

LEGEND

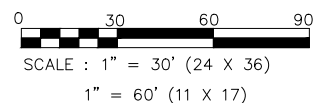
W — W — W	WATER	☼	LIGHT POLE
G — G — G	GAS UNDERGROUND	◄	WATER GATE VALVE OR GAS VALVE BOX
— — — — —	STORM SEWER	◉	MANHOLE
SAN —	SANITARY SEWER	◉	HYDRANT
T — T — T	TELEPHONE UNDERGROUND		
E — E — E	ELECTRIC UNDERGROUND		
CoTV —	CABLE TV		

PLAN KEY

- 1 SAW CUT EX ASPHALT DRIVEWAY
- 2 REMOVE AND REPLACE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALK & PART OF DRIVEWAY APRON
- 3 REMOVE TREES — CLEAR AND GRUB
- 4 REMOVE EXISTING PAVEMENT
- 5 REMOVE AND REPLACE EXISTING CURB & GUTTER, SIDEWALK & STORM CASTING

DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE PRIOR TO START OF DEMOLITION.
2. CONTRACTOR TO DISPOSE OF ALL MATERIALS OFF SITE, UNLESS DIRECTED OTHERWISE.
3. ALL MATERIALS, UTILITIES, AND PAVEMENT DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL PROTECT ALL EXISTING PUBLIC AND PRIVATE FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALKS, PAVING, ETC.) THAT IS TO REMAIN.
5. REMOVAL OF AN ASPHALTIC SURFACE, WHERE AN ABUTTING ASPHALTIC SURFACE IS TO REMAIN IN PLACE, SHALL REQUIRE SAW CUTTING AN EDGE.



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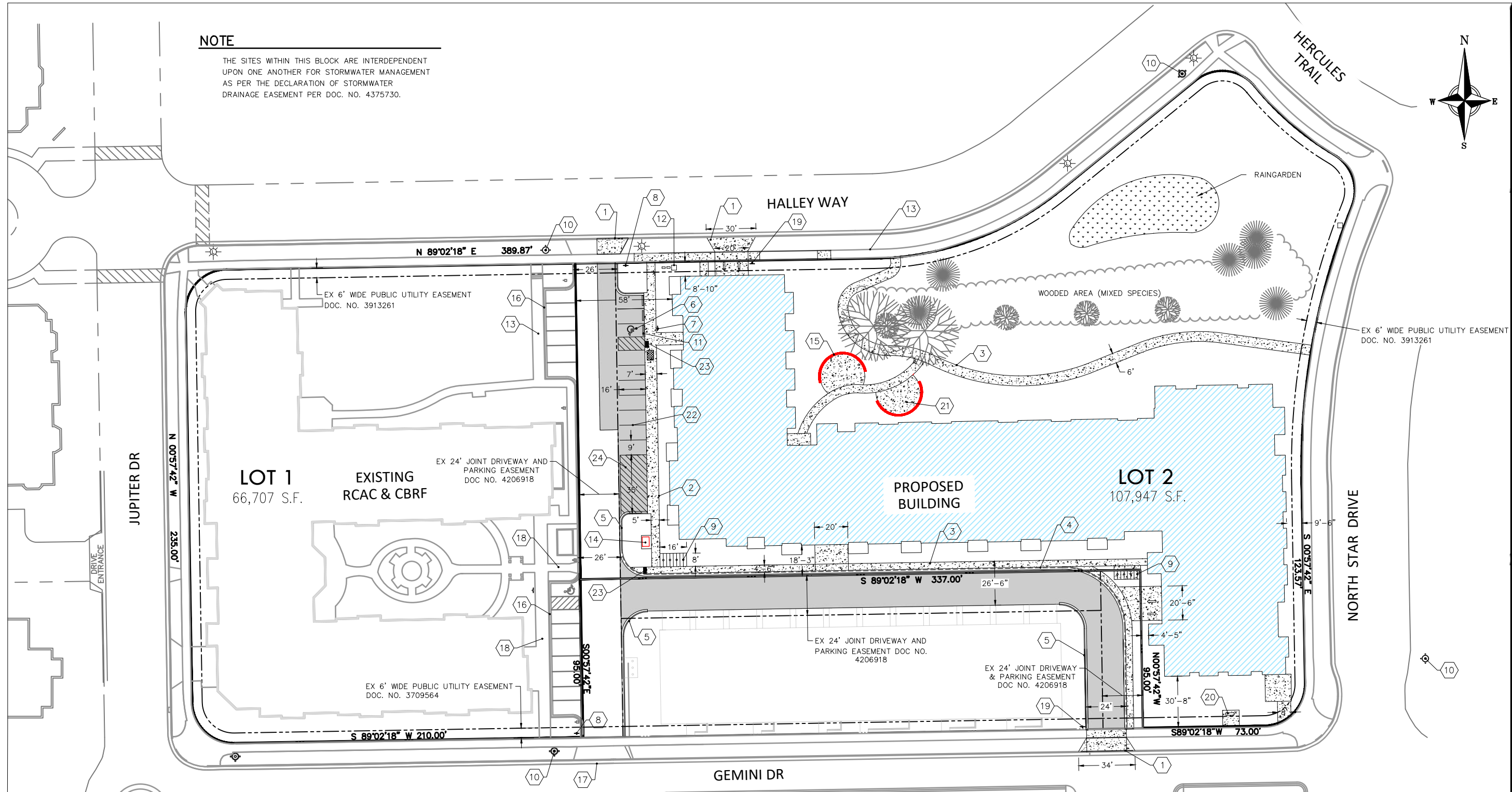
CAPITOL VIEW APARTMENTS
WISCONSIN
EX CONDITIONS / DEMOLITION PLAN

Drawn By: K. JOHNSON
Checked By: R. JOHNSON
Date: 10-06-21
Scale: AS NOTED
Job Number: 21-01G

PROFESSIONAL ENGINEERING LLC
SHEET NUMBER
C100

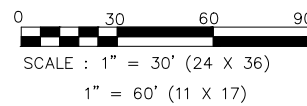
NOTE

THE SITES WITHIN THIS BLOCK ARE INTERDEPENDENT UPON ONE ANOTHER FOR STORMWATER MANAGEMENT AS PER THE DECLARATION OF STORMWATER DRAINAGE EASEMENT PER DOC. NO. 4375730.



PLAN KEY

- | | | |
|--|--|--|
| 1 NEW DRIVEWAY APPROACH IN ACCORDANCE WITH M.G.O. 10.08 (F). CONTRACTOR TO OBTAIN PERMIT FROM CITY TO WORK IN THE RIGHT-OF-WAY | 9 BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH | 18 ACCESS TO EX. PUBLIC SIDEWALK |
| 2 THICKENED EDGE SIDEWALK | 10 EX HYDRANT | 19 7' HIGH STOP SIGN |
| 3 SIDEWALK | 11 PRECAST CURB STOP, TYP | 20 BENCH, BY OWNER |
| 4 18" RIBBON (FLAT) CURB | 12 EX UTILITY PEDESTALS | 21 OUTDOOR PATIO, TYP. |
| 5 18" CURB & GUTTER | 13 EX SIDEWALK | 22 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP |
| 6 VAN ACCESSIBLE STALL, TYP. | 14 TRANSFORMER PAD | 23 ACCESSIBLE CURB RAMP W/ DETECTABLE WARNING STRIP |
| 7 VAN ACCESSIBLE PARKING SIGN, TYP. | 15 RETAINING WALL, TYP | 24 LOADING ZONE - PAVEMENT STRIPING |
| 8 EX 7' HIGH STOP SIGN | 16 EX CURB AND GUTTER | |
| | 17 EX DRIVEWAY APRON | |



PAVEMENT KEY

- | | |
|--|------------------|
| | ASPHALT PAVEMENT |
| | CONCRETE |

SITE INFORMATION

SITE ADDRESS: 5817 HALLEY WAY
 TOTAL NUMBER OF PARKING STALLS: 110 (6 HC)
 LEGAL DESCRIPTION: LOT 2 OF CERTIFIED SURVEY MAP NO. 12324 AS RECORDED IN VOL. 76, PG 226, OF C.S.M.'S AS DOC. NO. 4377275, IN THE SE 1/4 AND THE SW 1/4 OF THE NW 1/4 OF SECTION 11, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN
 TOTAL BIKE PARKING: 111
 95 INTERIOR
 16 EXTERIOR
 SITE ACREAGE TOTAL: 107,947 SF (2.48 ACRES)
 NUMBER OF BUILDING STORIES = 4
 BUILDING HEIGHT = 56'-9"
 BUILDING AREA = 162,650 SF (38,718 SF FOOTPRINT)
 TYPE OF CONSTRUCTION: VA
 NUMBER OF EXTERIOR PARKING STALLS: 10 (1 HC)
 NUMBER OF UNDERGROUND PARKING STALLS: 100 (5 HC)



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CAPITOL VIEW APARTMENTS
 WISCONSIN

SITE PLAN

Drawn By: K. JOHNSON
 Checked By: R. JOHNSON
 Date: 10-06-21
 Scale: AS NOTED
 Job Number: 21-01G

SHEET NUMBER
C200

BENCHMARKS		
No.	ELEVATION	LOCATION
BENCHMARK 1	991.99'	TOP NUT OF HYDRANT, N.W. CORNER OF GEMINI DRIVE AT JUPITER DRIVE
BENCHMARK 2	999.28'	TOP NUT OF HYDRANT, NORTH SIDE OF GEMINI DRIVE, 230' EAST OF JUPITER DRIVE
BENCHMARK 3	1004.69'	TOP NUT OF HYDRANT N.E. CORNER OF HALLEY WAY AT HERCULES DRIVE

GRADING NOTES

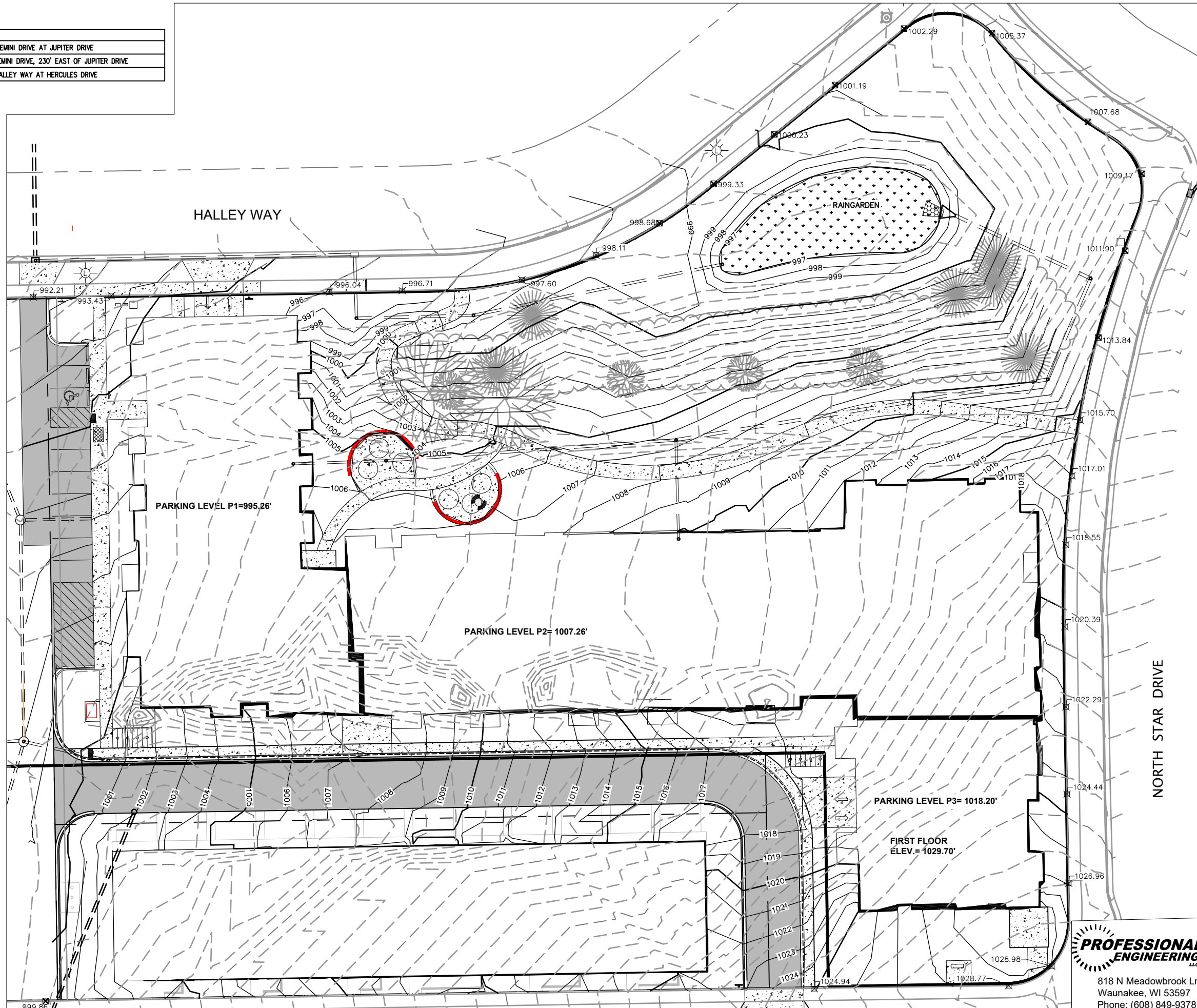
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENED PRIOR TO ADDITION OF TOPSOIL.

GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR



0 20 40 60
 SCALE : 1" = 20' (24 X 36)
 1" = 40' (11 X 17)



REVISION

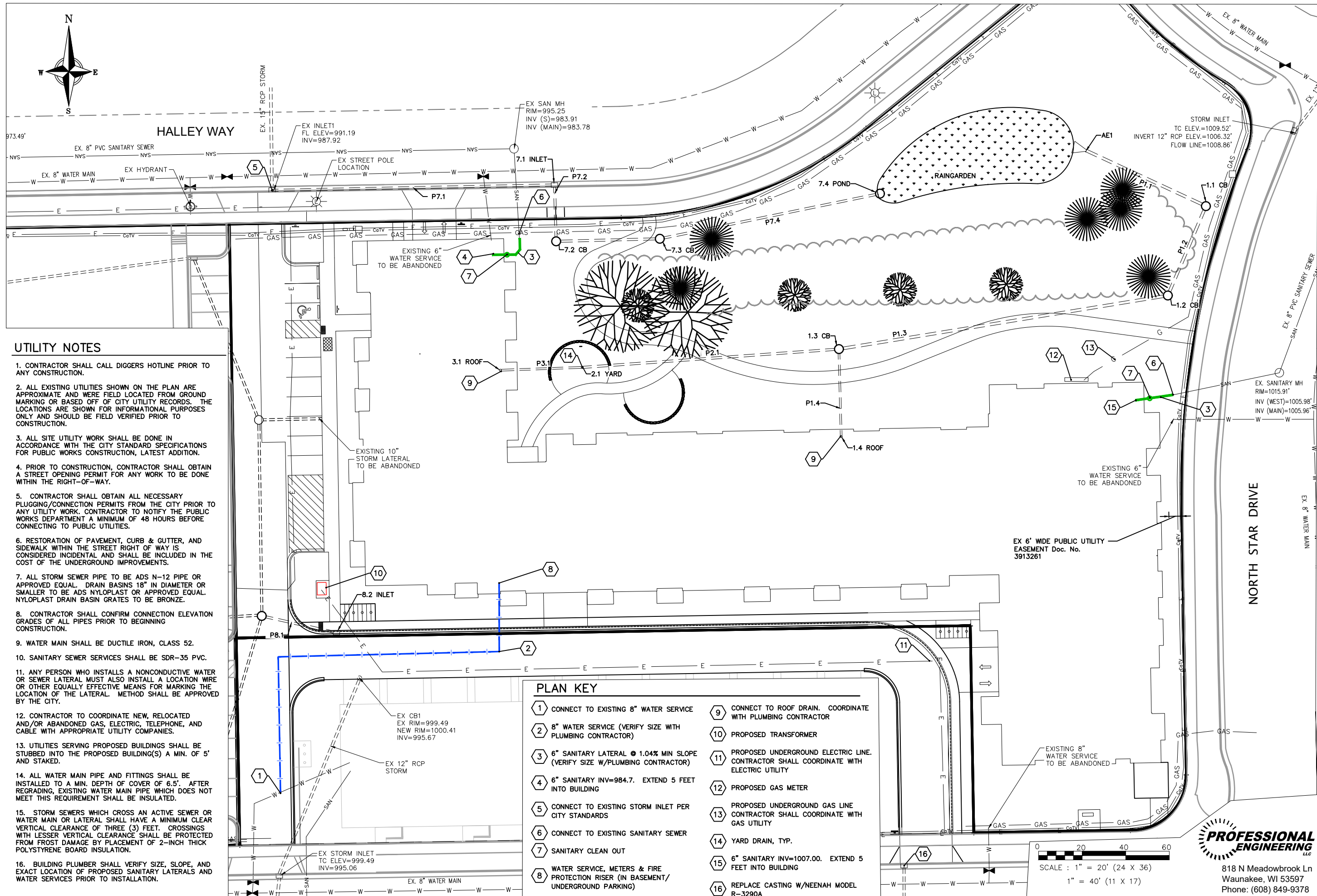
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CAPITOL VIEW APARTMENTS
WISCONSIN
GRADING PLAN

PROFESSIONAL ENGINEERING LLC
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 Phone: (608) 849-9378

Drawn By: K. JOHNSON
 Checked By: R. JOHNSON
 Date: 10-06-21
 Scale: AS NOTED
 Job Number: 21-016

SHEET NUMBER
C300

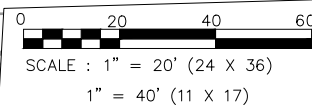


UTILITY NOTES

- CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF CITY UTILITY RECORDS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
- ALL STORM SEWER PIPE TO BE ADS N-12 PIPE OR APPROVED EQUAL. DRAIN BASINS 18" IN DIAMETER OR SMALLER TO BE ADS NYLOPLAST OR APPROVED EQUAL. NYLOPLAST DRAIN BASIN GRATES TO BE BRONZE.
- CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
- WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
- SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
- ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
- CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
- UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED INTO THE PROPOSED BUILDING(S) A MIN. OF 5' AND STAKED.
- ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
- STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
- BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

PLAN KEY

- | | |
|--|--|
| 1 CONNECT TO EXISTING 8" WATER SERVICE | 9 CONNECT TO ROOF DRAIN. COORDINATE WITH PLUMBING CONTRACTOR |
| 2 8" WATER SERVICE (VERIFY SIZE WITH PLUMBING CONTRACTOR) | 10 PROPOSED TRANSFORMER |
| 3 6" SANITARY LATERAL @ 1.04% MIN SLOPE (VERIFY SIZE W/PLUMBING CONTRACTOR) | 11 PROPOSED UNDERGROUND ELECTRIC LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY |
| 4 6" SANITARY INV=984.7. EXTEND 5 FEET INTO BUILDING | 12 PROPOSED GAS METER |
| 5 CONNECT TO EXISTING STORM INLET PER CITY STANDARDS | 13 PROPOSED UNDERGROUND GAS LINE. CONTRACTOR SHALL COORDINATE WITH GAS UTILITY |
| 6 CONNECT TO EXISTING SANITARY SEWER | 14 YARD DRAIN, TYP. |
| 7 SANITARY CLEAN OUT | 15 6" SANITARY INV=1007.00. EXTEND 5 FEET INTO BUILDING |
| 8 WATER SERVICE, METERS & FIRE PROTECTION RISER (IN BASEMENT/ UNDERGROUND PARKING) | 16 REPLACE CASTING W/NEENAH MODEL R-3290A |



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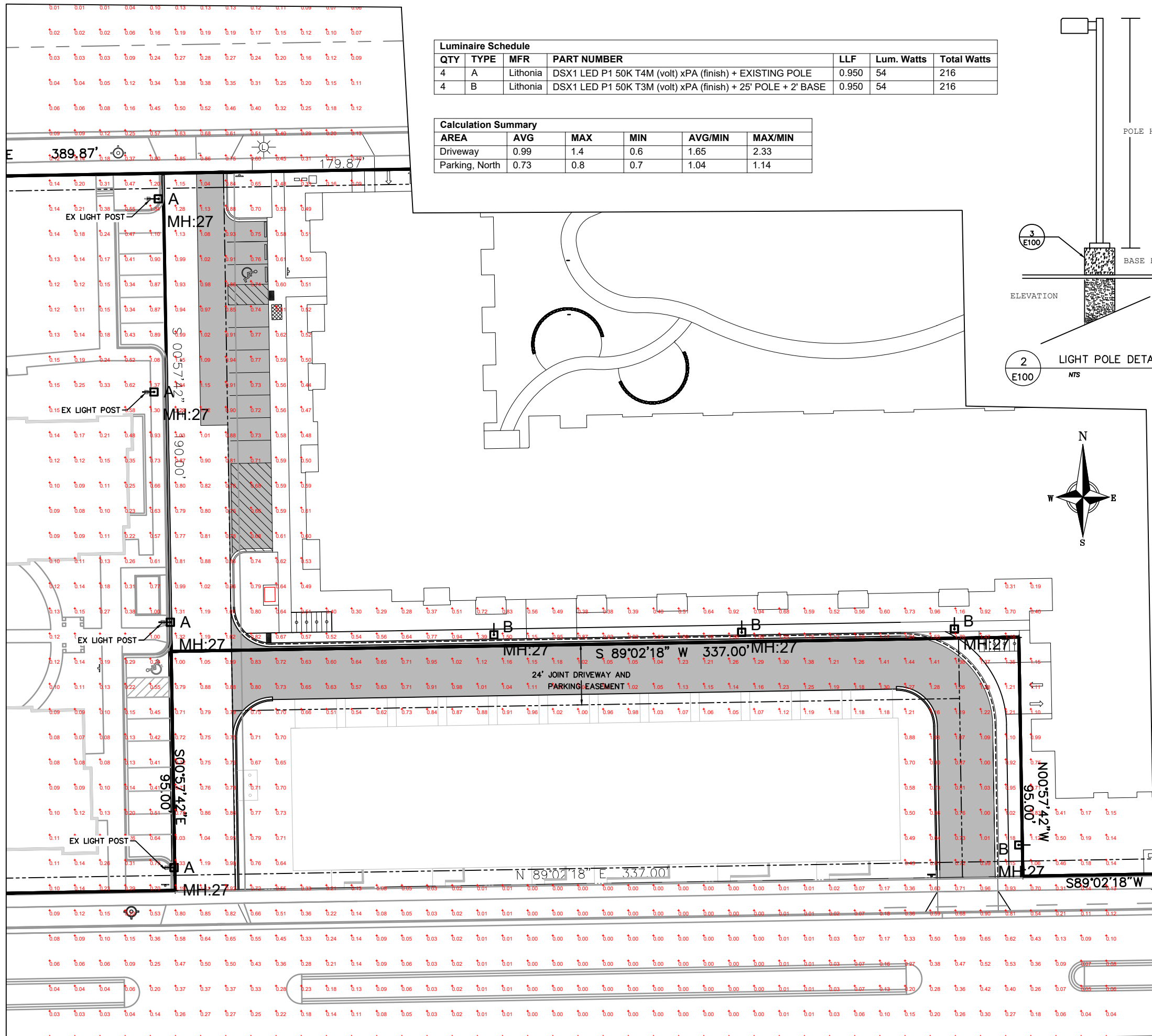
CAPITOL VIEW TOWNHOUSES

WISCONSIN

UTILITY PLAN

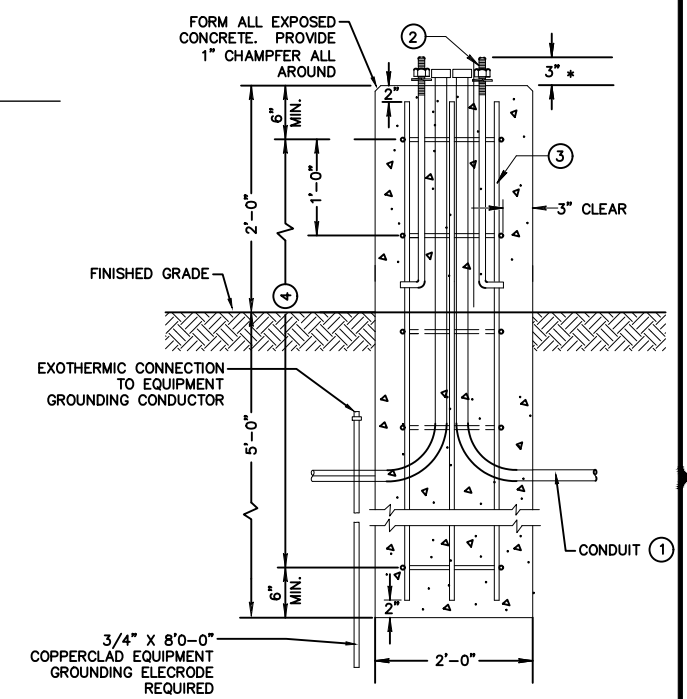
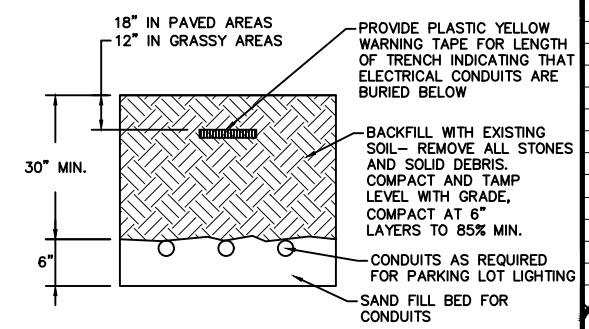
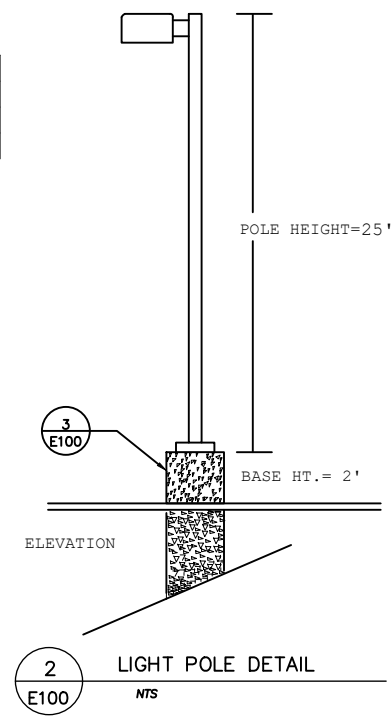
Drawn By: K. JOHNSON
 Checked By: R. JOHNSON
 Date: 7-24-2021
 Scale: AS NOTED
 Job Number: 21-051

SHEET NUMBER
C400

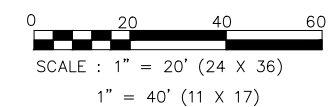


Luminaire Schedule						
QTY	TYPE	MFR	PART NUMBER	LLF	Lum. Watts	Total Watts
4	A	Lithonia	DSX1 LED P1 50K T4M (volt) xPA (finish) + EXISTING POLE	0.950	54	216
4	B	Lithonia	DSX1 LED P1 50K T3M (volt) xPA (finish) + 25' POLE + 2' BASE	0.950	54	216

Calculation Summary					
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN
Driveway	0.99	1.4	0.6	1.65	2.33
Parking, North	0.73	0.8	0.7	1.04	1.14



- ① THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE AND INSTALLED BELOW THE TRAVELED WAY SHALL BE 24 INCHES. THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE THAT IS NOT INSTALLED BELOW THE TRAVELED WAY SHALL BE 18 INCHES. THE MAXIMUM DEPTH OF ALL CONDUIT SHALL BE 36 INCHES EXCEPT WITH WRITTEN APPROVAL BY THE ENGINEER.
- ② ANCHOR BOLTS PER MANUFACTURER'S INSTRUCTIONS
- ③ (6) NO.4 X 4'-8" BAR STEEL REINFORCEMENT.
- ④ (5) NO.4 X 5'-1" BAR STEEL REINFORCEMENT @ 1'-0" C-C.



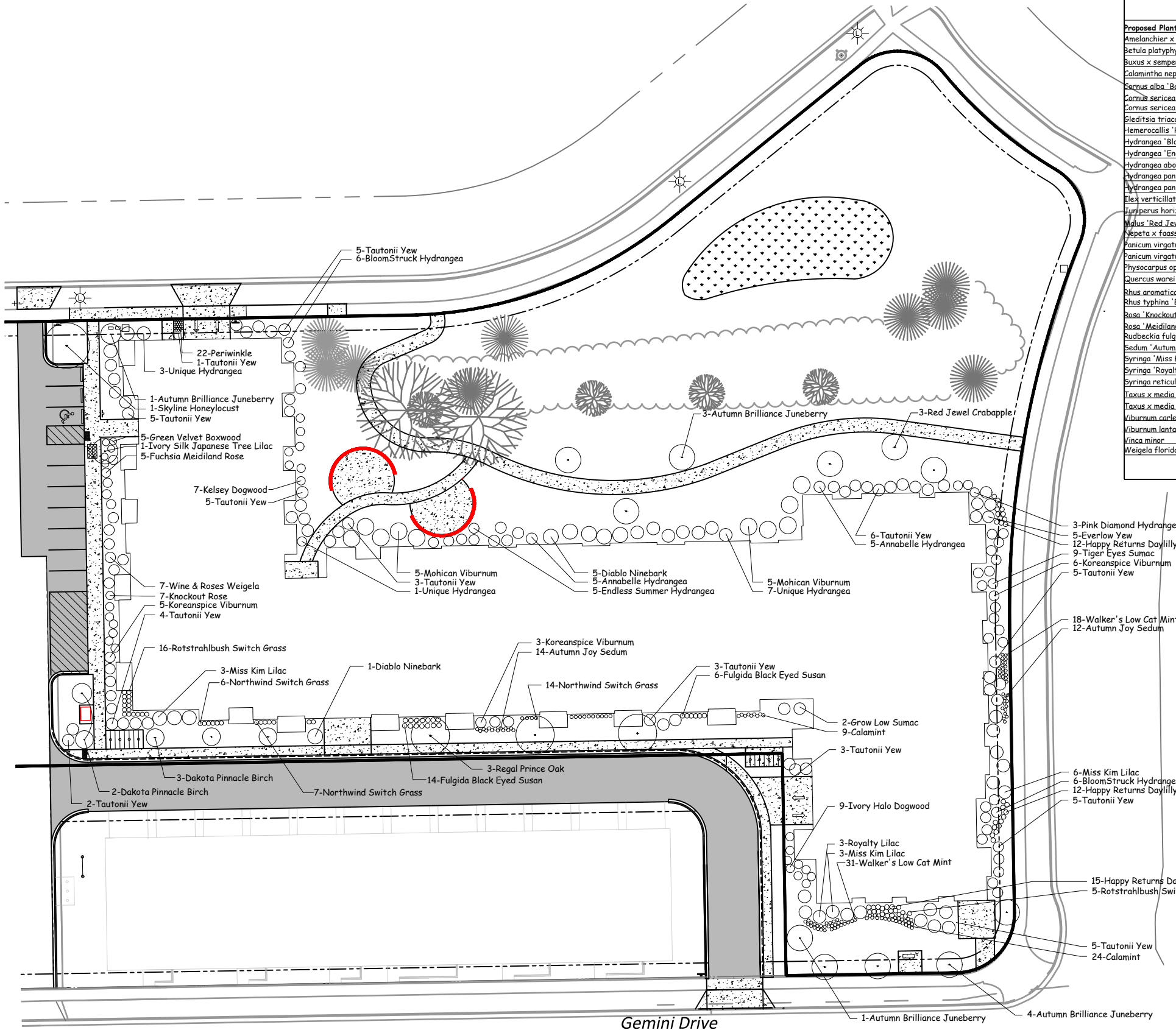
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CAPITOL VIEW APARTMENTS
 WISCONSIN
 LIGHTING PLAN

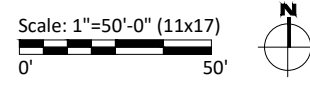
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 Checked By: R. JOHNSON
 Date: 10-06-21
 Scale: AS NOTED
 Job Number: 21-01G

SHEET NUMBER
E100



Latin Name	Common Name	Quantity	Scheduled Size	Points Per Plant	Total Points
Existing Plants					
	Existing Overstory Trees	10		35	350
	Existing Evergreen Trees	7		15	105
				Existing Points:	455
Proposed Plants					
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry	9	2in BB	15	135
Betula platyphylla 'Fargo'	Dakota Pinnacle Birch	5	2" BB	15	75
Buxus x sempervirens 'Green Velvet'	Green Velvet Boxwood	5	#2	3	15
Calamintha nepeta 'Monrose White'	Calamint	33	4.5in Pot	2	66
Cornus alba 'Bailhala'	Ivory Halo Dogwood	9	18-24in	2	18
Cornus sericea 'Isanti'	Isanti Dogwood	11	2-3ft	2	22
Cornus sericea 'Kelsey'	Kelsey Dogwood	7	3-4ft	2	14
Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	1	3in BB	35	35
Hemerocallis 'Happy Returns'	Happy Returns Daylily	39	4.5in Pot	2	78
Hydrangea 'BloomStruck'	BloomStruck Hydrangea	12	#1 Grade	2	24
Hydrangea 'Endless Summer'	Endless Summer Hydrangea	5	#1 Grade	2	10
Hydrangea aborescens 'Annabelle'	Annabelle Hydrangea	10	#1 Grade	2	20
Hydrangea paniculata 'Pink Diamond'	Pink Diamond Hydrangea	3	18in	2	6
Hydrangea paniculata 'Unique'	Unique Hydrangea	11	2ft	2	22
Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	13	24"	2	26
Juniperus horizontalis 'Andorra Compacta'	Compacta Andorra Juniper	10	#3	2	20
Malus 'Red Jewel'	Red Jewel Crabapple	3	2in BB	15	45
Nepeta x faassenii 'Walker's Low'	Walker's Low Cat Mint	49	4.5in Pot	2	98
Panicum virgatum 'Northwind'	Northwind Switch Grass	27	1.6al	2	54
Panicum virgatum 'Rotstrahlbusch'	Rotstrahlbusch Switch Grass	21	1.6al	2	42
Physocarpus opulifolius 'Diablo'	Diablo Ninebark	6	2-3ft	2	12
Quercus warei 'Regal Prince'	Regal Prince Oak	3	2in BB	15	45
Rhus aromatica 'Grow Low'	Grow Low Sumac	2	15-18in	2	4
Rhus typhina 'Baltiger'	Tiger Eyes Sumac	9	2-3ft	2	18
Rosa 'Knockout'	Knockout Rose	7	2 Gal	2	14
Rosa 'Meidiland Fuchsia'	Fuchsia Meidiland Rose	5	2 Gal	2	10
Rudbeckia fulgida var. fulgida	Fulgida Black Eyed Susan	20	4.5in Pot	2	40
Sedum 'Autumn Joy'	Autumn Joy Sedum	26	4.5in Pot	2	52
Syringa 'Miss Kim'	Miss Kim Lilac	12	2-3ft	2	24
Syringa 'Royalty'	Royalty Lilac	3	3-4ft	2	6
Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1	2in BB	15	15
Taxus x media 'Everlow'	Everlow Yew	5	#5	3	15
Taxus x media 'Tautonii'	Tautonii Yew	52	#5	3	156
Viburnum carlesii	Koreanspice Viburnum	14	#5	2	28
Viburnum lantana 'Mohican'	Mohican Viburnum	10	3ft	2	20
Vinca minor	Periwinkle	22	2.5in Pot	0	0
Weigela florida 'Wine and Roses'	Wine & Roses Weigela	7	2ft	2	14
				Proposed Points:	1298
				Total Points:	1753

- General Notes**
- All plant beds to be edged with aluminum or steel edging.
 - Plant beds to be mulched with 3" of double shredded hardwood bark mulch.
 - All trees in lawn areas to receive a 6' diameter shredded hardwood mark mulch. Dish mulch at tree trunk to avoid contact with the tree.
 - Contractor is responsible for verifying all plant quantities. Plan shall preside over the plant list.
 - 53,700 total square feet of developed area (impervious area) divided by 300 equals 179 landscape unites required.
 - 179 landscape unites required times 5 points per unit equals 895 total points required.



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WISCONSIN

CAPITOL VIEW APARTMENTS

LANDSCAPE PLAN

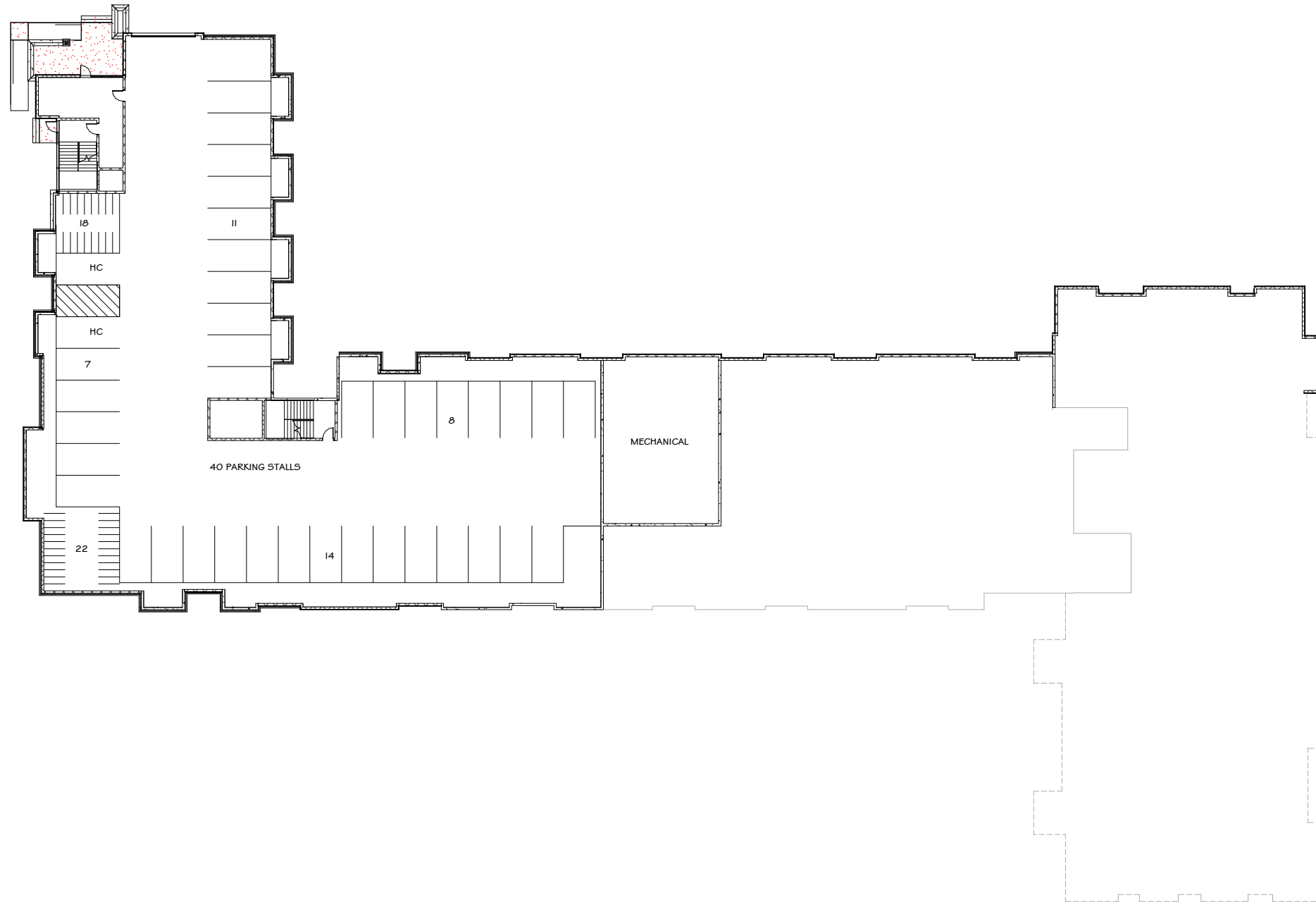
MADISON

Drawn By: K. JOHNSON
Checked By: R. JOHNSON
Date: 10-06-21
Scale: AS NOTED
Job Number: 21-01G

SHEET NUMBER
L100

PROFESSIONAL ENGINEERING
LLC

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OVERALL PARKING LEVEL I

SCALE: 1/8" = 1'-0"



ISSUED FOR	DATE
XXXX	XXXX-XX-XX

REVISIONS	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

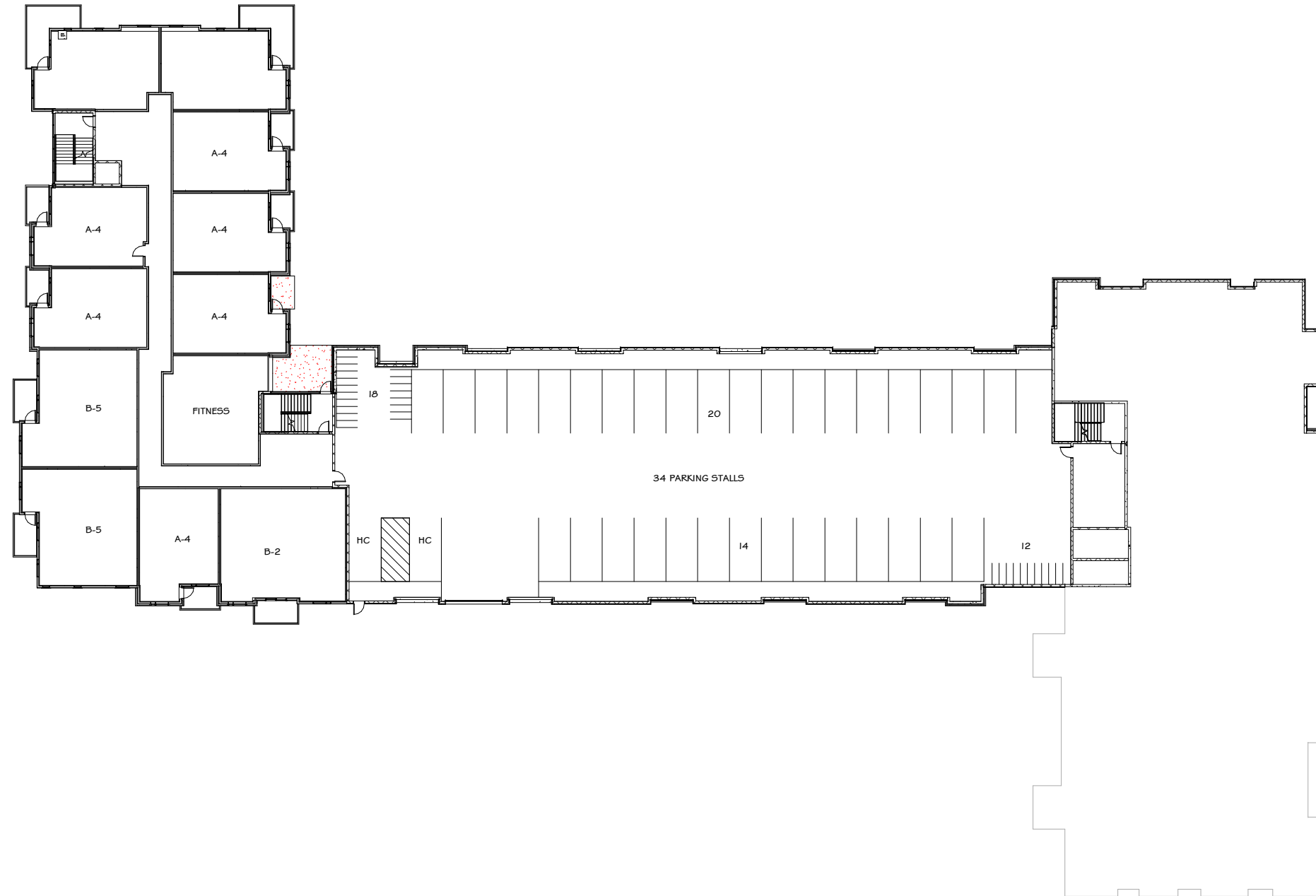
CAPITOL VIEW
MADISON, WI

DRAWN BY
B. ANSEL
CHECKED BY
B. SERVIN
DATE
11.23.2021
JOB NUMBER
21-016
VOLUME / BID SET

SHEET NAME
OVERALL PARKING LEVEL P1

SHEET NUMBER

A100



OVERALL PARKING LEVEL 2

SCALE: 1/8" = 1'-0"



ISSUED FOR	DATE
XXXX	XXXX-XX-XX

REVISIONS	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

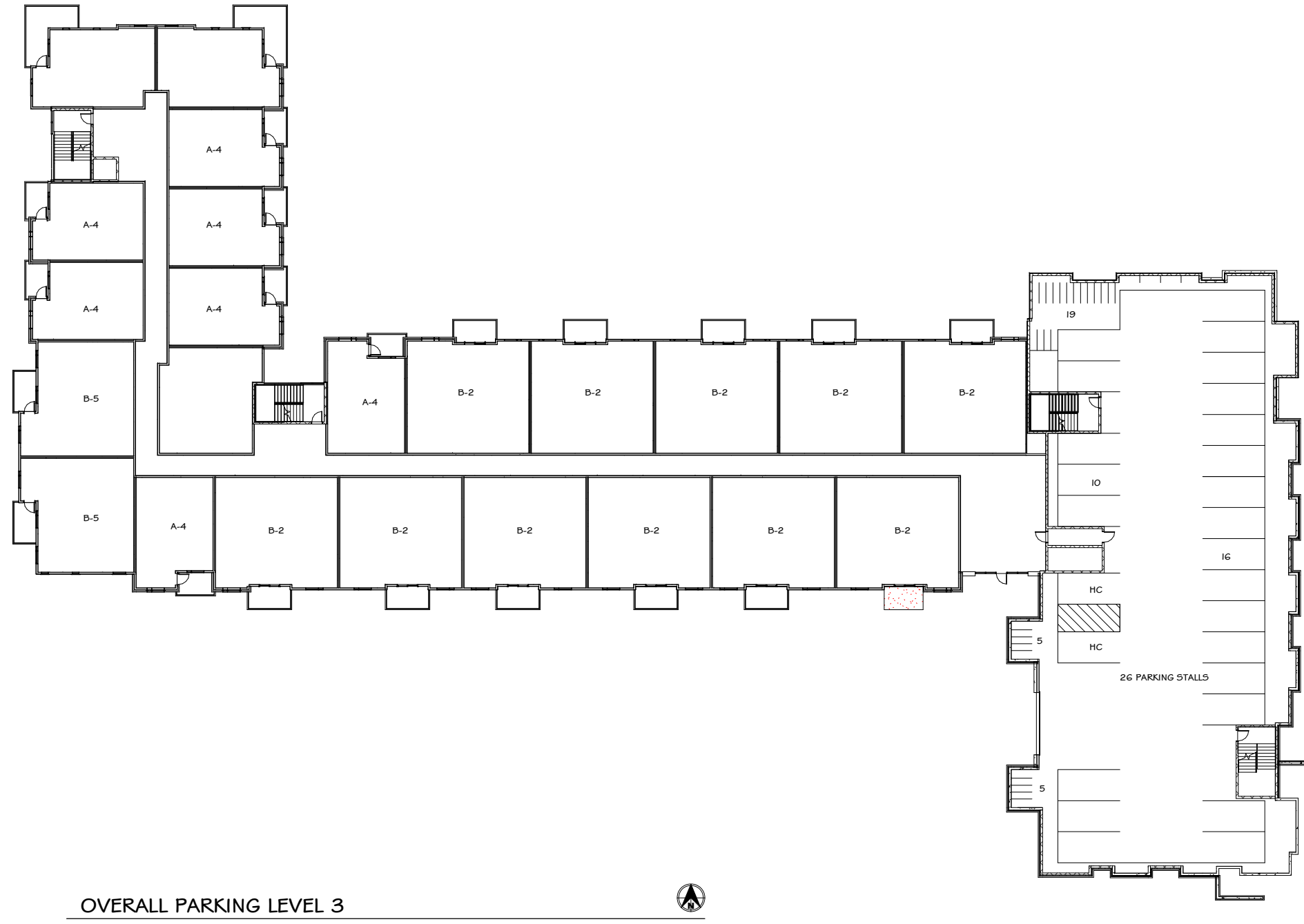
CAPITOL VIEW
MADISON, WI

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DATE
11.23.2021
JOB NUMBER
21-016
VOLUME / BID SET

SHEET NAME
**OVERALL PARKING LEVEL
P2**

SHEET NUMBER

A101



OVERALL PARKING LEVEL 3

SCALE: 1/8" = 1'-0"



ISSUED FOR	DATE
XXXX	XXXX-XX-XX

REVISIONS	DATE

PRELIMINARY
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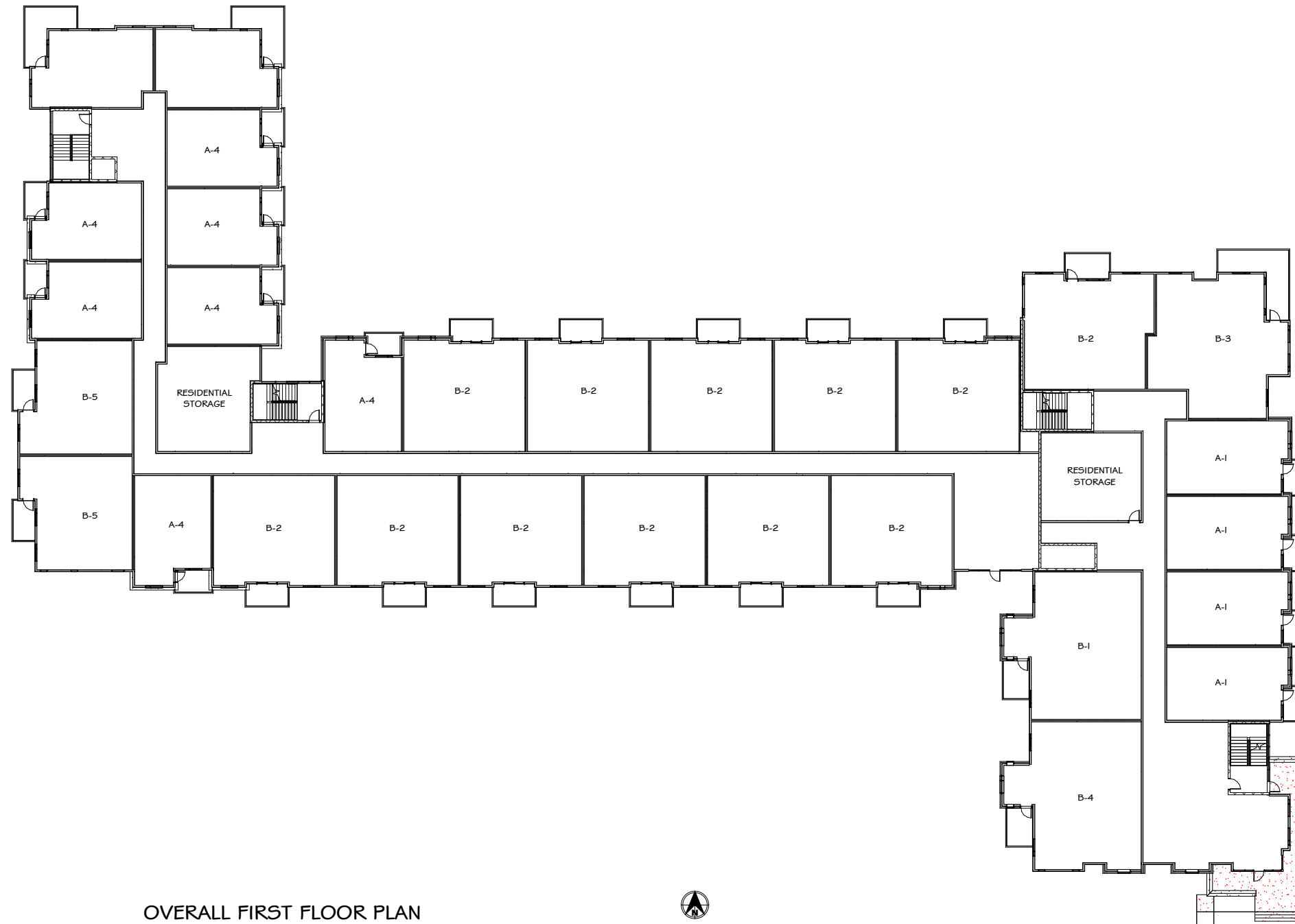
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MADISON, WI

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B. SERVIN
DATE
11.23.2021
JOB NUMBER
21-016
VOLUME / BID SET

SHEET NAME
**OVERALL PARKING LEVEL
P3**

SHEET NUMBER

A102



OVERALL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



ISSUED FOR	DATE
XXXX	XXXX-XX-XX

REVISIONS	DATE

PRELIMINARY
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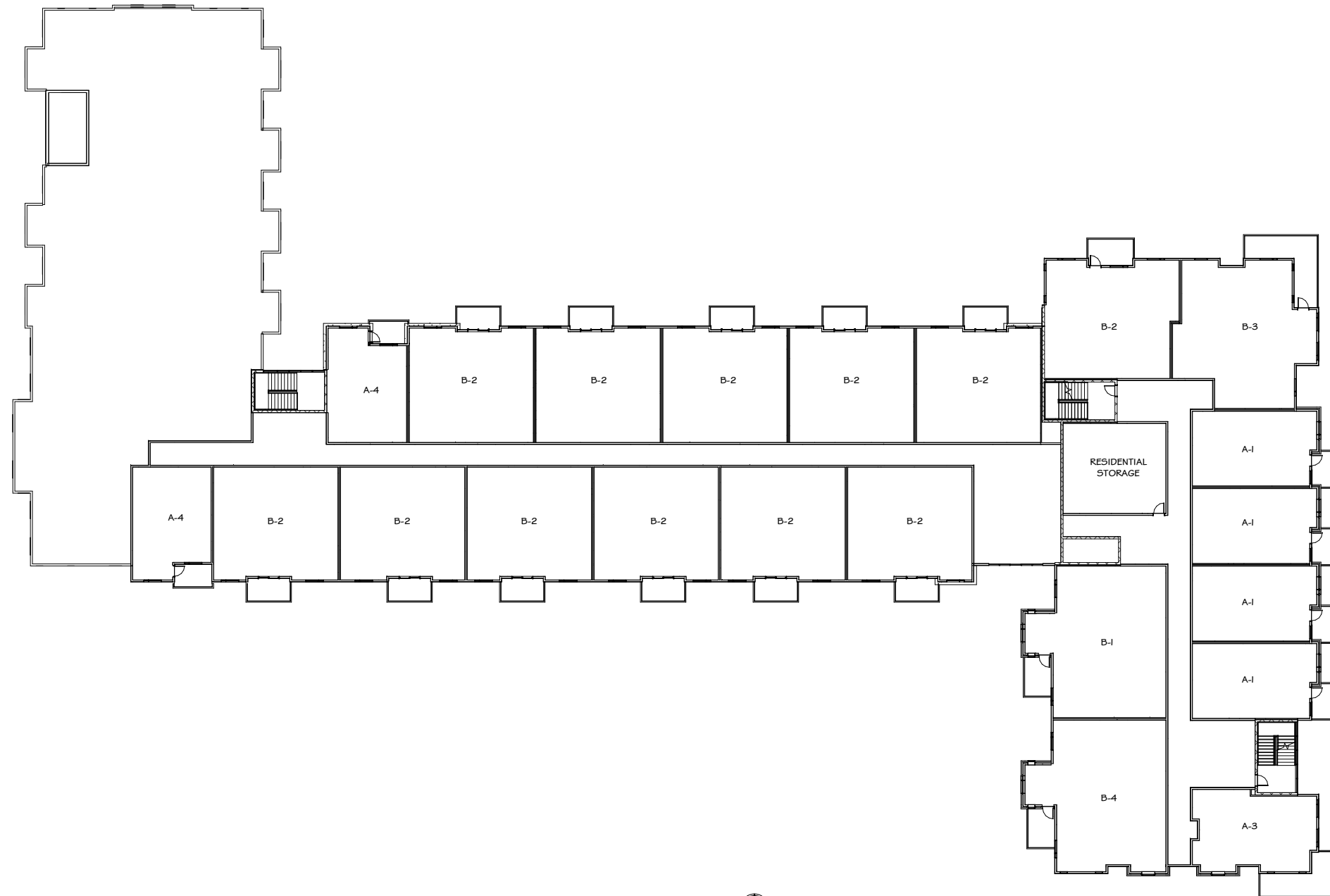
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11.23.2021
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SHEET NAME
OVERALL FIRST FLOOR PLAN

SHEET NUMBER

A103



OVERALL SECOND FLOOR

SCALE: 1/4" = 1'-0"



ISSUED FOR	DATE
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REVISIONS	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

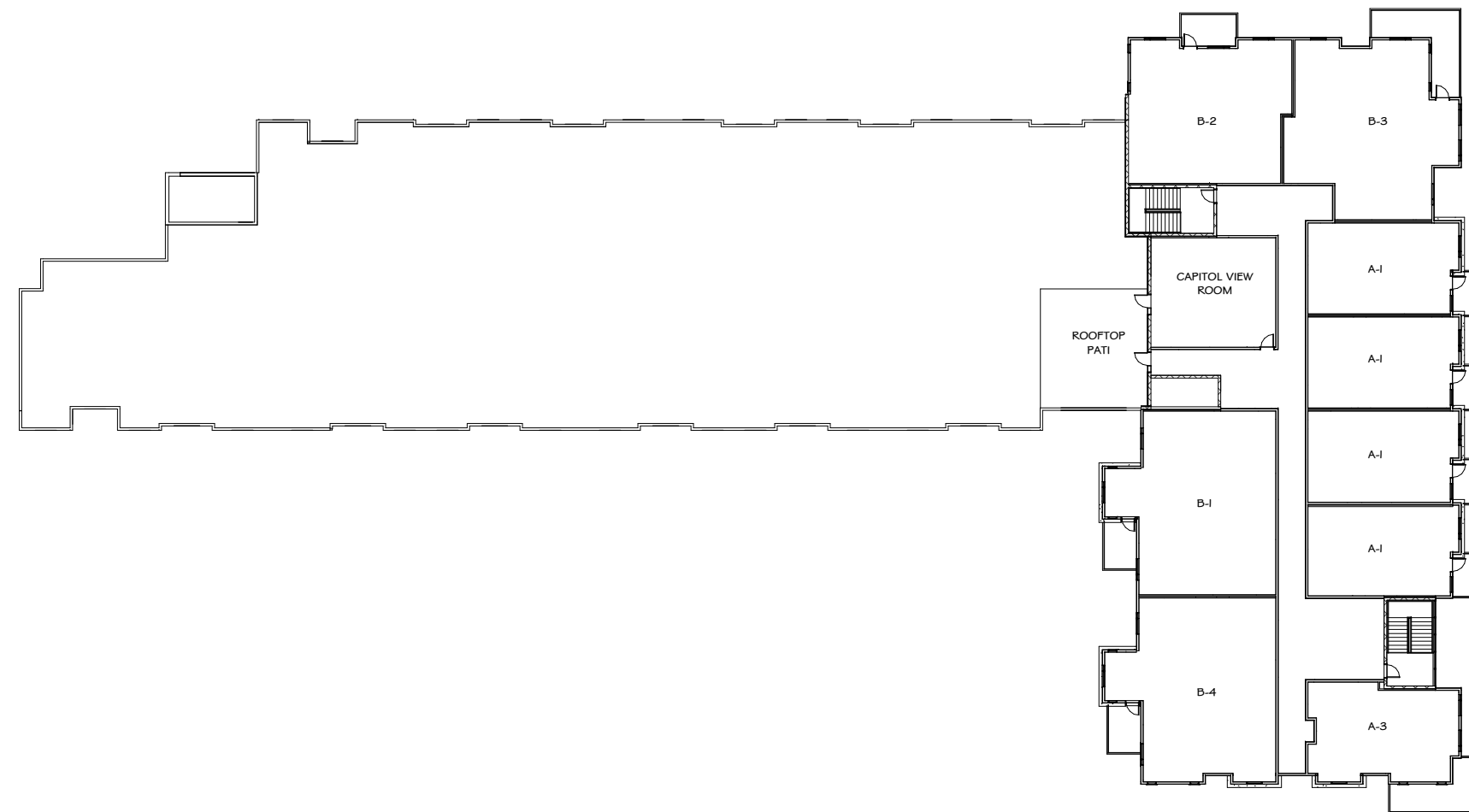
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MADISON, WI

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DATE
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SHEET NAME
**OVERALL SECOND FLOOR
PLAN**

SHEET NUMBER

A104



I

OVERALL THIRD FLOOR

SCALE: 1/8" = 1'-0"



ISSUED FOR	DATE
XXXX	XXXX-XX-XX

REVISIONS	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

CAPITOL VIEW
MADISON, WI

DRAWN BY
B. ANSEL
CHECKED BY
B. SERVIN
DATE
11.23.2021
JOB NUMBER
21-016
VOLUME / BID SET

SHEET NAME
**OVERALL THIRD FLOOR
PLAN**

SHEET NUMBER

A105

EXTERIOR FINISH SCHEDULE		
BOX	MATERIAL / MANUFACTURER	DESCRIPTION / COLOR
A	ALUMINUM SIDING / LONGBOARD SOFFIT	DARK CHERRY
B	6" COMPOSITE LAP SIDING / LP SMARTSIDE	TUNDRA GRAY
C	6" COMPOSITE BOARD AND BATTEN SIDING / LP SMARTSIDE	SNOWSCAPE WHITE
D	STONE VENEER / FOND DU LAC STONE	HAMILTON DIMENSIONAL
E	MANUF. STONE CAP / FOND DU LAC STONE	---



NORTH ELEVATION

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



EAST ELEVATION

SCALE: 1/16" = 1'-0"



WEST ELEVATION

SCALE: 1/16" = 1'-0"



**Architectural Design
Consultants, Inc.**

CAPITOL VIEW