING PLAN

ARCHITECTURAL

A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR AND ARCHITECTURAL SITE PLAN
A1.2	SECOND AND THIRD FLOOR PLANS
A1.3	FOURTH AND FIFTH FLOOR PLANS
A1.4	SIXTH FLOOR AND ROOF PLANS
A2.0	BUILDING PERSPECTIVE
A2.1	BUILDING ELEVATIONS AND SECTIONS AT ROOF
A2.2	BUILDING ELEVATIONS
A2.3	BUILDING ELEVATIONS

LIGHTING SPECIFICATION SHEETS



DIMENSION 

Madison Design Group
 architecture · interior design · planning
 6915 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719
 phone 608.829.4444 fax 608.829.4445
 madison@dimensionwi.com dimensionwi.com

MSP - University Heights

2206 UNIVERSITY AVE., MADISON, WI 53726
 G02 - EXISTING CONDITIONS PHOTOS AND AERIAL
 01/10/2022
 20105

LEGAL DESCRIPTION:

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE EAST LINE OF SECTION 21 AND THE CENTERLINE OF UNIVERSITY AVENUE; THENCE SOUTH 83° 18' WEST, 125.84 FEET SAID CENTERLINE TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 83° 18' WEST 100.50 FEET ALONG SAID CENTERLINE; THENCE NORTH 267.58 FEET PARALLEL TO THE EAST LINE OF SAID QUARTER-QUARTER; THENCE NORTH 70° 16' 16" EAST, 106.04 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY OF CAMPUS DRIVE; THENCE SOUTH 291.65 FEET PARALLEL TO THE EAST LINE OF SAID QUARTER-QUARTER TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

SCHEDULE B, PART II

10. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE EASEMENT RECORDED ON JUNE 03, 1919, AS DOCUMENT NO. 379604. SHOWN HEREON.

11. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN WARRANTY DEED RECORDED IN APRIL 16, 1956 IN VOLUME 647, PAGE 64 AS DOCUMENT NO. 916223 OF OFFICIAL RECORDS; BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). AFFIDAVIT OF INTEREST RECORDED JUNE 13, 1989 IN VOLUME 12937, PAGE 36 AS DOCUMENT NO. 2145442. SHOWN HEREON.

12. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN WARRANTY DEED RECORDED IN AUGUST 06, 1956 IN VOLUME 652, PAGE 478 AS DOCUMENT NO. 923476 OF OFFICIAL RECORDS; BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). AFFIDAVIT OF INTEREST RECORDED JUNE 13, 1989 IN VOLUME 12937, PAGE 36 AS DOCUMENT NO. 2145442. SHOWN HEREON.

13. INTERCEPTOR SANITARY SEWER EASEMENT TO MADISON METROPOLITAN SEWERAGE DISTRICT, DATED JUNE 24, 1958, RECORDED/FILED AUGUST 26, 1958 IN VOLUME 323, PAGE 561 AS DOCUMENT NO. 964219. THE SURVEYOR HAS INFORMATION INDICATING THAT IT MAY HAVE BEEN RELEASED OR OTHERWISE TERMINATED.

14. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED (INCLUDING ACCESS RIGHTS AND LIMITED HIGHWAY EASEMENT) RECORDED ON OCTOBER 18, 1967 IN VOLUME 843, PAGE 13, AS DOCUMENT NO. 1198454. CORRECTIVE WARRANTY DEED (INCLUDING ACCESS RIGHTS AND LIMITED HIGHWAY EASEMENT) RECORDED JANUARY 20, 1969 IN VOLUME 82, PAGE 215 AS DOCUMENT NO. 1232644. SURVEYOR HAS INFORMATION THAT EASEMENT IS NO LONGER IN EFFECT. NOT SHOWN HEREON.

15. EASEMENT FOR PUBLIC STORM SEWER MAIN CONSTRUCTION GRANTED TO CITY OF MADISON, A WISCONSIN MUNICIPAL CORPORATION BY DONALD J. KALSCHER AND LUANA C. KALSCHER 2000 REVOCABLE TRUST RECORDED APRIL 05, 2013 AS DOCUMENT NO. 4976346. THE SURVEYOR HAS INFORMATION THAT EASEMENT IS NO LONGER IN EFFECT. NOT SHOWN HEREON.

SIGNIFICANT OBSERVATIONS:

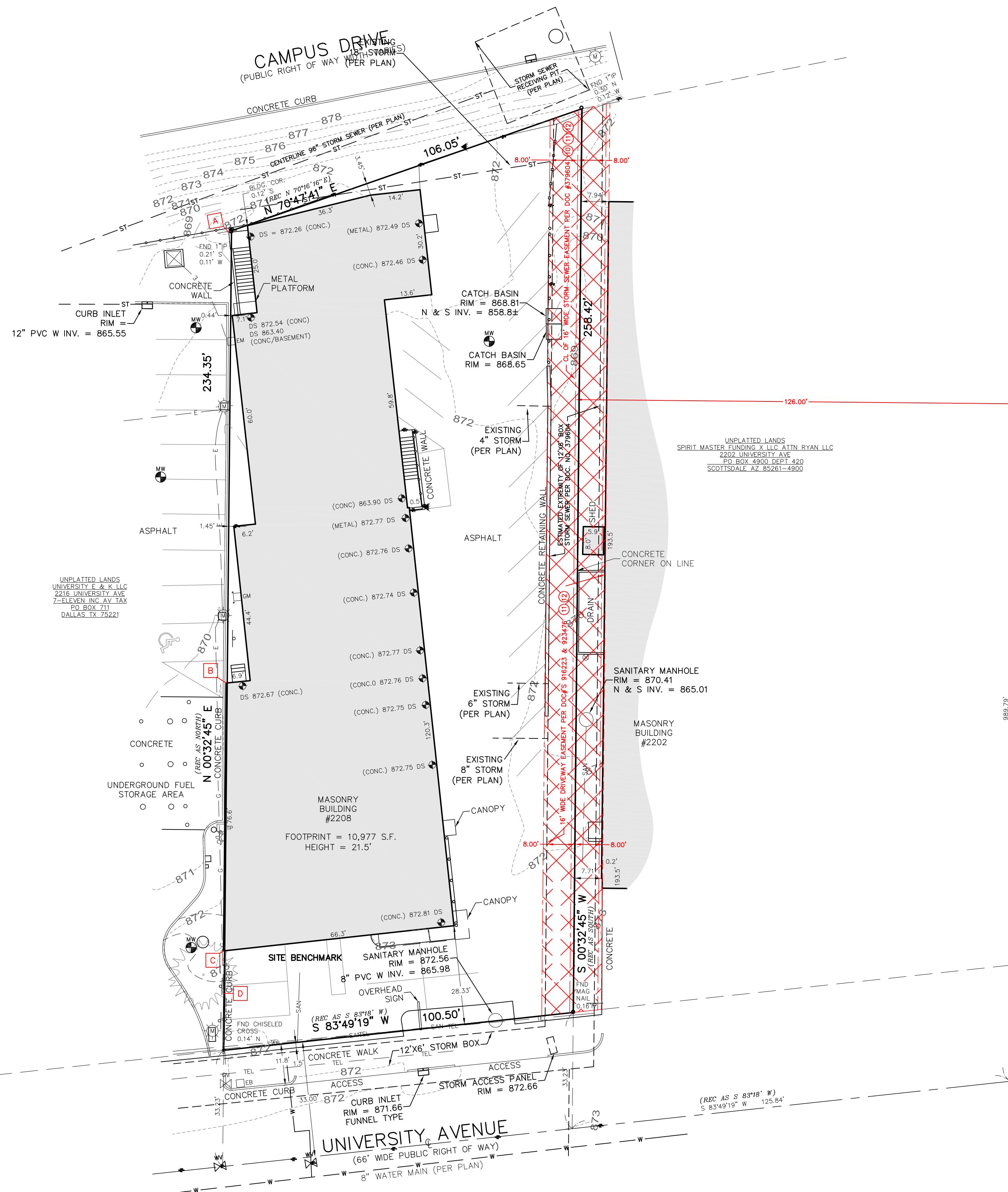
THERE ARE NO SIGNIFICANT OBSERVATIONS AFFECTING SUBJECT PROPERTY EXCEPT AS FOLLOWS:

- A** RAISED CONCRETE CORNER EXTENDS WEST OVER PROPERTY LINE WITH A DISTANCE OF 0.80 FEET. (AS SHOWN HEREON)
- B** BUILDING CORNER EXTENDS WEST OVER WEST PROPERTY LINE WITH A DISTANCE OF 0.29 FEET. (AS SHOWN HEREON)
- C** BUILDING CORNER EXTENDS WEST OVER WEST PROPERTY LINE WITH A DISTANCE OF 0.34 FEET. (AS SHOWN HEREON)
- D** CONCRETE CURB LINE WEST OF WEST PROPERTY LINE WITH A DISTANCE OF 0.34 FEET. (AS SHOWN HEREON)

UNPLATTED LANDS
UNIVERSITY F & K LLC
2216 UNIVERSITY AVE
7-ELEVEN INC. JV TAX
PO BOX 211
DALLAS, TX 75221

UNPLATTED LANDS
SPIRIT MASTER FUNDING X LLC ATTN: RYAN LLC
2207 UNIVERSITY AVE
PO BOX 4900 DEPT 420
SCOTTSDALE, AZ 85261-4900

LEGEND	
— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— W —	WATER MAIN
— G —	BURIED GAS LINE
— TEL —	BURIED TELEPHONE LINE
— E —	BURIED ELECTRIC LINE
— FO —	BURIED FIBER OPTIC LINE
— U —	OVERHEAD UTILITY LINES
— CATV —	BURIED CABLE TELEVISION LINES
— COMB —	COMBINATION SEWER
— WOOD FENCE —	WOOD FENCE
— METAL FENCE —	METAL FENCE
— EDGE OF TREES AND BRUSH —	EDGE OF TREES AND BRUSH
— 994.32 DS —	DOOR SILL ELEVATION
— FD —	FIRE DEPARTMENT CONNECTION
— ET —	ELECTRIC TRANSFORMER
— EM —	ELECTRIC METER
— EP —	ELECTRIC PEDESTAL
— EB —	ELECTRIC BOX AT GRADE
— TG —	TELEPHONE BOX AT GRADE
— TP —	TELEPHONE PEDESTAL
— TV —	TV PEDESTAL
— GM —	GAS METER
— AC —	AIR CONDITIONER
— UP —	UTILITY POLE
— WS —	WOOD SIGN
— MS —	METAL SIGN
— FP —	FLAG POLE
— B —	BOLLARD
— BL —	BOLLARD LIGHT
— YL —	YARD LIGHT
— M —	MAIL BOX
— FM —	FIBER OPTIC MARKER
— Q —	QUILT WIRE
— H —	HYDRANT
— V —	WATER VALVE
— GV —	GAS VALVE
— M —	MANHOLE
— SM —	STORM MANHOLE
— C —	CATCH BASIN
— CI —	CURB INLET
— ML —	METAL LIGHT POLE
— CL —	CONCRETE LIGHT POLE
— WL —	WOOD LIGHT POLE
— MB —	MAIL BOX
— FM —	FIBER OPTIC MARKER
— Q —	QUILT WIRE

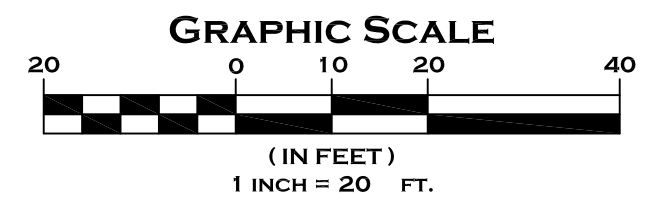
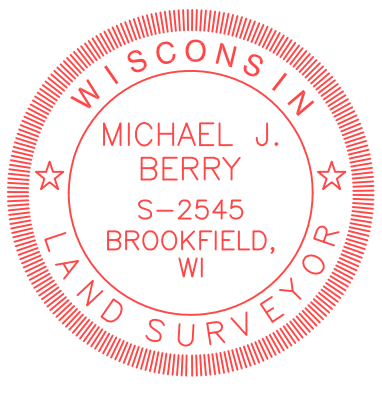


TO: MSP REAL ESTATE, INC., KALBRO INVESTMENTS, LLC, A WISCONSIN LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7a, 7b1, 7c, 8, 9, 11, 13, 16, 17, AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

NOVEMBER 20, 2020
DATE

MICHAEL J. BERRY R.L.S.
REGISTERED LAND SURVEYOR S-2545



NE COR OF THE NE 1/4 OF SEC. 21-7-9

EAST LINE OF THE NORTHEAST 1/4 OF SEC. 21-7-9 WHICH BEARS N 00°32'45\"/>

SE COR OF THE NE 1/4 OF SEC. 21-7-9 FND CONC. MON. W/CAP



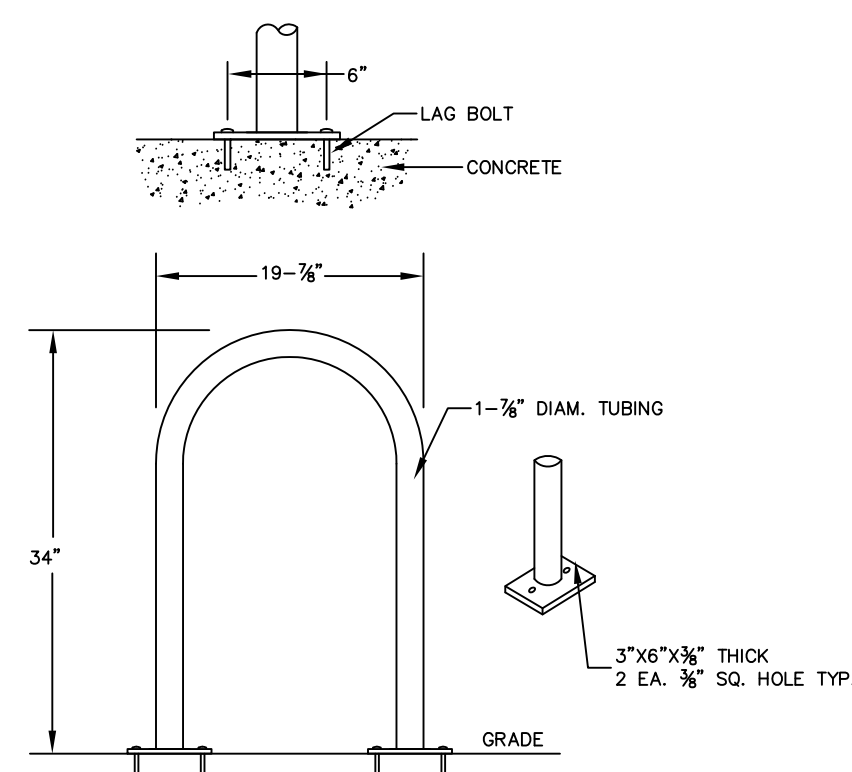
MISCELLANEOUS NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1037462-MAD, WITH AN EFFECTIVE COMMITMENT DATE: NOVEMBER 04, 2020 AT 7:30 AM, AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY.
5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 24592 SQ. FT. OR 0.5646 ACRES.
6. THE ADDRESS OF THE ABOVE DESCRIBED PROPERTY, 2208 AS SHOWN, WAS OBSERVED IN THE FIELD AT THE TIME OF SURVEY.
7. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
8. SUBJECT PROPERTY HAS DIRECT ACCESS TO UNIVERSITY AVENUE, A DEDICATED PUBLIC STREET OR HIGHWAY.
9. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 23. OF WHICH 23 ARE REGULAR PARKING SPACES AND 0 ARE DESIGNATED ADA COMPLIANT SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
10. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55025C0408G, WITH A DATE OF IDENTIFICATION OF 01/02/2009, IN COMMUNITY NO. 550083, CITY OF MADISON, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
11. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
12. THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF MADISON REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
13. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
14. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT TIME OF SURVEY.
15. THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.
16. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
17. ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 21-7-9 WHICH BEARS N 00°32'45\"/>
- 18. THERE IS NO EVIDENCE OF CEMETERIES, GRAVESTONES, OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.
- 20. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), NORTH AMERICAN VERTICAL DATUM OF 1989 (NAVD89(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISORS & GEOID 12A).

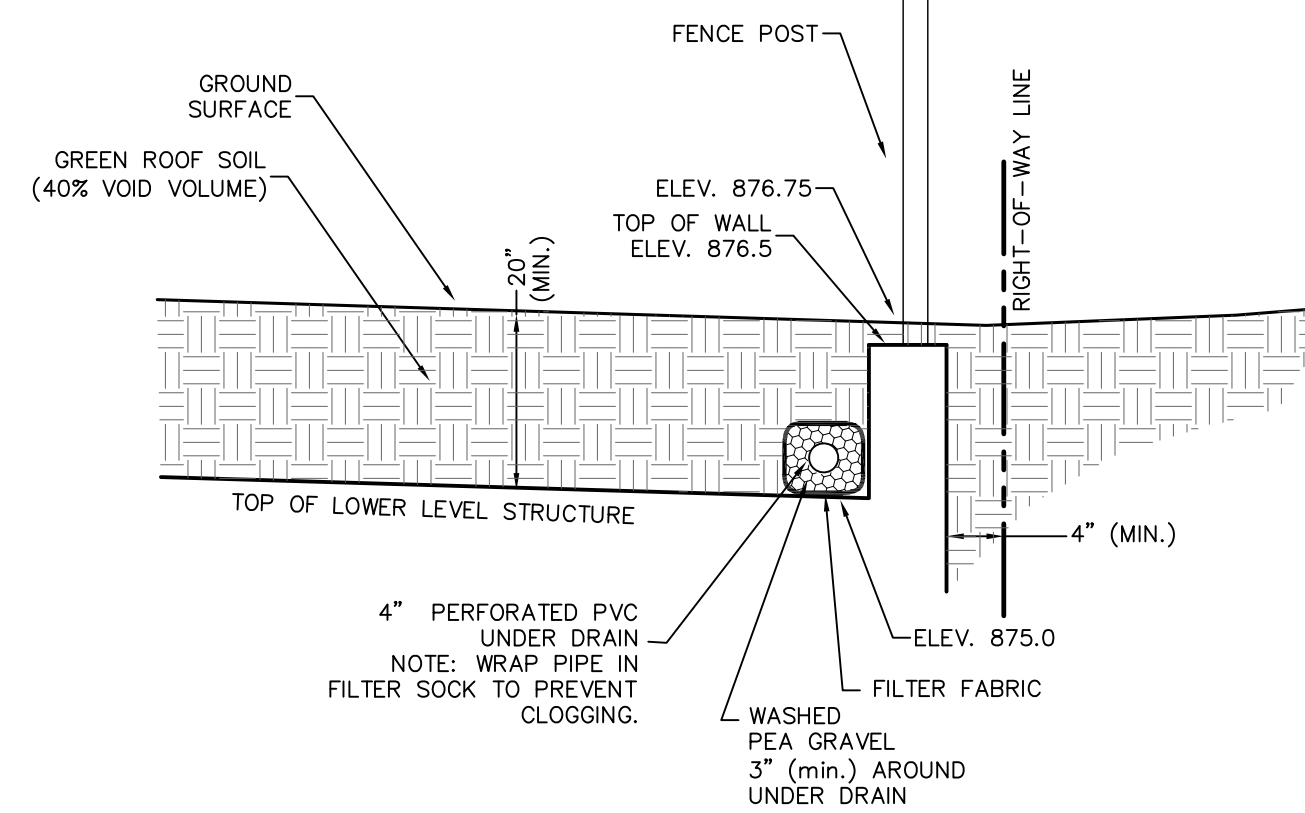
ALTA/NSPS LAND TITLE SURVEY

FOR
MSP - UNIVERSITY AVE
2208 UNIVERSITY AVE
MADISON, WI

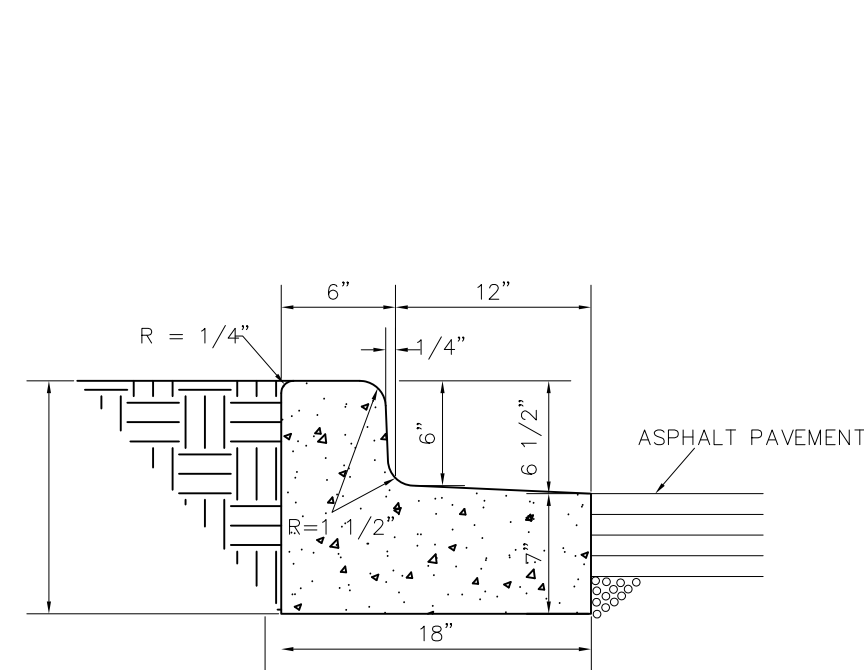
DRAWN BY:	RAP	DATE:	11/20/2020
CHECKED BY:	MJB	DRAWING NO.:	AL-0
CSE JOB NO.:	20-111	SHEET	1 OF 1



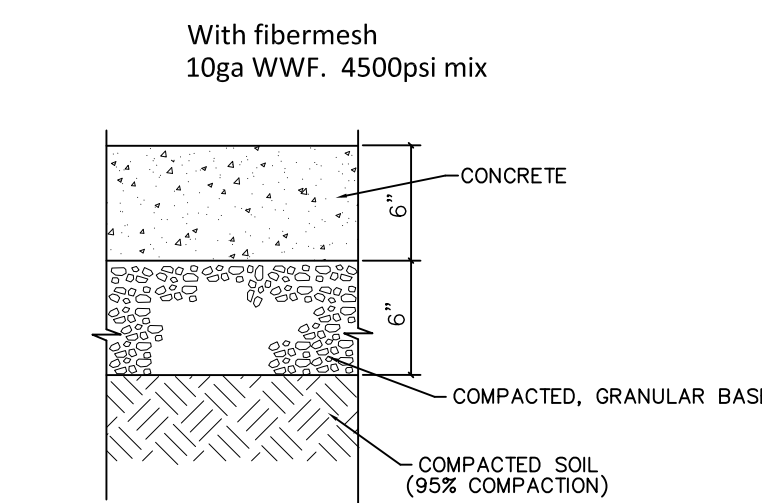
PRODUCT: U190-SF
 DESCRIPTION: "U" BIKE RACK
 2-BIKE SURFACE MOUNT
 POWDER COATED FINISH
 -INSTALL PER MANUFACTURER'S SPECIFICATIONS
MADRAX "U" BIKE RACK DETAIL
 NOT TO SCALE



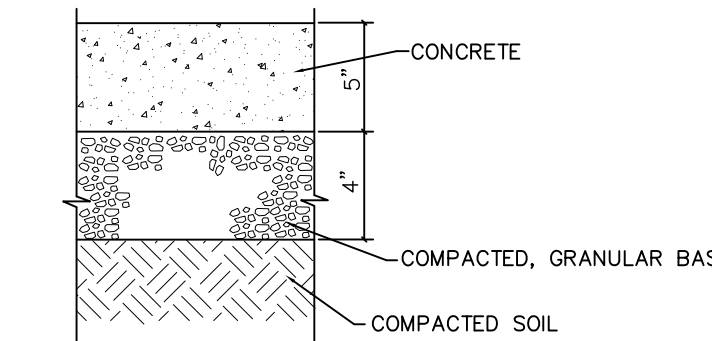
TOT LOT GREEN ROOF CROSS-SECTION
 NOT TO SCALE



CONCRETE CURB
 NOT TO SCALE



CONCRETE PAVEMENT
 NOT TO SCALE



CONCRETE SIDEWALK
 NOT TO SCALE

STORM WATER MANAGEMENT:

GREEN INFRASTRUCTURE REQUIRED VOLUME:

24,592 SQUARE FEET (POST DEVELOPMENT IMPERVIOUS AREA) X 1/2 INCH = 1004 CUBIC FEET

GREEN INFRASTRUCTURE PROVIDED:

4 TH FLOOR GREEN ROOF - 465 S.F. X 6\"/>
 PLAZA GREEN ROOF - 275 S.F. X 12\"/>
 TOT LOT GREEN ROOF - 1380 S.F. X 18\"/>
 (TOT LOT MIN. DEPTH FROM SURFACE TO TOP OF LOWER LEVEL = 20\")

TOTAL G.I. VOLUME PROVIDED = 1,019 S.F.

NOTE: ADDITIONAL STORM WATER MANAGEMENT PROVIDED WITH FLOW CONTROL ROOF DRAINS (BLUE ROOF) ON THE NORTH SECTION OF THE ROOF.
 BLUE ROOF AREA = 4860 S.F.

SEE STORM WATER MANAGEMENT PLAN FOR MORE DETAILS.

NOTES:

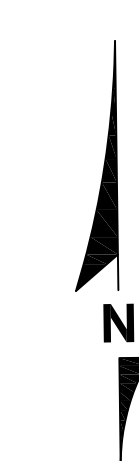
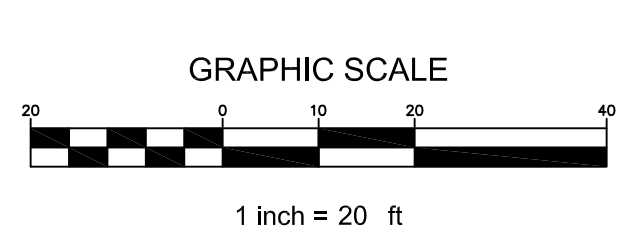
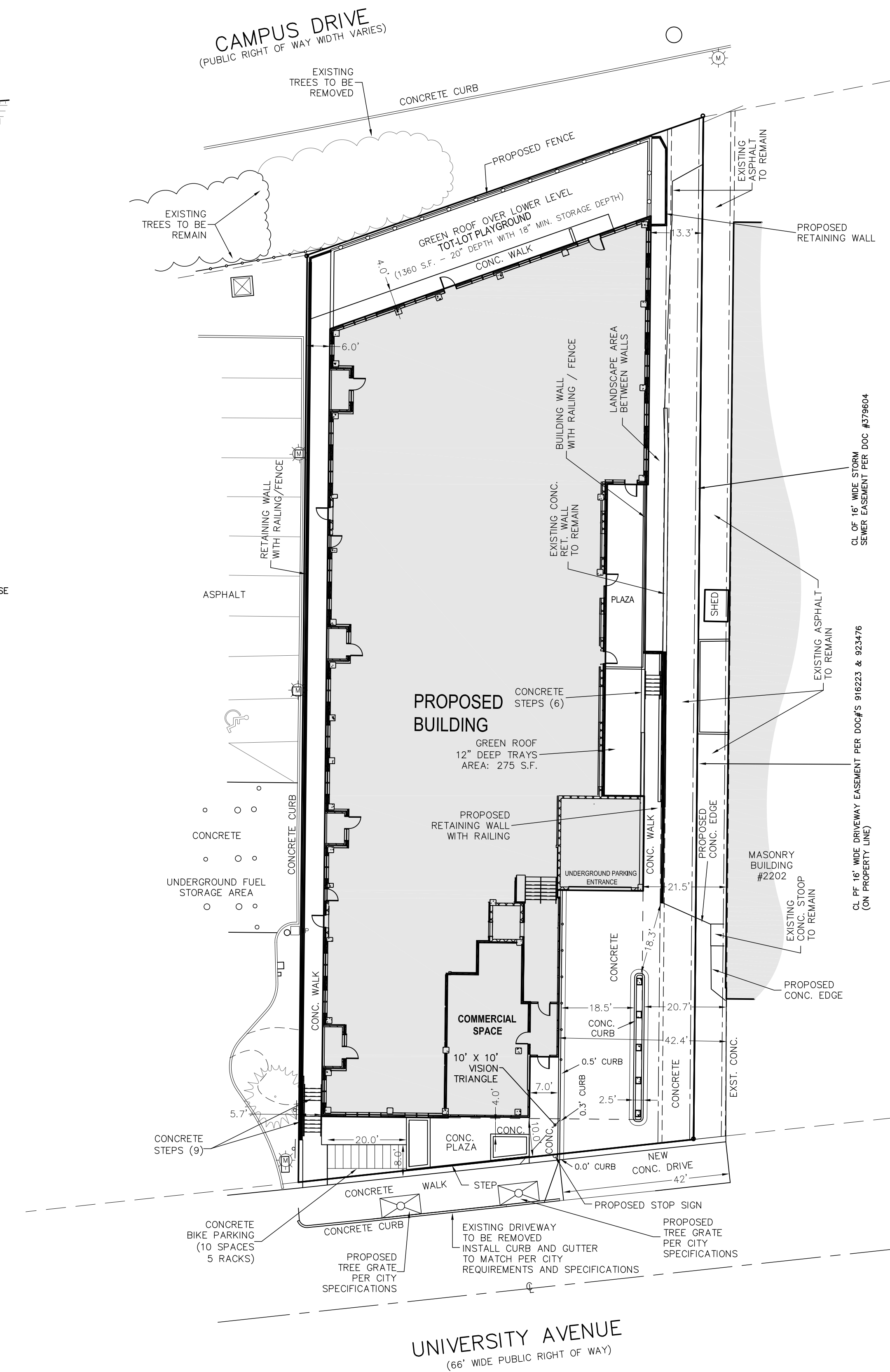
1. DISTURBED AREA = 25,750 S.F. (0.59 ACRES)
 SITE AREA = 24,592 S.F. (0.56 ACRES)
2. THIS REDEVELOPMENT WILL RESULT IN A REDUCTION OF IMPERVIOUS AREA AS COMPARED TO THE EXISTING PRE CONDITIONS.
3. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY CONTRACTOR.

REQUIRED OPEN SPACE:

USABLE OPEN SPACE REQUIRED:
 78 units @ 40 sf/unit = 3,120 sf

USABLE OPEN SPACE PROVIDED:

7,137 S.F. OF PATIOS AND BALCONIES
 930 S.F. TOT LOT
 TOTAL USABLE OPEN SPACE PROVIDED = 8,067 S.F.



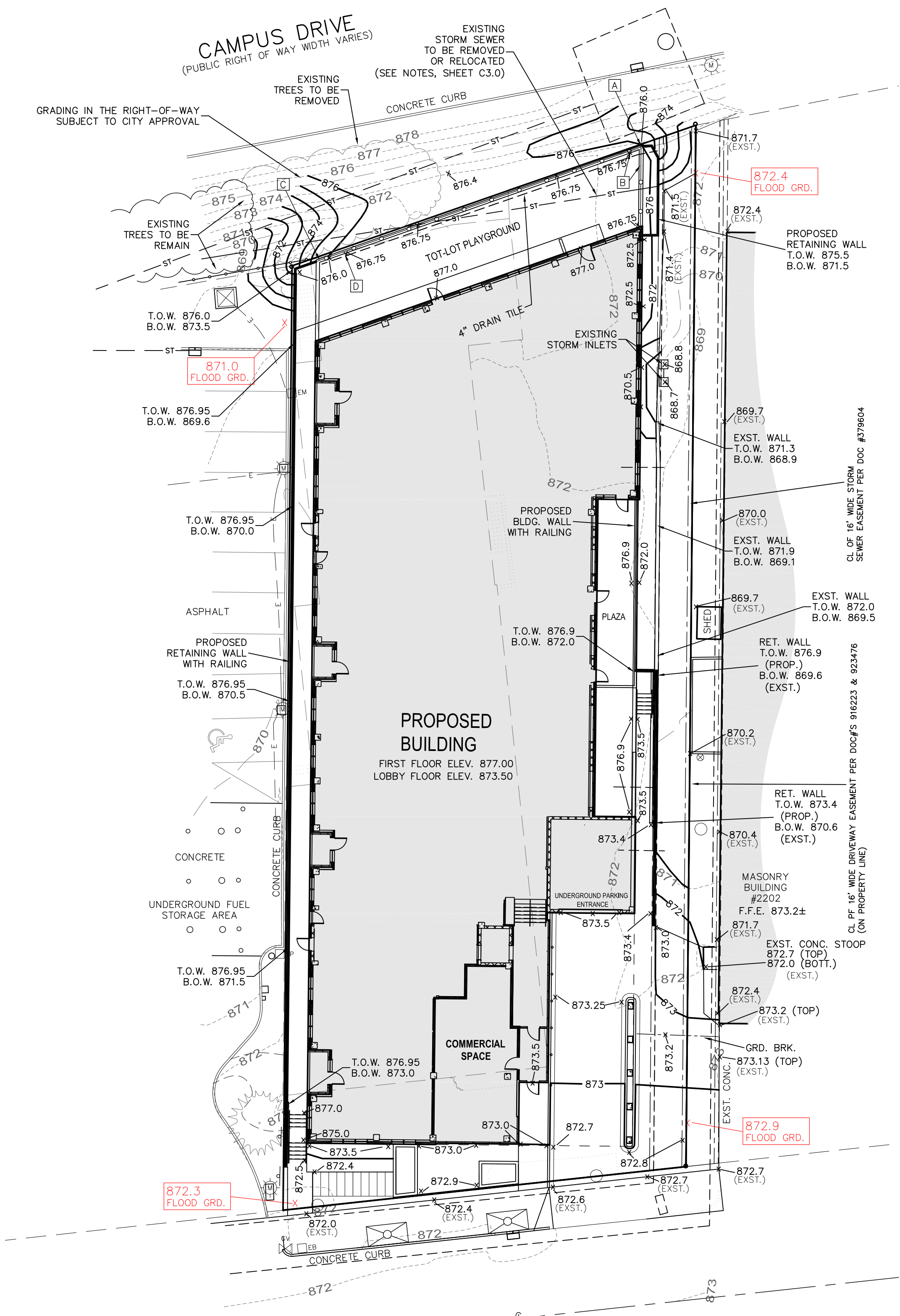
THE HEIGHTS APARTMENTS
 2208 UNIVERSITY AVE. MADISON, WISCONSIN

CJE NO.: 2059R12
 JANUARY 10, 2022



THE HEIGHTS APARTMENTS
 2208 UNIVERSITY AVE. MADISON, WISCONSIN

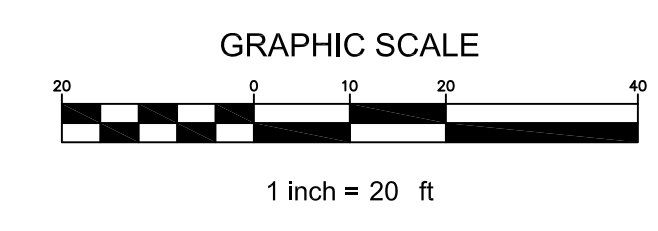
- A TOP OF LOWER LEVEL STRUCTURE = 875.0
 TOP OF WALL = 875.5
 GROUND ELEV. = 876.0
- B TOP OF LOWER LEVEL STRUCTURE = 875.0
 TOP OF WALL = 876.5
 GROUND ELEV. = 876.75
- C TOP OF LOWER LEVEL STRUCTURE = 875.0
 TOP OF WALL = 875.5
 GROUND ELEV. = 875.6
- D TOP OF LOWER LEVEL STRUCTURE = 875.0
 TOP OF WALL = 876.5
 GROUND ELEV. = 876.75



- NOTES:**
1. DISTURBED AREA = 25,750 S.F. (0.59 ACRES)
 2. ALL PROPOSED SPOT GRADES SHOWN ALONG THE CURB ARE AT BOTTOM OF CURB.
 3. ALL CONCRETE WALKS UNLESS OTHERWISE SHOWN SHALL BE AT A MAX. 1:20 SLOPES WITH A MAX. CROSS SLOPE OF 2%.
 4. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 5. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY CONTRACTOR.



LEGEND	
----- 856 -----	EXISTING CONTOUR
———— 860 ————	PROPOSED CONTOUR
x 858.5	PROPOSED ELEVATION
—ST—	PROPOSED STORM SEWER

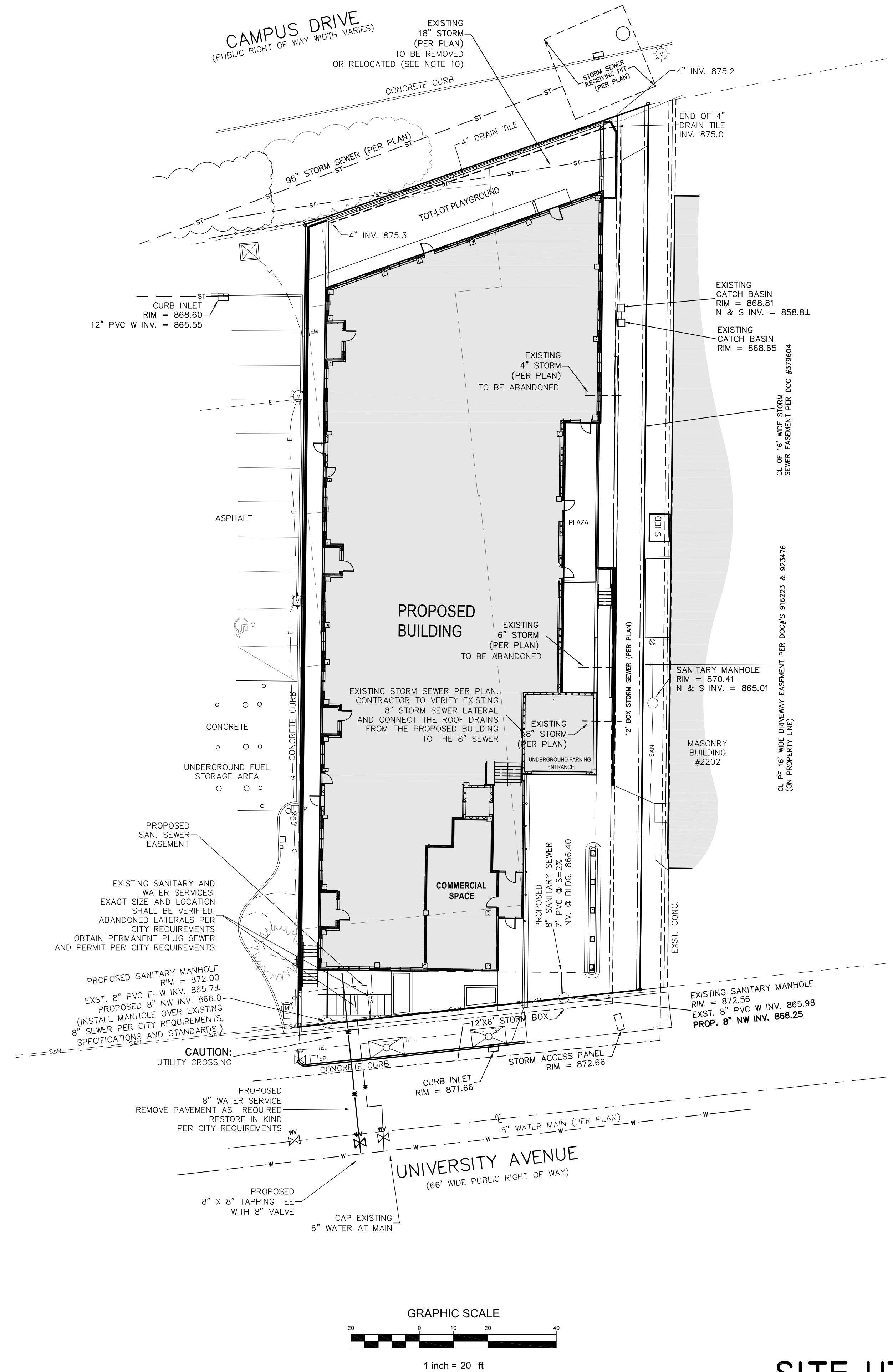


CJE NO.: 2059R12
 JANUARY 10, 2022

MSP - UNIVERSITY AVE. APARTMENTS
 2208 UNIVERSITY AVE. MADISON, WISCONSIN

CJE NO.: 2059R12
 JANUARY 10, 2022

C3.0
 SHEET 3 OF 5



NOTES:

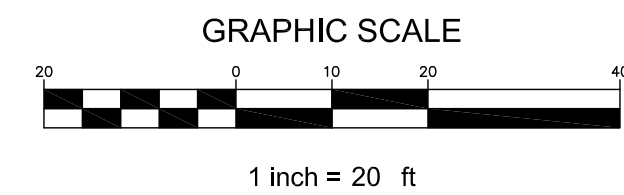
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MADISON REQUIREMENTS.
2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
3. EXACT SIZE AND LOCATION OF STORM, SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS TO BE VERIFIED BY PLUMBING CONSULTANT/CONTRACTOR. CONTACT CJ ENGINEERING WITH ANY DISCREPANCIES.
4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.
5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
6. ALL DAMAGE TO THE PAVEMENT IN THE PUBLIC RIGHT-OF-WAY ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA. ALL CURB AND GUTTER AND SIDEWALK THAT ABUTS THE PROPERTY THAT IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE TO CITY REQUIREMENTS AND SPECIFICATIONS.
7. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY CONTRACTOR.
9. CONTRACTOR TO PROVIDE TRAFFIC CONTROL SUBJECT TO CITY REVIEW AND APPROVAL PRIOR TO ANY WORK IN THE RIGHT-OF-WAY.
10. BASED ON INITIAL SITE INVESTIGATION THE EXISTING 18" STORM SEWER ON THE NORTH END OF THE SITE DOES NOT APPEAR TO DRAIN ANY OF THE CAMPUS DRIVE RIGHT-OF-WAY, SO THE BASED ON THIS THE PLAN IS TO ABANDONED AND/OR REMOVE THIS SEWER. IF UPON FURTHER INVESTIGATION THIS SEWER IS ACTIVE AND NEEDED WE WILL RELOCATE THIS SEWER WITHIN THE CAMPUS DRIVE RIGHT-OF-WAY.

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LEGEND

— ST —	EXISTING STORM SEWER
— ST —	PROPOSED STORM SEWER
— SAN —	EXISTING SANITARY SEWER
— SAN —	PROPOSED SANITARY SEWER
— W —	EXISTING WATER MAIN
— W —	PROPOSED WATER MAIN
— G —	BURIED GAS MAIN
— // —	OVER HEAD WIRE
— E —	BURIED ELECTRIC
— P —	UTILITY POLE



SITE UTILITY PLAN

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. BEGIN BUILDING CONSTRUCTION.
3. INSTALL INLET PROTECTION IN EXISTING INLETS.
4. DMOE EXISTING SITE. REMOVE MATERIALS FROM SITE.
5. INSTALL CONSTRUCTION EXIT.
6. BEGIN BUILDING CONSTRUCTION.
7. ROUGH GRADE SITE.
8. INSTALL CONCRETE WASHOUT STATION
9. INSTALL PROPOSED UTILITIES
10. INSTALL BASE COURSE OF PAVEMENT.
11. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MULCH ALL DISTURBED AREAS.
12. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
13. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

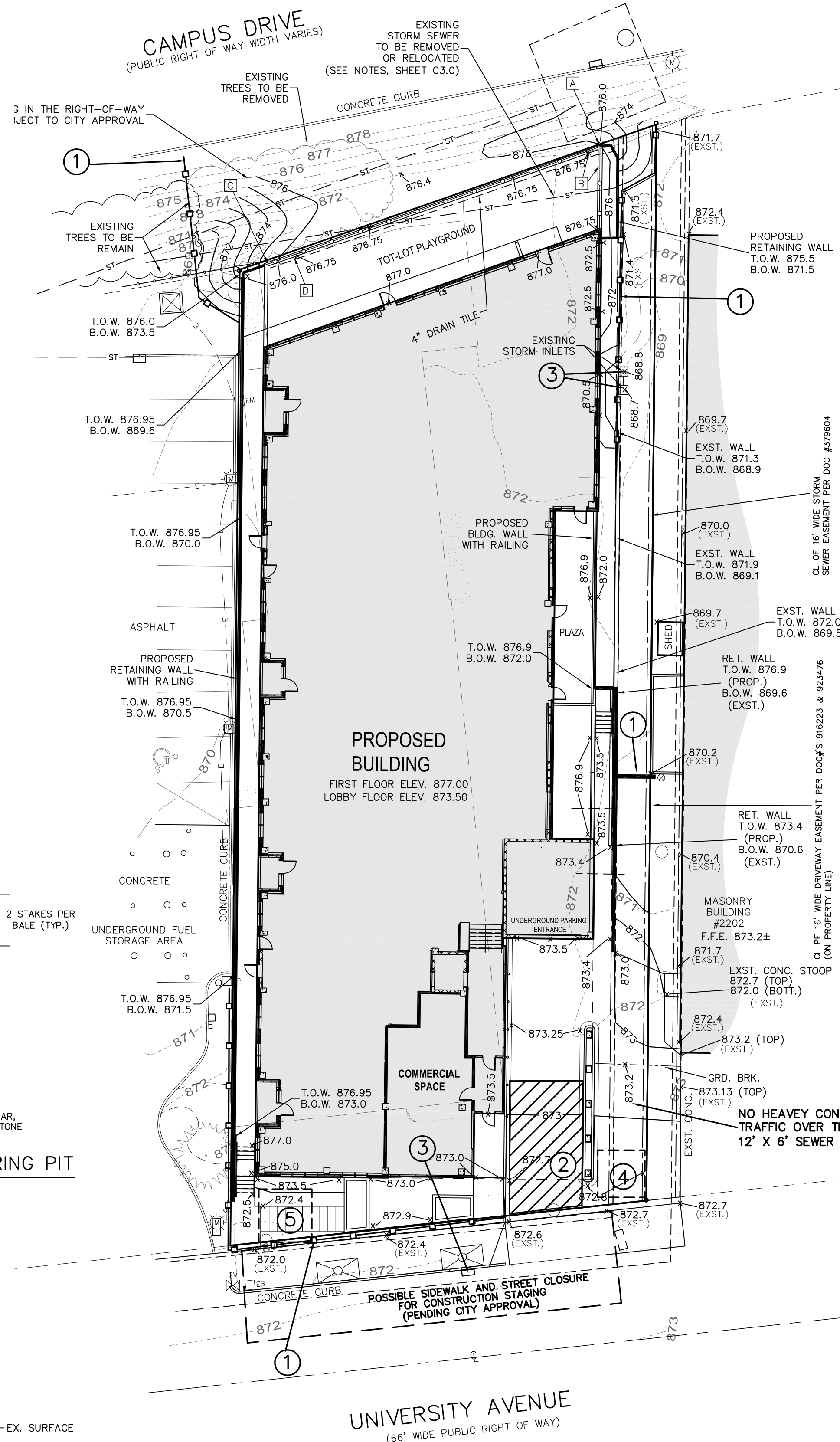
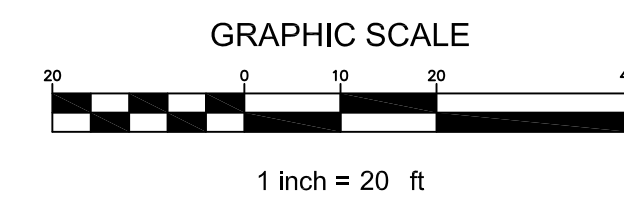
MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

EROSION CONTROL PRACTICES SCHEDULE

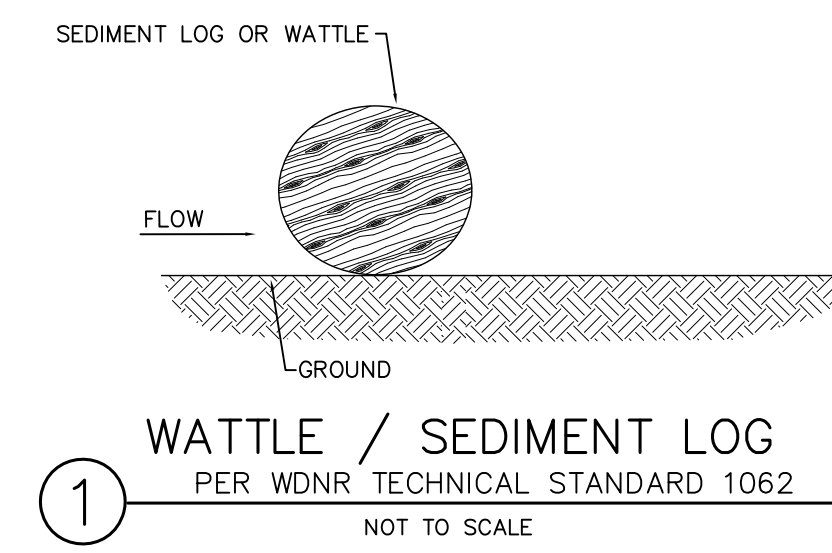
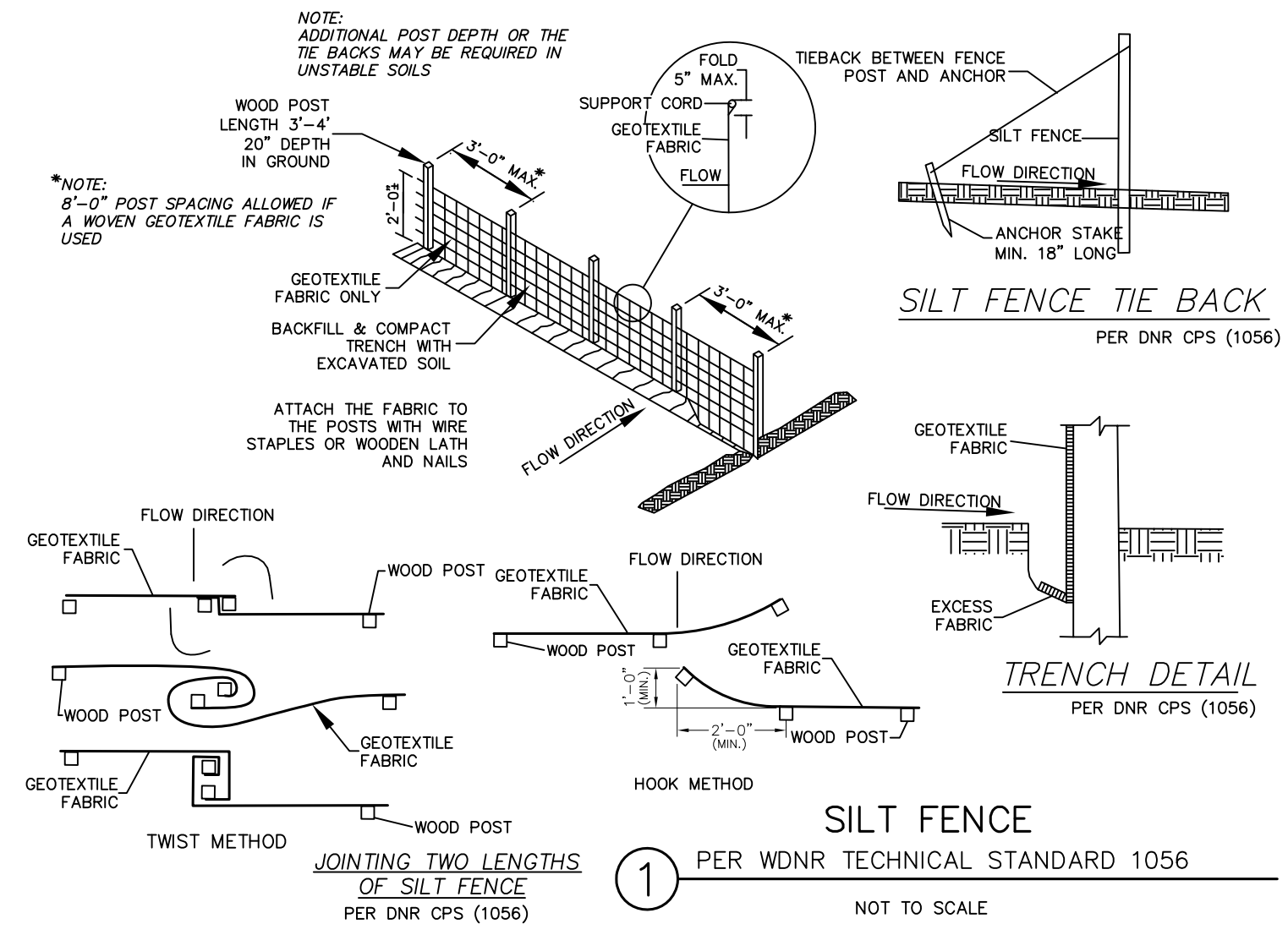
- 1 SILT FENCE
- 2 CONSTRUCTION EXIT
- 3 INLET PROTECTION
- 4 CONCRETE WASHOUT
- 5 SITE DEWATERING PIT

- NOTES:**
1. DISTURBED AREA = 25,750 S.F. (0.59 ACRES)
 2. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 3. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY CONTRACTOR.



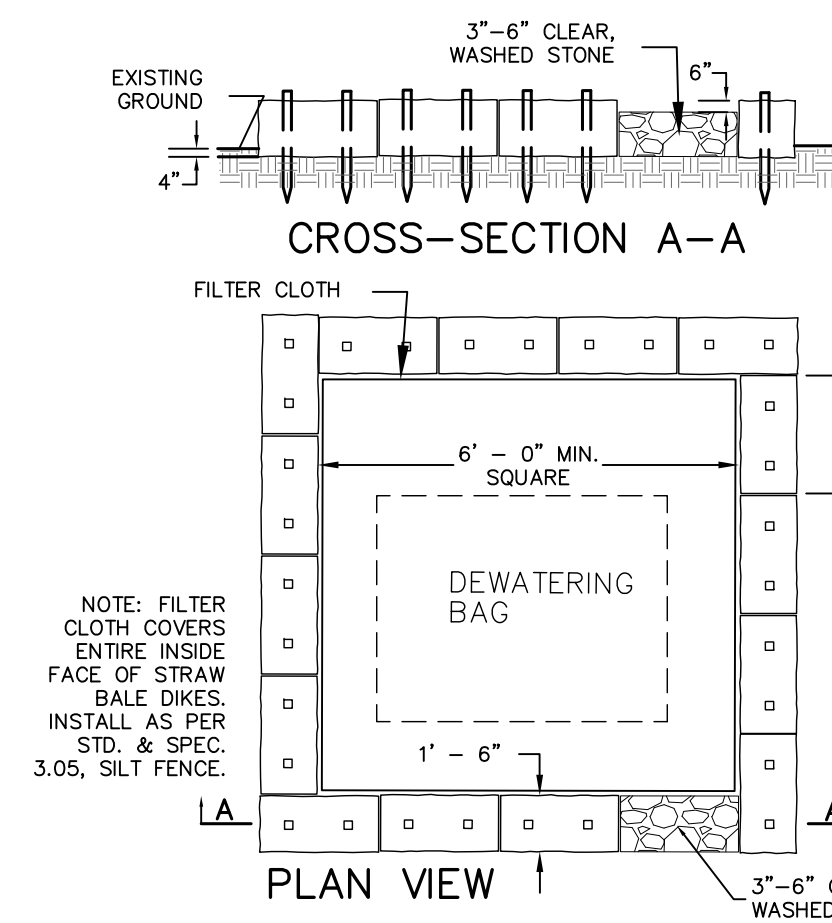
SILT FENCE CONSTRUCTION SPECIFICATIONS
PER DNR CPS (1056)

1. Construction silt fence around the disturbed areas as shown on Erosion Control Plan, to prevent sediment from being washed into the drainage system.
2. Locate posts per DNR CPS (1056)
3. When joints are necessary, refer to DNR CPS (1056).
4. Filter fabric to be of nylon, polyester, polypropylene or ethylene yarn with extra strength - 50 lb/in. in. (Minimum) - and with a flow rate of at least 0.3 gal./sq. ft./min. Fabric should contain ultraviolet ray inhibitors and stabilizers.
5. The filter fabric shall be anchored by spreading at least 8 inches of fabric in a 4" x 6" trench.
6. The filter fabric shall be stapled and/or nailed to the upslope side of the posts.
7. Post to be 1 1/8", 1 1/8" hickory or oak, 3 feet long, spaced a maximum of 3 feet apart.
8. Use wire reinforcement in unstabilized minor swales, ditches or diversions.
9. Use WisDOT approved silt fence.



- WATTLE / SEDIMENT LOG**
PER WDNR TECHNICAL STANDARD 1062
NOT TO SCALE
1. INSPECT SEDIMENT LOG WEEKLY AND WITHIN 24 HRS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE WITHIN A 24 HOUR PERIOD.
 2. SEDIMENT LOG SHALL BE PER THE WDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL).
 3. SECURE PER MANUFACTURERS SPECIFICATIONS.

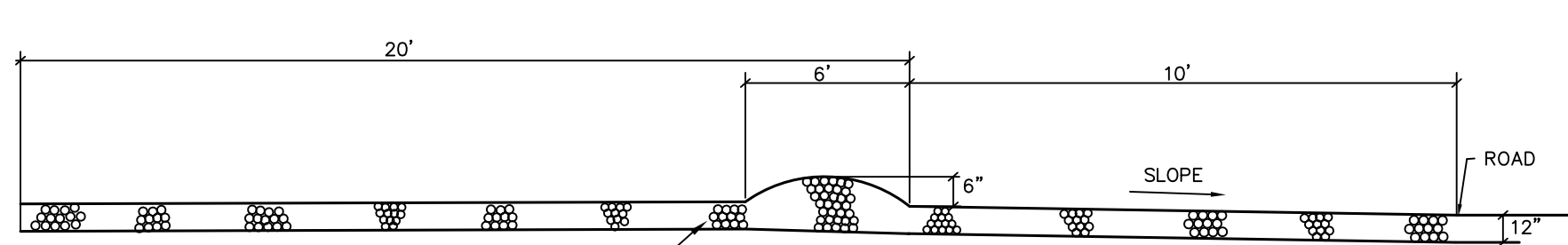
NOTE:
IF FEASIBLE, SILT FENCE CAN BE INSTALLED INSTEAD OF THE WATTLES



- HAY BALE SEDIMENT DEWATERING PIT**
NOT TO SCALE

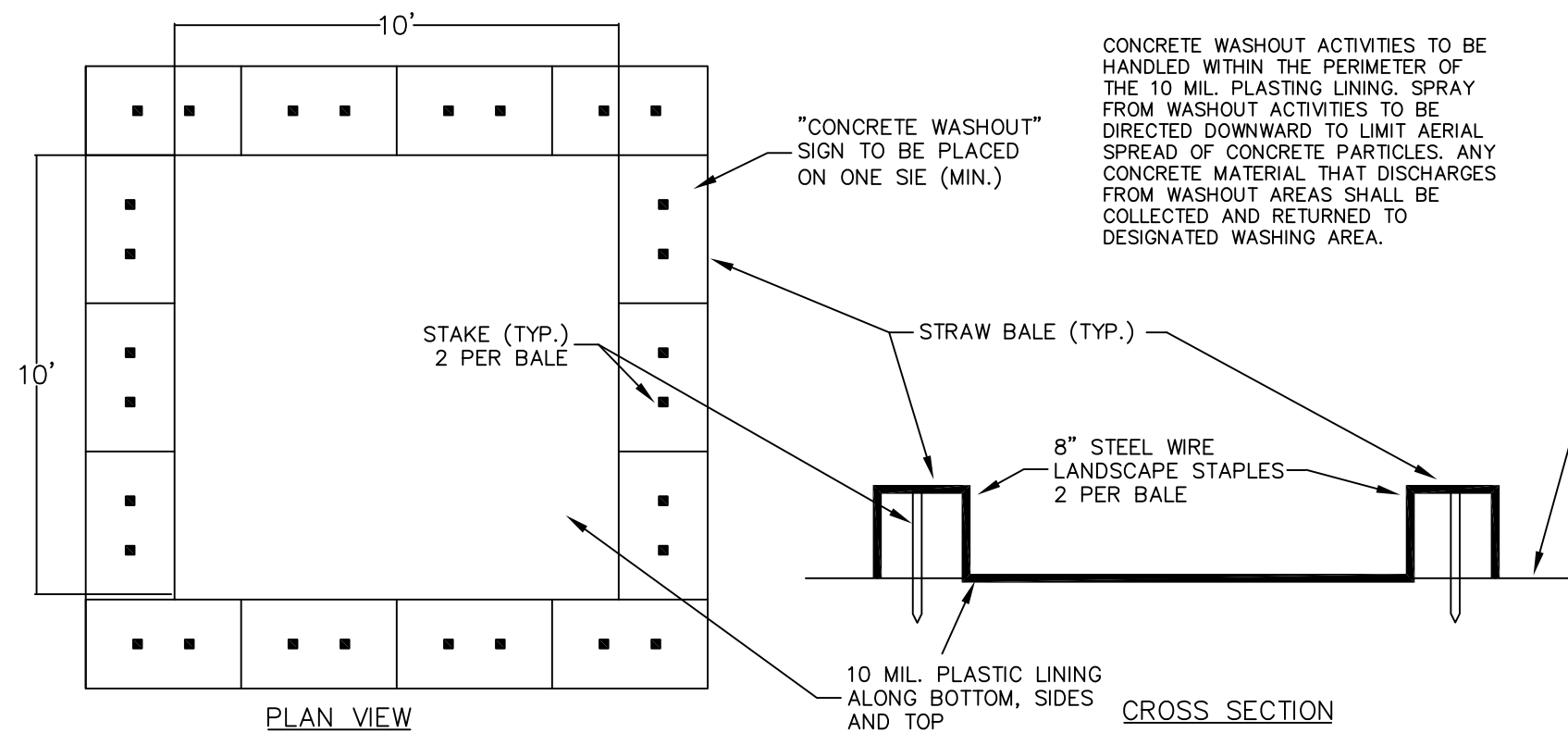
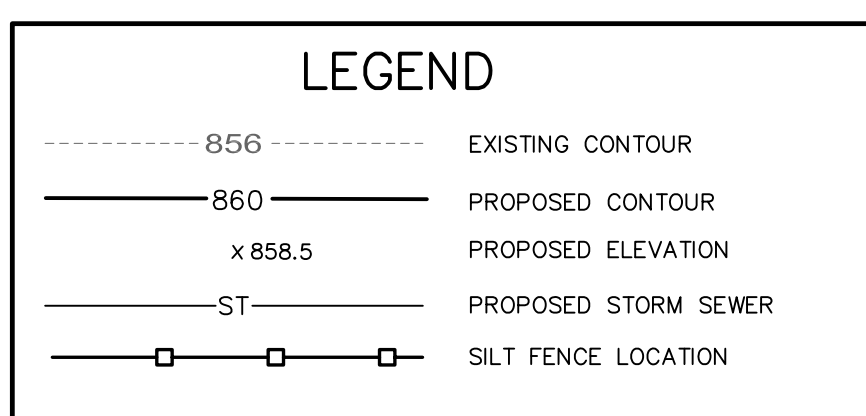
- NOTES:**
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.
 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

- MAINTENANCE NOTES:**
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



- CONSTRUCTION EXIT**
PER WDNR TECHNICAL STANDARD 1057
NOT TO SCALE

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DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

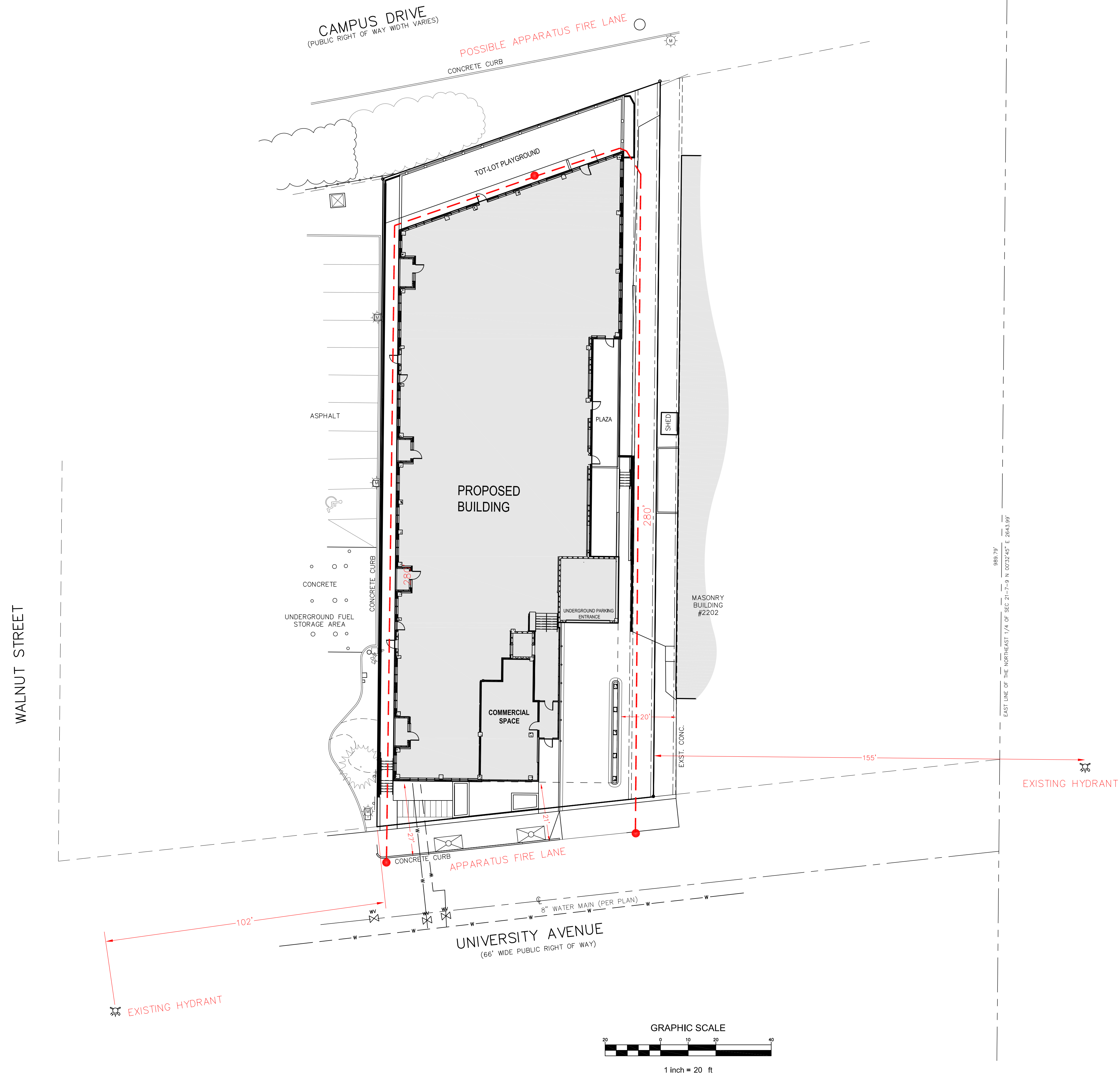


- SURFACE CONCRETE WASHOUT DETAIL**
NOT TO SCALE

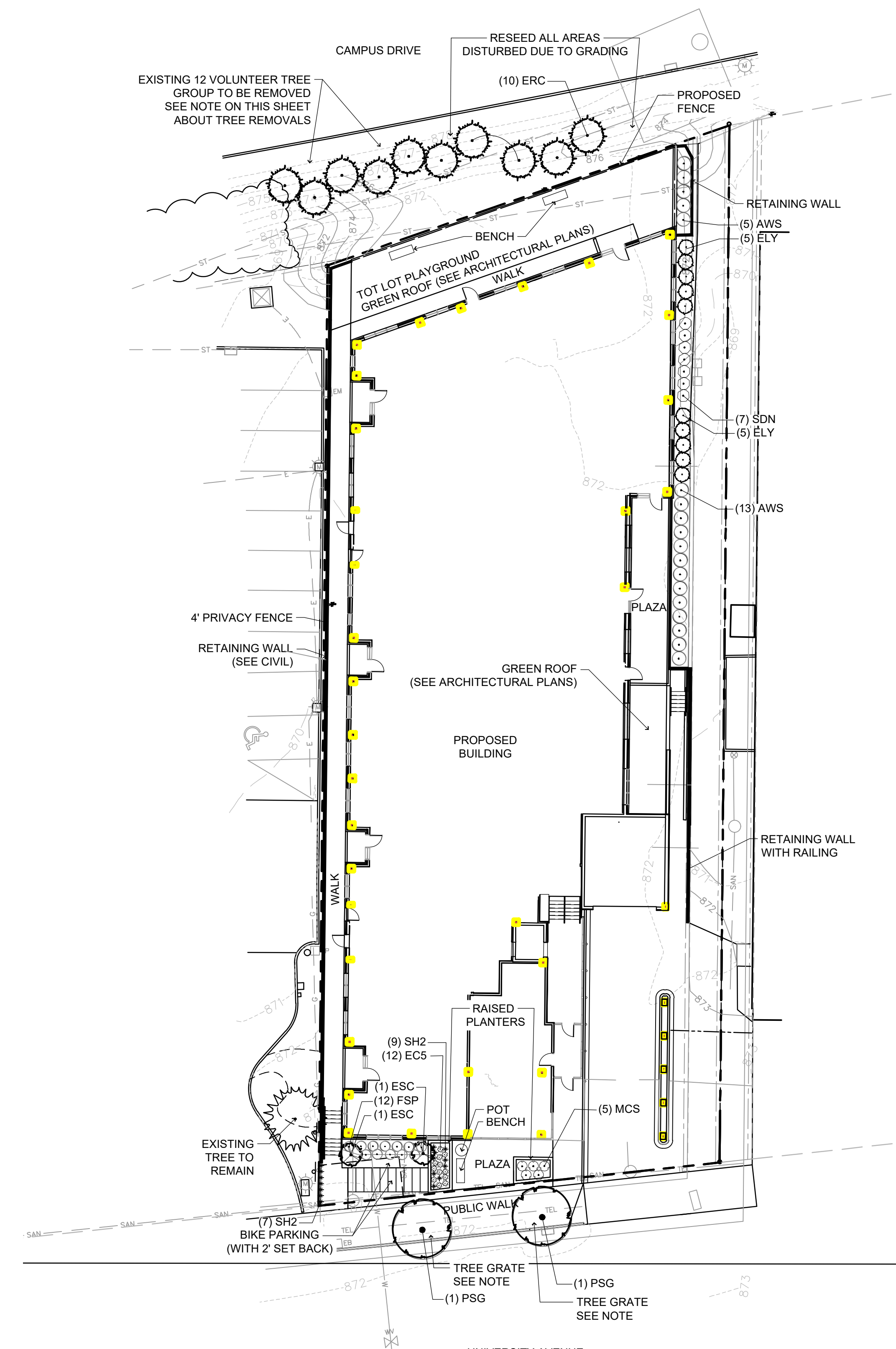


THE HEIGHTS APARTMENTS
 2208 UNIVERSITY AVE. MADISON, WISCONSIN

CJE NO.: I950R12
 JANUARY 10, 2022



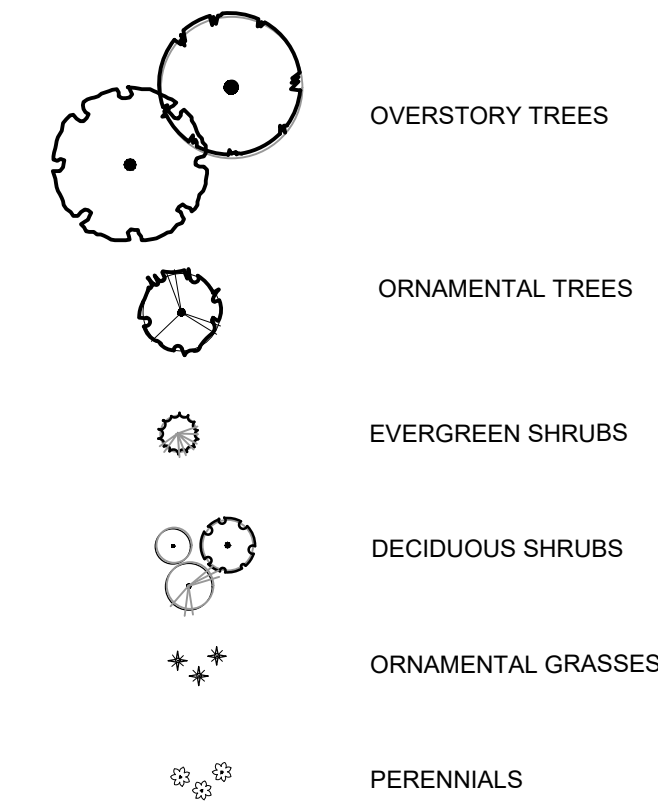
FIRE ACCESS PLAN



PLANT SCHEDULE

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PSG	2	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2" CAL	B&B	Full, matching heads
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
ERC	10	Eastern Red Cedar	Juniperus virginiana	7' HT	B&B	Semi-sheared, fully branched
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
ESC	2	Emerald Spire Crab Apple	Malus Jelfgreen	1 1/2" CAL	B&B	Full, matching heads
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SDN	7	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT.	
FSP	12	Fritsch Spirea	Spiraea fritschiana	15" HT	CONT.	
MCS	5	Magic Carpet Spirea	Spiraea japonica 'Magic Carpet'	15" HT	CONT.	Full and evenly branched
AWS	18	Anthony Waterer Spirea	Spiraea x bumalda 'Anthony Waterer'	15" HT	CONT.	Full and evenly branched
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
ELY	10	Everlow Yew	Taxus x media 'Everlow'	18" HT	B&B	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SH2	16	Tara Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 GAL	POT	18" Spacing
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
EC5	12	Kim's Knee High Purple Coneflower	Echinacea purpurea 'Kim's Knee High' TM	1 GAL	POT	18" Spacing

PLANT SYMBOL KEY



NOTES: CONTRACTOR SHALL CONTACT CITY FORESTRY 608-266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATION WITH THE LANDSCAPER

CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR 12 TREES WITHIN UNMAINTAINED CAMPUS DR ROW FRONTAGE 4'-19" DIAMETER TREES DUE TO EXCAVATION

TREES PLANTED IN TREE GRATES: ALL EXISTING SOIL IN AREA TO BE REMOVED AND REPLACED WITH AMENDED TOPSOIL. PLANTING TECHNIQUE AND TREE GRATE INSTALLATION PER CITY OF MADISON STANDARDS

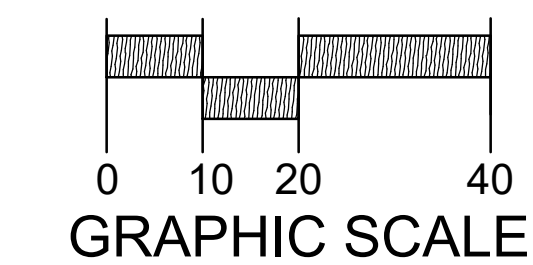
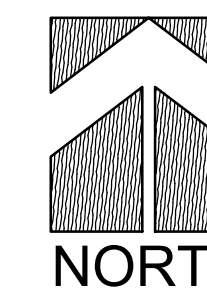
SEE SHEET L2.1 FOR ADDITIONAL NOTES FOR MADISON TREE PLANTING REQUIREMENTS

SEE SHEET L2.1 FOR CITY OF MADISON LANDSCAPE WORKSHEET

NOTE: TREES PLANTED IN TREE GRATES:
ALL EXISTING SOIL IN AREA TO BE REMOVED AND REPLACED WITH AMENDED TOPSOIL.
PLANTING TECHNIQUE AND TREE GRATE INSTALLATION PER CITY OF MADISON STANDARDS

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

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Know what's below.
Call before you dig.

DATE	DESCRIPTION
04/09/2021	CITY & FORESTRY COMMENTS
04/12/2021	CITY COMMENTS
09/08/2021	CITY COMMENTS
01/10/2022	REVISED SITE & CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

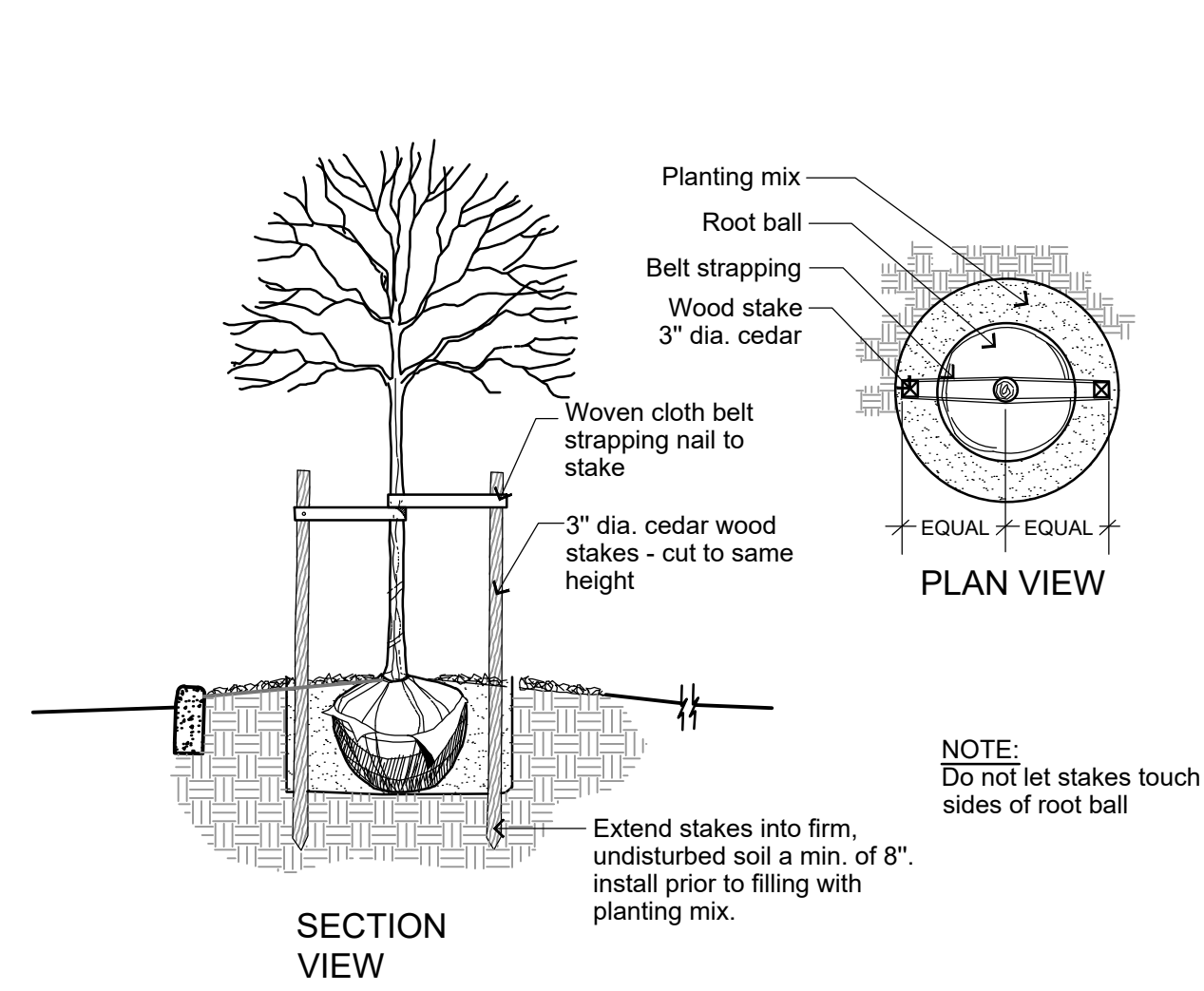
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

UNIVERSITY AVE. APARTMENTS
2208 UNIVERSITY AVE, MADISON, WI

PRELIMINARY
LANDSCAPE PLAN

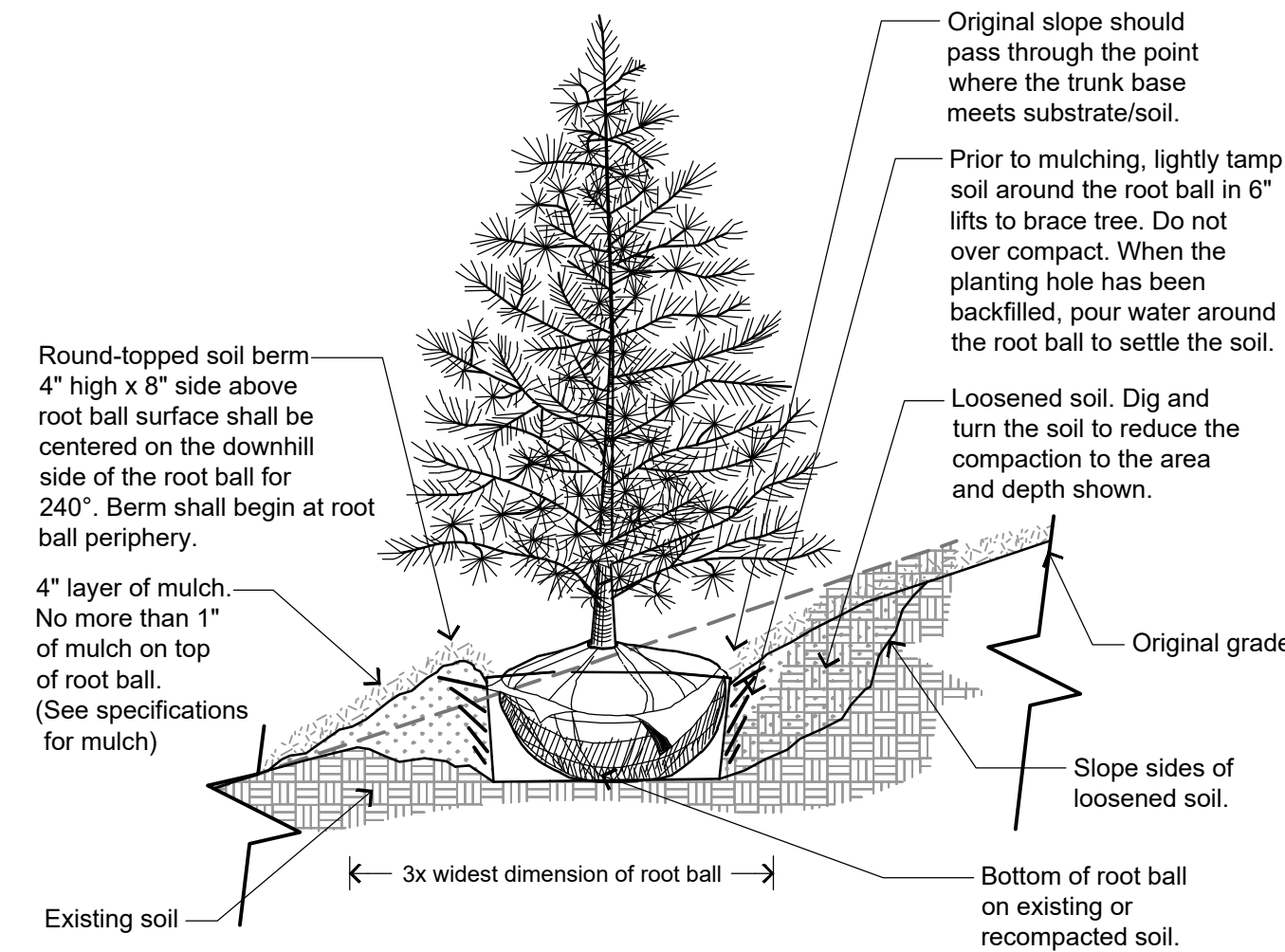
© COPYRIGHT 2022 R.A. Smith, Inc.
DATE: 02/17/2021
SCALE: PER PLAN
JOB NO. 3200311
PROJECT MANAGER: LUKE HAAS, PLA
DESIGNED BY: LJH/NJW
CHECKED BY: LJH
SHEET NUMBER
L1.0

LANDSCAPE DETAILS

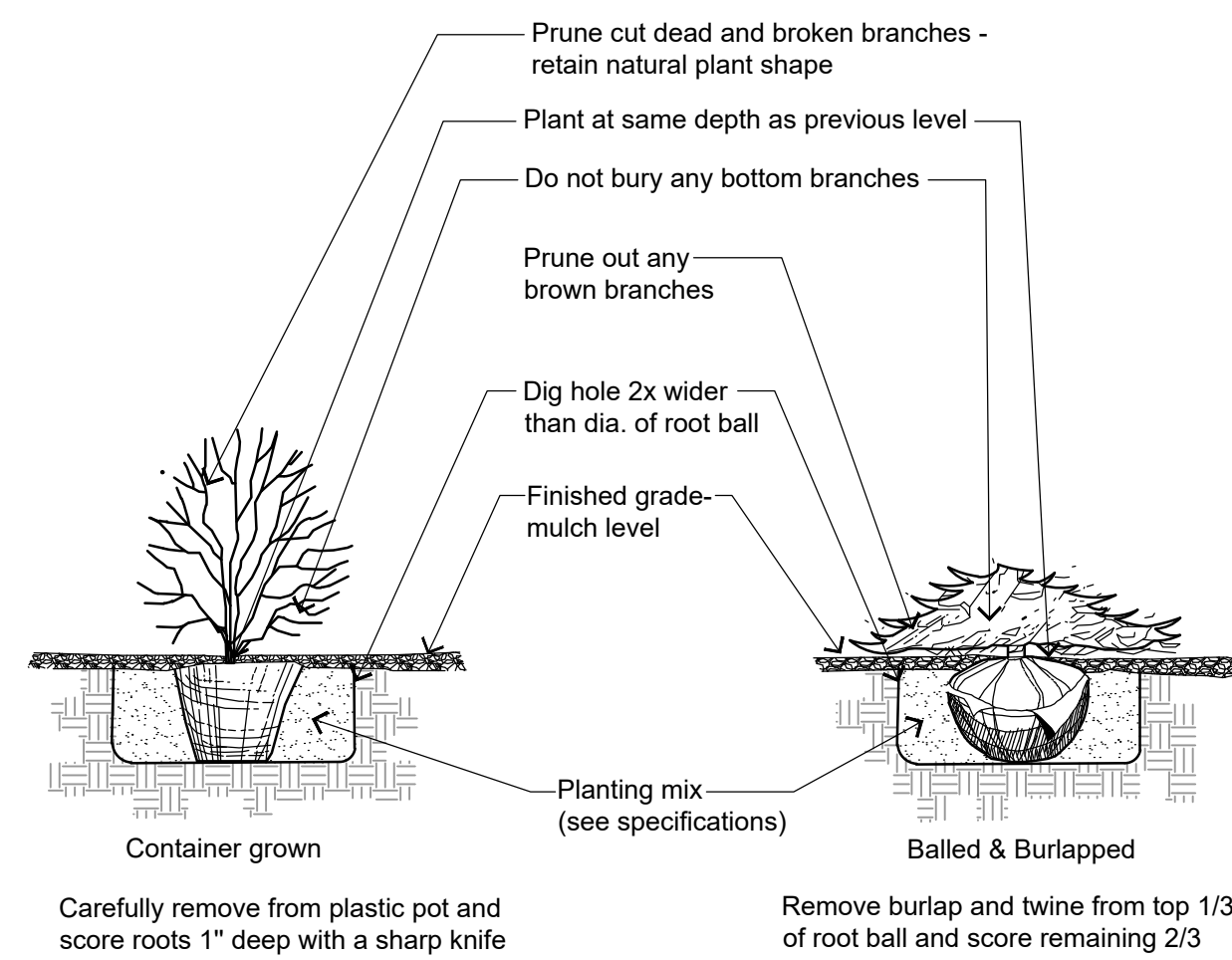


1 DECIDUOUS TREE STAKING FOR RESTRICTED AREAS
NOT TO SCALE P-PL-TREE-DEC-01

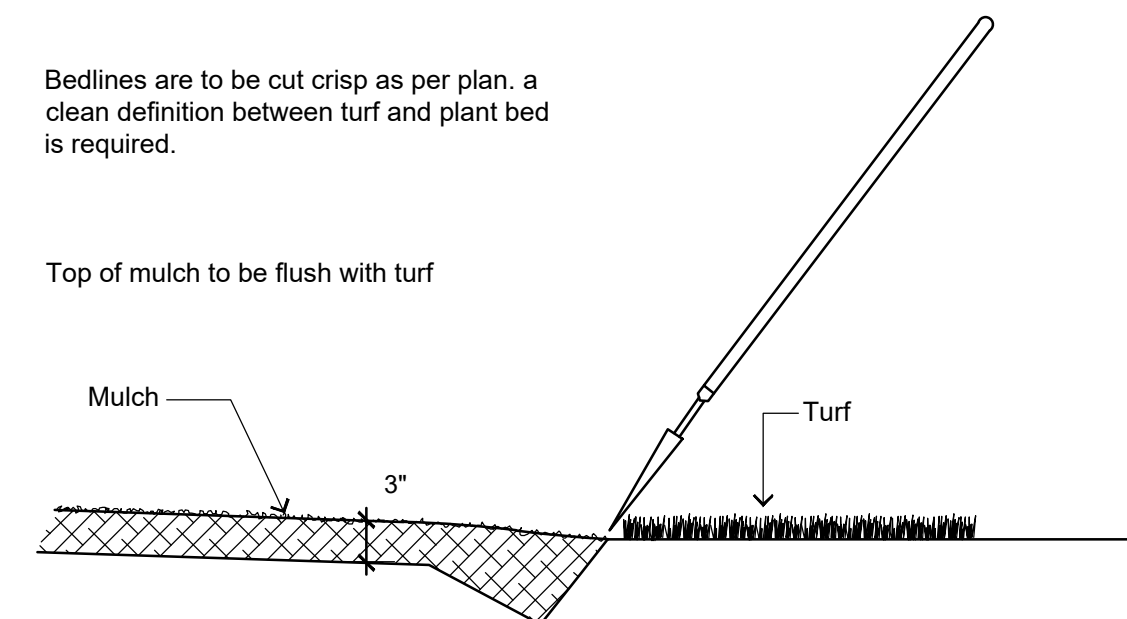
NOTE: TREES PLANTED IN TREE GRATES:
ALL EXISTING SOIL IN AREA TO BE REMOVED AND REPLACED WITH AMENDED TOPSOIL.
PLANTING TECHNIQUE AND TREE GRATE INSTALLATION PER CITY OF MADISON STANDARDS



2 EVERGREEN TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE ras-2021-3200311-04



3 SHRUB PLANTING DETAIL
NOT TO SCALE



4 SHOVEL CUT PLANT BED EDGING DETAIL
NOT TO SCALE P-PL-BDEG-01

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

UNIVERSITY AVE. APARTMENTS
2208 UNIVERSITY AVE, MADISON, WI

LANDSCAPE
DETAILS

© COPYRIGHT 2022 R.A. Smith, Inc.
DATE: 02/17/2021
SCALE: NTS
JOB NO. 3200311
PROJECT MANAGER: LUKE HAAS, PLA
DESIGNED BY: LJH/NJW
CHECKED BY: LJH
SHEET NUMBER
L2.0



GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative prior to installation. All plants must be installed as per sizes shown on plant material schedule, unless approved by general contractor or owner's representative.
- All seeded areas and planting beds require topsoil to be placed within 3" of finish grade during rough grading operations. All parking lot islands require topsoil placed to a minimum depth of 18" to insure long term plant health. These requirements should be coordinated between the general contractor, grading contractor and landscape contractor.
- The landscape contractor to be responsible for placing a minimum depth of 3" of blended, prepared and non-compacted topsoil in all seeded areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade. Finished landscaped areas to be smooth, uniform and provide positive drainage away from all structures and pavement.
- Tree planting (see planting detail).
Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. Scarify side walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 80% existing soil removed from excavation and 20% plant starter mix blended prior to backfilling holes. Discard any gravel, heavy clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before proceeding.

Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Stake trees according to the staking detail.
- Tree planting and installation of tree grates on University Ave. :
All existing soil in area to be removed and replaced with amended topsoil. Planting technique and tree grate installation per city of Madison standards
- Shrub planting: All shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as needed to achieve proper grade and replace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not environmental). All perennial planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Plant bed preparation: all perennial, ornamental and grass areas are required to receive a blend of organic soil amendments prior to installation. Rototill the following materials, at the ratio given, into the required 18" of topsoil to a depth of approx. 8" -


Per every 100 square feet of bed area add:
2 cu. ft. bale of peat moss
2 lbs. of 5-10-5 slow release fertilizer
1/4 cu. yard of composted manure
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.

An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot and uniform coverage throughout all turf areas
- Seed mix for lawn areas - use only a premium quality seed mix installed at recommended rates. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% perennial rye applied at 5 lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- Paving: Refer to civil plans for paving details and specifications.
- Site Furnishings: Table/Chairs and bench selections shall be coordinated through the general contractor and approved by the owner.
- 4' Cedar Fence: Fence shall be installed by a qualified contractor. Final construction drawings and specifications to be submitted to general contractor and owner prior to construction.
- Tree Grates: Per City of Madison specifications, Neenah Foundary, 4X8 (R-8815-A). Tree Guard: Neenah Foundary, (R-8501-4818) Install per manufacturer's specifications.
- The landscape contractor shall provide a design / build irrigation construction plan to the owner and municipality (if required) that complies with State and local code requirements for review and approval prior to construction. The Irrigation designer shall be certified by The Irrigation Association as a Commercial Irrigation Designer and have at least 5 years' experience designing irrigation systems of similar size and scope. The Irrigation system shall be metered to meet the requirements of the State and local codes; be fully automatic utilizing a weather based controller with rain/moisture sensors; zoned to water the turf and shrubs separately with minimum over throw on hardscapes, buildings and other structures; coverage of all plant / turf areas with head to head watering and be operational from a domestic water source provided by the owner. Turf areas shall be irrigated with pop-up rotary heads and all shrub / perennial beds shall be irrigated with a drip system. Contractor may use the following approved manufacturers Hunter, Rainbird or Toro. Provide first year winterization and following spring startup. Landscape contractor shall provide a complete set of "As-Built" plans of the installed irrigation system to the owner on reproducible vellum.
- Warranty and replacements: Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one (1) year from the date of substantial project completion. Perennials and ornamental grasses to be guaranteed for a minimum of one growing season from the date of substantial project completion. Perennials and ornamental grasses planted after September 1st shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses and turf grass. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and insure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

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CITY OF MADISON LANDSCAPE WORKSHEET



**CITY OF MADISON
LANDSCAPE WORKSHEET**
Section 28.142 Madison General Ordinance

Project Location / Address 2208 University Ave.
 Name of Project University Ave Apartments
 Owner / Contact MSP Real Estate, Inc.
 Contact Phone 414-259-2108 Contact Email mhammond@msphousing.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability
 The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
 Total square footage of developed area 9,300 SF
 Total landscape points required 155
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
 Total square footage of developed area _____
 Five (5) acres = 217,800 square feet
 First five (5) developed acres = 3,630 points
 Remainder of developed area _____
 Total landscape points required _____
- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
 Total square footage of developed area _____
 Total landscape points required _____

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CITY OF MADISON FORESTRY NOTES

- All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson within who's district is affected by the street tree removal(s) prior to a tree removal permit being issued.
- As defined by the Section 107.13 of City of Madison Standard Specifications for Public Works Construction: No excavation is permitted within 5 feet of the trunk of the street tree or when cutting roots over 3 inches in diameter. If excavation is necessary, the Contractor shall contact Madison City Forestry (266-4816) prior to excavation. City of Madison Forestry personnel shall assess the impact to the tree and to its root system prior to work commencing. Tree protection specifications can be found on the following website: <https://www.cityofmadison.com/business/pw/specs.cfm>
- Contractor shall take precautions during construction to not disfigure, scar, or impair the health of any street tree. Contractor shall operate equipment in a manner as to not damage the branches of the street tree(s). This may require using smaller equipment and loading and unloading materials in a designated space away from trees on the construction site. Any damage or injury to existing street trees (either above or below ground) shall be reported immediately to City Forestry at 266-4816. Penalties and remediation shall be required.
- Section 107.13(g) of City of Madison Standard Specifications for Public Works Construction addresses soil compaction near street trees and shall be followed by Contractor. The storage of parked vehicles, construction equipment, building materials, refuse, excavated spoils or dumping of poisonous materials on or around trees and roots within five (5) feet of the tree or within the protection zone is prohibited.
- On this project, street tree protection zone fencing is required. The fencing shall be erected before the demolition, grading or construction begins. The fence shall include the entire width of terrace and, extend at least 5 feet on both sides of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone.
- Street tree pruning shall be coordinated with Madison Forestry at a minimum of two weeks prior to the start of construction for this project. All pruning shall follow the American National Standards Institute (ANSI) A300 - Part 1 Standards for pruning.
- At least one week prior to street tree planting, Contractor shall contact City Forestry at (608) 266-4816 to schedule inspection and approval of nursery tree stock and review planting specifications with the landscaper.
- No later than five business days prior to forming concrete and constructing tree grate sites, the Contractor shall contact City Forestry at (608) 266-4816 to identify and locate underground conflicts (utilities, vaults, conduit) or other underground obstructions and determine grate locations. Tree grate type: Neenah 4x8 (R-8815-A). Tree guard Neenah (R-8501-4818).

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			2	30
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			42	126
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			10	40
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			28	56
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				0		322

Total Number of Points Provided 322

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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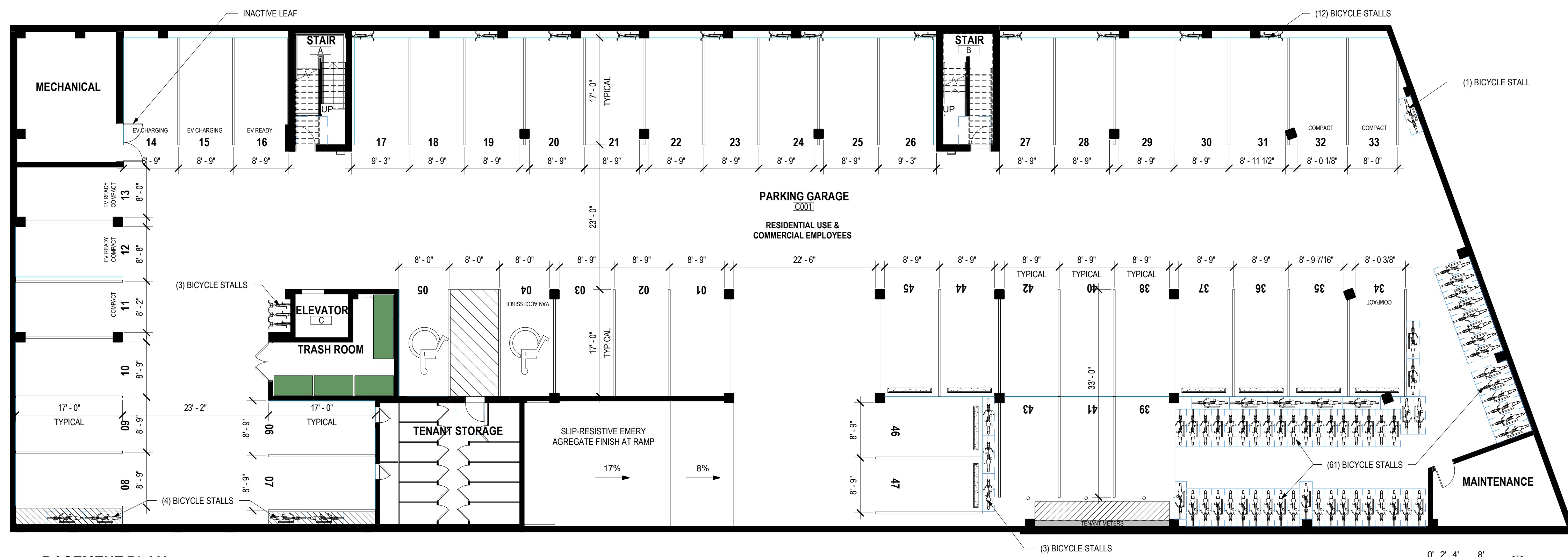
DESCRIPTION	CITY & FORESTRY COMMENTS
DATE	04/09/2021 CITY COMMENTS
	09/08/2021 CITY COMMENTS
	01/10/2022 REVISED SITE & CITY COMMENTS

16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com  CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
UNIVERSITY AVE. APARTMENTS	LANDSCAPE SPECIFICATIONS
2208 UNIVERSITY AVE, MADISON, WI	
© COPYRIGHT 2022 R.A. Smith, Inc. DATE: 02/17/2021 SCALE: NTS JOB NO. 3200311 PROJECT MANAGER: LUKE HAAS, PLA DESIGNED BY: LJH/NJW CHECKED BY: LJH SHEET NUMBER L2.1	

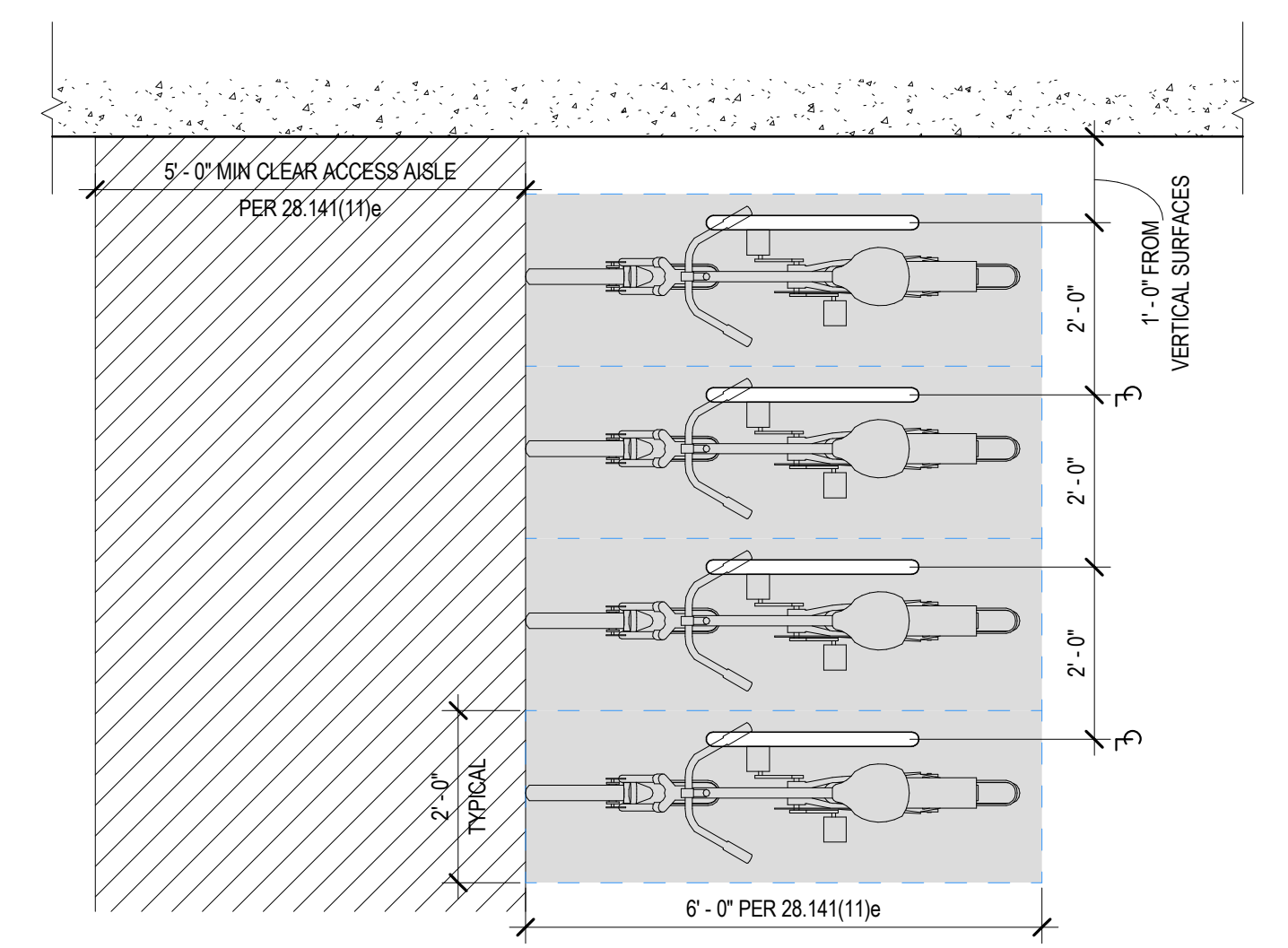




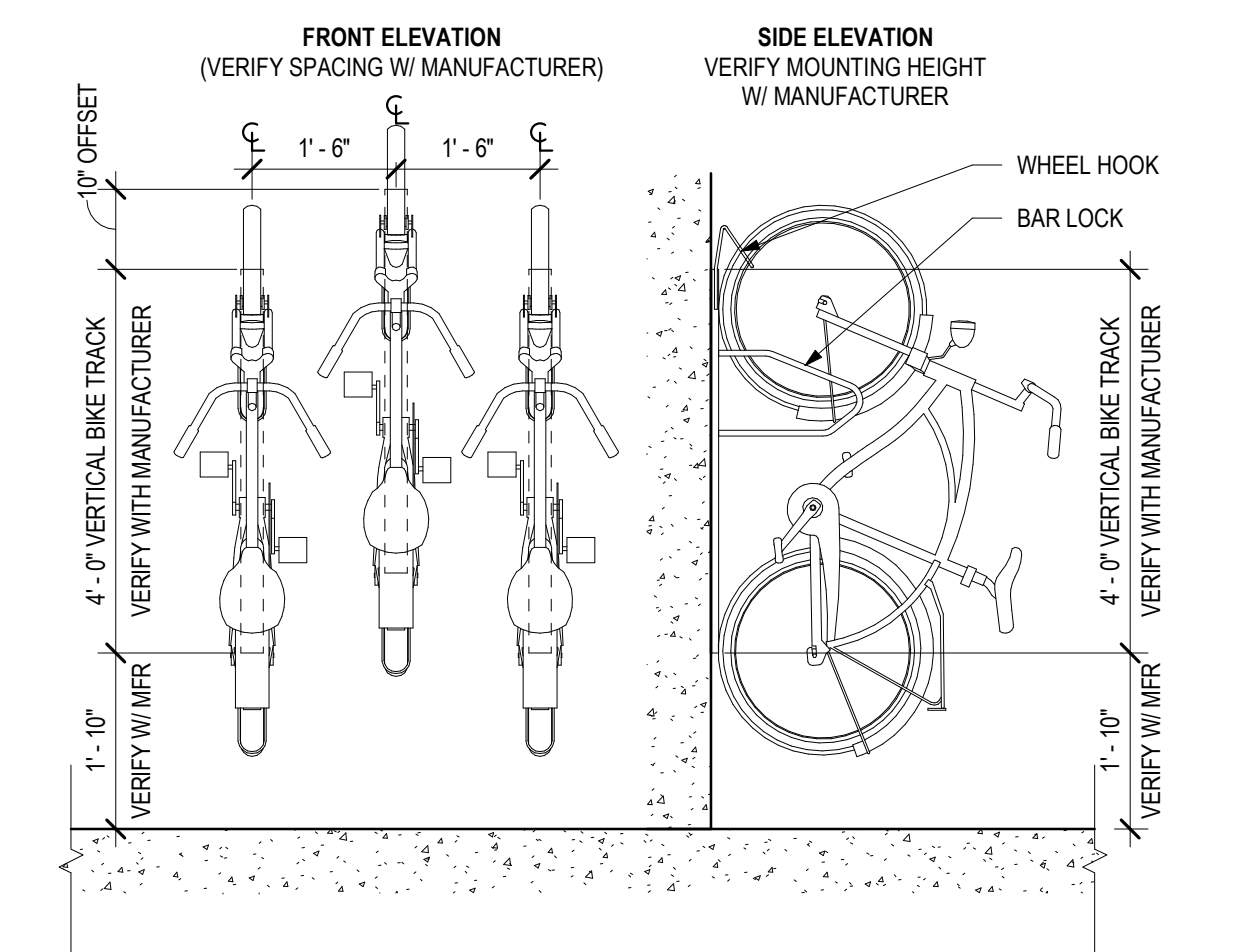
Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
□	A	11	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	1163	10.0002
□	B	2	Lithonia Lighting	WDGE2 LED P3 30K 80CRI VW	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	3092	22.55
○	C	8	RAB LIGHTING INC.		CBR1015229FAUNVW 8in Commercial downlight	1	1611	15.0301
⬆	D	5	Brownlee Lighting Inc	7176-34-H16-40K	Formed aluminum housing, frosted plastic lens enclosure	1	1624	17.0195



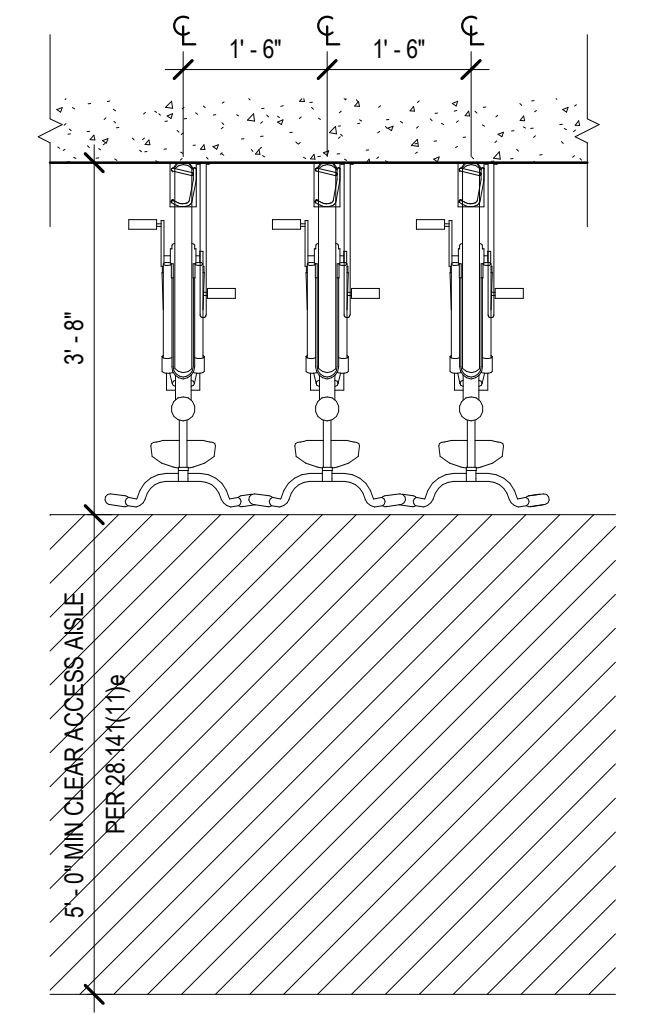
01 BASEMENT PLAN



5 HORIZONTAL SURFACE MOUNTED BICYCLE PARKING
1/2" = 1'-0"

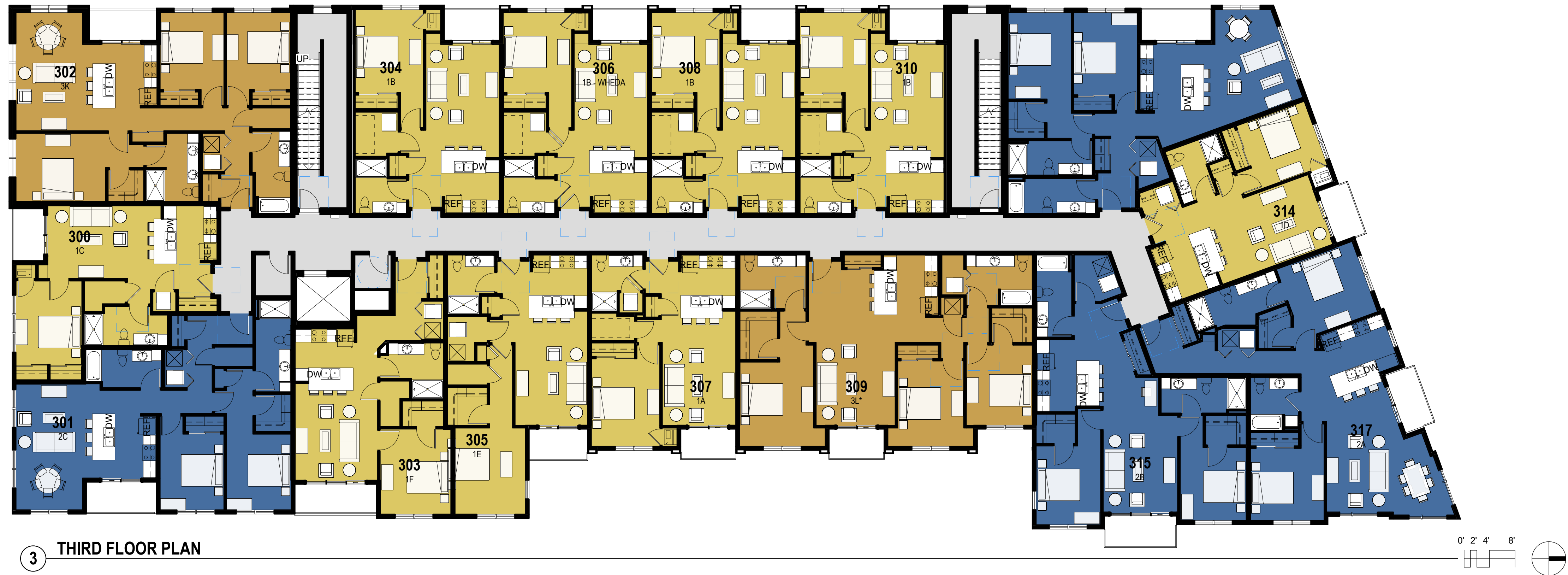


4 VERTICAL SURFACE MOUNTED BIKE STALL ELEVATION
1/2" = 1'-0"

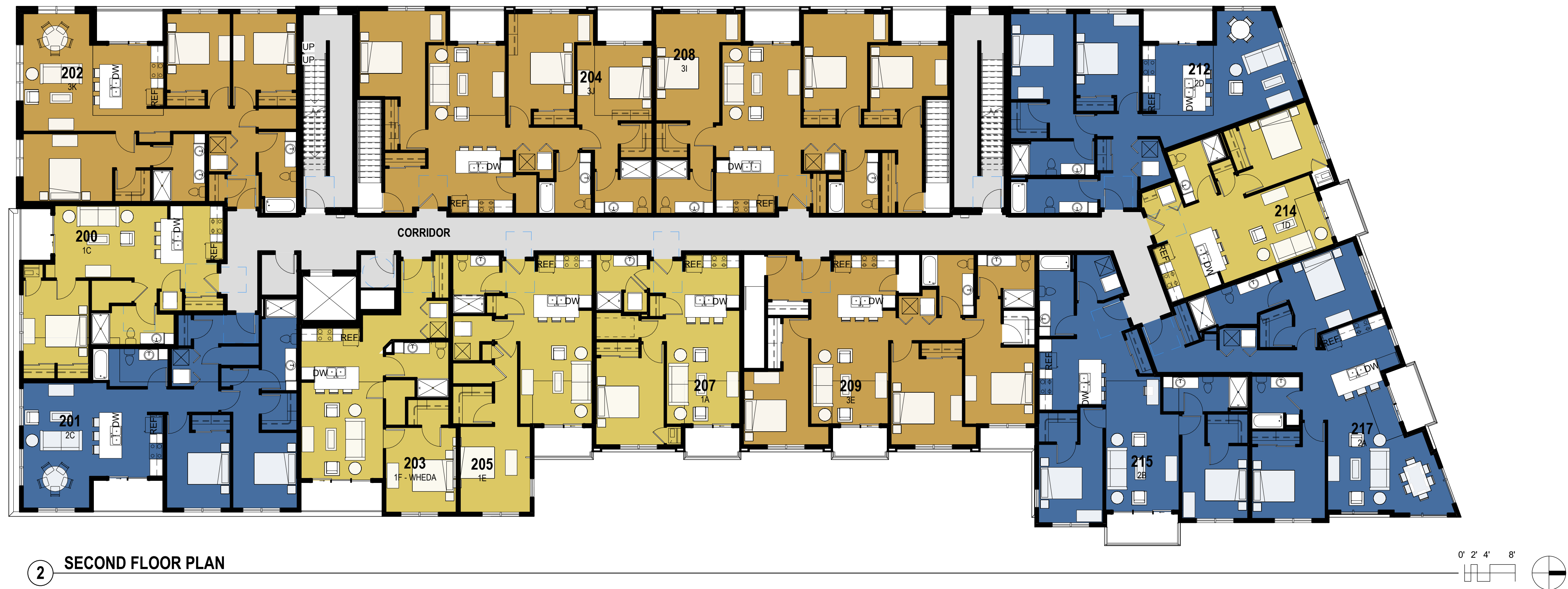


3 VERTICAL SURFACE MOUNTED BICYCLE PARKING PLAN
1/2" = 1'-0"





3 THIRD FLOOR PLAN



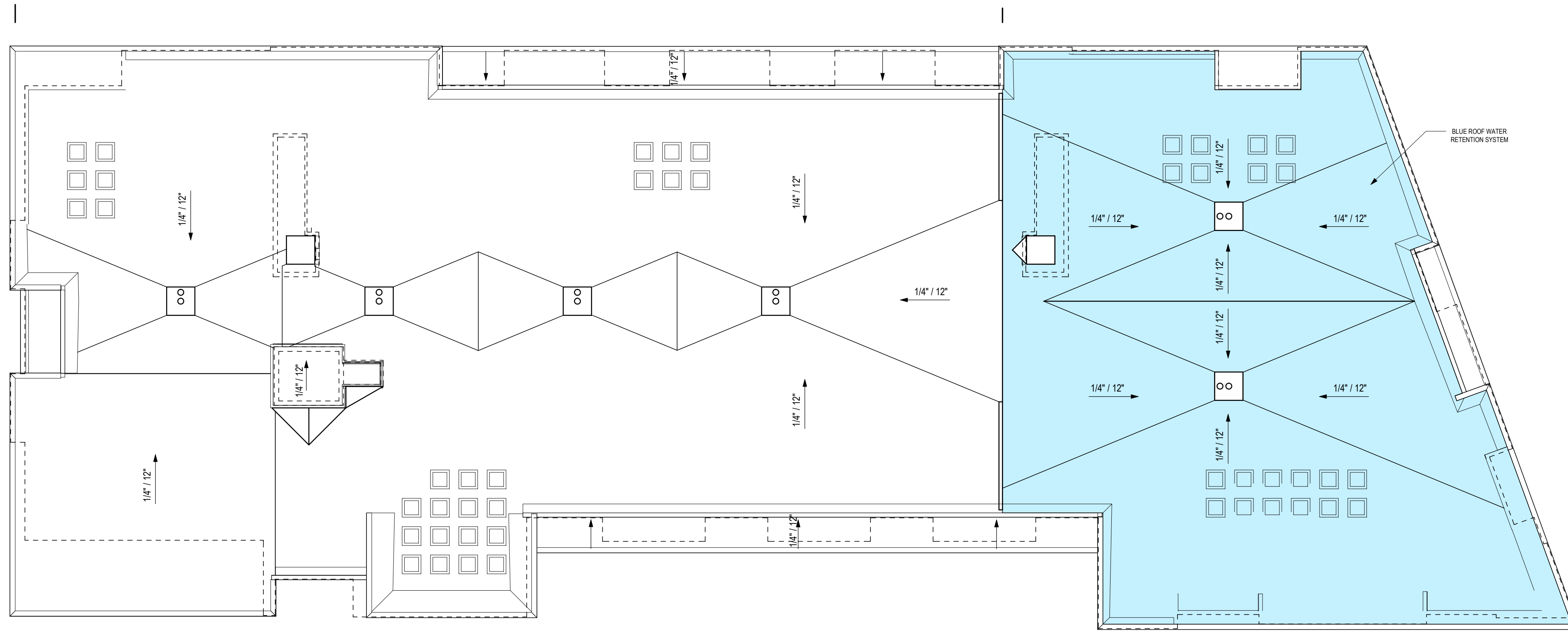
2 SECOND FLOOR PLAN



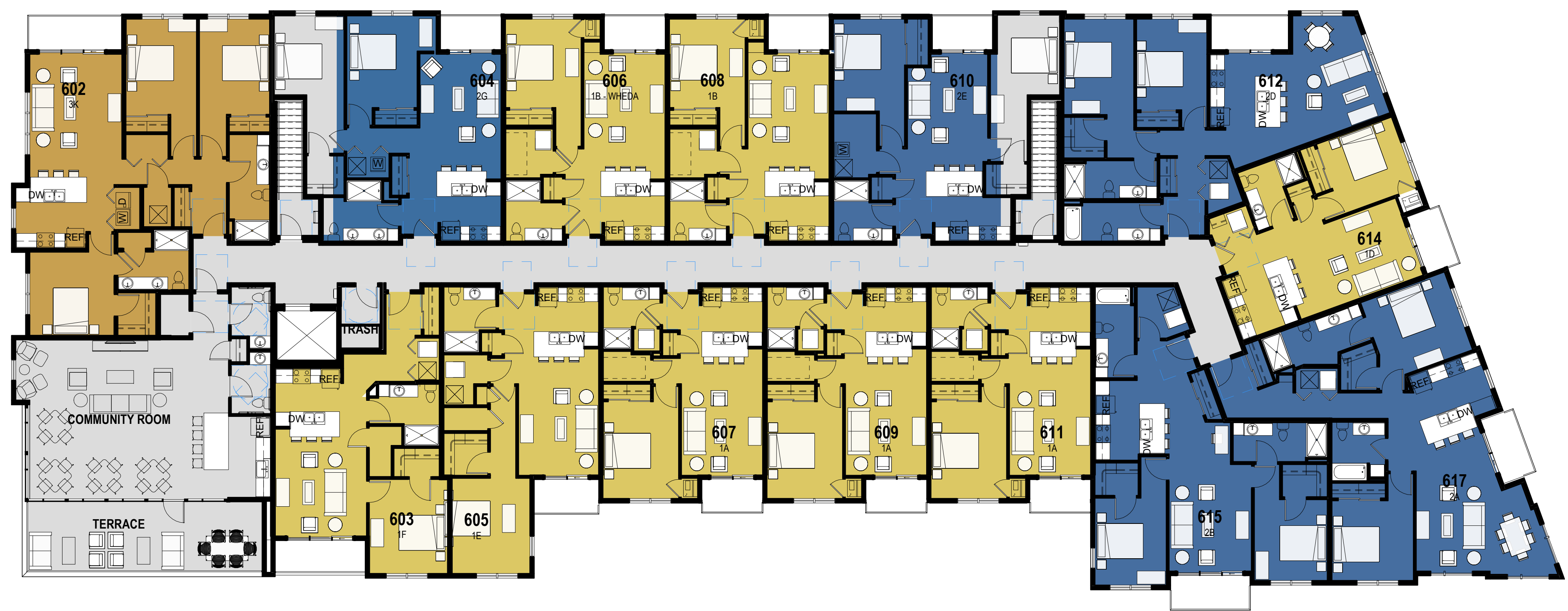
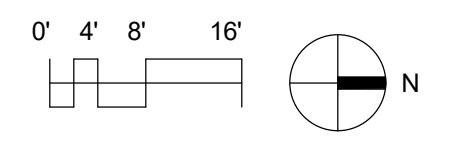
5 FIFTH FLOOR PLAN



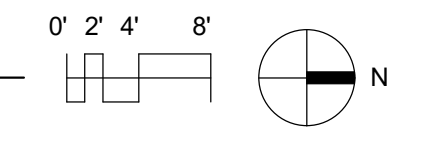
4 FOURTH FLOOR PLAN



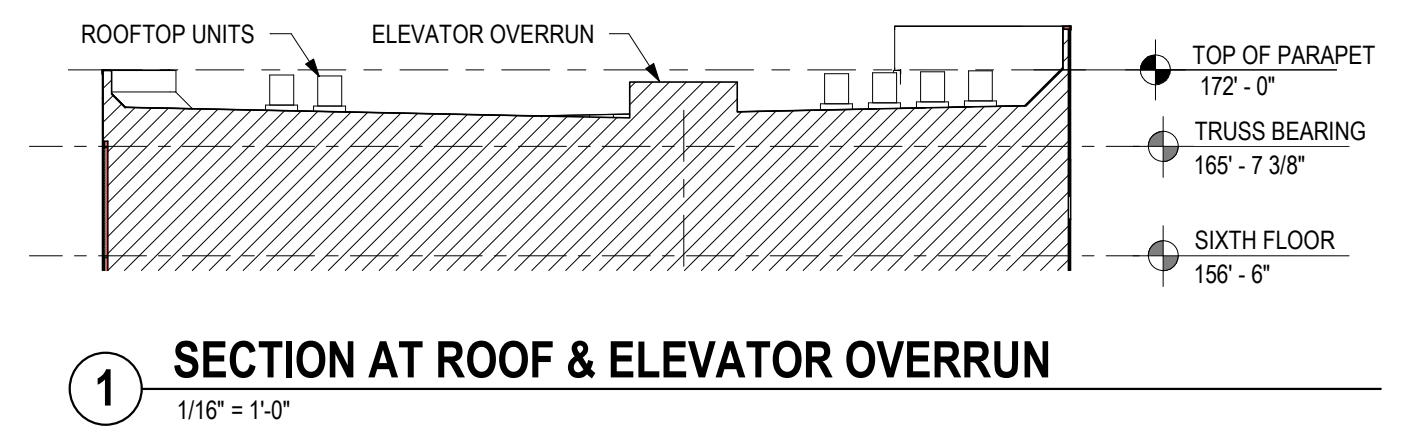
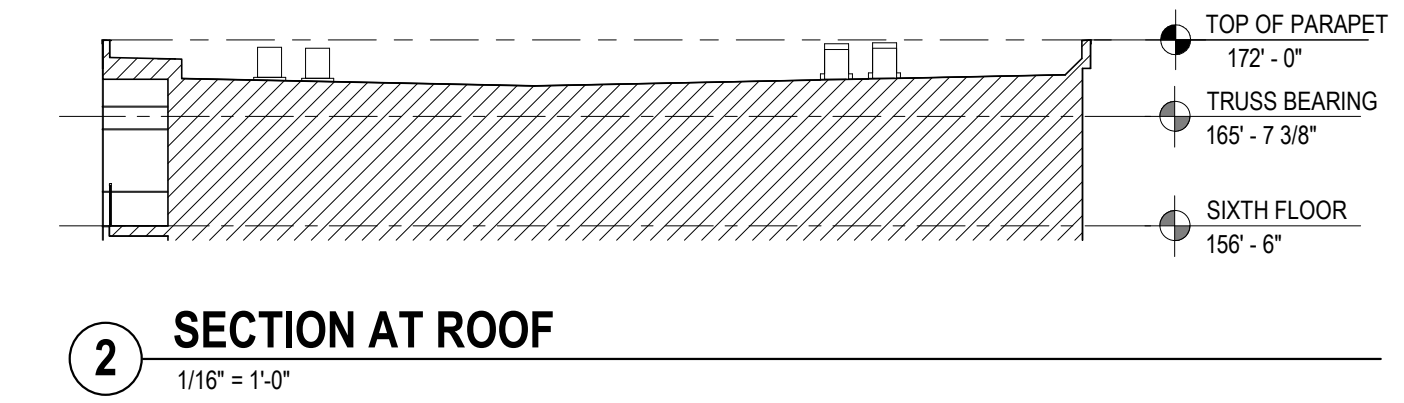
R ROOF PLAN
3/32" = 1'-0"



6 SIXTH FLOOR PLAN







N NORTH ELEVATION - Land Use Submittal
1/8" = 1'-0"



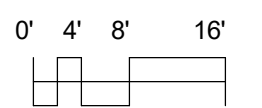
S SOUTH ELEVATION - Land Use Submittal
1/8" = 1'-0"



E EAST ELEVATION - Land Use Submittal
1/8" = 1'-0"



W WEST ELEVATION - Land Use Submittal
1/8" = 1'-0"





WDGE1 LED

Architectural Wall Sconce



Catalog Number **SEE BELOW**

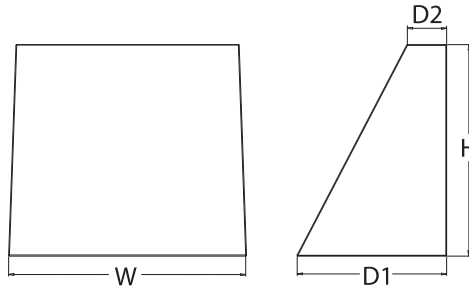
Notes

Type **TYPE A**

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
 (without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P1 P2	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.
		30K 3000K	90CRI	VW Visual comfort wide		
		35K 3500K				
		40K 4000K				
		50K ¹ 5000K				

Options	Finish
E4WH ³ Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze
PE ⁴ Photocell, Button Type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
	DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD U WDGE 3/8inch Architectural Wall Spacer (specify finish)
 WDGE1PBBW DDBXD U WDGE1 surface-mounted back box (specify finish)

NOTES

- 50K not available in 90CRI.
- 347V not available with E4WH, DS or PE.
- E4WH not available with PE or DS.
- PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE1 LED
 Rev. 01/04/21

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

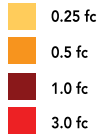
To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

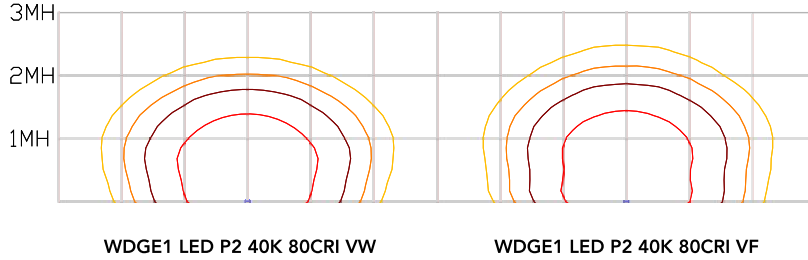
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



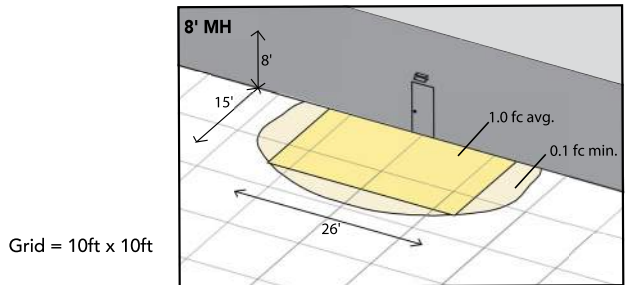
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

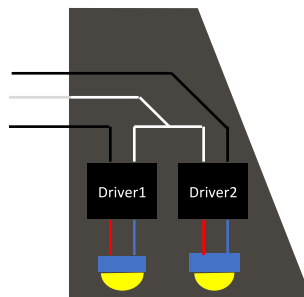


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9





E4WH – 4W Emergency Battery Backup

D = 5.5"

H = 8"

W = 9"



PBBW – Surface-Mounted Back Box
Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

WARRANTY

5-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



WEDGE2 LED

Architectural Wall Sconce



Catalog Number **SEE BELOW**

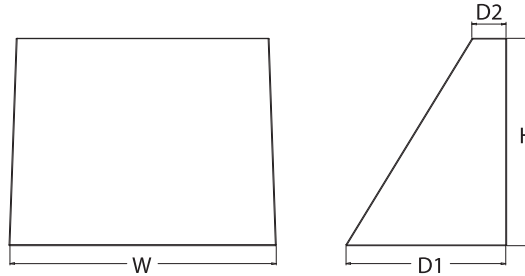
Notes

Type **TYPE B**

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs
(without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WEDGE family provides additional energy savings and code compliance.

WEDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WEDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE2 LED	P1 ¹ P2 ¹ P3 ¹ P4 ¹ P5 ¹	P1SW P2SW P3SW Door with small window (SW) is required to accommodate sensors. See page 2 for more details. 50K ²	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K ² 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 ³ 480 ³ SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁷

Shipped separately
AWS 3/8inch Architectural wall spacer
PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options	Finish
E4WH Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min) E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min) E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) PE⁴ Photocell, Button Type DS⁵ Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) DMG⁶ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DBBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
Standalone Sensors/Controls (only available with P1SW, P2SW & P3SW) PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls (only available with P1SW, P2SW & P3SW) NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

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WEDGE2 LED
 Rev. 01/04/21

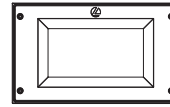
Accessories

Ordered and shipped separately.

WDGEAWS DDBXD U	WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE2P8BW DDBXD U	WDGE2 surface-mounted back box (specify finish)

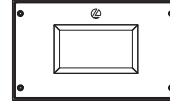
NOTES

- 1 P1-P5 not available with sensors/controls. Sensors/controls only available with P1SW, P2SW and P3SW.
- 2 50K not available in 90CRI
- 3 347V and 480V not available with E4WH, E10WH, E20WC or DS.
- 4 PE not available in 480V or with sensors/controls
- 5 DS option not available with E4WH, E10WH, E20WC or sensors/controls.
- 6 DMG option not available with sensors/controls
- 7 Not qualified for DLC. Not available with emergency battery backup or sensors/controls



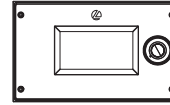
Default configuration with no sensors/controls.

Power Packages: P1, P2, P3, P4, P5



Small Window (SW) configuration

Power Packages: P1SW, P2SW, P3SW



Configuration with sensors/controls

Power Packages: P1SW, P2SW, P3SW

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1 / P1SW	10W	VF	1,166	119	0	0	0	1,209	123	0	0	0	1,251	128	0	0	0	1,256	128	0	0	0	1,254	128	0	0	0
		VW	1,197	122	0	0	0	1,241	126	0	0	0	1,284	131	0	0	0	1,289	131	0	0	0	1,286	131	0	0	0
P2 / P2SW	15W	VF	1,878	129	1	0	0	1,947	134	1	0	0	2,015	139	1	0	0	2,023	139	1	0	0	2,019	139	1	0	0
		VW	1,927	133	1	0	0	1,997	137	1	0	0	2,067	142	1	0	0	2,075	143	1	0	0	2,071	143	1	0	0
P3 / P3SW	23W	VF	2,908	129	1	0	0	3,015	134	1	0	0	3,119	138	1	0	0	3,132	139	1	0	0	3,126	139	1	0	0
		VW	2,983	132	1	0	0	3,093	137	1	0	0	3,200	142	1	0	0	3,213	143	1	0	0	3,206	142	1	0	0
P4	35W	VF	4,096	117	1	0	1	4,247	121	1	0	1	4,394	126	1	0	1	4,412	126	1	0	1	4,403	126	1	0	1
		VW	4,202	120	1	0	0	4,357	125	1	0	1	4,508	129	1	0	1	4,526	129	1	0	1	4,517	129	1	0	1
P5	48W	VF	5,567	115	1	0	1	5,772	119	1	0	1	5,972	123	1	0	1	5,996	124	1	0	1	5,984	124	1	0	1
		VW	5,711	118	1	0	1	5,921	122	1	0	1	6,127	126	1	0	1	6,151	127	1	0	1	6,139	127	1	0	1

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1 / P1SW	10W	0.082	0.049	0.043	0.038	--	--
	13W	--	--	--	--	0.046	0.033
P2 / P2SW	15W	0.132	0.081	0.072	0.064	--	--
	18W	--	--	--	--	0.056	0.041
P3 / P3SW	23W	0.195	0.114	0.100	0.088	--	--
	26W	--	--	--	--	0.079	0.058
P4	35W	0.302	0.175	0.152	0.134	--	--
	38W	--	--	--	--	0.115	0.086
P5	48W	0.434	0.241	0.211	0.184	--	--
	52W	--	--	--	--	0.157	0.119

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647
E10WH	VF	1,658
	VW	1,701
E20WC	VF	2,840
	VW	2,913

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



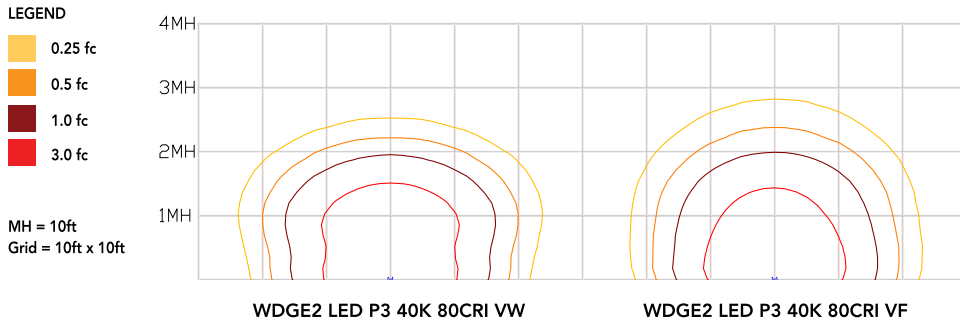
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WDGE2 LED
Rev. 01/04/21

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.



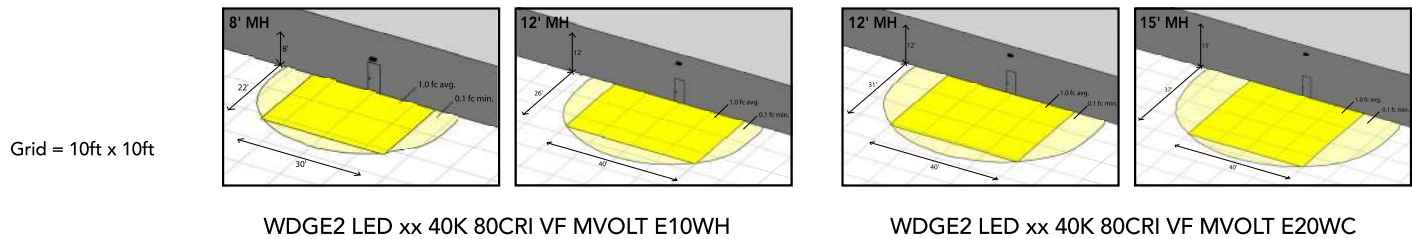
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

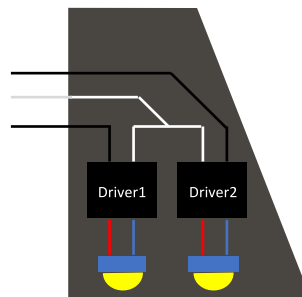
The examples below show illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E10WH or E20WC and VF distribution.



Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



Motion/Ambient Sensor (PIR, PIRH)

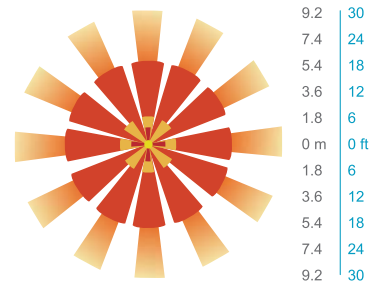
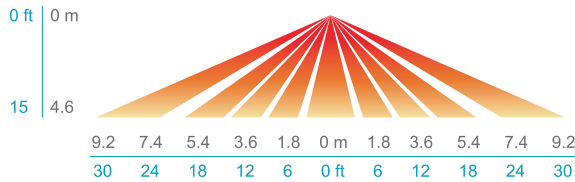
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

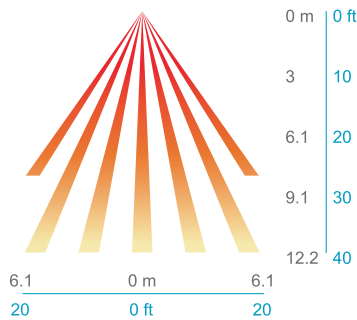
PIR

HIGH VIEW

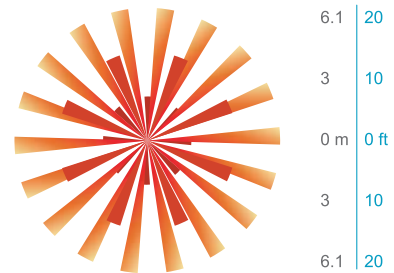


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



NLTAIR2 PIR – nLight AIR Motion/Ambient Sensor

D = 7"

H = 11"

W = 11.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"

H = 9"

W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Project: <input style="width: 90%;" type="text"/>	Type: <input style="width: 90%; color: red;" type="text" value="TYPE C"/>
Prepared By: <input style="width: 90%;" type="text"/>	Date: <input style="width: 90%;" type="text"/>

Technical Specifications

Compliance

UL Listed & UL Classified:

Suitable for wet locations

ENERGY STAR V2.2:

This product is ENERGY STAR® Version 2.2 Certified.

Energy Star Model Number:

DLC0030

California Title 24:

Can be used to conform with the requirements of California Title 24 Part 6.

Electrical

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

<20%

Power Factor:

≥0.9

THDi:

Produces less than 20% THD

PF:

≥0.9

Input Voltage:

120V through 277V

Operating Frequency (Hz):

50/60Hz

Performance

Lifespan:

50,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IC Rated:

Suitable for direct contact with insulation. Type IC inherently protected, suitable for direct contact to air permeable insulation and cULus listed for damp locations. Not for use in direct contact with spray foam insulation, consult NEMA LSD57-2013.

Air Tight:

Housing certified Air Tight as per ASTM E283

Technical Specifications (continued)

Construction

Color Temperature Selectable:

Choose the color temperature before installing with integrated switch

Trim Style:

Smooth Trim

Housing:

Constructed from durable steel sheet metal

Cold Weather Starting:

The minimum starting temperature is -30°C (-22°F)

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Green Technology:

Mercury and UV free. RoHS-compliant components.

Mounting:

Robust retention clips spring loaded tabs ensure the fixture is securely installed. Can be installed in 1/4" to 1 1/2" thick ceilings.

Lens:

Diffuse Polystyrene lens produces smooth uniform light that is glare free

Finish:

Matte White

Optical

Beam Angle:

120°

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Wattage Equivalency:

1 x 26W/1 x 32W/1 x 42W(2x26W) CFL

R9 Value:

High color performance with R9 greater than or equal to 50

Flicker:

Silent and flicker free operations of less than 30%

Other

Template:

Template included for easy ceiling cut out

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

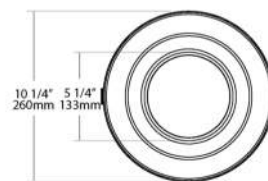
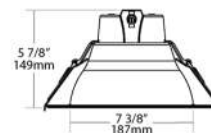
Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

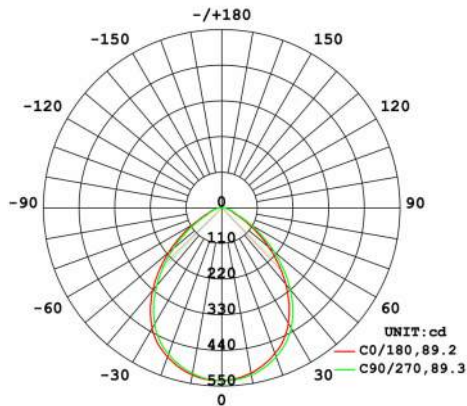
Case and Pallet Dimensions

	QTY	LENGTH (in)	WIDTH (in)	HEIGHT (in)
CASE	4	21.38	10.87	13.39
PALLET	72	10.43	10.43	40.16

Dimension



Light Distribution



Features

- High Performance LEDs for commercial applications
- Replacement for traditional compact fluorescent recessed downlights
- Compatible with new construction or retrofit installations
- UL wet and Energy Star rated
- Meets air-tight requirements
- Lumen and Color Temperature Selectable
- Matte white smooth trim finish
- Available in 3 color temperatures: 3000K, 3500K, 4000K
- 0 - 10V dimmable
- Spring loaded retention clips
- 25-inch Flexible conduit
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Size	Shape	Wattage	CRI/Color Temp	Voltage	Finish
C	8	R	10/15/22	9FA	UNV	W
	6 = 6" 8 = 8" 9.5 = 9.5"	R = Round	7/10/18 = 700lm-1500lm 9/12 = 700lm-900lm 10/15/22 = 1000lm-2000lm 14/18 = 1200lm-1500lm 20/25/32 = 2000lm-3000lm	9FA = 90 CRI, Field Adjustable	UNV = 120-277V	W = White



Weight: 3.0 lbs

Project:

Type:

TYPE C - HOUSING

Prepared By:

Date:

Technical Specifications

Other

Product Type:

Mounting Frame

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Construction

Size:

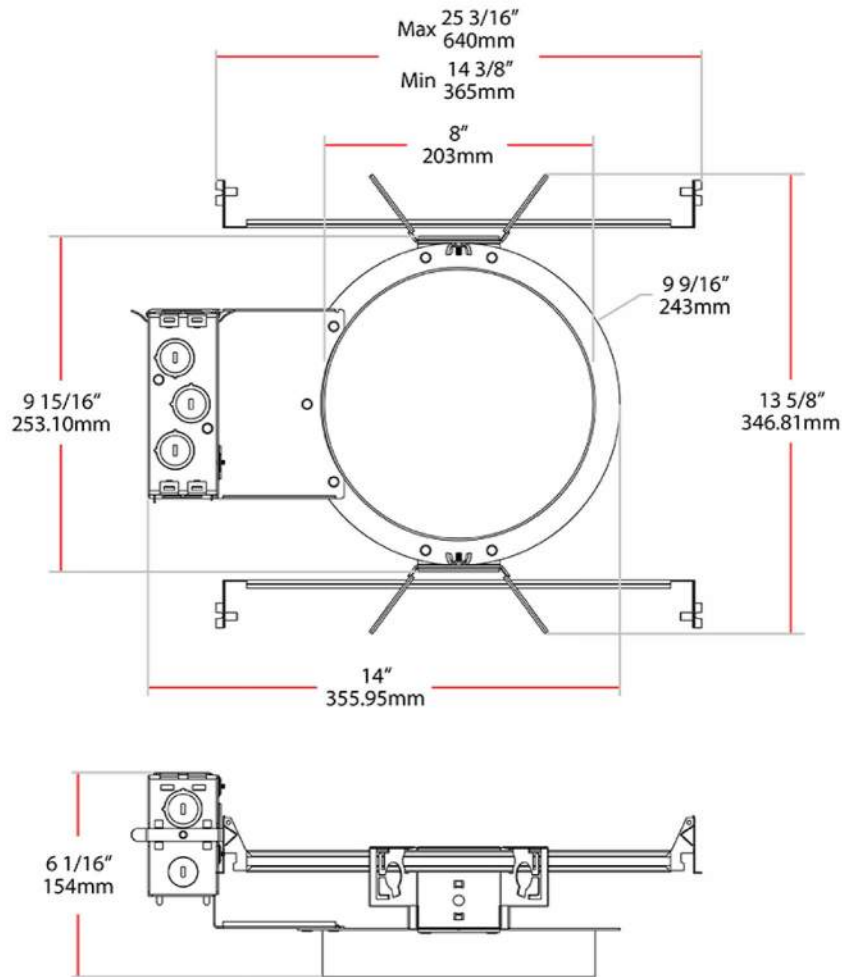
8"

Compliance

Lawful for Sale in California:

Yes

Dimensions



BEAM

TYPE D

STANDARD SPECIFICATIONS

HOUSING

Heavy duty, commercial-grade assembly constructed of die-formed aluminum with welded ends. Tapered housing attaches to aluminum mounting plate to create wiring compartment. Hardware consists of tamper resistant, stainless steel screws.

DIFFUSER

Sturdy, 0.100" thick, matte white acrylic cylinder (O.D. 2.75"). UV stabilized. The entire diffuser assembly is watertight and is bolted to the housing with stainless steel hardware. End cap assemblies are constructed of aluminum and are attached with tamper resistant, stainless steel screws.

LED PERFORMANCE - 3500K STANDARD

120-277V - 3500K, 82 CRI - L80 rating - 60,000 hrs - L70 rating (projected) - 100,000 hrs
 Amperage rated @ 110V input, 0-10V dimming compatible (all except H08)
 Operating ambient temperature: -20°C / -4°F - 40°C / 104°F
 Refer to Wattage section for lumen output. Consult Brownlee.com for performance of all CCTs.

MOUNTING

Designed to be mounted directly to a standard j-box (by others). The mounting plate has additional holes at the ends for anchors if necessary. Can be mounted vertically, horizontally or on the ceiling.

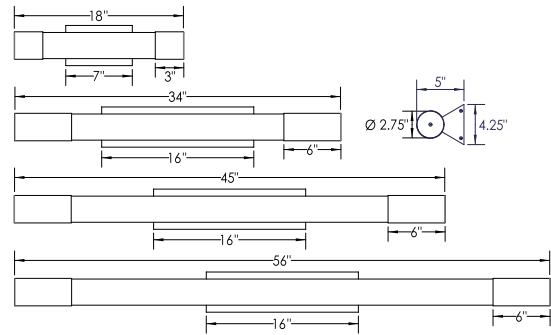
FINISH

All 7176 parts are prepared using a three step pre-treatment/sealing process, followed by a powder coat primer prior to applying any of the Brownlee finishes.

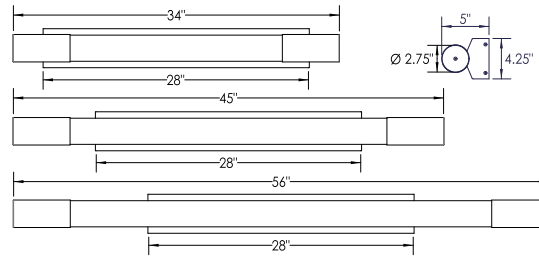
WARRANTY

5 year limited warranty on this LED product. Consult factory for details.

STANDARD DIMENSIONS



EXTENDED HOUSING*



ORDERING INFORMATION

*Products ordered with BBI, BBC or EXT utilize Extended Housing. Refer to web page for photo.



7176

Model	2.	3.	4.	5.	6. (if required)
2. SIZE					
18 L: 18"					
34 L: 34"					
45 L: 45"					
56 L: 56"					
3. FINISH					
STANDARD					
AB	Antique Bronze				
AS	Antique Silver				
BL	Black				
BZ	Bronze				
DB	Desert Bronze				
GM	Gun Metal				
MB	Metallic Bronze				
NT	Nickel Tone				
PL	Platinum				
WH	White				
CUSTOM					
	Provide color sample or RAL code to match				
4. WATTAGE					
18 SIZE					
H08	8W H Series LED, .07 A input, 698 delivered lumens. Dimmable (0-10V).				
34 SIZE					
H16	16W H Series LED, .14 A input, 1624 delivered lumens. Dimmable (0-10V).				
H21	21W H Series LED, .18 A input, 1946 delivered lumens. Dimmable (0-10V).				
45 SIZE					
H25	25W H Series LED, .20 A input, 2444 delivered lumens. Dimmable (0-10V).				
H31	31W H Series LED, .27 A input, 2979 delivered lumens. Dimmable (0-10V).				
56 SIZE					
H32	32W H Series LED, .26 A input, 3104 delivered lumens. Dimmable (0-10V).				
H41	41W H Series LED, .35 A input, 3792 delivered lumens. Dimmable (0-10V).				
5. COLOR TEMPERATURE					
35K	3500K standard color temperature				
30K	3000K color temperature				
40K	4000K color temperature				
6. AVAILABLE OPTIONS					
BAC ¹	Buy American Compliant				
BBI ^{2*}	Integral Battery Backup (Indoor only) (H Series only, not available in 18 size. Utilizes Extended Housing)				
BBC ^{2*}	Integral Battery Backup, Cold Weather (H Series only, not available in 18 size. Utilizes Extended Housing)				
DTR ⁴	Triac Dimming				
ES ⁶	ENERGY STAR® (H16, H25, H32 Only)				
EXT	Extended Housing (Intended to match BBI/BBIC aesthetic) (not available in 18 size)				
FCL ⁷	French Canadian Labels				

*Delivered lumens noted in 4000K.

Notes: (0) 90R - cannot be combined with ES. (1) BAC - cannot be combined with FCL. (2) BBI/BBS/BBC - cannot be combined with ECW, EXT, or T24. (3) BLD - includes integral OCC sensor (do not combine with OCC option). Cannot be combined with DTR or T24. (4) DTR - cannot be combined with BLD or T24. (5) ECW - cannot be combined with BBI, BBC, or DTR. (6) ES - cannot be combined with 90R or T24. (7) FCL - cannot be combined with BAC or T24. (8) OCC - integral ON/OFF occupancy sensor. (9) T24 - includes JA8 labeling and 90 CRI LEDs (do not combine with 90R option). Cannot be combined with BBI, BBC, BBS, BLD, DTR, ES, or FCL. (10) BBS - cannot be combined with BLD, ECW, EXT, OCC, or T24. (11) PCH/PC4 - cannot be combined with BLD or OCC.
Add'l Notes: *BBI/BBS/BBC - standard BBI (and BBS) option has a minimum operating temperature of 10C/50F. BBC option has a minimum operating temperature of -20C/-4F. **BLD - integral OCC sensor with onboard control. 1: Motion is detected, illuminate to 100%. 2: Motion no longer detected, dim to 50% (factory default), 30%, 20% or 10%. 3: Remain in continuous dimmed state (factory default) or turn off after set period.

Specifications and dimensions subject to change without notice.

Consult your Brownlee Lighting representative for availability and ordering information.

