

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submission reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 1224 South Park Street

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested August 14

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify

4. Applicant, Agent, and Property Owner Information

Applicant name John Van Note
Street address 1955 Atwood Ave
Telephone 608-577-7936

Company SARA Investment Real Estate Inc
City/State/Zip Madison, WI 53704
Email jvannote@sarainvest.com

Project contact person Amy S Hasselman
Street address 242 E Main St suite 201
Telephone 608-825-0094 x25

Company KONTEXT architects llc
City/State/Zip Sun Prairie, WI 53590
Email amy@kontextarchitects.com

Property owner (if not applicant) Twelve Park LLC
Street address 1955 Atwood Avenue
Telephone 608-577-7936

City/State/Zip Madison, WI 53704
Email jvannote@sarainvest.com

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

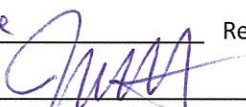
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on May 22, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant John Van Note Relationship to property Attorney
 Authorizing signature of property owner  Date 6-19-19

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Sun Prairie - Madison Office
242 East Main Street, Suite #201
Sun Prairie, WI 53590
V: 608.825.0094
V: 608.251.7515
F: 866.926.9351



Wausau Office
4404 Rib Mountain Drive #244
Wausau, WI 54401
V: 715.803.2736
F: 866.926.9351

26 June 2019

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, JR. Blvd.
Madison, WI 53701

RE: 1224 S PARK STREET – DEMOLITION & RECONSTRUCTION IN URBAN DESIGN DISTRICT #7

It is the intent of SARA Investment Real Estate, Bauer & Raether Builders, and KONTEXT architects to demolish the existing small strip mall at 1224 S Park St and construct a new 2-story commercial building over lower level parking on the site. The existing structure has become structurally unsound.

The proposed new building will retain lower level parking accessed via High Street. Customer parking accessed from S Park St is a single drive, double-loaded row that uses less than 50% of the street frontage. The main entrance is located at the corner of S Park St and the customer parking, to be clearly identifiable from both. The façade is broken into vertical circulation areas with exterior burnished and splitface CMU, and storefront areas with first floor brick veneer and aluminum storefront windows. All storefront extends to the floor for flexibility of retail and service business layouts throughout the life of the building. Upper level main wall finish is fiber cement panel. Flat roof overhangs and canopies are prefinished metal. The building is set back 8'-10' from the front property line to allow for landscaping, comfortable circulation at entries, parking lot screening, and bicycle parking. Side setbacks for the building and parking provide landscaped buffers and water infiltration. Secured lower level parking will be screened by ornamental metal fencing, solid at the integrated trash enclosure.

Signage will be submitted separately.

Sincerely,

John Van Note
Owner Representative

Amy S Hasselman, AIA

Cree Edge™ Series

LED Area/Flood Luminaire

Product Description

The Cree Edge™ Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, or Side Arm (details on page 2). Includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

*See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Bird Spikes XA-BRDSPK Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	Backlight Control Shields XA-20BLS-4 - Four-pack - Unpainted stainless steel

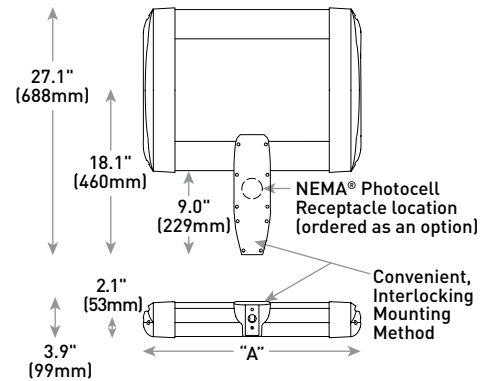
Ordering Information

Example: ARE-EDG-2M-AA-12-E-UL-SV-350

Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
ARE-EDG	2M Type II Medium 2MB Type II Medium w/BLS 2MP Type II Medium w/Partial BLS 3M Type III Medium 3MB Type III Medium w/BLS 3MP Type III Medium w/Partial BLS 4M Type IV Medium 4MB Type IV Medium w/BLS 4MP Type IV Medium w/Partial BLS 5M Type V Medium 5S Type V Short	AA Adjustable Arm DA Direct Arm DL Direct Long Arm	02	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA - Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current F Fuse - Refer to ML spec sheet for availability with ML options - Available with UL voltage only - Available for U.S. applications only - When code dictates fusing, use time delay fuse HL Hi/Low (Dual Circuit Input) - Refer to HL spec sheet for details - Sensor not included ML Multi-Level - Refer to ML spec sheet for details - Intended for downlight applications at 0° tilt P Photocell - Refer to ML spec sheet for availability with ML options - Available with UL voltage only
			04					
			06					
			08					
			10					
			12					
FLD-EDG	25 25° Flood 40 40° Flood 70 70° Flood SN Sign N6 NEMA® 6	AA Adjustable Arm SA Side Arm - Available with 20-60 LEDs	02	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA - Available with 20-60 LEDs	PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt R NEMA® Photocell Receptacle - Intended for downlight applications with maximum 45° tilt - Photocell by others - Refer to ML spec sheet for availability with ML options 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire
			04					
			06					
			08					

* Reference EPA and pole configuration suitability data beginning on page 19

DA Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

AA/DL/SA Mount - see page 22 for weight & dimensions



US: lighting.cree.com

T (800) 236-6800 F (262) 504-5415

Rev. Date: V7 R1 10/02/2018

Canada: www.cree.com/canada

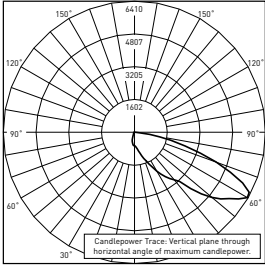


T (800) 473-1234 F (800) 890-7507

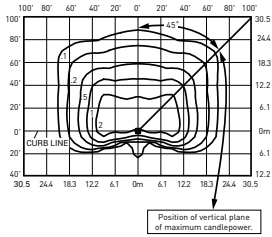
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/area/cree-edge-series-1>

4MB



RESTL Test Report #: PL01023-002B
 ARE-EDG-4MB-**-06-E-UL-525-40K
 Initial Delivered Lumens: 7,985



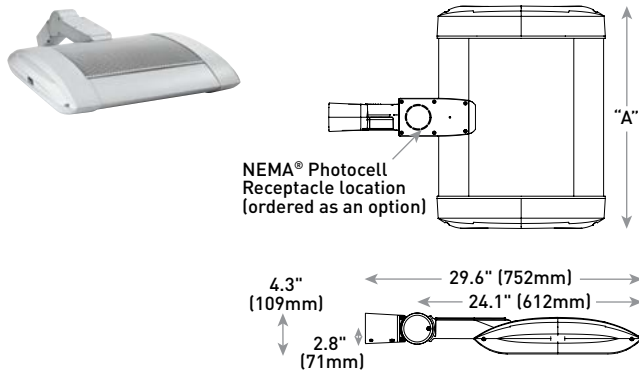
ARE-EDG-4MB-**-10-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 13,185
 Initial FC at grade

Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G2
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
14	12,924	B1 U0 G2	13,181	B1 U0 G2
16	14,771	B2 U0 G2	15,063	B2 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
10	13,185	B1 U0 G2	13,461	B1 U0 G2
12	15,821	B2 U0 G3	16,153	B2 U0 G3
14	18,341	B2 U0 G3	18,726	B2 U0 G3
16	20,962	B2 U0 G3	21,401	B2 U0 G3
700mA				
02	3,156	B1 U0 G1	3,220	B1 U0 G1
04	6,311	B1 U0 G2	6,440	B1 U0 G2
06	9,359	B1 U0 G2	9,549	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

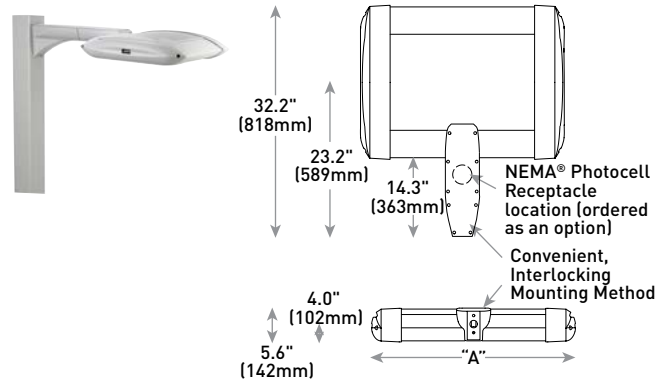
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

AA Mount



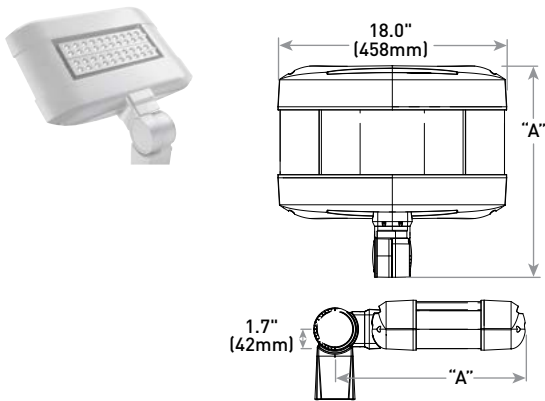
LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	21 lbs. (10kg)
04	12.1" (306mm)	24 lbs. (11kg)
06	14.1" (357mm)	27 lbs. (12kg)
08	16.1" (408mm)	28 lbs. (13kg)
10	18.1" (459mm)	32 lbs. (15kg)
12	20.1" (510mm)	34 lbs. (15kg)
14	22.1" (560mm)	37 lbs. (17kg)
16	24.1" (611mm)	41 lbs. (19kg)

DL Mount



LED Count (x10)	Dim. "A"	Weight
02	12.1" (306mm)	23 lbs. (10kg)
04	12.1" (306mm)	26 lbs. (12kg)
06	14.1" (357mm)	29 lbs. (13kg)
08	16.1" (408mm)	30 lbs. (14kg)
10	18.1" (459mm)	34 lbs. (15kg)
12	20.1" (510mm)	36 lbs. (16kg)
14	22.1" (560mm)	42 lbs. (19kg)
16	24.1" (611mm)	44 lbs. (20kg)

SA Mount



LED Count (x10)	Dim. "A"	Weight
02	16.0" (406mm)	25 lbs. (11kg)
04	18.0" (457mm)	26 lbs. (12kg)
06	20.0" (508mm)	28 lbs. (13kg)



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 1224 South Park Street, Madison, WI 53715

Name of Project 1224 South Park Street Redevelopment

Owner / Contact John Van Note (SARA Investment)

Contact Phone 608-577-7936 Contact Email jvannote@sarainvest.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 9,003 SF

Total landscape points required 150 pts

~~(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.~~

~~Total square footage of developed area _____~~

~~Five (5) acres = 217,800 square feet~~

~~First five (5) developed acres = 3,630 points~~

~~Remainder of developed area _____~~

~~Total landscape points required _____~~

~~(c) For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.~~

~~Total square footage of developed area _____~~

~~Total landscape points required _____~~

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			1	35
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			6	90
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			58	174
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			5	20
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			87	174
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			96'	38
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals				0		531

Total Number of Points Provided 531

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



Neighborhood Context Plan

Scale: Not to Scale



Revisions:

No.	Date:	Description:

Graphic Scale	Not to Scale
Project Number	1903
Set Type	ENTITLEMENT
Date Issued	06/26/2019
Sheet Number	A000



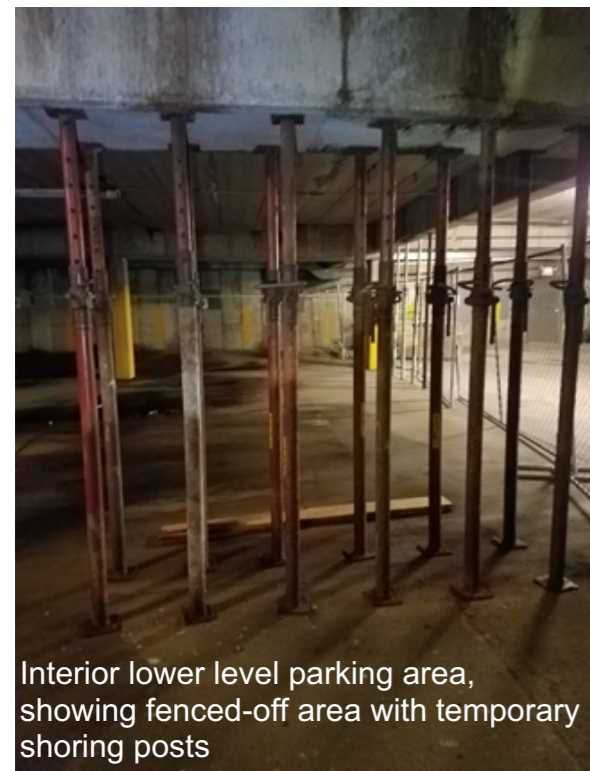
Exterior from Southeast



Exterior looking West



Exterior Lower Level with Neighbor to North and SSM parking lot to South



Interior lower level parking area, showing fenced-off area with temporary shoring posts



Staining on the concrete beams is from rusted rebar inside the precast concrete planks above and the beams themselves.



Lower level former office space with temporary shoring posts. Rust staining and spalled concrete visible.



Revisions:

No.	Date:	Description:

Graphic Scale	Not to Scale
Project Number	1903
Set Type	ENTITLEMENT
Date Issued	06/26/2019
Sheet Number	A001

GENERAL SURVEY NOTES: (THIS SHEET)

1. ALL PROPERTY AND R.O.W. LINES SHOWN ARE BASED ON CERTIFIED SURVEY MAP PREPARED BY MERIDIAN SURVEYING, LLC.
2. HORIZONTAL COORDINATES REFERENCED TO WISCONSIN COUNTY COORDINATE SYSTEM - DANE COUNTY.
3. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. CONTOUR INTERVAL IS ONE FOOT
5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES AND BY LOCATING DIGGERS HOT LINE FIELD MARKINGS.
6. PRIVATE UTILITIES SHOWN ARE BASED ON PRIOR PLANS AND ARE SCHEMATIC ONLY. NO FIELD VERIFICATION WAS COMPLETED. A PRIVATE UTILITY LOCATE SHALL BE PERFORMED PRIOR TO ANY EXCAVATION.
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF PUBLIC UTILITIES, CONTACT DIGGERS HOT LINE, AT 1.800.242.8511.
8. THE ACCURACY OF THE CONTROL POINTS AND BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. EDGE CONSULTING ENGINEERS, INC. DOES NOT WARRANT THE ACCURACY OF THESE CONTROL POINTS AND BENCHMARKS. THE ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS AND/OR DISCREPANCIES.

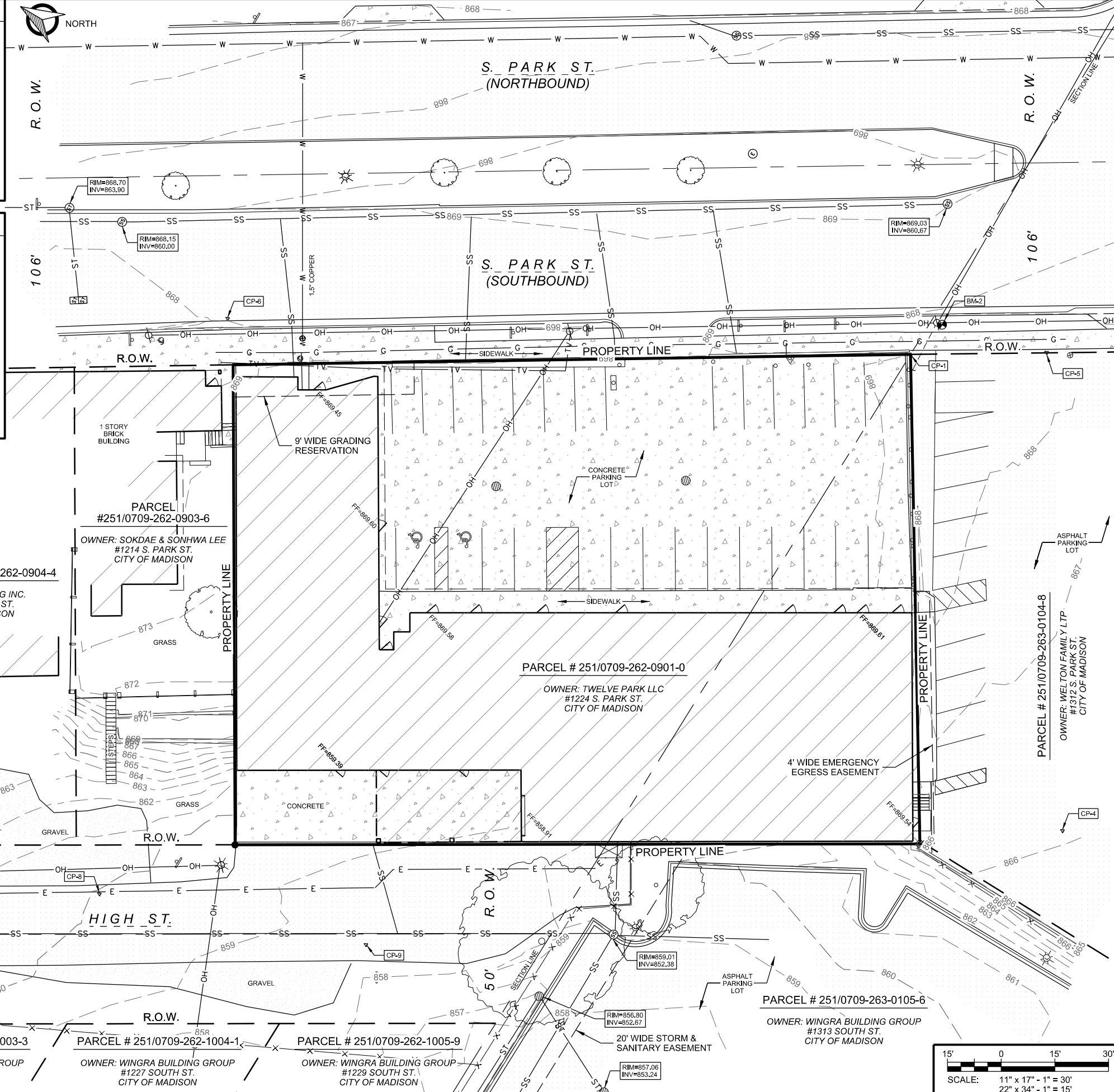
SURVEY LEGEND:

- | | | | |
|-----|--------------------------|---|-----------------------------|
| W | EX. WATER SERVICE | ⊠ | SIGNAGE |
| SS | EX. SANITARY SEWER | ⊠ | TRANSFORMER |
| ST | EX. STORM SEWER | ⊠ | PEDESTAL (ELEC./CABLE/TEL.) |
| G | EX. GAS | ⊠ | METER (PARKING) |
| E | EX. UNDERGROUND ELECTRIC | ⊠ | CURB INLET (INL) |
| OHE | EX. OVERHEAD ELECTRIC | ⊠ | CATCH BASIN (CB) |
| ⊠ | EX. MAN HOLE | ⊠ | BENCHMARK |
| ⊠ | HYDRANT | ⊠ | CONTROL POINT |
| ⊠ | VALVE | ⊠ | SOIL BORING |
| ⊠ | UTILITY POLE | ⊠ | IRON PIPE - FOUND |
| ⊠ | LIGHT POLE | ⊠ | EXISTING CONTOUR |
| ⊠ | CONCRETE | ⊠ | GRAVEL |
| ⊠ | ASPHALT | ⊠ | LANDSCAPE/MULCH BED |

SURVEY DATA	
SURVEY DATE(S)	1/17/2019
HORIZONTAL COORD. SYSTEM	DANE COUNTY - NAD83
VERTICAL DATUM	NAVD 88
CONTROL SOURCE	GPS - WISCONSIN
SURVEY UNITS	US SURVEY FOOT

BENCHMARK		
POINT ID	ELEVATION	DESCRIPTION
BM-1	862.51	NAIL IN UTILITY POLE
BM-2	869.58	NAIL IN UTILITY POLE
BM-3	870.57	HYDRANT "6-6" BURY TAG BOLT @ INTERSECTION OF SPRUCE & S. PARK

CONTROL POINTS			
POINT ID	NORTHING	EASTING	DESCRIPTION
CP-1	474938.509	818038.161	PK NAIL SET IN ASPHALT
CP-4	474834.092	817945.52	PK NAIL SET IN ASPHALT
CP-5	474906.213	818058.221	PK NAIL SET IN ASPHALT
CP-6	475107.894	817949.419	PK NAIL SET IN ASPHALT
CP-7	475194.259	817880.518	PK NAIL SET IN ASPHALT
CP-8	475056.539	817792.8	PK NAIL SET IN ASPHALT
CP-9	474985.228	817818.641	PK NAIL SET IN ASPHALT



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53787
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

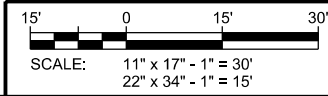
PROJECT:

EXISTING SITE PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	BJB, NED
CHECKED BY	AJO, BJB
PLOT DATE	6/26/2019
PROJECT NUMBER	21781
SET TYPE	FR
SHEET NUMBER	V-101



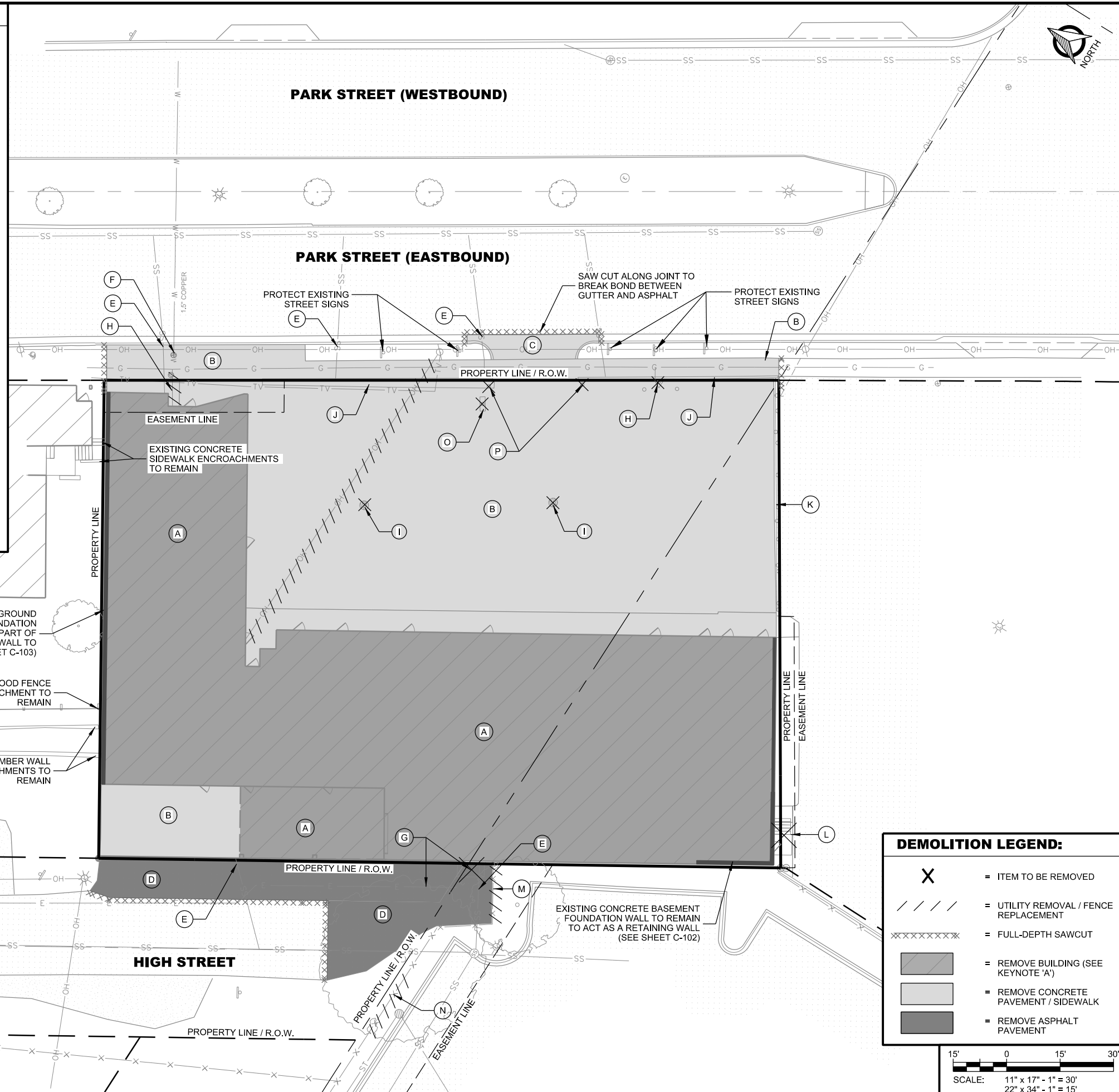
R:\2170021781\CAD\Plan\1-101.dgn

GENERAL DEMOLITION NOTES:

1. IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THEN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PREFORM WORK CONTAINED ON THIS DRAWING. EXCAVATION SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.
2. EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCREPANCIES REPORTED TO ENGINEER PRIOR TO STARTING OF WORK.
3. ALL UTILITY SERVICES TO EXISTING BUILDINGS SCHEDULED FOR DEMOLITION SHALL BE REMOVED BY UTILITY PROVIDER OR CONTRACTOR WHERE ALLOWED. MAINTAIN ALL OTHER UTILITY SERVICES ADJACENT TO THIS PROJECT IN SERVICE THROUGHOUT PROJECT. RELOCATE EXISTING UTILITY SERVICES WHEN REQUIRED. CONTRACTOR TO COORDINATE CONSTRUCTION SEQUENCING WITH ALL AFFECTED UTILITIES. A LISTING OF KNOWN UTILITY PROVIDERS IS AS FOLLOWS:
 NATURAL GAS (MADISON GAS & ELECTRIC)
 ELECTRIC (MADISON GAS & ELECTRIC)
 WATER / SEWER (CITY OF MADISON)
 TELECOMMUNICATIONS (AT&T)
 CABLE TV (CHARTER COMMUNICATIONS)
4. ALL BENCHMARKS & CONTROL POINTS SHALL BE PROTECTED & MAINTAINED THROUGHOUT PROJECT.
5. STAGING AREAS SHALL BE LOCATED WITHIN THE PROPERTY.
6. BASEMENT FOUNDATIONS LOCATED WITHIN NEW BUILDING FOOTPRINT SHALL BE REMOVED COMPLETELY. PORTIONS OF FOUNDATION WALLS ON THE EXTERIOR OF THE PROPERTY SHALL REMAIN IN PLACE AS SHOWN ON THIS SHEET.
7. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE, TO PROTECT THE PUBLIC AND ALLOW CONTINUED ACCESS TO NEIGHBORING BUILDINGS OUTSIDE OF THE PROJECT LIMITS.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH NR447 FOR DUST CONTROL. DEMOLITION TO BE COMPLETED KEEPING BUILDING MATERIALS WET ALLOWING NO VISIBLE EMISSIONS.
9. CONTRACTOR SHALL REMOVE, CONTAIN AND PROPERLY DISPOSE OF ALL HVAC SYSTEMS AND REFRIGERANTS FROM EXISTING A/C UNITS AND OTHER COOLING SYSTEMS.
10. CONTRACTOR TO NOTIFY THE MADISON WATER UTILITY TO REMOVE WATER METERS PRIOR TO DEMOLITION. ALL REMOVED WATER SERVICES SHALL BE ABANDONED IN ACCORDANCE WITH CITY OF MADISON WATER UTILITY REQUIREMENTS.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS TO PERMANENTLY PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVE THE BUILDING(S) BEING DEMOLISHED AT THE MAIN. FOR EACH LATERAL TO BE PERMANENTLY PLUGGED THE CONTRACTOR SHALL PAY FOR THE APPROPRIATE DEPOSITS AND FEES IN ACCORDANCE WITH CITY REQUIREMENTS.
12. SOIL STOCKPILES EXISTING FOR MORE THAN 7 DAYS SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER APPROVED MEANS.

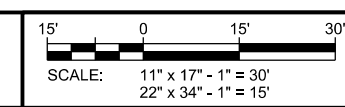
KEYNOTES: (THIS SHEET)

- A. COMPLETELY REMOVE INTERIOR BUILDING WALLS, FLOORS, CEILINGS, AND FOUNDATIONS. EXTERIOR FOUNDATION WALLS TO REMAIN AS NECESSARY THROUGHOUT CONSTRUCTION.
- B. REMOVE CONCRETE PAVEMENT AND SIDEWALK
- C. REMOVE EXISTING DRIVEWAY & CURB
- D. REMOVE ASPHALT PAVEMENT
- E. PLUG SANITARY SERVICE PER CITY OF MADISON REQUIREMENTS
- F. ABANDON WATER SERVICE PER CITY OF MADISON REQUIREMENTS
- G. DECOMMISSION ELECTRIC SERVICE. TRANSFORMER TO BE RELOCATED.
- H. REMOVE GAS METER & SERVICE LINE COORDINATE WITH UTILITY PROVIDER
- I. REMOVE STORM SEWER CATCH BASIN & ASSOCIATED PIPING
- J. REMOVE CONCRETE RETAINING WALL & METAL FENCE
- K. REMOVE GUARDRAIL & POSTS
- L. REMOVE METAL STAIRS
- M. REMOVE SECTION OF CHAIN-LINK FENCE
- N. REMOVE SECTION OF CHAIN-LINK FENCE & REPLACE AFTER NEW STORM SEWER CONNECTION HAS BEEN INSTALLED
- O. SALVAGE & REMOVE BUILDING SIGN TO OWNER
- P. REMOVE OVERHEAD PARKING ENTRANCE BARRIER



DEMOLITION LEGEND:

X	= ITEM TO BE REMOVED
////	= UTILITY REMOVAL / FENCE REPLACEMENT
XXXXXXXXXX	= FULL-DEPTH SAWCUT
[Hatched Box]	= REMOVE BUILDING (SEE KEYNOTE 'A')
[Light Gray Box]	= REMOVE CONCRETE PAVEMENT / SIDEWALK
[Dark Gray Box]	= REMOVE ASPHALT PAVEMENT



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

DEMOLITION PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	BJB, NED
CHECKED BY	AJO, BJB
PLOT DATE	6/26/2019
PROJECT NUMBER	21781
SET TYPE	FR
SHEET NUMBER	C-100

R2170021781\CAD\Plan\C-100.dgn

ZONING SUMMARY

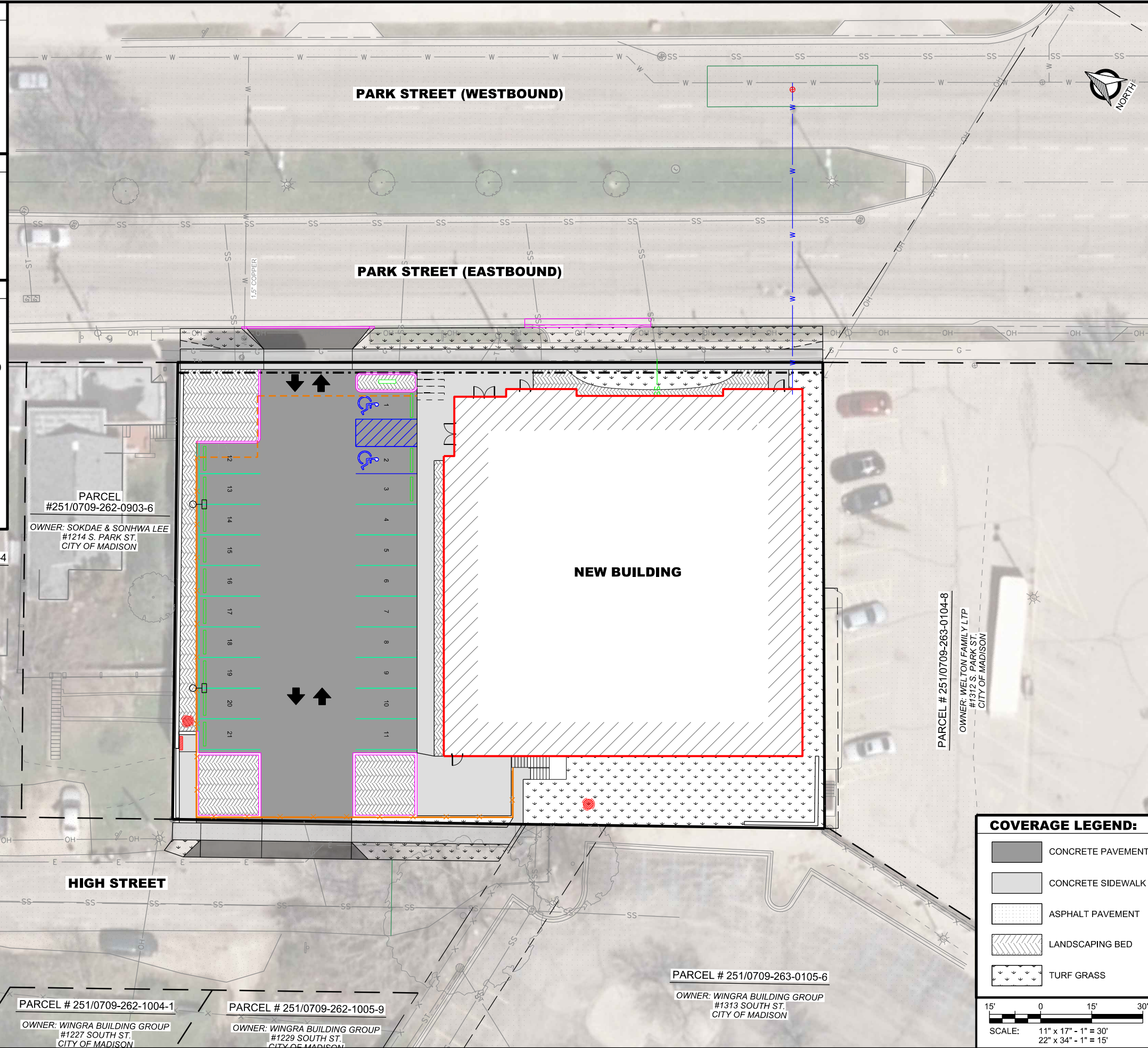
ZONING DISTRICT: CC-T (COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT)
 FRONT YARD SETBACK: NONE
 SIDE YARD SETBACK: 6'
 REAR YARD SETBACK: 20' (EXCEPT ALONG HIGH STREET FRONTAGE, SETBACK = 0')
 MAX LOT COVERAGE: 85%
 ZONING REQUIREMENTS PER SECTION 28.067 CITY ZONING CODE.

REDEVELOPMENT SUMMARY

CURRENT LOT AREA: 25,813 SF (0.593 AC)
 CURRENT IMPERVIOUS AREA: 25,613 SF (99.2%)
 PROPOSED PAVEMENT AREA: 9,796 SF
 PROPOSED BUILDING FOOTPRINT: 11,178 SF
 TOTAL PRO. IMPERVIOUS AREA: 20,974 SF (81.3%)
 PROPOSED PERVIOUS AREA: 4,839 SF (18.7%)

PARKING SUMMARY

LAND USE: TBD PERMITTED USE IN CC-T
 BUILDING FLOOR AREA: 19,710 SF TOTAL
 MAIN FLOOR AREA: 9,670 SF
 UPPER FLOOR AREA: 10,040 SF
 PROPOSED STALL COUNT: 70 TOTAL (INCLUDES 4 ADA STALLS)
 SURFACE STANDARD STALLS: 19 STALLS
 SURFACE ADA STALLS: 2 STALLS
 BASEMENT STANDARD STALLS: 47 STALLS
 BASEMENT ADA STALLS: 2 STALLS
 STALL TO FLOOR AREA RATIO: 1 STALL PER 281.6 SF
 PROPOSED BIKE STALLS: 10 (4 AT SURFACE, 6 IN BASEMENT)
 BIKES TO FLOOR AREA RATIO: 1 BIKE PER 1,971 SF
 LOADING SPACE: 1 - 10'x35' SPACE REQUIRED. THIS SPACE WILL BE IN THE SURFACE PARKING DRIVE AISLE PER SECTION 28.141(13)(e) OF THE ZONING CODE



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53678
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

AERIAL SITE PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

INT.	DATE	DESCRIPTION

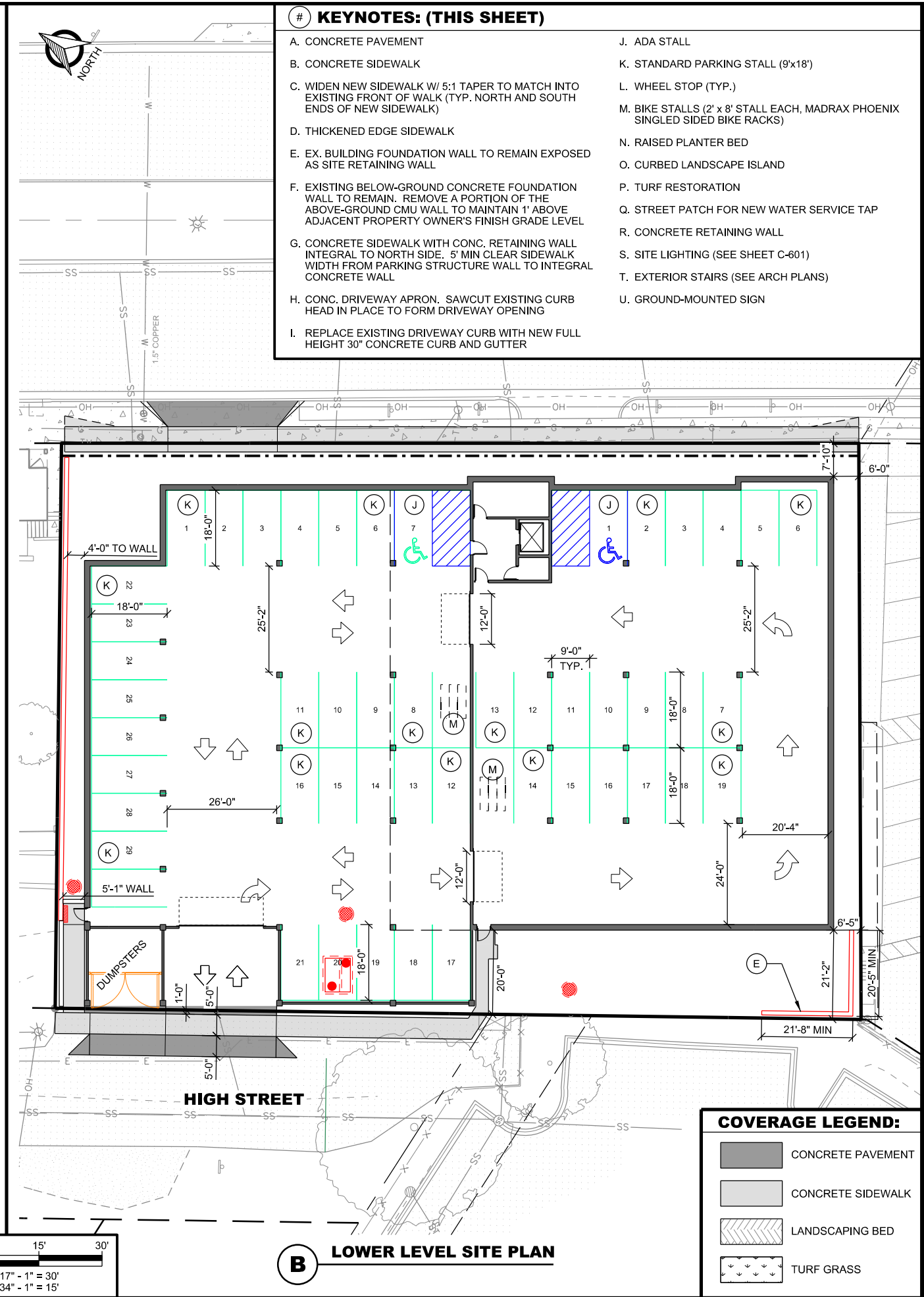
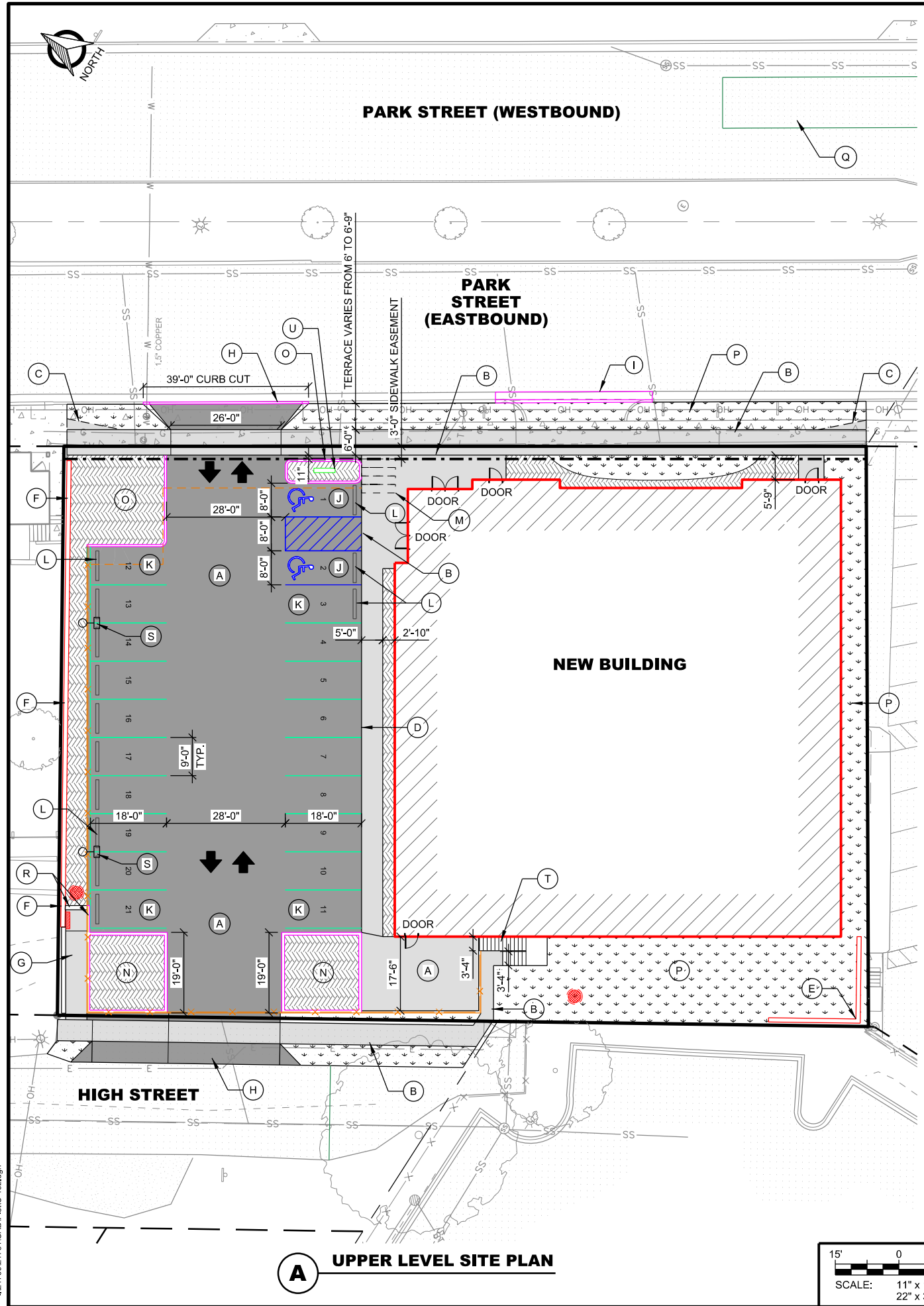
DRAWN BY	BJB, NED
CHECKED BY	AJO, BJB
PLOT DATE	6/26/2019
PROJECT NUMBER	21781
SET TYPE	FR
SHEET NUMBER	C-101

COVERAGE LEGEND:

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- LANDSCAPING BED
- TURF GRASS

SCALE: 11" x 17" - 1" = 30'
 22" x 34" - 1" = 15'

R:\217002\1781\CAD\Plan\C-101.dgn



KEYNOTES: (THIS SHEET)

- A. CONCRETE PAVEMENT
- B. CONCRETE SIDEWALK
- C. WIDEN NEW SIDEWALK W/ 5:1 TAPER TO MATCH INTO EXISTING FRONT OF WALK (TYP. NORTH AND SOUTH ENDS OF NEW SIDEWALK)
- D. THICKENED EDGE SIDEWALK
- E. EX. BUILDING FOUNDATION WALL TO REMAIN EXPOSED AS SITE RETAINING WALL
- F. EXISTING BELOW-GROUND CONCRETE FOUNDATION WALL TO REMAIN. REMOVE A PORTION OF THE ABOVE-GROUND CMU WALL TO MAINTAIN 1' ABOVE ADJACENT PROPERTY OWNER'S FINISH GRADE LEVEL
- G. CONCRETE SIDEWALK WITH CONC. RETAINING WALL INTEGRAL TO NORTH SIDE. 5' MIN CLEAR SIDEWALK WIDTH FROM PARKING STRUCTURE WALL TO INTEGRAL CONCRETE WALL
- H. CONC. DRIVEWAY APRON. SAWCUT EXISTING CURB HEAD IN PLACE TO FORM DRIVEWAY OPENING
- I. REPLACE EXISTING DRIVEWAY CURB WITH NEW FULL HEIGHT 30" CONCRETE CURB AND GUTTER
- J. ADA STALL
- K. STANDARD PARKING STALL (9'x18')
- L. WHEEL STOP (TYP.)
- M. BIKE STALLS (2' x 8' STALL EACH, MADRAX PHOENIX SINGLED SIDED BIKE RACKS)
- N. RAISED PLANTER BED
- O. CURBED LANDSCAPE ISLAND
- P. TURF RESTORATION
- Q. STREET PATCH FOR NEW WATER SERVICE TAP
- R. CONCRETE RETAINING WALL
- S. SITE LIGHTING (SEE SHEET C-601)
- T. EXTERIOR STAIRS (SEE ARCH PLANS)
- U. GROUND-MOUNTED SIGN

CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53678
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

UPPER/LOWER SITE PLAN LAYOUTS
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

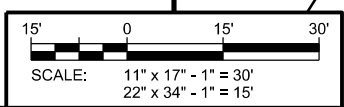
SHEET TITLE

INT.	DATE	DESCRIPTION

DRAWN BY	BJB, NED
CHECKED BY	AJO, BJB
PLOT DATE	6/26/2019
PROJECT NUMBER	21781
SET TYPE	FR
SHEET NUMBER	C-102

COVERAGE LEGEND:

	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	LANDSCAPING BED
	TURF GRASS



R2170021781\CAD\Plan\C-102.dgn

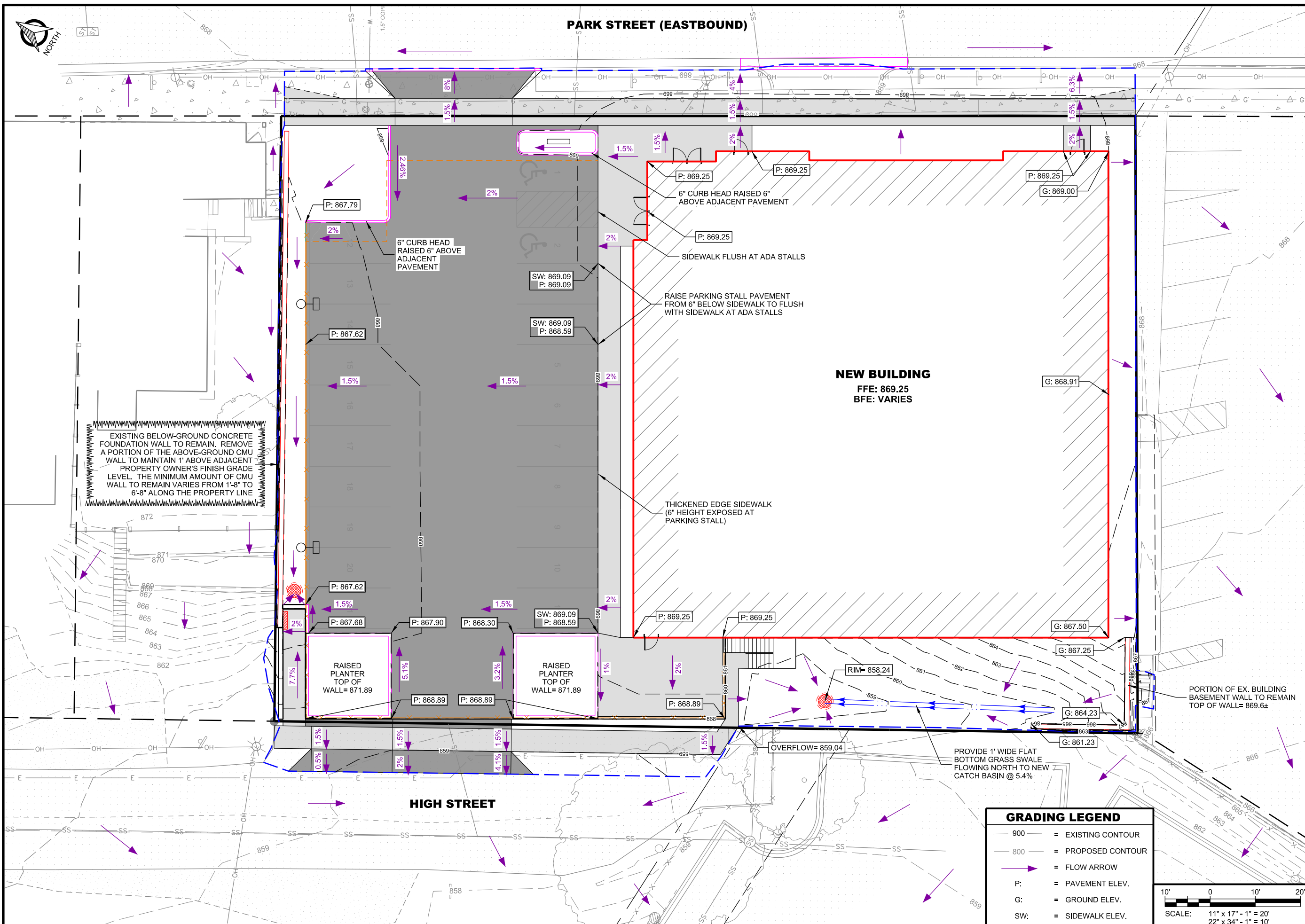


PARK STREET (EASTBOUND)

CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53678
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

OVERALL GRADING PLAN 1224 S PARK STREET REDEVELOPMENT SARA INVESTMENT DANE COUNTY, MADISON, WISCONSIN



EXISTING BELOW-GROUND CONCRETE FOUNDATION WALL TO REMAIN. REMOVE A PORTION OF THE ABOVE-GROUND CMU WALL TO MAINTAIN 1' ABOVE ADJACENT PROPERTY OWNER'S FINISH GRADE LEVEL. THE MINIMUM AMOUNT OF CMU WALL TO REMAIN VARIES FROM 1'-8" TO 6'-8" ALONG THE PROPERTY LINE

6" CURB HEAD RAISED 6" ABOVE ADJACENT PAVEMENT
 SIDEWALK FLUSH AT ADA STALLS
 RAISE PARKING STALL PAVEMENT FROM 6" BELOW SIDEWALK TO FLUSH WITH SIDEWALK AT ADA STALLS

NEW BUILDING
 FFE: 869.25
 BFE: VARIES

RAISED PLANTER
 TOP OF WALL = 871.89

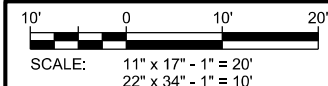
RAISED PLANTER
 TOP OF WALL = 871.89

PORTION OF EX. BUILDING BASEMENT WALL TO REMAIN
 TOP OF WALL = 869.6±

PROVIDE 1' WIDE FLAT BOTTOM GRASS SWALE FLOWING NORTH TO NEW CATCH BASIN @ 5.4%

GRADING LEGEND

- 900 — = EXISTING CONTOUR
- 800 — = PROPOSED CONTOUR
- = FLOW ARROW
- P: = PAVEMENT ELEV.
- G: = GROUND ELEV.
- SW: = SIDEWALK ELEV.



SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

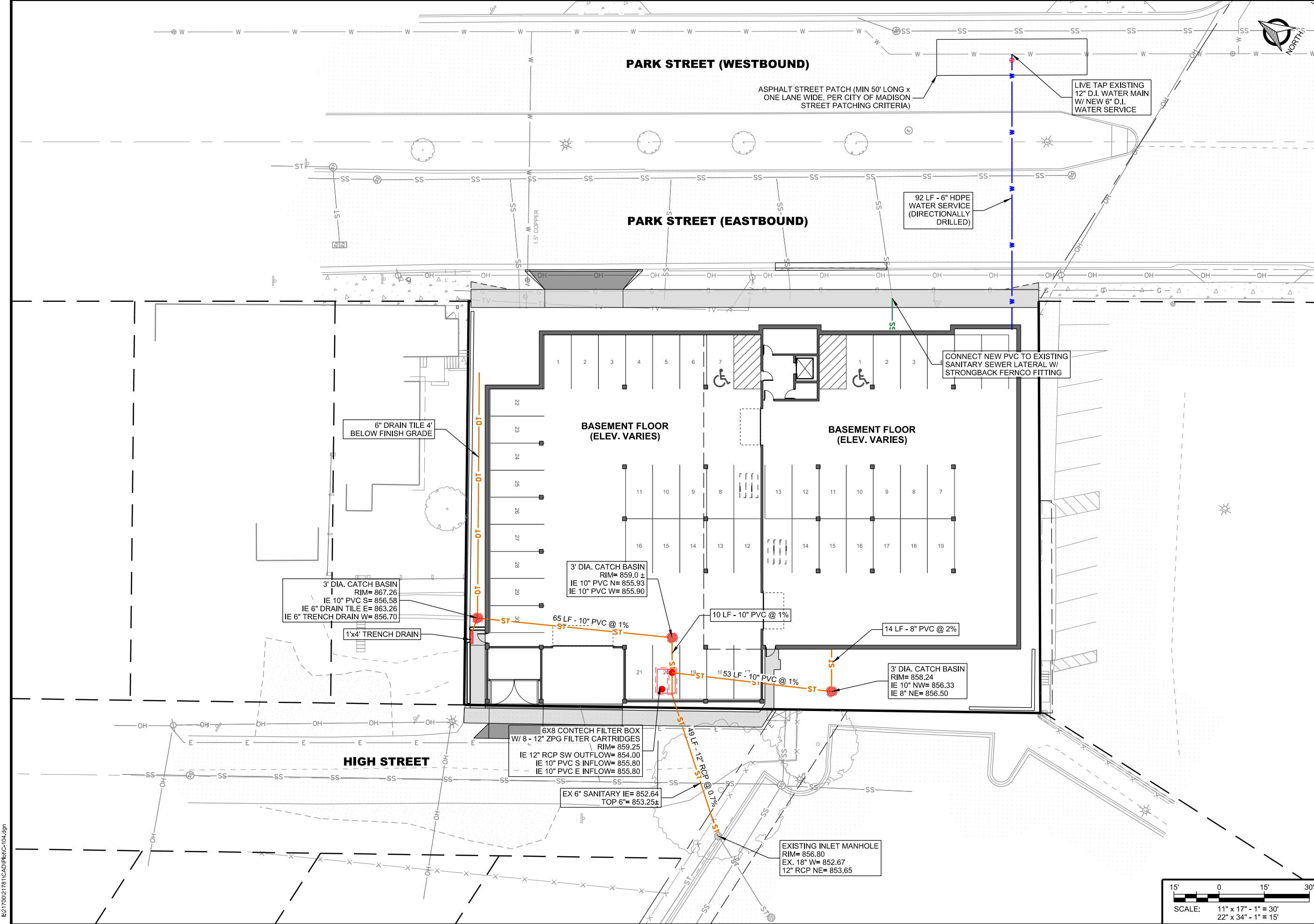
DRAWN BY	BJB, NED
CHECKED BY	AJO, BJB
PLOT DATE	6/26/2019
PROJECT NUMBER	21781
SET TYPE	FR
SHEET NUMBER	C-103

SITE UTILITY PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

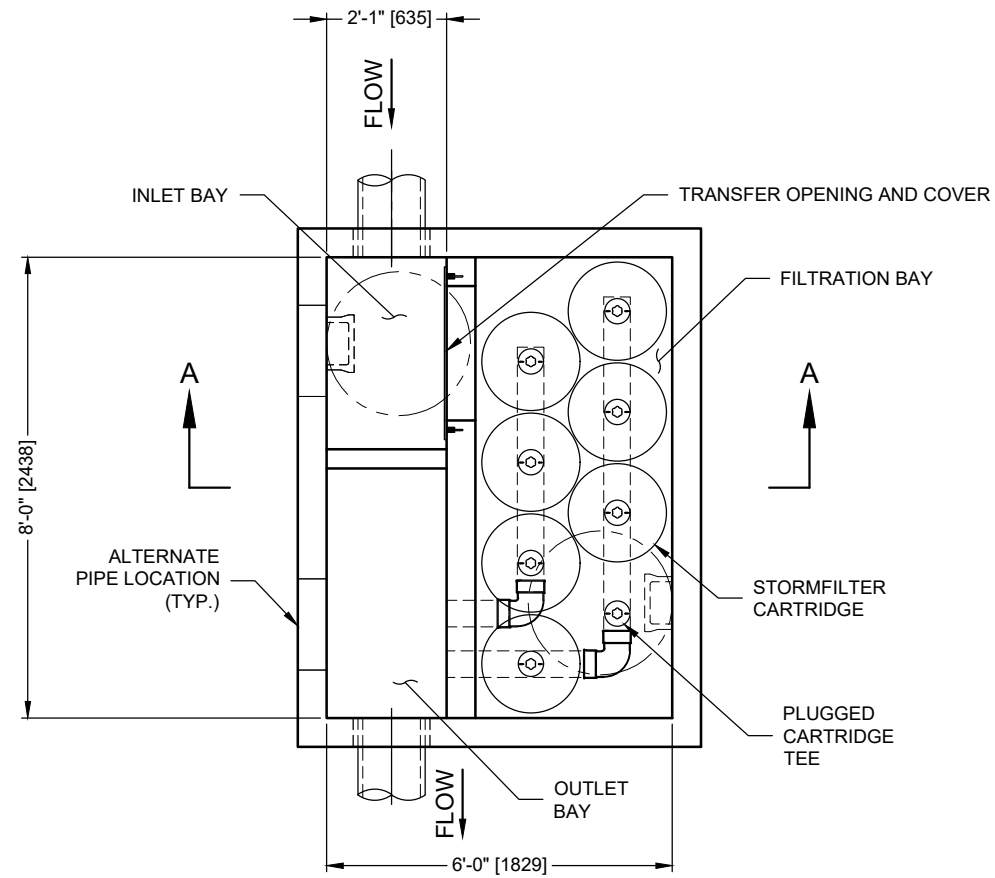
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	BJB, NED
CHECKED BY	AJO, BJB
PLOT DATE	6/26/2019
PROJECT NUMBER	21781
SET TYPE	FR
SHEET NUMBER	C-104

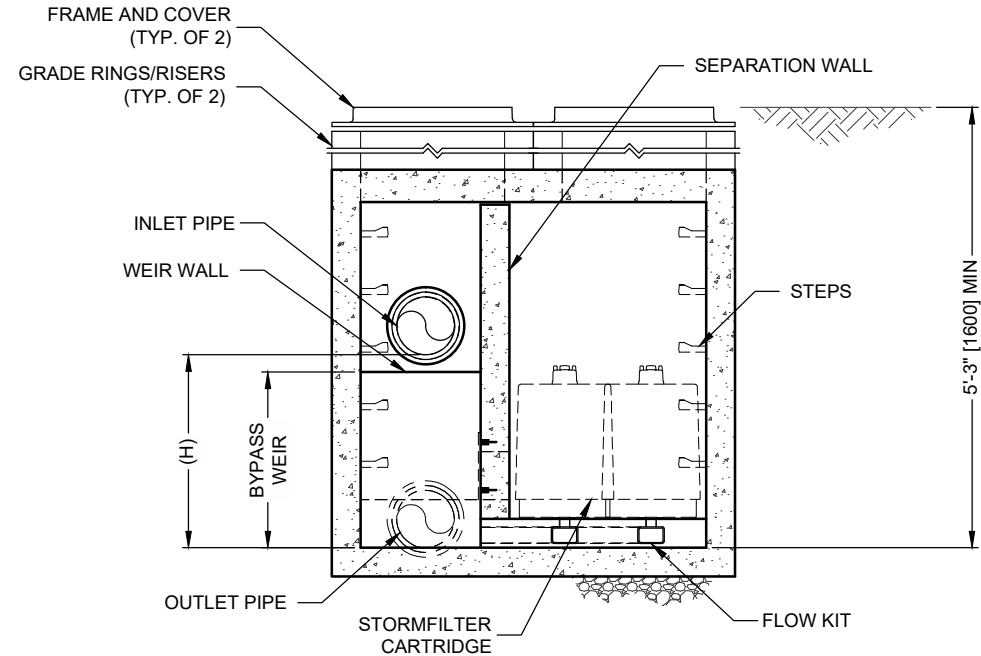


R2170021781\CAD\Plat\C-104.dgn

I:\AD.CONTECH-CPI.COM\ROOT\COMMON\CAD\TREATMENT\10 STORMFILTER\40 STANDARD DRAWINGS\SFPD\DWGIN PROCESS\SFPD0806-DTL.DWG 3/19/2019 1:28 PM



PLAN VIEW
(TOP SLAB NOT SHOWN)



ELEVATION SECTION A-A



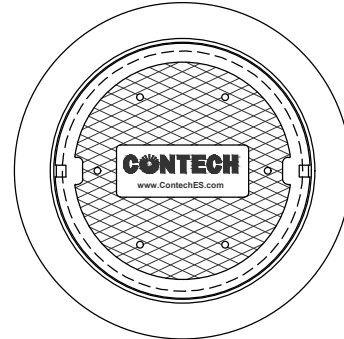
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING
U.S. PATENTS: 5,322,629; 5,524,576; 5,707,527; 5,985,157; 6,027,639; 6,649,048;
RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

STORMFILTER DESIGN NOTES

- STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD
- AN 8' x 6' [2438 x 1829] PEAK DIVERSION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (7) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE

CARTRIDGE SIZE (in. [mm])	27 [686]			18 [457]			LOW DROP		
RECOMMENDED HYDRAULIC DROP (H) (ft. [mm])	3.05 [930]			2.3 [701]			1.8 [549]		
SPECIFIC FLOW RATE (gpm/sf [L/s/m ²])	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]
CARTRIDGE FLOW RATE (gpm [L/s])	22.5 [1.42]	18.79 [1.19]	11.25 [0.71]	15 [0.95]	12.53 [0.79]	7.5 [0.47]	10 [0.63]	8.35 [0.53]	5 [0.32]

* 1.67 gpm/sf [1.13 L/s/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs [L/s])			
PEAK FLOW RATE (cfs [L/s])			
RETURN PERIOD OF PEAK FLOW (yrs)			
CARTRIDGE FLOW RATE			
CARTRIDGE SIZE (27, 18, LOW DROP (LD))			
MEDIA TYPE (PERLITE, ZPG, PSORB)			
NUMBER OF CARTRIDGES REQUIRED			
FILTER BAY RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
NOTES/SPECIAL REQUIREMENTS:			

PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7" [178].** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST **38 SECONDS**. SPECIFIC FLOW RATE SHALL BE **2 GPM/SF [1.36 L/s/m²] (MAXIMUM)**. SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE **6 GPM/CF [13.39 L/s/m³] OF MEDIA (MAXIMUM)**.

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. ALTERNATE DIMENSIONS ARE IN MILLIMETERS [mm] UNLESS NOTED OTHERWISE.
4. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
5. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
6. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' [1524] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- F. CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

CONTECH
ENGINEERED SOLUTIONS LLC
www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

SFPD0806 (8' x 6')
PEAK DIVERSION STORMFILTER
STANDARD DETAIL



294 LF - HOSE LAY DISTANCE

325 LF - HOSE LAY DISTANCE

EXISTING FIRE HYDRANT

EXISTING FIRE HYDRANT

PARK STREET (WESTBOUND)

PARK STREET (EASTBOUND)

FIRE LANE

NEW SPRINKLERED BUILDING

115'-8" FROM PROPERTY LINE

26'-0"

26'-10"

26'-0"

132'-2"

HIGH STREET

CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53678
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

CLIENT:

FIRE LANE ACCESS PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:

INT.	DATE	DESCRIPTION:

DRAWN BY: BJB, NED

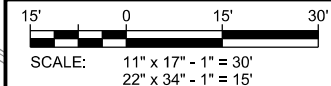
CHECKED BY: AJO, BJB

PLOT DATE: 6/26/2019

PROJECT NUMBER: 21781

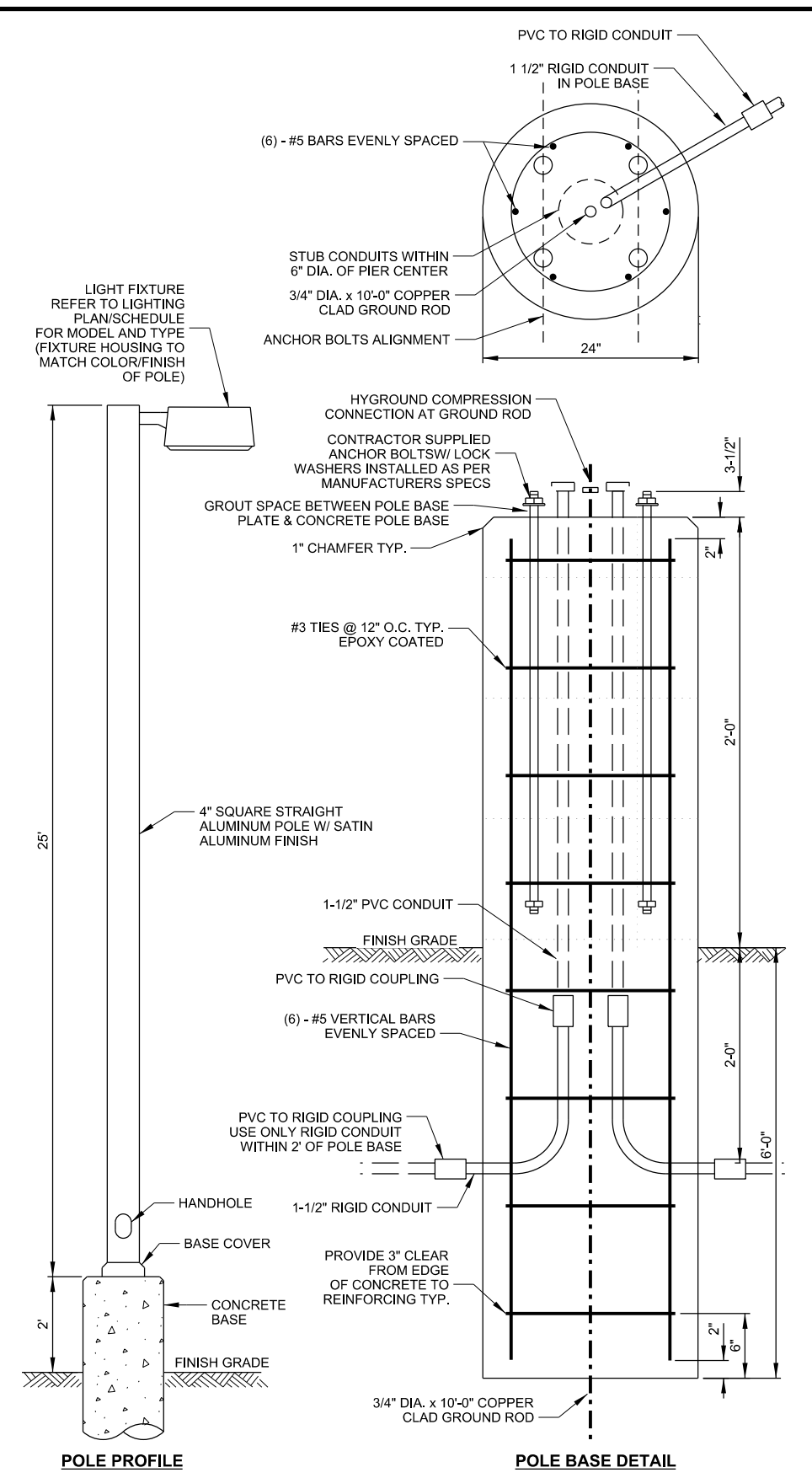
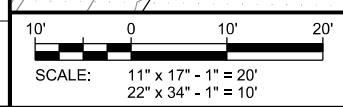
SET TYPE: FR

SHEET NUMBER: **C-401**





LUMINAIRE SCHEDULE				
Symbol	Qty	Catalog Number	Description	Lamp
	2	ARE-EDG-4MB-xx-06-E-UL-xx-525-xxxx-40K	Cree Edge Area, Type IV Medium w/ BLS, 60 LEDs, 525mA, 4000K	XP-G2 LEDs



A LIGHT POLE BASE DETAIL
SCALE: NTS

CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

SITE LIGHTING PHOTOMETRIC PLAN
 1224 S PARK STREET REDEVELOPMENT
 SARA INVESTMENT
 DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

DRAWN BY	BJB, NED
CHECKED BY	AJO, BJB
PLOT DATE	6/26/2019
PROJECT NUMBER	21781
SET TYPE	FR
SHEET NUMBER	C-601



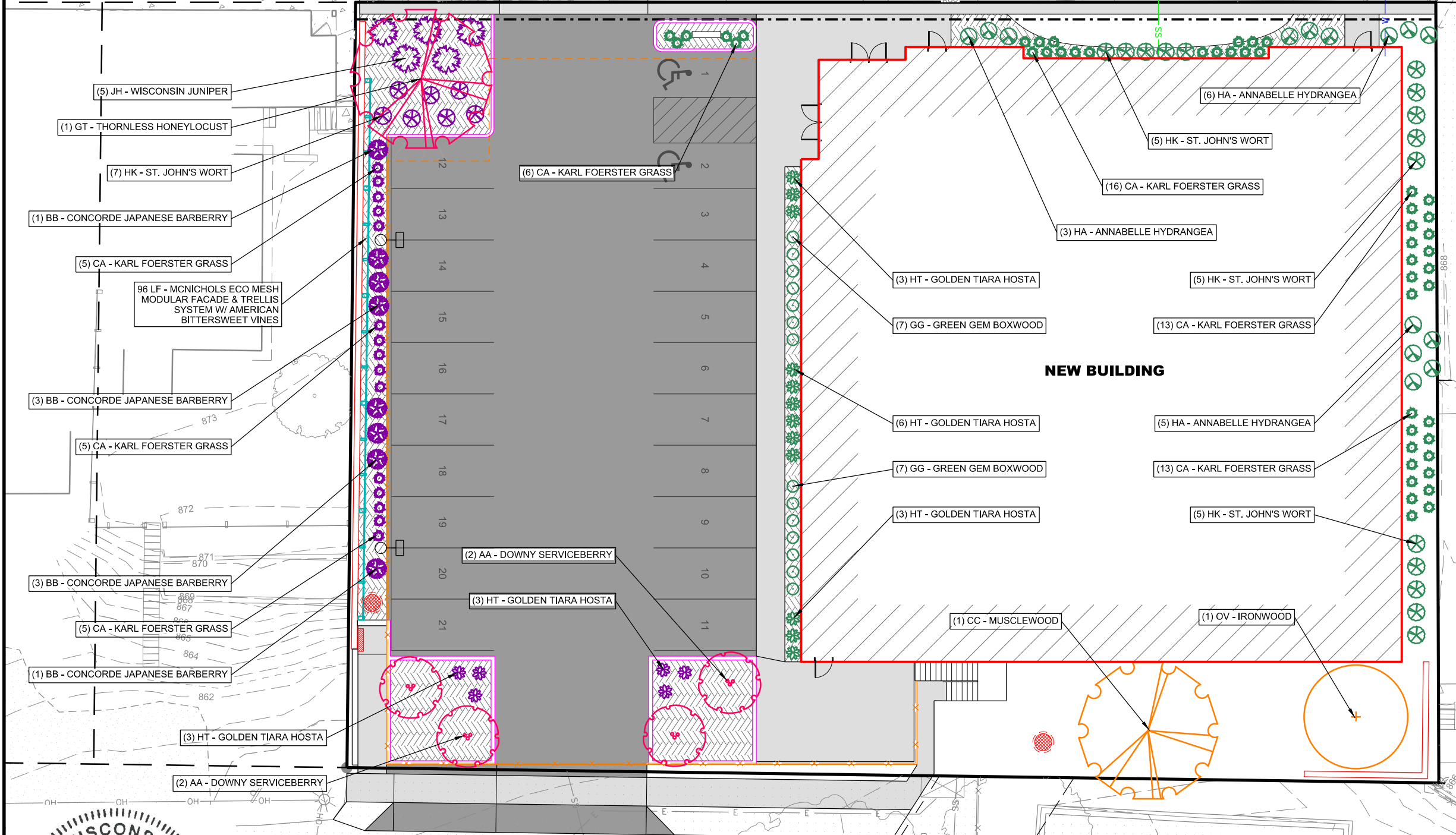
PARK STREET (EASTBOUND)

NO STREET TREES CALLED FOR DUE TO PRESENCE OF EXISTING AERIAL UTILITIES IN THE TERRACE

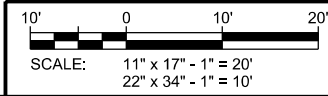
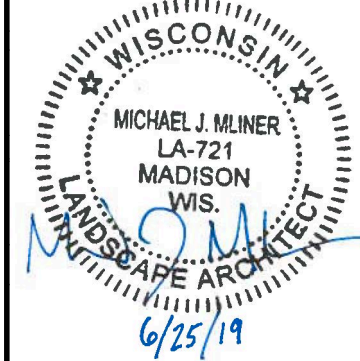
CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53678
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com

CLIENT:

LANDSCAPING PLAN
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN



HIGH STREET



SHEET TITLE:

SUBMITTAL:

INT.	DATE	DESCRIPTION

DRAWN BY:

BJB, NED

CHECKED BY:

AJO, BJB

PLOT DATE:

6/26/2019

PROJECT NUMBER:

21781

SET TYPE:

FR

SHEET NUMBER:

L-101

© EDGE CONSULTING ENGINEERS, INC.

1224 S Park Street Redevelopment

LANDSCAPING POINT SUMMARY

25,813 = Total Lot Area (SF)
9,003 = Developed Area (SF)
150 = Landscape Points Required (5/300 SF)
189.40 = Park Street Frontage (LF)
N/A Exempt - Building at Sidewalk
7,300 = Site Area for Parking Stalls (SF)
584 = 8% of Parking Stall Area (SF)
1,074 = Provided Landscape Island Area (SF)

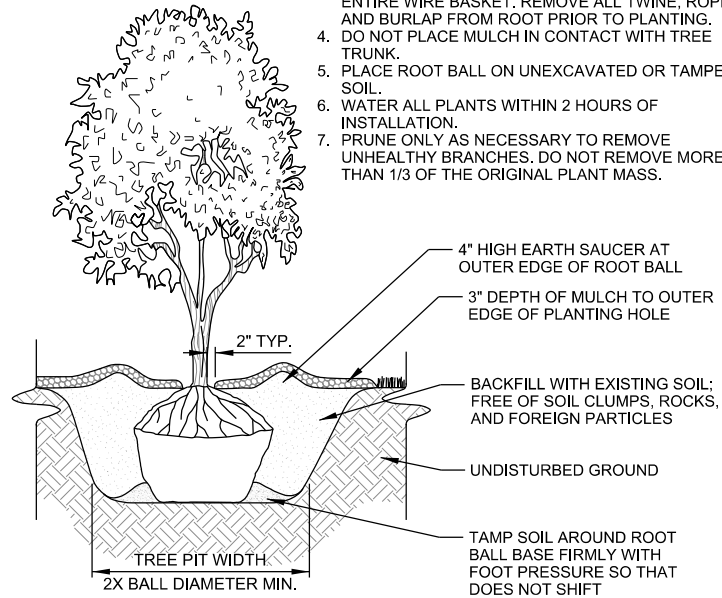
Interior Parking Lot Island Areas

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
TREES								
AA	4	Amelanchier arborea	Downy Serviceberry	15-25'	10-12'	1-1/2" BB	15	60
GT	1	Gleditsia triacanthos var. inermis	Thornless Honeylocust	60'	60'	2-1/2" BB	35	35
SHRUBS								
BT	8	Berberis thunbergii var. atropurpurea 'Concorde'	Concorde Japanese Barberry	2'	2'	3 gal.	3	24
HK	7	Hypericum kalmianum	St. John's Wort	2-3'	3'	3 gal.	3	21
JH	5	Juniperus horizontalis 'Wisconsin'	Wisconsin Juniper	8"	5'	3 gal.	4	20
GRASSES								
CA	21	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	4-5'	2'	3 gal.	2	42
PERENNIALS								
HG	6	Hosta 'Golden Tiara'	Golden Tiara Hosta	2'	2-3'	1 gal.	2	12
VEGETATED FENCING								
---	96 LF	Celastrus scandens	American Bittersweet	4'	96'	---	4	38
							Subtotal	252

Foundation Plantings

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
TREES								
OV	1	Ostrya virginiana	Ironwood	25'	15'	1-1/2" BB	15	15
CC	1	Carpinus caroliniana	Musclewood	25'	25'	1-1/2" BB	15	15
SHRUBS								
HA	14	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	4'	4'	3 gal.	3	42
GG	14	Buxus x 'Green Gem'	Green Gem Boxwood	2'	2'	3 gal.	3	42
HK	15	Hypericum kalmianum	St. John's Wort	2-3'	3'	3 gal.	3	45
GRASSES								
CA	48	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Grass	4-5'	2'	3 gal.	2	96
PERENNIALS								
HT	12	Hosta 'Golden Tiara'	Golden Tiara Hosta	2'	2-3'	1 gal.	2	24
							Subtotal	279
							TOTAL POINTS	531
							Points Req'd	150

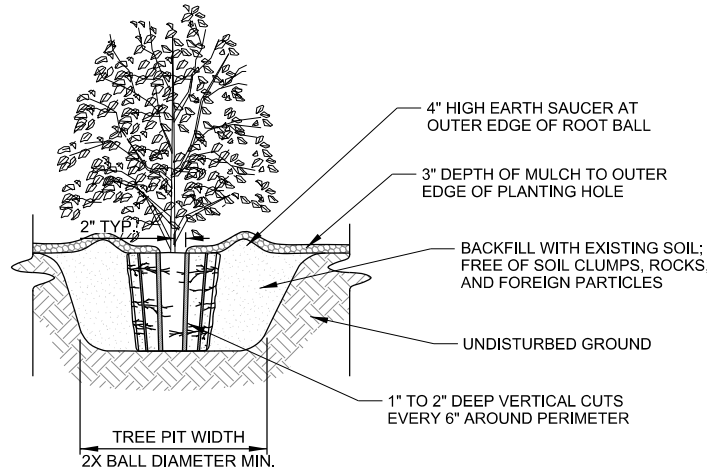
R:\217002\1781\CAD\PL\1224-102.dgn



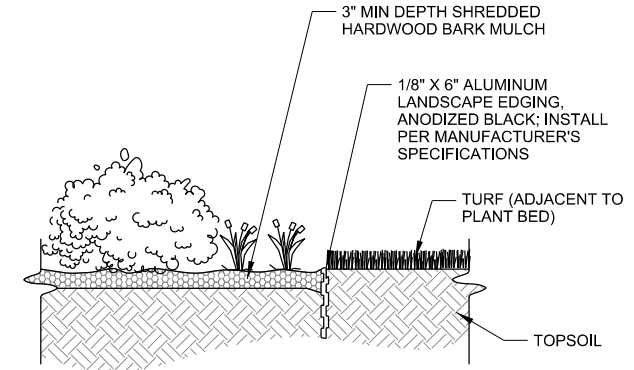
A BALL & BURLAP TREE PLANTING DETAIL
SCALE: NTS

- NOTES:**
1. PLANT EACH TREE SUCH THAT THE BASE OF THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 2. DEPTH OF THE PLANTING HOLE SHOULD BE DETERMINED AND DUG AFTER THE ROOT FLARE IS LOCATED. PLANTING HOLE MUST BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 3. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT AND REMOVE ENTIRE WIRE BASKET. REMOVE ALL TWINE, ROPE, AND BURLAP FROM ROOT PRIOR TO PLANTING. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
 4. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 5. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 6. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.

- NOTES:**
1. FOR 3 TO 10 GALLON CONTAINERS: MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING.
 2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.

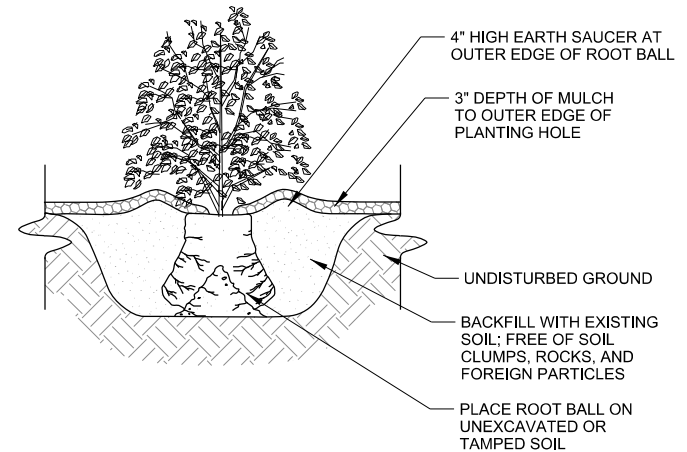


C LARGE CONTAINER PLANTING DETAIL
SCALE: NTS



B PLANTING BED EDGE DETAIL
SCALE: NTS

- NOTES:**
1. FOR 1 TO 2 GALLON CONTAINERS: BUTTERFLY ROOT BALL. SEVER LOWER 1/3 TO 1/2 OF ROOTBALL WITH A SINGLE CUT. SPREAD OPEN SEVERED ROOT BALL AND PLACE AGAINST BOTTOM OF THE MOUNDED PLANTING HOLE.
 2. PLANT EACH SHRUB OR PERENNIAL SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
 4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
 5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
 6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
 7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/3 OF THE ORIGINAL PLANT MASS.



D SMALL CONTAINER PLANTING DETAIL
SCALE: NTS

CLIENT:

LANDSCAPE DETAILS
1224 S PARK STREET REDEVELOPMENT
SARA INVESTMENT
DANE COUNTY, MADISON, WISCONSIN

SHEET TITLE:

SUBMITTAL:

INT.	DATE	DESCRIPTION

DRAWN BY: BJB, NED

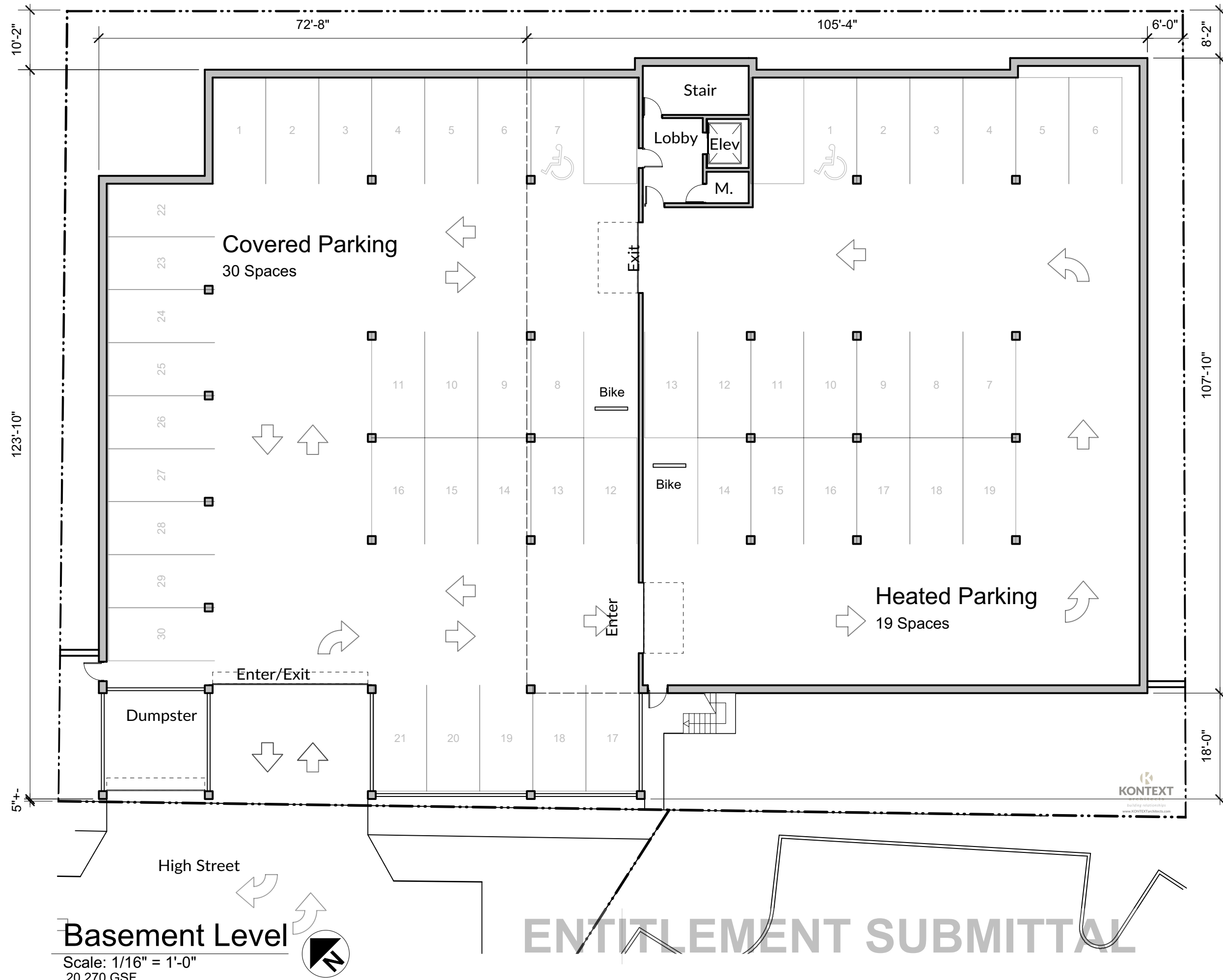
CHECKED BY: AJO, BJB

PLOT DATE: 6/26/2019

PROJECT NUMBER: 21781

SET TYPE: FR

SHEET NUMBER: **L-102**



ENTITLEMENT SUBMITTAL

Architect:

KONTEXT architects
 building relationships
 242 East Main St. - Sun Prairie, WI

Builder:

BR
 2866 Agriculture Dr.
 Madison WI 53718

Project Owner:

SARA INVESTMENT REAL ESTATE
 1955 Atwood Avenue
 Madison, WI 53704

Location:
 1216 South Park Street
 Madison, Wisconsin

1224 SOUTH PARK STREET REDEVELOPMENT

MADISON, WI

Sheet Title:
Basement Level

Revisions:

No.	Date:	Description:

Graphic Scale: 0" 8" 12"

Project Number: 1903

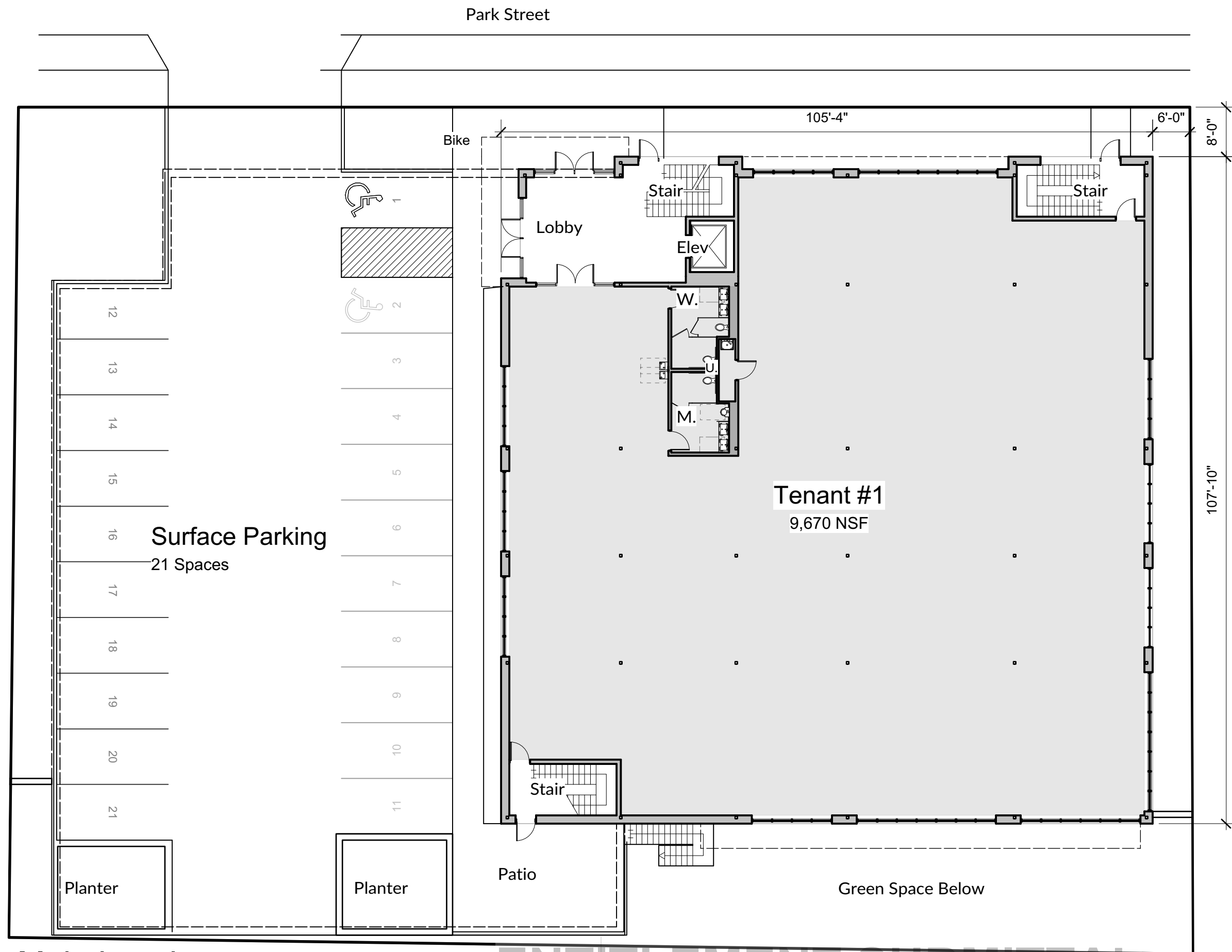
Set Type: Entitlement

Date Issued: 06/26/2019

Sheet Number: **A100**

Fig. / Plot Date

© KONTEXT architects llc



Main Level

Scale: 1/16" = 1'-0"
11,150 GSF



ENTITLEMENT SUBMITTAL

Architect:



KONTEXT
architects
building relationships
242 East Main St. - Sun Prairie, WI

Builder:



BR
2866 Agriculture Dr.
Madison WI 53718

Project Owner:



SARA
INVESTMENT REAL ESTATE
1955 Atwood Avenue
Madison, WI 53704

Location:
1216 South Park Street
Madison, Wisconsin

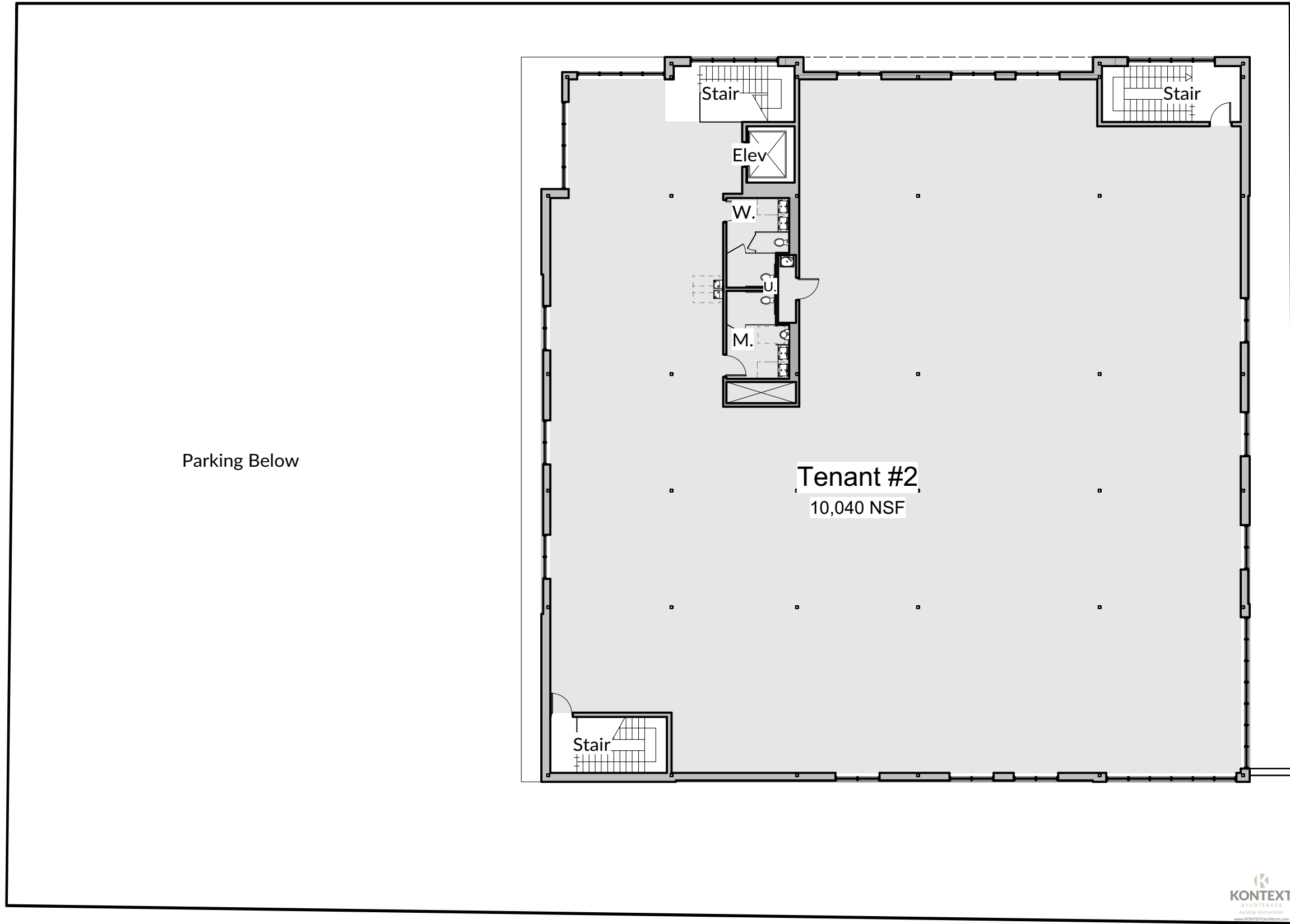
**1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI**

Sheet Title:
Main Level

Revisions:

No.	Date:	Description:

Graphic Scale	
Project Number	1903
Set Type	Entitlement
Date Issued	06/26/2019
Sheet Number	A101



Upper Level
 Scale: 1/16" = 1'-0"
 11,120 GSF



ENTITLEMENT SUBMITTAL

Architect:
KONTEXT architects
 building relationships
 242 East Main St. - Sun Prairie, WI

Builder:

 2866 Agriculture Dr.
 Madison WI 53718

Project Owner:
SARA INVESTMENT REAL ESTATE
 1955 Atwood Avenue
 Madison, WI 53704

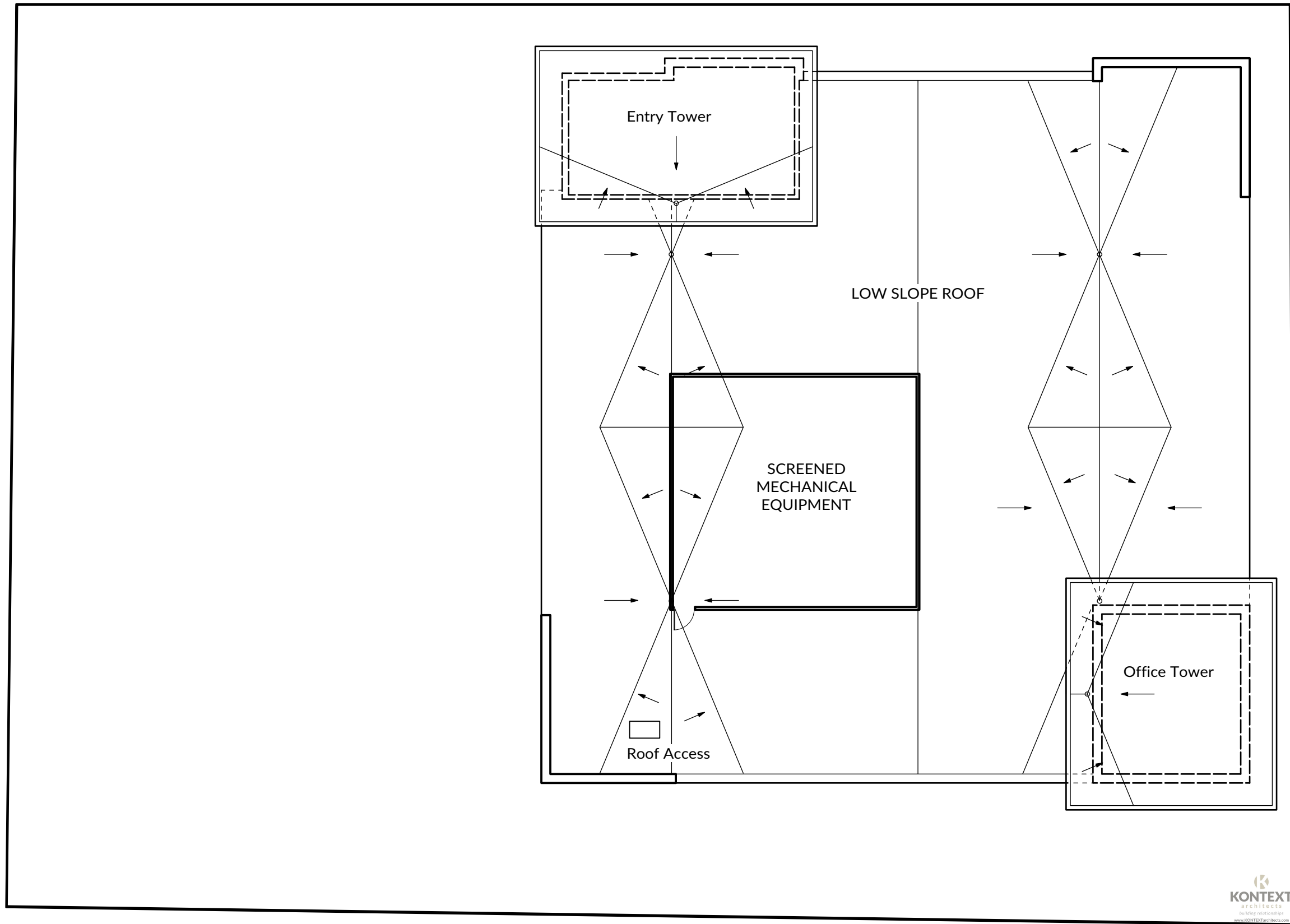
Location:
 1216 South Park Street
 Madison, Wisconsin

1224 SOUTH PARK STREET REDEVELOPMENT
MADISON, WI
 Sheet Title:
Upper Level

Revisions:

No.	Date:	Description:

Graphic Scale	
Project Number	1903
Set Type	Entitlement
Date Issued	06/26/2019
Sheet Number	A102



Roof Level
Scale: 1/16" = 1'-0"



ENTITLEMENT SUBMITTAL

Architect:
KONTEXT
architects
building relationships
242 East Main St. - Sun Prairie, WI

Builder:
BR
2866 Agriculture Dr.
Madison WI 53718

Project Owner:
SARA
INVESTMENT REAL ESTATE
1955 Atwood Avenue
Madison, WI 53704

Location:
1216 South Park Street
Madison, Wisconsin

**1224 SOUTH PARK STREET
REDEVELOPMENT
MADISON, WI**

Sheet Title:
Roof Level

Revisions:

No.	Date:	Description:

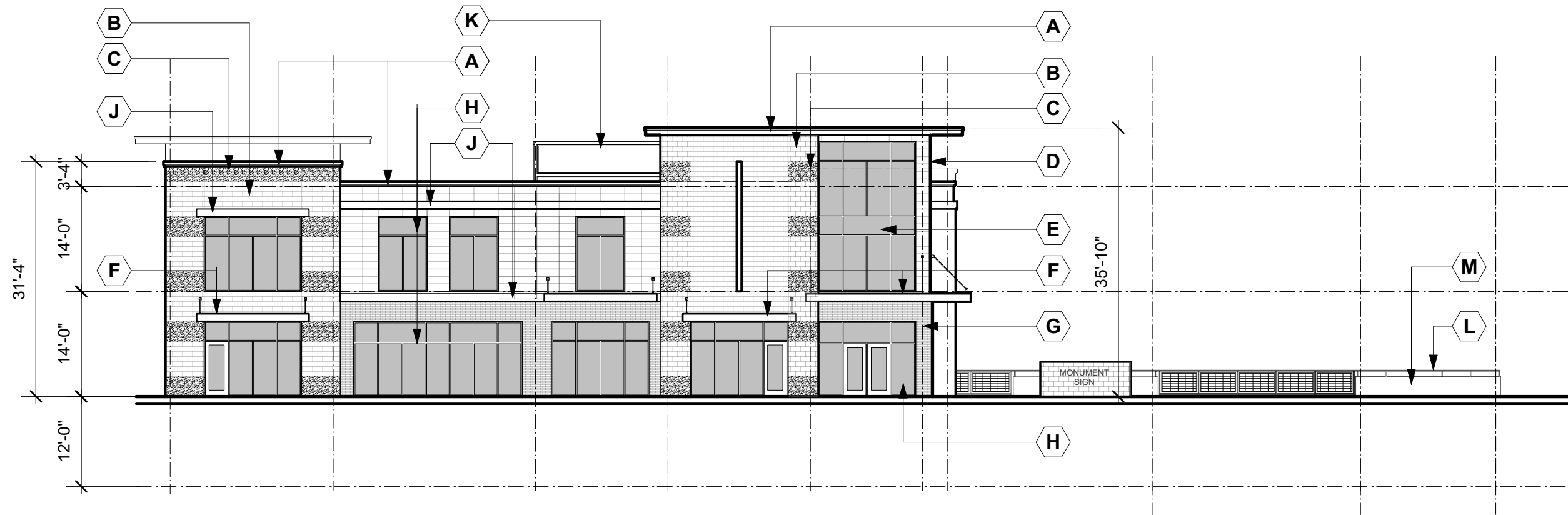
Graphic Scale: 0" 8" 12"

Project Number: 1903

Set Type: Entitlement

Date Issued: 06/26/2019

Sheet Number: **A103**

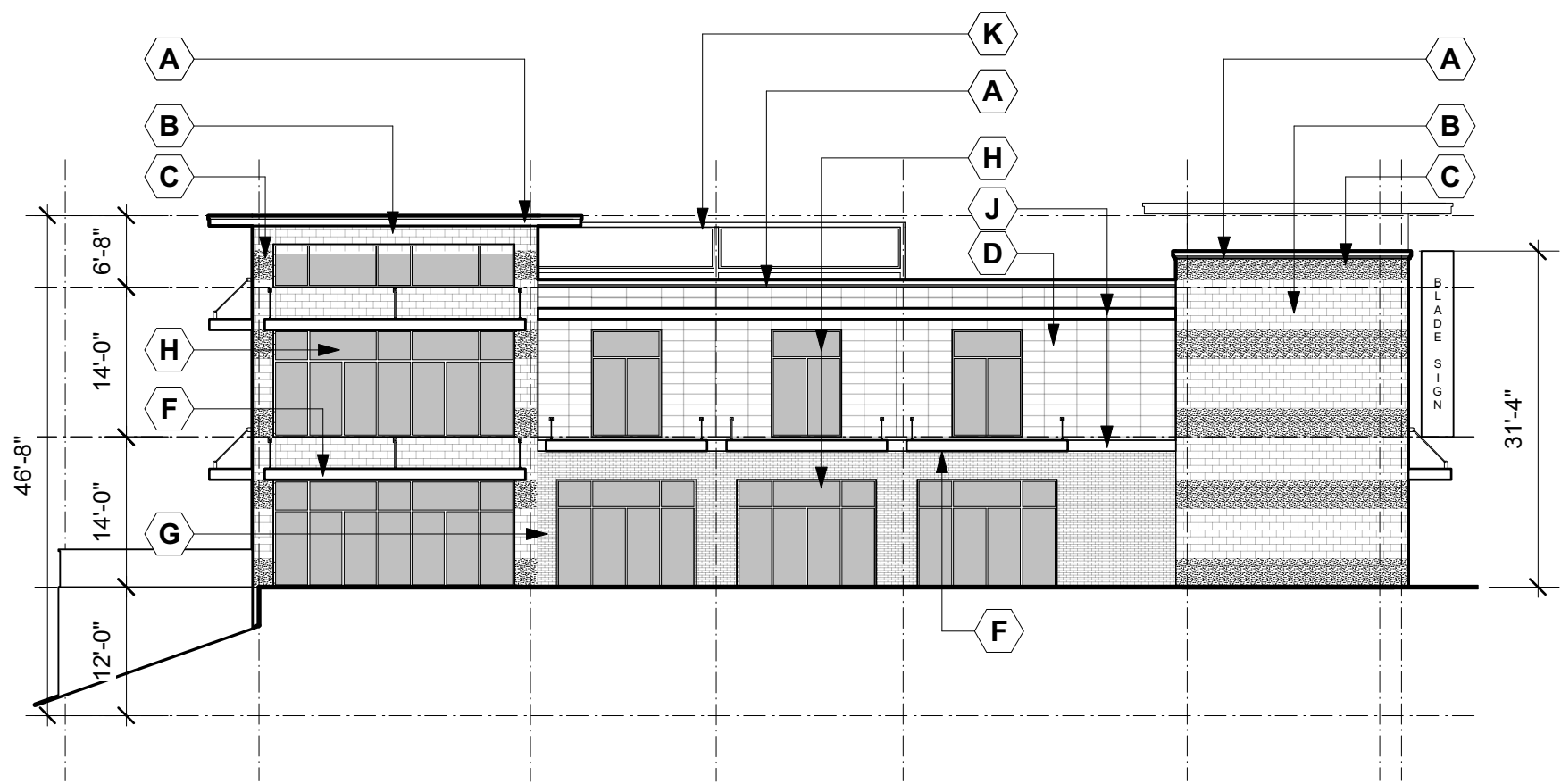


East Elevation

Scale: 1/16" = 1'-0"

Keyed Notes

- A SHEET METAL ROOF EDGE
- B 8x16 BURNISHED CONCRETE MASONRY UNIT
- C 8x16 SPLIT FACE CONCRETE MASONRY UNIT
- D FIBER CEMENT WALL PANELS
- E ALUMINUM CURTAIN WALL ASSEMBLY
- F PREFINISHED ALUMINUM AWNING W/DOWN LIGHTS
- G BRICK VENEER
- H ALUMINUM ENTRANCE / STOREFRONT SYSTEM
- J ALUMINUM BAND
- K ALUMINUM LOUVER, MECHANICAL SCREENING
- L EXPOSED CONCRETE WALL
- M PAINTED STEEL RAILING
- N PAINTED STEEL STAIR SYSTEM



South Elevation

Scale: 1/16" = 1'-0"

ENTITLEMENT SUBMITTAL

Architect:
KONTEXT architects
building relationships
 242 East Main St. - Sun Prairie, WI

Builder:
DR
 2866 Agriculture Dr.
 Madison WI 53718

Project Owner:
SARA INVESTMENT REAL ESTATE
 1955 Atwood Avenue
 Madison, WI 53704

Location:
 1216 South Park Street
 Madison, Wisconsin

1224 SOUTH PARK STREET
 REDEVELOPMENT
 MADISON, WI

Sheet Title:
Building Elevations

Revisions:

No.	Date:	Description:

Graphic Scale: 0" 8" 12"

Project Number: 1903

Set Type: Entitlement

Date Issued: 06/26/2019

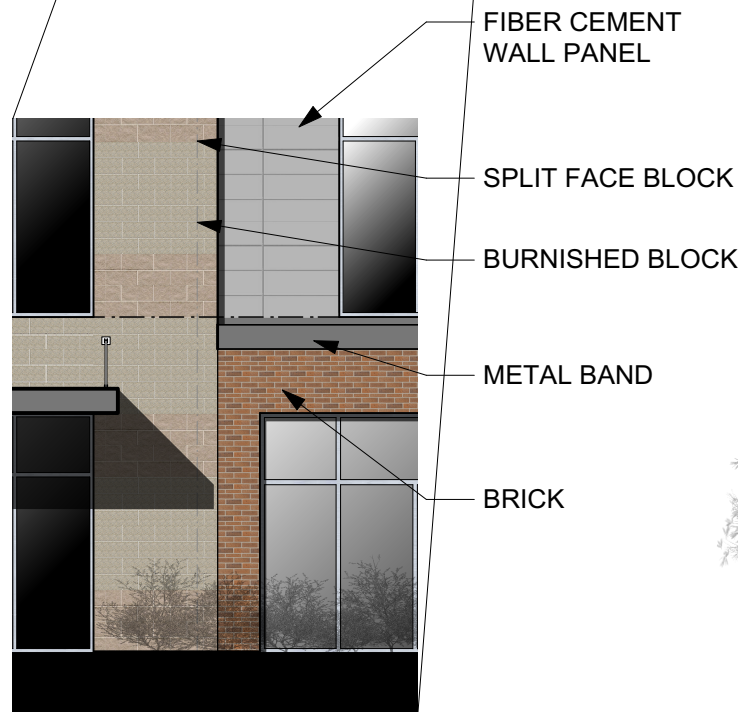
Sheet Number: **A200**

Fig. / Plot Date



East Elevation

Scale: 1/16" = 1'-0"



Detailed Elevation

Scale: 1/8" = 1'-0"



South Elevation

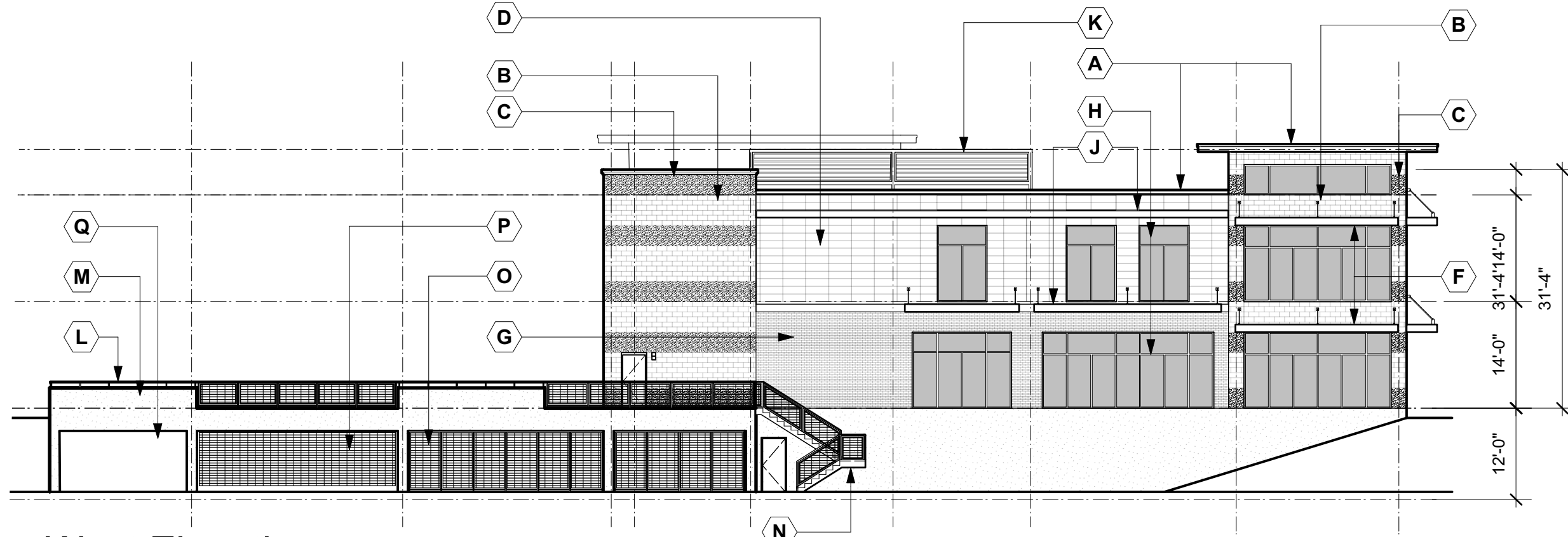
Scale: 1/16" = 1'-0"

ENTITLEMENT SUBMITTAL

Revisions:

No.	Date:	Description:

Graphic Scale	
Project Number	1903
Set Type	Entitlement
Date Issued	06/26/2019
Sheet Number	A200C

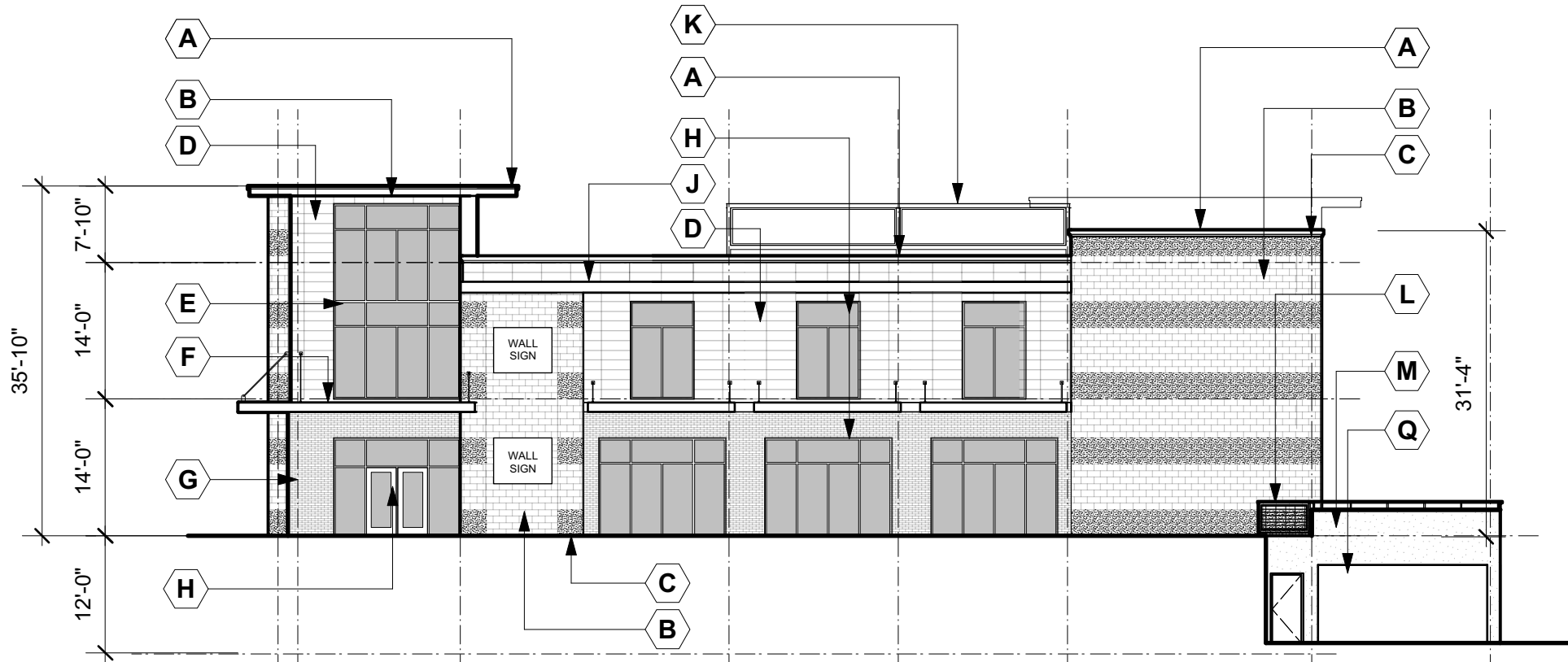


West Elevation

Scale: 1/16" = 1'-0"

Keyed Notes

- A SHEET METAL ROOF EDGE
- B 8x16 BURNISHED CONCRETE MASONRY UNIT
- C 8x16 SPLIT FACE CONCRETE MASONRY UNIT
- D FIBER CEMENT WALL PANELS
- E ALUMINUM CURTAIN WALL ASSEMBLY
- F PREFINISHED ALUMINUM AWNING W/DOWN LIGHTS
- G BRICK VENEER
- H ALUMINUM ENTRANCE / STOREFRONT SYSTEM
- J ALUMINUM BAND
- K ALUMINUM LOUVER, MECHANICAL SCREENING
- L EXPOSED CONCRETE WALL
- M PAINTED STEEL RAILING
- N PAINTED STEEL STAIR SYSTEM
- O PREFINISHED STEEL FENCING
- P ALUMINUM COILING SECURITY SCREEN DOOR
- Q PREFINISHED STEEL COILING DOOR (TRASH ENCLOSURE)



North Elevation

Scale: 1/16" = 1'-0"

ENTITLEMENT SUBMITTAL

Architect:
KONTEXT architects
building relationships
 242 East Main St. - Sun Prairie, WI

Builder:
DR
 2866 Agriculture Dr.
 Madison WI 53718

Project Owner:
SARA INVESTMENT REAL ESTATE
 1955 Atwood Avenue
 Madison, WI 53704

Location:
 1216 South Park Street
 Madison, Wisconsin

1224 SOUTH PARK STREET
 REDEVELOPMENT
 MADISON, WI

Sheet Title:
Building Elevations

Revisions:

No.	Date:	Description:

Graphic Scale: 0" 8" 12"

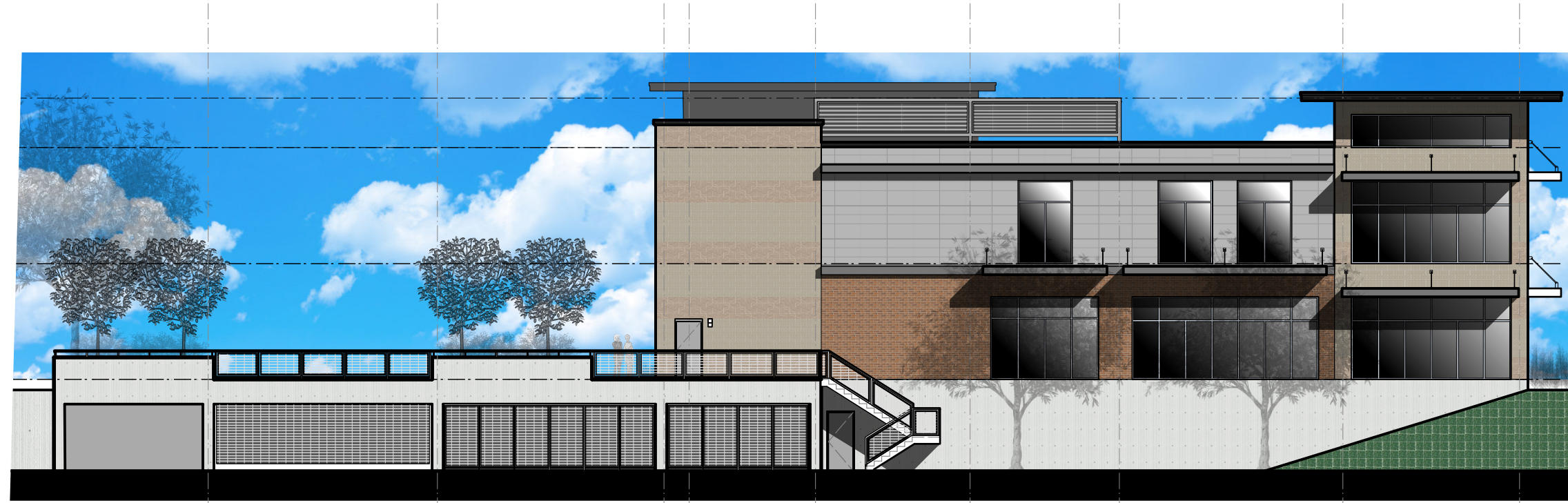
Project Number: 1903

Set Type: Entitlement

Date Issued: 06/26/2019

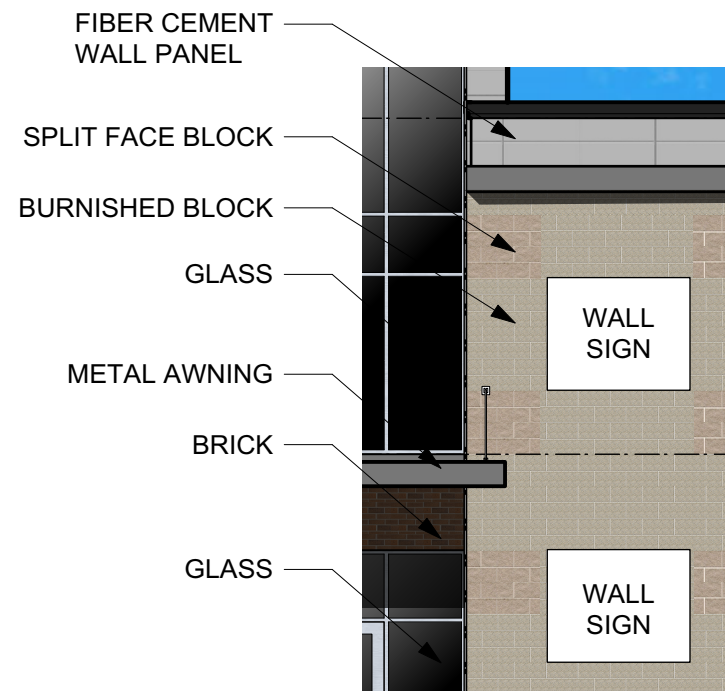
Sheet Number: **A201**

Fig. / Plot Date



West Elevation

Scale: 1/16" = 1'-0"



Detailed Elevation

Scale: 1/8" = 1'-0"



North Elevation

Scale: 1/16" = 1'-0"

ENTITLEMENT SUBMITTAL

Revisions:

No.	Date:	Description:

Graphic Scale	
Project Number	1903
Set Type	Entitlement
Date Issued	06/26/2019
Sheet Number	A201C




Detailed Elevation

Scale: 1/8" = 1'-0"

ENTITLEMENT SUBMITTAL

Revisions:

No.	Date:	Description:

Graphic Scale	
Project Number	1903
Set Type	Entitlement
Date Issued	06/26/2019
Sheet Number	A202C